

Name of Agent Jeff Binder
Address PO Box 246
Town and Postal Code Courtland NOJ 1E0
Phone Number 519-688-9113
Cell Number same
Email jeffbinder@sympatico.ca

Please specify to whom all communications should be sent. Unless otherwise directed, all correspondence and notices in respect of this application will be forwarded to the owner and agent noted above.

☒ Owner
 ☒ Agent
 ☐ Applicant

Names and addresses of any holder of any mortgagees, charges or other encumbrances on the subject lands:

N/A

B. Location, Legal Description and Property Information

1. Legal Description (include Geographic Township, Concession Number, Lot Number, Block Number and Urban Area or Hamlet):

158 Woodstock Ave, SWAL Plan 436, Lot98

Long Point

Municipal Civic Address: 158 Woodstock Ave

Present Official Plan Designation(s): Irreg

Present Zoning: _____

2. Is there a special provision or site specific zone on the subject lands?

☐ Yes ☒ No If yes, please specify:

3. Present use of the subject lands:

Residence

4. Please describe all existing buildings or structures on the subject lands and whether they are to be retained, demolished or removed. If retaining the buildings or structures, please describe the type of buildings or structures, and illustrate the setback, in metric units, from front, rear and side lot lines, ground floor area, gross floor area, lot coverage, number of storeys, width, length, and height on your attached sketch which must be included with your application:

There is a residence with a recent addition, a carport and a shed on the property.

The front deck was existing and we are building a new one in its place.

See Site Plan

5. If an addition to an existing building is being proposed, please explain what it will be used for (for example a bedroom, kitchen, or bathroom). If new fixtures are proposed, please describe.

The new addition is built and is only living space. No bathrooms or plumbing fixtures were added.

6. Please describe all proposed buildings or structures/additions on the subject lands. Describe the type of buildings or structures/additions, and illustrate the setback, in metric units, from front, rear and side lot lines, ground floor area, gross floor area, lot coverage, number of storeys, width, length, and height on your attached sketch which must be included with your application:

To re build the front deck for egress and sitting area. See Site Plan and Chart.

To add a rear deck 12x15 at floor elevation for egress and sitting area

7. Are any existing buildings on the subject lands designated under the *Ontario Heritage Act* as being architecturally and/or historically significant? Yes ☐ No ☒

If yes, identify and provide details of the building:

8. If known, the length of time the existing uses have continued on the subject lands:

1952

9. Existing use of abutting properties:

Residences

10. Are there any easements or restrictive covenants affecting the subject lands?

☐ Yes ☒ No If yes, describe the easement or restrictive covenant and its effect:

C. Purpose of Development Application

Note: Please complete all that apply. Failure to complete this section will result in an incomplete application.

1. Site Information (Please refer to Zoning By-law to confirm permitted dimensions)

	Existing	Permitted	Provision	Proposed	Deficiency
Lot frontage	20.27m	15m			
Lot depth	41.6m				
Lot width	20.27m				
Lot area	809sq/m				
Lot coverage	119.56sq/m	121 sq/m	28.61sq/m	148.17sq/m	3.3%
Front yard	3m	6m			
Rear yard	9.63m	9m			
Height	8.5m	9.1			
Left Interior side yard	3.05m	1.2m			
Right Interior side yard	1.2m	1.2m			
Exterior side yard (corner lot)					
Parking Spaces (number)	4				
Aisle width					
Stall size					
Loading Spaces					
Other					

2. Please explain why it is not possible to comply with the provision(s) of the Zoning By-law:

With new addition the decks put lot coverage over the 15% allowable.

3. **Consent/Severance/Boundary Adjustment:** Description of land intended to be severed in metric units:

Frontage: _____

Depth: _____

Width: _____

Lot Area: _____

Present Use: _____

Proposed Use: _____

Proposed final lot size (if boundary adjustment): _____

If a boundary adjustment, identify the assessment roll number and property owner of the lands to which the parcel will be added: _____

Description of land intended to be retained in metric units:

Frontage: _____

Depth: _____

Width: _____

Lot Area: _____

Present Use: _____

Proposed Use: _____

Buildings on retained land: _____

4. **Easement/Right-of-Way:** Description of proposed right-of-way/easement in metric units:

Frontage: _____

Depth: _____

Width: _____
 Area: _____
 Proposed Use: _____

5. Surplus Farm Dwelling Severances Only: List all properties in Norfolk County, which are owned and farmed by the applicant and involved in the farm operation

Owners Name: _____
 Roll Number: _____
 Total Acreage: _____
 Workable Acreage: _____
 Existing Farm Type: (for example: corn, orchard, livestock) _____
 Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built _____
 Date of Land Purchase: _____

Owners Name: _____
 Roll Number: _____
 Total Acreage: _____
 Workable Acreage: _____
 Existing Farm Type: (for example: corn, orchard, livestock) _____
 Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built _____
 Date of Land Purchase: _____

Owners Name: _____
 Roll Number: _____
 Total Acreage: _____
 Workable Acreage: _____
 Existing Farm Type: (for example: corn, orchard, livestock) _____
 Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built _____
 Date of Land Purchase: _____

Owners Name: _____
 Roll Number: _____
 Total Acreage: _____
 Workable Acreage: _____
 Existing Farm Type: (for example: corn, orchard, livestock) _____
 Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built _____
 Date of Land Purchase: _____

Owners Name: _____
 Roll Number: _____
 Total Acreage: _____
 Workable Acreage: _____
 Existing Farm Type: (for example: corn, orchard, livestock) _____
 Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built _____
 Date of Land Purchase: _____

Note: If additional space is needed please attach a separate sheet.

D. All Applications: Previous Use of the Property

1. Has there been an industrial or commercial use on the subject lands or adjacent lands? ☐ Yes ☐ No ☒ Unknown

If yes, specify the uses (for example: gas station, or petroleum storage):

2. Is there reason to believe the subject lands may have been contaminated by former uses on the site or adjacent sites? ☐ Yes ☒ No ☐ Unknown

3. Provide the information you used to determine the answers to the above questions:

4. If you answered yes to any of the above questions in Section D, a previous use inventory showing all known former uses of the subject lands, or if appropriate, the adjacent lands, is needed. Is the previous use inventory attached? ☐ Yes ☐ No

E. All Applications: Provincial Policy

1. Is the requested amendment consistent with the provincial policy statements issued under subsection 3(1) of the *Planning Act, R.S.O. 1990, c. P. 13*? ☒ Yes ☐ No

If no, please explain:

2. It is owner's responsibility to be aware of and comply with all relevant federal or provincial legislation, municipal by-laws or other agency approvals, including the Endangered Species Act, 2007. Have the subject lands been screened to ensure that development or site alteration will not have any impact on the habitat for endangered or threatened species further to the provincial policy statement subsection 2.1.7? ☐ Yes ☒ No

If no, please explain:

No provisions for this on this project

3. Have the subject lands been screened to ensure that development or site alteration will not have any impact on source water protection? ☐ Yes ☒ No

If no, please explain:

No provisions for this

Note: If in an area of source water Wellhead Protection Area (WHPA) A, B or C please attach relevant information and approved mitigation measures from the Risk Manager Official.

4. All Applications: Are any of the following uses or features on the subject lands or within 500 metres of the subject lands, unless otherwise specified? Please check boxes, if applicable.

Livestock facility or stockyard (submit MDS Calculation with application)

☐ On the subject lands or ☐ within 500 meters – distance _____

Wooded area

☐ On the subject lands or ☐ within 500 meters – distance _____

Municipal Landfill

☐ On the subject lands or ☐ within 500 meters – distance _____

Sewage treatment plant or waste stabilization plant

☐ On the subject lands or ☐ within 500 meters – distance _____

Provincially significant wetland (class 1, 2 or 3) or other environmental feature

☐ On the subject lands or ☐ within 500 meters – distance _____

Floodplain

250 m

☐ On the subject lands or ☐ within 500 meters – distance _____

Rehabilitated mine site

☐ On the subject lands or ☐ within 500 meters – distance _____

Non-operating mine site within one kilometre

☐ On the subject lands or ☐ within 500 meters – distance _____

Active mine site within one kilometre

☐ On the subject lands or ☐ within 500 meters – distance _____

Industrial or commercial use (specify the use(s))

☐ On the subject lands or ☐ within 500 meters – distance _____

Active railway line

☐ On the subject lands or ☐ within 500 meters – distance _____

Seasonal wetness of lands

☐ On the subject lands or ☐ within 500 meters – distance _____

Erosion

☐ On the subject lands or ☐ within 500 meters – distance _____

Abandoned gas wells

☐ On the subject lands or ☐ within 500 meters – distance _____

F. All Applications: Servicing and Access

1. Indicate what services are available or proposed:

Water Supply

- ☐ Municipal piped water ☐ Communal wells
☒ Individual wells ☐ Other (describe below)

Sewage Treatment

- ☐ Municipal sewers ☐ Communal system
☒ Septic tank and tile bed in good working order ☐ Other (describe below)

Storm Drainage

- ☐ Storm sewers ☐ Open ditches
☐ Other (describe below)

2. Existing or proposed access to subject lands:

- ☒ Municipal road ☐ Provincial highway
☐ Unopened road ☐ Other (describe below)

Name of road/street:

G. All Applications: Other Information

1. Does the application involve a local business? ☐ Yes ☒ No

If yes, how many people are employed on the subject lands?

