

Committee of Adjustment Application to Planning Department

Complete Application

A complete Committee of Adjustment application consists of the following:

1. A properly completed and signed application form (signature must on original version);
2. Supporting information adequate to illustrate your proposal as listed in **Section H** of this application form (plans are required in paper copy and digital PDF format);
3. Written authorization from all registered owners of the subject lands where the applicant is not the owner as per Section N; and,
4. Cash, debit or cheque payable to Norfolk County in the amount set out in the Norfolk County User Fees By-Law.
5. The completed application and fees are to be mailed to the attention of **Secretary Treasurer – Committee of Adjustment**: 185 Robinson Street, Suite 200, Simcoe, ON N3Y 5L6 or email your application committee.of.adjustment@norfolkcounty.ca. Make sure submissions are clearly labelled including address, name, and application type. Failure to do so may impact the timing of your application.

The above listed items are required to ensure that your application is given full consideration. An incomplete or improperly prepared application will not be accepted and may result in delays during the processing of the application. This application must be typed or printed in ink and completed in full.

Please review all of the important information summarised below.

Before your Application is Submitted

A pre-consultation meeting is not usually required for Committee of Adjustment applications; however, discussion with Planning Department staff prior to the submission of an application is **strongly encouraged**. The purpose of communicating with a planner **before** you submit your application is: to review your proposal / application, to discuss potential issues; and to determine the required supporting information and materials to be submitted with your application before it can be considered complete by staff. You might find it helpful to retain the services of an independent professional (such as a registered professional planner) to help you with your application. Information about the Official Plan and Zoning By-law can be found on the County website: www.norfolkcounty.ca/planning

After Your Application is Submitted

Once your payment has been received and the application submitted, in order for your application to be deemed complete all of the components noted above are required.

Incomplete applications will be identified and returned to the applicant. The *Planning Act* permits up to 30 days to review and deem an application complete.

Once your application has been deemed complete by the Planning Department, it is then circulated to public agencies and County departments for review and comment. A sign is also provided that is required to be posted on the subject lands that summarizes the application and identifies the committee meeting date. The comments received from members of the community will be included in the planning report and will inform any recommendations in relation to the application.

If the subject lands are located in an area that is regulated by either the Long Point Region Conservation Authority or by the Grand River Conservation Authority an additional fee will be required if review by the applicable agency is deemed necessary. A separate cheque payable to the Long Point Region Conservation Authority or the Grand River Conservation Authority is required in accordance with their fee schedule at the same time your application is submitted.

Additional studies required as part of the complete application shall be at the sole expense of the applicant. In some instances peer reviews may be necessary to review particular studies and that the cost shall be at the expense of the applicant. The company to complete the peer review shall be selected by the County.

If the application is withdrawn prior to the circulation to commenting agencies, the entire original fee will be refunded. If withdrawn after the circulation to agencies, half the original fee will be refunded. No refund is available after the public meeting and/or approval of application.

Notification Sign Requirements

Planning Department staff may post a notification sign on your property in advance of the public meeting on your behalf. Please keep this sign posted until you have received a notice in the mail indicating that the Secretary Treasurer received no appeals. However, it is the applicant's responsibility to ensure that the sign is correctly posted within the statutory timeframes, according to the *Planning Act*. Failure to post a sign in advance of the public meeting in accordance with statutory requirements will impact the timing of your application at the Committee of Adjustment meeting. Applicants are responsible for removal of the sign following the appeal period. The signs are recyclable and can be placed in your blue box.

Contact Us

For additional information or assistance in completing this application, please contact a planner at 519-426-5870 ext. 1842 or Committee.of.Adjustment@NorfolkCounty.ca

For Office Use Only:

File Number	_____	Application Fee	_____
Related File Number	_____	Conservation Authority Fee	_____
Pre-consultation Meeting	_____	Well & Septic Info Provided	_____
Application Submitted	_____	Planner	_____
Complete Application	_____	Public Notice Sign	_____

Check the type of planning application(s) you are submitting.

- ☐ Consent/Severance/Boundary Adjustment
- ☐ Surplus Farm Dwelling Severance and Zoning By-law Amendment
- ☐ Minor Variance
- ☐ Easement/Right-of-Way

Property Assessment Roll Number: _____**A. Applicant Information****Name of Owner** _____

It is the responsibility of the owner or applicant to notify the planner of any changes in ownership within 30 days of such a change.

Address _____

Town and Postal Code _____

Phone Number _____

Cell Number _____

Email _____

Name of Applicant _____

Address _____

Town and Postal Code _____

Phone Number _____

Cell Number _____

Email _____

Name of Agent

Address

Town and Postal Code

Phone Number

Cell Number

Email

Please specify to whom all communications should be sent. Unless otherwise directed, all correspondence and notices in respect of this application will be forwarded to the owner and agent noted above.

☐ Owner

☐ Agent

☐ Applicant

Names and addresses of any holder of any mortgagees, charges or other encumbrances on the subject lands:

_____ Mortgage through Farm Credit Canada _____

B. Location, Legal Description and Property Information

1. Legal Description (include Geographic Township, Concession Number, Lot Number, Block Number and Urban Area or Hamlet):

Municipal Civic Address: _____

Present Official Plan Designation(s): _____

Present Zoning: _____

2. Is there a special provision or site specific zone on the subject lands?

☐ Yes ☐ No If yes, please specify:

3. Present use of the subject lands:

4. Please describe **all existing** buildings or structures on the subject lands and whether they are to be retained, demolished or removed. If retaining the buildings or structures, please describe the type of buildings or structures, and illustrate the setback, in metric units, from front, rear and side lot lines, ground floor area, gross floor area, lot coverage, number of storeys, width, length, and height on your attached sketch which must be included with your application:

5. If an addition to an existing building is being proposed, please explain what it will be used for (for example a bedroom, kitchen, or bathroom). If new fixtures are proposed, please describe.

6. Please describe **all proposed** buildings or structures/additions on the subject lands. Describe the type of buildings or structures/additions, and illustrate the setback, in metric units, from front, rear and side lot lines, ground floor area, gross floor area, lot coverage, number of storeys, width, length, and height on your attached sketch which must be included with your application:

7. Are any existing buildings on the subject lands designated under the *Ontario Heritage Act* as being architecturally and/or historically significant? Yes ☐ No ☐

If yes, identify and provide details of the building:

8. If known, the length of time the existing uses have continued on the subject lands:

9. Existing use of abutting properties:

10. Are there any easements or restrictive covenants affecting the subject lands?

☐ Yes ☐ No If yes, describe the easement or restrictive covenant and its effect:

C. Purpose of Development Application

Note: Please complete all that apply. **Failure to complete this section will result in an incomplete application.**

1. Site Information (Please refer to Zoning By-law to confirm permitted dimensions)

	Existing	Permitted	Provision	Proposed	Deficiency
	HOUSE			ARDU	
Lot frontage	190.96m	30m		190.96m	NO
Lot depth	+500m	NA		+500m	NO
Lot width	190.96m			190.96m	NO
Lot area	10.52 ha (existing)	40 ha		10.52 ha	NO
Lot coverage	NA	NA		NA	NO
Front yard	+/-20m	13m		+21m	NO
Rear yard	<9m	9m		<9m	NO
Height	>8m	8m		>8m	NO
Left Interior side yard	<14m	3m		<14m	NO
Right Interior side yard	<14m	3m		<14m	NO
Exterior side yard (corner lot)	NA	NA		NA	NO
Parking Spaces (number)	2	2		1	NO
Aisle width	NA	NA		NA	NO
Stall size	NA	NA		NA	NO
Loading Spaces	NA	NA		NA	NO
Other	setback from primary dwelling	40m		60.6m	20.6m

useable floor area (ARDU)

75 sq.m

116.5 sq.m

41.5m

2. Please explain why it is not possible to comply with the provision(s) of the Zoning By-law:

3. **Consent/Severance/Boundary Adjustment:** Description of land intended to be severed in metric units:

Frontage: _____

Depth: _____

Width: _____

Lot Area: _____

Present Use: _____

Proposed Use: _____

Proposed final lot size (if boundary adjustment): _____

If a boundary adjustment, identify the assessment roll number and property owner of the lands to which the parcel will be added: _____

Description of land intended to be retained in metric units:

Frontage: _____

Depth: _____

Width: _____

Lot Area: _____

Present Use: _____

Proposed Use: _____

Buildings on retained land: _____

4. **Easement/Right-of-Way:** Description of proposed right-of-way/easement in metric units:

Frontage: _____

Depth: _____

Width: _____
Area: _____
Proposed Use: _____

5. Surplus Farm Dwelling Severances Only: List all properties in Norfolk County, which are owned and farmed by the applicant and involved in the farm operation

Owners Name: _____
Roll Number: _____
Total Acreage: _____
Workable Acreage: _____
Existing Farm Type: (for example: corn, orchard, livestock) _____
Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built _____
Date of Land Purchase: _____

Owners Name: _____
Roll Number: _____
Total Acreage: _____
Workable Acreage: _____
Existing Farm Type: (for example: corn, orchard, livestock) _____
Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built _____
Date of Land Purchase: _____

Owners Name: _____
Roll Number: _____
Total Acreage: _____
Workable Acreage: _____
Existing Farm Type: (for example: corn, orchard, livestock) _____
Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built _____
Date of Land Purchase: _____

Owners Name: _____
Roll Number: _____
Total Acreage: _____
Workable Acreage: _____
Existing Farm Type: (for example: corn, orchard, livestock) _____
Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built _____
Date of Land Purchase: _____

Owners Name: _____
Roll Number: _____
Total Acreage: _____
Workable Acreage: _____
Existing Farm Type: (for example: corn, orchard, livestock) _____
Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built _____
Date of Land Purchase: _____

Note: If additional space is needed please attach a separate sheet.

D. All Applications: Previous Use of the Property

1. Has there been an industrial or commercial use on the subject lands or adjacent lands? ☐ Yes ☐ No ☐ Unknown

If yes, specify the uses (for example: gas station, or petroleum storage):

2. Is there reason to believe the subject lands may have been contaminated by former uses on the site or adjacent sites? ☐ Yes ☐ No ☐ Unknown

3. Provide the information you used to determine the answers to the above questions:

4. If you answered yes to any of the above questions in Section D, a previous use inventory showing all known former uses of the subject lands, or if appropriate, the adjacent lands, is needed. Is the previous use inventory attached? ☐ Yes ☐ No

E. All Applications: Provincial Policy

1. Is the requested amendment consistent with the provincial policy statements issued under subsection 3(1) of the *Planning Act, R.S.O. 1990, c. P. 13*? ☐ Yes ☐ No

If no, please explain:

2. It is owner's responsibility to be aware of and comply with all relevant federal or provincial legislation, municipal by-laws or other agency approvals, including the Endangered Species Act, 2007. Have the subject lands been screened to ensure that development or site alteration will not have any impact on the habitat for endangered or threatened species further to the provincial policy statement subsection 2.1.7? ☐ Yes ☐ No

If no, please explain:

3. Have the subject lands been screened to ensure that development or site alteration will not have any impact on source water protection? ☐ Yes ☐ No

If no, please explain:

Note: If in an area of source water Wellhead Protection Area (WHPA) A, B or C please attach relevant information and approved mitigation measures from the Risk Manager Official.

4. All Applications: Are any of the following uses or features on the subject lands or within 500 metres of the subject lands, unless otherwise specified? Please check boxes, if applicable.

Livestock facility or stockyard (submit MDS Calculation with application)

☐ On the subject lands or ☐ within 500 meters – distance _____

Wooded area

☐ On the subject lands or ☐ within 500 meters – distance _____

Municipal Landfill

☐ On the subject lands or ☐ within 500 meters – distance _____

Sewage treatment plant or waste stabilization plant

☐ On the subject lands or ☐ within 500 meters – distance _____

Provincially significant wetland (class 1, 2 or 3) or other environmental feature

☐ On the subject lands or ☐ within 500 meters – distance _____

Floodplain

☐ On the subject lands or ☐ within 500 meters – distance _____

Rehabilitated mine site

☐ On the subject lands or ☐ within 500 meters – distance _____

Non-operating mine site within one kilometre

☐ On the subject lands or ☐ within 500 meters – distance _____

Active mine site within one kilometre

☐ On the subject lands or ☐ within 500 meters – distance _____

Industrial or commercial use (specify the use(s))

☐ On the subject lands or ☐ within 500 meters – distance _____

Active railway line

☐ On the subject lands or ☐ within 500 meters – distance _____

Seasonal wetness of lands

☐ On the subject lands or ☐ within 500 meters – distance _____

Erosion

☐ On the subject lands or ☐ within 500 meters – distance _____

Abandoned gas wells

☐ On the subject lands or ☐ within 500 meters – distance _____

F. All Applications: Servicing and Access

1. Indicate what services are available or proposed:

Water Supply

- | | |
|--|---|
| <input type="checkbox"/> Municipal piped water | <input type="checkbox"/> Communal wells |
| <input type="checkbox"/> Individual wells | <input type="checkbox"/> Other (describe below) |
-

Sewage Treatment

- | | |
|---|---|
| <input type="checkbox"/> Municipal sewers | <input type="checkbox"/> Communal system |
| <input type="checkbox"/> Septic tank and tile bed in good working order | <input type="checkbox"/> Other (describe below) |
-

Storm Drainage

- | | |
|---|---------------------------------------|
| <input type="checkbox"/> Storm sewers | <input type="checkbox"/> Open ditches |
| <input type="checkbox"/> Other (describe below) | |
-

2. Existing or proposed access to subject lands:

- | | |
|---|---|
| <input type="checkbox"/> Municipal road | <input type="checkbox"/> Provincial highway |
| <input type="checkbox"/> Unopened road | <input type="checkbox"/> Other (describe below) |

Name of road/street:

G. All Applications: Other Information

1. Does the application involve a local business? ☐ Yes ☐ No

If yes, how many people are employed on the subject lands?

2. Is there any other information that you think may be useful in the review of this application? If so, explain below or attach on a separate page.

H. Supporting Material to be submitted by Applicant

In order for your application to be considered complete, folded hard copies (number of paper copies as directed by the planner) and an **electronic version (PDF) of the site plan drawings, additional plans, studies and reports** will be required, including but not limited to the following details:

1. Concept/Layout Plan
2. All measurements in metric
3. Existing and proposed easements and right of ways
4. Parking space totals – required and proposed
5. All dimensions of the subject lands
6. Dimensions and setbacks of all buildings and structures
7. Location and setbacks of septic system and well from all existing and proposed lot lines, and all existing and proposed structures
8. Names of adjacent streets
9. Natural features, watercourses and trees

In addition, the following additional plans, studies and reports, including but not limited to, **may** also be required as part of the complete application submission:

- ☐ On-Site Sewage Disposal System Evaluation Form (to verify location and condition)
- ☐ Environmental Impact Study
- ☐ Geotechnical Study / Hydrogeological Review
- ☐ Minimum Distance Separation Schedule
- ☐ Record of Site Condition

Your development approval might also be dependent on Ministry of Environment Conservation and Parks, Ministry of Transportation or other relevant federal or provincial legislation, municipal by-laws or other agency approvals.

All final plans must include the owner's signature as well as the engineer's signature and seal.

I. Transfers, Easements and Postponement of Interest

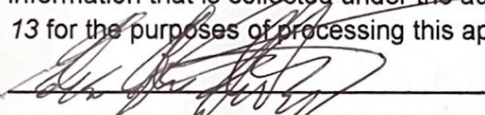
The owner acknowledges and agrees that if required it is their solicitor's responsibility on behalf of the owner for the registration of all transfer(s) of land to the County, and/or transfer(s) of easement in favour of the County and/or utilities. Also, the owner further acknowledges and agrees that it is their solicitor's responsibility on behalf of the owner for the registration of postponements of any charges in favour of the County.

Permission to Enter Subject Lands

Permission is hereby granted to Norfolk County officers, employees or agents, to enter the premises subject to this application for the purposes of making inspections associated with this application, during normal and reasonable working hours.

Freedom of Information

For the purposes of the *Municipal Freedom of Information and Protection of Privacy Act*, I authorize and consent to the use by or the disclosure to any person or public body any information that is collected under the authority of the *Planning Act*, R.S.O. 1990, c. P. 13 for the purposes of processing this application.


Owner/Applicant/Agent Signature

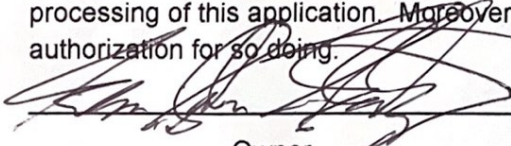
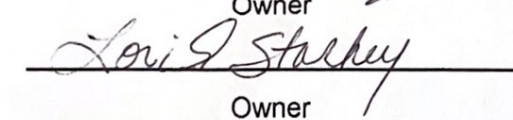

Date

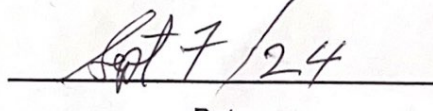
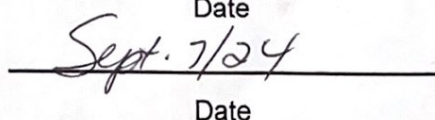
J. Owner's Authorization

If the applicant/agent is not the registered owner of the lands that is the subject of this application, the owner must complete the authorization set out below.

I/We STAN + Lori Starkey am/are the registered owner(s) of the lands that is the subject of this application.

I/We authorize STAN + Lori STARKEY to make this application on my/our behalf and to provide any of my/our personal information necessary for the processing of this application. Moreover, this shall be your good and sufficient authorization for so doing.


Owner

Owner


Date

Date

***Note:** If property is owned by an Ontario Ltd. Corporation, Articles of Incorporation are required to be attached to the application.

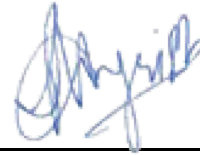
K. Declaration

I, _____ of _____

solemnly declare that:

all of the above statements and the statements contained in all of the exhibits transmitted herewith are true and I make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath and by virtue of *The Canada Evidence Act*.

Declared before me at:



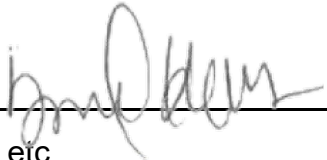
Owner/Applicant/Agent Signature

In _____

This _____ day of _____

A.D., 20____

A Commissioner, etc.


Sunil Kumar Angrish,
a Commissioner, etc.,
Province of Ontario,
for The Angrish Group.
Expires March 15, 2027.

NOTE: DISTANCE FROM T.F.W. TO U.S.F. IS 1.37m OR 4'6".
4'0" FOUNDATION HEIGHT ON 6" FOOTINGS.
TO BE CONFIRMED BY CONTRACTOR PRIOR TO EXCAVATION.

NOTE: A MINIMUM DISTANCE OF 1.22m OR 4'0" MUST BE MAINTAINED
FROM FINAL GRADE TO UNDERSIDE OF FOOTINGS IN ALL LOCATIONS.

