

**For Office Use Only:**

File Number ANPL2024126  
Related File Number N/A  
Pre-consultation Meeting N/A  
Application Submitted April 8, 2024  
Complete Application May 30, 2024

Application Fee 2743.00  
Conservation Authority Fee Yes  
Well & Septic Info Provided N/A  
Planner -  
Public Notice Sign

**Check the type of planning application(s) you are submitting.**

- ☐ Consent/Severance/Boundary Adjustment  
☐ Surplus Farm Dwelling Severance and Zoning By-law Amendment  
☒ Minor Variance  
☐ Easement/Right-of-Way

**Property Assessment Roll Number:** 3310-491-017-21000

**A. Applicant Information**

**Name of Owner** James Lucas

It is the responsibility of the owner or applicant to notify the planner of any changes in ownership within 30 days of such a change.

Address 1444 Windham Road 10  
Town and Postal Code Windham Centre NOE 2A0  
Phone Number   
Cell Number 519-428-8611  
Email jluucas@gintec-shade.com

**Name of Applicant** agent

Address   
Town and Postal Code   
Phone Number   
Cell Number   
Email

**Name of Agent** David McPherson  
**Address** 8 Culver Lane  
**Town and Postal Code** Simcoe, ON N3Y 5C8  
**Phone Number** \_\_\_\_\_  
**Cell Number** 519-427-6483  
**Email** \_\_\_\_\_

Please specify to whom all communications should be sent. Unless otherwise directed, all correspondence and notices in respect of this application will be forwarded to the owner and agent noted above.

☐ Owner ☒ Agent ☐ Applicant

Names and addresses of any holder of any mortgages, charges or other encumbrances on the subject lands:

n/a

## **B. Location, Legal Description and Property Information**

1. Legal Description (include Geographic Township, Concession Number, Lot Number, Block Number and Urban Area or Hamlet):

Lot 6 Concession 9 Windham

Municipal Civic Address: 1417 Windham Road 10

Present Official Plan Designation(s): Agricultural

Present Zoning: Agricultural

2. Is there a special provision or site specific zone on the subject lands?

☐ Yes ☒ No If yes, please specify:

3. Present use of the subject lands:

This is a 99 acre farm with 2 houses on it and several farm related outbuildings.

4. Please describe **all existing** buildings or structures on the subject lands and whether they are to be retained, demolished or removed. If retaining the buildings or structures, please describe the type of buildings or structures, and illustrate the setback, in metric units, from front, rear and side lot lines, ground floor area, gross floor area, lot coverage, number of storeys, width, length, and height on your attached sketch which must be included with your application:

All existing buildings are shown on the attached sketch prepared by Jewitt & Dixon.

The sketch shows the building area and building height of each building.

5. If an addition to an existing building is being proposed, please explain what it will be used for (for example a bedroom, kitchen, or bathroom). If new fixtures are proposed, please describe.

We propose an addition to the rear of house #1417, comprising of family room, patio and bedroom c/w ensuite  
4 pc. bathroom

6. Please describe **all proposed** buildings or structures/additions on the subject lands. Describe the type of buildings or structures/additions, and illustrate the setback, in metric units, from front, rear and side lot lines, ground floor area, gross floor area, lot coverage, number of storeys, width, length, and height on your attached sketch which must be included with your application:

Architectural plans of the proposed addition mentioned above, are attached to this application.

7. Are any existing buildings on the subject lands designated under the *Ontario Heritage Act* as being architecturally and/or historically significant? Yes ☐ No ☒

If yes, identify and provide details of the building:

8. If known, the length of time the existing uses have continued on the subject lands:

The house in question was built in 1980. House #1431 was built in the 1800's.

9. Existing use of abutting properties:

Agricultural

10. Are there any easements or restrictive covenants affecting the subject lands?

☐ Yes ☒ No If yes, describe the easement or restrictive covenant and its effect:

### C. Purpose of Development Application

Note: Please complete all that apply. **Failure to complete this section will result in an incomplete application.**

#### 1. Site Information (Please refer to Zoning By-law to confirm permitted dimensions)

	Existing	Permitted	Provision	Proposed	Deficiency
Lot frontage	300m	30m		300m	
Lot depth	1365m				
Lot width	300m				
Lot area	99 ac.				
Lot coverage					
Front yard	14m	13m		25m	
Rear yard	1300+m	9m		1300+m	
Height	5m	11m		6m	
Left Interior side yard					
Right Interior side yard	163m	3m		163m	
Exterior side yard (corner lot)	113m	13m		113m	
Parking Spaces (number)					
Aisle width					
Stall size					
Loading Spaces					
Other	Relief of 3.24.2 and 3.26				



2. Please explain why it is not possible to comply with the provision(s) of the Zoning By-law:

There are 2 lawfully established dwellings on this farm, house #1431 is considered the principal dwelling.

We propose an addition to house #1417 which requires relief of clauses 3.24.2 and 3.26 in order that a building permit can issue. Expanded explanation is included in attached premise.

3. **Consent/Severance/Boundary Adjustment:** Description of land intended to be severed in metric units:

Frontage: n/a

Depth: \_\_\_\_\_

Width: \_\_\_\_\_

Lot Area: \_\_\_\_\_

Present Use: \_\_\_\_\_

Proposed Use: \_\_\_\_\_

Proposed final lot size (if boundary adjustment): \_\_\_\_\_

If a boundary adjustment, identify the assessment roll number and property owner of the lands to which the parcel will be added: \_\_\_\_\_

\_\_\_\_\_  
\_\_\_\_\_

Description of land intended to be retained in metric units:

Frontage: \_\_\_\_\_

Depth: \_\_\_\_\_

Width: \_\_\_\_\_

Lot Area: \_\_\_\_\_

Present Use: \_\_\_\_\_

Proposed Use: \_\_\_\_\_

Buildings on retained land: \_\_\_\_\_

4. **Easement/Right-of-Way:** Description of proposed right-of-way/easement in metric units:

Frontage: n/a

Depth: \_\_\_\_\_

Width: \_\_\_\_\_  
Area: \_\_\_\_\_  
Proposed Use: \_\_\_\_\_

**5. Surplus Farm Dwelling Severances Only:** List all properties in Norfolk County, which are owned and farmed by the applicant and involved in the farm operation

Owners Name: n/a  
Roll Number: \_\_\_\_\_  
Total Acreage: \_\_\_\_\_  
Workable Acreage: \_\_\_\_\_  
Existing Farm Type: (for example: corn, orchard, livestock) \_\_\_\_\_  
Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built \_\_\_\_\_  
Date of Land Purchase: \_\_\_\_\_

Owners Name: \_\_\_\_\_  
Roll Number: \_\_\_\_\_  
Total Acreage: \_\_\_\_\_  
Workable Acreage: \_\_\_\_\_  
Existing Farm Type: (for example: corn, orchard, livestock) \_\_\_\_\_  
Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built \_\_\_\_\_  
Date of Land Purchase: \_\_\_\_\_

Owners Name: \_\_\_\_\_  
Roll Number: \_\_\_\_\_  
Total Acreage: \_\_\_\_\_  
Workable Acreage: \_\_\_\_\_  
Existing Farm Type: (for example: corn, orchard, livestock) \_\_\_\_\_  
Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built \_\_\_\_\_  
Date of Land Purchase: \_\_\_\_\_

Owners Name: \_\_\_\_\_  
Roll Number: \_\_\_\_\_  
Total Acreage: \_\_\_\_\_  
Workable Acreage: \_\_\_\_\_  
Existing Farm Type: (for example: corn, orchard, livestock) \_\_\_\_\_  
Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built \_\_\_\_\_  
Date of Land Purchase: \_\_\_\_\_

Owners Name: \_\_\_\_\_  
Roll Number: \_\_\_\_\_  
Total Acreage: \_\_\_\_\_  
Workable Acreage: \_\_\_\_\_  
Existing Farm Type: (for example: corn, orchard, livestock) \_\_\_\_\_  
Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built \_\_\_\_\_  
Date of Land Purchase: \_\_\_\_\_

**Note: If additional space is needed please attach a separate sheet.**

**D. All Applications: Previous Use of the Property**

1. Has there been an industrial or commercial use on the subject lands or adjacent lands? ☐ Yes ☒ No ☐ Unknown

If yes, specify the uses (for example: gas station, or petroleum storage):

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

2. Is there reason to believe the subject lands may have been contaminated by former uses on the site or adjacent sites? ☐ Yes ☒ No ☐ Unknown

3. Provide the information you used to determine the answers to the above questions:  
Information supplied by owner.

\_\_\_\_\_  
\_\_\_\_\_

4. If you answered yes to any of the above questions in Section D, a previous use inventory showing all known former uses of the subject lands, or if appropriate, the adjacent lands, is needed. Is the previous use inventory attached? ☐ Yes ☐ No

**E. All Applications: Provincial Policy**

1. Is the requested amendment consistent with the provincial policy statements issued under subsection 3(1) of the *Planning Act*, R.S.O. 1990, c. P. 13? ☒ Yes ☐ No

If no, please explain:

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2. It is owner's responsibility to be aware of and comply with all relevant federal or provincial legislation, municipal by-laws or other agency approvals, including the Endangered Species Act, 2007. Have the subject lands been screened to ensure that development or site alteration will not have any impact on the habitat for endangered or threatened species further to the provincial policy statement subsection 2.1.7? ☒ Yes ☐ No

If no, please explain:

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3. Have the subject lands been screened to ensure that development or site alteration will not have any impact on source water protection? ☐ Yes ☒ No

If no, please explain:

Not a WHPA area

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Note: If in an area of source water Wellhead Protection Area (WHPA) A, B or C please attach relevant information and approved mitigation measures from the Risk Manager Official.



4. All Applications: Are any of the following uses or features on the subject lands or within 500 metres of the subject lands, unless otherwise specified? Please check boxes, if applicable.

**Livestock facility or stockyard** (submit MDS Calculation with application)

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Wooded area**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Municipal Landfill**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Sewage treatment plant or waste stabilization plant**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Provincially significant wetland (class 1, 2 or 3) or other environmental feature**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Floodplain**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Rehabilitated mine site**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Non-operating mine site within one kilometre**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Active mine site within one kilometre**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Industrial or commercial use (specify the use(s))**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Active railway line**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Seasonal wetness of lands**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Erosion**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Abandoned gas wells**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

## F. All Applications: Servicing and Access

1. Indicate what services are available or proposed:

### Water Supply

- ☐ Municipal piped water  
☒ Individual wells

- ☐ Communal wells  
☐ Other (describe below)

### Sewage Treatment

- ☐ Municipal sewers

- ☐ Communal system

- ☒ Septic tank and tile bed in good working order ☐ Other (describe below)

### Storm Drainage

- ☐ Storm sewers  
☐ Other (describe below)

- ☒ Open ditches

2. Existing or proposed access to subject lands:

- ☒ Municipal road  
☐ Unopened road

- ☐ Provincial highway  
☐ Other (describe below)

Name of road/street:

Windham Road 10

## G. All Applications: Other Information

1. Does the application involve a local business? ☐ Yes ☒ No

If yes, how many people are employed on the subject lands?

2. Is there any other information that you think may be useful in the review of this application? If so, explain below or attach on a separate page.

Please see attached premise and justification report.

## **H. Supporting Material to be submitted by Applicant**

In order for your application to be considered complete, folded hard copies (number of paper copies as directed by the planner) and an **electronic version (PDF) of the site plan drawings, additional plans, studies and reports** will be required, including but not limited to the following details:

1. Concept/Layout Plan
2. All measurements in metric
3. Existing and proposed easements and right of ways
4. Parking space totals – required and proposed
5. All dimensions of the subject lands
6. Dimensions and setbacks of all buildings and structures
7. Location and setbacks of septic system and well from all existing and proposed lot lines, and all existing and proposed structures
8. Names of adjacent streets
9. Natural features, watercourses and trees

In addition, the following additional plans, studies and reports, including but not limited to, **may** also be required as part of the complete application submission:

- ☐ On-Site Sewage Disposal System Evaluation Form (to verify location and condition)
- ☐ Environmental Impact Study
- ☐ Geotechnical Study / Hydrogeological Review
- ☐ Minimum Distance Separation Schedule
- ☐ Record of Site Condition

Your development approval might also be dependent on Ministry of Environment Conservation and Parks, Ministry of Transportation or other relevant federal or provincial legislation, municipal by-laws or other agency approvals.

