

Committee of Adjustment Application to Planning Department

Complete Application

A complete Committee of Adjustment application consists of the following:

1. A properly completed and signed application form (signature must on original version);
2. Supporting information adequate to illustrate your proposal as listed in **Section H** of this application form (plans are required in paper copy and digital PDF format);
3. Written authorization from all registered owners of the subject lands where the applicant is not the owner as per Section N; and,
4. Cash, debit or cheque payable to Norfolk County in the amount set out in the Norfolk County User Fees By-Law.

Planning application development fees are not required with the submission of your completed and signed development application. Your planning application fee will be determined by the planner when your application has been verified and deemed complete. Prepayments will not be accepted.

5. Completed applications are to be mailed to the attention of **Secretary Treasurer – Committee of Adjustment**: 185 Robinson Street, Suite 200, Simcoe, ON N3Y 5L6 or email your application committee.of.adjustment@norfolkcounty.ca. Make sure submissions are clearly labelled including address, name, and application type. Failure to do so may impact the timing of your application.

The above listed items are required to ensure that your application is given full consideration. An incomplete or improperly prepared application will not be accepted and may result in delays during the processing of the application. This application must be typed or printed in ink and completed in full.

Please review all of the important information summarised below.

Before your Application is Submitted

A pre-consultation meeting is not usually required for Committee of Adjustment applications; however, discussion with Planning Department staff prior to the submission of an application is **strongly encouraged**. The purpose of communicating with a planner **before** you submit your application is: to review your proposal / application, to discuss potential issues; and to determine the required supporting information and materials to be submitted with your application before it can be considered complete by staff. You might find it helpful to retain the services of an independent professional (such as a registered professional planner) to help you with your application. Information about the Official Plan and Zoning By-law can be found on the County website: www.norfolkcounty.ca/planning

After Your Application is Submitted

Once your payment has been received and the application submitted, in order for your application to be deemed complete all of the components noted above are required.

Incomplete applications will be identified and returned to the applicant. The *Planning Act* permits up to 30 days to review and deem an application complete.

Once your application has been deemed complete by the Planning Department, it is then circulated to public agencies and County departments for review and comment. A sign is also provided that is required to be posted on the subject lands that summarizes the application and identifies the committee meeting date. The comments received from members of the community will be included in the planning report and will inform any recommendations in relation to the application.

If the subject lands are located in an area that is regulated by either the Long Point Region Conservation Authority or by the Grand River Conservation Authority an additional fee will be required if review by the applicable agency is deemed necessary. A separate cheque payable to the Long Point Region Conservation Authority or the Grand River Conservation Authority is required in accordance with their fee schedule at the same time your application is submitted.

Additional studies required as part of the complete application shall be at the sole expense of the applicant. In some instances peer reviews may be necessary to review particular studies and that the cost shall be at the expense of the applicant. The company to complete the peer review shall be selected by the County.

If the application is withdrawn prior to the circulation to commenting agencies, the entire original fee will be refunded. If withdrawn after the circulation to agencies, half the original fee will be refunded. No refund is available after the public meeting and/or approval of application.

Notification Sign Requirements

Planning Department staff may post a notification sign on your property in advance of the public meeting on your behalf. Please keep this sign posted until you have received a notice in the mail indicating that the Secretary Treasurer received no appeals. However, it is the applicant's responsibility to ensure that the sign is correctly posted within the statutory timeframes, according to the *Planning Act*. Failure to post a sign in advance of the public meeting in accordance with statutory requirements will impact the timing of your application at the Committee of Adjustment meeting. Applicants are responsible for removal of the sign following the appeal period. The signs are recyclable and can be placed in your blue box.

Contact Us

For additional information or assistance in completing this application, please contact a planner at 519-426-5870 ext. 1842 or Committee.of.Adjustment@NorfolkCounty.ca



For Office Use Only:

File Number	_____	Application Fee	_____
Related File Number	_____	Conservation Authority Fee	_____
Pre-consultation Meeting	_____	Well & Septic Info Provided	_____
Application Submitted	_____	Planner	_____
Complete Application	_____	Public Notice Sign	_____

Check the type of planning application(s) you are submitting.

- ☐ Consent/Severance/Boundary Adjustment
- ☐ Surplus Farm Dwelling Severance and Zoning By-law Amendment
- ☒ Minor Variance
- ☐ Easement/Right-of-Way

Property Assessment Roll Number: 3310077000000104931**A. Applicant Information****Name of Owner** Peter VanderPlaat

It is the responsibility of the owner or applicant to notify the planner of any changes in ownership within 30 days of such a change.

Address 1584 Keenleyside Court

Town and Postal Code Mississauga L5G 2V9

Phone Number _____

Cell Number 416 460 6264

Email pvp01@sympatico.ca

Name of Applicant Darryl Hagan

Address 1724 Windham East Quarter Line

Town and Postal Code Windham Ctr, N0E 2A0

Phone Number _____

Cell Number 519 428 7350

Email swiftdalefarms@msn.com

Name of Agent

Darryl Hagan Construction

Address

1724 Windham East Quarter Line

Town and Postal Code

Windham Ctr N0E 2A0

Phone Number**Cell Number**

519 428 7350

Email

swiftdalefarms@msn.com

Please specify to whom all communications should be sent. Unless otherwise directed, all correspondence and notices in respect of this application will be forwarded to the owner and agent noted above.

☐ Owner☒ Agent☐ Applicant

Names and addresses of any holder of any mortgagees, charges or other encumbrances on the subject lands:

No mortgages on this property

B. Location, Legal Description and Property Information

1. Legal Description (include Geographic Township, Concession Number, Lot Number, Block Number and Urban Area or Hamlet):

16 ORDNANCE AVE, Norfolk County Lot 81,PT , Block, Plan 128, CHR PLAN 128

LOT 81,PT LOT82 CON A PT LOT 12 IN FRONT RP 37R5296 PART 70 RP 37R6205

Municipal Civic Address: 16 Ordinance Ave

Present Official Plan Designation(s): Plan 128

Present Zoning: RR

2. Is there a special provision or site specific zone on the subject lands?

☐ Yes ☒ No If yes, please specify:

3. Present use of the subject lands:

Residential (Cottage)

4. Please describe **all existing** buildings or structures on the subject lands and whether they are to be retained, demolished or removed. If retaining the buildings or structures, please describe the type of buildings or structures, and illustrate the setback, in metric units, from front, rear and side lot lines, ground floor area, gross floor area, lot coverage, number of storeys, width, length, and height on your attached sketch which must be included with your application:

Existing cottage, Existing Shed, Existing Front & Rear Deck

5. If an addition to an existing building is being proposed, please explain what it will be used for (for example a bedroom, kitchen, or bathroom). If new fixtures are proposed, please describe.

Bedroom, den and bathroom 4 new fixtures in washroom

6. Please describe **all proposed** buildings or structures/additions on the subject lands. Describe the type of buildings or structures/additions, and illustrate the setback, in metric units, from front, rear and side lot lines, ground floor area, gross floor area, lot coverage, number of storeys, width, length, and height on your attached sketch which must be included with your application:

674 sqft Addition

7. Are any existing buildings on the subject lands designated under the *Ontario Heritage Act* as being architecturally and/or historically significant? Yes ☐ No ☒

If yes, identify and provide details of the building:

8. If known, the length of time the existing uses have continued on the subject lands:

9. Existing use of abutting properties:

Residential Resort

10. Are there any easements or restrictive covenants affecting the subject lands?

☐ Yes ☒ No If yes, describe the easement or restrictive covenant and its effect:

C. Purpose of Development Application

Note: Please complete all that apply. **Failure to complete this section will result in an incomplete application.**

1. Site Information (Please refer to Zoning By-law to confirm permitted dimensions)

	Existing	Permitted	Provision	Proposed	Deficiency
Lot frontage	24m				
Lot depth	45.6m				
Lot width	23.87m				
Lot area	908.7 sq.m.	0.4 ha		908.7 sq.m.	0.3091 ha
Lot coverage	16%	15%		30%	14%
Front yard	8.85m			8.5m	None
Rear yard	11.74m				
Height	5.3m				
Left Interior side yard	8.76m			3.32m	None
Right Interior side yard	5.43m				
Exterior side yard (corner lot)					
Parking Spaces (number)					
Aisle width					
Stall size					
Loading Spaces					
Other					

2. Please explain why it is not possible to comply with the provision(s) of the Zoning By-law:

The original layout of street design has created irregularities of lot sizes and dimensions making it difficult to place an addition without minor variance requirements

3. **Consent/Severance/Boundary Adjustment:** Description of land intended to be severed in metric units:

Frontage: _____

Depth: _____

Width: _____

Lot Area: _____

Present Use: _____

Proposed Use: _____

Proposed final lot size (if boundary adjustment): _____

If a boundary adjustment, identify the assessment roll number and property owner of the lands to which the parcel will be added: _____

Description of land intended to be retained in metric units:

Frontage: _____

Depth: _____

Width: _____

Lot Area: _____

Present Use: _____

Proposed Use: _____

Buildings on retained land: _____

4. **Easement/Right-of-Way:** Description of proposed right-of-way/easement in metric units:

Frontage: _____

Depth: _____

Width: _____
Area: _____
Proposed Use: _____

5. Surplus Farm Dwelling Severances Only: List all properties in Norfolk County, which are owned and farmed by the applicant and involved in the farm operation

Owners Name: _____
Roll Number: _____
Total Acreage: _____
Workable Acreage: _____
Existing Farm Type: (for example: corn, orchard, livestock) _____
Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built _____
Date of Land Purchase: _____

Owners Name: _____
Roll Number: _____
Total Acreage: _____
Workable Acreage: _____
Existing Farm Type: (for example: corn, orchard, livestock) _____
Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built _____
Date of Land Purchase: _____

Owners Name: _____
Roll Number: _____
Total Acreage: _____
Workable Acreage: _____
Existing Farm Type: (for example: corn, orchard, livestock) _____
Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built _____
Date of Land Purchase: _____

Owners Name: _____
Roll Number: _____
Total Acreage: _____
Workable Acreage: _____
Existing Farm Type: (for example: corn, orchard, livestock) _____
Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built _____
Date of Land Purchase: _____

Owners Name: _____
Roll Number: _____
Total Acreage: _____
Workable Acreage: _____
Existing Farm Type: (for example: corn, orchard, livestock) _____
Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built _____
Date of Land Purchase: _____

Note: If additional space is needed please attach a separate sheet.