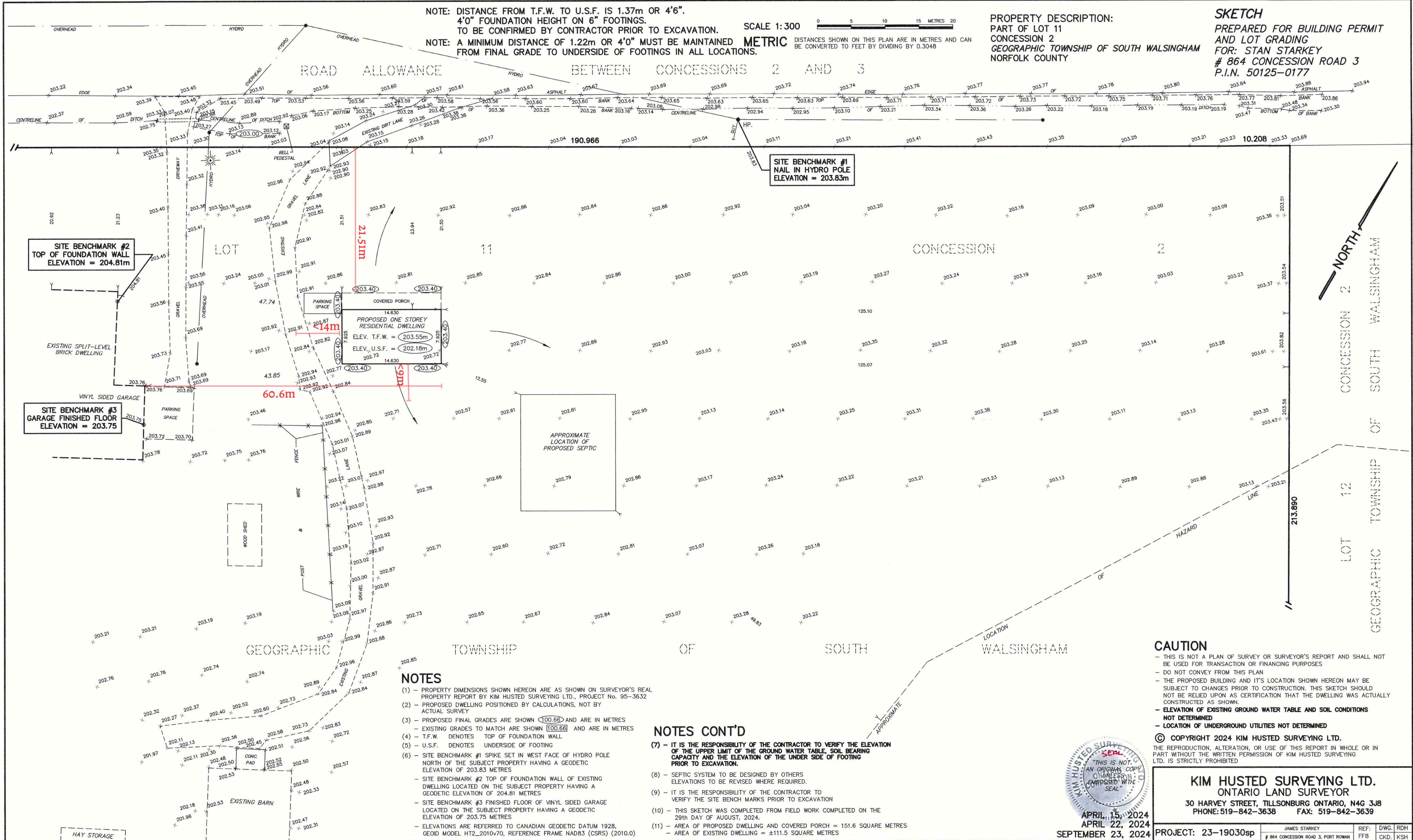
SCALE 1:300

0 5 10 15 20 METRES

DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN
BE CONVERTED TO FEET BY DIVIDING BY 0.3048

PROPERTY DESCRIPTION:
PART OF LOT 11
CONCESSION 2
GEOGRAPHIC TOWNSHIP OF SOUTH WALSHINGHAM
NORFOLK COUNTY

SKETCH
PREPARED FOR BUILDING PERMIT
AND LOT GRADING
FOR: STAN STARKEY
864 CONCESSION ROAD 3
P.I.N. 50125-0177



NOTES

- PROPERTY DIMENSIONS SHOWN HEREON ARE AS SHOWN ON SURVEYOR'S REAL PROPERTY REPORT BY KIM HUSTED SURVEYING LTD., PROJECT No. 95-3632
- PROPOSED DWELLING POSITIONED BY CALCULATIONS, NOT BY ACTUAL SURVEY
- PROPOSED FINAL GRADES ARE SHOWN 100.66 AND ARE IN METRES
EXISTING GRADES TO MATCH ARE SHOWN 100.66 AND ARE IN METRES
- T.F.W. DENOTES TOP OF FOUNDATION WALL
- U.S.F. DENOTES UNDERSIDE OF FOOTING
- SITE BENCHMARK #1 SPIKE SET IN WEST FACE OF HYDRO POLE NORTH OF THE SUBJECT PROPERTY HAVING A GEODETIC ELEVATION OF 203.83 METRES
- SITE BENCHMARK #2 TOP OF FOUNDATION WALL OF EXISTING DWELLING LOCATED ON THE SUBJECT PROPERTY HAVING A GEODETIC ELEVATION OF 204.81 METRES
- SITE BENCHMARK #3 FINISHED FLOOR OF VINYL SIDED GARAGE LOCATED ON THE SUBJECT PROPERTY HAVING A GEODETIC ELEVATION OF 203.75 METRES
- ELEVATIONS ARE REFERRED TO CANADIAN GEODETIC DATUM 1928, GEOID MODEL HT2_2010V70, REFERENCE FRAME NAD83 (GSRs) (2010.0)

NOTES CONT'D

- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE ELEVATION OF THE UPPER LIMIT OF THE GROUND WATER TABLE, SOIL BEARING CAPACITY AND THE ELEVATION OF THE UNDER SIDE OF FOOTING PRIOR TO EXCAVATION.
- SEPTIC SYSTEM TO BE DESIGNED BY OTHERS
ELEVATIONS TO BE REVISED WHERE REQUIRED.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE SITE BENCH MARKS PRIOR TO EXCAVATION
- THIS SKETCH WAS COMPLETED FROM FIELD WORK COMPLETED ON THE 29th DAY OF AUGUST, 2024.
- AREA OF PROPOSED DWELLING AND COVERED PORCH = 151.6 SQUARE METRES
AREA OF EXISTING DWELLING = 111.5 SQUARE METRES

CAUTION

- THIS IS NOT A PLAN OF SURVEY OR SURVEYOR'S REPORT AND SHALL NOT BE USED FOR TRANSACTION OR FINANCING PURPOSES
- DO NOT CONVEY FROM THIS PLAN
- THE PROPOSED BUILDING AND ITS LOCATION SHOWN HEREON MAY BE SUBJECT TO CHANGES PRIOR TO CONSTRUCTION. THIS SKETCH SHOULD NOT BE RELIED UPON AS CERTIFICATION THAT THE DWELLING WAS ACTUALLY CONSTRUCTED AS SHOWN.
- ELEVATION OF EXISTING GROUND WATER TABLE AND SOIL CONDITIONS NOT DETERMINED
- LOCATION OF UNDERGROUND UTILITIES NOT DETERMINED

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KIM HUSTED SURVEYING LTD.
ONTARIO LAND SURVEYOR

30 HARVEY STREET, TILLSONBURG ONTARIO, N4G 3J8
PHONE: 519-842-3638 FAX: 519-842-3639



APRIL 15, 2024
APRIL 22, 2024
SEPTEMBER 23, 2024

PROJECT: 23-19030sp
JAMES STARKEY
864 CONCESSION ROAD 3, PORT ROWAN
REF: DWG. RDH
FF8 CKD. KSH

Existing dwelling - 139.4 sq.mt
Proposed ARDU - 116.5 sq.mt

existing lane way that will be used for
new ARDU

proposed parking

proposed additional residential
dwelling unit

proposed septic system area

existing dwelling
driveway

existing dwelling

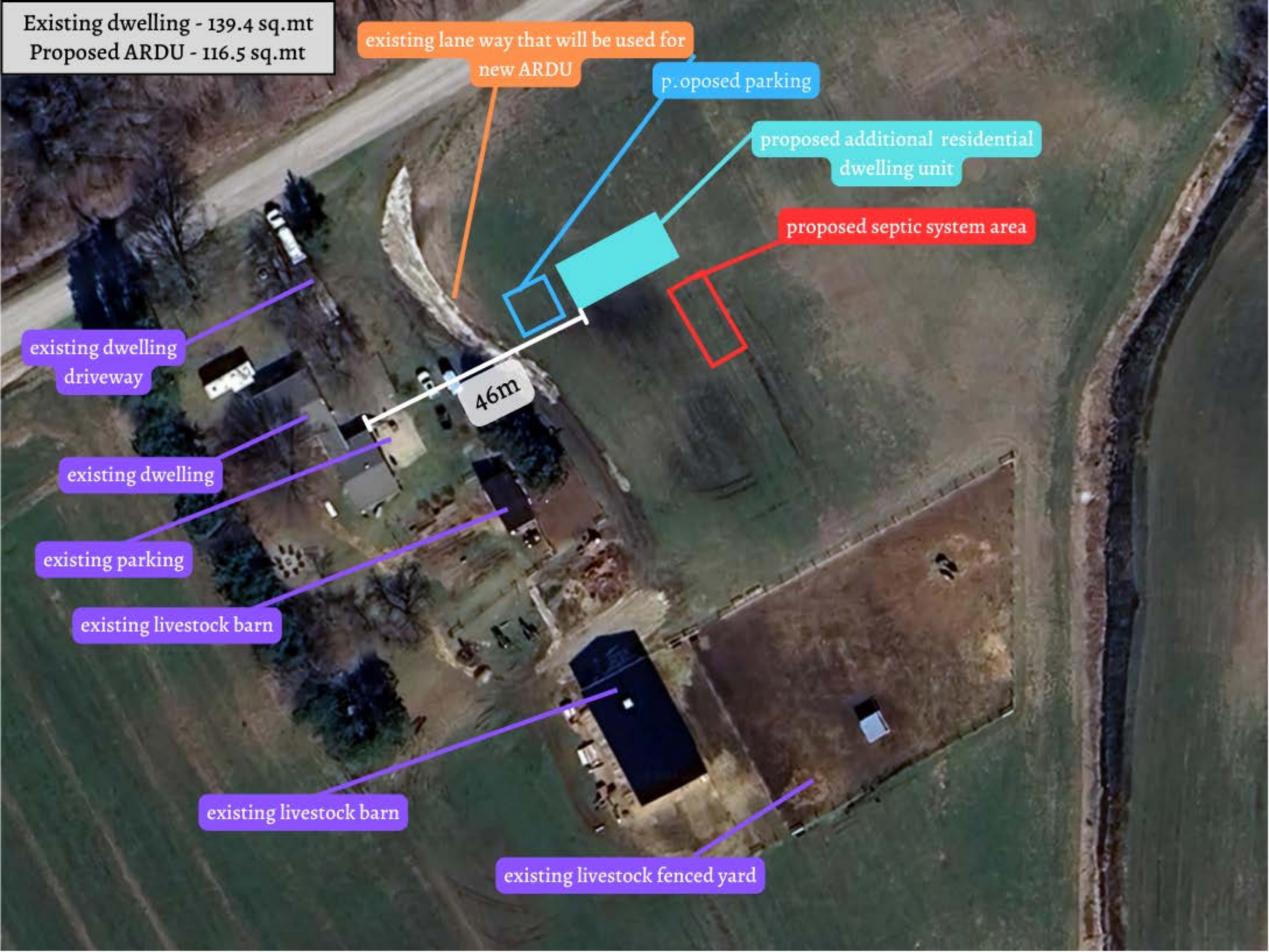
existing parking

existing livestock barn

existing livestock barn

existing livestock fenced yard

46m





THE ANGRISH GROUP

156 Charing Cross Street, Brantford, ON N3R 2J4

Planning Justification Report

864 Concession Road 3, Norfolk County

Prepared For: Stan & Lorelie Starkey, Property Owners
James & Michelle Starkey, Applicants/Residents

Prepared By: The Angrish Group

September 10, 2024

File: 2024_115

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1. Introduction

The Planning Justification Report (PJR) has been prepared by The Angrish Group in support of a Minor Variance application required for the lands to allow construction of a larger than permitted accessory residential dwelling unit (ARDU). The report has been prepared on behalf of Stan & Lorelie Starkey, property owners, and James & Michelle Starkey, Applicants/property residents, for the lands municipally known as 864 Concession Road 3, Norfolk County (referred herein as “Subject Lands” or “Property”).

The PJR will present an analysis of the provincial and municipal planning framework and provide a professional planning opinion related to the proposed application.

2. Location and Description of Subject Lands

The Subject Lands are described as Part Lot 11, Concession 2, geographic Township of South Walsingham, Norfolk County. The Property is located to the west of Highway 59, east of Hazen Road, south of Concession Road 3 and north of Concession Road 2. The site is surrounded by agricultural uses.

The Subject Lands are approximately 10.52 hectares (+/- 26 acres) in size and are currently being farmed. There is an existing single detached dwelling with an attached garage and two (2) agricultural accessory structures currently located on the Subject Lands. The lands are serviced by private well and septic system.

A portion of the Subject Lands are regulated under Ontario Regulation 41/24, as administered by Long Point Conservation Authority (LPRCA), due to the presence of a watercourse that traverses the Property to the east.

Figure 1 shows an aerial of the Subject Lands and **Figure 2** shows the location of the existing buildings and structures. **Figures 3** and **4** show a view of the Subject Lands from Concession Road 3, generally facing in a southerly direction.

Figure 1 – Aerial of the Subject Lands



Figure 2 – Location of Existing Buildings on the Subject Lands



Figure 3 – View of Subject Lands Looking South-East



Figure 4 – View of Subject Lands Looking East



3. Proposal

The proposal involves development of the Subject Lands to allow for an accessory residential dwelling unit (ARDU). A new ARDU, approximately 116.1 square metres (1,250 sq. ft.) in size, is proposed to be constructed. No basement or attached garage is proposed for the ARDU. The one-storey structure will be housing the ageing property owners while their adult children (James and Michelle) and their growing family will continue to reside in the existing 139.4 square meter (1,500 sq. ft.) dwelling on the property. The additional size of the ARDU is required to allow the owners additional room for a permanent housing on their property. The floor plans are included in the package. The dwelling will be a modular build with no basement or attached garage. The dwelling is proposed to be 46 meters away from the closest point of the existing dwelling. The additional distance is required as there are livestock barns located on the property on the east side of the existing dwelling. There are two driveways on the lands, one for the dwelling and the other one serving the barns, creating a large separation from the existing dwelling.

The land contains an existing single detached dwelling with an attached garage, and two (2) agricultural accessory structures, as can be seen in **Figure 2** above. The property is currently serviced by a private well and septic system. The existing well and a new septic system will be required to service the ARDU.

The Subject Lands are designated Agriculture and Hazard Lands in Norfolk County Official Plan, 2018 and subject to the Lakeshore Special Policy Area Secondary Plan. The Property is currently zoned Agricultural (A) and Hazard Lands (HL) in Zoning By-Law 1-Z-2014. Policy 3.2.3.2 states the maximum useable floor area of a detached additional residential dwelling unit is 75 square metres (807 square feet).

The proposed ARDU requires relief from the provisions of the Zoning By-Law to allow for an increased useable floor area for the detached ARDU, increased setback between the primary dwelling and ARDU.

A Minor Variance is submitted for the following:

1. increased useable floor area of an ARDU to 116.5 square metres whereas 75 square metres is permitted;
2. increased setback from the primary dwelling of 46 metres whereas 40 metres is the maximum permitted.

The proposal is in compliance with all other requirements of the Zoning By-Law for the development of the lands.

Figure 5 below shows the proposed Site Plan identifying the location of the existing buildings and driveways, as well as the location of the new proposed ARDU.

Figure 5 – Site Plan



The proposed Minor Variance will allow the construction of a detached accessory residential dwelling unit to accommodate the family while they assist with the younger grandchildren and the farming operations on the lands. No extension of municipal services will be required as the proposal will use the existing driveway and the site is serviced by private well and septic system.

The variances are required for the efficient development of the parcel to offer affordable housing options in rural areas. The variances are minor in nature and do not represent overbuilding of the Subject Lands. All other requirements of the By-law will be in compliance.

4. The Policy Context

The application is subject to the provisions of the Planning Act, as amended. The Planning Act, R.S.O. 1990 sets out the legislative framework for land use planning in Ontario and provides the authority for the Minister of Municipal Affairs and Housing to issue policy statements and plans to guide land use planning and development in the province. The Act also sets out the legislative framework for local land use planning tools and plans.

All Planning Act applications are evaluated to ensure the proposed development is consistent with the Provincial Policy Statement (2020) and is in conformity with the Norfolk County Official Plan. This section demonstrates the proposal is consistent with, and conforms to, the applicable provincial and local planning policy framework.

4.1 Planning Act (1990)

The Planning Act provides the legislative framework for land use planning in Ontario. The applicable sections of the Planning Act that apply to this application are as follows:

Section 2 – The Minister, the council of a municipality, a local board, a planning board, and the Tribunal, in carrying out their responsibilities under this Act, shall have regard to, among other matters, matters of provincial interest such as:

- (a) the protection of ecological systems, including natural areas, features and functions;
- (b) the protection of the agricultural resources of the Province;
- (d) the conservation of features of significant architectural, cultural, historical, archaeological, or scientific interest;

Section 3 – Requires that, in exercising any authority that affects a planning matter, planning authorities “shall be consistent with the policy statements” issued under the Act and “shall conform with the provincial plans that are in effect on that date, or shall not conflict with them, as the case may be”.

The proposed application aligns with the framework and interests of the Planning Act and Bill 23, More Homes Built Faster Act, 2022, to permit ARDUs where zoning permits single detached dwellings. Further, the proposal protects ecological systems, including natural areas, features and functions, by locating structures outside natural areas located on the eastern portion of the Site. The proposal aligns with providing affordable housing options in rural areas, meeting the provincial direction.

It is my professional opinion that the proposed application complies with the direction and regulations of the Planning Act.

4.2 Provincial Policy Statement (2020)

The Provincial Policy Statement, 2020 (PPS) is issued in accordance with Section 3 of the Planning Act and came into effect on May 1, 2020. Section 3 of the Planning Act requires that decisions affecting planning matters “shall be consistent with” the PPS.

The PPS provides policy direction on matters of provincial interest related to land use planning and development in Ontario and sets the policy foundation for regulating the development and use of land. The PPS encourages efficient development patterns that support sustainability by promoting strong, livable, healthy, and resilient communities, protecting the environment and public health and safety, and facilitating economic growth. The PPS encourages residential intensification and provision of a mix of housing options including additional residential dwelling units.

The Property is located within the prime agricultural area of the County. The Subject Lands are currently designated Agricultural and Hazard Lands in the Official Plan (2018). The Property contains an existing single detached dwelling and agricultural accessory structures.

The proposed additional residential dwelling unit will intensify the site by providing additional affordable housing options for the landowners and their children. The Site is serviced by private well and septic system. The proposal will maintain the character of the area. The accessory residential unit will not have any adverse impacts on the neighbourhood and will be in keeping with the surrounding uses.

The property contains a feature regulated under 41/24, as administered by the Long Point Region Conservation Authority (LPRCA) (Figure 6). The existing and proposed buildings are located outside the regulation limit.

It is my professional opinion that the proposal is consistent with the Provincial Policy Statement (2020).

4.3 Long Point Region Conservation Authority, Ontario Regulation 41/24

Ontario Regulation 41/24 (“the Regulation”) is prepared under the Conservation Authorities Act (1990), as approved by the Minister of Natural Resources. The purpose of the Regulation is to prevent loss of life, minimize property damage and social

disruption, and avoid public and private expenditure for emergency operations, evacuation and restoration due to natural hazards and associated processes. Further, the Regulation prohibits development which, singularly or cumulatively, may restrict riverine channel capacities to pass flood flows, reduce storage capacity in floodplains and wetlands resulting in increased flood levels, and create potential danger to upstream and downstream landowners.

A portion of the Subject Lands is regulated under Ontario Regulation 41/24, as administered by the Long Point Region Conservation Authority (LPRCA). The Subject Lands contain natural hazard and natural heritage features, including a watercourse and the regulated allowance adjacent to the watercourse. Figure 6 below shows an excerpt from the LPRCA Regulation 41/24 mapping. The proposed ARDU will be located outside of the identified natural hazard feature and the associated regulated area.

Figure 6 – Long Point Region Conservation Authority Regulation Map



On April 1, 2024, Ontario Regulation 41/24 (Prohibited Activities, Exemptions and Permits) and Part VI of the Conservation Authorities Act came into effect. This regulation replaces the Long Point Region Conservation Authority's previous "Regulation of Development, Interference with Wetlands and Alterations to Shorelines and Watercourses" regulation. As such, amendments to the Long Point Region Conservation

Authority's Planning & Regulation Policies and Guidelines (October 4, 2017) will be forthcoming to reflect this new framework.

4.4 Official Plan (2018)

The Official Plan was adopted by County Council in 2006 with a five-year review completed in 2018. The Official Plan was approved by the Ministry of Municipal Affairs and Housing on October 5, 2018. The Official Plan provides a framework of objectives and strategies, land use designations and policies intended to guide the future growth and development in the County which will result in strong, balanced, sustainable, and complete communities.

The Property is designated Agricultural and Hazard Lands in the Norfolk County Official Plan. The Property is also subject to the Lakeshore Special Policy Area Secondary Plan.

There is an existing single detached dwelling on the Subject Lands. The proposal involves construction of an additional residential dwelling unit to the east of the primary dwelling. The Official Policies encourage residential intensification by providing affordable and accessible housing options for its residents which includes accessory units.