2. Is there any other information that you think may be useful in the review of this application? If so, explain below or attach on a separate page. Please see attached letter.

H. Supporting Material to be submitted by Applicant

In order for your application to be considered complete, folded hard copies (number of paper copies as directed by the planner) and an electronic version (PDF) of the site plan drawings, additional plans, studies and reports will be required, including but not limited to the following details:

1. **Concept/Layout Plan**
2. **All measurements in metric**
3. **Existing and proposed easements and right of ways**
4. **Parking space totals – required and proposed**
5. **All dimensions of the subject lands**
6. **Dimensions and setbacks of all buildings and structures**
7. **Location and setbacks of septic system and well from all existing and proposed lot lines, and all existing and proposed structures**
8. **Names of adjacent streets**
9. **Natural features, watercourses and trees**

In addition, the following additional plans, studies and reports, including but not limited to, **may** also be required as part of the complete application submission:

- ☐ On-Site Sewage Disposal System Evaluation Form (to verify location and condition)
- ☐ Environmental Impact Study
- ☐ Geotechnical Study / Hydrogeological Review
- ☐ Minimum Distance Separation Schedule
- ☐ Record of Site Condition

Your development approval might also be dependent on Ministry of Environment Conservation and Parks, Ministry of Transportation or other relevant federal or provincial legislation, municipal by-laws or other agency approvals.

All final plans must include the owner's signature as well as the engineer's signature and seal.

I. Transfers, Easements and Postponement of Interest

The owner acknowledges and agrees that if required it is their solicitor's responsibility on behalf of the owner for the registration of all transfer(s) of land to the County, and/or transfer(s) of easement in favour of the County and/or utilities. Also, the owner further acknowledges and agrees that it is their solicitor's responsibility on behalf of the owner for the registration of postponements of any charges in favour of the County.

Permission to Enter Subject Lands

Permission is hereby granted to Norfolk County officers, employees or agents, to enter the premises subject to this application for the purposes of making inspections associated with this application, during normal and reasonable working hours.

Freedom of Information

For the purposes of the *Municipal Freedom of Information and Protection of Privacy Act*, I authorize and consent to the use by or the disclosure to any person or public body any information that is collected under the authority of the *Planning Act, R.S.O. 1990, c. P. 13* for the purposes of processing this application.

M. Stark R. Stark

Owner/Applicant/Agent Signature

12/1/24

Date

J. Owner's Authorization

If the applicant/agent is not the registered owner of the lands that is the subject of this application, the owner must complete the authorization set out below.

I/We Nancy + Bob Stark am/are the registered owner(s) of the lands that is the subject of this application.

I/We authorize Jeff Binder to make this application on my/our behalf and to provide any of my/our personal information necessary for the processing of this application. Moreover, this shall be your good and sufficient authorization for so doing.

M. Stark

Owner

R. Stark

Owner

12/1/24

Date

12/1/24

Date

***Note:** If property is owned by an Ontario Ltd. Corporation, Articles of Incorporation are required to be attached to the application.

K. Declaration

I, Nancy + Bob Stark of Long Point
solemnly declare that:

all of the above statements and the statements contained in all of the exhibits
transmitted herewith are true and I make this solemn declaration conscientiously
believing it to be true and knowing that it is of the same force and effect as if made
under oath and by virtue of *The Canada Evidence Act*.

Declared before me at:

Long Point

CN. Stark R Stark
Owner/Applicant/Agent Signature

In _____

This 18 day of December

A.D., 2024

A Commissioner, etc.



December 1, 2024

519-688-9113

www.binderbuilt.com

To The Committee of Adjustment

Section G 2.

Re: 158 Woodstock Ave, Long Point
Front and rear deck minor variance

The addition which has been constructed requires decks for egress. Upon acquiring the initial building permit it was overlooked that the front deck would put the project over the allowable lot coverage of 15%. I was under the impression the front and rear decks would be accessory structures and fall within the 10% allowance for this. Upon adding the decks to the permit it has come to my attention that as egress decks they are included in the 15% allowance for the residence. The front deck is simply being replaced and has existed for many years. The rear deck will be used for egress and a dining/sitting area. We have gone through the process of revising the permit to include the decks. Including a revision to our LPRCA approval permit. This approval has been granted and I have attached their file to this minor variance application.

I would ask that approval be granted for this minor variance as it is a small percentage and the decks are necessary for egress.

Sincerely,

A handwritten signature in black ink, appearing to read "Jeff Binder", written over a horizontal line.

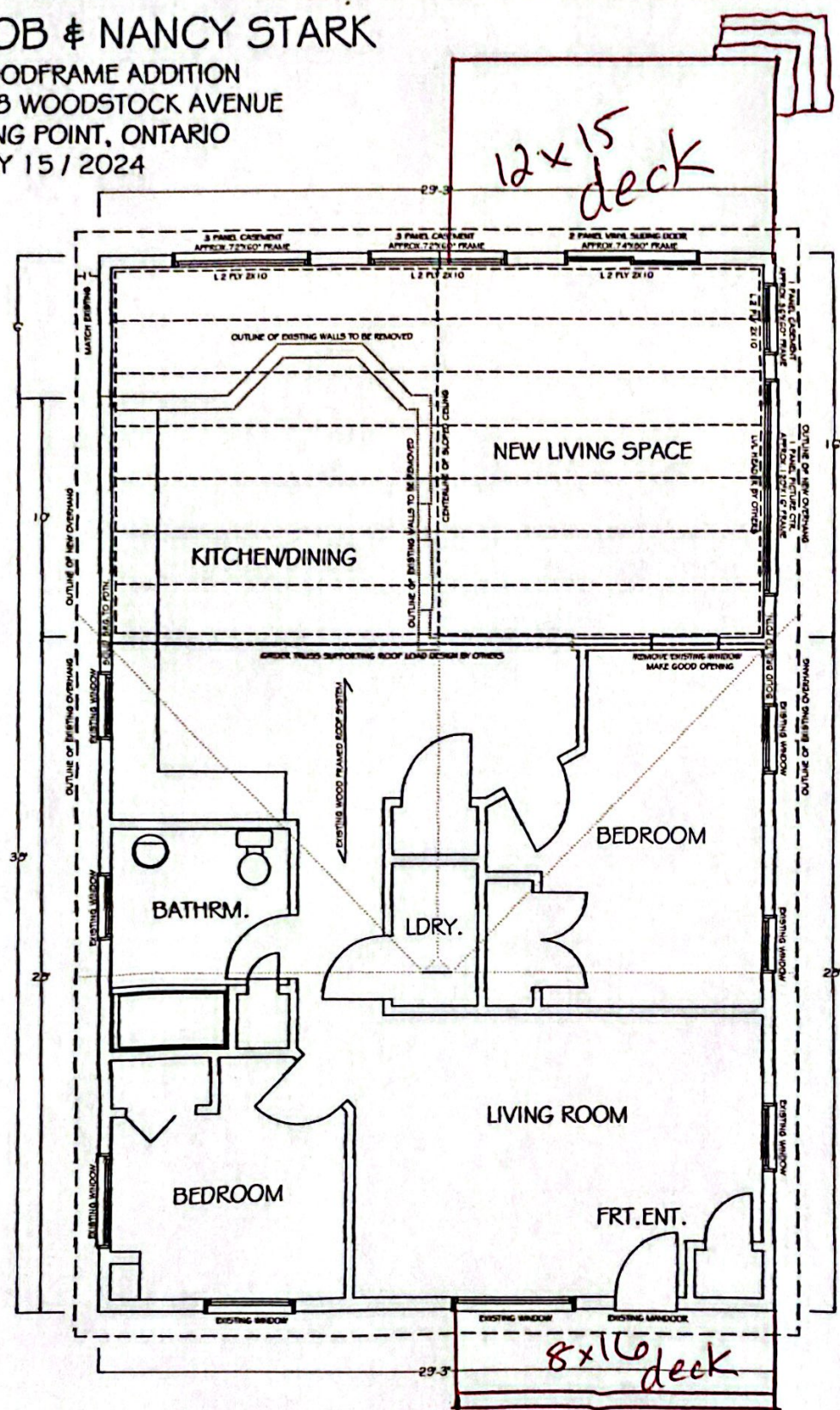
Jeff Binder
President
Binder Built Group Ltd

Two handwritten signatures in black ink. The top signature appears to read "M. Stark" and the bottom signature appears to read "E. Stark".