D. All Applications: Previous Use of the Property

1. Has there been an industrial or commercial use on the subject lands or adjacent lands? ☐ Yes ☒ No ☐ Unknown

If yes, specify the uses (for example: gas station, or petroleum storage):

2. Is there reason to believe the subject lands may have been contaminated by former uses on the site or adjacent sites? ☐ Yes ☒ No ☐ Unknown

3. Provide the information you used to determine the answers to the above questions:

4. If you answered yes to any of the above questions in Section D, a previous use inventory showing all known former uses of the subject lands, or if appropriate, the adjacent lands, is needed. Is the previous use inventory attached? ☐ Yes ☐ No

E. All Applications: Provincial Policy

1. Is the requested amendment consistent with the provincial policy statements issued under subsection 3(1) of the *Planning Act, R.S.O. 1990, c. P. 13*? ☒ Yes ☐ No

If no, please explain:

2. It is owner's responsibility to be aware of and comply with all relevant federal or provincial legislation, municipal by-laws or other agency approvals, including the Endangered Species Act, 2007. Have the subject lands been screened to ensure that development or site alteration will not have any impact on the habitat for endangered or threatened species further to the provincial policy statement subsection 2.1.7? ☒ Yes ☐ No

If no, please explain:

3. Have the subject lands been screened to ensure that development or site alteration will not have any impact on source water protection? ☒ Yes ☐ No

If no, please explain:

Note: If in an area of source water Wellhead Protection Area (WHPA) A, B or C please attach relevant information and approved mitigation measures from the Risk Manager Official.

4. All Applications: Are any of the following uses or features on the subject lands or within 500 metres of the subject lands, unless otherwise specified? Please check boxes, if applicable.

Livestock facility or stockyard (submit MDS Calculation with application)

☐ On the subject lands or ☐ within 500 meters – distance _____

Wooded area

☐ On the subject lands or ☐ within 500 meters – distance _____

Municipal Landfill

☐ On the subject lands or ☐ within 500 meters – distance _____

Sewage treatment plant or waste stabilization plant

☐ On the subject lands or ☐ within 500 meters – distance _____

Provincially significant wetland (class 1, 2 or 3) or other environmental feature

☐ On the subject lands or ☐ within 500 meters – distance _____

Floodplain

☐ On the subject lands or ☐ within 500 meters – distance _____

Rehabilitated mine site

☐ On the subject lands or ☐ within 500 meters – distance _____

Non-operating mine site within one kilometre

☐ On the subject lands or ☐ within 500 meters – distance _____

Active mine site within one kilometre

☐ On the subject lands or ☐ within 500 meters – distance _____

Industrial or commercial use (specify the use(s))

☐ On the subject lands or ☐ within 500 meters – distance _____

Active railway line

☐ On the subject lands or ☐ within 500 meters – distance _____

Seasonal wetness of lands

☐ On the subject lands or ☐ within 500 meters – distance _____

Erosion

☐ On the subject lands or ☐ within 500 meters – distance _____

Abandoned gas wells

☐ On the subject lands or ☐ within 500 meters – distance _____

F. All Applications: Servicing and Access

1. Indicate what services are available or proposed:

Water Supply

- ☐ Municipal piped water ☐ Communal wells
☐ Individual wells ☒ Other (describe below)

Private Piped Water by Turkey Point Water Systems Ltd

Sewage Treatment

- ☐ Municipal sewers ☐ Communal system
☐ Septic tank and tile bed in good working order ☒ Other (describe below)

New Filter Bed

Storm Drainage

- ☒ Storm sewers ☐ Open ditches
☐ Other (describe below)

Eng. Grading Plan

2. Existing or proposed access to subject lands:

- ☒ Municipal road ☐ Provincial highway
☐ Unopened road ☐ Other (describe below)

Name of road/street:

G. All Applications: Other Information

1. Does the application involve a local business? ☐ Yes ☒ No

If yes, how many people are employed on the subject lands?

2. Is there any other information that you think may be useful in the review of this application? If so, explain below or attach on a separate page.

H. Supporting Material to be submitted by Applicant

In order for your application to be considered complete, folded hard copies (number of paper copies as directed by the planner) and an **electronic version (PDF) of the site plan drawings, additional plans, studies and reports** will be required, including but not limited to the following details:

1. Concept/Layout Plan
2. All measurements in metric
3. Existing and proposed easements and right of ways
4. Parking space totals – required and proposed
5. All dimensions of the subject lands
6. Dimensions and setbacks of all buildings and structures
7. Location and setbacks of septic system and well from all existing and proposed lot lines, and all existing and proposed structures
8. Names of adjacent streets
9. Natural features, watercourses and trees

In addition, the following additional plans, studies and reports, including but not limited to, **may** also be required as part of the complete application submission:

- ☐ On-Site Sewage Disposal System Evaluation Form (to verify location and condition)
- ☐ Environmental Impact Study
- ☐ Geotechnical Study / Hydrogeological Review
- ☐ Minimum Distance Separation Schedule
- ☐ Record of Site Condition

Your development approval might also be dependent on Ministry of Environment Conservation and Parks, Ministry of Transportation or other relevant federal or provincial legislation, municipal by-laws or other agency approvals.

All final plans must include the owner's signature as well as the engineer's signature and seal.

I. Transfers, Easements and Postponement of Interest

The owner acknowledges and agrees that if required it is their solicitor's responsibility on behalf of the owner for the registration of all transfer(s) of land to the County, and/or transfer(s) of easement in favour of the County and/or utilities. Also, the owner further acknowledges and agrees that it is their solicitor's responsibility on behalf of the owner for the registration of postponements of any charges in favour of the County.

Permission to Enter Subject Lands

Permission is hereby granted to Norfolk County officers, employees or agents, to enter the premises subject to this application for the purposes of making inspections associated with this application, during normal and reasonable working hours.

Freedom of Information

For the purposes of the *Municipal Freedom of Information and Protection of Privacy Act*, I authorize and consent to the use by or the disclosure to any person or public body any information that is collected under the authority of the *Planning Act, R.S.O. 1990, c. P. 13* for the purposes of processing this application.

Owner/Applicant/Agent Signature

Date

J. Owner's Authorization

If the applicant/agent is not the registered owner of the lands that is the subject of this application, the owner must complete the authorization set out below.

I/We Jane VanderPlaat am/are the registered owner(s) of the lands that is the subject of this application.

I/We authorize Jane VanderPlaat to make this application on my/our behalf and to provide any of my/our personal information necessary for the processing of this application. Moreover, this shall be your good and sufficient authorization for so doing.

Owner

Date

Owner

Date

***Note:** If property is owned by an Ontario Ltd. Corporation, Articles of Incorporation are required to be attached to the application.

K. Declaration

I, _____ of _____

solemnly declare that:

all of the above statements and the statements contained in all of the exhibits transmitted herewith are true and I make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath and by virtue of *The Canada Evidence Act*.

Declared before me at:

Owner/Applicant/Agent Signature

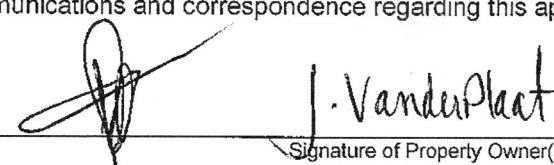
In _____

This _____ day of _____

A.D., 20____

A Commissioner, e

Darryl will
Be dropping
Signed copy off
and will send
Scanned copy later

A. Project Information			
Property Address 16 Ordnance Ave, Turkey Point		Unit number	Lot/con.
Municipality NORFOLK COUNTY	Postal Code N0E 1T0		
B. Property Owner(s)			
Last name Vanderplaat	First name Peter & Jane	Corporation or partnership	
Street address 1584 Keenleyside Court, Mississauga		Unit number	
Municipality Peel	Postal code L5G 2V9	Province ON	E-mail pvp01@sympatico.ca
Telephone number 416 460-6264		Cell number 905 302-9366	
C. Property Owner(s)			
Last name Hagan	First name Darryl	Corporation or partnership	
Street address 1724 Windham East Ctr Line Windham Ctr.		Unit number	
Municipality M-N	Postal code N0E 2A0	Province Ont	E-mail Swiftdale Farmsemsn.c
Telephone number		Cell number 579 428-7350	
D. Declaration of Property Owner(s)			
Peter & Jane VanderPlaat _____, hereby Name of Property Owner(s) (please print)			
authorize and appoint the party stated in Section C of this form as my agent for the purposes of the submitted permit application. I understand that all communications and correspondence regarding this application shall be directed to the applicant.			
April 22, 2024 Date		 Signature of Property Owner(s)	

Note:

- The Ontario Building Code states that "owner includes, in respect of the property on which the construction or demolition will take place, the registered owner, a lessee or mortgagee in possession".

TOPOGRAPHIC SITE PLAN

FOR:
RYAN HEMERYCK
#15 ORDNANCE AVENUE
TURKEY POINT
PIN 50267 - 0368 (LT)

SCALE 1 : 150

1.5 0 6 METRES

JEWITT AND DIXON LTD.

METRIC NOTE:

DISTANCES AND COORDINATES ARE METRIC AND CAN
BE CONVERTED TO IMPERIAL BY DIVIDING BY 0.3048

UTILITY NOTE:

THE VARIOUS UTILITY LOCATIONS SHOWN ON THIS PLAN ARE
BASED ON PHYSICAL LOCATES OF ABOVE GROUND SERVICES.
PRIOR TO ANY ON SITE CONSTRUCTION ACTIVITY A VERIFICATION
LOCATE OF UNDERGROUND SERVICES IS BOTH RECOMMENDED
AND ADVISED.