Figure 7 is an excerpt from the Norfolk County Official Plan, outlining the Subject Lands.

On September 20, 2022 Norfolk County approved a conformity exercise to update the Official Plan and Zoning By-Law to reflect Provincial changes to the Planning Act to permit up to two Additional Dwelling Units (ADUs) for lands that have a single detached, semi-detached or townhouse dwelling subject to certain provisions. The initiative is a component of the Growth Management Study. Official Plan amendment number 149 replaces previous Official Plan policies related to ARDUs.

Figure 7 – Norfolk County Official Plan Excerpt



Section 5.3.3.1 of the Official Plan provides policies for Additional Residential Dwelling Unit and defines them as:

An “additional residential dwelling unit” is a self-contained residential dwelling unit supplemental to the primary residential dwelling use of the property. The additional residential dwelling unit may be located within the primary dwelling (interior) or in a detached accessory building or detached structure ancillary to the primary residential unit.

The development of an additional residential dwelling unit must comply with the following policies:

- a) Interior Unit – One (1) additional residential dwelling unit may be permitted within a single detached dwelling, a semi-detached dwelling and street townhouse dwelling unit within areas designated Urban Residential, Hamlet, or Agricultural;

The proposed unit is not internal to the primary dwelling on the Subject Lands.

- b) Detached Unit – One (1) additional residential dwelling unit may be permitted in a detached building or structure ancillary to a single detached, semi-detached dwelling or street townhouse dwelling within areas designated Urban Residential, Hamlet, or Agricultural;

The ARDU is proposed within a detached structure ancillary to the existing single detached dwelling located on the Property. The Subject Lands are designated Agricultural.

- c) A maximum of two additional residential dwelling units, one interior unit and one detached unit, shall be permitted per lot. Where another special housing form exists on the lot, including without limitation, a garden suite or mobile home, as determined by Norfolk County, one (1) interior additional residential dwelling unit shall be permitted.

One (1) ARDU is proposed. It is in the form of a detached unit. No other special housing form exists on the Subject Lands.

- d) Where an additional residential dwelling unit is located on a lot, a boarding, lodging or rooming house is not permitted. And alternatively, where a boarding, lodging or rooming house already exists on the lot, an additional residential dwelling unit shall not be permitted on the same lot.

No boarding, lodging or rooming house exists, or are proposed on the Subject Lands.

- e) Existing adequate municipal services (water and wastewater) or private services (septic and well) shall be available to service the additional residential dwelling unit to the satisfaction of Norfolk County. Norfolk County shall not be under any obligation to install such services as part of any specific application to establish an additional residential dwelling unit.

The proposed ARDU will be serviced by private well and septic system. The existing well and a new septic system will service the ARDU. The conceptual plan shows the location of the services, however, additional details will be included during the Building Permit Process.

- f) Additional residential dwelling units shall not be permitted on lands designated for seasonal or resort residential uses and are specifically not permitted in seasonal

dwellings, vacation dwellings, and dwellings intended for short-term accommodation purposes.

The Subject Lands are designated Agricultural. The existing primary dwelling is not a seasonal dwelling, vacation dwelling or short-term accommodation.

- g) Development of an additional residential dwelling unit shall be subject to the following criteria:
- i. The structural stability of the building is adequate to accommodate the alterations necessary for an additional dwelling;
 - ii. Exterior changes to the structure shall be minimal;
 - iii. Compliance with provisions of the Ontario Building Code, and all other relevant municipal and Provincial standards, including the Zoning By-Law;
 - iv. The unit is ancillary to the primary permitted single detached, semi-detached or street townhouse dwelling use, and is located within an existing primary residential building or within an accessory building or structure; and
 - v. An additional residential dwelling unit shall comply with the Ontario Regulation 179/06 under the Conservation Authority Act as they relate to development within lands affected by flooding, erosion or located within hazardous lands.
 - vi. The primary use shall be established on the site prior to the development of an accessory residential dwelling unit;
 - vii. The entirety of a detached additional residential dwelling unit is to be located within a maximum of 40 metres from the primary dwelling. For detached additional residential dwelling units on private services (well and septic systems) they must be located within the 40-metre distance from the primary dwelling. Detached additional residential dwelling units in excess of the 40-metre distance requirement or other zoning provisions, may be assessed through minor variance or a zoning by-law amendment application.

The ARDU will be ancillary to the primary dwelling and will comply with Ontario Building Code, Ontario Fire Code and all other relevant municipal and Provincial standards. There are no structural changes required to existing buildings. The ARDU is not within lands regulated under Ontario Regulation 179/06, now Regulation 41/24, and the primary residential unit is established on the Site at present. The detached ARDU is proposed 46 metres distance east of the primary residence.

It is my professional opinion that the proposed application for the Minor Variance conforms to the policies of the Norfolk County Official Plan.

4.5 Lakeshore Special Policy Area Secondary Plan (2009)

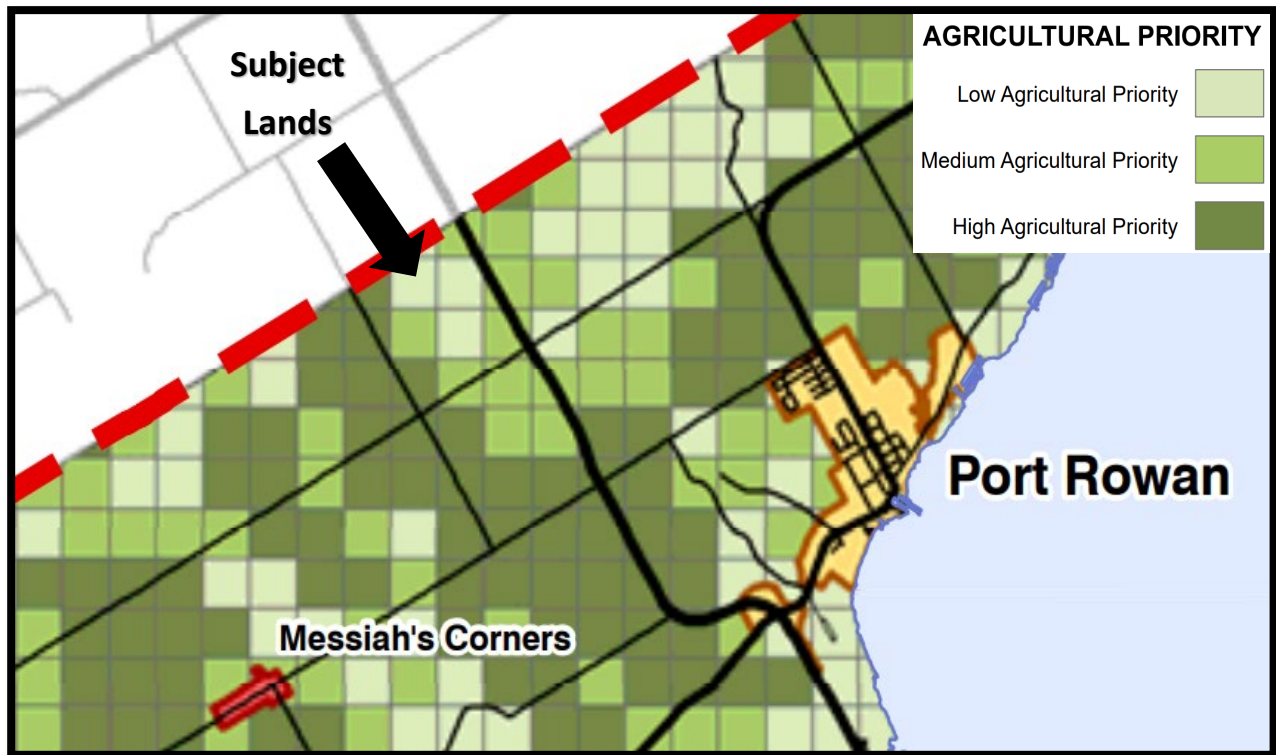
The County recognizes that development pressures along the lakeshore need to be carefully managed in order to protect the area's unique natural attributes and ecological significance, which forms the basis for much of the interest in the lakeshore. Furthermore, there is a need to protect human health and safety from the natural hazards and potential human made hazards associated with concentrations of development on private services.

The Lakeshore Special Policy Area (LSPA) Secondary Plan and supportive Community Design Guidelines address the special lakeshore attributes and the unique local land use arrangements to ensure the community, environmental and economic sustainability of the County's waterfront.

Section 11.4 of the LSPA identifies the Agricultural Strategy. The agricultural strategy outlines a sustainable approach to protecting the County's agricultural resources while promoting the long-term economic viability of agricultural operations.

The Subject Lands are identified as Low Agricultural Priority in the Norfolk County Official Plan Lakeshore Special Policy Area Secondary Plan Appendix "B". An excerpt of the LSPA is in Figure 8 below, identifying the Subject Lands.

Figure 8: Norfolk County Official Plan Lakeshore Special Policy Area Secondary Plan



The following policies in Section 11.4 apply to lands designated Agricultural Area in the LSPA:

- a) The policies of Section 3.7 (Agriculture Area) of this Plan continue to apply to the LSPA Agricultural Area unless otherwise indicated.

Noted.

- b) The County is committed to the protection of high quality, economically viable, prime agricultural land. Given that the entire LSPA Agricultural Area comprises a prime agricultural area, the County recognizes that where growth and development is justified, it is likely that land with agricultural productivity shall need to be utilized. This Plan directs non-agricultural growth and development to lower priority agricultural land, where it is practical and feasible to do so.

The Subject Lands are identified as Low Agricultural Priority in the LSPA. A minor encroachment into the arable lands is proposed to accommodate the ARDU.

- c) Wind energy systems are not permitted on lands east of Big Creek in the Lakeshore Special Policy Area, in accordance with the policy of Section 4.2.1 h) of this Plan.

No wind energy systems are proposed as part of this application.

Section 11.7 provides the Infrastructure Strategy for lands in the LSPA.

Section 11.7.1 Water, Wastewater and Stormwater Servicing:

- a) The policies of Section 8.9 (Water and Wastewater Services) of this Plan shall continue to apply to the LSPA.

Noted.

- b) Stormwater management systems shall be designated and managed in accordance with the policies of Section 8.9.4 of this Plan. The County shall encourage connectivity between stormwater management systems and public trails and open space areas and provide public access, where feasible and appropriate.

Formal stormwater infrastructure will not be provided in association with the current application. There is sufficient permeable space on the Property to accommodate infiltration of stormwater on Site.

- c) Development shall only be permitted where it has been demonstrated to the satisfaction of the County, Conservation Authority, Ministry of the Environment, or appropriate approval authority that suitable water, wastewater and stormwater management measures exist to accommodate the proposed development.

The existing dwelling is accommodated by private well and septic system. The existing well and a new septic system will be installed to service the proposed ARDU.

- e) The County will strictly monitor development within environmentally sensitive areas, particularly Hamlet Area and Resort Areas where private sewage and/or water services exist to ensure such systems are maintained and functioning appropriately to minimize potential environmental impacts.

The Subject Lands are not identified as being located within an environmentally sensitive area.

It is my professional opinion that the proposed Minor Variance application conforms to the policies of the Lakeshore Special Policy Area Secondary Plan.

4.6 Zoning By-Law of Norfolk County, 1-Z-2014

The site is zoned Agricultural (A) and Hazard Land (HL) in the Norfolk County Zoning By-Law 1-Z-2014. An excerpt from the Zoning By-law, showing the location of the Property, is included in **Figure 9** below.

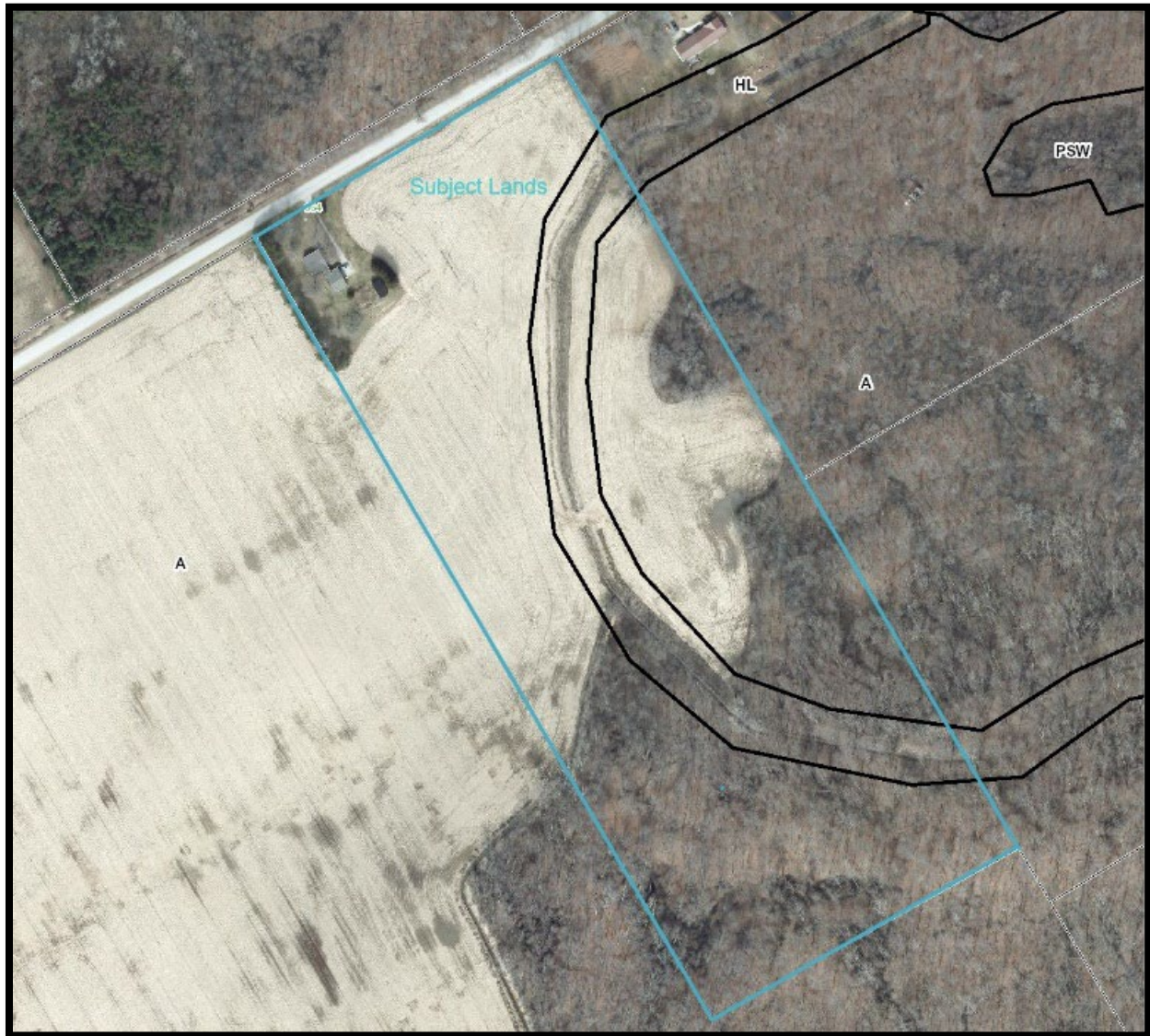
Section 2.52.1 defines Additional Residential Dwelling Unit as a self-contained residential dwelling unit supplemental to the primary residential dwelling use of the property. The additional residential dwelling unit can be located within the primary dwelling, or in a detached accessory building on the same lot as the primary dwelling.

Further, a Detached Additional Residential Dwelling Unit, as is proposed through this application, is defined in Section 2.52.3 as a separate accessory building on a lot containing a dwelling unit which is subordinate and secondary to the principal dwelling unit located on the same lot.

Section 2.52.1 defines Additional Residential Dwelling Unit as a self-contained residential dwelling unit supplemental to the primary residential dwelling use of the property. The additional residential dwelling unit can be located within the primary dwelling, or in a detached accessory building on the same lot as the primary dwelling.

Further, a Detached Additional Residential Dwelling Unit, as is proposed through this application, is defined in Section 2.52.3 as a separate accessory building on a lot containing a dwelling unit which is subordinate and secondary to the principal dwelling unit located on the same lot.

Figure 9: Norfolk County Zoning By-law



Section 3.2.3 provides general policies associated with Additional Residential Dwelling Units.

- a) Additional Residential Dwelling Units shall be permitted in the following zones:
 - vi. Agricultural (A)

The Subject Lands are zoned Agricultural (A) zone.

- b) Additional Residential Dwelling Units shall be permitted in single detached, semi-detached and street townhouses and located on the same lot as the primary dwelling.

The ARDU is not proposed interior to an existing dwelling. It is proposed as an accessory use to the existing primary dwelling.

- c) Additional Residential Dwelling Units shall not occupy any part of a front yard or a required exterior side yard except an accessory building or structure in an Agricultural Zone (A) which shall occupy no part of a required front yard.

The ARDU is not proposed in the required front or exterior side yard.

- d) The Additional Residential Dwelling Unit shall have its own exterior entrance separate from the exterior entrance to the primary dwelling unit, but shall not be permitted on an elevation, or façade of the building that faces a public street or private road; and shall have no means of internal access to the primary dwelling unit, except that access to a primary and second dwelling through a common vestibule entry is permitted.

The ARDU is designed with its own exterior entrance, separate from the exterior entrance to the primary dwelling unit as the ARDU is a standalone building. The exterior entrance to the ARDU is proposed on the north elevation.

- e) The maximum number of residential dwelling units permitted per lot shall be three (3), including a primary dwelling unit, one Interior Additional Residential Dwelling Unit and one Detached Additional Residential Dwelling Unit. Two Interior Additional Residential Dwelling Units or Two Detached Additional Residential Dwelling Units are not permitted.

The current proposal would result in two (2) residential dwelling units on the Subject Lands, the primary dwelling and one (1) detached additional residential dwelling unit.

- f) Two (2) additional residential dwelling units are permitted on a lot occupied by a primary dwelling unit. Where an Additional Residential Dwelling Unit is located on a lot, none of a boarding or lodging house, or rooming house are permitted on that lot. If a boarding or lodging house, or rooming house already exists on a lot, an Additional Residential Dwelling Unit is not permitted.

No garden suite, boarding or lodging house or rooming house exist on the Subject Lands.

- g) A lot may contain both an Interior Additional Residential Dwelling Unit and a garden suite but not a Detached Additional Residential Dwelling Unit and a garden suite.

No garden suite exists, or is proposed, on the Subject Lands.

- h) An Additional Residential Dwelling Unit shall not be permitted in a vacation home or any other dwelling intended for vacations, recreation, seasonal or short-term accommodation purposes.

The existing dwelling on the Property is a principal dwelling.

- i) Additional Residential Dwelling Units are not permitted within a farm building or on-farm diversified use.

The ARDU is not proposed within a farm building or on-farm diversified use. The ARDU is proposed as a standalone residence.

- j) An Additional Residential Dwelling Unit shall be required to meet all legislation, regulation, By-Law standards and requirements and all appropriate permits must be issued prior to the establishment of the Additional Residential Dwelling Unit.

The proposal will conform to the requirements of the Ontario Building Code and Fire Code, as well as all identified legislation, regulation, By-Law standards and requirements as identified. All appropriate permits will be sought prior to the establishment of the ARDU.

- k) Additional Residential Dwelling Units are permitted in dwelling units connected to municipal water and waste water services or private water and septic systems.

The proposed ARDU will be serviced via private water services and private septic services. At the time of building permit, additional details will be provided.

- l) Properties on a Provincial Highway that are regulated by the Ministry of Transportation (MTO) shall only be permitted to have a second additional residential dwelling unit subject to MTO approval and permit.

The Subject Lands are not regulated by the Ministry of Transportation (MTO) and thus no approvals or permits are required from MTO.

Section 3.2.3.2 provides general provisions associated with Detached Additional Residential Dwelling Units.

- a) Detached Additional Residential Dwelling Units are not permitted within a farm building or a building use for an on-farm diversified use.

The ARDU is not proposed within a farm building or on-farm diversified use. The ARDU is proposed as a standalone residence.

- b) The maximum useable floor area of a Detached Additional Residential Dwelling Unit is 75m² (807 square feet). This includes any basement area but excludes any attached garage.

The proposed detached ARDU is 116.5 square metres (+/-1,250 square feet). This exceeds the maximum useable floor area of 75 square metres (807 square feet) by 41.5 square metres (+/-446 square feet). It is noted the proposed ARDU is to accommodate the owners. It is important that options for attainable family sized units are considered in rural areas to offer diverse housing options.