**All final plans must include the owner's signature as well as the engineer's signature and seal.**



## I. Transfers, Easements and Postponement of Interest

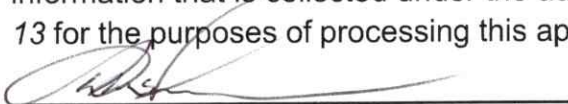
The owner acknowledges and agrees that if required it is their solicitor's responsibility on behalf of the owner for the registration of all transfer(s) of land to the County, and/or transfer(s) of easement in favour of the County and/or utilities. Also, the owner further acknowledges and agrees that it is their solicitor's responsibility on behalf of the owner for the registration of postponements of any charges in favour of the County.

## Permission to Enter Subject Lands

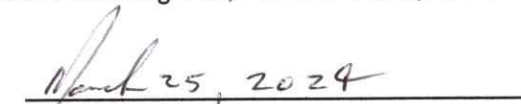
Permission is hereby granted to Norfolk County officers, employees or agents, to enter the premises subject to this application for the purposes of making inspections associated with this application, during normal and reasonable working hours.

## Freedom of Information

For the purposes of the *Municipal Freedom of Information and Protection of Privacy Act*, I authorize and consent to the use by or the disclosure to any person or public body any information that is collected under the authority of the *Planning Act*, R.S.O. 1990, c. P. 13 for the purposes of processing this application.



Owner/Applicant/Agent Signature



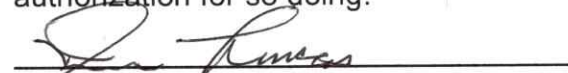
Date

## J. Owner's Authorization

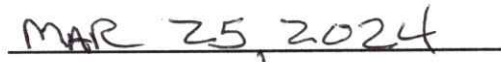
If the applicant/agent is not the registered owner of the lands that is the subject of this application, the owner must complete the authorization set out below.

I/We JAMES LUCAS am/are the registered owner(s) of the lands that is the subject of this application.

I/We authorize David McPherson to make this application on my/our behalf and to provide any of my/our personal information necessary for the processing of this application. Moreover, this shall be your good and sufficient authorization for so doing.



Owner



Date

\_\_\_\_\_  
Owner

\_\_\_\_\_  
Date

**\*Note: If property is owned by an Ontario Ltd. Corporation, Articles of Incorporation are required to be attached to the application.**



**K. Declaration**

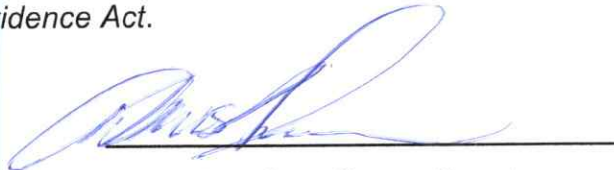
I, David McPherson of Simcoe

solemnly declare that:

all of the above statements and the statements contained in all of the exhibits transmitted herewith are true and I make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath and by virtue of *The Canada Evidence Act*.

Declared before me at:

NORFOLK COUNTY

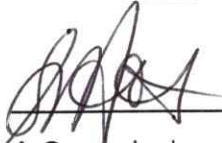


~~Owner/Applicant~~/Agent Signature

In Simcoe

This 8th day of April

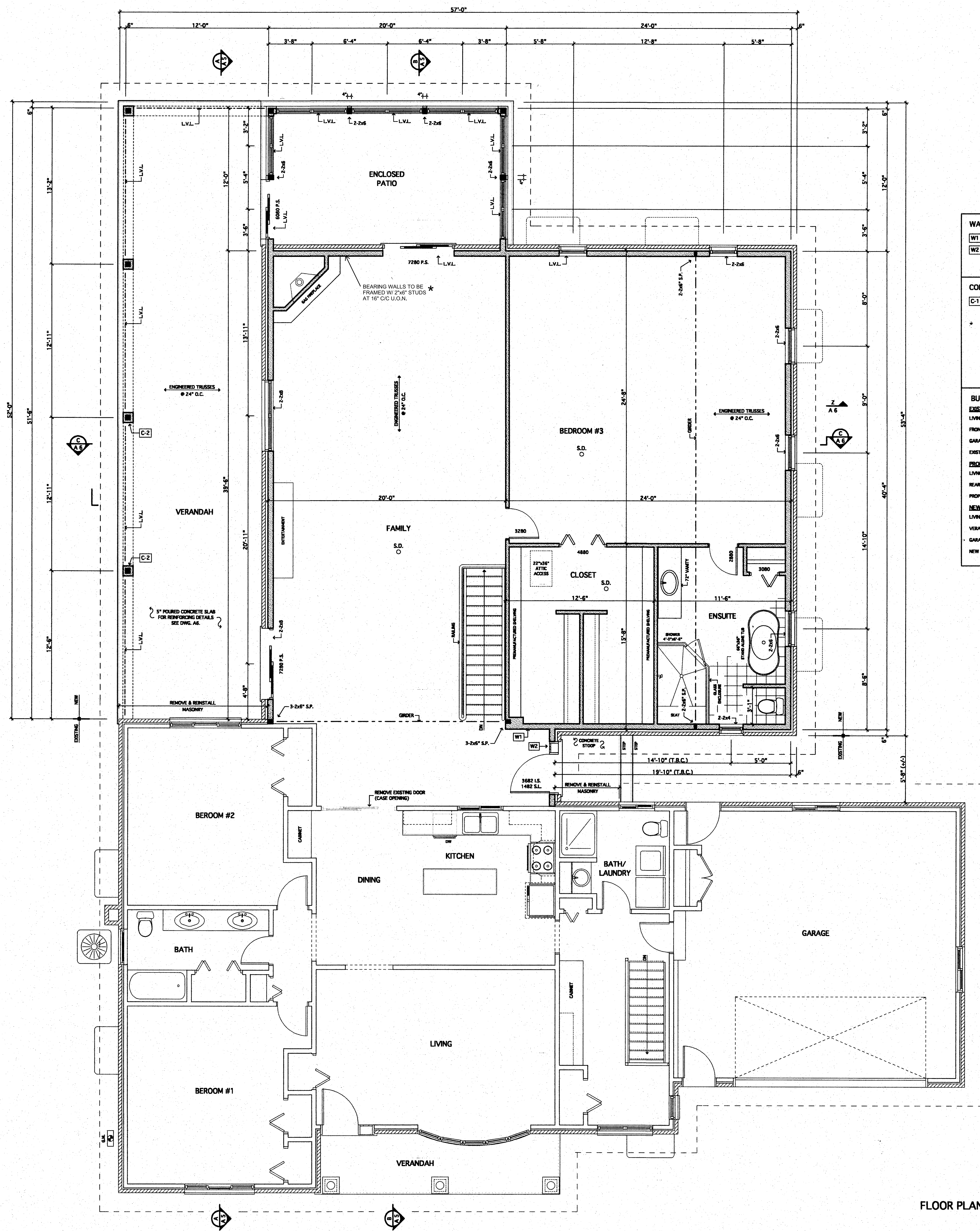
A.D., 2024



A Commissioner, etc.

Sherry Ann Mott, a  
Commissioner, etc., Province of Ontario.  
for the Corporation of Norfolk County.  
Expires March 16, 2026.





WALL FRAMING SCHEDULE:	
W1	REMOVE & REBUILD EXISTING WALL.
W2	REMOVE & REBUILD EXISTING WALL. OFFSET WALL 4" FROM OUTSIDE FACE OF EXISTING FOUNDATION WALL TO PROVIDE LEDGE FOR CONCRETE SLAB AND MASONRY VENEER.
COLUMN SCHEDULE:	
C1	10" SQ. PVC COLUMN WRAP
	4-2x6 S.P.F. (P.T.) - B.U.C.
	GALVANIZED STEEL POST CAP
	SIMPSON STRONG TIE CAT. NO. BCB
	W1 = 3 1/2", W2 = 3 1/2", L1 = 4 3/8", L2 = 4 3/8"
	H1 = 3 3/8", H2 = 3 3/8"
	FASTEN WITH: (1) 16d NAILS IN BEAM
	(12) 16d NAILS IN POST.
	GALVANIZED ADJUSTABLE & STANDOFF POST BASE
	SIMPSON STRONG TIE CAT. NO. AB00X
	W = 6", L = 5"
BUILDING DATA:	
EXISTING:	
LIVING AREA	1 633 SQ. FT.
FRONT VERANDAH	101 SQ. FT.
GARAGE	588 SQ. FT.
EXISTING TOTAL	2 310 SQ. FT.
PROPOSED ADDITION:	
LIVING AREA	1 829 SQ. FT.
REAR VERANDAH	481 SQ. FT.
PROPOSED TOTAL	2 310 SQ. FT.
NEW TOTALS:	
LIVING AREA	3 482 SQ. FT.
VERANDAH AREAS	582 SQ. FT.
GARAGE	588 SQ. FT.
NEW TOTAL	4 652 SQ. FT.

- GENERAL NOTES:**
1. CONTENT OF THESE DRAWINGS DOES NOT RELEASE THE CONTRACTOR FROM PROBS OR OMISSIONS OR HIS PART IN COMPLYING WITH NATIONAL AND LOCAL BUILDING CODES, REGULATIONS, AND AUTHORITIES HAVING JURISDICTION.
  2. CONTRACTOR SHALL DETERMINE FOR HIMSELF ALL LINES, LEVELS, AND DIMENSIONS OF NEW AND/OR EXISTING ELEMENTS.
  3. DO NOT SCALE DRAWINGS. DIMENSIONS NOTED WITH "N.T.S." INDICATES THE SIZE OR LOCATION OF THE ELEMENT(S) AS SHOWN MAY NOT REFLECT THE ACTUAL SIZE OR LOCATION TO BE CONSTRUCTED.
  4. DOOR AND WINDOW SIZES AS SHOWN ARE NOMINAL. EXACT SIZES AND CONCRETE OPENINGS AS PER MANUFACTURER. INSTALL AS PER MANUFACTURER'S RECOMMENDED INSTRUCTIONS.
  5. LEVEL DIMENSIONS IF INDICATED REFER TO FLOOR ELEVATIONS ONLY, AND DO NOT REFLECT BUILDING ELEVATIONS IN RELATION TO SITE. TURN ON FINISH ONLY.
  6. PLAN DIMENSIONS ARE RELATIVE TO THE WALL CORNER(S) AS INDICATED.
  7. CONTRACTOR SHALL DETERMINE EXACT LOCATION OF SERVICES, UTILITIES AND EQUIPMENT. LOCATIONS OF THE SAME (IF SHOWN) SHALL BE VERIFIED PRIOR TO CONSTRUCTION.
  8. CONTRACTOR SHALL DETERMINE EXACT LOCATION OF CABBETS, WANNES, AND APPLIANCES PRIOR TO CONSTRUCTION LAYOUTS OF SHOWING SHALL BE VERIFIED PRIOR TO CONSTRUCTION.

- REVISION SCHEDULE:**
- REV. A  
1. SIZE OF ADDITION INCREASED FROM 40'-0" TO 44'-0".  
2. ENSURE BATH RECONFIGURED.
- REV. C  
1. MASONRY EXTERIOR CLADDING ADDED.  
2. BASEMENT STAIR ADDED.
- REV. L  
1. TYPICAL TRUSS DETAIL OVERHANGING NOTE REVISED.  
2. ENCLOSED PATIO ADDED DOWD BEAM OF ADDITION.  
3. VERANDAH EXTENDED TO FACE OF ENCLOSED PATIO.

- STAIRS, RAMPS, HANDRAILS & GUARDS:**
1. ALL STAIRS, RAMPS, HANDRAILS & GUARDS TO O.B.C. 9.8.
- NEW BASEMENT STAIR:  
TOTAL RISE = 13.575' (9'-5 3/8")  
16 @ 7.25"  
15' @ 10.000" = 12'-4"

- WINDOW NOTES:**
1. BEDROOM WINDOWS SHALL COMPLY TO:  
O.B.C. 9.8.10.1. (MINIMUM UNRESTRICTED OPENING)  
11.5.15.16. (WINDOW OPENING INTO A WINDOW WELL)  
O.B.C. APPENDIX 9.7.1.3.1.1. (ACCESS TO THE WINDOW), (BUILT-IN FURNITURE)

- FRAMING NOTES:**
1. JOIST MATERIAL: S.P.F. (SPRUCE, PINE, FIR) No. 1 AND NO. 2.
  2. CONTRACTOR SHALL REVIEW FOR HIMSELF ALL PREFABRICATED STRUCTURAL COMPONENTS, ENGINEERING REPORTS & SHOP DRAWINGS, AND FURNISH THE SAME FOR BUILDING INSPECTOR'S REVIEW.
  3. CARRY ALL POINT LOADS TO FOUNDATION.
  4. SEE ROOF PLAN, BUILDING & WALL SECTIONS FOR TRUSS DETAILS AND NOTES.

