

Committee of Adjustment Application to Planning Department

Complete Application

A complete Committee of Adjustment application consists of the following:

1. A properly completed and signed application form (signature must on original version);
2. Supporting information adequate to illustrate your proposal as listed in **Section H** of this application form (plans are required in paper copy and digital PDF format);
3. Written authorization from all registered owners of the subject lands where the applicant is not the owner as per Section N; and,
4. Cash, debit or cheque payable to Norfolk County in the amount set out in the Norfolk County User Fees By-Law.

Planning application development fees are not required with the submission of your completed and signed development application. Your planning application fee will be determined by the planner when your application has been verified and deemed complete. Prepayments will not be accepted.

5. Completed applications are to be mailed to the attention of **Secretary Treasurer – Committee of Adjustment**: 185 Robinson Street, Suite 200, Simcoe, ON N3Y 5L6 or email your application committee.of.adjustment@norfolkcounty.ca. Make sure submissions are clearly labelled including address, name, and application type. Failure to do so may impact the timing of your application.

The above listed items are required to ensure that your application is given full consideration. An incomplete or improperly prepared application will not be accepted and may result in delays during the processing of the application. This application must be typed or printed in ink and completed in full.

Please review all of the important information summarised below.

Before your Application is Submitted

A pre-consultation meeting is not usually required for Committee of Adjustment applications; however, discussion with Planning Department staff prior to the submission of an application is **strongly encouraged**. The purpose of communicating with a planner **before** you submit your application is: to review your proposal / application, to discuss potential issues; and to determine the required supporting information and materials to be submitted with your application before it can be considered complete by staff. You might find it helpful to retain the services of an independent professional (such as a registered professional planner) to help you with your application. Information about the Official Plan and Zoning By-law can be found on the County website: www.norfolkcounty.ca/planning

After Your Application is Submitted

Once your payment has been received and the application submitted, in order for your application to be deemed complete all of the components noted above are required.

Incomplete applications will be identified and returned to the applicant. The *Planning Act* permits up to 30 days to review and deem an application complete.

Once your application has been deemed complete by the Planning Department, it is then circulated to public agencies and County departments for review and comment. A sign is also provided that is required to be posted on the subject lands that summarizes the application and identifies the committee meeting date. The comments received from members of the community will be included in the planning report and will inform any recommendations in relation to the application.

If the subject lands are located in an area that is regulated by either the Long Point Region Conservation Authority or by the Grand River Conservation Authority an additional fee will be required if review by the applicable agency is deemed necessary. A separate cheque payable to the Long Point Region Conservation Authority or the Grand River Conservation Authority is required in accordance with their fee schedule at the same time your application is submitted.

Additional studies required as part of the complete application shall be at the sole expense of the applicant. In some instances peer reviews may be necessary to review particular studies and that the cost shall be at the expense of the applicant. The company to complete the peer review shall be selected by the County.

If the application is withdrawn prior to the circulation to commenting agencies, the entire original fee will be refunded. If withdrawn after the circulation to agencies, half the original fee will be refunded. No refund is available after the public meeting and/or approval of application.

Notification Sign Requirements

Planning Department staff may post a notification sign on your property in advance of the public meeting on your behalf. Please keep this sign posted until you have received a notice in the mail indicating that the Secretary Treasurer received no appeals. However, it is the applicant's responsibility to ensure that the sign is correctly posted within the statutory timeframes, according to the *Planning Act*. Failure to post a sign in advance of the public meeting in accordance with statutory requirements will impact the timing of your application at the Committee of Adjustment meeting. Applicants are responsible for removal of the sign following the appeal period. The signs are recyclable and can be placed in your blue box.

Contact Us

For additional information or assistance in completing this application, please contact a planner at 519-426-5870 ext. 1842 or Committee.of.Adjustment@NorfolkCounty.ca



For Office Use Only:

File Number	_____	Application Fee	_____
Related File Number	_____	Conservation Authority Fee	_____
Pre-consultation Meeting	_____	Well & Septic Info Provided	_____
Application Submitted	_____	Planner	_____
Complete Application	_____	Public Notice Sign	_____

Check the type of planning application(s) you are submitting.

- ☐ Consent/Severance/Boundary Adjustment
- ☐ Surplus Farm Dwelling Severance and Zoning By-law Amendment
- ☒ Minor Variance
- ☐ Easement/Right-of-Way

Property Assessment Roll Number: 49310006600**A. Applicant Information****Name of Owner** Sophie & Eric Hurlburt

It is the responsibility of the owner or applicant to notify the planner of any changes in ownership within 30 days of such a change.

Address 382 Cedar Drive

Town and Postal Code Turkey Point

Phone Number _____

Cell Number _____

Email _____

Name of Applicant Sam Bunting - Prominent Homes Simcoe,

Address _____

Town and Postal Code N3Y 4K4

Phone Number _____

Cell Number 519-426-9186

Email sam@phomes.ca and please CC design@phomes.ca

Name of Agent

Address

Town and Postal Code

Phone Number

Cell Number

Email

Please specify to whom all communications should be sent. Unless otherwise directed, all correspondence and notices in respect of this application will be forwarded to the owner and agent noted above.

☐ Owner

☐ Agent

☒ Applicant

Names and addresses of any holder of any mortgagees, charges or other encumbrances on the subject lands:

CHR PLAN 546 LOT 51,PT BLK B 2

RP 37R6848 PART 9

B. Location, Legal Description and Property Information

1. Legal Description (include Geographic Township, Concession Number, Lot Number, Block Number and Urban Area or Hamlet):

Municipal Civic Address: 382 Cedar Drive, Turkey Point, ON

Present Official Plan Designation(s): Resort Residential

Present Zoning: _____

2. Is there a special provision or site specific zone on the subject lands?

☐ Yes ☒ No If yes, please specify:

3. Present use of the subject lands:

Residential Cottage

4. Please describe **all existing** buildings or structures on the subject lands and whether they are to be retained, demolished or removed. If retaining the buildings or structures, please describe the type of buildings or structures, and illustrate the setback, in metric units, from front, rear and side lot lines, ground floor area, gross floor area, lot coverage, number of storeys, width, length, and height on your attached sketch which must be included with your application:

Cottage - To be demolished

Boathouse - To be demolished

5. If an addition to an existing building is being proposed, please explain what it will be used for (for example a bedroom, kitchen, or bathroom). If new fixtures are proposed, please describe.

n/a

6. Please describe **all proposed** buildings or structures/additions on the subject lands. Describe the type of buildings or structures/additions, and illustrate the setback, in metric units, from front, rear and side lot lines, ground floor area, gross floor area, lot coverage, number of storeys, width, length, and height on your attached sketch which must be included with your application:

2 story residential cottage with attached boathouse

7. Are any existing buildings on the subject lands designated under the *Ontario Heritage Act* as being architecturally and/or historically significant? Yes ☐ No ☐

If yes, identify and provide details of the building:

n/a

8. If known, the length of time the existing uses have continued on the subject lands:

Unknown

9. Existing use of abutting properties:

Residential Cottages

10. Are there any easements or restrictive covenants affecting the subject lands?

☐ Yes ☒ No If yes, describe the easement or restrictive covenant and its effect:

C. Purpose of Development Application

Note: Please complete all that apply. **Failure to complete this section will result in an incomplete application.**

1. Site Information (Please refer to Zoning By-law to confirm permitted dimensions)

	Existing	Permitted	Provision	Proposed	Deficiency
Lot frontage	18.3	15 m	5.8.2 b	18.3 m	-
Lot depth	41.84 m			41.84m	-
Lot width	18.3 m			18.3 m	-
Lot area	0.077 ha	0.4 ha	5.8.2 a	0.077 ha	0.32
Lot coverage	28%	15%	5.8.2 h	44.7%	29.7%
Front yard	13.97 m	6 m min.	5.8.2 c	12.59 m	-
Rear yard	14 m	9 m min.	5.8.2 f	0 m	9m
Height	4.57 m	9.1mm	5.8.2 g +3.2.2 c	7.75 m	-
Left Interior side yard	1.44 m	1.22 m	5.8.2 e	0 m	1.22m
Right Interior side yard	2.89 m	1.2 m	5.8.2 e	1.21 m	-
Exterior side yard (corner lot)					
Parking Spaces (number)				5	-
Aisle width					
Stall size				3m x6m	-
Loading Spaces					
Other					

2. Please explain why it is not possible to comply with the provision(s) of the Zoning By-law:

The proposed cottage lot coverage, rear yard setback, lot Area Min. and boathouse interior side yard set back does not meet the allowable amount in the the zoning by-law for Resort Residential zone.

Please see attachmetn A provided with the submission.

3. **Consent/Severance/Boundary Adjustment:** Description of land intended to be severed in metric units:

Frontage: _____

Depth: _____

Width: _____

Lot Area: _____

Present Use: _____

Proposed Use: _____

Proposed final lot size (if boundary adjustment): _____

If a boundary adjustment, identify the assessment roll number and property owner of the lands to which the parcel will be added: _____

Description of land intended to be retained in metric units:

Frontage: _____

Depth: _____

Width: _____

Lot Area: _____

Present Use: _____

Proposed Use: _____

Buildings on retained land: _____

4. **Easement/Right-of-Way:** Description of proposed right-of-way/easement in metric units:

Frontage: _____

Depth: _____

Width: _____
Area: _____
Proposed Use: _____

5. Surplus Farm Dwelling Severances Only: List all properties in Norfolk County, which are owned and farmed by the applicant and involved in the farm operation

Owners Name: _____
Roll Number: _____
Total Acreage: _____
Workable Acreage: _____
Existing Farm Type: (for example: corn, orchard, livestock) _____
Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built _____
Date of Land Purchase: _____

Owners Name: _____
Roll Number: _____
Total Acreage: _____
Workable Acreage: _____
Existing Farm Type: (for example: corn, orchard, livestock) _____
Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built _____
Date of Land Purchase: _____

Owners Name: _____
Roll Number: _____
Total Acreage: _____
Workable Acreage: _____
Existing Farm Type: (for example: corn, orchard, livestock) _____
Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built _____
Date of Land Purchase: _____

Owners Name: _____
Roll Number: _____
Total Acreage: _____
Workable Acreage: _____
Existing Farm Type: (for example: corn, orchard, livestock) _____
Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built _____
Date of Land Purchase: _____

Owners Name: _____
Roll Number: _____
Total Acreage: _____
Workable Acreage: _____
Existing Farm Type: (for example: corn, orchard, livestock) _____
Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built _____
Date of Land Purchase: _____

Note: If additional space is needed please attach a separate sheet.

D. All Applications: Previous Use of the Property

1. Has there been an industrial or commercial use on the subject lands or adjacent lands? ☐ Yes ☒ No ☐ Unknown

If yes, specify the uses (for example: gas station, or petroleum storage):

2. Is there reason to believe the subject lands may have been contaminated by former uses on the site or adjacent sites? ☐ Yes ☒ No ☐ Unknown

3. Provide the information you used to determine the answers to the above questions:

personal knowledge of the property

4. If you answered yes to any of the above questions in Section D, a previous use inventory showing all known former uses of the subject lands, or if appropriate, the adjacent lands, is needed. Is the previous use inventory attached? ☐ Yes ☒ No

E. All Applications: Provincial Policy

1. Is the requested amendment consistent with the provincial policy statements issued under subsection 3(1) of the *Planning Act, R.S.O. 1990, c. P. 13*? ☒ Yes ☐ No

If no, please explain:

2. It is owner's responsibility to be aware of and comply with all relevant federal or provincial legislation, municipal by-laws or other agency approvals, including the Endangered Species Act, 2007. Have the subject lands been screened to ensure that development or site alteration will not have any impact on the habitat for endangered or threatened species further to the provincial policy statement subsection 2.1.7? ☒ Yes ☐ No

If no, please explain:

3. Have the subject lands been screened to ensure that development or site alteration will not have any impact on source water protection? ☒ Yes ☐ No

If no, please explain:

Note: If in an area of source water Wellhead Protection Area (WHPA) A, B or C please attach relevant information and approved mitigation measures from the Risk Manager Official.