- c) Be nearer than 1.2 metres of an interior side yard and rear yard, except:
- i. In the case of a mutual private garage in the rear yard on a common interior side lot line, no separation distance is required;
 - ii. in the case of a rear lot line adjoining a private or public lane, no setback is required;

The structure is not proposed within 1.2 metres of an interior side yard and rear yard lot line.

- d) Detached Additional Residential Dwelling Units shall not occupy any part of a front yard or exterior side yard.

The ARDU is not proposed in a front yard or exterior side yard.

- e) The entirety of the building height of a Detached Additional Residential Unit shall not exceed 5 metres in height.

The ARDU height is proposed to be one-storey building and less than the permitted maximum ARDU building height of 8.0 metres.

- f) The entirety of the Detached Additional Residential Dwelling Unit is to be located within a maximum of 40 metres from the primary dwelling.

The proposed ARDU is located approximately 46 metres east of the primary dwelling due to location of the existing buildings, barns and existing driveways creating additional space separations. This exceeds the prescribed 40 metres and thus a variance is being sought.

- g) Decks and Unenclosed Porches are subject to the provisions outlines in Section 3.6 of the Norfolk County Zoning By-Law 1-Z-2014.

Noted.

- h) One (1) off-street parking space shall be provided for the additional residential dwelling unit in addition to the minimum required parking spaces for the primary dwelling, and in accordance with provisions in the Off-Street Parking Section of this By-Law;

Sufficient off-street parking is provided for both the ARDU and primary dwelling in accordance with the provisions of the off-street parking section of the Zoning By-law.

- i) A minimum of 50 percent of the front yard shall be maintained as landscaped open space [7-Z-2020].

A minimum of 50 percent of the front yard is proposed to be maintained as landscaped open space.

- j) In addition to the provisions outlined in Section 3.2.3.2, a Detached Additional Residential Dwelling Unit is also subject to the provisions outlined in Section 3.2.3.

Noted. The provisions outlined in Section 3.2.3 are addressed above.

Section 3.26 states where this By-Law allows a dwelling to be located on a lot, not more than one (1) dwelling shall be permitted, except within... Agricultural Zone (A) in which one Interior Additional Residential Dwelling Unit and one Detached Additional Residential Dwelling Unit (for a total of two (2) Additional Residential Dwelling Units) are permitted.

One (1) detached additional residential dwelling unit is proposed through this application.

The Agricultural (A) Zone allows for a variety of agricultural uses as well as single detached dwelling and accessory residential dwelling units.

Section 12 outlines provisions for the Agricultural (A) Zone.

A Minor Variance is required for the following:

1. increased useable floor area of an ARDU to 116.5 square metres whereas 75 square metres is permitted;
2. increased distance between the primary dwelling and the proposed ARDU of 46 metres whereas 40.0 metres is the maximum permitted;

All other requirements of the Zoning By-Law will be complied with for site development.

The proposal meets all other requirements of the Agricultural (A) Zone as noted in **Table 1** below:

Table 1: Site Statistics			
Provision	Required	Existing Lot	Compliant
Lot Area , Minimum (hectares)	40.0	10.52	Existing
Lot Frontage , Minimum (metres)	30.0	190.966	Yes
Front Yard , Minimum (metres)	13.0	+/- 20.0	Yes
Interior Side Yard , Minimum (metres)	3.0	<14.0	Yes
Rear Yard , Minimum (metres)	9.0	<9.0	Yes
Building Height , Maximum (metres) <i>**refer to Section 3.2.3.2 e) referencing detached ARDUs**</i>	8.0	>8.0	Yes

Section 11.0 outlines provisions for the Hazard Land (HL) Zone.

In an HL Zone, no land, building or structure shall be used except in accordance with the following uses:

- a) dock, pier or wharf
- b) farm, excluding any building
- c) parking lot
- d) public park

No building or structure are proposed within the Hazard Land (HL) Zone.

The increased useable floor area and increased distance from the primary dwelling for the proposed ARDU meets the general intent and purpose of the Norfolk County Official Plan and Zoning By-Law 1-Z-2014. The proposed minor variance is minor in nature and is appropriate for the accommodation of family sized ARDUs in rural areas. The proposed

minor variances are compatible with the neighbourhood and will not result in adverse impacts on the lands or the surrounding properties.

5. Minor Variance

A Minor Variance Application is required for the Accessory Residential Dwelling Unit for the following:

1. increased useable floor area of an ARDU to 116.5 square metres whereas 75 square metres is permitted; and
2. increased distance between the primary dwelling and the proposed ARDU of 46 metres whereas 40.0 metres is the maximum permitted.

In accordance with the requirements of *the Planning Act*, in the consideration of an application for Minor Variance, there are “four (4) tests” which are required to be satisfied, they are:

- Does the application conform to the general intent of the Official Plan?
- Does the application conform to the general intent of the Zoning By-Law?
- Is the application desirable for the appropriate development of the lands?
- Is the application minor?

5.1 Official Plan Conformity

The Subject Lands are designated Agricultural and Hazard Lands in the Norfolk County Official Plan. The County will preserve and foster, as one of its primary objectives, a thriving agricultural industry and the associated rural lifestyle (Section 6.7.1). The development of the lands for one (1) new detached accessory residential dwelling unit will provide for additional affordable housing options for the owners and their family.

The Official Plan recognizes the need for flexibility to permit a broad and varied range of housing forms, types, sizes and tenures. The development of a detached ARDU is contemplated as an acceptable use in the Agricultural designation and will help to support the development and growth forecasted for the County.

The variations in maximum usable floor area for the accessory residential dwelling unit and being on private services will not have any negative impact on the lands or the abutting properties. The larger size of the ARDU is required as it is a permanent accommodate for the owners. The increased setback from the primary dwelling unit is required due to the location of existing buildings and driveway utilized for farm equipment. The ARDU is required to provide affordable housing options for the occupants.

The proposal is compatible with the surrounding agricultural uses and will not result in significant impacts or changes to the surrounding area. Further, the layout of the development on the Subject Lands has been thoughtfully considered so as to minimize lands taken out of agricultural production to accommodate the ARDU and associated private services.

It is my opinion that the intent of the Official Plan is maintained through the requested variances required for the construction of the additional residential dwelling unit.

5.2 Conformity with the General Intent of the Zoning By-Law

The Subject Lands are zoned Agricultural (A) and Hazard Land (HL) in the Norfolk County Zoning By-Law 1-Z-2014. The intent of the Agricultural Zone is to promote agricultural uses such as growing crops and raising livestock and associated living accommodations.

The proposal offers an accessory residential dwelling unit to provide affordable housing options for the owners while their children continue to occupy the existing dwelling. The proposal is for one (1) detached ARDU, in line with the requirements of the Zoning By-Law. However, the ARDU is proposed to be larger in size as these are not temporary accommodations and will be occupied by a family in a more permanent manner. Further, the ARDU will have a greater distance between the primary dwelling and the proposed unit to accommodate an existing driveway designed and utilized for large farm equipment to access the agricultural lands and agricultural accessory structures.

The proposal requires the principal dwelling and the ARDU be constructed on private services as municipal services do not exist within proximity to the Subject Lands. The ARDU will utilize the existing well, but a new septic system will be required for the new unit. The by-law requires services to the satisfaction of the County, the technical details of which will be provided during the Building Permit application.

Compliance with all other regulations of the Zoning By-Law are met.

The development of the site will respect the natural heritage features on the lands, minimize encroachment into arable lands and will conform to the Building Code and Fire Code requirements.

It is my opinion that the variances are needed for efficient development of the parcel and would maintain the general intent of the Zoning By-Law as there are no negative impacts to the surrounding properties.

5.3 Appropriateness of the Minor Variance for the Desirable Development of the Lot

Each application is reviewed at its own merit. The lands are located in an agricultural area of the County where farming is encouraged. Occupations in the farming sector are important to the local employment base, and the proposed ARDU provide diverse housing opportunities for the owners. From a public interest perspective, there are no impacts to neighbouring properties as uses supporting agriculture are proposed in an agricultural area. Further, these variances allow for maintained integrity of the natural heritage features located on the Subject Lands. The proposed site layout of the ARDU avoids development within the natural heritage features and maintains development within the built-up area of the property, outside of the arable lands.

The ARDU, as proposed, has a footprint larger than the maximum permitted floor area. This proposed increase in floor area allows for a family sized unit to be accommodated on-site. The proposed ARDU supports the achievement of complete communities that provide a diverse range and mix of housing options, including additional residential dwelling units and affordable housing to accommodate people at all stages of life, and to accommodate the needs of all household sizes and incomes. Hence the proposed application for Minor Variance aligns with the surrounding area and County's growth policies.

The ARDU is proposed beyond the maximum setback from the primary dwelling existing on site. The proposed increased setback is to accommodate existing infrastructure on site, including an existing driveway used for agricultural equipment to access arable land and existing livestock facilities. The additional distance will ensure safety of the occupants from the large equipment utilizing the farm driveway.

Based on the analysis contained in this Report, the variances are required for the desirable development of the lands and are in keeping with the form of development in the surrounding area.

It is my opinion that the proposed variances provide for desirable development of the land.

5.4 Proposed Variance is Minor in Nature

The proposed variances are minor in nature for the following reasons:

- the maximum floor area is requested to be increased from 75 square metres to 116.5 square metres. The 41.5 square metre increase results in an ARDU that is 1/3 larger than the permitted unit size and will provide family sized ARDUs to accommodate people at all stages of life as well as varied household sizes; and
- the maximum setback permitted between the primary dwelling and ARDU is 40.0 metres. An additional 6 metres is required to maintain the existing agricultural access located between the primary dwelling and ARDU. The driveway allows for access to arable lands and existing livestock facilities.

Based on the review of the Official Plan policies, Zoning By-Law regulations, along with the three (3) tests as outlined in this report, it is my opinion that the reduced regulations meet the general intent and purpose of the Official Plan and the Zoning By-Law.

It is my opinion that the proposed variances are minor in nature and are appropriate for the desirable development of the subject lands and will not result in adverse impacts on surrounding properties.

6. Summary and Recommendations

The proposed application for a Minor Variance is required to allow for the proposed detached accessory residential dwelling unit to be greater in size than 75 square metres of usable floor area allowed by Norfolk County's Zoning By-Law. The proposal requests a 116.5 square metre ARDU. The ARDU is proposed to be 46 metres from the primary dwelling, whereas 40 metres is the permitted maximum.

The proposed new building will be located outside the hazard lands and will meet all other requirements for ARDUs.

It is my professional opinion that the proposed application is:

- consistent with the Provincial Policy Statement;
- conform with the policies of the Norfolk County Official Plan, 2018; and
- in keeping with the regulations of the Norfolk County Zoning By-Law 1-Z-14.

The proposed application is in keeping with the general intent and purpose of the Official Plan and the Zoning By-Law and is desirable for the Subject Lands.

The application represents good planning, and it is requested to the Council of the Corporation of Norfolk County that the application be approved.

Respectfully Submitted,

TAG – The Angrish Group



Ruchika Angrish, MPlan, B.Tech, MCIP, RPP
Co-Founder

CC: Stan & Lorelie Starkey, Property Owners
James & Michelle Starkey, Applicants/Residents

I hereby certify that this Planning Justification Report was prepared by a Registered Professional Planner, within the meaning of the Ontario Professional Planners' Institute Act, 1994.



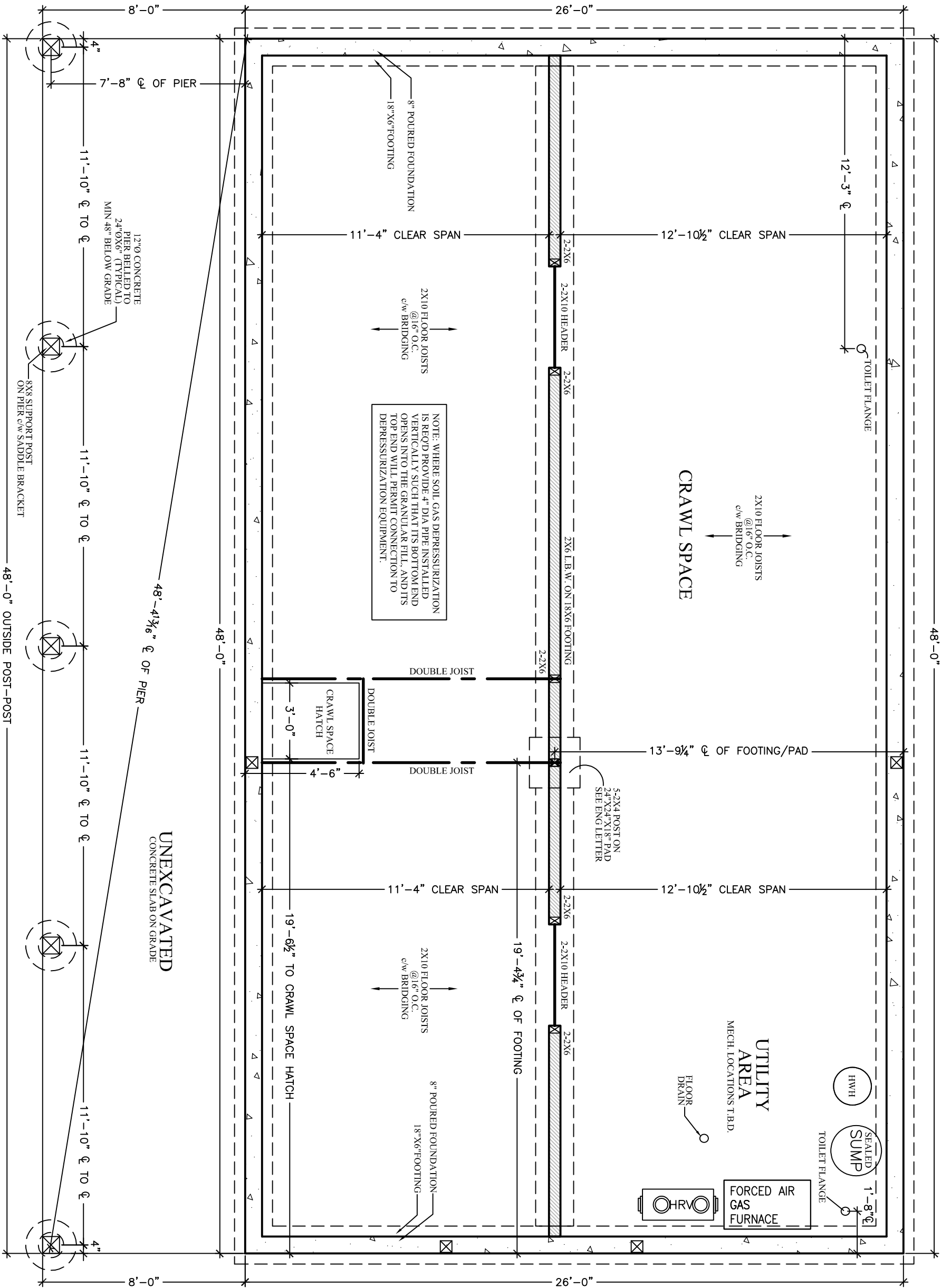
September 10, 2024

I hereby certify that this plan/report was prepared by a Registered Professional Planner,
within the meaning of the Ontario Professional Planners Institute Act, 1994.
September 10, 2024
Date


Ruchika Angrish
Registered Professional Planner

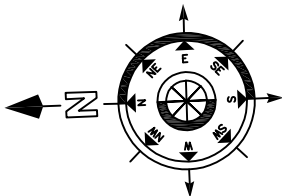
FOUNDATION PLAN

Scale 1/4"=1'-0"



GENERAL NOTES:

1. ALL DIMENSIONS TO EXTERIOR FOUNDATION WALLS
2. ALL FOOTINGS SHALL BEAR DIRECTLY ON UNDISTURBED SOIL, ASSUMED SOIL BEARING CAPACITY = 2500 P.S.F.
3. APPROVED GRANULAR FILL SHALL BE 3/4" MAXIMUM SIZE, 95% STANDARD PROCTOR MAXIMUM DRY DENSITY.
4. ALL EXTERIOR FOOTINGS SHALL BE A MINIMUM 4" BELOW FINISHED GRADE TO PROTECT FROM FROST ACTION.
5. CONCRETE FOR FLOOR SLABS SHALL HAVE A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 25 MPa. ALL OTHER CONCRETE SHALL HAVE A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 20 MPa (4000 PSI) UNLESS OTHERWISE SPECIFIED.
6. REINFORCING STEEL TO HAVE MINIMUM 1/2" COVER, MAXIMUM 2" COVER AT BOTTOM OF SLAB.

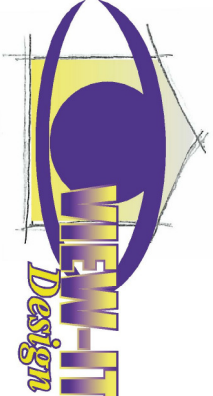


I review and take responsibility for the design work on behalf of a firm registered under subsection 2.17.4. of the O.B.C. I am qualified, and the firm is registered, in the appropriate classes/categories

Top Wall
BCIN : 22052

REVISION	DATE	DESCRIPTION
1	08/12	PERMIT ISSUE
2		
3		
4		

MAIN FLOOR	1248 SQ.FT.
SQUARE FOOTAGE	



PROPERTY OF VIEW-IT DESIGN

VIEW-IT DESIGN
RR#1 PORT BURWELL
OFFICE: 519-851-1173
FAX: 519-874-4087

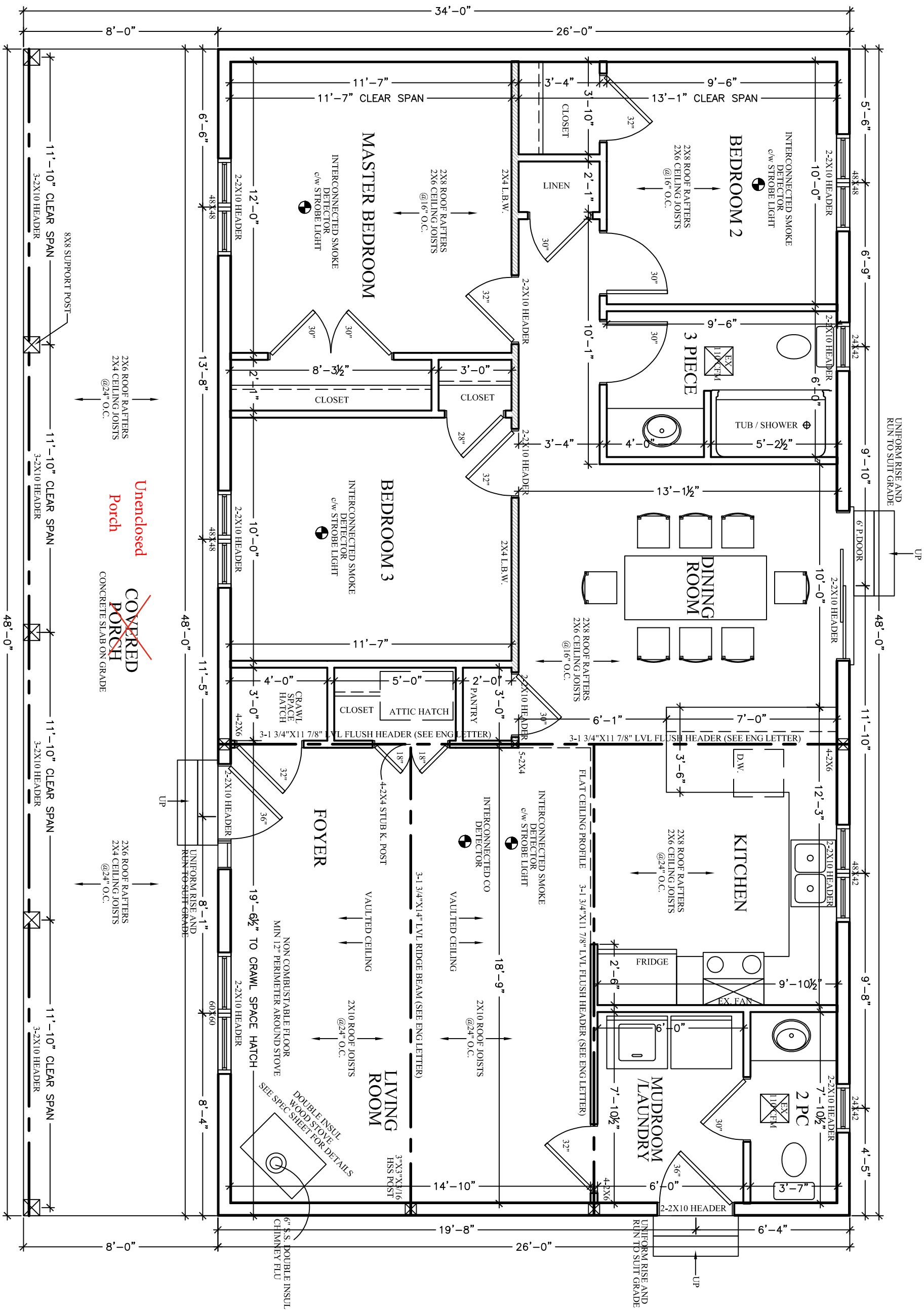
STARKEY RES
864 CONCESSION RD 3
NORFOLK, ONT

PROPOSED HOUSE PLANS
FOUNDATION PLAN

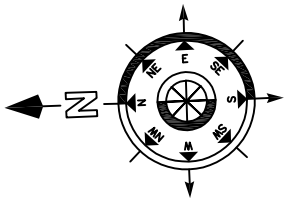
DRAWN BY: TONY WALL
BCIN: 29620
DATE: AUGUST 2024
SCALE: SEE DWG
SHEET NO. 1 OF 10

A1

Scale 1/4"-1'-0"



GENERAL NOTES:

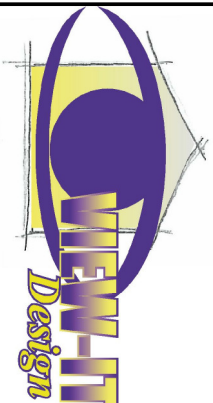


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Tony Wall
BCIN : 22052

	SQUARE FOOTAGE
MAIN FLOOR	1248 SQ. FT.