- SEPARATION OF STORAGE GARAGES:**
1. CONSTRUCTION BETWEEN GARAGES AND DWELLING UNIT SHALL CONFORM TO O.B.C. 5.10.5.1.6.
  2. ALL JOINTS IN GYPSUM BOARD FINISH TO BE TAPED, AND HAVE A 2 COAT FINISH ON ALL JOINTS.
  3. ALL WALLS TO BE SEALED WITH PRIMER PAINT.
  4. DOORS AT BASE OF WALL AND PERIMETER OF ALL OPENINGS TO BE SEALED WITH CALKING.
  5. ALL ELECTRICAL, MECHANICAL OPENINGS TO BE SEALED WITH CALKING.

- MECHANICAL NOTES:**
1. HEATING, AIR CONDITIONING, VENTILATION AND ELECTRICAL DESIGN BY OTHERS.
  2. ALL ELECTRICAL AND FUEL BURNING APPLIANCES TO BE INSTALLED AS PER APPLICABLE CODES, AND MANUFACTURER'S SPECIFICATIONS.
  3. SMOKE ALARMS TO MEET THE REQUIREMENTS OF O.B.C. 9.10.17.
  4. LIGHTING OF ENTRANCES AND INTERIOR SPACES TO O.B.C. 9.34.2

- FLOOR PLAN WALL LEGEND:**
- EXISTING - EXTERIOR WALL
- NEW - EXTERIOR WALL
- EXISTING - INTERIOR WALL
- NEW - INTERIOR WALL

- PROJECT LEGEND:**
- E.1. EXPANSION JOINT: 1/2" ASPHALT SATURATED FELT EXPANSION JOINT FILLER (TOP BOUND OR EQUAL)  
SEAL JOINT WITH MASTIC CALKING
- C.1. CONTROL JOINT: SAW CUT  
SEAL JOINT WITH MASTIC CALKING
- |        |                                |        |                               |
|--------|--------------------------------|--------|-------------------------------|
| S.D.   | - SMOKE DETECTOR               | F.L.   | - FLOOR LINE                  |
| C.D.   | - CARBON MONOXIDE DETECTOR     | F.O.D. | - FLOOR OVERLAY LINE          |
| E.F.   | - EXHAUST FAN                  | S.P.F. | - SPRUCE, PINE, FIR           |
| C.H.   | - CEILING HEIGHT               | S.L.   | - SELECT STRUCTURAL           |
| F.D.   | - FLOOR DRAIN                  | L.V.L. | - LAMINATED VENEER LUMBER     |
| B.U.C. | - BUILT-UP COLUMN              | S.L.T. | - SILE LAMINATED TRUSS        |
| S.P.   | - STEEL POST                   | P.T.   | - PRESSURE TREATED            |
| J.P.   | - JACK POST                    | T.O.C. | - TO BE COVERED               |
| V.P.   | - VIBR POST                    | W.F.   | - WELDED WIRE FABRIC          |
| P.L.   | - POINT LOAD                   | C.A.   | - CEMENT                      |
| F.M.   | - FLOOR FINISHED MEMBER        | I.S.   | - INSULATED STEEL DOOR        |
| U.S.   | - UNDERSLAB                    | F.P.   | - FRENCH POCKET DOOR          |
| T.F.   | - TOP OF FINISH                | F.D.   | - FRENCH DOOR                 |
| T.     | - TRANSOM WINDOW               | C.J.   | - CONTROL JOINT (SAW CUT)     |
| A.E.F. | - ABOVE FIRST FLOOR SLAB/DOOR  | E.J.   | - EXPANSION JOINT (TOP BOUND) |
| A.S.F. | - ABOVE SECOND FLOOR SLAB/DOOR |        |                               |

REVISION	DESCRIPTION	DATE
A	ISSUED FOR CLIENT REVIEW	08/13/21
B	SEE SCHEDULE THIS DRAWING	08/24/21
0	ISSUED FOR CONSTRUCTION	09/03/21
1	SEE SCHEDULE THIS DRAWING	09/13/22

THESE DRAWINGS ARE THE PROPERTY OF SCOTT GILES BUILDING TECHNOLOGIES INCORPORATED AND HAVE BEEN PRODUCED FOR THE PURPOSE OF AIDING IN THE CONSTRUCTION OF THE PROJECT OF TITLE AND SHALL NOT BE USED FOR ANY OTHER PURPOSE WITHOUT WRITTEN CONSENT.

REGISTRATION INFORMATION	
SCOTT GILES BUILDING TECHNOLOGIES INCORPORATED	32259
NAME	R.C.J.
QUALIFICATION INFORMATION	
SCOTT GILES	21608
NAME	R.C.J.

SCOTT GILES  
BUILDING TECHNOLOGIES INCORPORATED  
DESIGNERS OF FINE HOMES  
71 THOMPSON ROAD, WATERFORD, ONTARIO, N0K 1Y0  
519-443-7900

PROJECT  
SINGLE FAMILY DWELLING ADDITION  
OR  
Mr. & Mrs. James Lucas  
1417 WINDHAM ROAD 10, WATERFORD, COUNTY OF NORFOLK