B

BOB & NANCY STARK

WOODFRAME ADDITION
158 WOODSTOCK AVENUE
LONG POINT, ONTARIO
MAY 15 / 2024



REVISED GROUND FLOOR PLAN

REVISED SQUARE FOOTAGE 1287 SF
NOT TO SCALE

WARREN BESELAERE
BCIN 51005 INDIVIDUAL
BCIN 53050 FIRM
IF THIS STAMP IS NOT IN RED INK
THEN THESE DRAWINGS HAVE
BEEN DUPLICATED UNLAWFULLY

DO NOT SCALE DRAWINGS
CONTRACTOR TO CHECK & VERIFY
ALL DIMENSIONS - ETC

Woodstock Ave ↓

Warren Beselaere
May 15, 2024

158 Woodstock Ave,
Long Point.

existing deck
+
rebuild.
 $2.43 \times 4.877m$

$3.04m$
 $8.9m$
 $4.57m$
 $13.41m$

New Addition

New deck

septic tank

$41.6m$

carport

$4.5m$
 $4.26m$
 $9.63m$
 $6.04m$
 $9.75m$
 $3.65m$
 $1.82m$
 $7.62m$
 $4.57m$
 $3.04m$

Parking

$20.27m$

$2.43m$
 $3.65m$
 $1.2m$
86

existing shed

G. Stark
R. Stark



Long Point Region Conservation Authority

PERMIT No. LPRCA-137/24 REVISED **PROHIBITED ACTIVITIES, EXEMPTIONS AND PERMITS** **(CONSERVATION AUTHORITIES ACT - ONTARIO REGULATION 41/24)**

4 Elm Street
Tillsonburg, ON
N4G 0C4
Phone (519) 842-4242
Fax (519) 842-7123
www.lprca.on.ca

Permission has been granted to:

Applicant:	Bob and Nancy Stark	Telephone:	905-912-1166
Address:	158 Woodstock Ave, Port Rowan	Email:	Starknancy7@gmail.com
	N0E 1M0		
Agent:	Jeff Binder	Telephone:	519-688-9113
Address:	P.O Box 246, Courtland	Email:	jeffbinder@sympatico.ca
	N0J 1E0		
Location/Address of works: 158 Woodstock Ave. 331054306029600			
Lot:	98	Plan:	436
		Municipality:	Norfolk County
Description of Works:	to construct a 29m ² (314ft ²) addition to the existing cottage on helical piles.		
	The revision to this permit is to include the replacement of a 11m ² (128ft ²) front deck and 17m ² (180ft ²) rear deck.		
Type of fill:	n/a		

This permit is valid on the above location only for the period of:

DATE: August 7, 2024 to August 7, 2026

This permit shall be subject to the following conditions:

The Applicant and owner, by acceptance of and in consideration of the issuance of this permit, agrees to the following conditions:

GENERAL CONDITIONS: (SEE REVERSE SIDE OF PERMIT)

SPECIFIC CONDITIONS:

1. Locations and dimensions of proposed works must be as indicated on the enclosed copy of the work permit application dated July 3, 2024 and the associated information.

GENERAL CONDITIONS:

1. This permit does not preclude any approvals required by any other laws or regulations.
2. Temporary sediment & erosion control measures shall be installed around any disturbed and/or exposed ground or excavated material stockpiles, remain in place until the site has been suitably stabilized, and must be monitored regularly to ensure effectiveness. Remedial/Emergency measures must be taken at any sign of failure. This step is considered necessary to prevent the undesirable migration of silt.
3. The Conservation Authority should be contacted within 48 hours prior to the commencement of construction.
4. Authorized representatives of the Long Point Region Conservation Authority may at any time enter onto the lands which are described herein in order to make any surveys, examinations or inspections which are required for the purpose of insuring that the work(s) authorized by this permit are being carried out according to the terms of this permit.
5. It is the responsibility of the permittee to ensure the development is located within the extent of the property boundaries owned by the proponent.
6. This permit is not assignable.
7. The project shall be carried out generally as per the plans submitted in support of the application as they may be amended by conditions of this permit.
8. This approval does not guarantee the soundness of the proposed work and it is the responsibility of the permittee to monitor and maintain the construction activity to ensure the integrity of the work.
9. The applicant agrees to maintain all existing drainage patterns.
10. Any activity or development other than that identified in this permit application must be reviewed by the LPRCA; at which time, staff will determine if additional approvals or an amended permit will be required.
11. Permits are valid for two years. No notice will be issued on expiration of the permit and it is the responsibility of the permittee to ensure a valid permit is in effect at the time work is occurring.



Long Point Region Conservation Authority

4 Elm Street, Tillsonburg, ON N4G 0C4

Tel: (519) 842-4242 Fax: (519) 842-7123

Email: planning@lprca.on.ca Website: www.lprca.on.ca

Permit Application – Schedule A

PROHIBITED ACTIVITIES, EXEMPTIONS AND PERMITS (O. Reg. 41/24)

Owner's Contact Information:	
Name: Bob and Nancy Stark	E-mail: starknancy7@gmail.com
Mailing Address: 158 Woodstock Ave	Postal Code: N0E 1M0
City/Town: Long Point	Primary Phone: 905-912-1166
Agent/Consultant/Contractor's Contact Information:	
Name: JEFF BINDER	E-mail: jeffbinder@sympatico.ca
Mailing Address: P.O. Box 246	Postal Code: N0T 1E0
City/Town: Courtland	Primary Phone: 519-688-9113
Location of Proposed Work:	
Municipal Address: 158 Woodstock Ave, Long Point	
Tax Assessment Roll Number: 543-060-29600-0000	
City/Town: Long Point	Township: Norfolk.
Lot: Lot 98	Concession/Plan: Plan 436

Proposed Work: (Check all appropriate boxes)

- ☐ Place, dump, remove fill
- ☐ Site grading
- ☐ Construct a new building or structure
- ☒ Alter or renovate an existing building or structure
- ☐ Construct or replace a septic system
- ☐ Construct erosion control or shoreline protection
- ☐ Construction of new, or replacement of an existing watercourse crossing
- ☐ Other: _____

Description of Proposed Works:

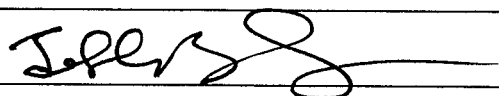
Please see provided plans.

Pre-consultation Completed: Yes ☒ No ☐

Proposed Start Date:	ASAP
Proposed Completion Date:	Oct 1 2024

Existing square footage:	973
Proposed square footage:	1287
Quantity of fill (m³) if applicable:	—

I understand that the information contained in this application form is accurate to the best of my knowledge, and that the staff of the Long Point Region Conservation Authority (LPRCA) will undertake a detailed inspection of the subject lands as part of the application process.

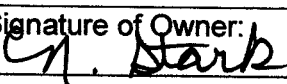

Signature of Owner:	Date:
Signature of Agent: 	Date: July 3/24

**Prohibited Activities, Exemptions and Permits
Ontario Regulation 41/24**

PROPERTY OWNER AUTHORIZATION

Subject Property:
Municipal Address: 158 Woodstock Ave, Long Point
Municipality: Norfolk
I/We: Bob + Nancy Stark.
Hereby Authorize: Jeff Binder

To submit the enclosed application to the Long Point Region Conservation Authority, to appear on my behalf at any hearing(s) of the application, and to provide any information or materials required by the Board relevant to the application for the purposes of obtaining permission to develop, interfere with a wetland, or alter a shoreline or watercourse in accordance with the requirements of Ontario Regulated 41/24 as amended.

Signature of Owner:  	Date: 6/19/24
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☒ Please copy the Owner on correspondence between the Conservation Authority and Agent.

APPLICATION FORM INSTRUCTIONS

- | | |
|-------------------------|---|
| Owner | The legal owner(s) of the property where the proposed development or alteration will be carried out |
| Agent | If the owner has assigned another party as an agent to act on the owner's behalf for the project, written authorization from the owner is required |
| Quantity of Fill | Approximate quantity expressed in cubic metres, cubic yards, trucks loads (12 yards) or tandem truck loads (18 yards) |
| Floor Area | For residential development, area of living space including full height basement and additional storeys, but not including attached garage, non-habitable crawl space, open breezeways, decks, or porches |

Roll #:		Date:	
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APPLICATION CHECKLIST

Submission: LPRCA permit applications along with supporting information may be submitted in person to our office, by email, or mail.

Pre-consultation: Please contact LPRCA staff regarding the requirements specific to your proposal. Also, please make sure your contractors and consultants contact LPRCA staff before completing detailed drawings or technical studies.

Complete application: A complete application package includes (check all applicable):

- ☐ 1. A plan of the area showing the property boundary, type and location of the proposed development activity, or a plan of the area showing the plan view and cross-section details of an activity to straighten, change, divert, or interfere with the existing channel of a river, creek, stream or watercourse, including a change or interference with a wetland.
- ☐ 2. The elevations of existing buildings, if any, as well as grades and the proposed elevations of any buildings and grades after the development activity or other activity.
- ☐ 3. The proposed use of any buildings and structures following completion of the development activity or a statement of the purpose of an activity to straighten, change, divert, or interfere with the existing channel of a river, creek, stream or watercourse, including changes or interference with a wetland.
- ☐ 4. A description of the methods to be used in carrying out an activity to straighten, change, divert, or interfere with the existing channel of a river, creek, stream, or watercourse, including changes or interference with a wetland.
- ☐ 5. Drainage details before and after the development activity or other activity.
- ☐ 6. A complete description of any type of fill proposed to be placed or dumped.
- ☐ 7. The start and completion dates of the development activity or other activity.
- ☐ 8. A confirmation of authorization for the proposed development activity or other activity given by the owner of the subject property, if the applicant is not the owner
- ☐ 9. Any other technical information, studies, or plans that the authority requests, including information requested during pre-submission consultations between the authority and the applicant.