4. All Applications: Are any of the following uses or features on the subject lands or within 500 metres of the subject lands, unless otherwise specified? Please check boxes, if applicable.

Livestock facility or stockyard (submit MDS Calculation with application)

☐ On the subject lands or ☐ within 500 meters – distance _____

Wooded area

☐ On the subject lands or ☒ within 500 meters – distance 200m

Municipal Landfill

☐ On the subject lands or ☐ within 500 meters – distance _____

Sewage treatment plant or waste stabilization plant

☐ On the subject lands or ☐ within 500 meters – distance _____

Provincially significant wetland (class 1, 2 or 3) or other environmental feature

☒ On the subject lands or ☐ within 500 meters – distance _____

Floodplain

☒ On the subject lands or ☐ within 500 meters – distance _____

Rehabilitated mine site

☐ On the subject lands or ☐ within 500 meters – distance _____

Non-operating mine site within one kilometre

☐ On the subject lands or ☐ within 500 meters – distance _____

Active mine site within one kilometre

☐ On the subject lands or ☐ within 500 meters – distance _____

Industrial or commercial use (specify the use(s))

☐ On the subject lands or ☐ within 500 meters – distance _____

Active railway line

☐ On the subject lands or ☐ within 500 meters – distance _____

Seasonal wetness of lands

☒ On the subject lands or ☐ within 500 meters – distance _____

Erosion

☐ On the subject lands or ☐ within 500 meters – distance _____

Abandoned gas wells

☐ On the subject lands or ☐ within 500 meters – distance _____

F. All Applications: Servicing and Access

1. Indicate what services are available or proposed:

Water Supply

- | | |
|---|---|
| <input checked="" type="checkbox"/> Municipal piped water | <input type="checkbox"/> Communal wells |
| <input type="checkbox"/> Individual wells | <input type="checkbox"/> Other (describe below) |
-

Sewage Treatment

- | | |
|--|---|
| <input type="checkbox"/> Municipal sewers | <input type="checkbox"/> Communal system |
| <input checked="" type="checkbox"/> Septic tank and tile bed in good working order | <input type="checkbox"/> Other (describe below) |
-

Storm Drainage

- | | |
|--|---------------------------------------|
| <input checked="" type="checkbox"/> Storm sewers | <input type="checkbox"/> Open ditches |
| <input type="checkbox"/> Other (describe below) | |
-

2. Existing or proposed access to subject lands:

- | | |
|--|---|
| <input checked="" type="checkbox"/> Municipal road | <input type="checkbox"/> Provincial highway |
| <input type="checkbox"/> Unopened road | <input type="checkbox"/> Other (describe below) |

Name of road/street:

G. All Applications: Other Information

1. Does the application involve a local business? ☐ Yes ☒ No

If yes, how many people are employed on the subject lands?

2. Is there any other information that you think may be useful in the review of this application? If so, explain below or attach on a separate page.

Please take into consideration other properties on this street that have been approved

that have greater than 25% lot coverage. Also if you go back to historical GIS mapping you can see the amount of farm buildings that use to be located on this lot that are no longer there.

H. Supporting Material to be submitted by Applicant

In order for your application to be considered complete, folded hard copies (number of paper copies as directed by the planner) and an **electronic version (PDF) of the site plan drawings, additional plans, studies and reports** will be required, including but not limited to the following details:

1. Concept/Layout Plan
2. All measurements in metric
3. Existing and proposed easements and right of ways
4. Parking space totals – required and proposed
5. All dimensions of the subject lands
6. Dimensions and setbacks of all buildings and structures
7. Location and setbacks of septic system and well from all existing and proposed lot lines, and all existing and proposed structures
8. Names of adjacent streets
9. Natural features, watercourses and trees

In addition, the following additional plans, studies and reports, including but not limited to, **may** also be required as part of the complete application submission:

- ☐ On-Site Sewage Disposal System Evaluation Form (to verify location and condition)
- ☐ Environmental Impact Study
- ☐ Geotechnical Study / Hydrogeological Review
- ☐ Minimum Distance Separation Schedule
- ☐ Record of Site Condition

Your development approval might also be dependent on Ministry of Environment Conservation and Parks, Ministry of Transportation or other relevant federal or provincial legislation, municipal by-laws or other agency approvals.

All final plans must include the owner's signature as well as the engineer's signature and seal.

I. Transfers, Easements and Postponement of Interest

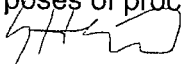
The owner acknowledges and agrees that if required it is their solicitor's responsibility on behalf of the owner for the registration of all transfer(s) of land to the County, and/or transfer(s) of easement in favour of the County and/or utilities. Also, the owner further acknowledges and agrees that it is their solicitor's responsibility on behalf of the owner for the registration of postponements of any charges in favour of the County.

Permission to Enter Subject Lands

Permission is hereby granted to Norfolk County officers, employees or agents, to enter the premises subject to this application for the purposes of making inspections associated with this application, during normal and reasonable working hours.

Freedom of Information

For the purposes of the *Municipal Freedom of Information and Protection of Privacy Act*, I authorize and consent to the use by or the disclosure to any person or public body any information that is collected under the authority of the *Planning Act, R.S.O. 1990, c. P. 13* for the purposes of processing this application.



Owner/Applicant/Agent Signature

May 28, 2024

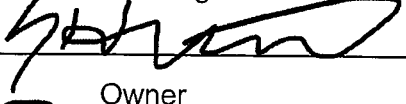
Date

J. Owner's Authorization

If the applicant/agent is not the registered owner of the lands that is the subject of this application, the owner must complete the authorization set out below.

I/We Sophie & Eric Hurlburt am/are the registered owner(s) of the lands that is the subject of this application.

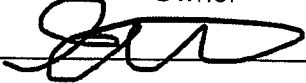
I/We authorize Sam Bunting (Prominent Homes) to make this application on my/our behalf and to provide any of my/our personal information necessary for the processing of this application. Moreover, this shall be your good and sufficient authorization for so doing.

Sophie 

Owner

May 28, 2024

Date



Owner

May 28, 2024

Date

***Note:** If property is owned by an Ontario Ltd. Corporation, Articles of Incorporation are required to be attached to the application.

K. Declaration

I, Sam Bunting of Prominent Homes.

solemnly declare that:

all of the above statements and the statements contained in all of the exhibits transmitted herewith are true and I make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath and by virtue of *The Canada Evidence Act*.

Declared before me at:

Norfolk County


Owner/Applicant/Agent Signature

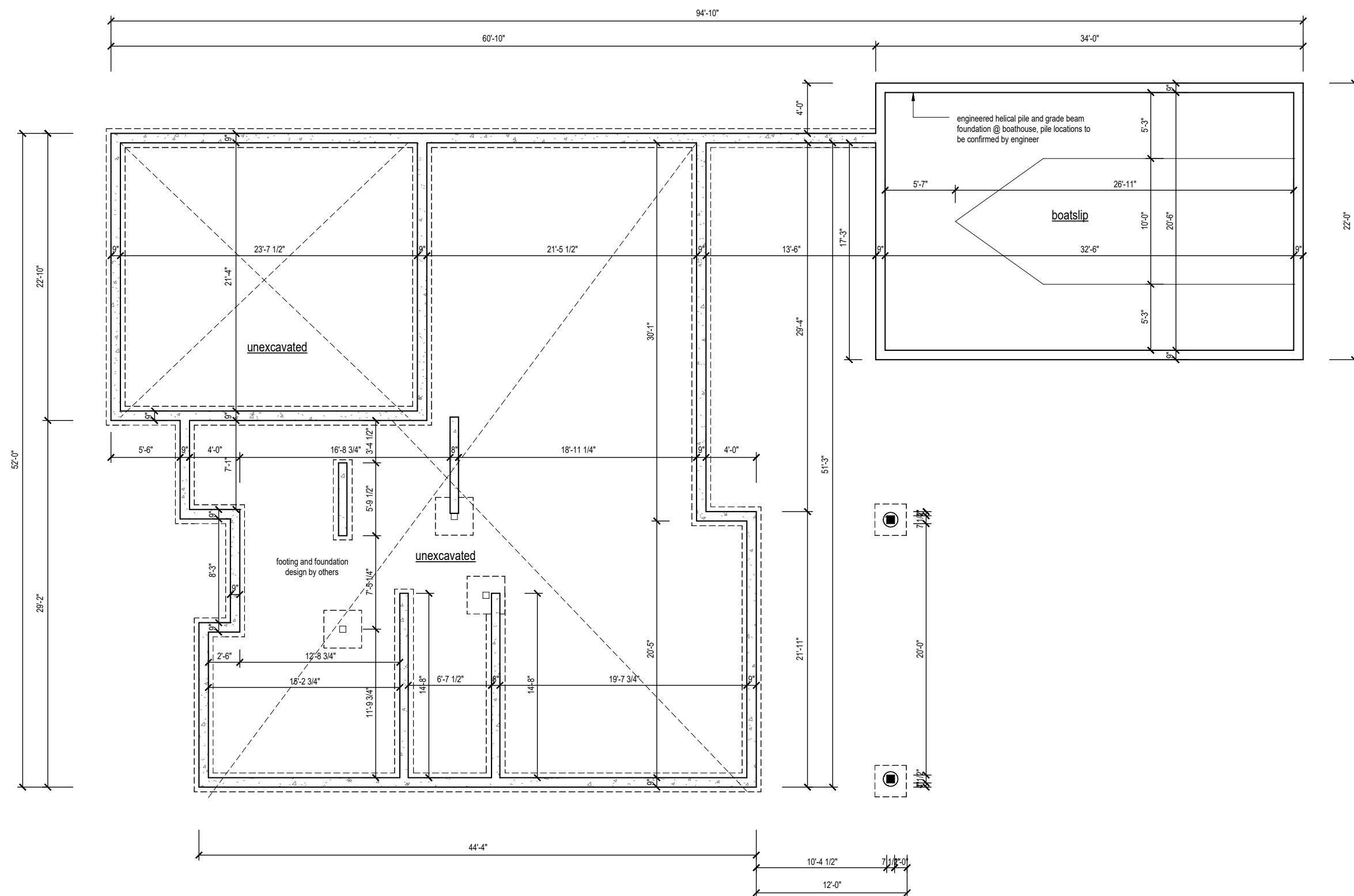
In the Province of Ontario

This 30th day of September

A.D., 2024



A Commissioner, etc.