DESIGNED	S. GILES	1
DRAWN	S. GILES	REVISION
SCALE	1/4" = 1'-0"	A1
DATE	08/04/21	DRAWING



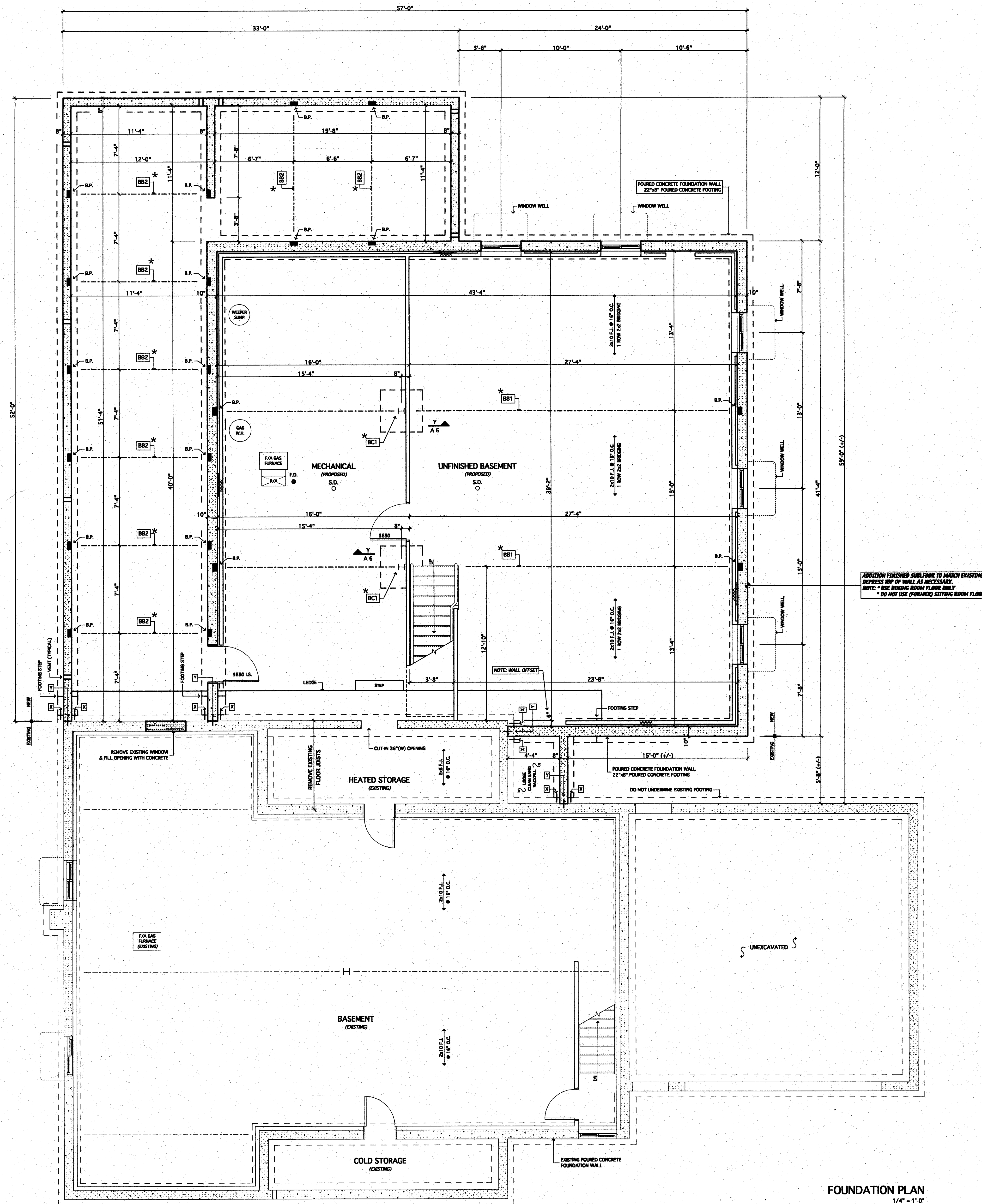
STRUCTURAL ITEMS ONLY  
AS MARKED \*

**J.H. COHOON  
ENGINEERING  
LIMITED**  
CONSULTING ENGINEERS

JOB No. 14973  
DATE: 2022-06-15

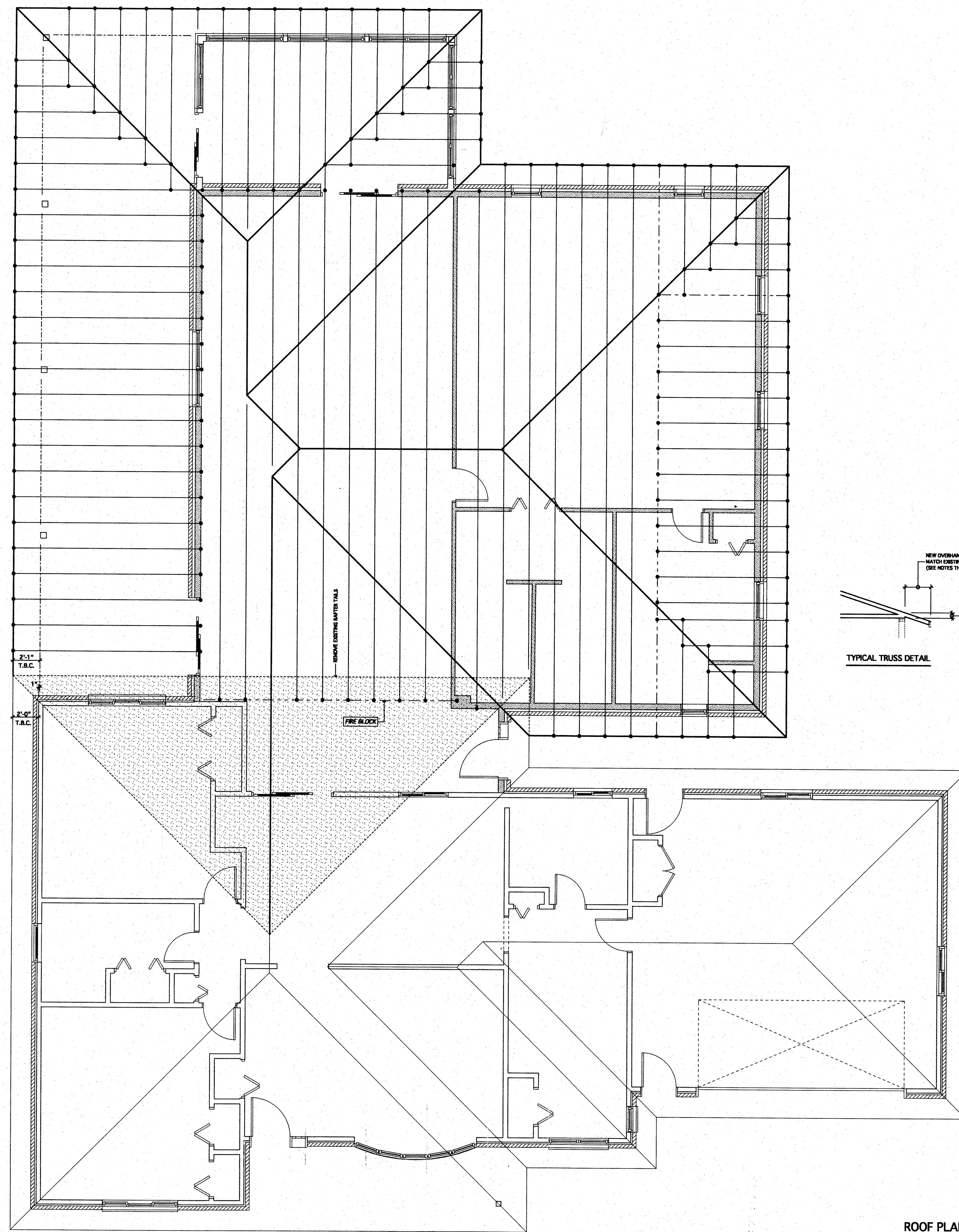
FLOOR PLAN





STRUCTURAL ITEMS ONLY  
AS MARKED \*





ROOF PLAN

**ROOF FRAMING & TRUSS NOTES:**

1. SEE WALL SECTIONS, BUILDING SECTIONS AND ELEVATIONS FOR ADDITIONAL INFORMATION.
2. OVERHANGS TO BE MEASURED FROM OUTSIDE FACE OF WALL, PLATE OR BEAM TO OUTSIDE FACE OF FACIA BOARD.
3. TRUSS ROOF SYSTEM SHALL BE DESIGNED TO INCORPORATE RAISED HEELS, MEASURED VERTICALLY FROM POINT WHERE TOP SIDE OF TOP CHORD CROSSES OUTSIDE FACE OF TRUSS DETAILS. FOR HEIGHTS SEE BUILDING SECTIONS, WALL SECTIONS & TRUSS DETAILS.
4. CONTRACTOR TO PROVIDE TRUSS MANUFACTURER WITH A FULL SET OF ARCHITECTURAL DRAWINGS.
5. CONTRACTOR SHALL REVIEW ALL TRUSS MANUFACTURER SHOP DRAWINGS PRIOR TO PLACEMENT OF FOUNDATIONS.
6. TRUSS MANUFACTURER AND CONTRACTOR SHALL REPORT ANY DISCREPANCIES FOUND ON THESE DRAWINGS TO THE DESIGNER PRIOR TO FABRICATION.

**FIRE BLOCKS:** O.B.C. 5.10.16.1.

**[FIRE BLOCK]** 1/2" S.P.F. PLYWOOD, O.S.B., OR WA/OSB SHEETING - ONE SIDE OF SUPPORTING MEMBERS. JOINTS TO BE CONTINUOUSLY SUPPORTED.

**DRAWING LEGEND:**

--- OUTLINE OF EXISTING ROOF.  
CONVENTIONAL FRAMING OVERLAY.

REVISION	DESCRIPTION	DATE
0	ISSUED FOR CONSTRUCTION.	05/03/21
1	SEE SCHEDULE DRAWING A1.	06/09/22

THESE DRAWINGS ARE THE PROPERTY OF SCOTT GILES BUILDING TECHNOLOGIES INCORPORATED AND HAVE BEEN PROVIDED FOR THE PURPOSE OF AIDING IN THE CONSTRUCTION OF THE PROJECT OF TITLE AND SHALL NOT BE USED FOR ANY OTHER PURPOSE WITHOUT WRITTEN CONSENT.

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATION AND MEETS THE REQUIREMENTS SET OUT IN THE ONSITE BUILDING CODE TO DESIGN THE WORK SHOWN ON THE ATTACHED DOCUMENTS.

**REGISTRATION INFORMATION**  
SCOTT GILES BUILDING TECHNOLOGIES INCORPORATED 32239  
NAME S.C.I.N.  
**QUALIFICATION INFORMATION**  
SCOTT GILES 21006  
NAME S.C.I.N.

**SCOTT GILES**  
**BUILDING TECHNOLOGIES INCORPORATED**  
**DESIGNERS OF FINE HOMES**  
71 THOMPSON ROAD, WATERFORD, ONTARIO, NOE 1Y0  
515-443-7950

**PROJECT**  
**SINGLE FAMILY DWELLING ADDITION**  
FOR  
**Mr. & Mrs. James Lucas**  
1417 WINDHAM ROAD 10, WATERFORD, COUNTY OF NORFOLK

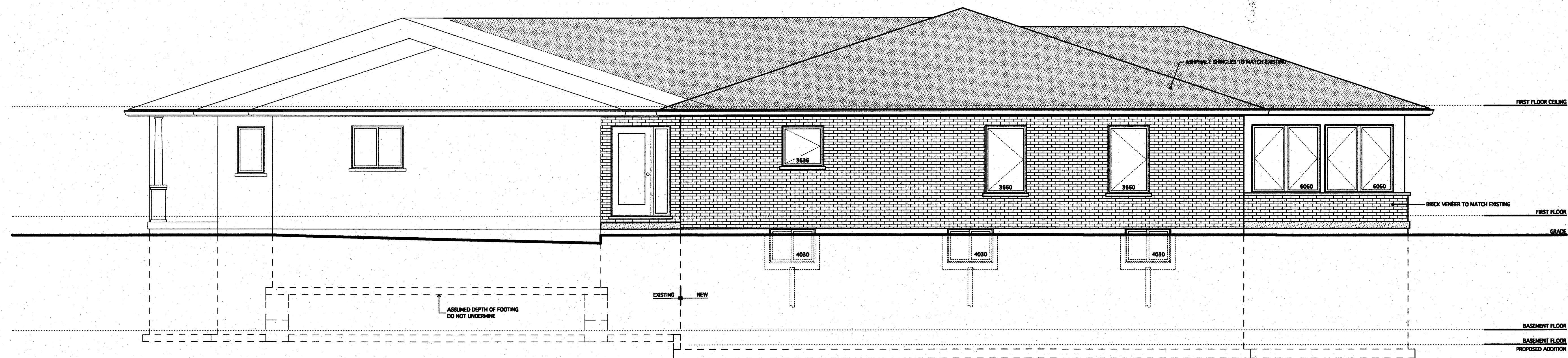
**DESIGNED** S. GILES  
**DRAWN** S. GILES

**SCALE** 1/4" = 1'-0"  
**DATE** 08/04/21

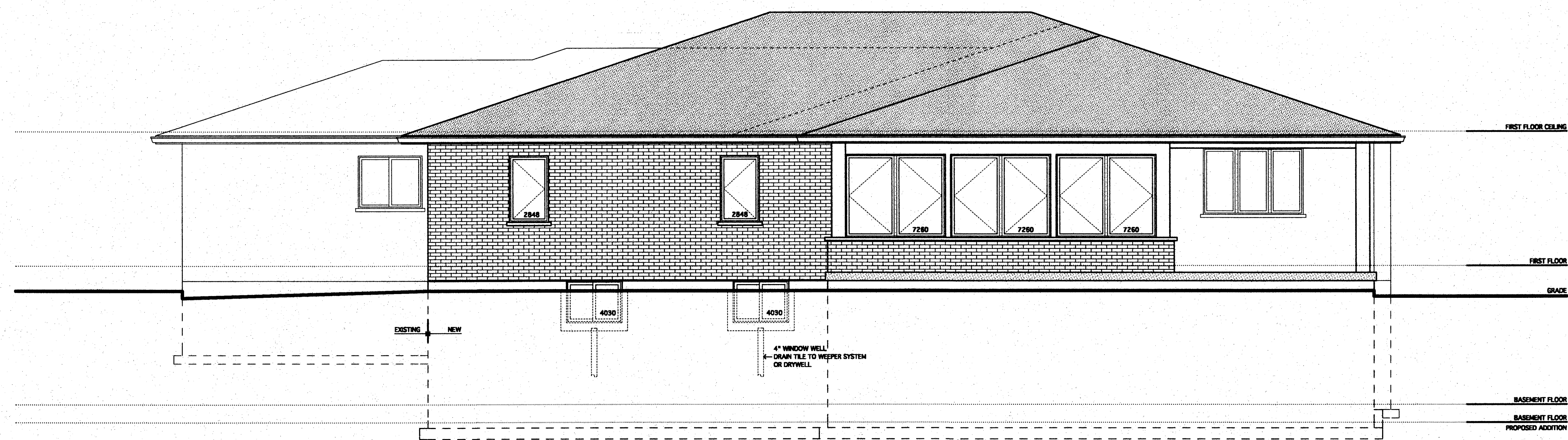
**1**  
**REVISION**

**A3**  
**DRAWING**

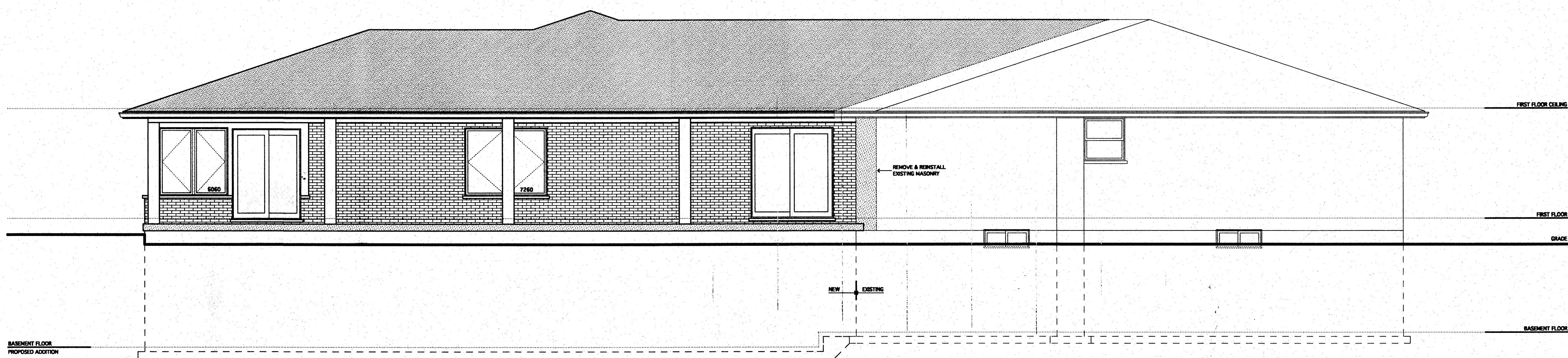




EAST ELEVATION



NORTH ELEVATION



WEST ELEVATION

REVISION	DESCRIPTION	DATE
A	ISSUED FOR CLIENT REVIEW.	08/24/21
B	1. MASONRY CLADDING ADDED. 2. ADDITION BASEMENT WALL HEIGHT INCREASED.	08/30/21
C	ISSUED FOR CONSTRUCTION.	09/03/21
1	SEE SCHEDULE DRAWING A1.	06/13/22

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REGISTRATION INFORMATION	33239
SCOTT GILES BUILDING TECHNOLOGIES INCORPORATED	S.G.I.
NAME	
QUALIFICATION INFORMATION	21608
SCOTT GILES	S.G.I.
NAME	