Technical Reports: One or more of the following technical reports may be required (advised by LPRCA staff)

- ☐ 1. Design drawings and description of the design elements for flood-proofing measures, stamped and certified by a qualified professional engineer (for development in floodplains and flood hazard areas).
- ☐ 2. Slope stability study and erosion analysis, prepared by a qualified professional with expertise in geotechnical engineering, to determine the stable top-of-bank, the minimum development setback to address the potential erosion hazards, and associated foundation, construction, grading, and drainage recommendations, in accordance with the Provincial Technical Guidelines (for development in erosion hazard areas).
- ☐ 3. Geotechnical investigation, by a qualified professional geotechnical engineer, of site soil and groundwater conditions related to building foundation type and design requirements, in accordance with the *Ontario Building Code* to facilitate subsequent building permit (for development in area with organic soils).
- ☐ 4. Coastal engineering assessment prepared by a qualified professional with expertise in coastal engineering in accordance with LPRCA's Shoreline Management Plan and the Provincial Technical Guidelines addressing hydrodynamic forces affecting the design and indicating how the aggravation of erosion on neighbouring properties is avoided (for shoreline alterations).
- ☐ 5. Environmental Impact Study (EIS) clearly indicating that there will be no negative impact to the form or function of the wetland to the satisfaction of LPRCA (for development near wetlands).
- ☐ 6. Hydraulic analysis by a qualified professional with expertise in water resource engineering addressing flood conveyance, storage-discharge, and changes in flood levels on-site and on adjacent properties (for development in floodplains, watercourse alterations).
- ☐ 7. Complex and large-scale proposals may require additional technical studies and plans.

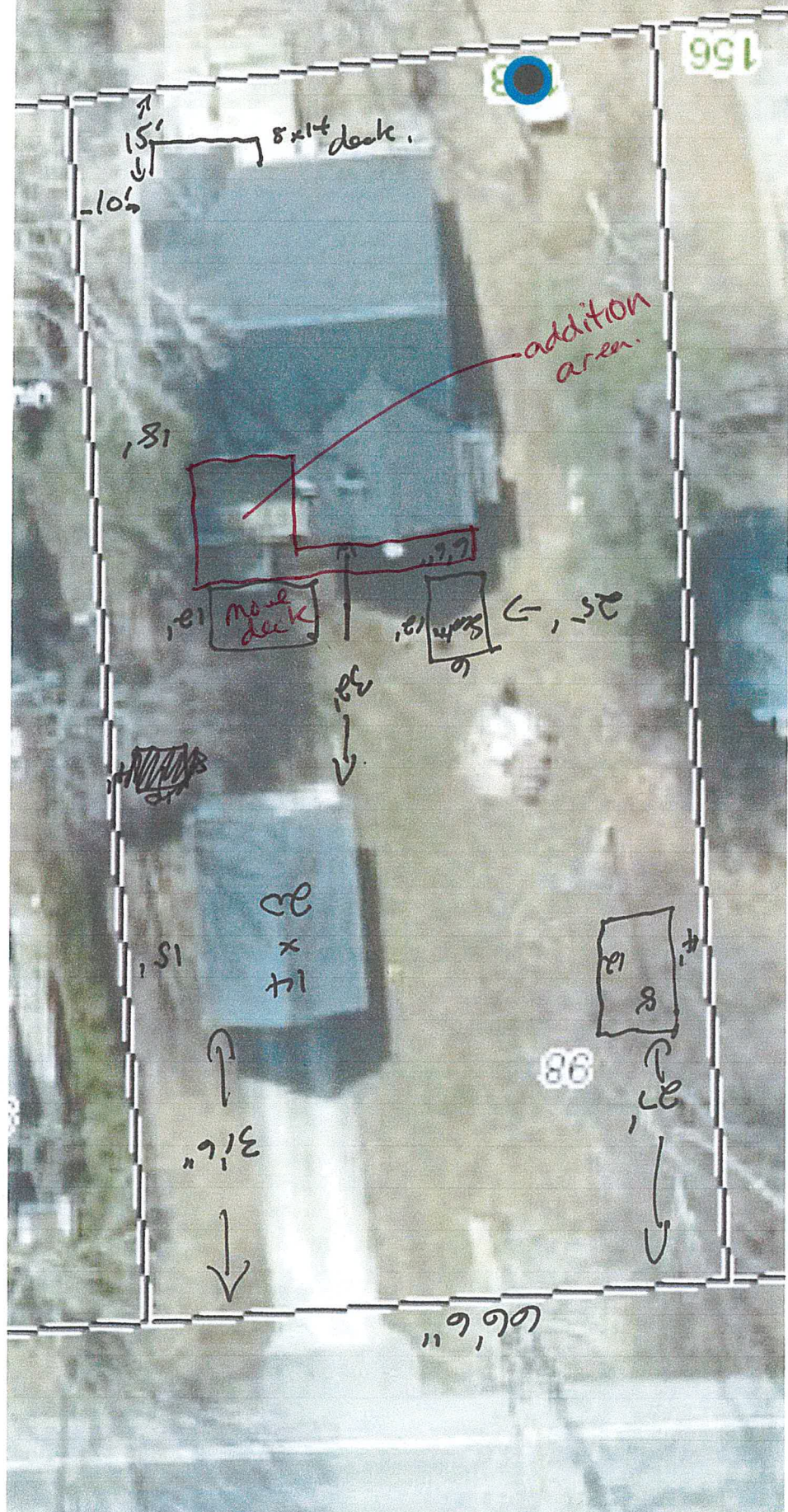
GENERAL CONDITIONS OF PERMIT

1. This permit does not absolve the permittee of the responsibility of obtaining necessary permission from applicable federal and provincial agencies or local municipalities.
2. The permittee agrees by acceptance of the permit:
 - a. To indemnify and save harmless, the Long Point Region Conservation Authority and its officers, employees, or agents from against all damage, injury, loss, costs, claims, demands, actions, and proceedings, arising out of or resulting from any act or omission of the permittee or of any of this agents, employees or contractors relating to any of the particular terms or conditions of this permit.
 - b. That this permit shall not release the permittee from any legal liability or obligation, and remains in force subject to all limitations, requirements, and liabilities imposed by law.
 - c. To provide certification of conformance to ensure compliance with the intent of the permit. This certification must be provided by an accredited professional and is to be submitted as may be specified in the permit.
3. Authorized representatives of the Long Point Region Conservation Authority will be granted entry at any time into lands which are the subject of this permit application in order to make such surveys, examinations, investigations, inspections, or other arrangements which such representatives deem necessary.
4. The project shall be carried out generally as per the plans submitted in support of the application as they may be amended by conditions of this permit.
5. Any activity or development other than that identified in this permit application must be reviewed by the LPRCA; at which time, staff will determine if additional approvals or an amended permit will be required.
6. The Long Point Region Conservation Authority may, with notice, cancel the permit or may change any of the conditions at any time if it is determined that the conditions of the permit have not been met.
7. Temporary sediment and erosion control measures shall be installed around any disturbed and/or exposed ground or excavated material stockpiles and remain in place until the site has been suitably stabilized, with regular monitoring to ensure effectiveness. Remedial/emergency measures must be taken at any sign of failure.
8. The applicant agrees to maintain all existing drainage patterns except as expressly identified in the permit.
9. It is the responsibility of the permittee to ensure the development is located within the extent of the property boundaries owned by the proponent.
10. This approval does not guarantee the soundness of the proposed work and it is the responsibility of the permittee to monitor and maintain the construction activity to ensure the integrity of the work.
11. The permit shall not be assigned (non-transferrable).
12. Permits are valid for the period of time indicated on the permit. No notice will be issued on expiration of the permit and it is the responsibility of the permittee to ensure a valid permit is in effect at the time of work occurring.
13. The Conservation Authority should be contacted within 48 hours prior to the commencement of construction.
14. The Long Point Region Conservation Authority may make copies of Schedule A, as required, for the purposed of assessing the proposal and, when approved, to form part of the permit issued.

NOTICE OF COLLECTION

Pursuant to section 29(2) of the Municipal Freedom of Information and Protection of Individual Privacy Act, 1989, the personal information contained on this form is collected under the legal authority of the Conservation Authorities Act, R.S.O. 1980, c85, as amended. This information is used to assess applications for and, where approved, issue comment. The name of the applicant, location of the work and a description of the project may be published in LPRCA documents, including agendas, reports and meeting minutes which are posted on the LPRCA website. Questions about the collection of personal information should be directed to the Freedom of Information Coordinator, Long Point Region Conservation Authority, 4 Elm Street, Tillsonburg, Ontario, N4G 0C4, (519) 842-4242.

158 Woodstock Ave, Long Point
Site Plan.



Schedule 1: Designer Information

Use one form for each individual who reviews and takes responsibility for design activities with respect to the project.