Sophie &
Eric

382 Cedar Drive
Turkey Point, ON

PROMINENT HOMES

foundation plan

DRAWN BY:

DESIGNED BY:

SAM BUNTING
BCIN #: 37074

DATE:

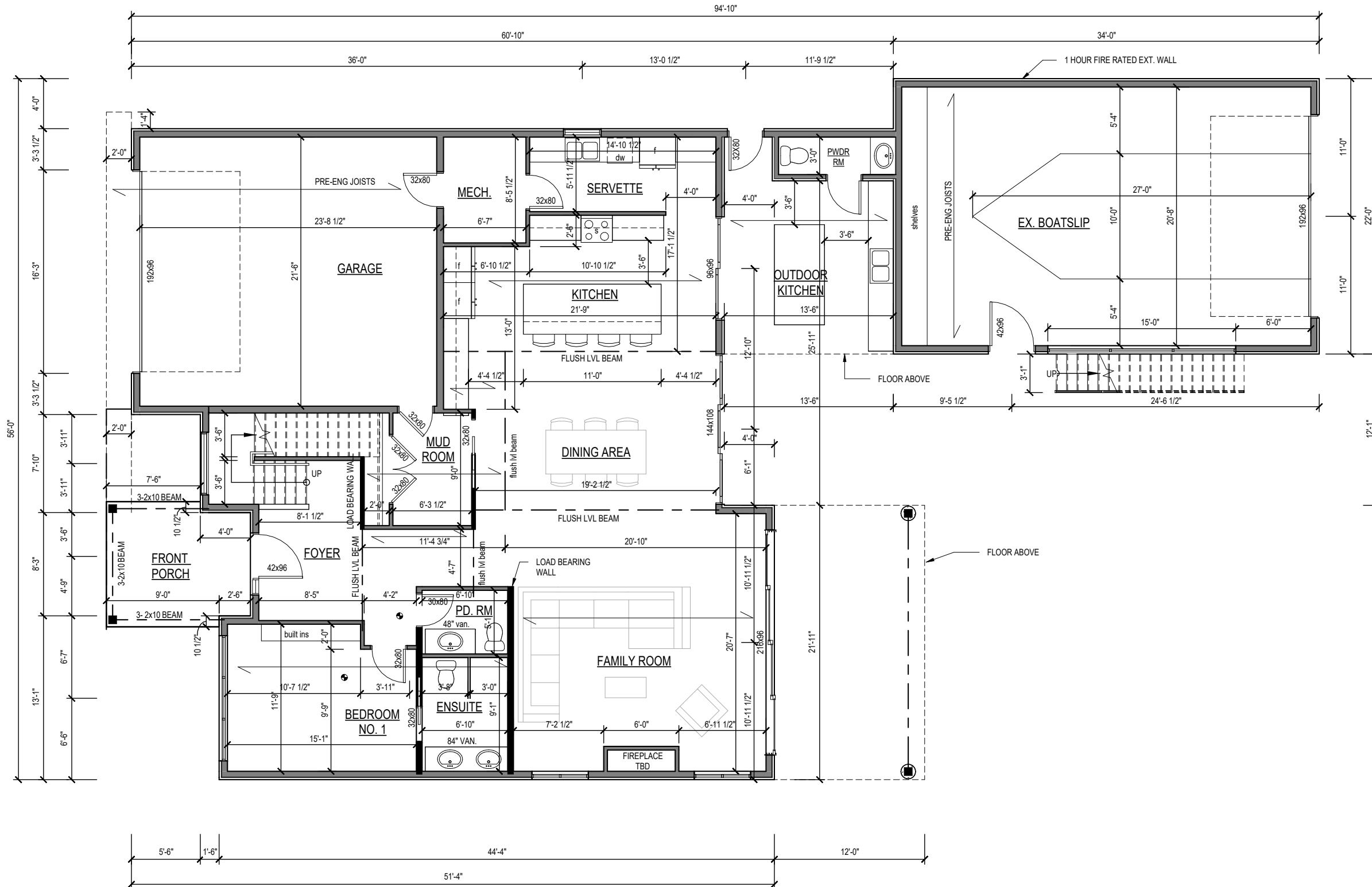
Oct. 28th 2024

SCALE:

$$1/8'' = 1'-0''$$

SHEET No.:

A-1



Sophie &
Eric

382 Cedar Drive
Turkey Point, ON

PROMINENT HOMES

MAIN FLOOR PLAN

DRAWN BY:

DESIGNED BY:

SAM BUNTING
BCIN #: 37074

DATE:

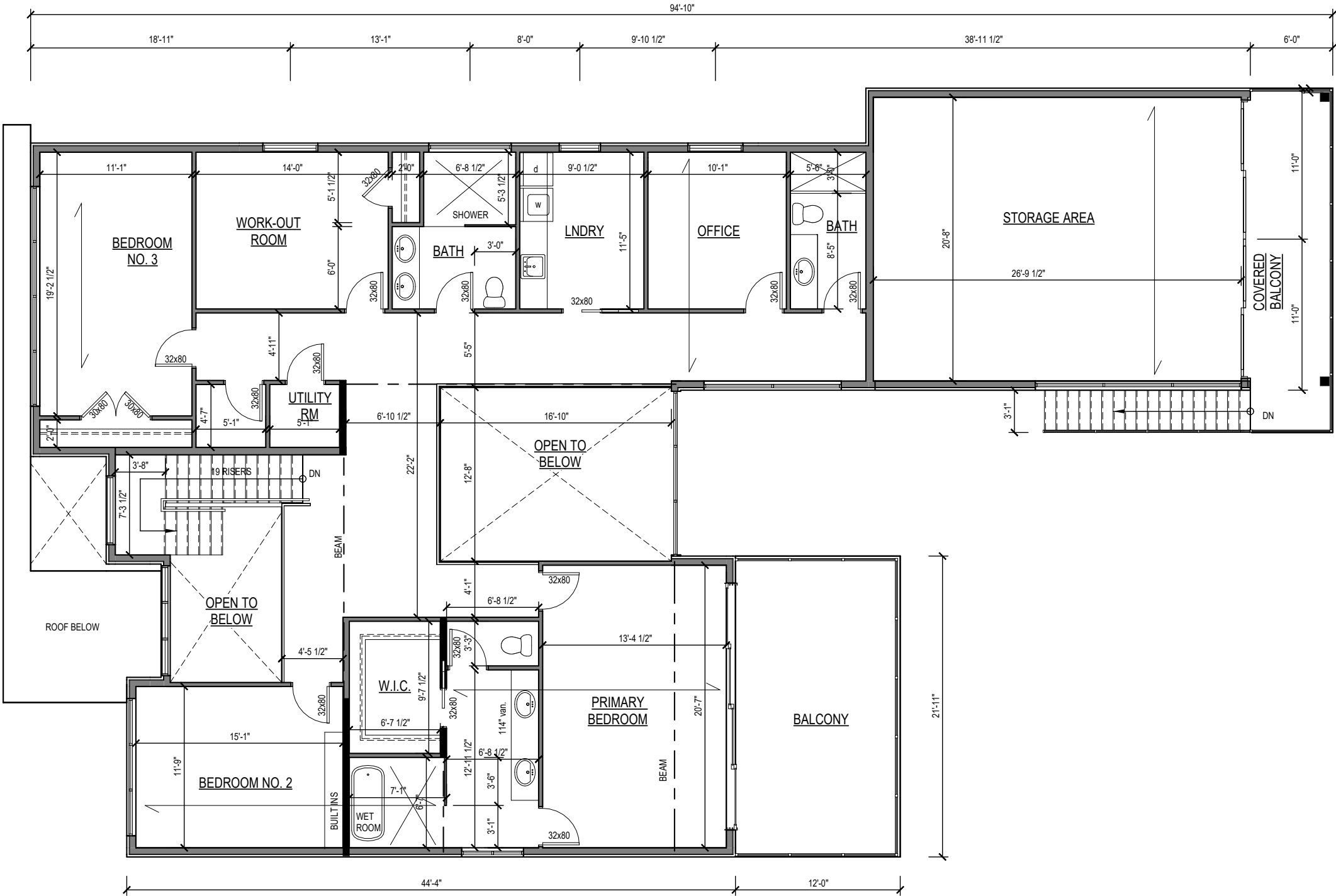
Oct. 28th 2024

SCALE:

1/8" = 1'-0"

SHEET No.:

A-2



Sophie &
Eric

382 Cedar Drive
Turkey Point, ON

PROMINENT HOMES

SECOND FLOOR

DRAWN BY:

DESIGNED BY:

SAM BUNTING
BCIN #: 37074

DATE:

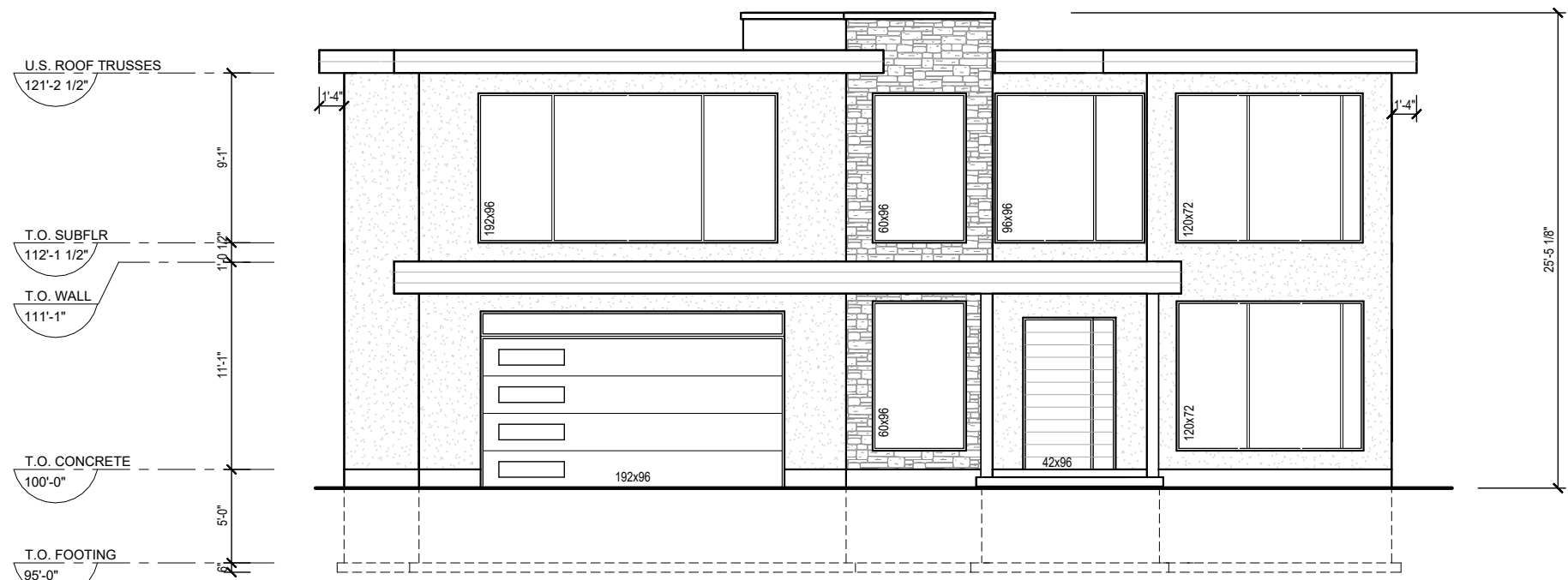
Oct. 28th 2024

SCALE:

1/8" = 1'-0"

SHEET No.:

A-3



1 FRONT ELEVATION
1/8" = 1'-0"



2 BACK ELEVATION
1/8" = 1'-0"

Sophie &
Eric

382 Cedar Drive
Turkey Point, ON

PROMINENT HOMES

FRONT & BACK ELEVATIONS

DRAWN BY:

DESIGNED BY:

SAM BUNTING
BCIN #: 37074

DATE:

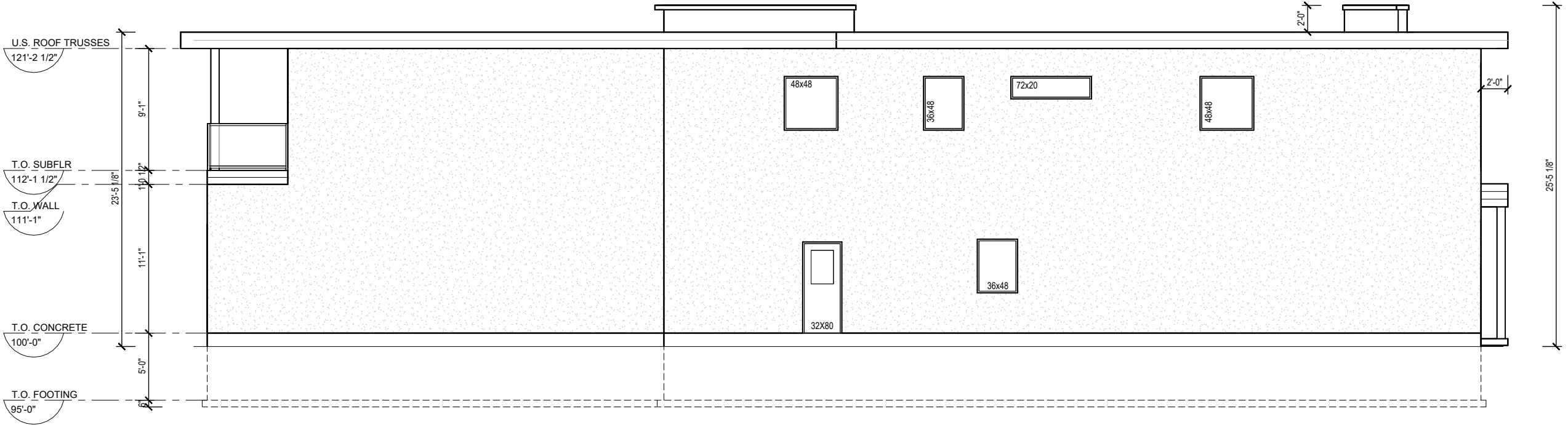
Oct. 28th 2024

SCALE:

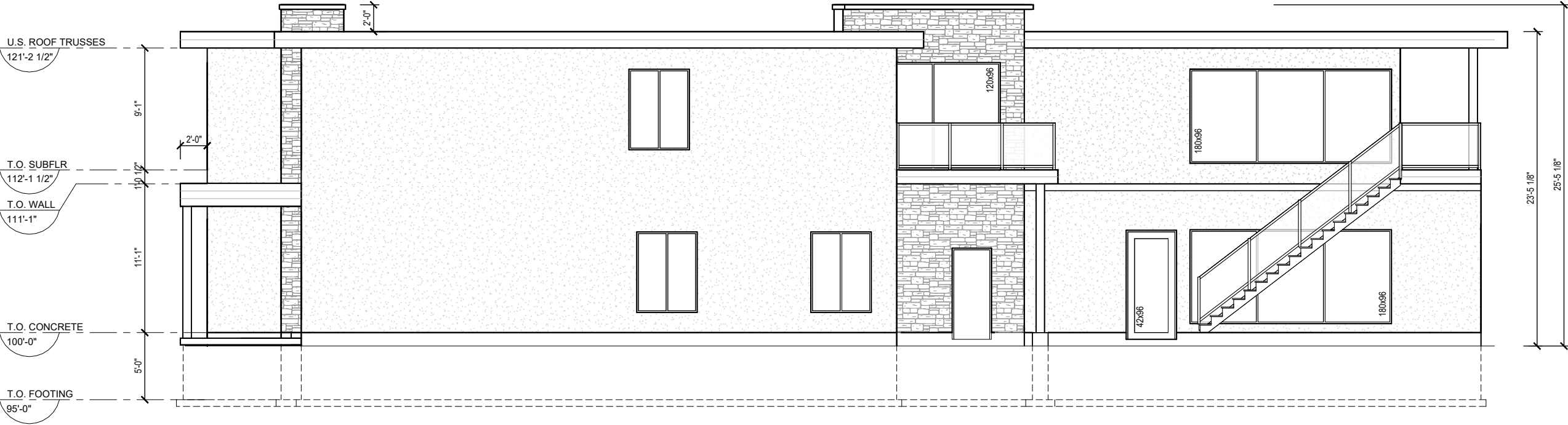
1/8" = 1'-0"

SHEET No.:

A-4



1 LEFT ELEVATION
1/8" = 1'-0"



2 RIGHT ELEVATION
1/8" = 1'-0"

Sophie &
Eric

382 Cedar Drive
Turkey Point, ON

PROMINENT HOMES

LEFT & RIGHT ELEVATIONS

DRAWN BY:

DESIGNED BY:

SAM BUNTING
BCIN #: 37074

DATE:

Oct. 28th 2024

SCALE:

1/8" = 1'-0"

SHEET No.:

A-5

Zoned RR
Total lot area: 8276 s.f (769 s.m)
Existing cottage area: 2321 s.f (215.6 s.m)
Existing boathouse area: 562 s.f (52.2 s.m)

Total existing lot coverage:

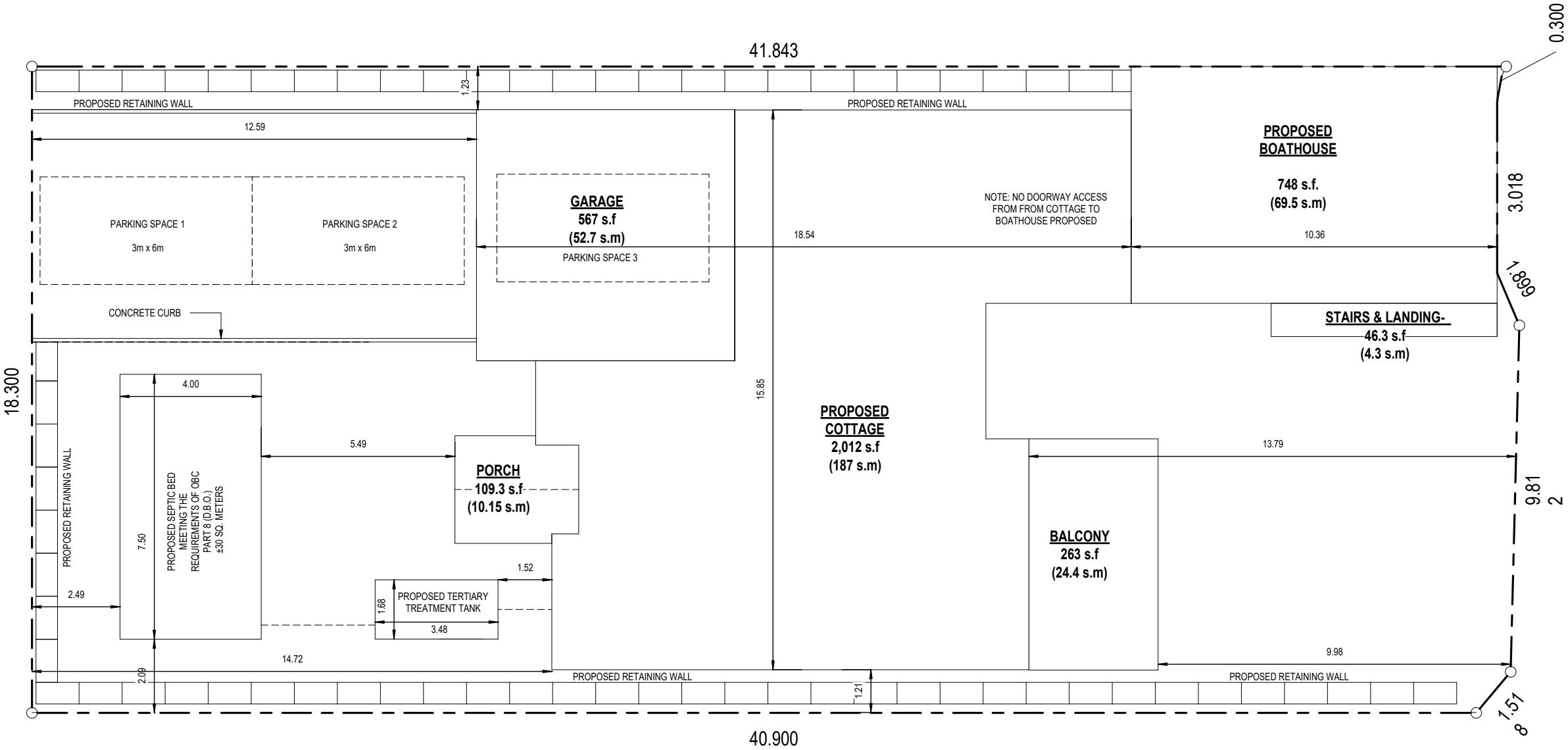
28% cottage (includes attached garage)
7% boathouse

35% total

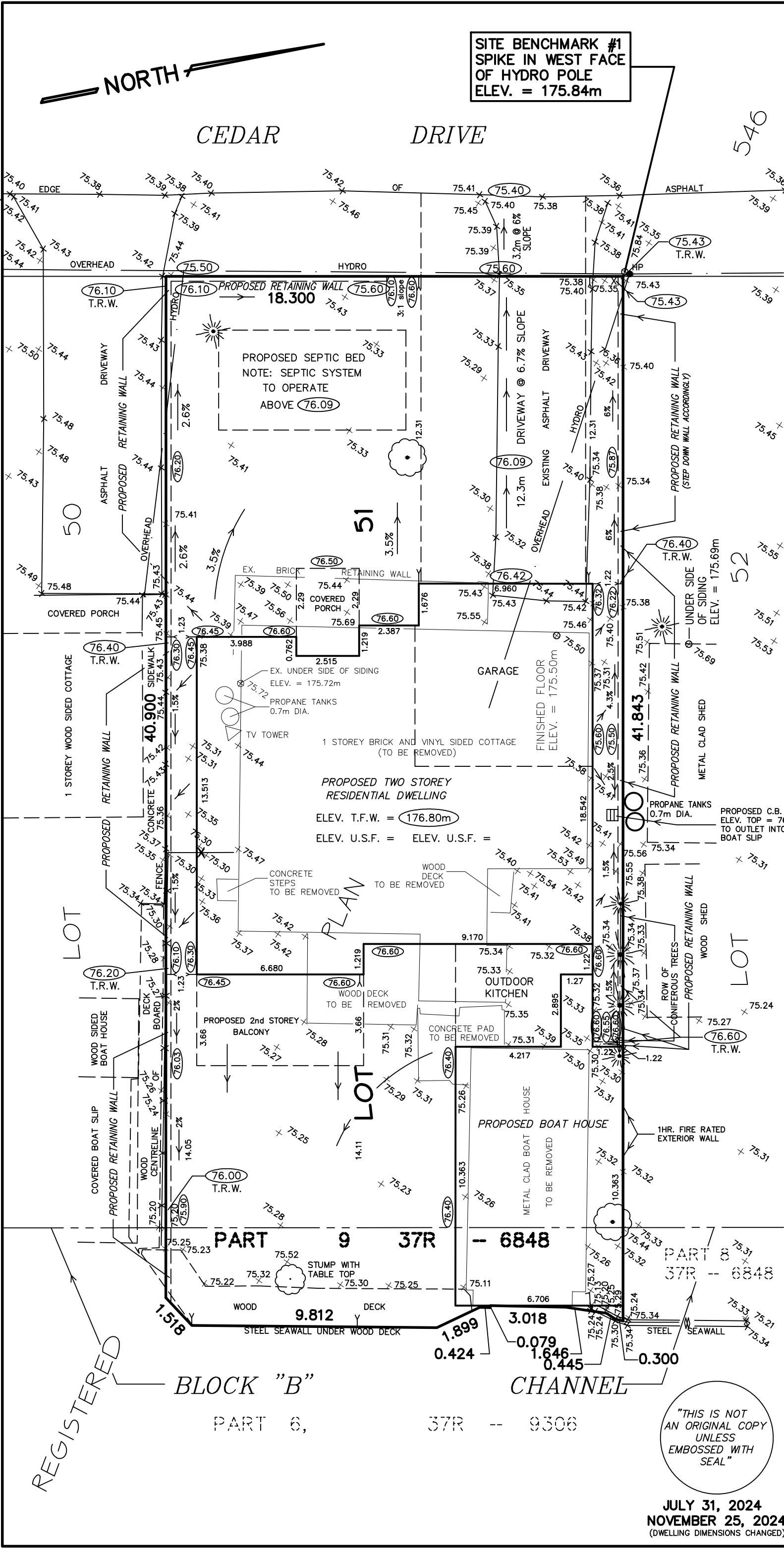
Proposed cottage height: 25'-5 1/8" (7.75 meters)
Proposed cottage area (includes garage and boathouse): 309.2 s.m
Proposed front porch and rear balcony combined: 34.6 s.m