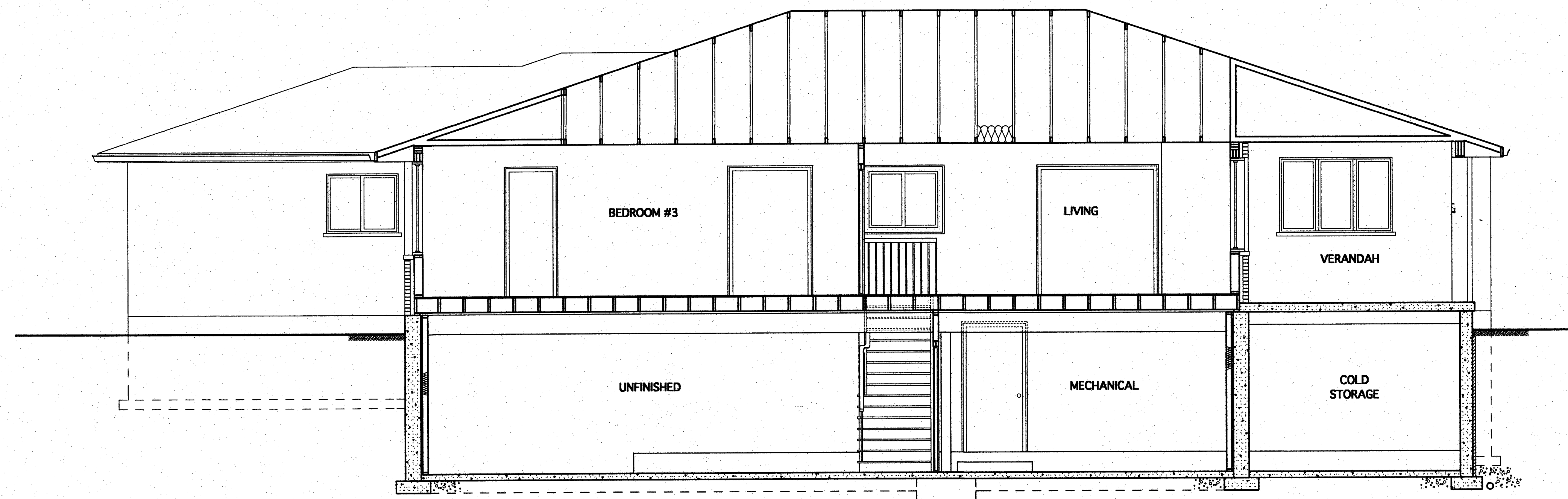
SCOTT GILES  
BUILDING TECHNOLOGIES INCORPORATED  
DESIGNERS OF FINE HOMES  
71 THOMPSON ROAD, WATERFORD, ONTARIO, N0E 1Y0  
519-445-7950

PROJECT  
SINGLE FAMILY DWELLING ADDITION  
FOR  
Mr. & Mrs. James Lucas  
1417 WRENHAM ROAD 10, WATERFORD, COUNTY OF NORFOLK

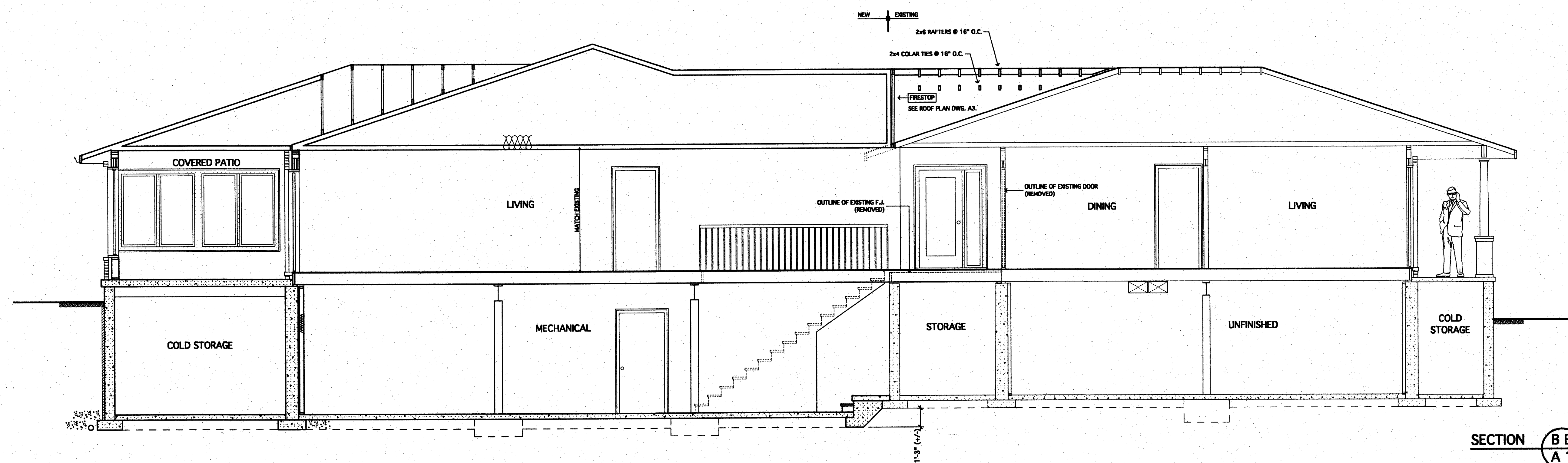
DESIGNED	S. GILES	1
DRAWN	S. GILES	REVISION

SCALE	1/4" = 1'-0"	A 4
DATE	08/16/21	DRAWING

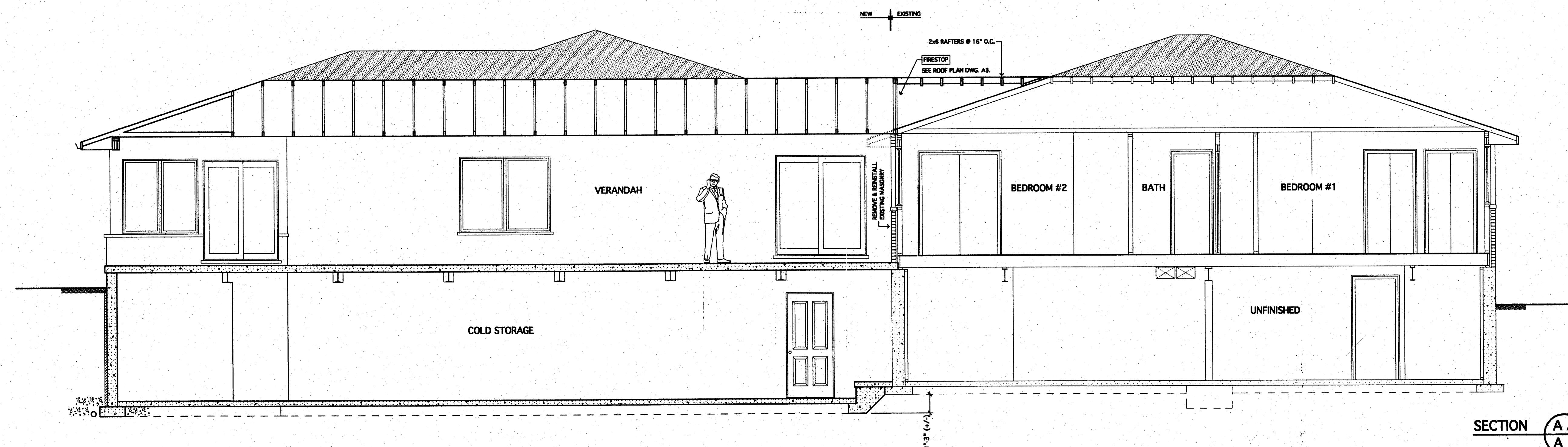




SECTION CC  
A1



SECTION BB  
A1



SECTION AA  
A1

REVISION	DESCRIPTION	DATE
0	ISSUED FOR CONSTRUCTION	09/03/21
1	SEE SCHEDULE DRAWING A1.	06/13/22

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REGISTRATION INFORMATION	32259
SCOTT GILES BUILDING TECHNOLOGIES INCORPORATED	B.C.A.
NAME	
QUALIFICATION INFORMATION	21606
SCOTT GILES	B.C.A.
NAME	

SCOTT GILES  
BUILDING TECHNOLOGIES INCORPORATED  
DESIGNERS OF FINE HOMES  
71 THOMPSON ROAD, WATERFORD, ONTARIO, M0E 1Y0  
919-445-7390

PROJECT  
SINGLE FAMILY DWELLING ADDITION  
FOR  
Mr. & Mrs. James Lucas  
1417 WINDHAM ROAD 10, WATERFORD, COUNTY OF NORFOLK

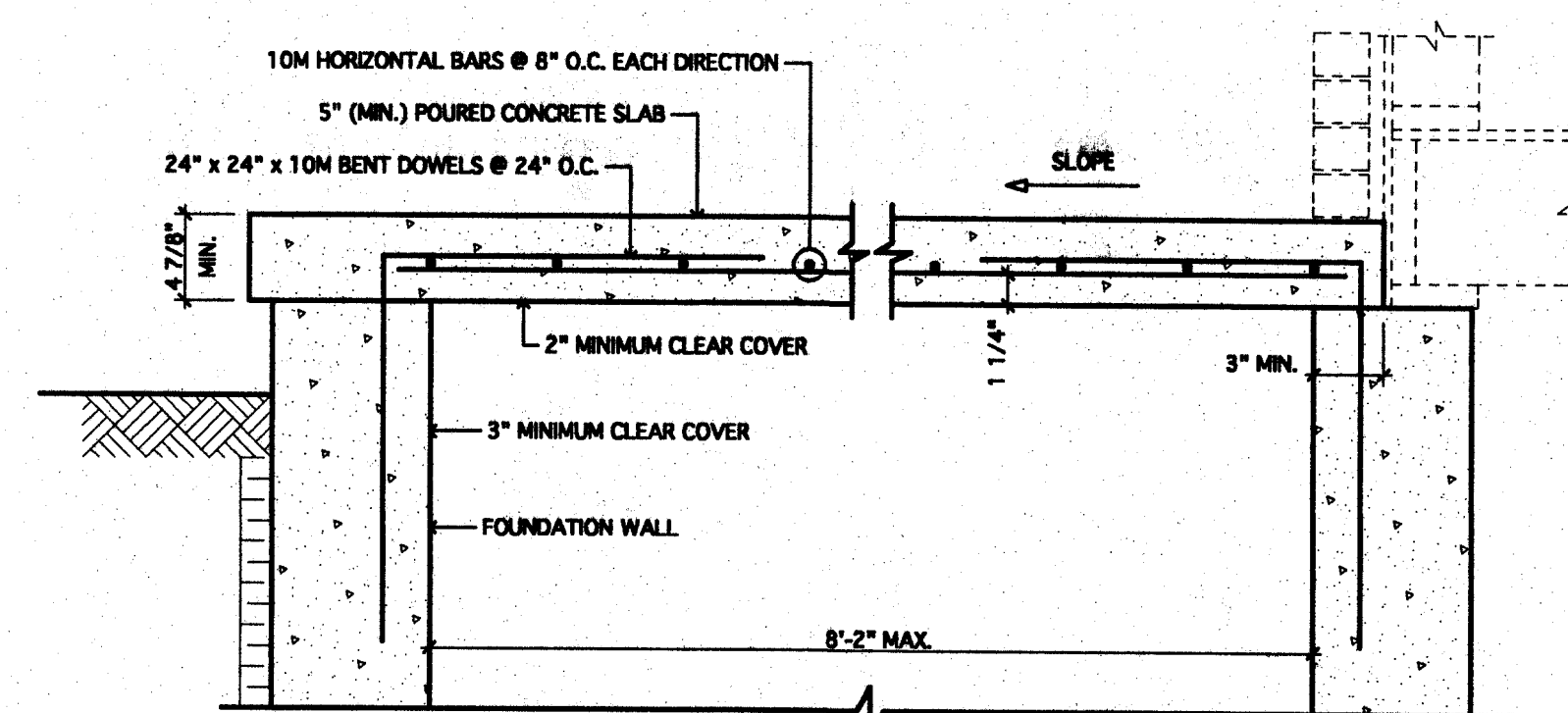
DESIGNED	S. GILES	1
DRAWN	S. GILES	REVISION