A. Project Information			
Building number, street name 158 Woodstock Avenue		Unit no.	Lot/con.
Municipality Long Point, Norfolk County	Postal code N0E-1M0	Plan number/ other description	
B. Individual who reviews and takes responsibility for design activities			
Name Warren Beselaere		Firm BCIN 33980	
Street address 82 Frank Street		Unit no.	Lot/con.
Municipality Tillsonburg	Postal code N4G-3M5	Province Ontario	E-mail barrasunsetdesigns@gmail.com
Telephone number (519)857-2345	Fax number	Cell number	
C. Design activities undertaken by individual identified in Section B. [Building Code Table 3.5.2.1. of Division C]			
<input checked="" type="checkbox"/> House <input type="checkbox"/> Small Buildings <input type="checkbox"/> Large Buildings <input type="checkbox"/> Complex Buildings		<input type="checkbox"/> HVAC – House <input type="checkbox"/> Building Services <input type="checkbox"/> Detection, Lighting and Power <input type="checkbox"/> Fire Protection	
		<input type="checkbox"/> Building Structural <input type="checkbox"/> Plumbing – House <input type="checkbox"/> Plumbing – All Buildings <input type="checkbox"/> On-site Sewage Systems	
Description of designer's work Design & documentation for new wood frame addition for Bob & Nancy Stark at 158 Woodstock Avenue in Long Point			
D. Declaration of Designer			
I, <u>Warren Beselaere</u> declare that (choose one as appropriate): (print name)			
I review and take responsibility for the design work on behalf of a firm registered under subsection 3.2.4. of Division C, of the Building Code. I am qualified, and the firm is registered, in the appropriate classes/categories.			
Individual BCIN: _____			
Firm BCIN: <u>33980</u>			
I review and take responsibility for the design and am qualified in the appropriate category as an "other designer" under subsection 3.2.5. of Division C, of the Building Code.			
Individual BCIN: _____			
Basis for exemption from registration: _____			
The design work is exempt from the registration and qualification requirements of the Building Code.			
Basis for exemption from registration and qualification: _____			
I certify that:			
1. The information contained in this schedule is true to the best of my knowledge.			
2. I have submitted this application with the knowledge and consent of the firm.			
<u>May 21/2024</u> Date		<u>W Beselaere</u> Signature of Designer	

NOTE:

- For the purposes of this form, "individual" means the "person" referred to in Clause 3.2.4.7(1) (c) of Division C, Article 3.2.5.1. of Division C, and all other persons who are exempt from qualification under Subsections 3.2.4. and 3.2.5. of Division C.
- Schedule 1 is not required to be completed by a holder of a license, temporary license, or a certificate of practice, issued by the Ontario Association of Architects. Schedule 1 is also not required to be completed by a holder of a license to practise, a limited license to practise, or a certificate of authorization, issued by the Association of Professional Engineers of Ontario.

WOODFRAME ADDITION
158 WOODSTOCK AVENUE
LONG POINT, ONTARIO
MAY 15 / 2024



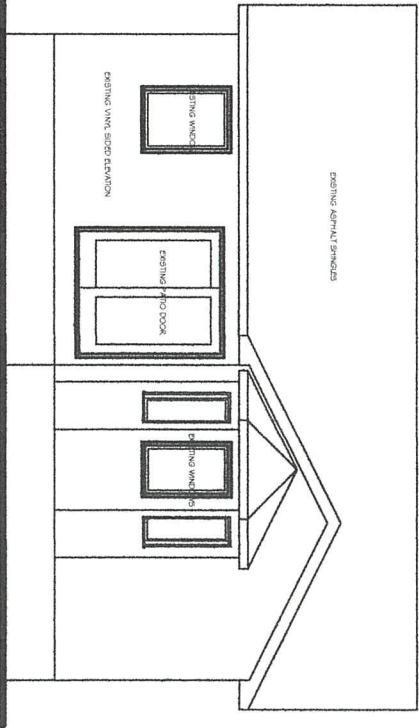
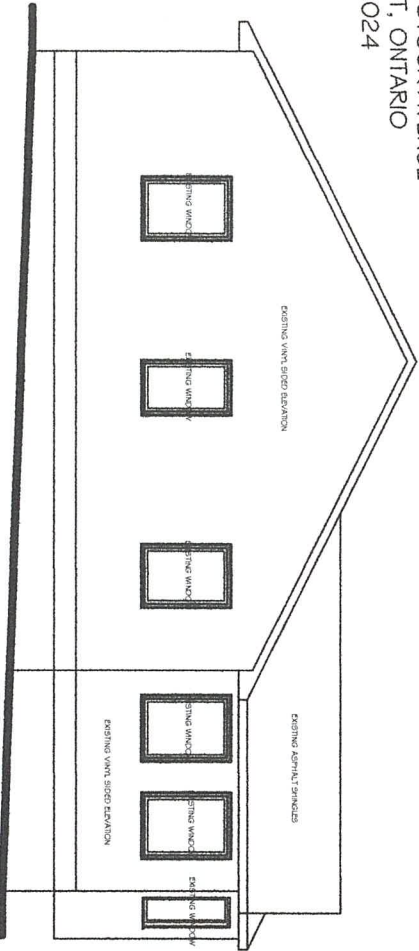
WARREN BESELAERE
BCIN 31005 INDIVIDUAL
BCIN 33980 FIRM
IF THIS STAMP IS NOT IN RED INK
THEN THESE DRAWINGS HAVE
BEEN DUPLICATED UNLAWFULLY

WOODFRAME ADDITION
158 WOODSTOCK AVENUE
LONG POINT, ONTARIO
MAY 15 / 2024

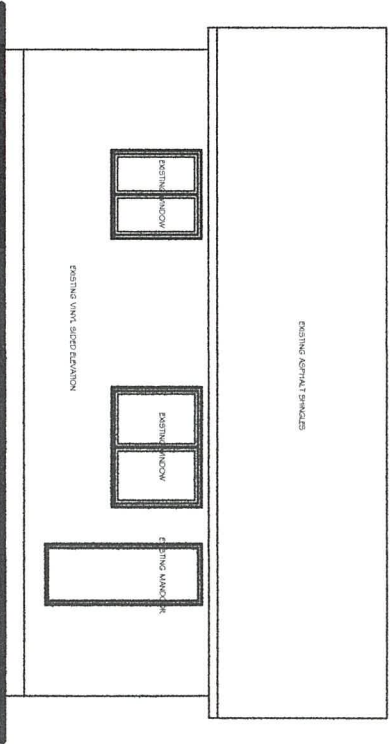
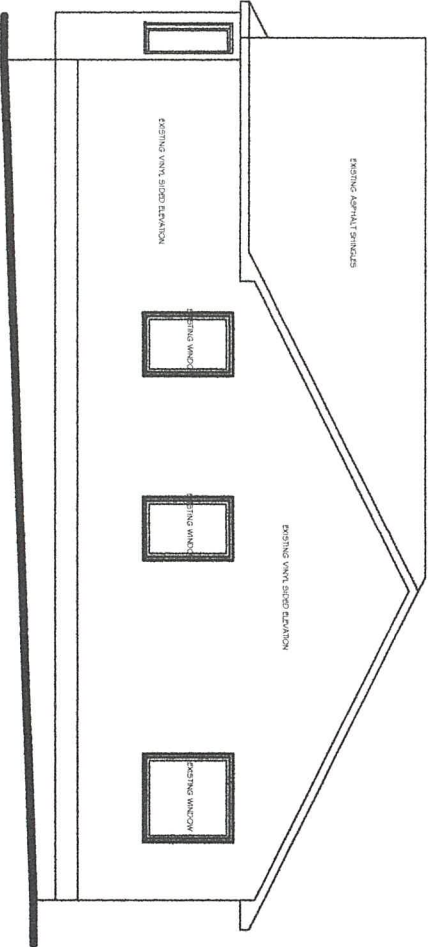


WARREN BESELAERE
BCIN 31005 INDIVIDUAL
BCIN 33980 FIRM
IF THIS STAMP IS NOT IN RED INK
THEN THESE DRAWINGS HAVE
BEEN DUPLICATED UNLAWFULLY

BOB & NANCY STARK
WOODFRAME ADDITION
158 WOODSTOCK AVENUE
LONG POINT, ONTARIO
MAY 15 / 2024



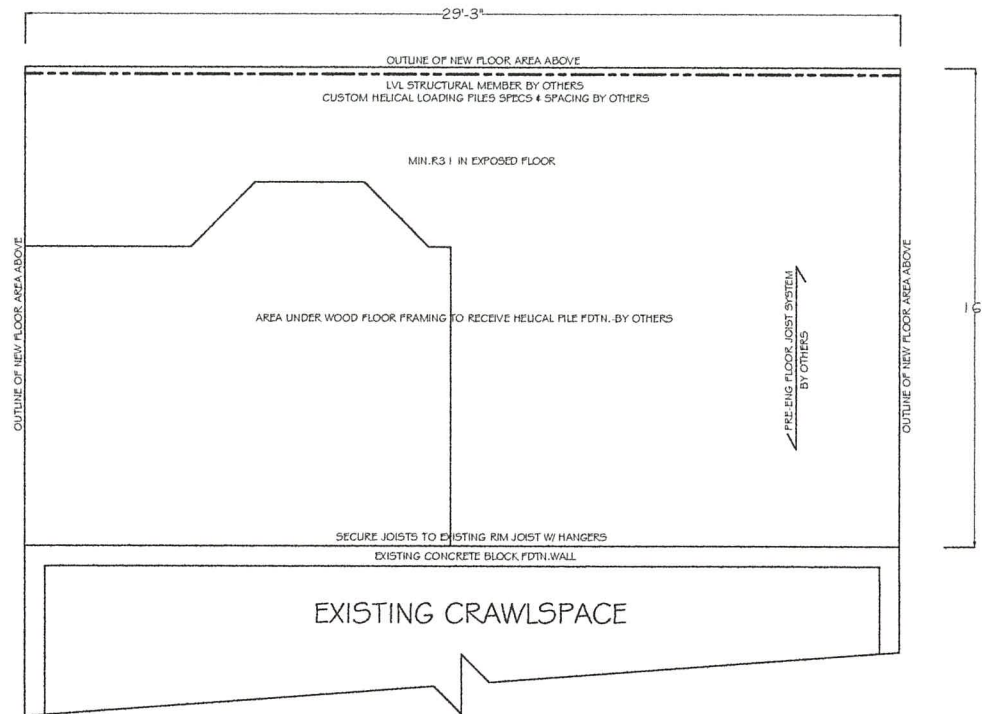
EXISTING ELEVATIONS
NOT TO SCALE



WARREN BESELAERE
ARCHITECT
BOB & NANCY STARK
158 WOODSTOCK AVENUE
LONG POINT, ONTARIO
MAY 15 / 2024
IF THIS STAFF IS NOT IN RED INK
THEN THESE DRAWINGS HAVE
BEEN DUPLICATED UNLAWFULLY