SITE B.M.#1
SPIKE IN WEST FACE
OF WOOD HYDRO POLE
ELEV = 175.74
(GEODEIC)

LEGEND	SHOWN	BBX	BM
BELL BOX	SHOWN	□	□
UNDERSIDE OF SODING	SHOWN	U.S.S.	U.S.S.
TOP OF FOUNDATION	SHOWN	TOP	TOP
OVERHEAD HYDRO LINE	SHOWN	O/H	O/H
WATER VALVE	SHOWN	WV	WV
HYDRO POLE	SHOWN	HP	HP
CONCRETE TREE	SHOWN	CT	CT
CONCRETE TREE	SHOWN	CT	CT

NOTES

- 1) - A SURVEY OF THE SUBJECT PROPERTY HAS NOT
BEEN MADE AVAILABLE
- 2) - ELEVATIONS ARE REFERRED TO CANADIAN GEODEIC
DATA, NAD83 (CSRS) HYDRO (2010)
- 3) - THIS SKETCH WAS COMPLETED FROM FIELD WORK
COMPLETED ON THE 31st DAY OF AUGUST, 2023

JEWITT AND DIXON LTD.
ONTARIO LAND SURVEYORS

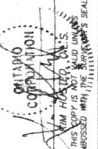
650 IRELAND ROAD

SIMCOE, ONTARIO, N3Y 4K2

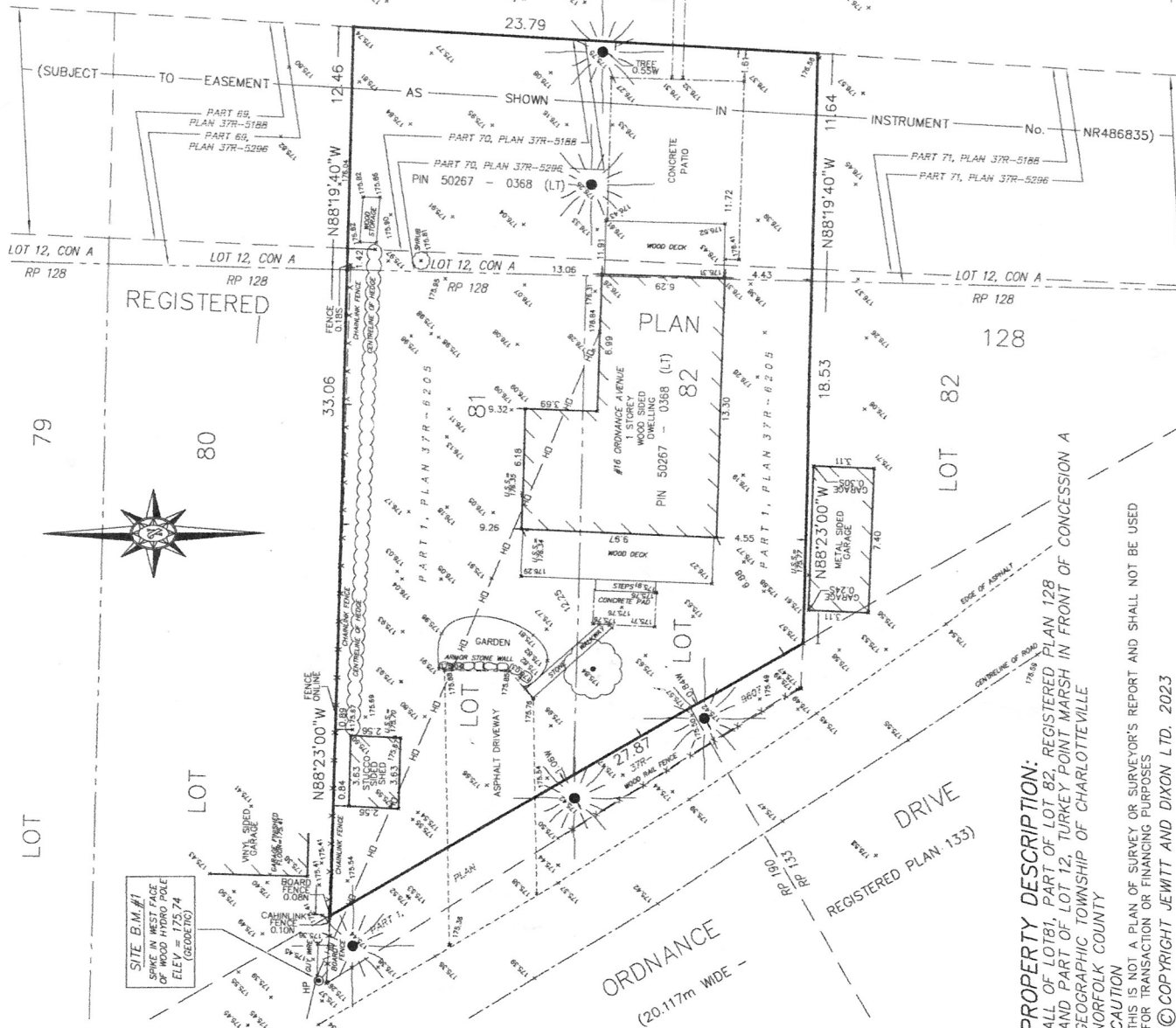
PHONE: (519) 426-0842

E-mail: info@jewittdixon.com

SEPTEMBER 27, 2023



GEOGRAPHIC
TURKEY POINT MARSH IN FRONT OF
TOWNSHIP OF CHARLOTTEVILLE
LOT 12 CONCESSION A



PROPERTY DESCRIPTION:

ALL OF LOT 12, PART OF LOT 82, REGISTERED PLAN 128
AND PART OF LOT 12, TURKEY POINT MARSH IN FRONT OF CONCESSION A
GEOGRAPHIC TOWNSHIP OF CHARLOTTEVILLE
NORFOLK COUNTY

CAUTION

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CAUTION
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RE: 16 Ordnance Ave - Darryl Hagan Construction

Tanya Hill-Montour <tanyahill-montour@sixnations.ca>

Sat 2024-05-18 9:00 AM

To: Shelley Hagan <SWIFTDALFARMS@msn.com>

Hi Shelley,

Much appreciated sending me the drafts.

I will reach out to Hannah to inform her that Six Nations has no concerns with the project.

Nia':wen ko:wa (thankyou)

Tanya Hill-Montour

Six Nations of the Grand River Archaeological Supervisor

226.388.0665

From: Shelley Hagan <swiftdalefarms@msn.com>

Sent: Tuesday, May 14, 2024 4:07 PM

To: Tanya Hill-Montour <tanyahill-montour@sixnations.ca>

Subject: [External] 16 Ordnance Ave - Darryl Hagan Construction

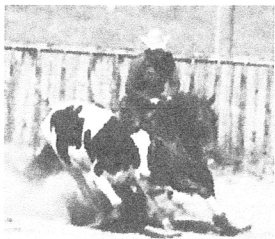
Please see the attached – The file with the home drawings Darryl wanted you to only have A3 but easier just to send you the entire file

The scanned file has 2 different files combined into one

If you need anything else please reach out

Shelley Hagan

Sunfield Farm



O.B.C. SB-12 COMPLIANCE PACKAGE - 3.1.1.2.A (IP)	Addition
BUILDING COMPONENT	MIN. R VALUE OR MAX. U-VALUE
THERMAL INSULATION	
CEILING WITH ATTIC SPACE	R60
CEILING WITHOUT ATTIC SPACE	R31
EXPOSED FLOOR	R31
WALLS ABOVE GRADE	R19+5ci
BASEMENT WALLS	R12+10ci OR R20ci
SLAB (ALL >24" BELOW GRADE)	-
SLAB (EDGE ONLY ≤24" BELOW GRADE)	R10
SLAB (ALL ≤24" BELOW GRADE, OR HEATED)	R10
WINDOWS & DOORS	
WINDOWS/SLIDING GLASS DOORS (MAX. U-VALUE)	0.28
SKYLIGHTS/GLAZED ROOFS (MAX. U-VALUE)	N/A

PG #	SHEET NAME
A-0	COVER PAGE
A-1	AS-BUILTS
A-2	FOUNDATION PLAN
A-3	MAIN FLOOR PLAN
A-4	ELEVATIONS
A-5	ELEVATIONS
A-6	SECTION & DETAILS

<p>ROOM IDENTIFIER</p> <p>ROOM NAME</p> <p>10'-0" x 10'-0" → VERT. ROOM SIZE</p> <p>→ HORZ. ROOM SIZE</p>	<p>ENLARGED PLAN DETAIL</p> <p>DETAIL EXTENT</p> <p>1 A-1 → DETAIL NUMBER</p> <p>A-1 → SHEET NUMBER</p>
<p>BUILDING SECTION</p> <p>1 A-1 → DETAIL NUMBER</p> <p>A-1 → SHEET NUMBER</p>	<p>WALL SECTION</p> <p>1 A-1 → DETAIL NUMBER</p> <p>A-1 → SHEET NUMBER</p>
<p>BUILDING ELEVATION</p> <p>A-1 → 1 → DETAIL NUMBER</p> <p>A-1 → SHEET NUMBER</p>	<p>INTERIOR ELEVATION</p> <p>1 A-1 → 1 → DETAIL NUMBER</p> <p>A-1 → SHEET NUMBER</p>
<p>CEILING IDENTIFIER</p> <p>S-1 → S-1 → CEILING HEIGHT</p>	<p>ASSEMBLY IDENTIFIERS</p> <p>W2 → WALL / PARTITION TYPE</p>
<p>SMOKE ALARM & CO DETECTORS</p> <p>S.A. C.O. → S.A.</p> <p>S.A. → S.A.</p>	<p>FLOOR DRAIN</p> <p>F.D. → F.D.</p>

CONC.	-	CONCRETE
C.L.	-	CENTRE LINE
C/W	-	COMPLETE WITH
C.P.	-	CARPON NONWOODIE
C.I.P	-	CAST IN PLACE
D.W.	-	DESHRIMMER
F.R.R.	-	FIRE RESISTANCE RATING
G.W.B	-	GYPSON WALL BOARD
H/R	-	HISOR
HVAC	-	HEATING VENTILATION AIR CONDITIONING
O/C	-	ON CENTRE
R/C	-	RECORDED
R.W.	-	RAIN WATER
S.A	-	SMOKE ALARM
S.T.C	-	SOUND TRANSMISSION CLASS
W/	-	WITH
Ø	-	DIAMETER
ea.	-	EACH

ITEM	REQ'D	EXISTING	PROPOSED
ZONE	-	RR	-
SITE AREA	EXISTING	97815F (908.7m2)	EXISTING
COVERAGE	15.0% 1467.25F (136.3m2)	16% 1567.05F (145.6m2)	29% 2800.05F (260.1m2)
ACCESSORY COVERAGE	10% 978.15F (90.9m2)	1% 96.05F (8.916688m2)	1% 96.05F (8.9m2)
SETBACKS	REQUIRED		
FRONT YARD		6.0m	
INT. SIDE YARD		1.2m	
REAR YARD		9.0m	
EXT. SIDE YARD		6.0m	
EXTRA NOTES:			



A black and white line drawing of a modern ranch-style house. The house features a large two-car garage with a multi-paneled door on the left. To the right of the garage is a covered front porch supported by square columns, with a set of steps leading up to it. The main entrance is a double door with a transom window. There are several windows, including a large multi-paned window above the porch and a dormer window on the roof. Two red Adirondack chairs are placed on the porch. A Range Rover and a sedan are parked in the driveway in front of the garage. The house has a gabled roof with decorative trusses visible in the gables.