SCALE	1/4" = 1'-0"	A5
DATE	06/16/21	DRAWING

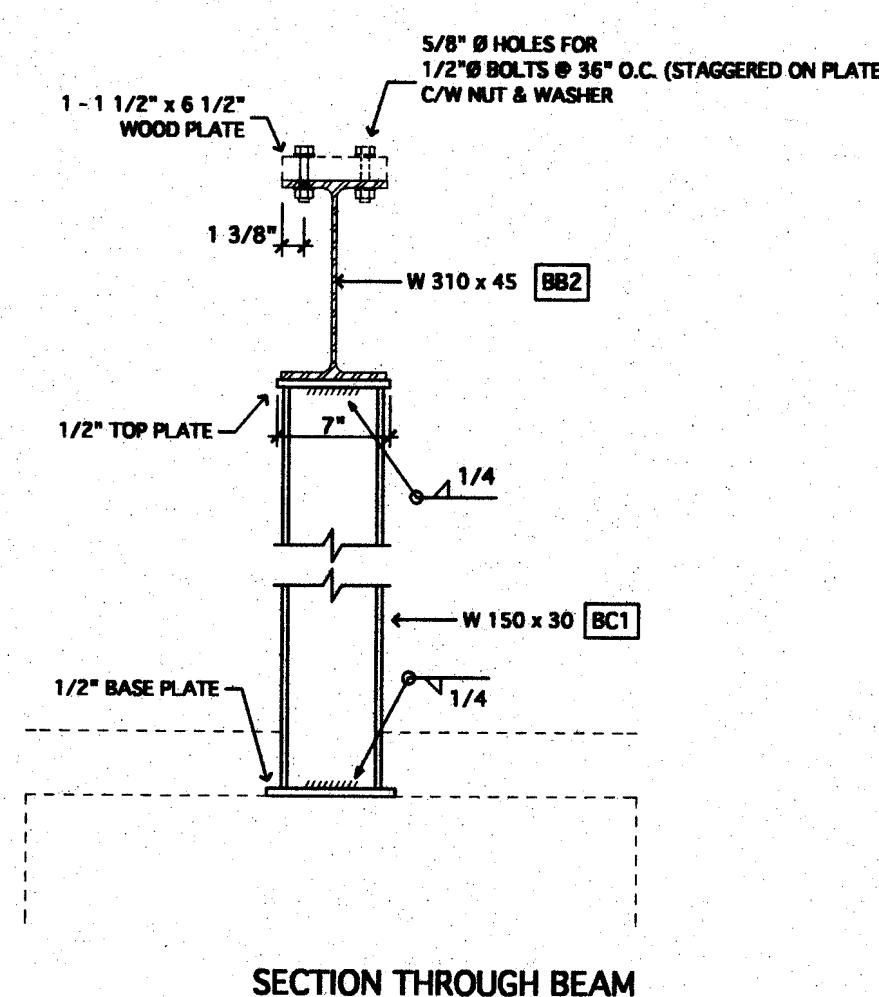




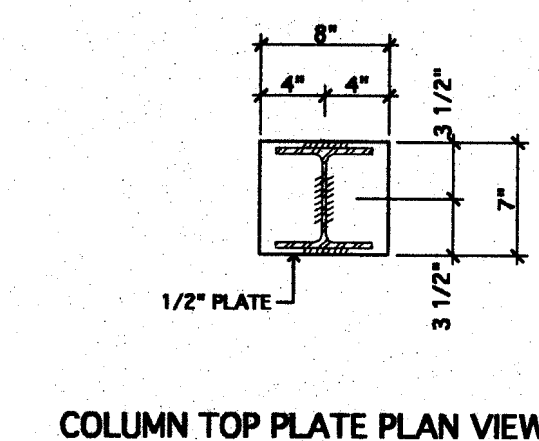
STRUCTURAL ITEMS ONLY  
AS MARKED \*



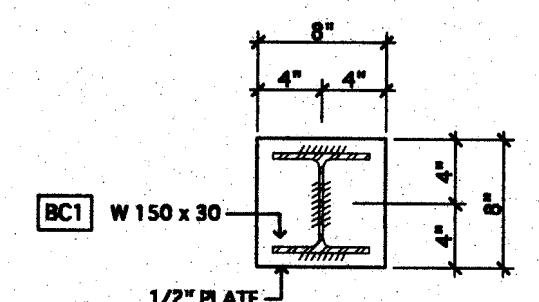
\* COLD STORAGE SLAB REINFORCING DETAIL  
1" = 1'-0"



SECTION THROUGH BEAM



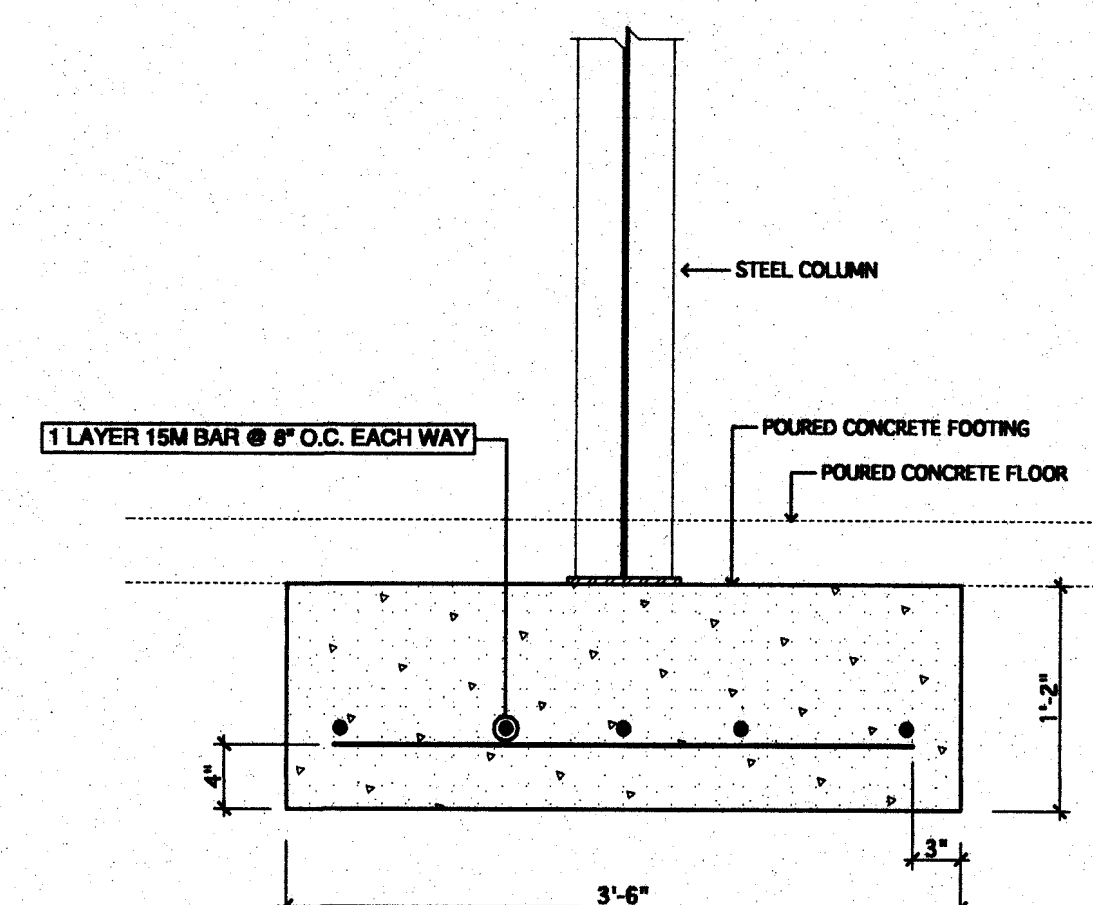
COLUMN TOP PLATE PLAN VIEW



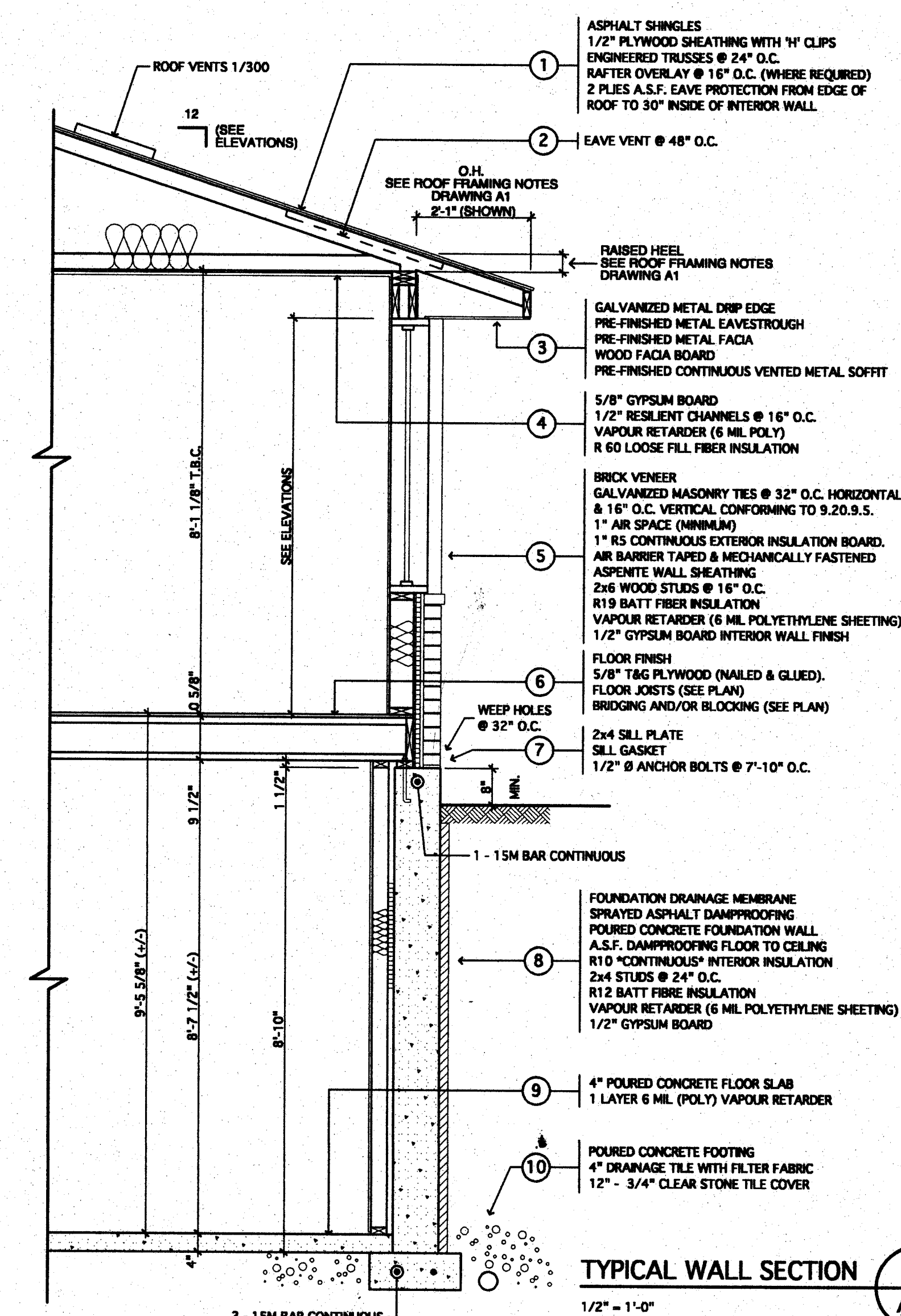
COLUMN BASE PLATE PLAN VIEW

\* STRUCTURAL STEEL DETAILS  
1" = 1'-0"

COLUMN BC-1



\* COLUMN BC-1 PAD FOOTING REINFORCING DETAIL  
SECTION  
1" = 1'-0"



TYPICAL WALL SECTION  
1/2" = 1'-0"

O.B.C. SUPPLEMENTARY STANDARD SB-12

THERMAL PERFORMANCE REQUIREMENTS FOR ADDITIONS TO EXISTING BUILDINGS, TABLE 3.1.1.11.(2) (P)

CEILING WITH ATTIC SPACE	MINIMUM NOMINAL R-VALUE	R60
WALLS ABOVE GRADE	MINIMUM NOMINAL R-VALUE	R19 + 5 ci
BASEMENT WALLS	MINIMUM NOMINAL R-VALUE	R12 + 10 ci
WINDOWS AND SLIDING GLASS DOORS	MAXIMUM U-VALUE	0.28

REVISION	DESCRIPTION	DATE
0	ISSUED FOR CONSTRUCTION	09/03/21
1	1. SEE SCHEDULE DRAWING A1. 2. SECTION C-C MOVED TO DRAWING A5.	06/33/22

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REGISTRATION INFORMATION

NAME	SCOTT GILES BUILDING TECHNOLOGIES INCORPORATED	32259
NAME	SCOTT GILES	21808

QUALIFICATION INFORMATION

NAME	SCOTT GILES	21808
------	-------------	-------

SCOTT GILES  
BUILDING TECHNOLOGIES INCORPORATED  
DESIGNERS OF FINE HOMES  
71 THOMPSON ROAD, WATERFORD, ONTARIO, N0K 1Y0  
519-443-7950

PROJECT SINGLE FAMILY DWELLING ADDITION  
FOR  
Mr. & Mrs. James Lucas  
1417 WINDHAM ROAD 10, WATERFORD, COUNTY OF HONOLUK