BOB & NANCY STARK

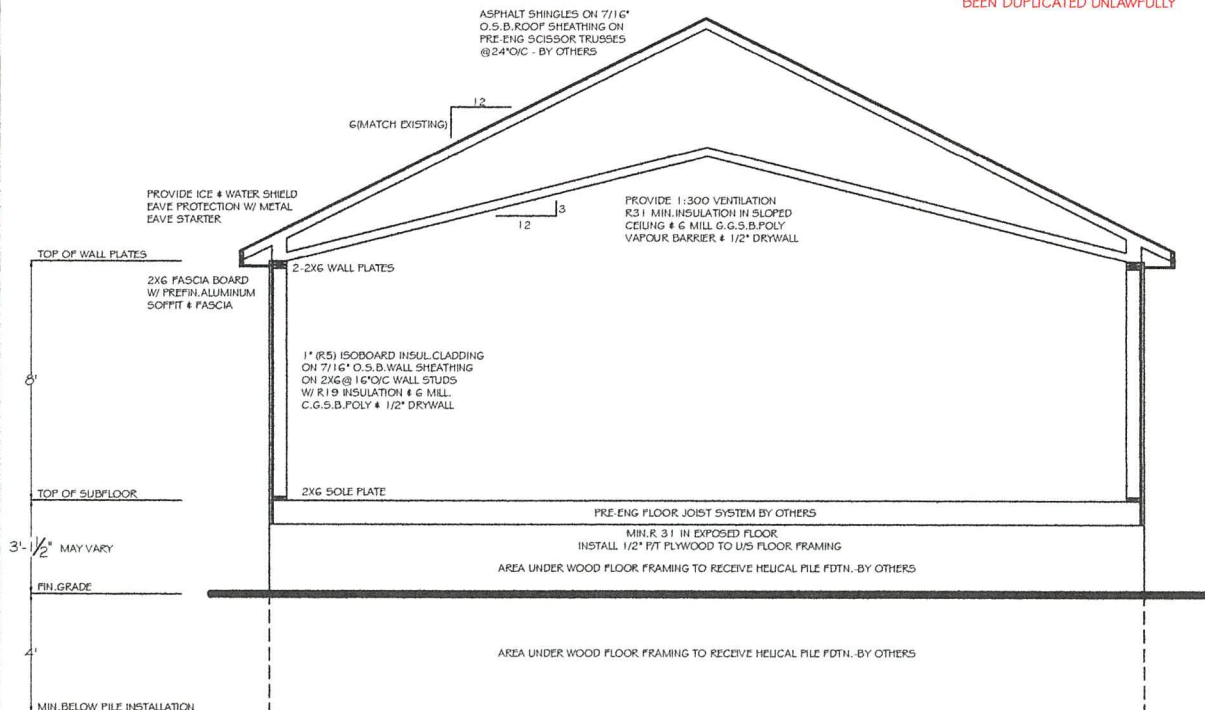
WOODFRAME ADDITION
158 WOODSTOCK AVENUE
LONG POINT, ONTARIO
MAY 15 / 2024



ADDITION FOUNDATION PLAN

NOT TO SCALE

WARREN BESELAERE
BCIN 31005 INDIVIDUAL
BCIN 33980 FIRM
IF THIS STAMP IS NOT IN RED INK
THEN THESE DRAWINGS HAVE
BEEN DUPLICATED UNLAWFULLY