W-E1 / SIDING

- PRE-FINISHED SIDING (BY OTHERS)
- OPTIONAL TYVEK AIR BARRIER
- 1" R5 RIGID INSULATION
- 7/16" O.S.B. SHEATHING
- 2x6 STUDS @ 16" o.c. c/w R19 BATT INSULATION
- 6 MIL POLY VAPOUR BARRIER
- 1/2" GYPSUM WALL BOARD

W-E2 / SIDING (GARAGE)

- PRE-FINISHED SIDING (BY OTHERS)
- OPTIONAL TYVEK AIR BARRIER
- 1x4 STRAPPING @ 24" o.c.
- 2x6 STUDS @ 16" o.c. c/w OPTIONAL R19 BATT INSULATION
- 6 MIL POLY VAPOUR BARRIER
- 1/2" GYPSUM WALL BOARD

W-E4 / GARAGE TO INTERIOR

- 1/2" GYPSUM WALL BOARD (SEALED COMPLETE @ 10.9.16)
- 7" R5 RIGID INSULATION c/w METAL WIND BRACING WHERE POSSIBLE
- 2x6 STUDS @ 16" o.c. c/w R19 BATT INSULATION
- 6 MIL POLY VAPOUR BARRIER
- 1/2" GYPSUM WALL BOARD

W-F1 / FOUNDATION WALL c/w WATERPROOFING

Diagram W-F1 shows a cross-section of a foundation wall with the following layers from left to right:

- DRAINAGE MAT
- DAMPPROOFING
- 15 mpa. C.I.P. CONCRETE FOUNDATION

W-F2 / FOUNDATION WALL

Diagram W-F2 shows a cross-section of a foundation wall with the following layer:

- 15 mpa. C.I.P. CONCRETE FOUNDATION

W-P1 / 2x4 G.W.B. (BOTH SIDES)

1/2" GYPSUM BOARD

2x4 WOOD STUDS @ 16" o.c. MAX.

1/2" GYPSUM BOARD

W-P2 / 2x6 G.W.B. (BOTH SIDES)

1/2" GYPSUM BOARD

2x6 WOOD STUDS @ 16" o.c. MAX.

1/2" GYPSUM BOARD

1. DRAWINGS ARE NOT TO BE SCALED.
2. ALL DIMENSIONS AND INSTALLATIONS ARE TO BE VERIFIED ON SITE.
3. ALL DIMENSIONS INDICATED ON FLOOR PLANS ARE TO EXTERIOR FACE FOR EXTERIOR WALLS, OR FACE OF STRUCTURE / FACE OF STUD OF INTERIOR PARTITION WALLS. SEE PLAN FOR DIMENSION LINE NOTATION.
4. CONTRACTOR TO COMPLY TO ONTARIO BUILDING CODE (OBC) 2012 IN ADDITION TO ANY AND ALL ACTING HAVING JURISDICTION DURING ALL PHASES OF WORK.
5. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ATTEND ALL OMISSIONS, DISCREPANCIES, INCLUDING DIMENSIONS, TO THE ATTENTION OF THE DESIGNER PRIOR TO THE COMMENCING OF ANY WORK.
6. PROVIDE 19mm PLW WOOD BACKING AT SURFACE MOUNTED ELECTRICAL PANELS TO ENSURE COUNTER CUTTING OF VAPOUR BARRIER AND INSULATION AS REQ'D.
7. SEAL ALL ARCHITECTURAL, STRUCTURAL, MECHANICAL OR ELECTRICAL PENETRATIONS IN WALL AND FLOOR ASSEMBLIES WITH AN APPROVED PRODUCT SYSTEM TO MAINTAIN REQUIRED FIRE RATING AND ACoustICAL MINIMUMS.
8. THESE ARCHITECTURAL DRAWINGS SHALL BE READ IN CONJUNCTION WITH SURVEY, STRUCTURAL, MECHANICAL, AND ELECTRICAL DRAWINGS.
9. ANY CEILING HEIGHTS SHOWN ON THE FLOOR PLANS ARE FROM 1.0m SHOWING TO 1.0m WOOD JOIST OR UNDERST OF TRUSS.
10. "INDICATES STRUCTURAL ELEMENT DESIGNED TO PART 4 OF THE O.B.C. BY A PROFESSIONAL ENGINEER."
11. "INDICATES PRE-ENGINEERED ELEMENT SUPPLIED BY MANUFACTURER."
12. ALL WOOD FRAMING TO MEET SECTION 2.23 OF THE O.B.C.
13. TRUSSES TO BE 2" X 12" O.C. MAX (BY DESIGN BY OTHERS)
14. ATTIC ACCESS HATCH TO BE 3'x3' BY 1" O.C. DIMENSION TO BE ADJUSTED IN COORDINATION WITH TRUSS LAYOUT

Name	Area
Exterior Area	
EX FRONT PORCH	52 SF
EX. DECK	20 SF
REAR DECK	101 SF
	173 SF
Building Common Area	
EXISTING COTTAGE	1123 SF
NEW ADDITION	0 SF
SECOND FLOOR	0 SF
NEW GARAGE	371 SF
	263 SF

[illegible]

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO DESIGN THE WORK SHOWN.

NAME	SIGNATURE
BCIN	FIRM BCIN

ADDITION & RENOVATION

VS **DESIGN**
STUDIO

519-290-8737 | info@vsds.ca | www.vds.ca

COVER PAGE

DATE: 2024-02-21 2:07:55 PM

A-0

AS-BUILT BASEMENT FLOOR PLAN

$$3/16'' = 1'-0''$$

AS-BUILT MAIN FLOOR PLAN

$$3/16'' = 1'-0''$$

AS-BUILT EAST ELEVATION

$$3/16'' = 1'-0''$$

AS-BUILT WEST ELEVATION

$$3/16'' = 1'-0''$$

AS-BUILT SOUTH ELEVATION

3/16" = 1'-0"

AS-BUILT NORTH ELEVATION

$$3/16'' = 1'-0''$$

A-1

WOOD FRAMING NOTES

1. ALL LUMBER AND WOOD PRODUCTS SHALL BE NUMBER 1 OR NUMBER 2 GRADE SPF UNLESS OTHERWISE NOTED AND MUST CONFORM TO OBC 9.3.2
2. ALL WOOD FRAMED CONSTRUCTION TO SHALL CONFORM TO OBC 9.23.
3. ALL PRE-ENGINEERED SYSTEMS ARE TO BE DESIGNED AND SEALED BY AN ONTARIO P.ENG.
4. ALL COLUMNS SUPPORTING STRUCTURAL MEMBERS TO BE MIN. EQUAL IN WIDTH TO THE MEMBER WHICH IT IS SUPPORTING.
5. ALL LOAD BEARING COMPONENTS MUST HAVE CONTINUOUS SUPPORT EXTENDING TO THE FOUNDATION FOOTING.
6. ALL GUARDS AND SUPPORTING STRUCTURE SHALL CONFORM TO OBC 9.8.8 & SB-7.
7. ALL FRAMING MEMBERS IN CONTACT W/ CONCRETE TO BE PRESSURE TREATED OR PROTECTED W/ MIN. 5 MIL POLY/VAPOUR BARRIER

STRUCTURAL STEEL NOTES

1. ALL STEEL COLUMNS SHALL CONFORM TO OBC 9.17.
2. ALL STEEL BEAMS SHALL CONFORM TO OBC 9.23.4.3.
3. ALL BEAMS TO HAVE MIN. 89mm (3.5") END BEARING AND STEEL MASONRY LINTELS SHALL HAVE MIN. 150mm (6") END BEARING.

FOOTING, FOUNDATIONS AND CONCRETE NOTES

1. FOOTINGS AND FOUNDATIONS SHALL CONFORM TO 9.15
2. KEEP TOPSIDE OF FOOTING MIN. 4'-0" BELOW FINISH GRADE CONTINUOUSLY.
3. SUSPENDED CONCRETE SLABS OVER COLD STORAGE (WHERE APPLICABLE): 5" THICK REINFORCED WITH 15M REBAR AT 8" EACH WAY WITH BOTTOM COVER OF 125". CONCRETE SHALL BE MIN. 25 MPA WITH 6% AIR ENTRAINMENT; SLOPE AWAY FROM BUILDING MIN. 1%. PROVIDE MIN. 3" BEARING ON THE CONCRETE FOUNDATION WALLS.
4. UNLESS DETERMINED OTHERWISE VS DESIGN STUDIO ASSUMES SOIL BEARING CAPACITY OF 2000 PSF.