REV#	DATE	DESCRIPTION
4		
3		
2		
1	08/12	PERMIT ISSUE



PROPERTY OF VIEW-IT DESIGN

VIEW-IT DESIGN
RR# 1 PORT BURWELL
OFFICE: 519-851-1173
FAX: 519-874-4087

FAX: 519-874-4087

STARKEY RES
864 CONCESSION RD 3
NORFOLK, ONT

PROPOSED HOUSE PLAN:

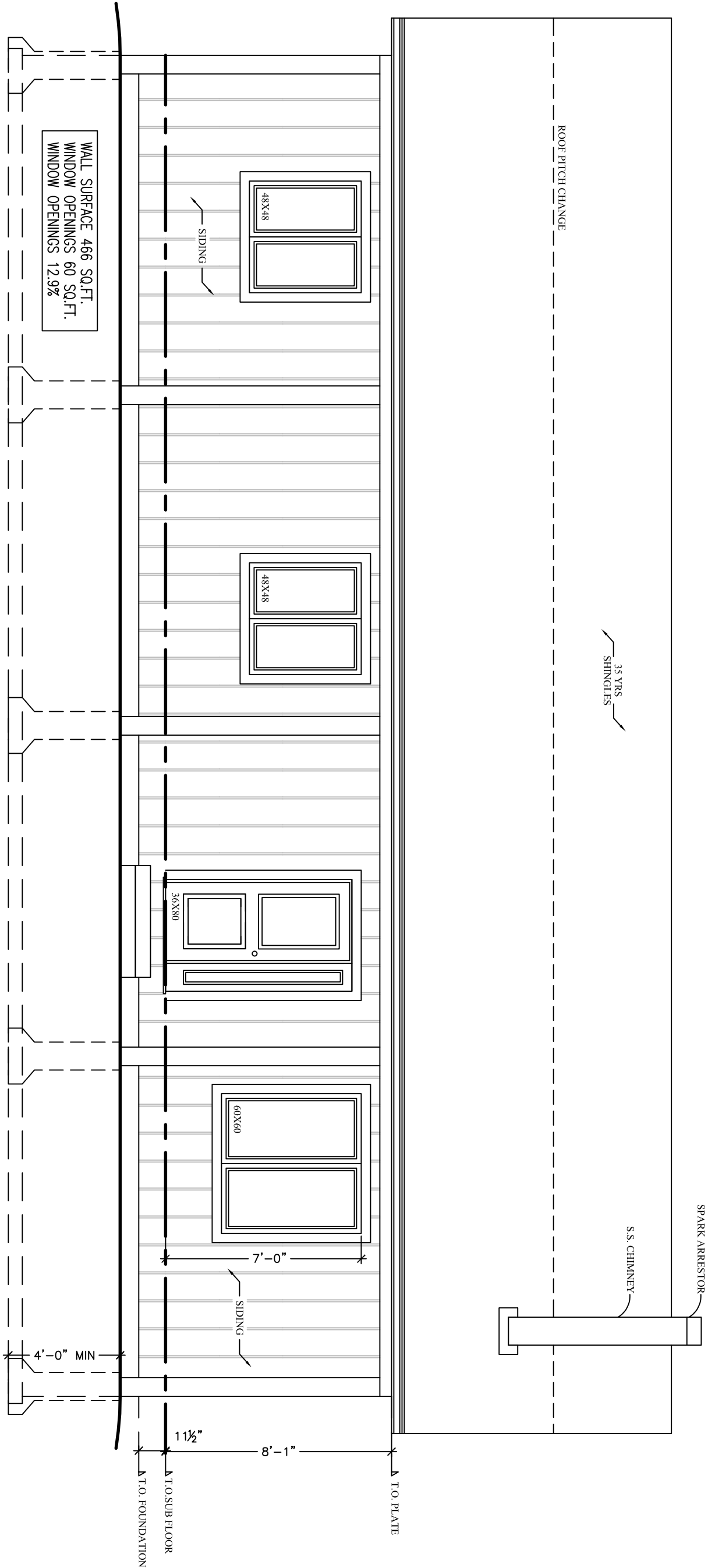
MAIN FLOOR PLAN

N: 29620 PO# 24184

A2

NORTH ELEVATION

Scale 1/4"=1'-0"



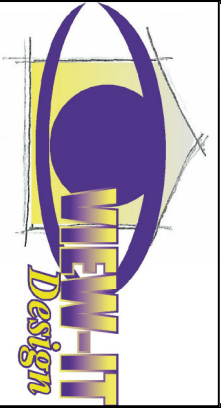
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Tony Wall
BCIN : 22052

MAIN FLOOR 1248 SQ.FT.

REV#	DATE	DESCRIPTION
4		
3		
2		
1	08/12	PERMIT ISSUE



PROPERTY OF VIEW-IT DESIGN

VIEW-IT DESIGN
RR# 1 PORT BURWELL
OFFICE: 519-874-1173
FAX: 519-874-4087

STARKEY RES
864 CONCESSION RD 3
NORFOLK, ONT

PROPOSED HOUSE PLANS
ELEVATIONS

DRAWN BY: TONY WALL SCALE: SEE DWG

BCIN: 29620 PO# 24184

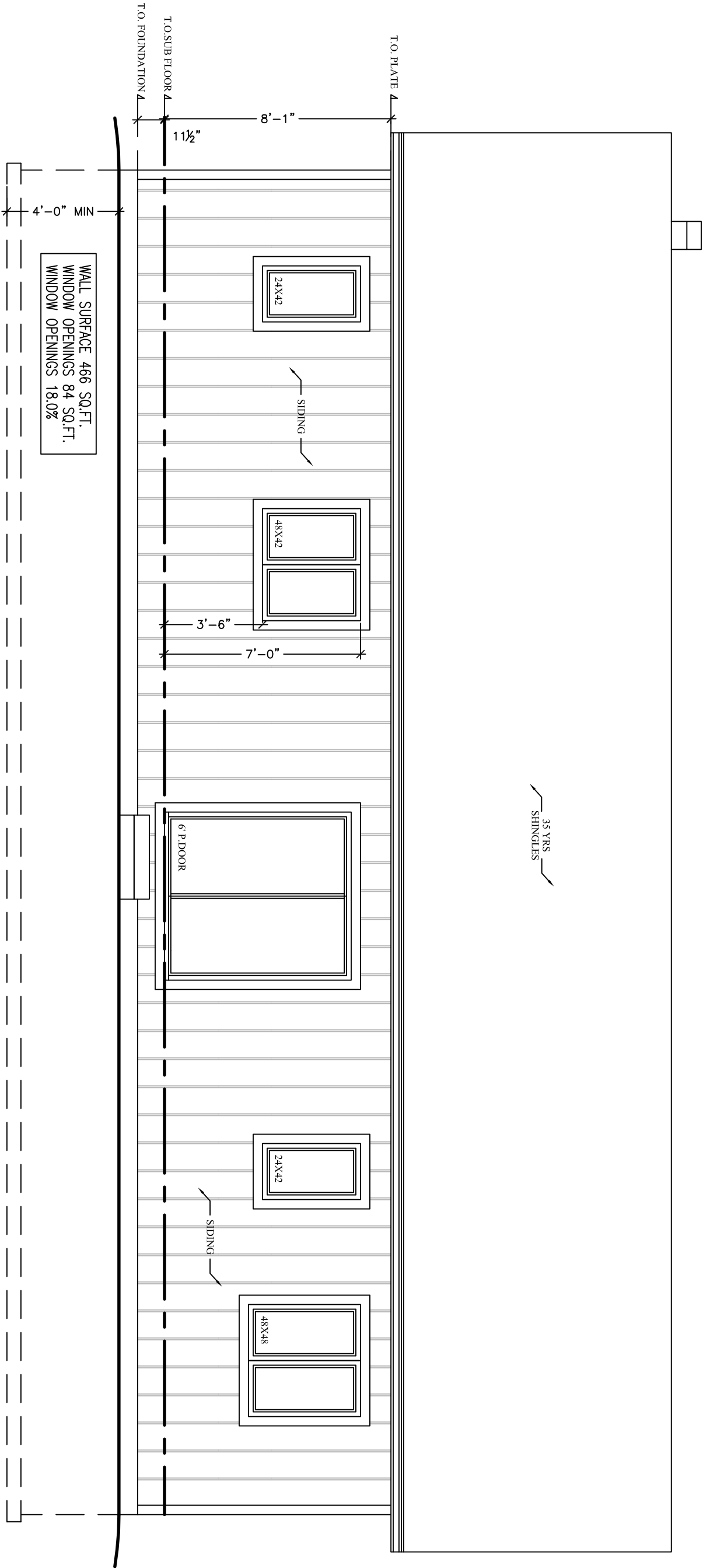
DATE: AUGUST 2024

SHEET NO. 3 OF 10

A3

SOUTH ELEVATION

Scale 1/4"=1'-0"



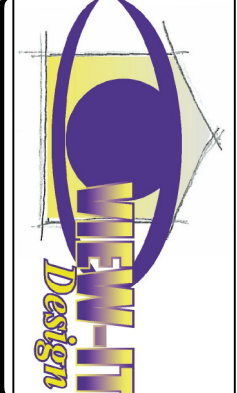
GENERAL NOTES:

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Tony Wall
BCIN : 22052

MAIN FLOOR	SQUARE FOOTAGE
1248 SQ.FT.	

REV#	DATE	DESCRIPTION
4		
3		
2		
1	08/12	PERMIT ISSUE



PROPERTY OF VIEW-IT DESIGN

VIEW-IT DESIGN
RR# 1 PORT BURWELL
OFFICE: 519-874-1173
FAX: 519-874-4087

STARKEY RES
864 CONCESSION RD 3
NORFOLK, ONT

PROPOSED HOUSE PLANS

DRAWN BY: TONY WALL SCALE: SEE DWG

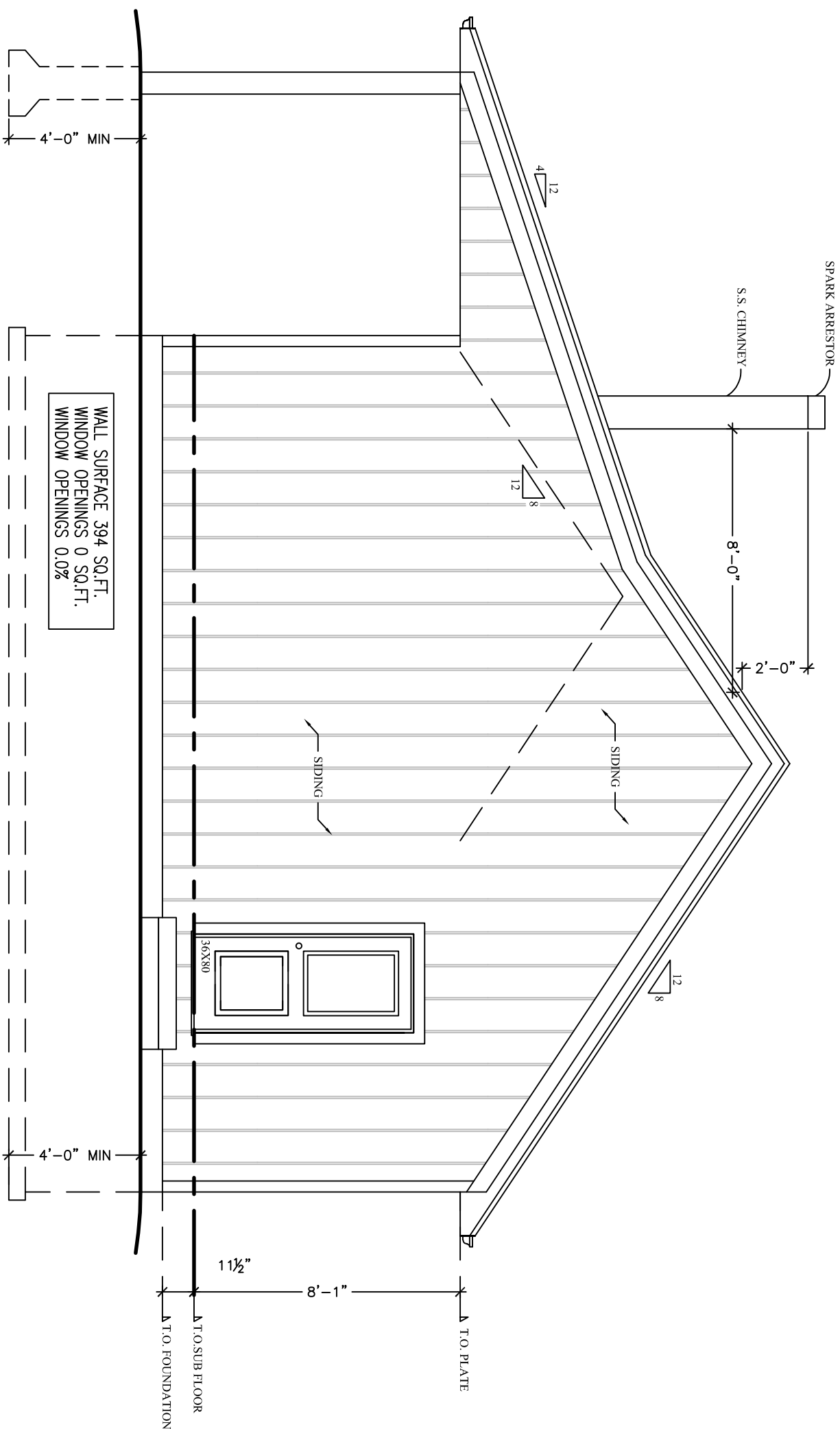
DATE: AUGUST 2024

SHEET NO. 4 OF 10

A4

WEST ELEVATION

Scale 1/4"-1'-0"



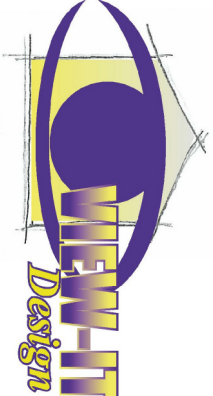
GENERAL NOTES:

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Tony Wall
BCIN : 22052

	SQUARE FOOTAGE
MAIN FLOOR	1248 SQ.FT.

REV.#	DATE	DESCRIPTION
4		
3		
2		
1	08/12	PERMIT ISSUE



PROPERTY OF VIEW-IT DESIGN

VIEW-IT DESIGN
RR# 1 PORT BURWELL
OFFICE: 519-851-1173
FAX: 519-874-4087

STARKEY RES
864 CONCESSION RD 3
NORFOLK, ONT

PROPOSED HOUSE PLANS

ELEVATIONS

DRAWN BY: TONY WALL

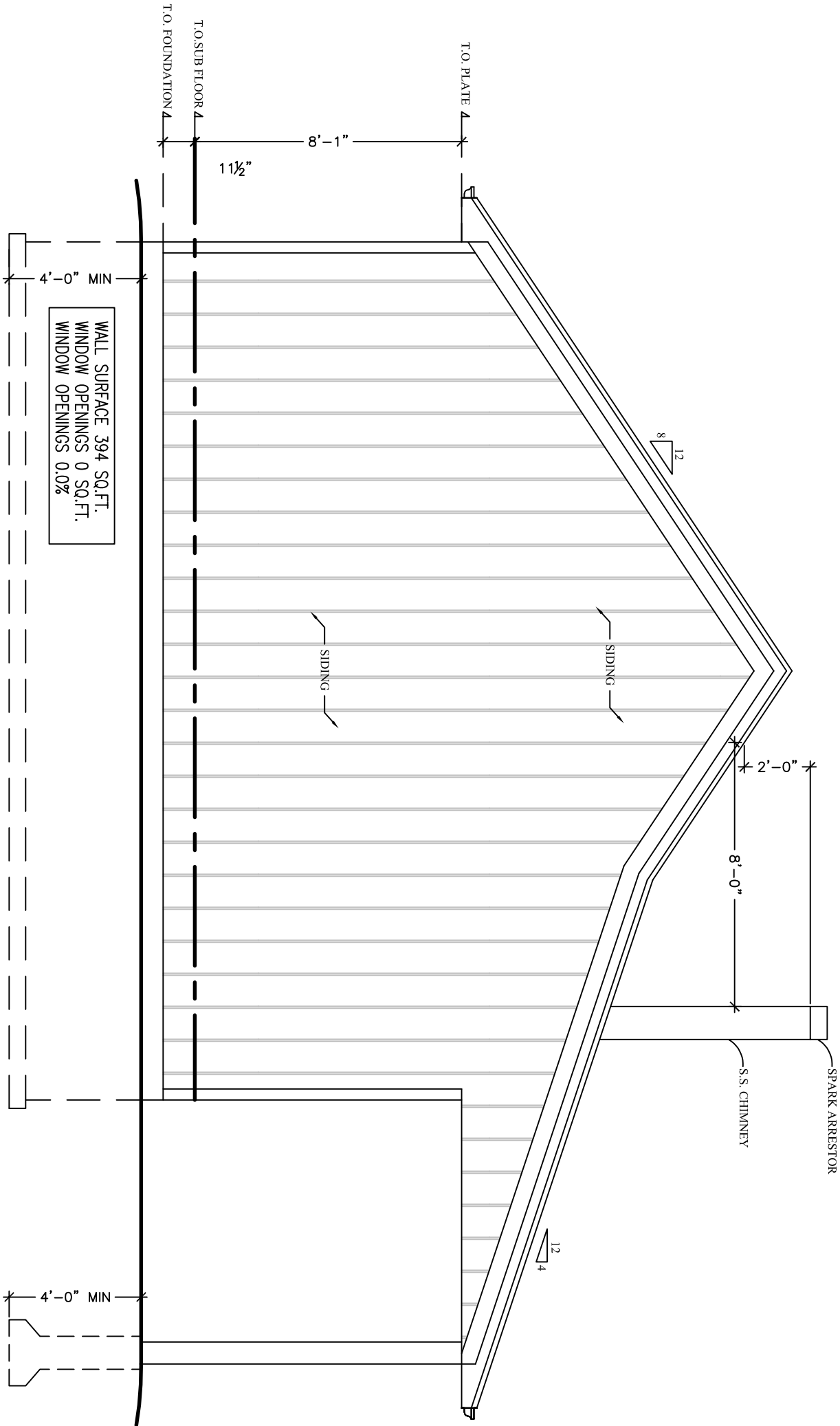
DATE: AUGUST 2024

SHEET NO. 5 OF 10

A5

EAST ELEVATION

Scale 1/4"=1'-0"