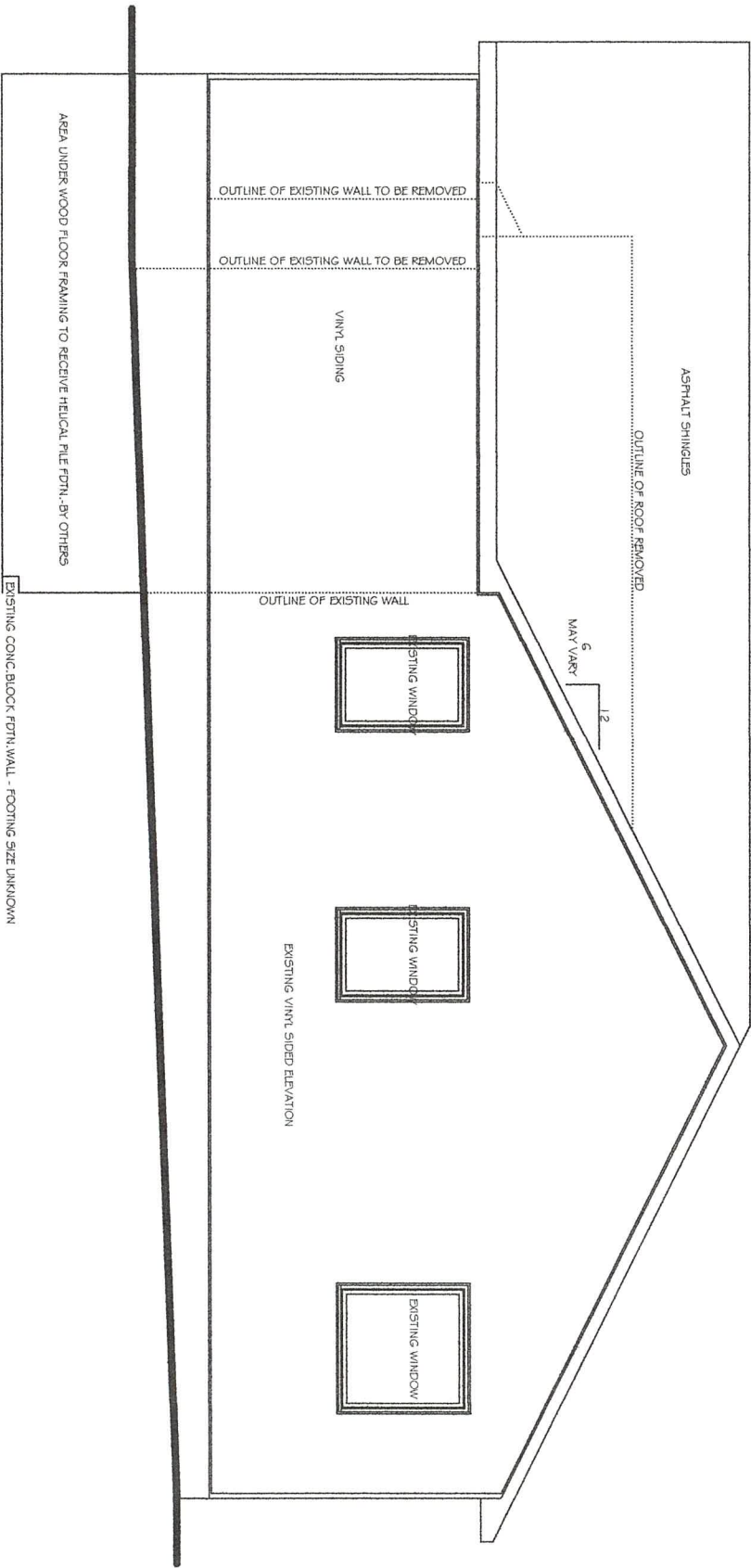


ADDITION CROSS SECTION

NOT TO SCALE

DO NOT SCALE DRAWINGS
CONTRACTOR TO CHECK & VERIFY
ALL DIMENSIONS - E40E

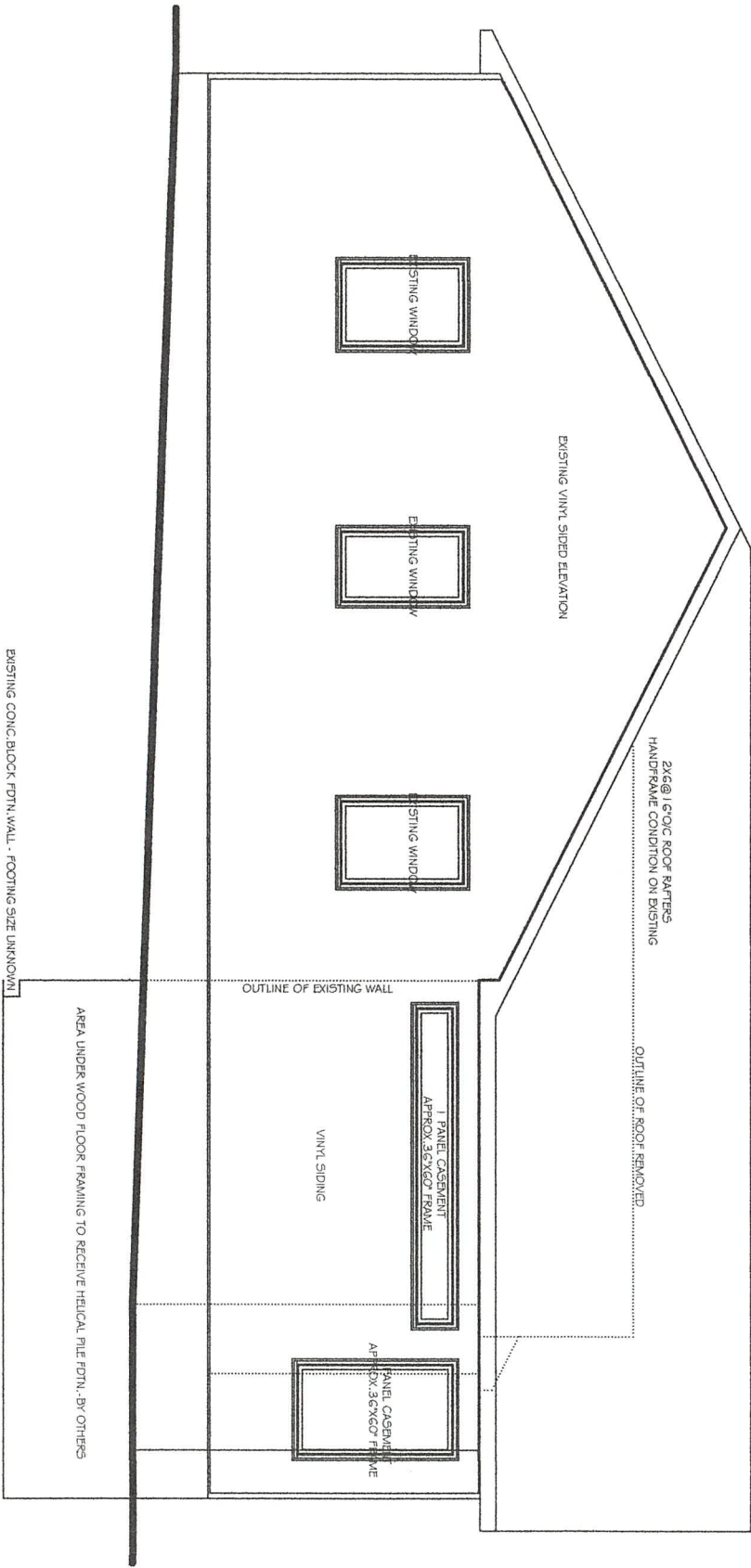
BOB & NANCY STARK
WOODFRAME ADDITION
158 WOODSTOCK AVENUE
LONG POINT, ONTARIO
MAY 15 / 2024



REVISED SIDE ELEVATION
NOT TO SCALE

WARREN BESELAERE
BCIN 31005 INDIVIDUAL
BCIN 33960 FIRM
IF THIS STAMP IS NOT IN RED INK
THEN THESE DRAWINGS HAVE
BEEN DUPLICATED UNLAWFULLY

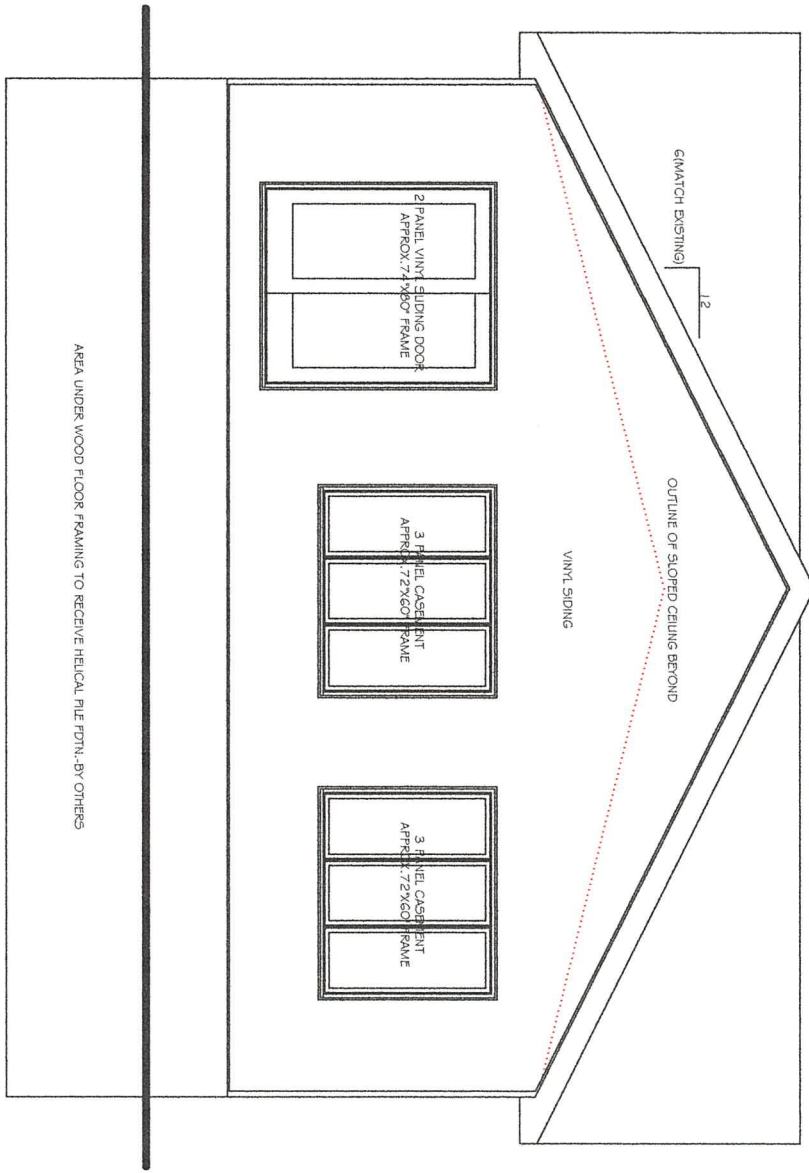
BOB & NANCY STARK
WOODFRAME ADDITION
158 WOODSTOCK AVENUE
LONG POINT, ONTARIO
MAY 15 / 2024



REVISED SIDE ELEVATION
NOT TO SCALE

WARREN BESELAERE
BCIN 31005 INDIVIDUAL
BCIN 33980 FIRM
IF THIS STAMP IS NOT IN RED INK
THEN THESE DRAWINGS HAVE
BEEN DUPLICATED UNLAWFULLY

BOB & NANCY STARK
WOODFRAME ADDITION
158 WOODSTOCK AVENUE
LONG POINT, ONTARIO
MAY 15 / 2024



REVISED REAR ELEVATION
NOT TO SCALE

WARREN BESLAERE
BCIN 31005 INDIVIDUAL
BCIN 33980 FIRM
IF THIS STAMP IS NOT IN RED INK
THEN THESE DRAWINGS HAVE
BEEN DUPLICATED UNLAWFULLY

DO NOT SCALE DRAWINGS
CONTRACTOR TO CHECK & VERIFY
ALL DIMENSIONS - F.O.E.

158 Woodstock Ave, Long Point

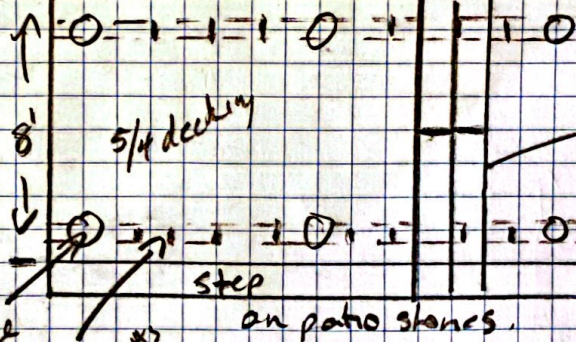
Front Deck

replace existing.

$\frac{1}{4}" = 1'$

* no railings
below 24"

16'



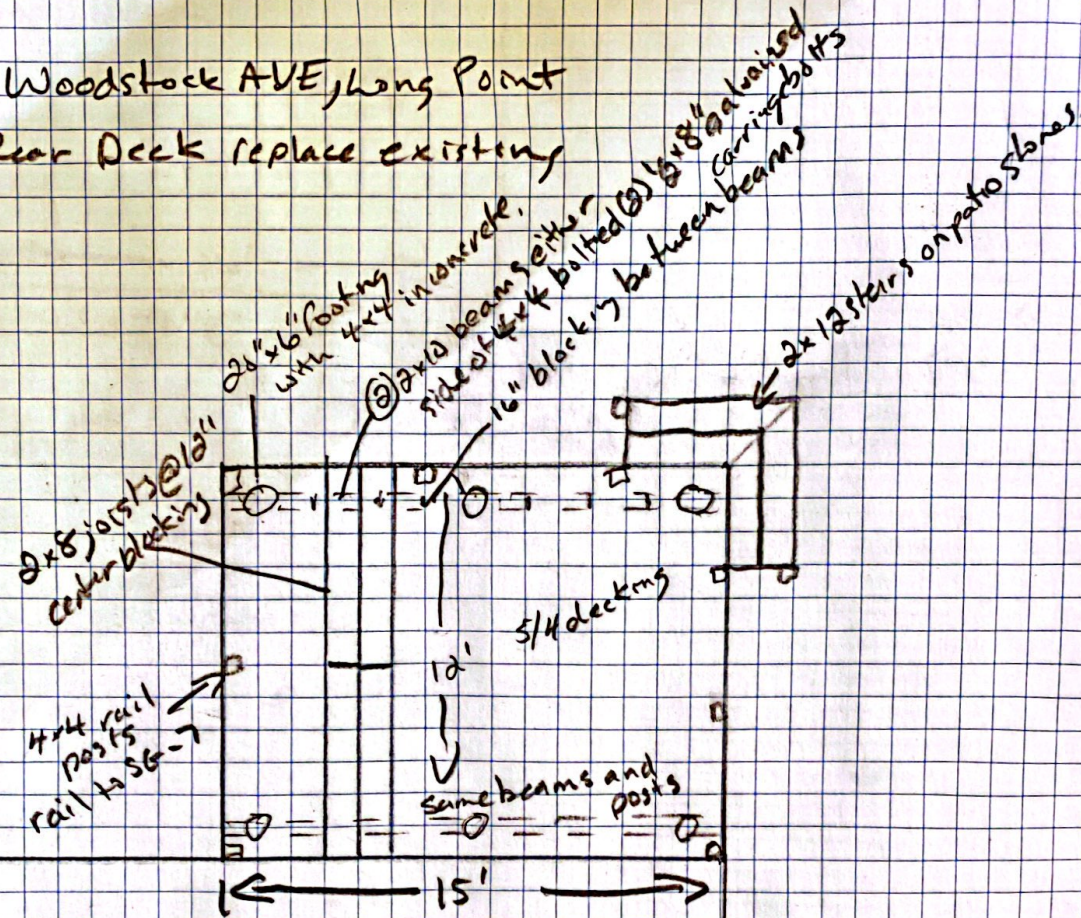
2x8 posts @ 12"
center bracing.