Total proposed lot coverage = 343.8 s.m = 44.7%

Proposed parking spaces: 5



Sophie & Eric	
382 Cedar Drive Turkey Point, ON	
PROMINENT HOMES	Plot Plan
DRAWN BY:	
DESIGNED BY: SAM BUNTING BCIN #: 37074	
DATE: Oct. 28th 2024	
SCALE: 3/32" = 1'-0"	
SHEET No.: sp-1	



SITE PLAN

PREPARED FOR BUILDING PERMIT
AND LOT GRADING
FOR: PROMINENT HOMES INC.
#382 CEDAR DRIVE, TURKEY POINT
P.I.N. 50267-0162

SCALE - 1: 150



METRIC

DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN
BE CONVERTED TO FEET BY DIVIDING BY 0.3048

NOTES

- PROPERTY DIMENSIONS ARE AS SHOWN ON SURVEYOR'S REAL PROPERTY REPORT COMPLETED BY KIM HUSTED SURVEYING LTD., PROJECT: 21-17634SRPR DATED MAY 10, 2022
- PROPOSED BUILDING POSITIONED BY CALCULATIONS, NOT BY ACTUAL SURVEY
- PROPOSED FINAL GRADES ARE SHOWN (75.55) AND ARE IN METRES
- T.F.W. DENOTES TOP OF FOUNDATION WALL
- U.S.F. DENOTES UNDERSIDE OF FOOTING
- SITE BENCHMARK #1 SPIKE SET IN WEST FACE OF HYDRO POLE LOCATED AT THE NORTH-WEST CORNER OF THE SUBJECT PROPERTY HAVING A GEODETIC ELEVATION OF 175.84 METRES
ELEVATIONS ARE REFERRED TO CANADIAN GEODETIC DATUM, THE 11th DAY OF CGVD 1928 VERTICAL DATUM
- THIS SITE PLAN WAS COMPLETED FROM FIELD WORK COMPLETED ON THE 11th DAY OF APRIL, 2022
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE ELEVATION OF THE UPPER LIMIT OF THE GROUND WATER TABLE, SOIL BEARING CAPACITY AND THE ELEVATION OF THE UNDER SIDE OF FOOTING PRIOR TO EXCAVATION.
- SEPTIC SYSTEM TO BE DESIGNED BY OTHERS
ELEVATIONS TO BE REVISED WHERE REQUIRED.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE SITE BENCH MARK PRIOR TO EXCAVATION
- ALL RUNOFF FROM ROOF LEADERS IS TO BE DIRECTED TO THE CHANNEL

NOTES

- AREA OF LOT 51 AND PART OF BLOCK "B" = 764.5 SQ. METRES
- AREA OF PROPOSED DWELLING, GARAGE, COVERED PORCH, BOAT HOUSE AND COVERED OUT DOOR KITCHEN = 318.0 SQUARE METRES
PROPOSED LOT COVERAGE = 41.6%
- ADD 100.00m TO ELEVATIONS SHOWN HERON TO OBTAIN GEODETIC DATUM
- LEGEND:
 - DECIDUOUS TREE
 - CONIFEROUS TREE
 - HYDRO POLE
 - CATCH BASIN
 - T.R.W. DENOTES TOP OF RETAINING WALL

CAUTION

- THIS IS NOT A PLAN OF SURVEY OR SURVEYOR'S REPORT AND SHALL NOT BE USED FOR TRANSACTION OR FINANCING PURPOSES
- DO NOT CONVEY FROM THIS PLAN
- THE PROPOSED BUILDING AND IT'S LOCATION SHOWN HEREON MAY BE SUBJECT TO CHANGES PRIOR TO CONSTRUCTION. THIS SKETCH SHOULD NOT BE RELIED UPON AS CERTIFICATION THAT THE DWELLING WAS ACTUALLY CONSTRUCTED AS SHOWN.
- ELEVATION OF EXISTING GROUND WATER TABLE AND SOIL CONDITIONS NOT DETERMINED
- LOCATION OF UNDERGROUND UTILITIES NOT DETERMINED

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KIM HUSTED SURVEYING LTD.
ONTARIO LAND SURVEYOR

30 HARVEY STREET, TILLSONBURG ONTARIO, N4G 3J8
PHONE: 519-842-3638 FAX: 519-842-3639

PROJECT: 24-19501SP
(JDB) 24-53-377-00

PROMINENT HOMES INC.
#382 CEDAR DRIVE, TURKEY POINT

REF: DWG. RDH
FILE CKD. KSH

JULY 31, 2024
NOVEMBER 25, 2024
(DWELLING DIMENSIONS CHANGED)

"THIS IS NOT
AN ORIGINAL COPY
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EMBOSSED WITH
SEAL"

Minor Variance Application

Applicant: Prominent Homes

Owner's: Sophie & Eric Hurlburt

Address: 382 Cedar Drive Turkey Point

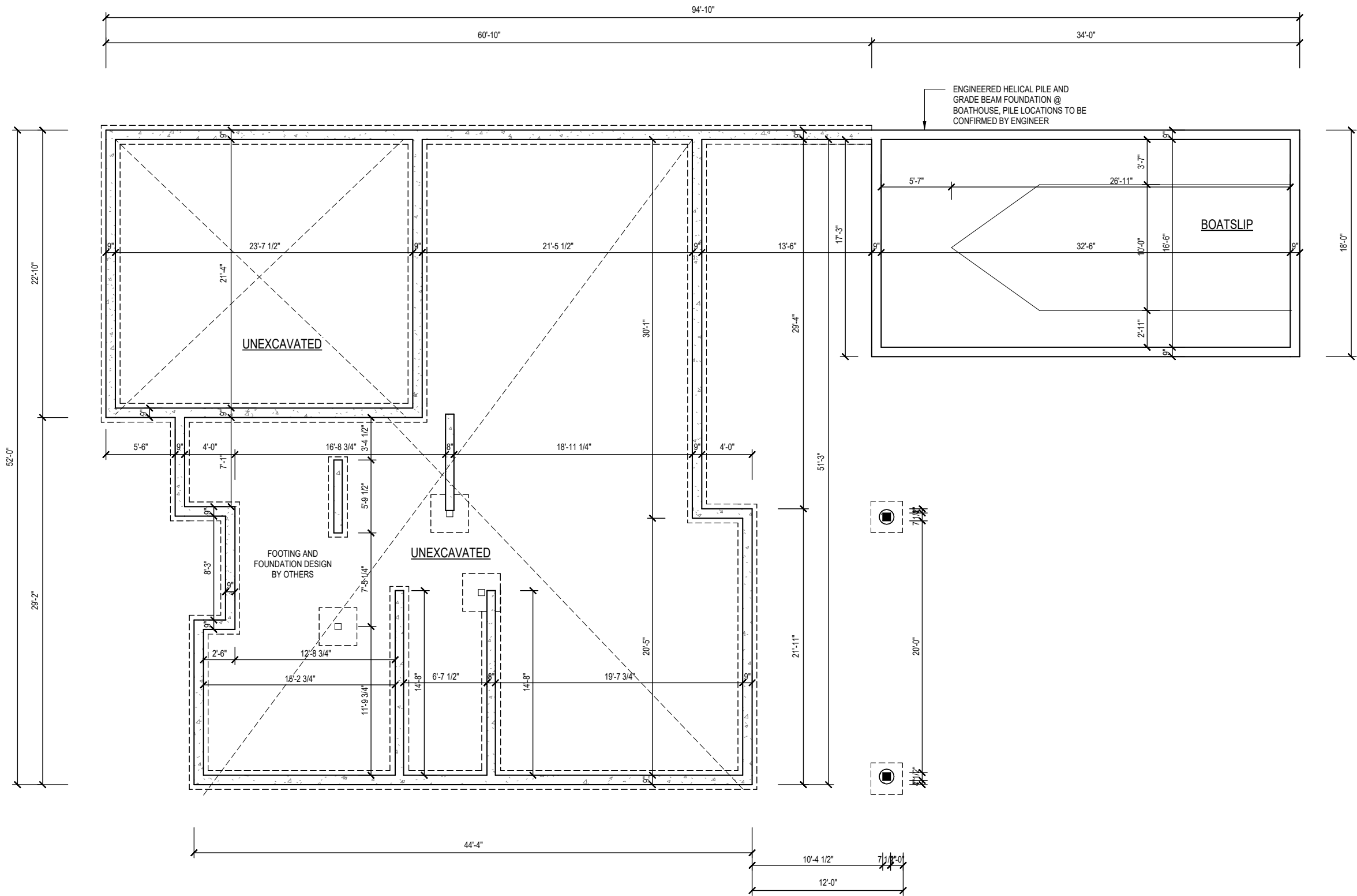
This document is to be read in conjunction with the proposed Site Plan and Zoning-By Law Amendment Application.

Existing Property Description:

The existing 0.077 ha property is zoned RR. The property is currently used as a residential dwelling and boathouse with an existing combined lot coverage of 35%. Please consider that there are several existing cottages in the area with greater than the permitted combined 25% lot coverage in this zone. I will note that the proposed boathouse that is attached to the newly proposed cottage is not intended to be accessed from the cottage as living space but rather is attached for aesthetic purposes and will be used for storage purposes only at the upper level. We are proposing that the new boathouse remain in the same location as the existing and therefore will require relief for the 0 m Int. side yard setback as it does not share a common lot line with the boathouse adjacent to this property.

Application Intent: We are seeking relief/amendment to the the zoning by law to allow the following:

- To build a new 2 story residential cottage with attached garage and boathouse with an exceeded combined lot coverage of 29.7%
- Lot area deficiency of 0.32 ha
- Have the cottage attached to the boathouse with an exceeded rear yard set back of 9m
- Have an exceeded interior side yard set back for the boat house of 1.2m



Sophie &
Eric

382 Cedar Drive
Turkey Point, ON

PROMINENT HOMES

foundation plan

DRAWN BY:

DESIGNED BY:

SAM BUNTING
BCIN #: 37074

DATE:

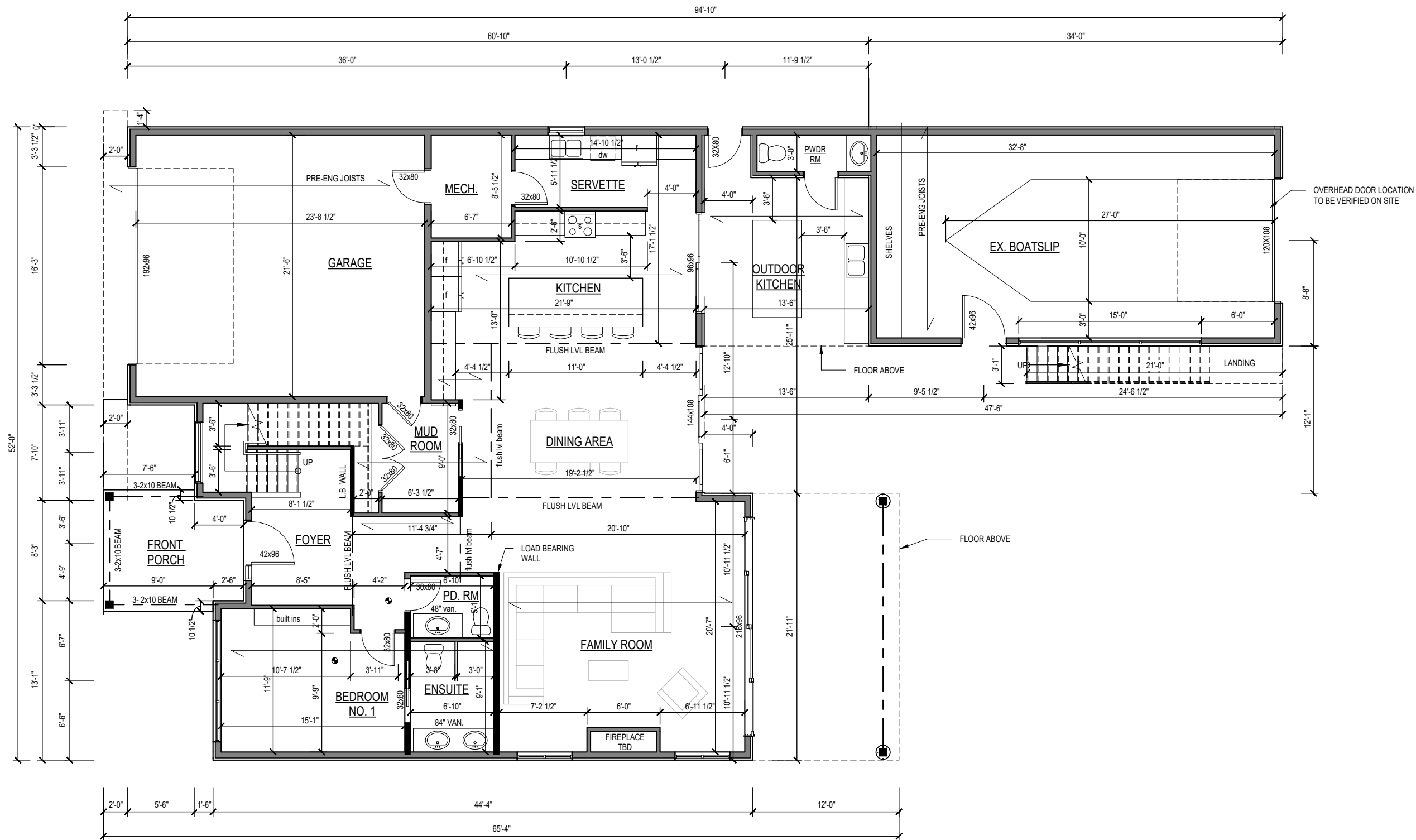
Feb. 26th 2025

SCALE:

1/8" = 1'-0"

SHEET No.:

A-1



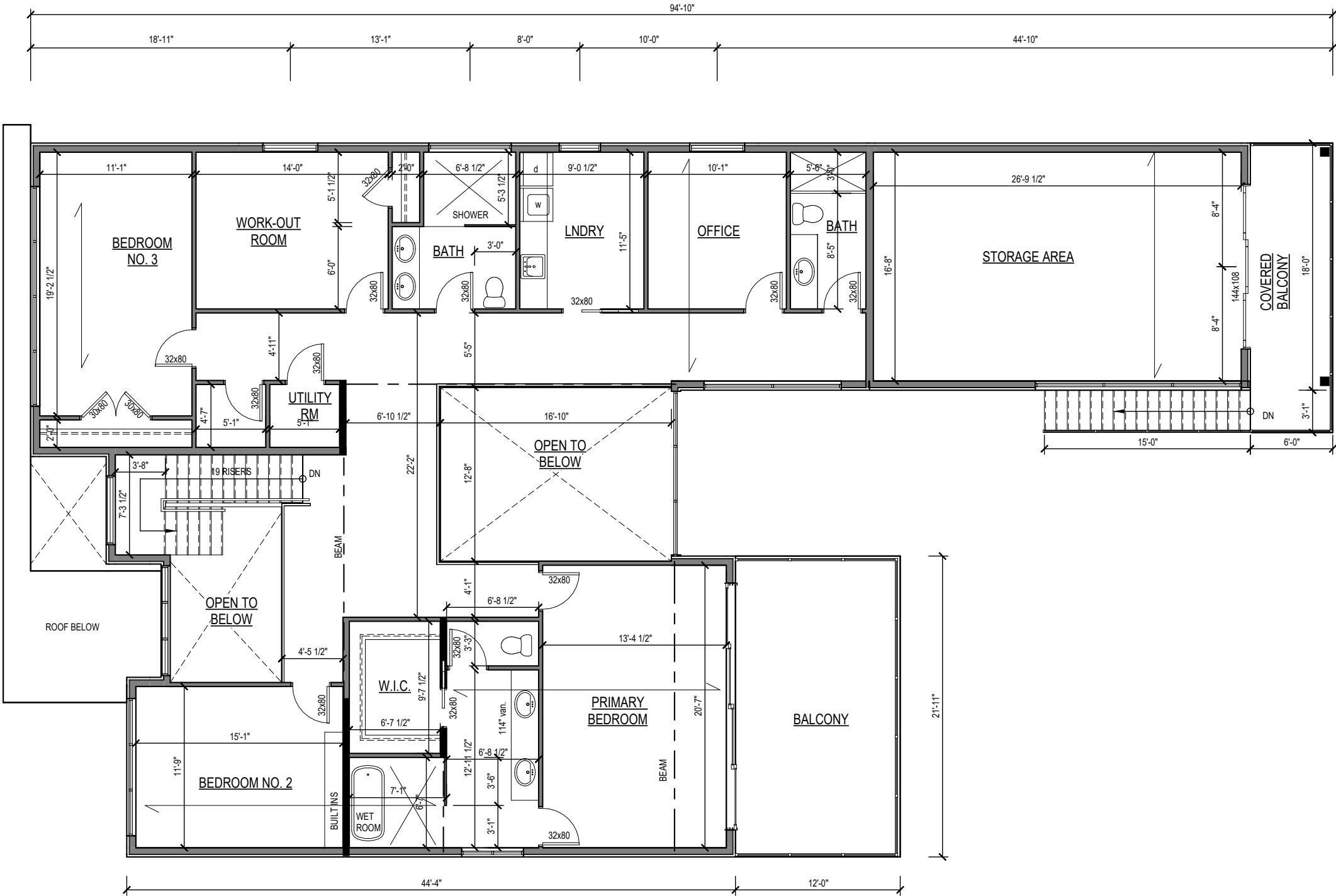
Sophie &
Eric

382 Cedar Drive
Turkey Point, ON

PROMINENT HOMES

MAIN FLOOR PLAN

DRAWN BY:
DESIGNED BY: SAM BUNTING BCIN #: 37074
DATE: Feb. 26th 2025
SCALE: 1/8" = 1'-0"
SHEET No.: A-2



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Turkey Point, ON

PROMINENT HOMES

SECOND FLOOR

DRAWN BY:

DESIGNED BY:

SAM BUNTING
BCIN #: 37074

DATE:

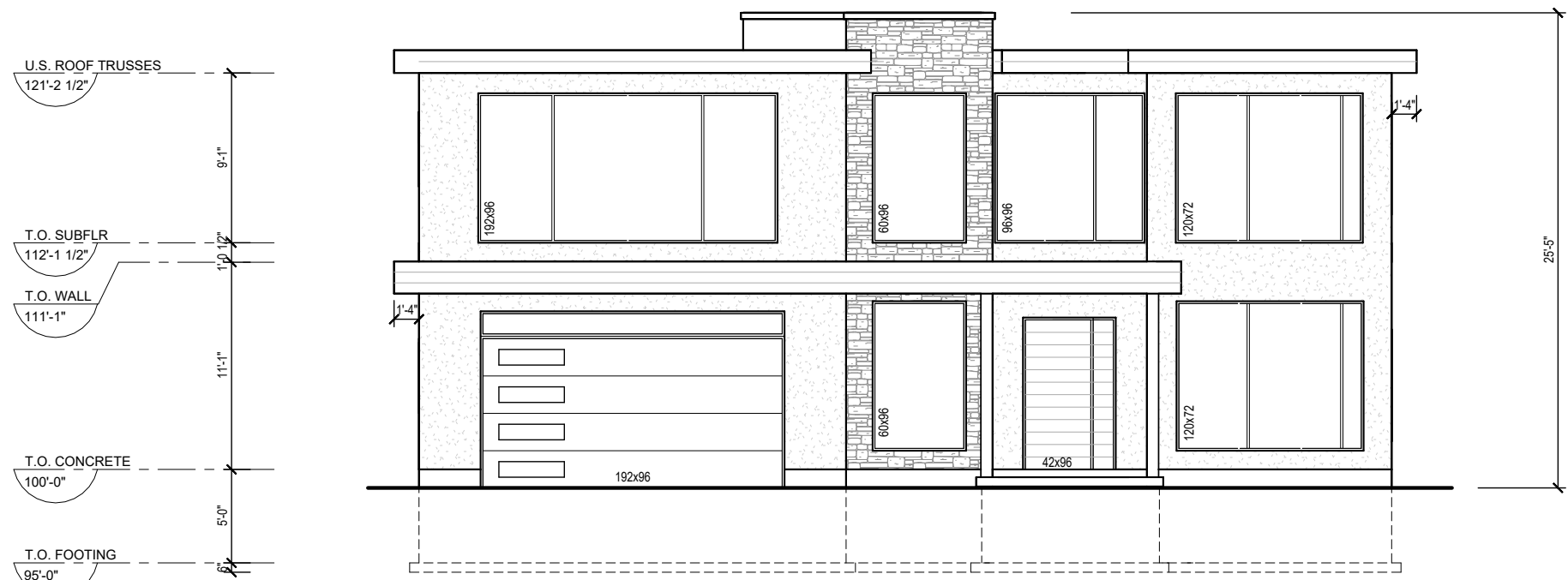
Feb. 26th 2025

SCALE:

1/8" = 1'-0"

SHEET No.:

A-3



1 FRONT ELEVATION
1/8" = 1'-0"



2 BACK ELEVATION
1/8" = 1'-0"

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382 Cedar Drive
Turkey Point, ON

PROMINENT HOMES

FRONT & BACK ELEVATIONS

DRAWN BY:

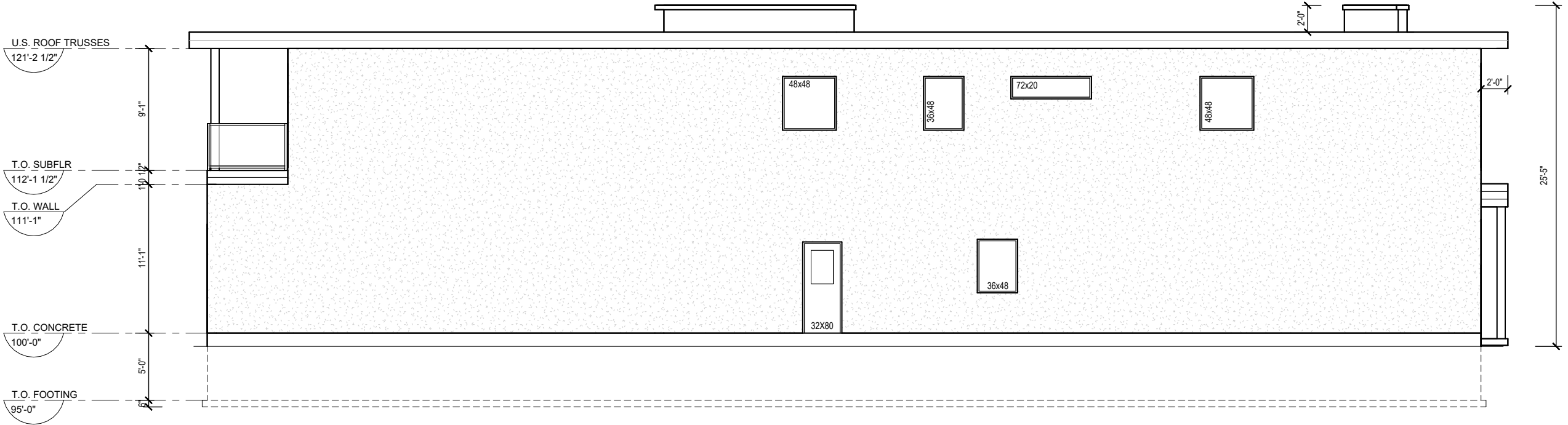
DESIGNED BY:
SAM BUNTING
BCIN #: 37074

DATE:
Feb. 26th 2025

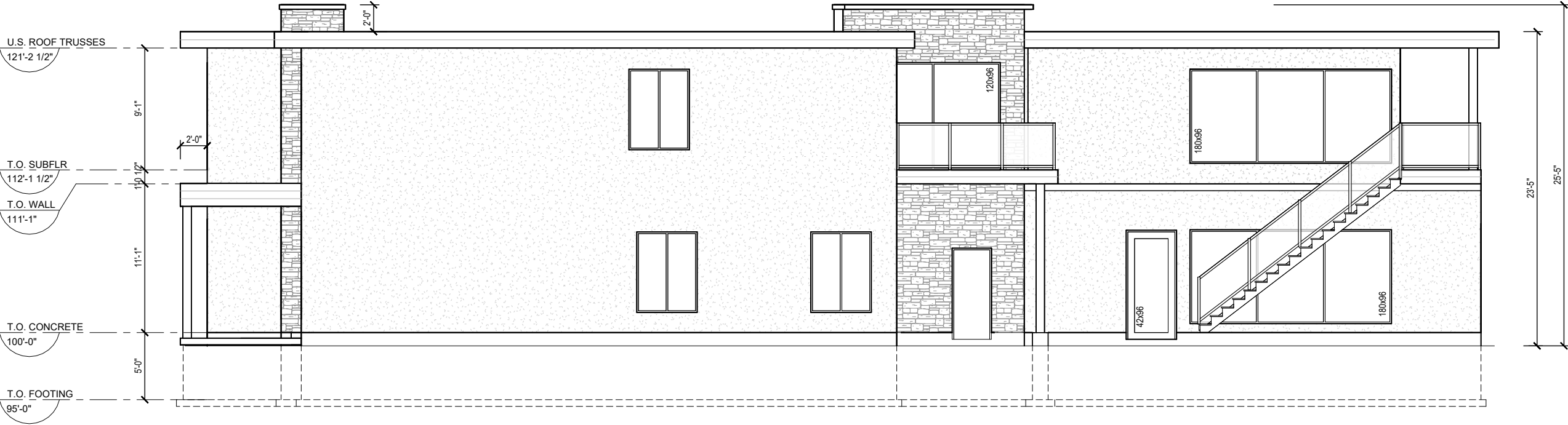
SCALE:
1/8" = 1'-0"

SHEET No.:

A-4



1 LEFT ELEVATION
1/8" = 1'-0"



2 RIGHT ELEVATION
1/8" = 1'-0"

Sophie &
Eric

382 Cedar Drive
Turkey Point, ON

PROMINENT HOMES

LEFT & RIGHT ELEVATIONS

DRAWN BY:

DESIGNED BY:

SAM BUNTING
BCIN #: 37074

DATE:

Feb. 26th 2025

SCALE:

1/8" = 1'-0"

SHEET No.:

A-5

Zoned RR
Total lot area: 8,229 s.f (764.5 s.m)
Existing cottage area: 2321 s.f (215.6 s.m)
Existing boathouse area: 562 s.f (52.2 s.m)

Total existing lot coverage:

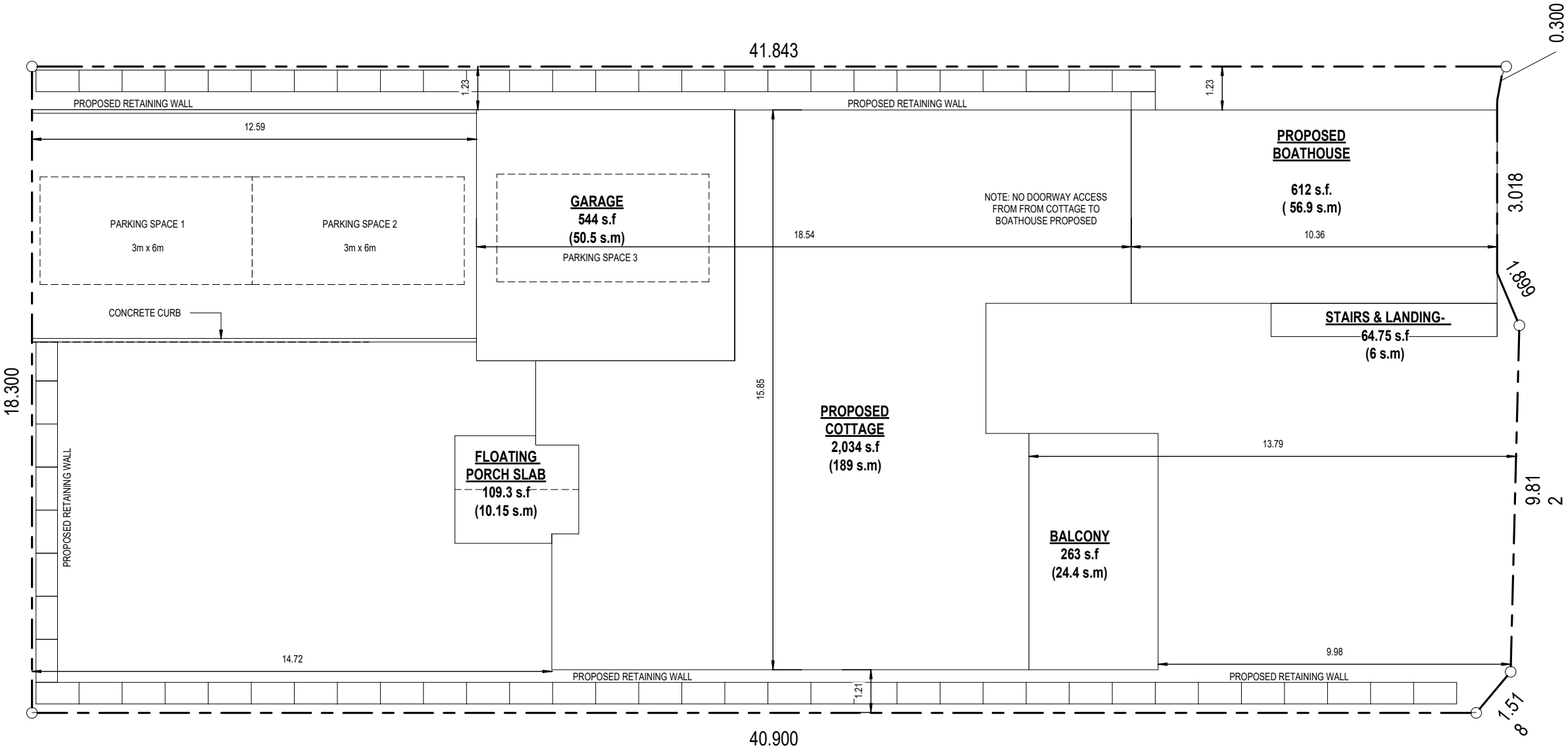
28% cottage (includes attached garage)
7% boathouse

35% total

Proposed cottage height: 25'-5 1/8" (7.75 meters)
Proposed cottage area (includes garage and boathouse): 296.4 s.m
Proposed front porch, rear balcony and boathouse stairs combined: 40.6 s.m

Total proposed lot coverage = 337 s.m = 44%

Proposed parking spaces: 5



Sophie &
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382 Cedar Drive
Turkey Point, ON

PROMINENT HOMES

Plot Plan

DRAWN BY:

DESIGNED BY:

SAM BUNTING
BCIN #: 37074

DATE:

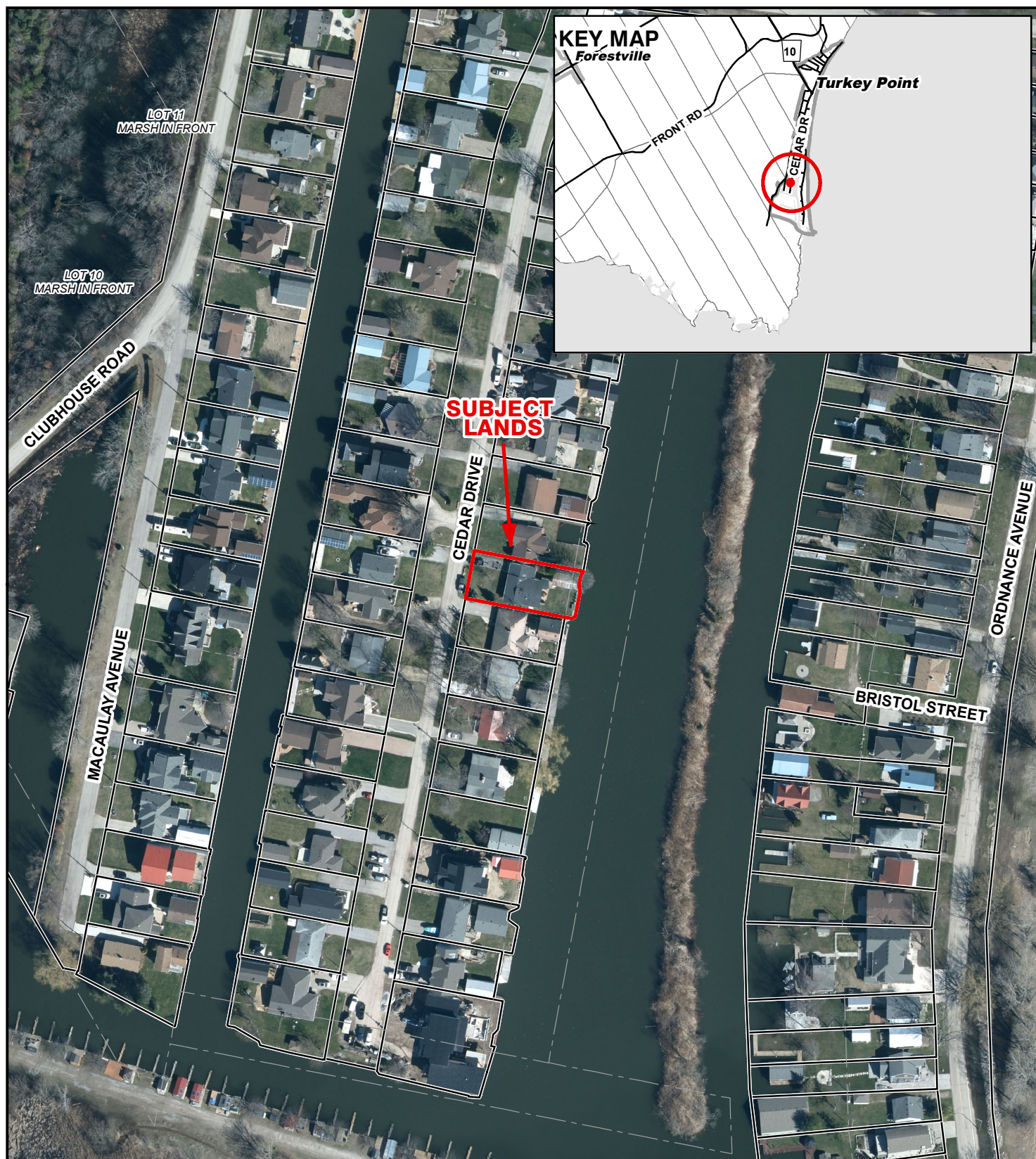
Feb. 26th 2025

SCALE:

3/32" = 1'-0"