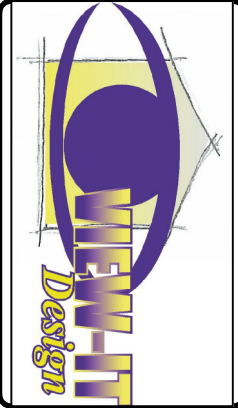
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Tony Wall
BCIN : 22052

REVISION	DATE	DESCRIPTION
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3		
2		
1	08/12	PERMIT ISSUE

REVISION	DATE	DESCRIPTION
4		
3		
2		
1	08/12	PERMIT ISSUE



PROPERTY OF VIEW-IT DESIGN

VIEW-IT DESIGN
RR# 1 PORT BURWELL
OFFICE: 519-881-1173
FAX: 519-874-4087

STARKEY RES
864 CONCESSION RD 3
NORFOLK, ONT

PROPOSED HOUSE PLANS

ELEVATIONS

DRAWN BY: TONY WALL SCALE: SEE DWG

BCIN: 29620 PO# 24184

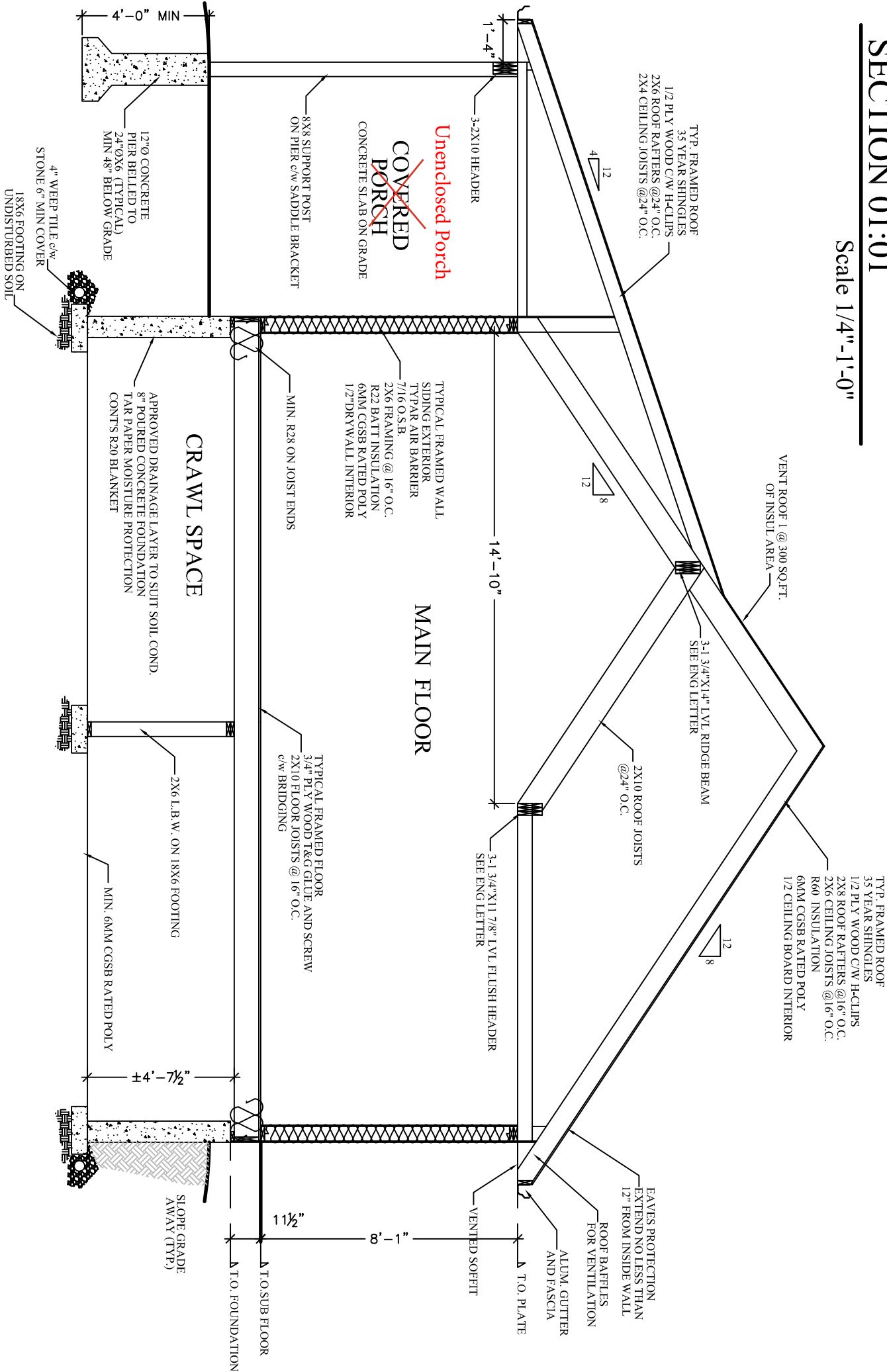
DATE: AUGUST 2024

SHEET NO. 6 OF 10

A6

SECTION 01:01

Scale 1/4"=1'-0"



GIRDER POST SUPPORTS					
BUILT-UP COLUMN SELECTION TABLE					
NAILED BUILT-UP 2 x 4					
WALL HT	S-P-F No.1 / No.2 2 PLY	3 PLY	4 PLY	5 PLY	
8'	3,442 lbf	9,652 lbf	15,342 lbf	19,177 lbf	
9'	2,645 lbf	8,390 lbf	12,291 lbf	15,363 lbf	
10'	2,063 lbf	6,996 lbf	9,860 lbf	12,325 lbf	
11'	1,628 lbf	5,911 lbf	7,946 lbf	9,939 lbf	
12'	1,299 lbf	4,810 lbf	6,366 lbf	7,911 lbf	
BUILT-UP COLUMN SELECTION TABLE					
NAILED BUILT-UP 2 x 6					
WALL HT	S-P-F No.1 / No.2 2 PLY	3 PLY	4 PLY	5 PLY	
8'	5,279 lbf	14,932 lbf	25,382 lbf	33,951 lbf	
9'	4,098 lbf	12,973 lbf	22,947 lbf	32,030 lbf	
10'	3,207 lbf	10,868 lbf	20,895 lbf	30,000 lbf	
17'	N/A	3,215 lbf	9,014 lbf	18,808 lbf	
18'	N/A	3,013 lbf	7,957 lbf	13,870 lbf	

- NOTES:
- * PROVIDE SOLID BEARING BELOW ALL BEAMS AND GIRDER TRUSSES (i.e., 2 PLY TRUSS REQUIRES MINIMUM 2 STUDS FOR BEARING).
 - * ALL LUMBER IN THE DESIGNS ABOVE ARE SPF #2 OR BETTER
 - * BUILT-UP COLUMNS ARE TO BE NAILED OR BOLTED AS PER ONTARIO BUILDING CODE AND CSA-4086.1-94 REQUIREMENTS.
 - * THESE CHARTS ARE MEANT TO BE USED AS A DESIGN GUIDELINE ONLY. ALL ITEMS NOT CONFORMING TO THE ONTARIO BUILDING CODE PART 9 ARE TO BE REVIEWED AND CERTIFIED BY A STRUCTURAL ENGINEER.

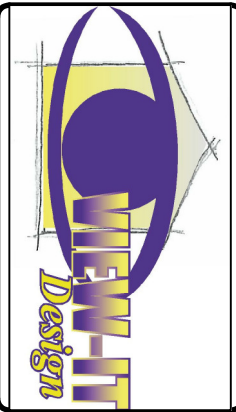
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Tony Wall
BCIN : 22052

	SQUARE FOOTAGE
MAIN FLOOR	1248 SQ.FT.

REV#	DATE	DESCRIPTION
4		
3		
2		
1	08/12	PERMIT ISSUE



PROPERTY OF VIEW-IT DESIGN

VIEW-IT DESIGN
RR#1 PORT BURWELL
OFFICE: 519-874-1173
FAX: 519-874-4087

STARKEY RES
864 CONCESSION RD 3
NORFOLK, ONT

PROPOSED HOUSE PLANS

SECTION

DRAWN BY: TONY WALL SCALE: SEE DWG

BCIN: 29620 PO# 24184
DATE: AUGUST 2024

SHEET NO. 7 OF 10

A7

GENERAL NOTES:

CONTRACTOR SHALL REVIEW THE DESIGN DRAWINGS AND REPORT ANY ERRORS OR OMISSIONS TO THE DESIGNER PRIOR TO PROCEEDING WITH THE WORK OF THE CONTRACT. PROCEEDING WITHOUT NOTIFICATION, OR IF CHANGES ARE MADE WITHOUT THE APPROVAL OF THE DESIGNER, WILL VOID ALL RESPONSIBILITY AND LIABILITY OF THE DESIGNER

THE GENERAL CONTRACTOR SHALL PROVIDE MECHANICAL DRAWINGS FOR HEATING & AIR CONDITIONING SYSTEM AND HEAT LOSS & GAIN CALCULATIONS AND BALANCING REPORTS AS MAY BE REQUIRED BY AUTHORITIES HAVING JURISDICTION.

ALL CONSTRUCTION SHALL CONFORM TO THE REQUIREMENTS OF THE ONTARIO BUILDING CODE, ONTARIO REG. 403/97 AND ALL OTHER APPLICABLE CODES AND REQUIREMENTS OF THE MUNICIPALITY HAVING JURISDICTION.

IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO CONFORM WITH THESE SECTIONS OF THE CODE WHERE APPLICABLE AND BE FAMILIAR WITH PART 9 OF THE CODE.

STAIR DIMENSIONS (UNLESS OTHERWISE SHOWN ON DRAWINGS)

INTERIOR:

MAX RISE 200mm (7 7/8")
MIN. RUN 255mm (10")
MIN. TREAD 278mm (11")
NOSING 25mm (1")

UNIFORM RISE & RUN ON ANY FLIGHT OF STAIRS
MINIMUM HEADROOM 1950mm (6' 5")
GUARD HEIGHT AT LANDING 902mm (35 1/2")
AT STAIRS BETWEEN 902mm (35 1/2")
GUARD SPACING 100mm (4") NON CLIMBABLE
HANDRAILS INSTALLED BETWEEN 920mm (36")

EXTERIOR

MAX RISE 200mm (7 7/8")
MIN. RUN 255mm (10")
MIN. TREAD 278mm (11")
NOSING 25mm (1")

GUARD HEIGHT - 2' 0" ABOVE GRADE = 902mm (35 1/2")
GUARD HEIGHT - 5' 0" ABOVE GRADE = 1067mm (42")
CONCRETE STAIRS OVER 2 RISERS ARE REQUIRED TO BE SUPPORTED ON FOUNDATION
HANDRAIL REQD ON STAIRS OVER 3 RISERS INSTALLED BETWEEN 864mm (34") & 965mm (38")

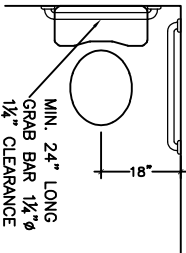
CONCRETE

AS PER OBC SECTION 9.15 & 9.16

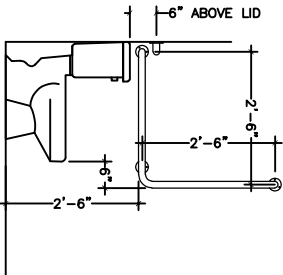
ALL CONCRETE FOOTINGS SHALL BEAR ON UNDISTURBED SOIL WITH A MIN SOIL BEARING PRESSURE OF 2000 PSF
CONCRETE FOR FOOTINGS & FOUNDATIONS TO HAVE MIN. COMPRESSIVE STRENGTH OF 20 MPa (2900 PSI) AT 28 DAYS
STEP FOOTINGS:

MAX RISE 600mm (23 5/8") FOR FIRM SOIL.
MAX RISE 400mm (16" FOR SAND OR GRAVEL
MIN RUN BETWEEN RISERS 600mm (23 5/8")
ANGLE OF REPOSE IS 45°

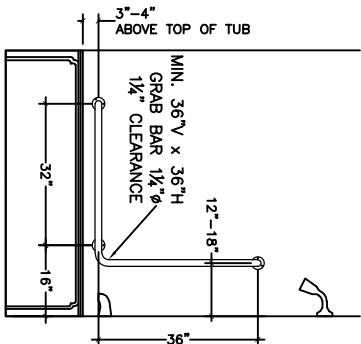
CONCRETE FOUNDATION WALLS SHALL EXTEND TO 6" MIN. ABOVE FINISHED GRADE
FOOTING DESIGN MIN. 6" DEEP X 4" MIN. PROJECTION BEYOND FOUNDATION WALL, AND MIN. OF 16" WIDE
CONCRETE FOUNDATIONS SHALL BE CONSTRUCTED TO SUFFICIENT DEPTH TO PROVIDE ADEQUATE FROST PROTECTION



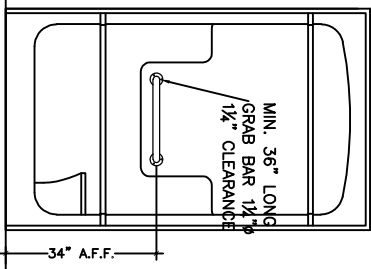
SUGGESTED GRAB BAR
BLOCKING LOCATIONS
(CONDITIONS MAY VARY WITH LAYOUT)



TOILET GRAB BAR BLOCKING LOCATIONS
(BARS NOT INCLUDED UNLESS SPECIFIED)



TUB GRAB BAR BLOCKING LOCATIONS
(BARS NOT INCLUDED UNLESS SPECIFIED)



ACRYLIC SHOWER
GRAB BAR BLOCKING LOCATIONS
(BARS NOT INCLUDED UNLESS SPECIFIED)

WOOD FRAME CONSTRUCTION

AS PER OBC SECTION 9.23

ALL STRUCTURAL LUMBER TO BE SPF#2 CONSTRUCTION OR BETTER UNLESS NOTED OTHERWISE. LUMBER SIZES TO BE AS DETERMINED FROM SPAN TABLES OF THE BUILDING CODE.
SILL PLATES SHALL BE ANCHORED TO THE FOUNDATION WITH 1/2" ANCHOR BOLTS 7'-10" MAX ON SPACING WITH 4" MIN. EMBEDMENT INTO THE CONCRETE
JOIST END BEARING TO BE 1 1/2 MIN.
BEAMS & GIRDELS SHALL HAVE 3 1/2" MIN END BEARING
ALL NON LOAD BEARING PARTITIONS SHALL BE SUPPORTED BY DOUBLE FLOOR JOIST OR SOLID BLOCKING AT 3'11" O.C.
ALL WOOD IN CONTACT WITH CONCRETE SHALL BE PROTECTED FROM MOISTURE.

HEAT TRANSFER, AIR LEAKAGE & CONDENSATION CONTROL

AS PER OBC SECTION 9.25

PROVIDE AN AIR BARRIER IN STRICT ACCORDANCE WITH OBC SECTION 9.23.3

INSULATION REQUIREMENTS:
MIN. R22 INSUL IN ALL EXTERIOR WALLS
MIN. R60 IN EXPOSED CEILINGS WITH ATTIC SPACE
MIN. R20 C1 IN FOUNDATION WALLS ENCLOSING HEATED SPACE

VAPOUR BARRIERS SHALL BE INSTALLED TO PROTECT THE ENTIRE SURFACE OF ANY THERMALLY INSULATED WALL, CEILING & FLOOR ASSEMBLIES, AND TO BE INSTALLED ON THE WARM SIDE OF THE INSULATION. ALL PENETRATION OF THE VAPOUR BARRIER TO BE SEALED TO MAINTAIN THE INTEGRITY OF THE BARRIER SYSTEM..

EXTERIOR DOORS & WINDOWS

AS PER OBC SECTION 9.7

DOORS TO DWELLING SHALL BE OPERABLE FROM THE INSIDE WITHOUT THE USE OF KEYS

ALL EXTERIOR DOORS IF WOOD SHALL CONFORM TO CAN/CSA-O132.2-M, STEEL INSULATED CONFORM TO CAN/CGSB-82.5M
WINDOW GLASS SIZE TO COMPLY WITH CURRENT OBC REQUIREMENTS

ALL DOORS & WINDOWS SHALL COMPLY WITH OBC SECTION 9.7.6- RESISTANCE TO FORCED ENTRY
EVERY FLOOR LEVEL CONTAINING A BEDROOM SHALL HAVE AT LEAST 1 OUTSIDE WINDOW THAT CAN BE OPENED FROM THE INSIDE WITHOUT THE USE OF TOOLS. THESE WINDOWS MUST HAVE AN UNOBSTRUCTED OPEN AREA OF 3.8 SQ.FT. WITH NO DIMENSION LESS THAN 15"

VENTILATION

AS PER OBC SECTION 9.32.3.4

PROVIDE VENTILATION FOR ROOF SPACES AT A RATIO OF 1 SQ.FT. MIN OF UNOBSTRUCTED VENTILATION FOR EACH 300 SQ.FT. OF INSULATED CEILING AREA WITH NOT MORE THAN HALF THE REQUIRED VENTILATION LOCATED AT THE EAVES.
PROVIDE BAFFLES AT THE EAVES TO PERMIT FREE UNOBSTRUCTED AIR FLOW
PROVIDE MECHANICAL VENTILATION SYSTEM TO THE REQUIREMENTS OF OBC 9.32.2 WITH CLEARLY LABELLED PRINCIPAL EXHAUST FAN MANUAL SWITCH.

ELECTRICAL

ALL LIGHTING AND ELECTRICAL TO COMPLY WITH OBC 9.34

ALL FLOOR LEVELS SHALL BE EQUIPPED WITH INTERCONNECTED SMOKE DETECTORS (TYPICAL ALL UNITS)

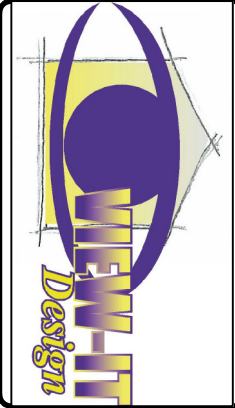
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Tony Wall
BCIN : 22052

	SQUARE FOOTAGE
MAIN FLOOR	1248 SQ.FT.