DESIGNED	S. GILES	1
DRAWN	S. GILES	REVISION
SCALE	1/4" = 1'-0" & AS NOTED	A 6
DATE	08/30/21	DRAWING



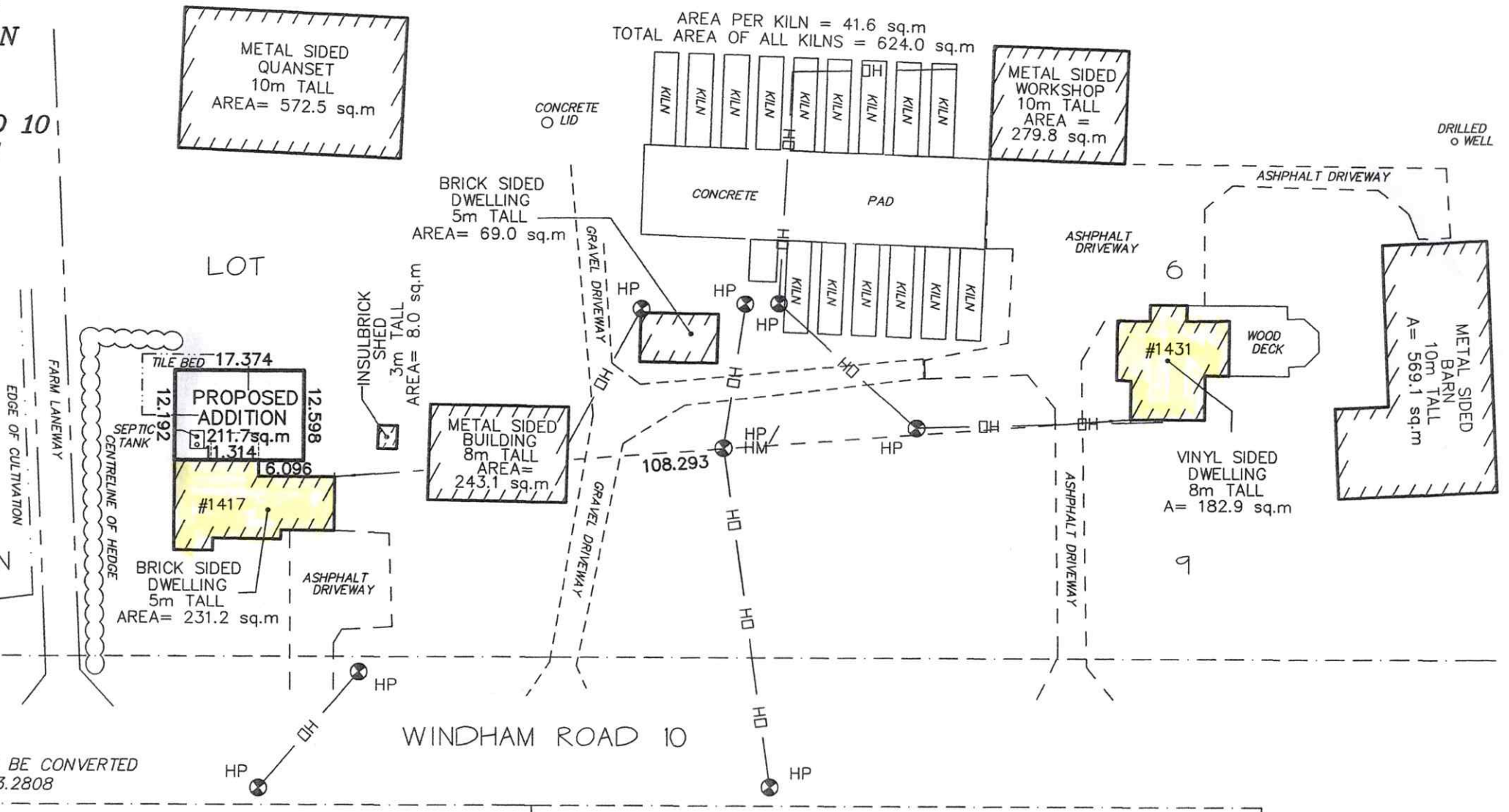
# SKETCH SHOWING PROPOSED ADDITION

**JIM LUCAS**  
#1417 WINDHAM ROAD 10  
WINDHAM CENTRE

SCALE: 1 : 750  
JEWITT AND DIXON LTD.  
NOVEMBER 8, 2023



CONCESSION



## NOTE:

THIS PLAN IS IN METRIC AND CAN BE CONVERTED  
TO IMPERIAL BY MULTIPLYING BY 3.2808

## CAUTION:

THIS IS NOT A PLAN OF SURVEY AND SHALL NOT  
BE USED FOR PURPOSES OTHER THAN THE  
PURPOSE INDICATED IN THE TITLE BLOCK.

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**JEWITT AND DIXON LTD.**  
**ONTARIO LAND SURVEYORS**

650 IRELAND ROAD, SIMCOE, ON, N3Y 4K2

PHONE: (519) 426-0842

E-mail: [info@jewittdixon.com](mailto:info@jewittdixon.com)

JOB # 22-3558 LUCAS SITE PLAN



## **Premise and Justification of Minor Variance Application For 1417 Windham Road 10**

This application is seeking relief from clauses 3.24.2 and 3.26, to facilitate construction of an addition to the second dwelling on this farm.

There are two lawfully constructed houses on this farm. The house numbered as 1431 and built in the late 1800's is considered by the Norfolk County Zoning Administrator to be the principal house.

The Zoning Administrator has concluded that house 1417 is a non-conforming use and therefore, prior to the issuance of a Building Permit to construct the proposed addition, relief must be sought from clauses 3.24.2 and 3.26.

### *3.24.1*

*Nothing in this By-Law shall prevent the use of any land, building or structure for any purpose prohibited by this By-Law if such land, building or structure was **lawfully established** and used for such purpose on the date of the passing of this By-Law, and provided that it continues to be used for that purpose.*

### *3.24.2*

*Nothing in this By-Law shall prevent the strengthening or restoration of a non-conforming building or structure to a safe condition so long as the strengthening or restoration does not alter the height, area, size or volume of the building or structure or changes its use to other than a conforming use.*

### *34.26*

*Where this By-Law allows a dwelling to be located on a lot, not more than one (1) dwelling shall be permitted.*





Dwelling 1431 Windham Road 10





Dwelling 1417 Windham Road 10

The proposed addition to #1417 is on the rear of the house and comprises 270 sq.m. in size. Both houses are situated on a 99 acre working farm.

No reliefs to any setbacks are sought.

Attached is a set of architectural plans for the proposed addition, along with a site plan sketch prepared by local surveyors Jewitt and Dixon.

Under Section 45(1) of the Planning Act there are four tests a minor variance must meet. In order to be considered the application must meet all four tests:

- Does the application conform to the general intent and purpose of the Official Plan.
- Does the application conform to the general intent and purpose of the Zoning Bylaw.
- Is the application desirable for the appropriate development of the lands in question.
- Is the application minor.

#### **Norfolk County Official Plan**

The subject property is designated as Agricultural in the Norfolk County Official Plan. Permitted uses within this designation include residences. The application enables the continued use of a residence in the Agricultural designation and therefore conforms to the general intent and purposes of the Norfolk County Official Plan.

#### **Norfolk County Zoning By-law 1-Z-2014**

Zoning By-law 1-Z-2014 zones the property Agricultural. Article 12.1.1 d) permits a single detached dwelling within the Agricultural Zone.

The construction of house 1417 was lawfully established by the issuance of Building Permit DE-48-80.

The general intent and purpose of the Norfolk County Zoning By-law is to maintain the character of the neighborhood. The surrounding lands are farmed and contain both residences and farm-related outbuildings and barns.



The proposed addition to dwelling 1417 is on the rear and will have no visual impact to the surrounding neighborhood. Therefore, it is a good fit with the established streetscape. The requested variance will maintain the general intent and purpose of the Zoning By-law and will promote continued and better use of the residential use established on this property.

### **Is the Variance Desirable and Appropriate**

The continued use of this property, with the proposed primary bedroom addition on the rear of the house is desirable, is compatible with and fits within the existing immediate neighborhood. This proposed addition is an improvement of the property and will facilitate continued and more enjoyable use of the house.

### **Is the Variance Minor in Nature**

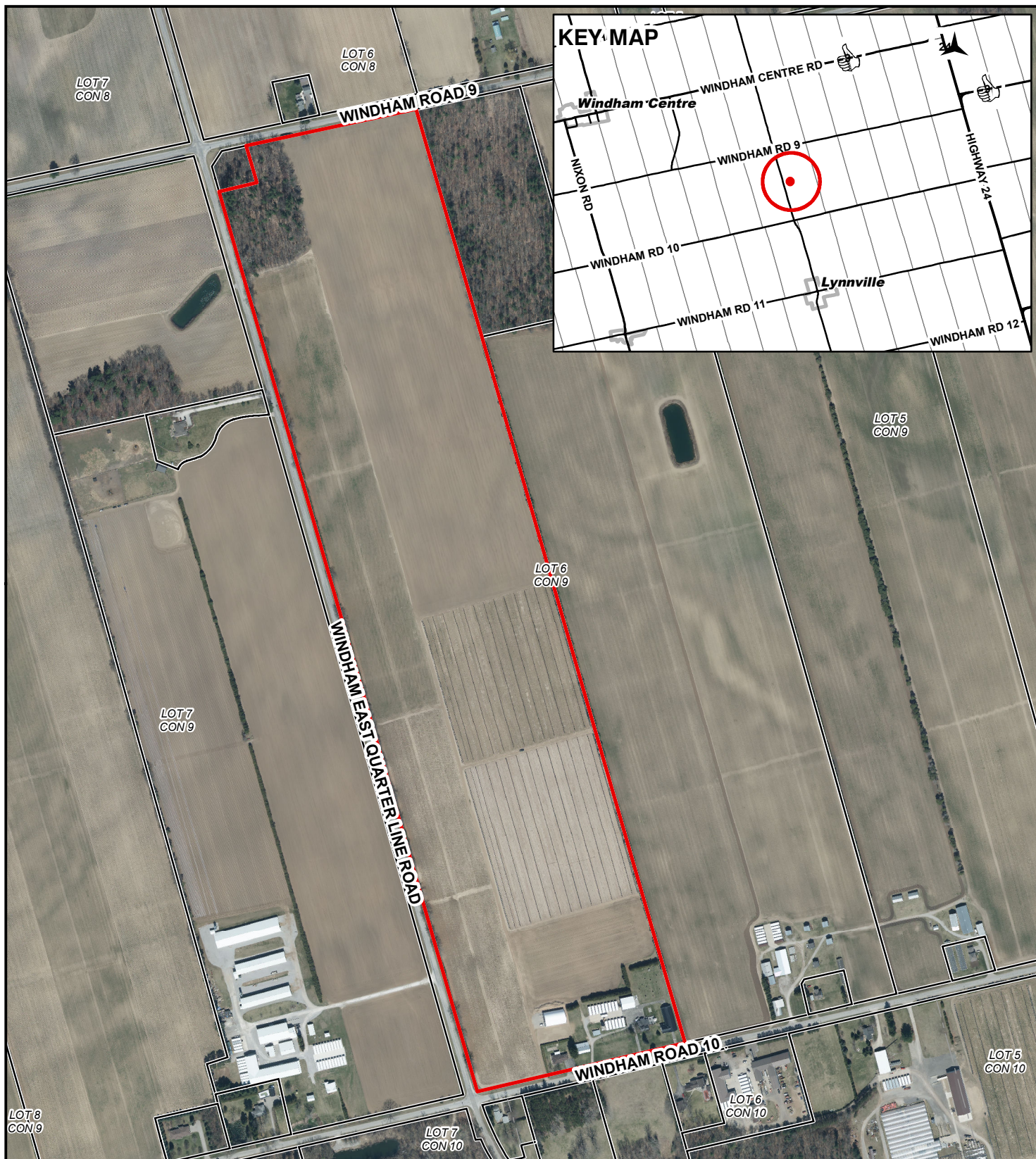
The application is minor in nature because it proposes an addition to the rear of a lawfully established dwelling. There are no reductions in setbacks and there is no visual impact on the neighborhood or streetscape.