SHEET No.:

sp-1

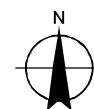


Legend

☐ Subject Lands

2020 Air Photo

3/13/2025



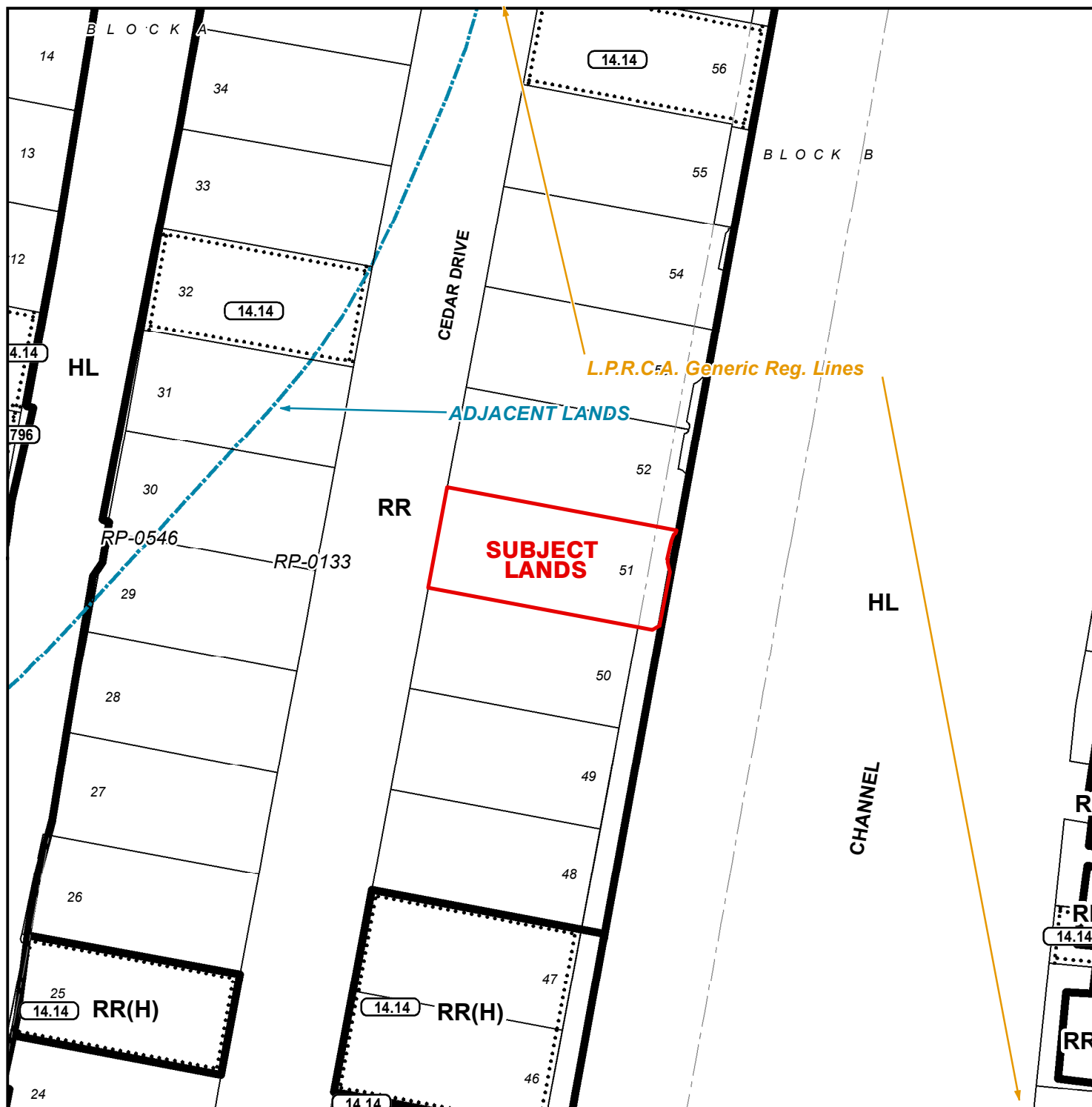
A scale bar with markings at 10, 5, 0, 10, 20, 30, and 40 meters. The bar is black with white markings and the word "Meters" is written at the end.

MAP B

ZONING BY-LAW MAP

Geographic Township of CHARLOTTEVILLE

ANPL2024393



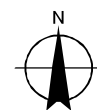
LEGEND

- Subject Lands
- Adjacent Lands
- LPRCA Generic RegLines

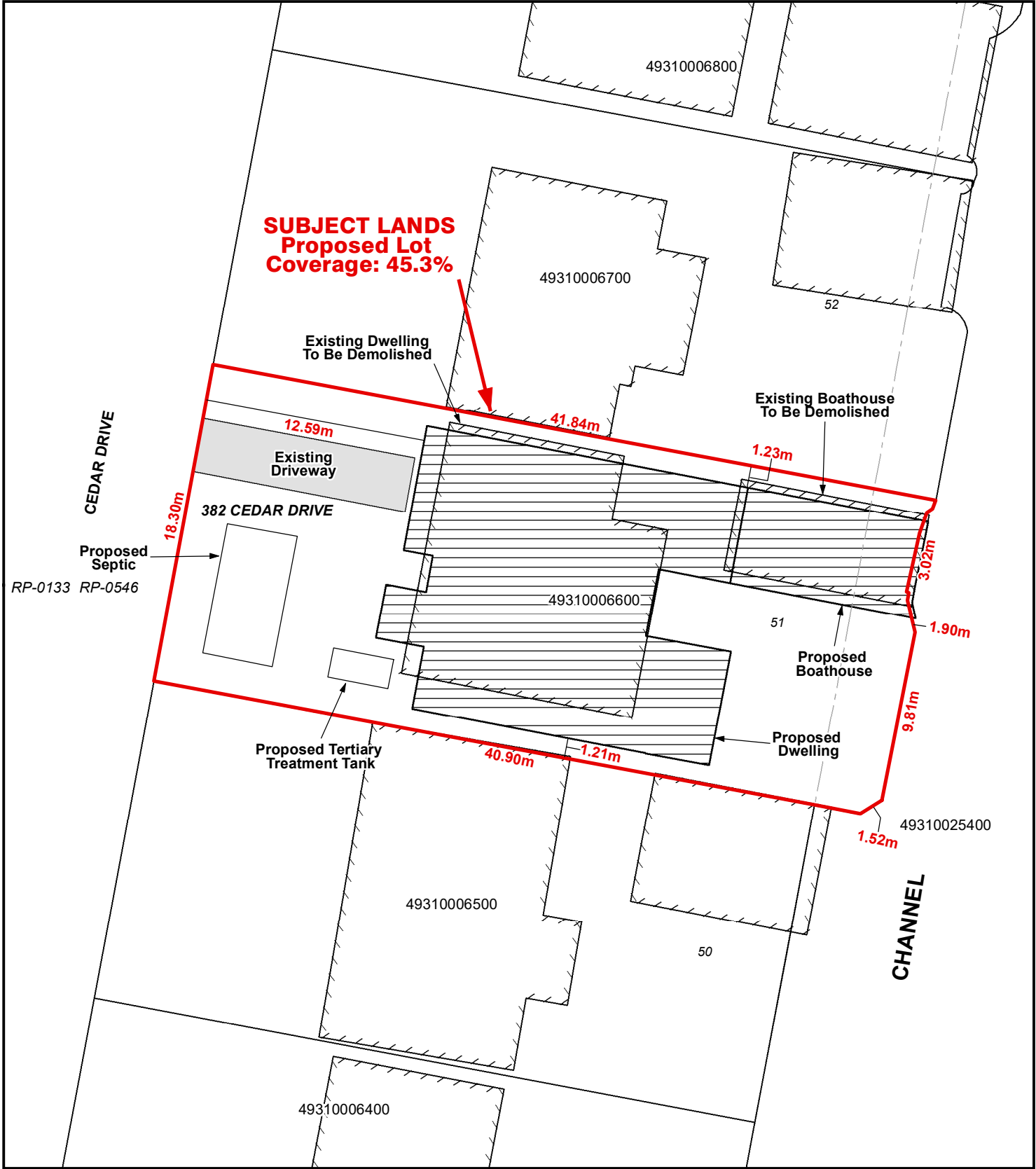
ZONING BY-LAW 1-Z-2014

3/13/2025

- (H) - Holding
- HL - Hazard Land Zone
- RR - Resort Residential Zone

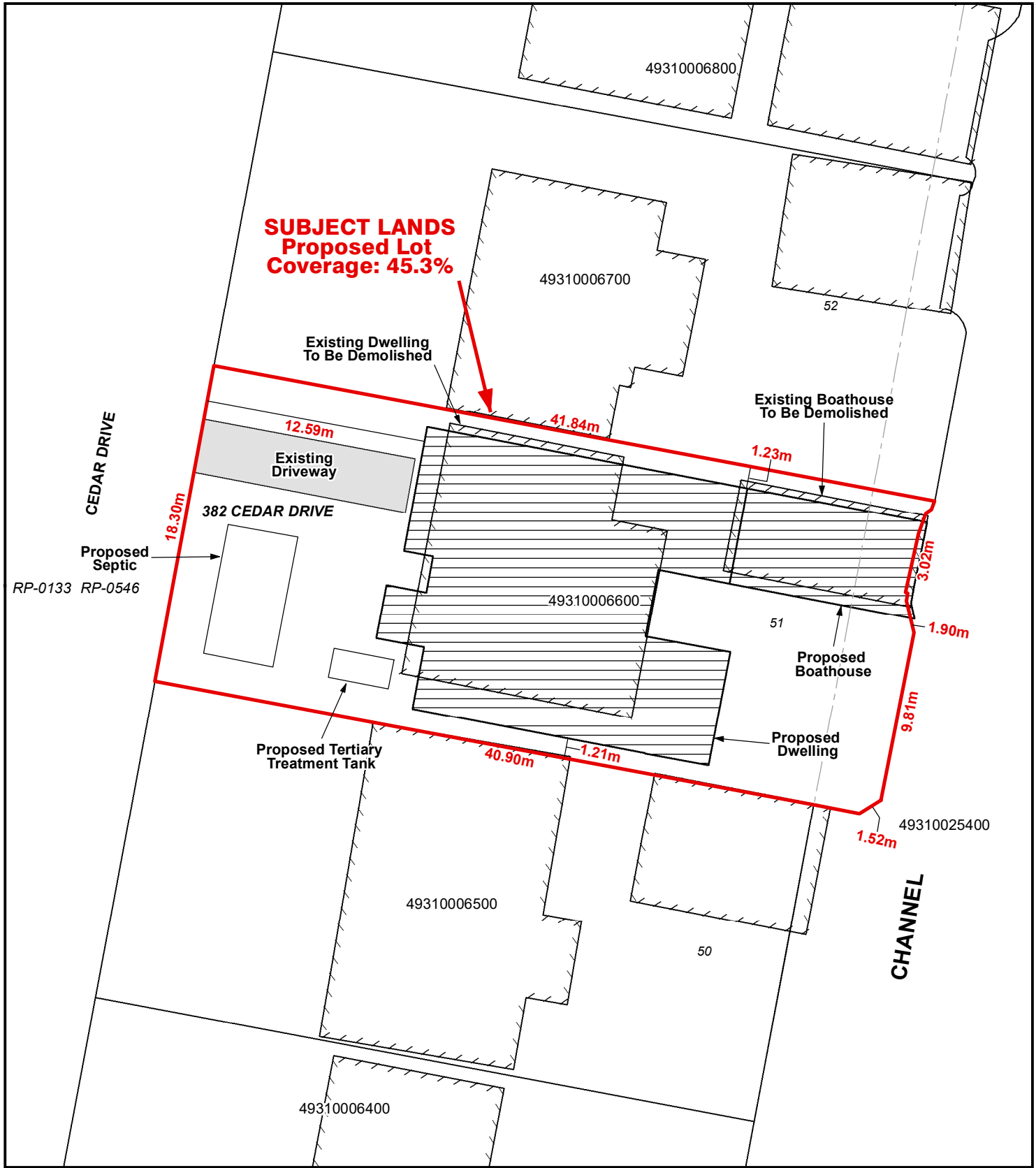


10 5 0 10 20 30 40 Meters




CONCEPTUAL PLAN

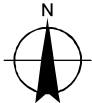
Geographic Township of CHARLOTTEVILLE



Legend

 Subject Lands

3/13/2025



2.5 1.25 0 2.5 5 7.5 10 Meters