REV#	DATE	DESCRIPTION
4		
3		
2		
1	08/12	PERMIT ISSUE



PROPERTY OF VIEW-IT DESIGN

VIEW-IT DESIGN
RR#1 PORT BURWELL
OFFICE: 519-871-1173
FAX: 519-874-4087

STARKEY RES
864 CONCESSION RD 3
NORFOLK, ONT

PROPOSED HOUSE PLANS

NOTES

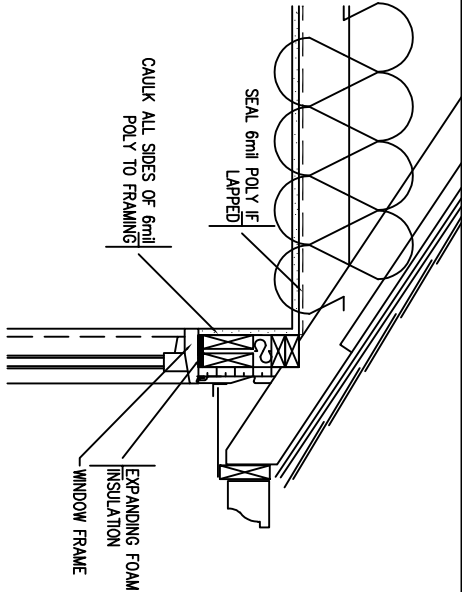
DRAWN BY: TONY WALL
BCIN: 209620
PO# 24184

DATE: AUGUST 2024

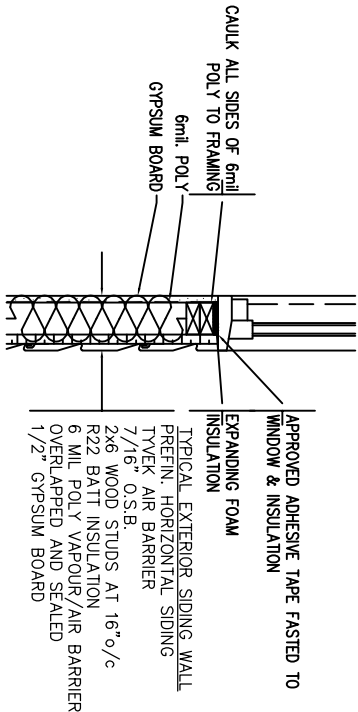
SHEET NO. 8 OF 10

SCALE: SEE DWG

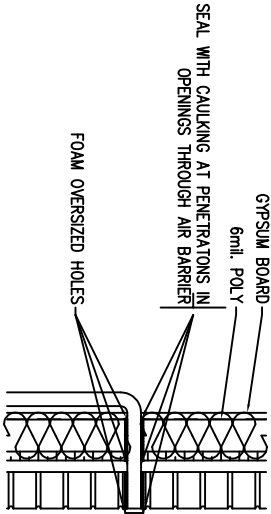
A8



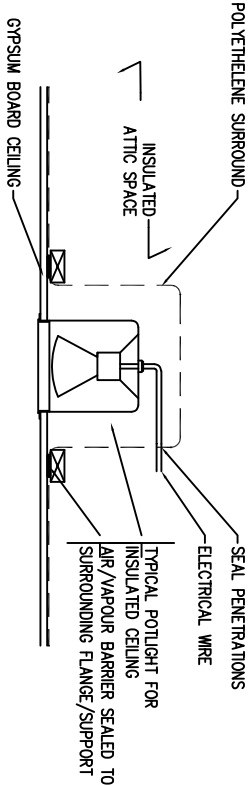
TYPICAL SECOND STOREY WINDOW HEADER



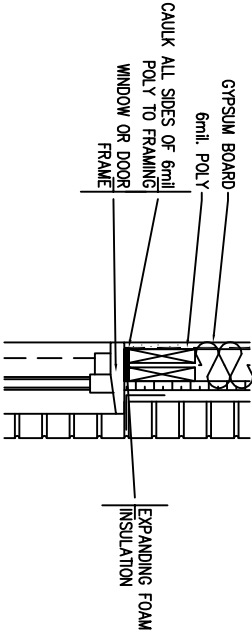
TYPICAL SECOND STOREY WINDOW SILL



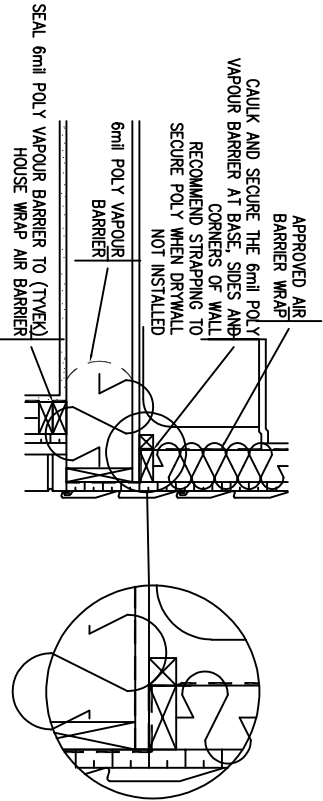
TYPICAL EXTERIOR WALL PENETRATION



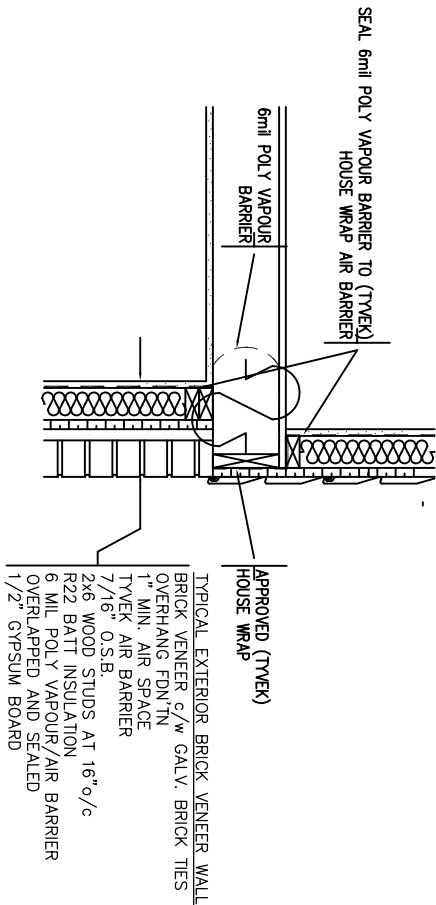
TYPICAL CEILING LIGHT PENETRATION



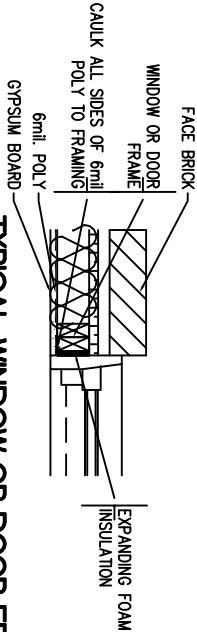
TYPICAL WINDOW OR DOOR FRAME



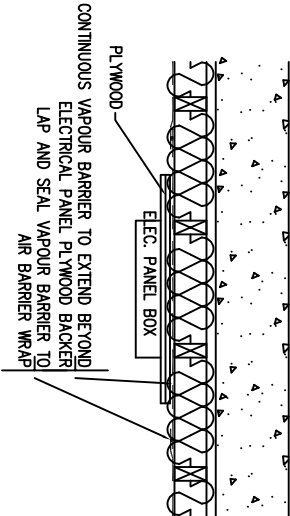
SEAL AIR BARRIER MATERIALS AT BOTTOM PLATE BEHIND TUB/SHOWER



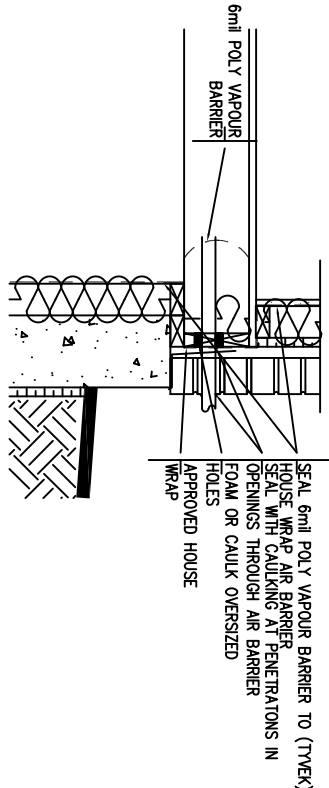
TYPICAL FLOOR TRANSITION BELT



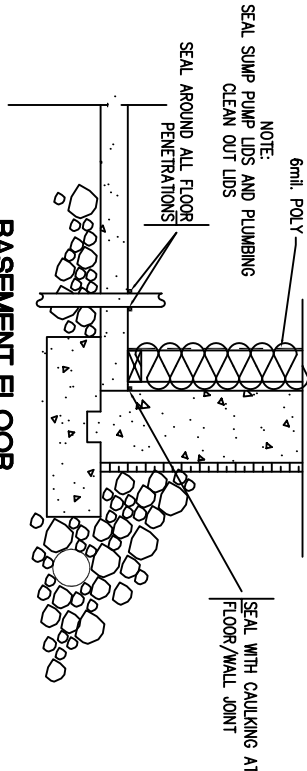
TYPICAL WINDOW OR DOOR FRAME



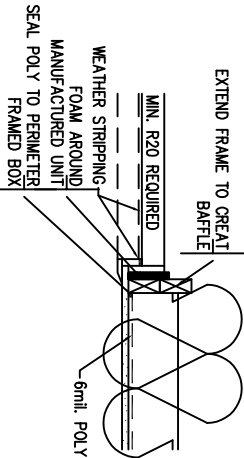
ELECTRICAL PANELS



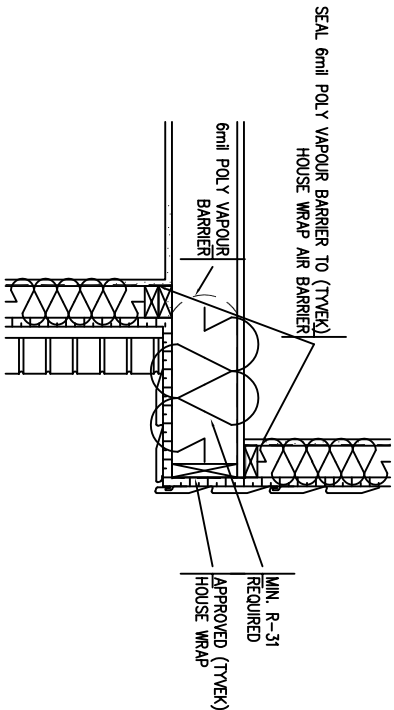
BELT WALL PENETRATIONS



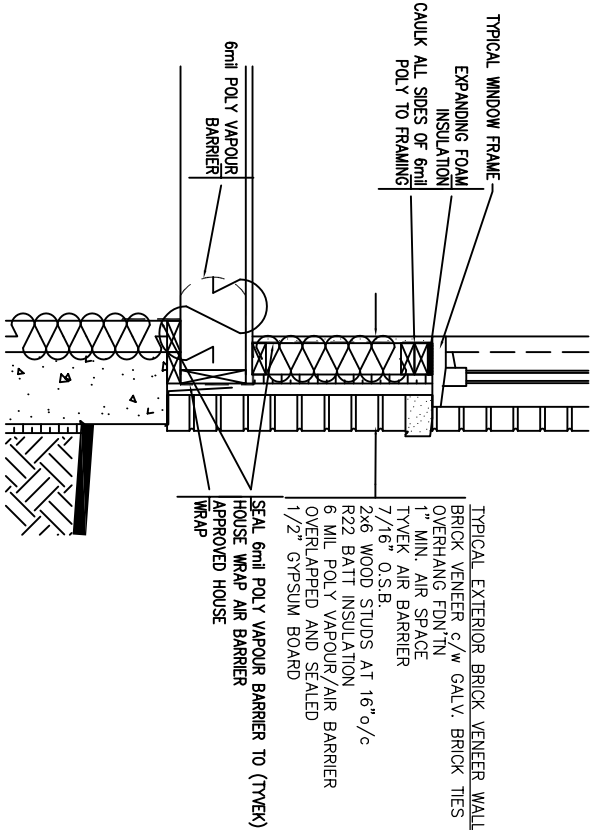
BASEMENT FLOOR



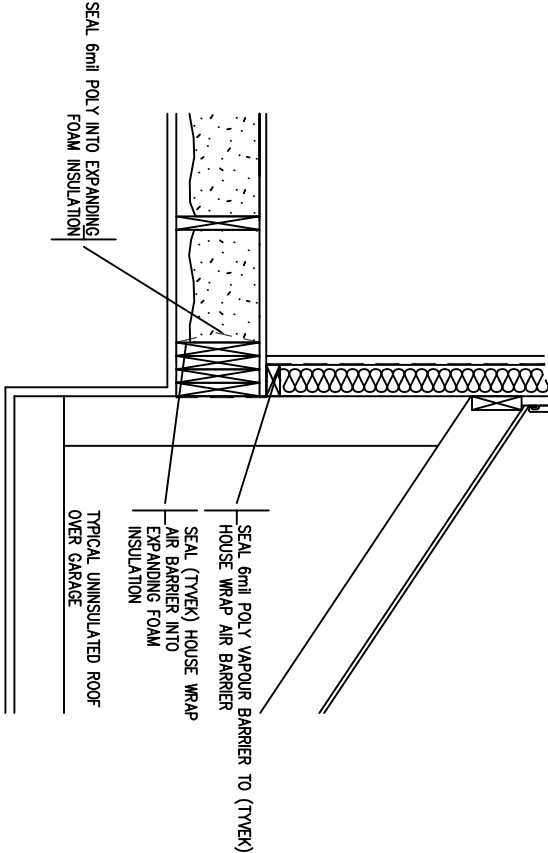
MANUFACTURED ATTIC ACCESS LID



TYPICAL FLOOR CANTILEVER FOR FIREPLACE, BAY ETC.



TYPICAL EXTERIOR WALL TO FOUNDATION



TYPICAL EXTERIOR ABOVE GARAGE

SUPPLEMENTARY AIR BARRIER DETAILS

1. DOOR AND WINDOW FRAMES ARE TO BE FOAMED AND SEALED TO THE INTERIOR OR EXTERIOR AIR BARRIER. (DIV. B-PT. 9, 9.25.3.3.(10), (11) & (12)

2. IF THE AIR BARRIER IS LOCATED ON EXTERIOR, SEAL GAPS BETWEEN RIGID INSULATION AND DOOR OR WINDOW FRAMES. RIGID INSULATION IS TO BE CAULKED TO THE TOP AND BOTTOM PLATES.
NOTE: PETROLEUM BASED TAR PRODUCTS ARE NOT TO COME IN CONTACT WITH RIGID FOAM SEATING.

3. BELTS AT FOUNDATION AND BRICK CANILEVERS ARE TO BE WRAPPED WITH FLEXIBLE AIR BARRIER MATERIAL AND SEALED TO THE INTERIOR VAPOUR BARRIER, AND FOUNDATION WALL. DIV. B-PT. 9 9.25.3.3.(6) & (8)

4. WALLS ABUTTING ATTIC SPACE AND AN INTERIOR SPACE ARE TO BE BLOCKED SO THE AIR BARRIER CAN BE SEALED ALONG THE BLOCKING WITH AN APPROVED SEALANT. DIV. B-PT. 9, 9.25.3.3.(9)

5. ALL PENETRATIONS THROUGH THE WALL OR CEILING AIR BARRIER ARE TO BE TAPED OR CAULKED. ALL BUTT JOINTS IN PANEL TYPE AIR BARRIERS ARE TO BE TAPED. DIV. B-PT 9, 9.25.3.3.(9)

6. SEAL AROUND ALL ATTIC HATCHES

7. ALL LAPS IN AIR BARRIER LOCATED BEHIND TUBS, SHOWERS AND FIREPLACES TO BE SEALED AND CLAMPED. DIV. B-PT. 9, 9.25.3.3.(3)

8. ALL PENETRATIONS THROUGH BELTS (PLUMBING, HVAC, ETC.) TO BE SEALED WITH SPRAY FOAM OR CAULKED. DIV. B-PT. 9, 9.25.3.3.(9)

9. ALL SUMP PITS TO HAVE A SEALED COVER. DIV B-PT. 9, 9.25.3.3.(6)

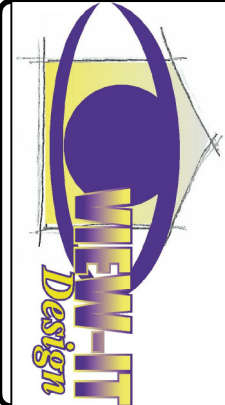
10. CLEANOUT COVERS TO BE SEALED, (WEATHER STRIPPED). DIV. B-PT. 9, 9.25.3.(2)

11. AIR BARRIER TO BE CONTINUOUS THROUGHOUT ENTIRE BASEMENT. DIV. B-PT. 9, 9.25.3.(2)

12. CAULKING IS REQUIRED AT PERIMETER OF FOUNDATION WALL/FLOOR JOINT AND ALL PIPE AND POST PENETRATIONS. DIV. B-PT. 9, 9.25.3.3.(5)

13. MANTAIN AIR BARRIER BETWEEN COLD ROOM AND BASEMENT. DIV. B-PT. 9, 9.25.3.(1)

14. AIR BARRIER IS A SEPARATE INSPECTION WHICH MUST BE CALLED PRIOR TO ANY EXTERIOR FINISH (BRICK, SIDING) BEING INSTALLED. BUILDER IS RESPONSIBLE TO ENSURE AIR BARRIER DETAILS ARE IN PLACE WHEN INSPECTION CALLED. DIV. C-PT. 1, 1.3.5.(e-1)



PROPERTY OF VIEW-IT DESIGN

VIEW-IT DESIGN
RR#1 PORT BURWELL
OFFICE: 519-851-1173
FAX: 519-874-4087

STARKEY RES
864 CONCESSION RD 3
NORFOLK, ONT

PROPOSED HOUSE PLANS

AIR BARRIER

DRAWN BY: TONY WALL SCALE: SEE DWG

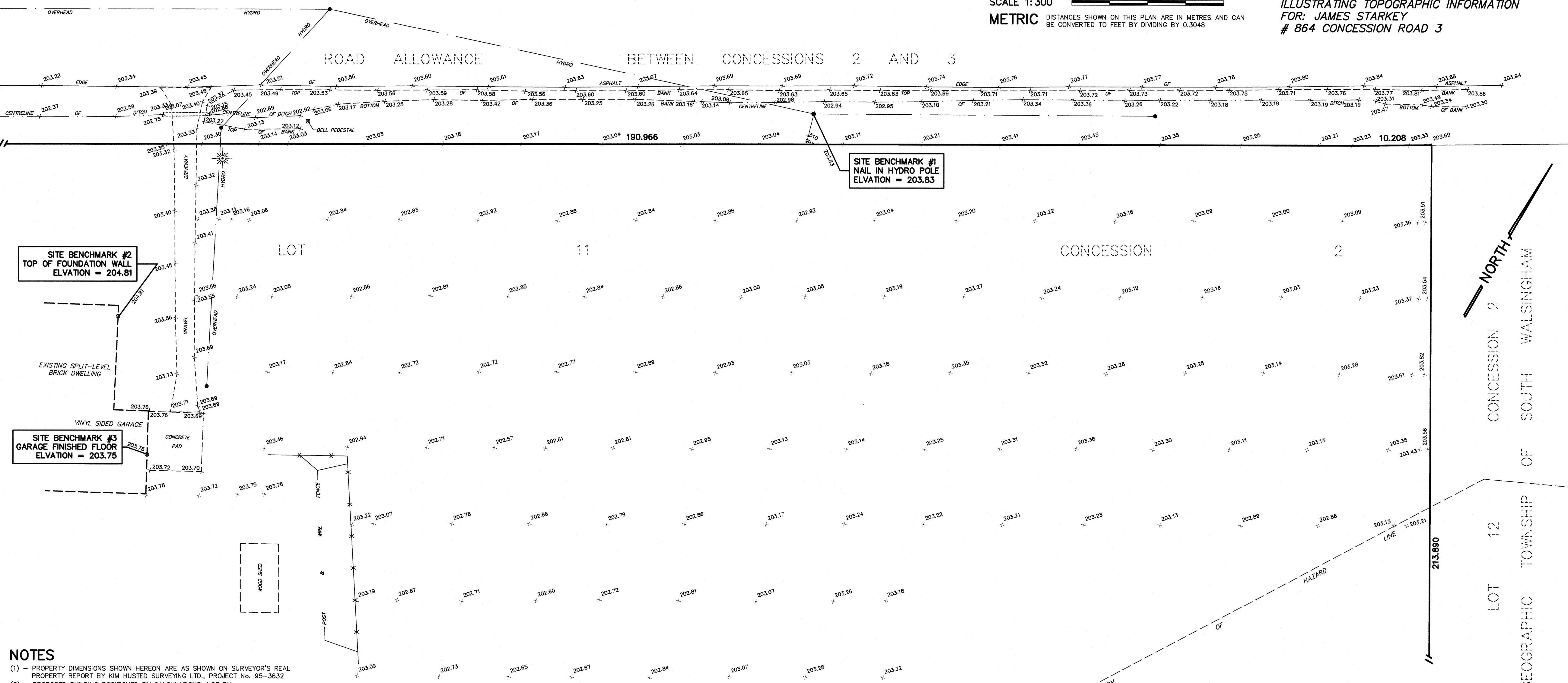
BCIN: 29620 PO# 24184

DATE: AUGUST 2024

SHEET NO. 10 OF 10

SCALE 1:300
METRIC
DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

SKETCH
ILLUSTRATING TOPOGRAPHIC INFORMATION
FOR: JAMES STARKEY
864 CONCESSION ROAD 3



NOTES

- PROPERTY DIMENSIONS SHOWN HEREON ARE AS SHOWN ON SURVEYOR'S REAL PROPERTY REPORT BY KIM HUSTED SURVEYING LTD., PROJECT No. 95-3632
- PROPOSED BUILDING POSITIONED BY CALCULATIONS, NOT BY ACTUAL SURVEY
- PROPOSED FINAL GRADES ARE SHOWN 100.66 AND ARE IN METRES
EXISTING GRADES TO MATCH ARE SHOWN 100.66 AND ARE IN METRES
- T.F.W. DENOTES TOP OF FOUNDATION WALL
- U.S.F. DENOTES UNDERSIDE OF FOOTING
- SITE BENCHMARK #1 SPIKE SET IN WEST FACE OF HYDRO POLE NORTH OF THE SUBJECT PROPERTY HAVING A GEODETIC ELEVATION OF 203.83 METRES
SITE BENCHMARK #2 TOP OF FOUNDATION WALL OF EXISTING DWELLING ON THE SUBJECT PROPERTY HAVING A GEODETIC ELEVATION OF 204.81 METRES
SITE BENCHMARK #3 FINISHED FLOOR OF VINYL SIDED GARAGE LOCATED ON THE SUBJECT PROPERTY HAVING A GEODETIC ELEVATION OF 203.75 METRES
ELEVATIONS ARE REFERRED TO CANADIAN GEODETIC DATUM 1928, GEOID MODEL HT2_2010v70, REFERENCE FRAME NAD83 (CSRS) (2010.0)
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE ELEVATION OF THE UPPER LIMIT OF THE GROUND WATER TABLE, SOIL BEARING CAPACITY AND THE ELEVATION OF THE UNDER SIDE OF FOOTING PRIOR TO EXCAVATION.
- SEPTIC SYSTEM TO BE DESIGNED BY OTHERS
ELEVATIONS TO BE REVISED WHERE REQUIRED.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE SITE BENCHMARKS PRIOR TO EXCAVATION
- THIS SKETCH WAS COMPLETED FROM FIELD WORK COMPLETED ON THE 21st DAY OF NOVEMBER, 2023