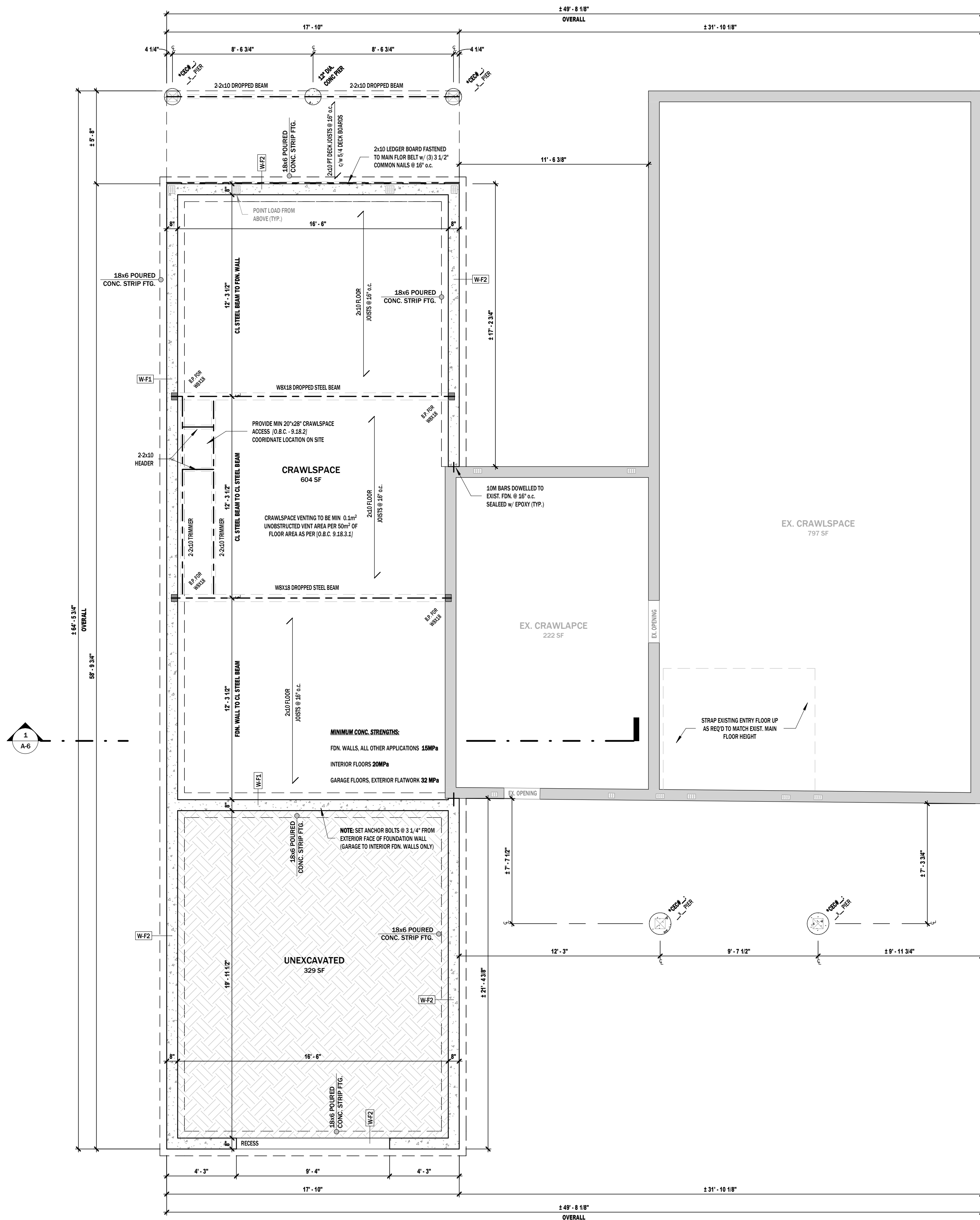
DOORS & WINDOWS

1. ALL WINDOWS, SKYLIGHTS, AND DOORS TO CONFORM TO OBC 9.7
2. FLOOR LEVELS CONTAINING BEDROOMS TO HAVE ONE OPERABLE WINDOW WITH A MIN. UNOBSTRUCTED WIDTH OPEN AREA OF 3.8 SQ. FT. WITH NO DIMENSION LESS THAN 16".
3. ANY FUTURE SLEEPING QUARTERS IN THE BASEMENT ARE TO HAVE WINDOWS IN THE ROOM THAT MEET THE REQUIREMENTS OF OBC 9.9.10.

MISCELLANEOUS NOTES

1. SMOKE & CARBON MONOXIDE ALARMS TO BE LOCATED ON EACH LEVEL & TO BE HARDWIRED & INTERCONNECTED. LOCATE CARBON MONOXIDE ALARMS ADJACENT TO SLEEPING AREAS.
2. SMOKE ALARMS TO BE INSTALLED IN EACH SLEEPING AREA ON OR NEAR THE CEILING.
3. MIN. HEAD ROOM: 6'-11" MIN. HEAD ROOM BELOW DUCTS & BEAMS IN A DWELLING: 6'-5".
4. SUBFLOOR SUPPORTING CERAMIC FLOORS PER OBC 9.30.6.1.
5. PROVIDE ATTIC VENTILATION PER OBC 9.19.
6. PROVIDE AIR AND VAPOUR BARRIER IN ACCORDANCE TO OBC 9.25.3. & 9.25.4.
7. ATTIC HATCHES TO HAVE INSULATED COVERS AND INSULATING.
8. VS DESIGN STUDIO DOES NOT TAKE RESPONSIBILITY FOR ERRORS OR OMISSIONS FOUND IN THIRD PARTY INFORMATION.
9. BATHROOM FAN TO BE MIN 50 CFM VENTED TO EXTERIOR.
10. HVAC SUPPLIES AND RETURNS TO BE LOW WALL (8" FROM FLOOR), AND ANY ROOMS WITHOUT RETURN AIR DUCTS ARE TO HAVE A ¾" UNDERCUT ON THE DOOR TO ALLOW AIR CIRCULATION. UNLESS STATED OTHERWISE IN MECHANICAL DRAWINGS.

PAD FOOTING SCHEDULE

[illegible]
$$^*B^* = 50 \text{ lbs/sqft} + ^*A^* \text{ sqft} \qquad ^*W^* = \text{SQRT}[(^*B^* / 2000\text{psf}) + 144]$$


FOUNDATION PLAN

1/4" = 1'-0'

GENERAL NOTES:

1. DRAWINGS ARE NOT TO BE SCALED.
2. ALL DIMENSIONS AND INSTALLATIONS ARE TO BE VERIFIED ON SITE.
3. ALL DIMENSIONS INDICATED ON FLOOR PLANS ARE TO EXTERIOR FACE FOR EXTERIOR WALLS, OR FACE OF STRUCTURE / FACE OF STUD OF INTERIOR PARTITION WALLS, UNLESS OTHERWISE NOTED (ADDITIONAL DIMENSION NOTED).
4. CONTRACTOR TO COMPLY TO ONTARIO BUILDING CODE (OBC) 2012 IN ADDITION TO ANY AND ALL AUTHORITYS HAVING JURISDICTION DURING ALL PHASES OF WORK.
5. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ATTEND ALL OMISSIONS, DISCREPANCIES, INCLUDING DIMENSIONS, TO THE ATTENTION OF THE DESIGNER PRIOR TO THE COMMENCING OF ANY WORK.
6. PROVIDE 19mm PLW WOOD BACKING AT SURFACE MOUNTED ELECTRICAL PANEL LOCATIONS. ENSURE CORTICALITY OF VAPOUR BARRIER AND NAILING.
7. SEAL ALL ARCHITECTURAL, STRUCTURAL, MECHANICAL OR ELECTRICAL PENETRATIONS IN WALL AND FLOOR PLATE ASSEMBLIES WITH AN APPROVED PRODUCT IN SYSTEM TO MAINTAIN REQUIRED FIRE RATING AND ACQUIRED MINIMUMS.
8. THESE ARCHITECTURAL DRAWINGS SHALL BE READ IN CONJUNCTION WITH SURVEY, STRUCTURAL, MECHANICAL, AND ELECTRICAL DRAWINGS.
9. ANY CEILING HEIGHTS SHOWN ON THE FLOOR PLANS ARE FROM 1.0m SHOWING TO 1.0m WOOD FLOOR FINISH OF LEVEL OF TRUSSES.
10. "INDICATES STRUCTURAL ELEMENT DESIGNED TO PART 4 OF THE O.B.C. BY A PROFESSIONAL ENGINEER."
11. " " INDICATES PRE-ENGINEERED ELEMENT SUPPLIED BY MANUFACTURER."
12. ALL WOOD FRAMING TO MEET SECTION 9.2.3 OF THE O.B.C.
13. TRUSSES TO BE 2'0" O.C. MAX (BY DESIGN BY OTHERS)
14. ATTIC ACCESS HATCH TO BE 3'x4' BY 1'-10" LOCATION TO BE ADJUSTED IN COORDINATION WITH TRUSS LAYOUT

AREAS

Name	Area
Exterior Area	
EX FRONT PORCH	252 SF
EX. DECK	183 SF
REAR DECK	101.5F
	537 SF
Building Common Area	
EXISTING COTTAGE	1123 SF
NEW ADDITION	674 SF
SECOND FLOOR	466 SF
NEW GARAGE	371 SF
	2634 SF

NO.	DESCRIPTION	DATE
00	ISSUED FOR PRELIM REVIEW	2023-11-24
01	RE-ISSUED FOR REVIEW	2023-12-04
02	RE-ISSUED FOR REVIEW	2023-12-18
03	RE-ISSUED FOR REVIEW	2024-01-25
04	ISSUED FOR MINOR VARIANCE	2024-02-15
05	ISSUED FOR COORDINATION	2024-02-21

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO DESIGN THE WORK SHOWN.

QUALIFICATION INFORMATION:

NAME	SIGNATURE
BCIN	FIRM BCIN

PROJECT:

ADDITION & RENOVATION

16 ORDNANCE AVE, VITTORIA, ON, N0E 1W0

VS **DESIGN**
STUDIO

519-290-8737 | info@vsds.ca | www.vstds.ca

DRAWING TITLE:

FOUNDATION PLAN

PROJECT NUMBER: 23132

DRAWN: K.RAMSEYER

CHECKED: N.SIEMON

SCALE: As indicated

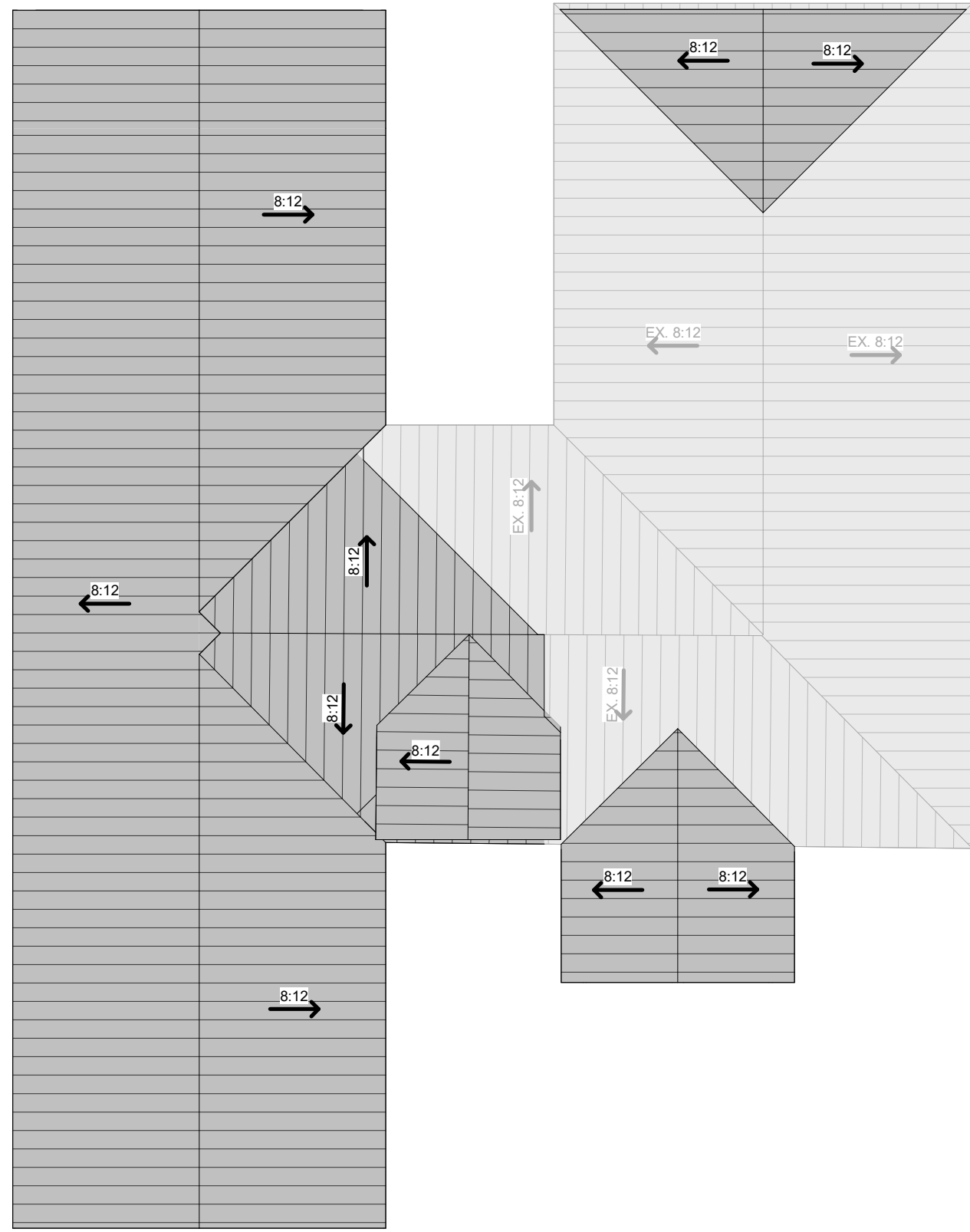
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DRAWING NO:

A-2

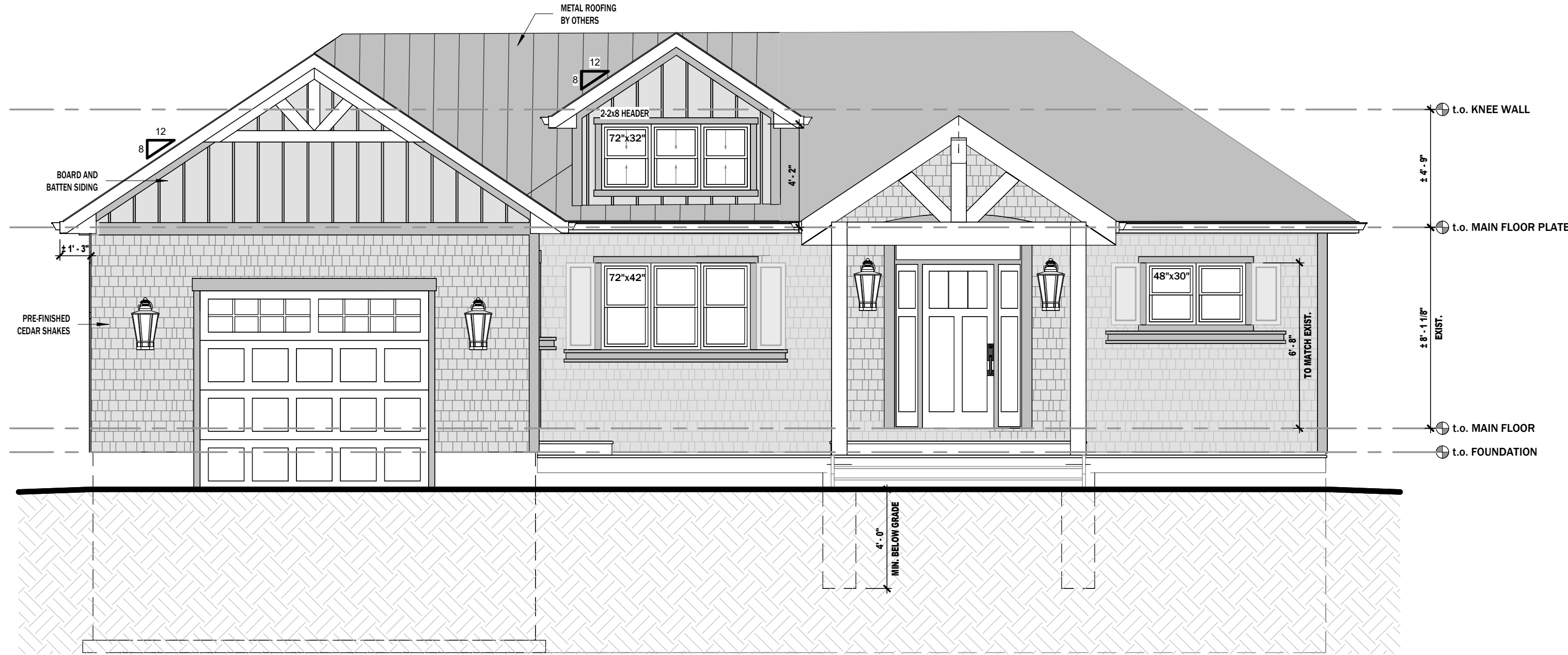


- DRAWING NO:
- A-3**



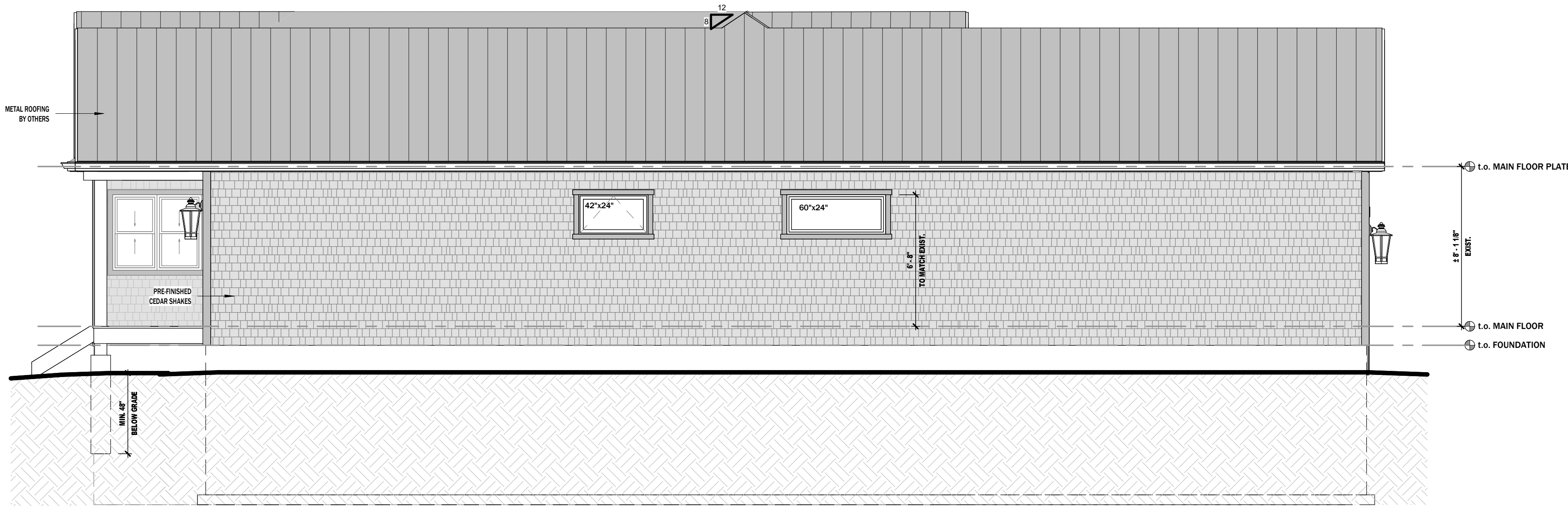
ROOF PLAN

1/8" = 1'-0"



WEST ELEVATION

1/4" = 1'-0"



NORTH ELEVATION

1/4" = 1'-0"

GENERAL NOTES:

1. DRAWINGS ARE NOT TO BE SCALED.
2. ALL DIMENSIONS AND INSTALLATIONS ARE TO BE VERIFIED ON SITE.
3. ALL DIMENSIONS INDICATED ON FLOOR PLANS ARE TO EXTERIOR FACE OF EXTERIOR WALLS, OR FACE OF STRUCTURE / FACE OF STUD OF INTERIOR PARTITIONS. SEE FLOOR PLANS FOR ADDITIONAL DIMENSION NOTES.
4. CONTRACTOR TO COMPLY TO ONTARIO BUILDING CODE (OBC) 2012 IN ADDITION TO ANY AND ALL AUTHORITIES HAVING JURISDICTION DURING ALL PHASES OF WORK.
5. IT IS THE CONTRACTOR'S RESPONSIBILITY TO BRING ALL OMISSIONS, DISCREPANCIES, INCLUDING DIMENSIONS, TO THE ATTENTION OF THE DESIGNER PRIOR TO THE COMMENCING OF ANY WORK.
6. PROVIDE 19mm PLYWOOD BACKING AT SURFACE MOUNTED ELECTRICAL PANEL LOCATIONS. ENSURE CONTINUITY OF VAPOUR BARRIER AND INSULATION AS REQ'D.
7. SEAL ALL ARCHITECTURAL, STRUCTURAL, MECHANICAL OR ELECTRICAL PENETRATIONS IN WALL AND/OR FLOOR ASSEMBLIES WITH AN APPROVED PRODUCT / SYSTEM TO MAINTAIN REQUIRED FIRE RATING AND ACOUSTICAL MINIMUMS.
8. THESE ARCHITECTURAL DRAWINGS SHALL BE READ IN CONJUNCTION WITH SURVEY, STRUCTURAL, MECHANICAL AND ELECTRICAL DRAWINGS.
9. ANY CEILING HEIGHTS SHOWN ON THE FLOOR PLANS ARE FROM t.o. SHEATHING TO t.o. WOOD PLATE OR UNDERSIDE OF TRUSS.
10. * INDICATES STRUCTURAL ELEMENT DESIGNED TO PART 4 OF THE O.B.C. BY A PROFESSIONAL ENGINEER.
11. ** INDICATES PRE-ENGINEERED ELEMENT SUPPLIED BY MANUFACTURER.
12. ALL WOOD FRAMING TO MEET SECTION 9.23 OF THE O.B.C.
13. TRUSSES TO BE 2'-0" O/C MAX (DESIGN BY OTHERS)
14. ATTIC ACCESS HATCH TO BE 3'-0" BY 1'-10" LOCATION TO BE ADJUSTED IN COORDINATION WITH TRUSS LAYOUT

AREAS

Name	Area
Exterior Area	
EX FRONT PORCH	252 SF
EX DECK	183 SF
REAR DECK	101 SF
	537 SF
Building Common Area	
EXISTING COTTAGE	1123 SF
NEW ADDITION	674 SF
SECOND FLOOR	171 SF
NEW GARAGE	2634 SF

NO.	DESCRIPTION	DATE
00	ISSUED FOR PRELIM REVIEW	2023-11-24
01	RE-ISSUED FOR REVIEW	2023-12-04
02	RE-ISSUED FOR REVIEW	2023-12-18
03	RE-ISSUED FOR REVIEW	2024-01-25
04	ISSUED FOR MINOR VARIANCE	2024-02-15
05	ISSUED FOR COORDINATION	2024-02-21