### **Conclusion**

The requested variance to construct an addition to a second lawfully established house on this farm is minor in nature and appropriate for the neighborhood. It is compatible with the surrounding streetscape and promotes continued use and enjoyment of the existing dwelling, and generally meets the intent of the Norfolk County Official Plan and the Norfolk County Zoning By-law

David McPherson



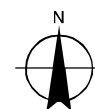


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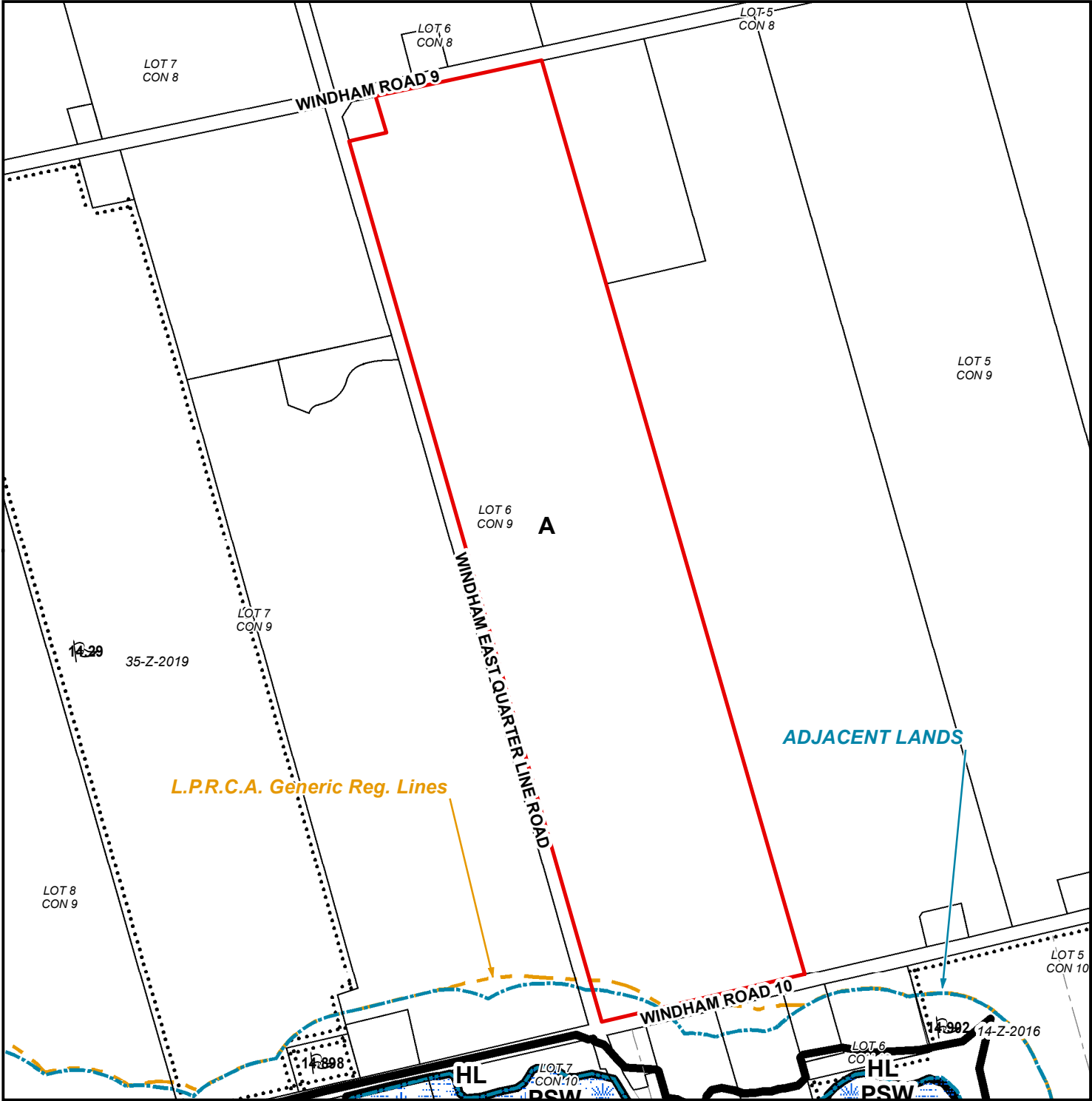
☐ Subject Lands

2020 Air Photo

**6/7/2024**



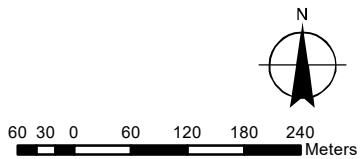
A scale bar with markings at 60, 30, 0, 60, 120, 180, and 240 meters.



LEGEND

- Subject Lands
- Adjacent Lands
- Wetland
- LPRCA Generic RegLines

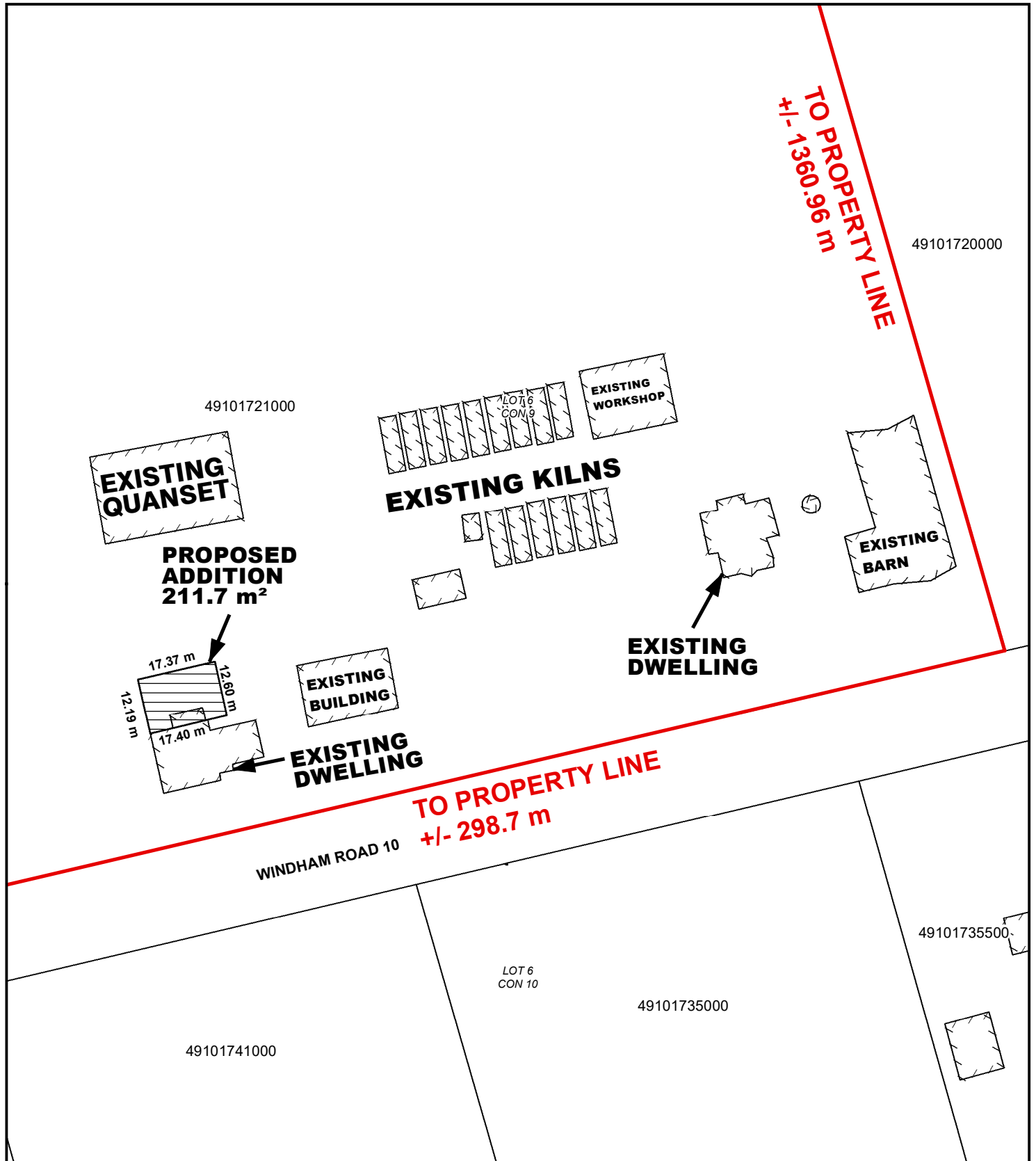
- (H) - Holding
- A - Agricultural Zone
- HL - Hazard Land Zone
- PSW - Provincially Significant Wetland Zone





CONCEPTUAL PLAN

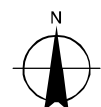
Geographic Township of WINDHAM



Legend

Subject Lands

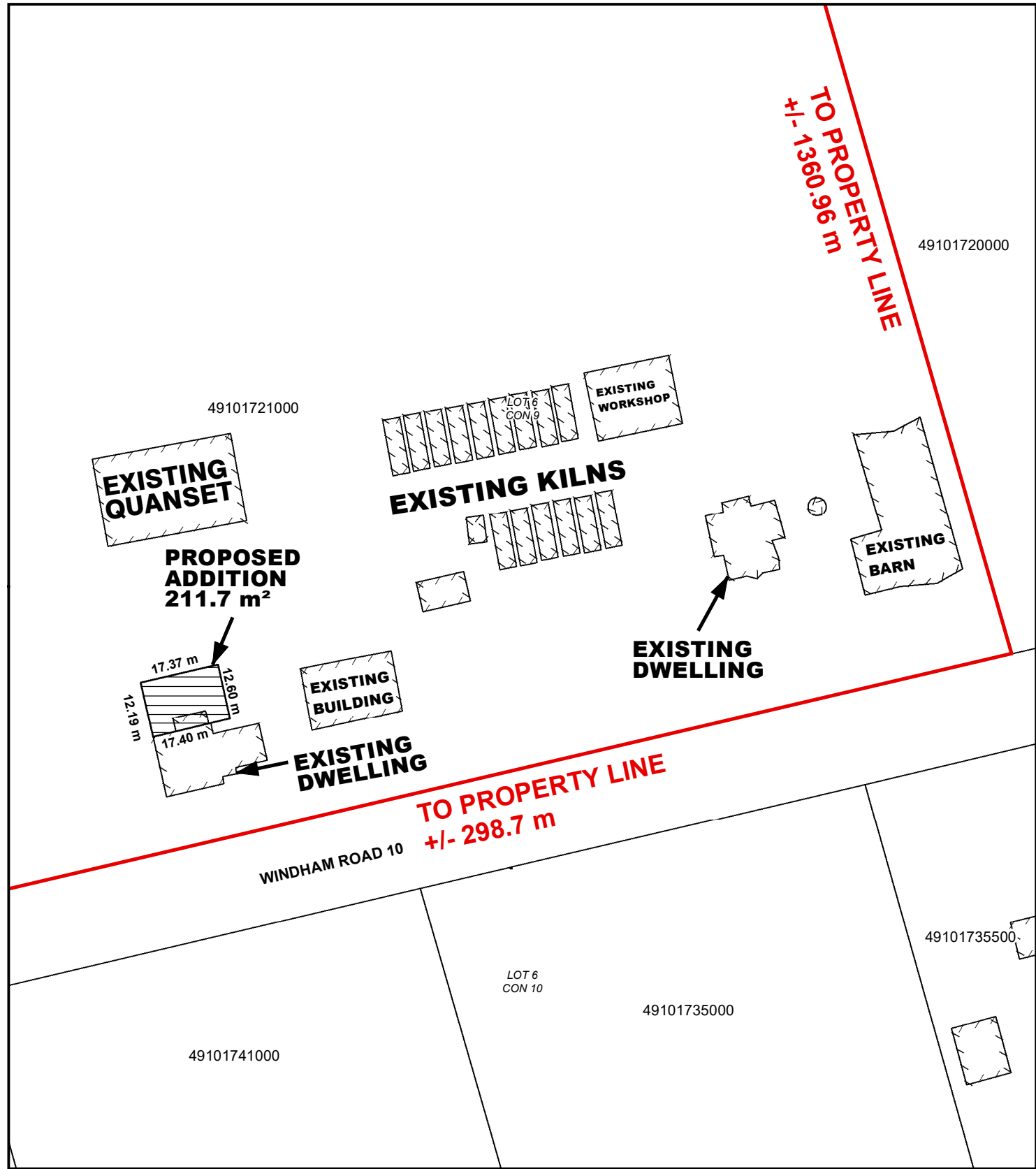
6/7/2024




9.5 4.75 0 9.5 19 28.5 38 Meters



CONCEPTUAL PLAN  
Geographic Township of WINDHAM



Legend

 Subject Lands

6/7/2024