PROPERTY DESCRIPTION:
PART OF LOT 11
CONCESSION 2
GEOGRAPHIC TOWNSHIP OF SOUTH WALSHINGHAM
NORFOLK COUNTY

CAUTION

- THIS IS NOT A PLAN OF SURVEY OR SURVEYOR'S REPORT AND SHALL NOT BE USED FOR TRANSACTION OR FINANCING PURPOSES
- DO NOT CONVEY FROM THIS PLAN
- THE PROPOSED BUILDING AND ITS LOCATION SHOWN HEREON MAY BE SUBJECT TO CHANGES PRIOR TO CONSTRUCTION. THIS SKETCH SHOULD NOT BE RELIED UPON AS CERTIFICATION THAT THE DWELLING WAS ACTUALLY CONSTRUCTED AS SHOWN.
- ELEVATION OF EXISTING GROUND WATER TABLE AND SOIL CONDITIONS NOT DETERMINED

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KIM HUSTED SURVEYING LTD.
ONTARIO LAND SURVEYOR
30 HARVEY STREET, TILLSBURG ONTARIO, N4G 3J8
PHONE: 519-842-3638 FAX: 519-842-3639

PROJECT: 23-19030sp

JAMES STARKEY	REF: DWG. RDH
# 864 CONCESSION ROAD 3, PORT ROWAN	FFB CKD. KSH

JANUARY 31, 2024

"THIS IS NOT
AN ORIGINAL COPY
UNLESS
EMBOSSED WITH
SEAL"



The Corporation of Norfolk County

By-Law 2017-04

Lot Grading and Drainage

THIS FORM IS TO BE SUBMITTED WITH EVERY LOT GRADING PLAN

Municipal Address: 864 Concession Road

And/or

PIN: 50125-0177

SELECT THE **ONE** PURPOSE FOR SUBMITTING THIS FORM:

☒ **Proposed Grading Plan for Infill Lot:**

I, Kim Husted O.L.S, a Qualified Person, submit the attached Proposed Grading Plan, under my seal to confirm that the Plan provides drainage in accordance with the Ontario Building Code and applicable Municipal regulations for the works to be constructed that are the subject of the Building Permit Application to which this is attached.

☐ **Proposed Grading Plan within a Plan of Subdivision:**

I, _____, a Qualified Person, submit the attached Proposed Grading Plan, under my seal to confirm that the Plan conforms in all respects with the Master Grading Plan in the Plan of Subdivision Master Grading Plan. Registered as: _____ (common name of the Plan of Subdivision and Registration Number).

IN ANY INSTANCE ABOVE NOTING "UNDER MY SEAL", AFFIX SEAL BELOW:



SEAL (Qualified Person)

(Sign and date over the seal)

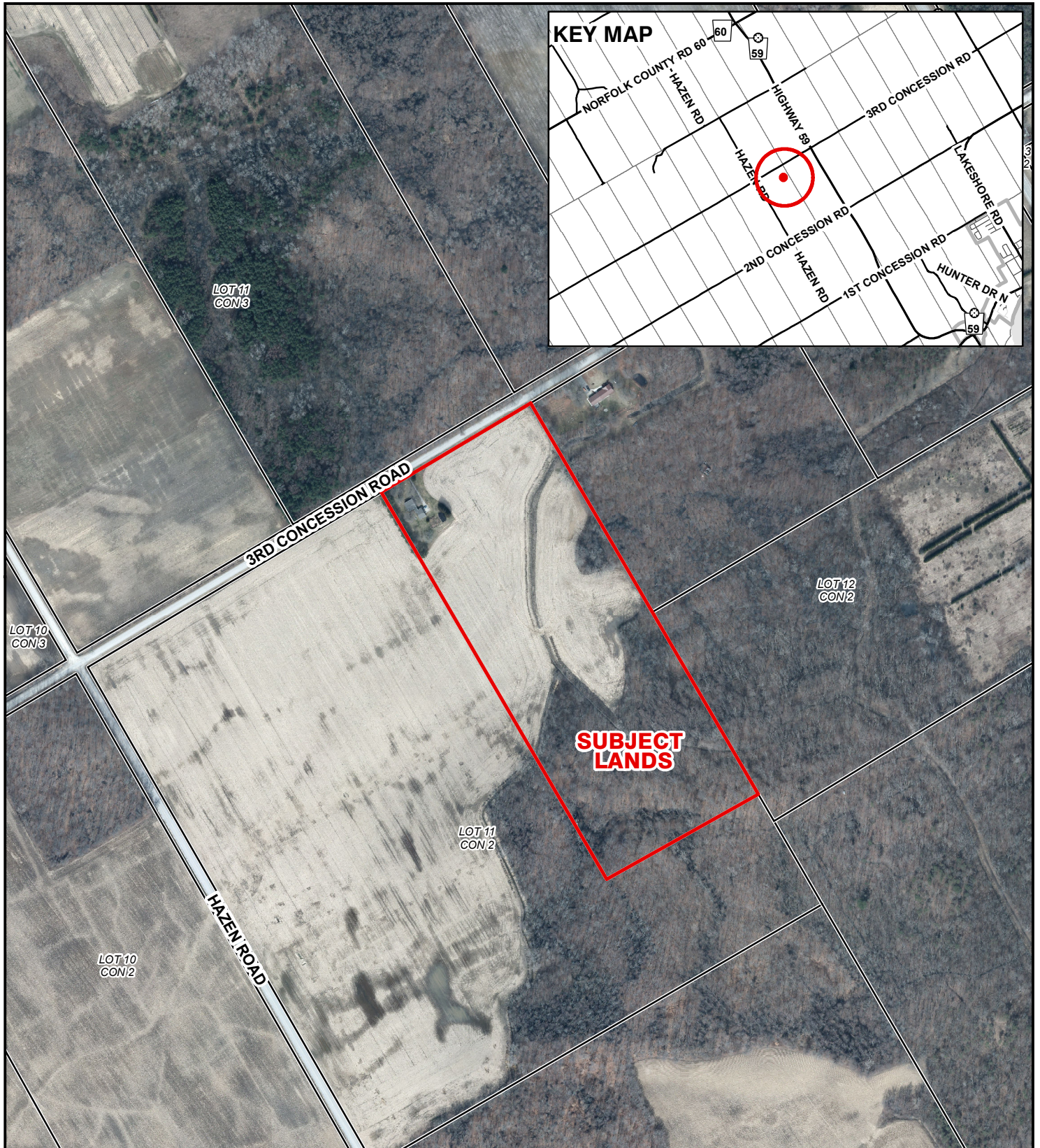
Name: Kim Husted O.L.S

License Number: 1582


This form approved by the County Official under delegated authority under Norfolk County By-Law 2017-04

MAP A
CONTEXT MAP
Geographic Township of SOUTH WALSINGHAM

ANPL2024322

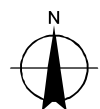


Legend

 Subject Lands

2020 Air Photo

11/20/2024



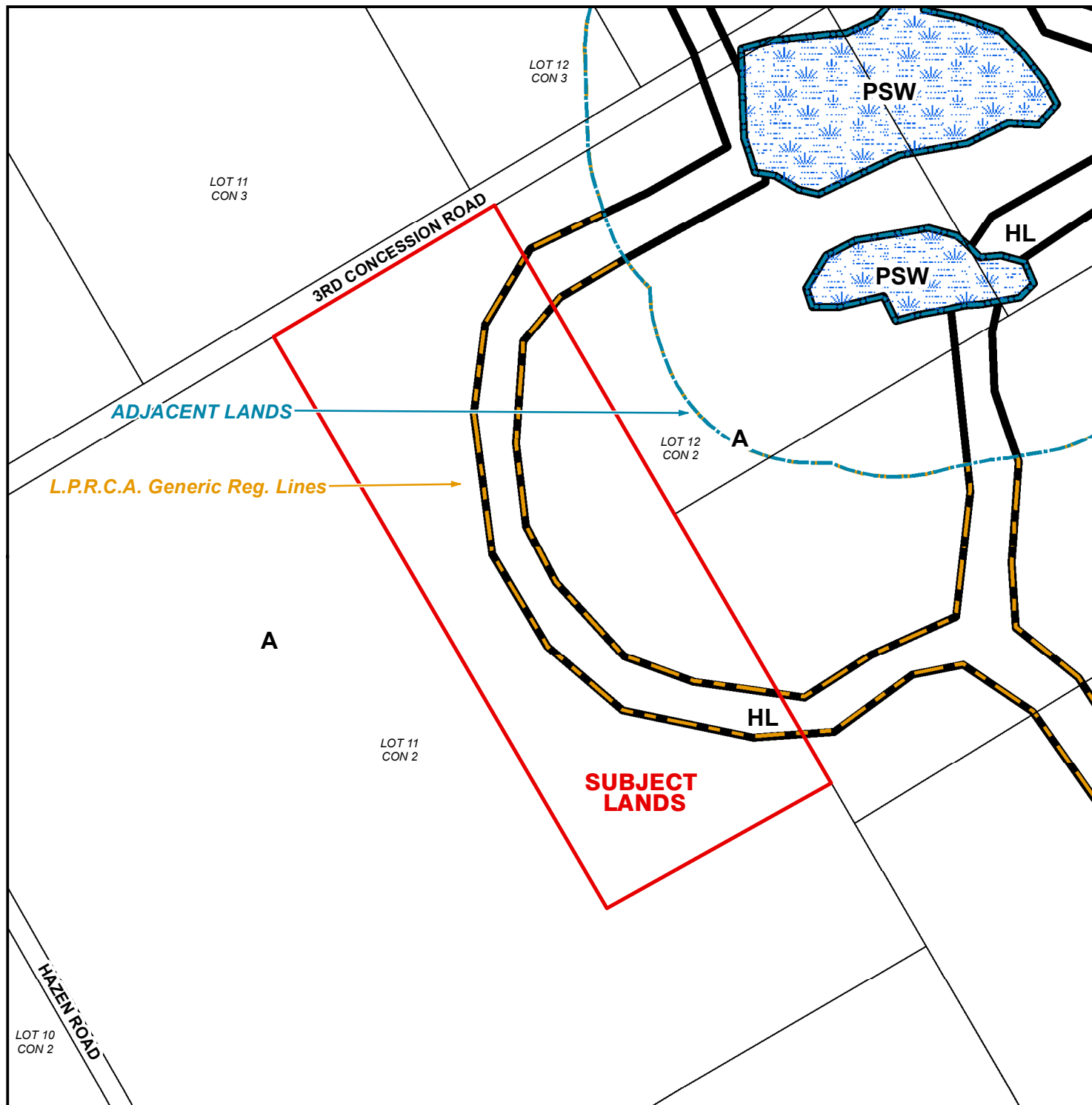
40 20 0 40 80 120 160 Meters

MAP B

ZONING BY-LAW MAP

Geographic Township of SOUTH WALSINGHAM

ANPL2024322



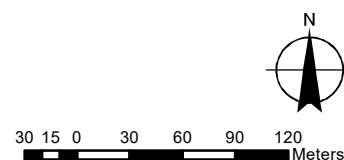
LEGEND

- Subject Lands
- Adjacent Lands
- Wetland
- LPRCA Generic RegLines

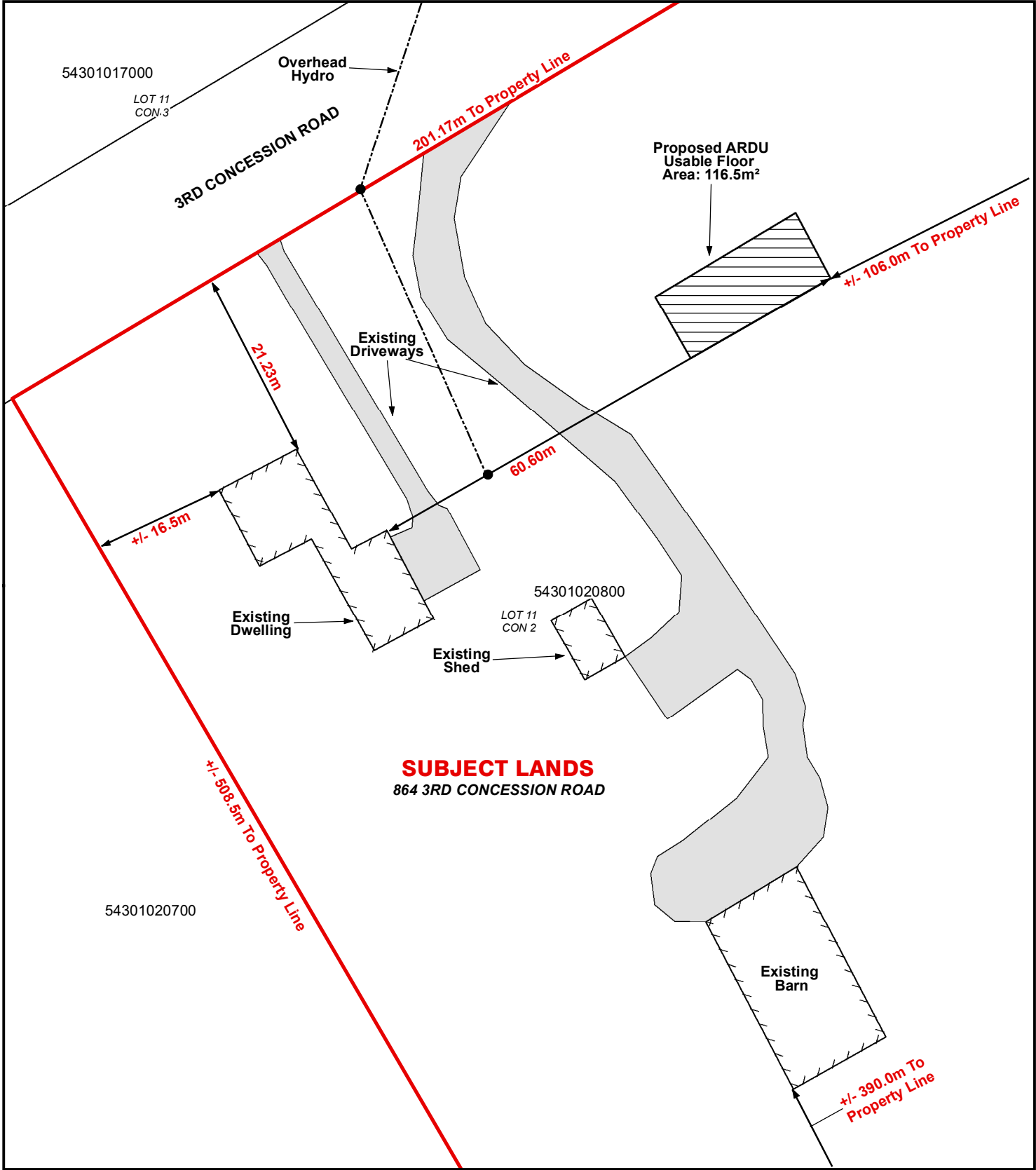
ZONING BY-LAW 1-Z-2014

11/20/2024

- (H) - Holding
- A - Agricultural Zone
- HL - Hazard Land Zone
- PSW - Provincially Significant Wetland Zone



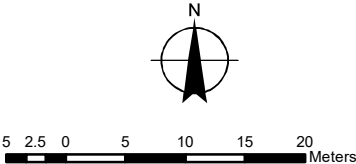
CONCEPTUAL PLAN
Geographic Township of SOUTH WALSINGHAM



Legend

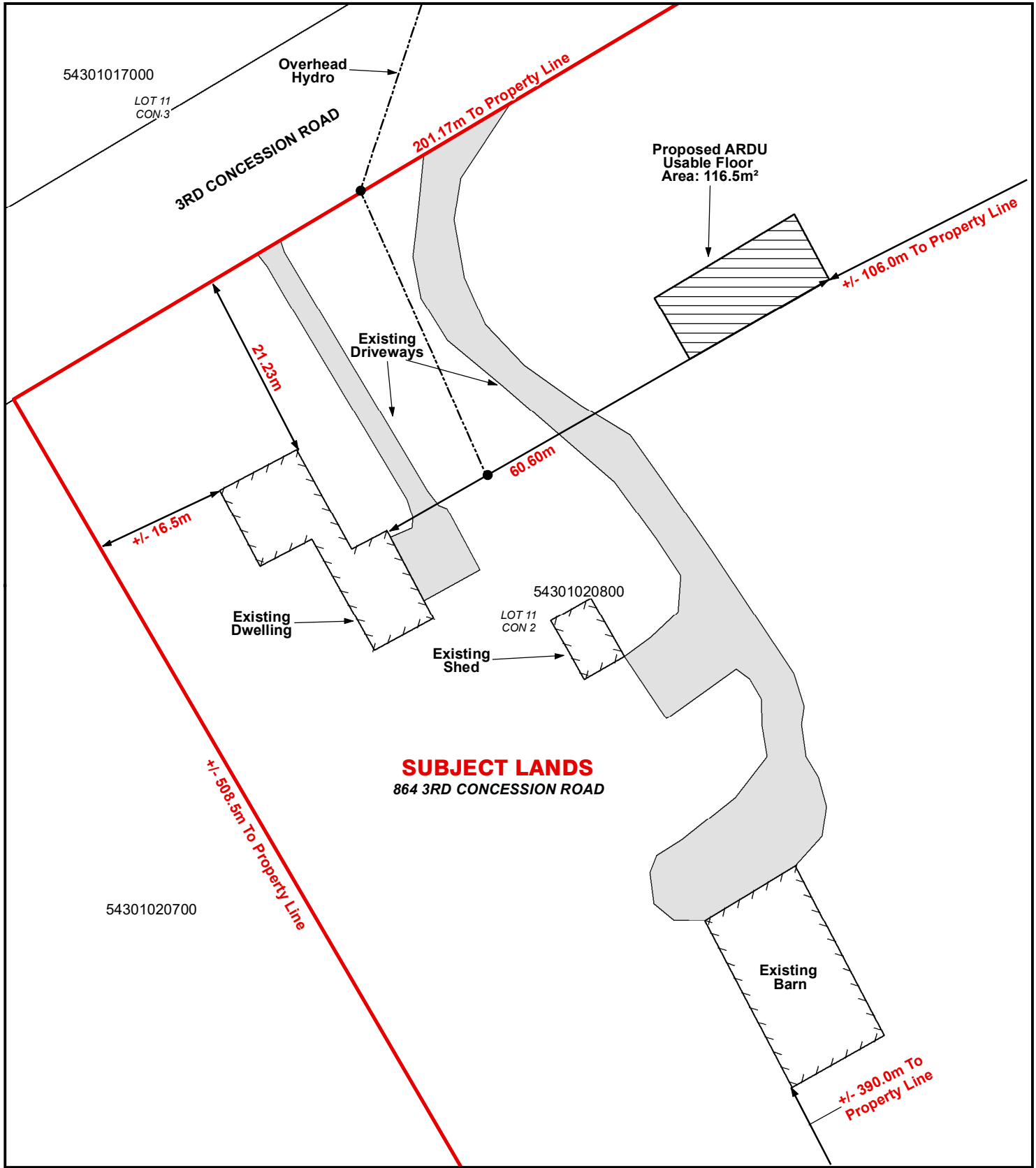
Subject Lands

11/20/2024




LOCATION OF LANDS AFFECTED
CONCEPTUAL PLAN
Geographic Township of SOUTH WALSINGHAM

ANPL2024322



Legend

 Subject Lands

11/20/2024