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QUALIFICATION INFORMATION:

NAME	SIGNATURE
BCIN	FIRM BCIN

PROJECT:

ADDITION & RENOVATION

16 ORDNANCE AVE, VICTORIA, ON, N0E 1W0



519-290-8737 | info@vsds.ca | www.vsds.ca

DRAWING TITLE:

ELEVATIONS

PROJECT NUMBER: 23132

DRAWN: K.RAMSEYER

CHECKED: N.SIEMON

SCALE: As indicated

DATE: 2024-02-21 2:08:05 PM

DRAWING NO:

A-4



A-5

2 SIDING WINDOW HEAD
A-6 1 1/2" = 1'-0"

5 EXT. WALL PENETRATIONS DETAIL
1 1/2" = 1'-0"

1 BUILDING SECTION
A-2 3/8" = 1'-0"

3 SIDING WINDOW JAMB w/ OSB
1 1/2" = 1'-0"

6 ELEC. BOX IN EXTERIOR WALLS
1 1/2" = 1'-0"

8 ATTIC ACCESS DETAIL
1 1/2" = 1'-0"

9	FOUNDATION SILL - SIDING
A-6	1 1/2" = 1'-0"

GENERAL NOTES:

1. DRAWINGS ARE NOT TO BE SCALED.
2. ALL DIMENSIONS AND INSTALLATIONS ARE TO BE VERIFIED ON SITE.
3. ALL DIMENSIONS INDICATED ON FLOOR PLANS ARE TO EXTERIOR FACE FOR EXTERIOR WALLS, OR FACE OF STRUCTURE / FACE OF STUD OF INTERIOR PARTITION WALLS. SEE DIMENSION LINE FOR DIMENSION NOTES.
4. CONTRACTOR TO COMPLY TO ALL ONTARIO BUILDING CODE (OBC) 2012 IN ADDITION TO ANY AND ALL AUTHORITYS HAVING JURISDICTION DURING ALL PHASES OF WORK.
5. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ATTEND ALL OMISSIONS, DISCREPANCIES, INCLUDING DIMENSIONS, TO THE BRINGING OF THE DESIGNER PRIOR TO THE COMMENCING OF ANY WORK.
6. PROVIDE 19mm PLW WOOD BACKING AT SURFACE MOUNTED ELECTRICAL PANEL LOCATIONS. ENSURE CORTUPLY OF VAPOUR BARRIER AND INSULATION.
7. SEAL ALL ARCHITECTURAL, STRUCTURAL, MECHANICAL OR ELECTRICAL PENETRATIONS IN WALL AND FLOOR ASSEMBLIES WITH AN APPROVED PRODUCT IN SYSTEM TO MAINTAIN REQUIRED FIRE RATING AND ACCESSION MINIMUMS.
8. THESE ARCHITECTURAL DRAWINGS SHALL BE READ IN CONJUNCTION WITH SURVEY, STRUCTURAL, MECHANICAL, AND ELECTRICAL.
9. ANY CEILING HEIGHTS SHOWN ON THE FLOOR PLANS ARE FROM 1.0. SHOWING 2.1m. WOOD PLATE OR UNDERST OF TRUSS.
10. "INDICATES STRUCTURAL ELEMENT DESIGNED TO PART 4 OF THE O.B.C. BY A PROFESSIONAL ENGINEER."
11. "INDICATES PRE-ENGINEERED ELEMENT SUPPLIED BY MANUFACTURER."
12. ALL WOOD FRAMING TO MEET SECTION 2.23 OF THE O.B.C.
13. TRUSSES TO BE 2" X 10" C/MC MAX (BY OTHERS)
14. ATTIC ACCESS HATCH TO BE 3/4" BY 1" 10" LOCATIONS TO BE ADJUSTED IN COORDINATION WITH TRUSS LAYOUT

AREAS

Name	Area
Exterior Area	
EX FRONT PORCH	262 SF
EX. DECK	183 SF
REAR DECK	101 SF
	537 SF
Building Common Area	
EXISTING COTTAGE	1123 SF
NEW ADDITION	674 SF
SECOND FLOOR	466 SF
NEW GARAGE	371 SF
	2634 SF

NO.	DESCRIPTION	DATE
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04	ISSUED FOR MINOR VARIANCE	2024-02-15
05	ISSUED FOR COORDINATION	2024-02-21

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QUALIFICATION INFORMATION:

NAME	SIGNATURE
BCIN	FIRM BCIN

PROJECT:

ADDITION & RENOVATION

16 ORDNANCE AVE, VICTORIA, ON, NOE 1W0



519-290-8737 | info@vsds.ca | www.vds.ca

DRAWING TITLE:

SECTION & DETAILS

PROJECT NUMBER: 23132

DRAWN: K.RAMSEYER

CHECKED: N.SIEMON

SCALE: As indicated

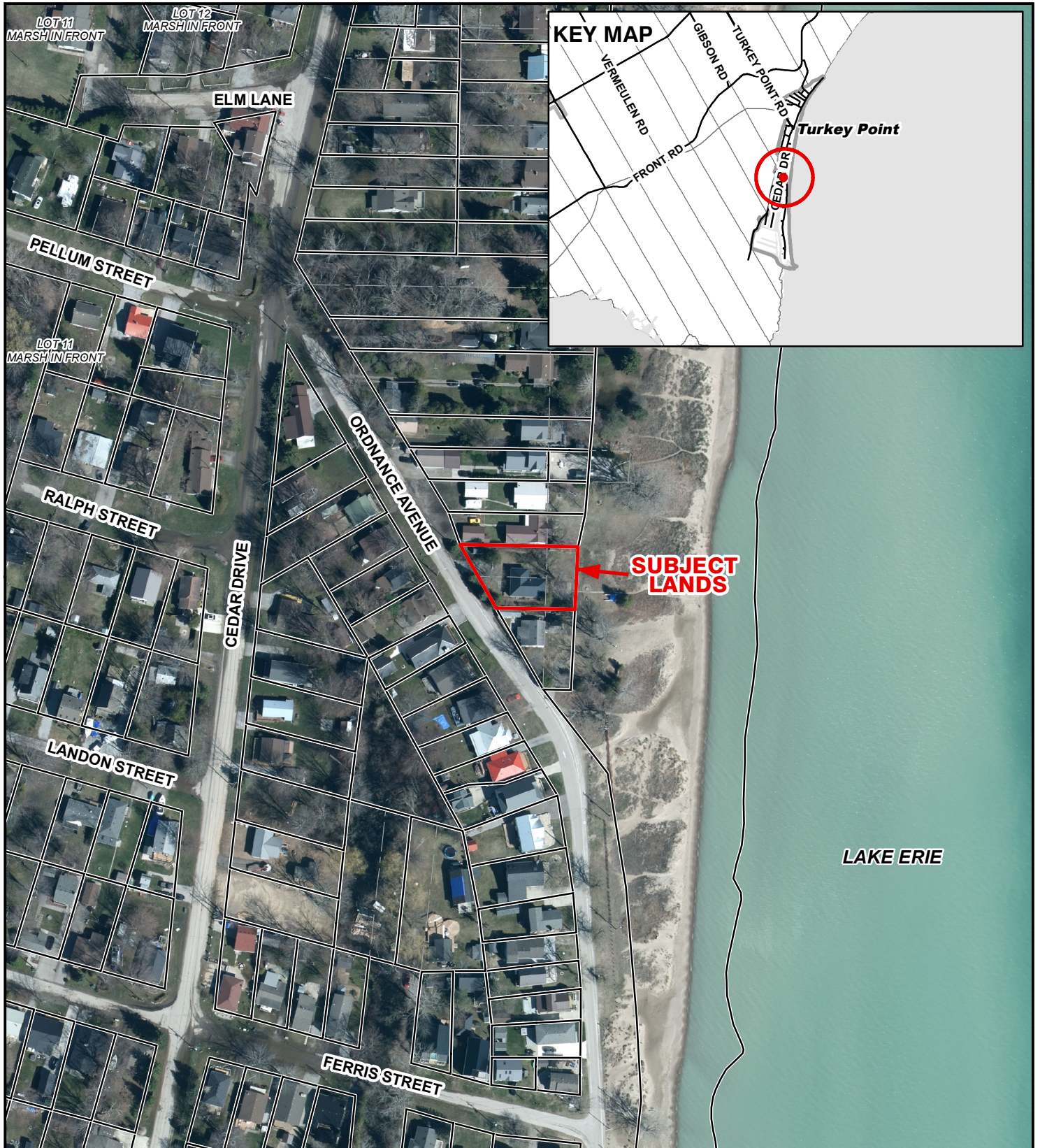
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DRAWING NO:


A-6

MAP A
CONTEXT MAP
Geographic Township of CHARLOTTEVILLE

ANPL2024183

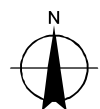


Legend

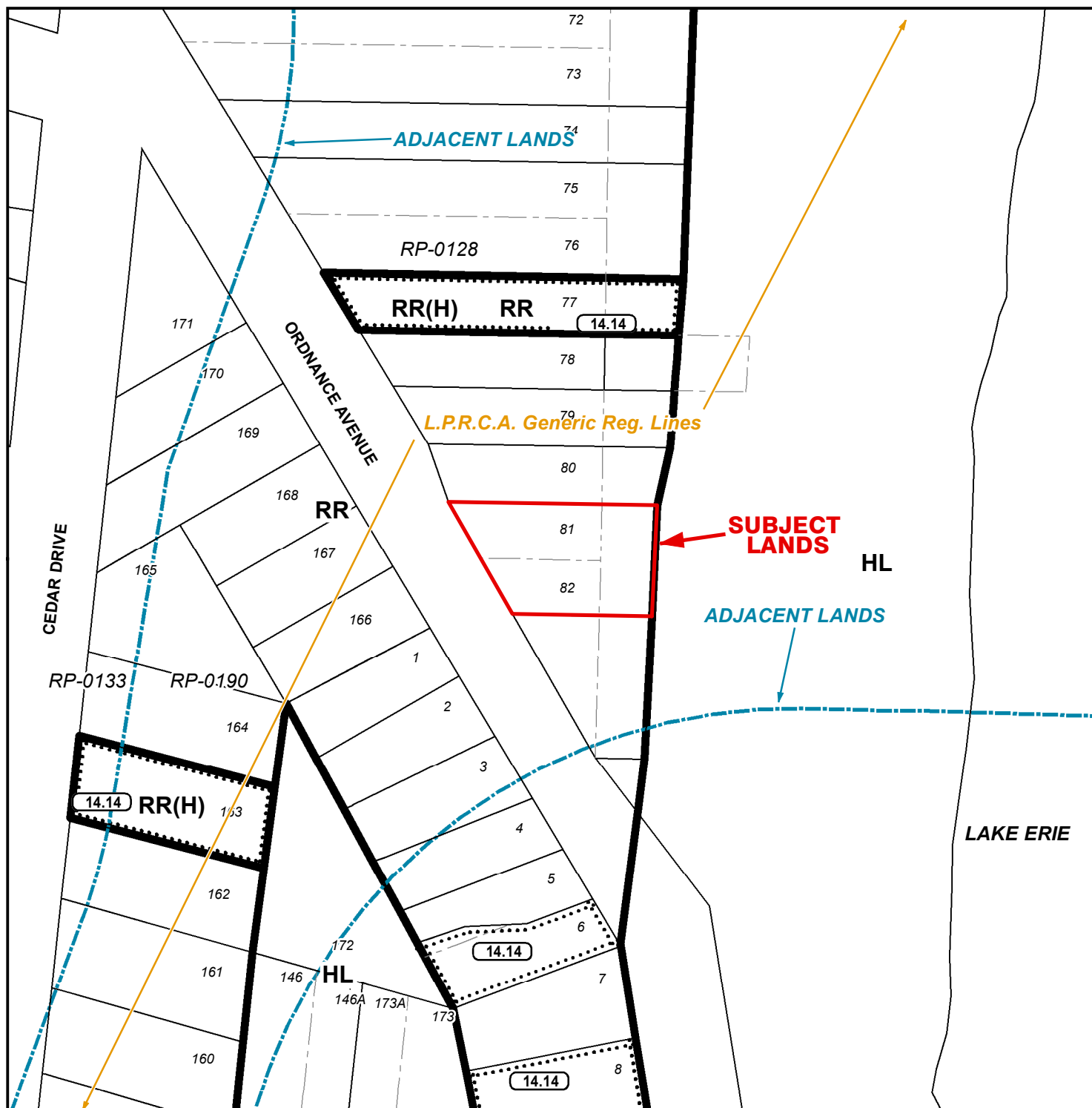
 Subject Lands

2020 Air Photo

7/24/2024



10 5 0 10 20 30 40
Meters



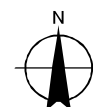
LEGEND

- Subject Lands
- Adjacent Lands
- LPRCA Generic RegLines

ZONING BY-LAW 1-Z-2014

7/24/2024

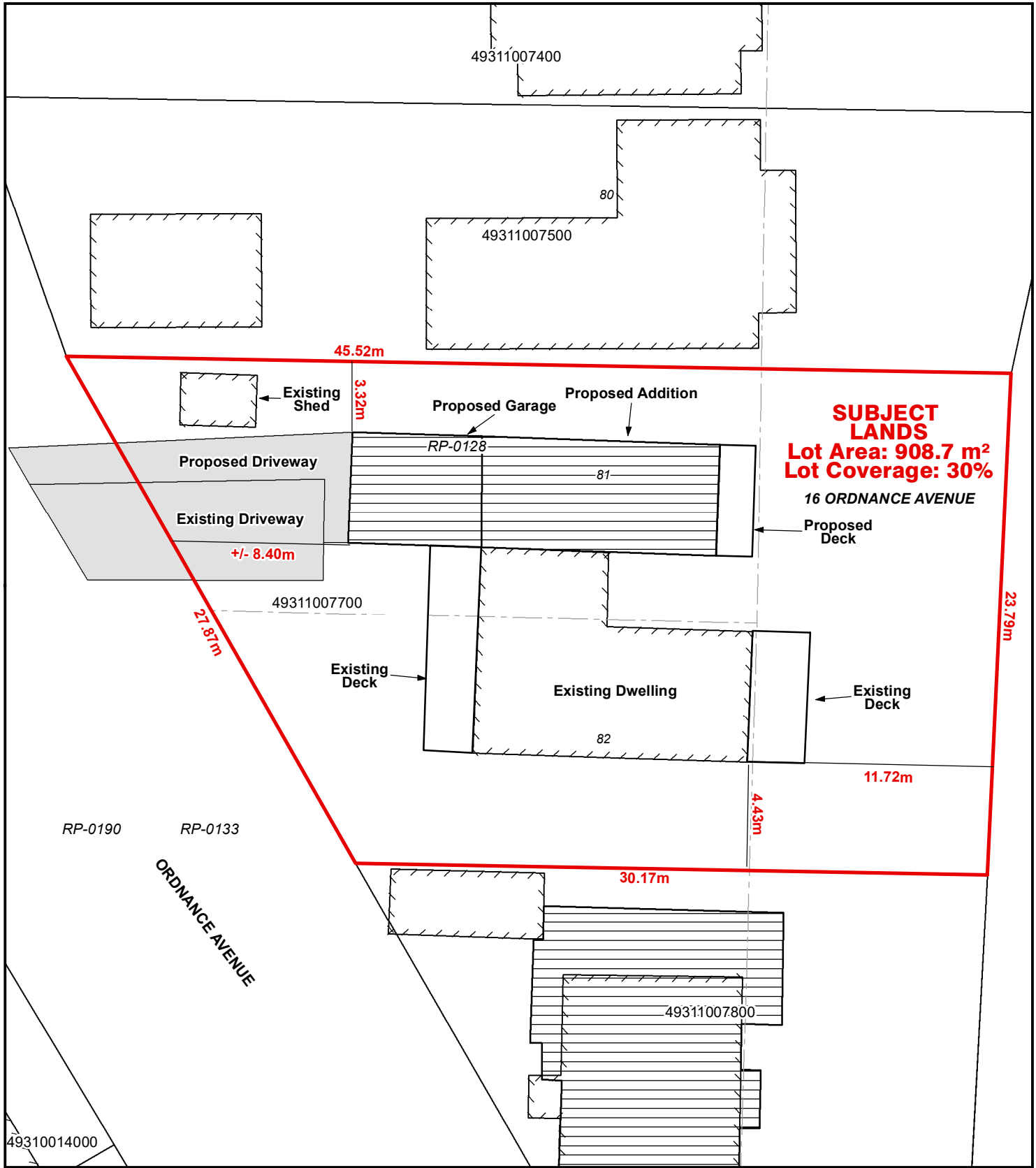
(H) - Holding
 HL - Hazard Land Zone
 RR - Resort Residential Zone



9.54.75 0 9.5 19 28.5 38 Meters

CONCEPTUAL PLAN

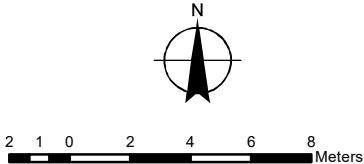
Geographic Township of CHARLOTTEVILLE



Legend

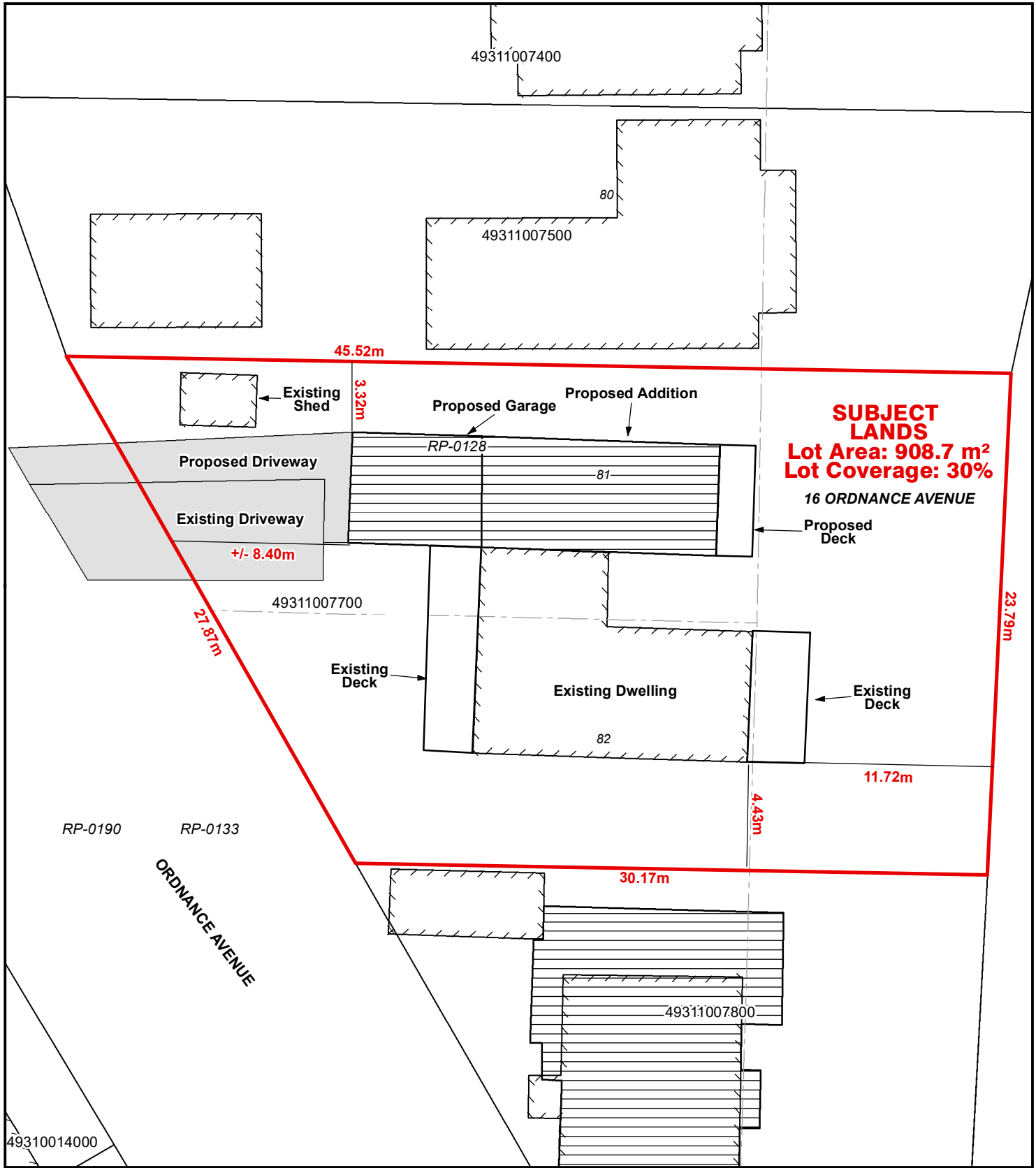
Subject Lands

7/24/2024




CONCEPTUAL PLAN

Geographic Township of CHARLOTTEVILLE



Legend

 Subject Lands

7/24/2024