20" x 16" footing
with 4x4x concrete
2x10 beam, either
side of 4x4 with
(2) 1/2" x 8" galv. corrug. brkts
@ 16" O.C.

158 Woodstock AVE, Long Point

Rear Deck replace existing

$\frac{1}{4}" = 1'$





Techno Metal Post London
2958 Summerside Court
London, ON
N6M 1L2

May 30, 2024

Binder Built Group Ltd

Re: Permit application - Techno Metal Post
Project: One-Storey Addition 29'-3" x 16'-0" - Helical Pile Foundation System
158 Woodstock Avenue, Long Point (ON)
File: 24059-074a

To whom it may concern,

Following your request, we are pleased to provide you with our confirmation concerning the use of Techno Metal Post(s) as a foundation for the above mentioned project.

1.0 Techno Metal Post

We confirm that our Techno Metal Post(s) will be used to support your project and have been designed to properly support this type of project.

We have planned the use of our Techno Metal Post(s) in accordance to this table:

Model	Outside diameter		Wall thickness		Helix min. dia.	
P3	88.9 mm	3.500"	5.49 mm	0.216"	203 mm	8"
P2	60.3 mm	2.375"	3.91 mm	0.154"	152 mm	6"

You will find enclosed, a shop drawing of our Techno Metal Posts and a proposed Techno Metal Post layout.

2.0 Bearing Capacity

The bearing capacity of the Techno Metal Posts will be determined on site according to the torque required to screw the piles into the ground. The relation between torque and pile bearing capacity is based on load tests done in different types of soil, in accordance with the ASTM-D1143 and ASTM-D3689 (deep foundation) standards, as described in our CCMC report.

Thus, the Techno Metal Posts will be screwed in until the proper torque is obtained to ensure the following loads.

Model	Load *	SLS		ULS	
P3	Compression	55,2 kN	12 400 lb	77,2 kN	17 360 lb
P2	Compression	20,9 kN	4 700 lb	29,3 kN	6 580 lb

* Estimated load

3.0 Special Notes

3.1 Stairs

If there is a staircase leaning directly on the ground, three options are possible in order for the staircase to move freely during the freeze and thaw period. It is possible to install Techno Metal Post helical piles under the last step of the stairs, or to provide a system of moving joints (hinges), or not to connect, with a fixed joint, the stairs to the structure on piles.

3.2 Clearance

We recommend keeping a minimum clearance of 150 mm (6") between the structural elements (helical piles, wooden structures, steel frames, etc.) and the surface on the ground to prevent any risk of movement caused by the swelling or shrinking of the soil. Furthermore, special attention should be given to low areas (where water or snow can accumulate, water downspouts, etc.), and to areas where the ground is sloped in such a way that water / ice can accumulate under the structural elements.

3.3 Limitations

The design of the pile-based structure is not part of our mandate.

We are not responsible for the short-or-long-term stability of the existing foundation supporting part of the structure.

4.0 Standards Reference

The Techno Metal Posts are made of steel according to the ASTM A500 grade C and CAN/CSA-G40.21-13 (R2018) construction steel standards.

The Techno Metal Posts will be installed in accordance with the requirements of CCMC Evaluation Report 13059-R.

The load calculations are in accordance with the requirements of the OBC 2012.

5.0 CCMC 13059-R Evaluation Report

Since the 8th of April 2002, according to the evaluation report from the CCMC (Canadian Construction Material Centre), Techno Metal Post is the first helical foundation system in Canada accepted into the Canadian National Building Code (NBC).

You can consult the latest version of the CCMC 13059-R evaluation report directly on the CCMC website at

<https://nrc.canada.ca/en/certifications-evaluations-standards/canadian-construction-materials-centre/ccmc-publications/pdf.html?type=cert&id=427>

6.0 Conformity Report

If required by the client and/or municipality, after the installation, we will provide a conformity report signed and sealed by an engineer regarding the bearing capacity of the Techno Metal Posts. This report will be released upon payment.

7.0 Validity limitation

This permit application is only valid for Techno Metal Post helical piles and an installation by a certified representative of Techno Metal Post.

Therefore, any installation made by another company other than Techno Metal Post cancels the validity of this permit application.

Hoping you will find this document satisfactory. Please do not hesitate to contact us for additional information.

Sincerely yours,



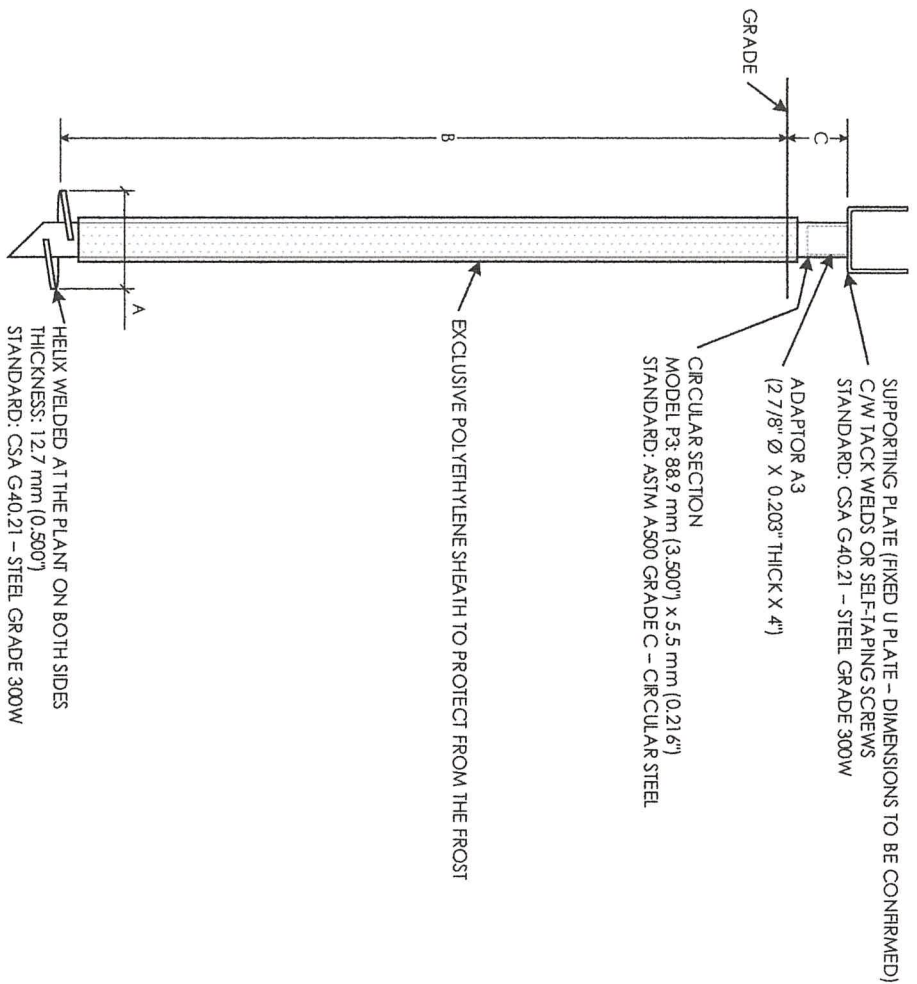
Raphaël VACHON, P.Eng.



2024-05-30

APPENDIX I

Shop Drawing
and
Techno Metal Post Layout



A = 203 mm (8") MIN. **B = 1.22 m (4') MIN.** **C = BETWEEN 152 mm (6") AND 610 mm (24")**

LOAD*	SLS		ULS	
COMPRESSION	55.2 kN	12 400 lb	77.2 kN	17 360 lb

* ESTIMATED LOAD

TechnoMetalPost

LONDON
2958 SUMMERSIDE COURT
LONDON, ON
N6M 1L2
P: 519 619-9477
FAX: 519-488-4757

CLIENT: BINDER BUILT GROUP LTD

NO. REV.:	DATE:	BY:

PROJECT: ONE-STOREY ADDITION 29'-3" X 16'-0"

158 WOODSTOCK AVENUE, LONG POINT (ON)

DRAWING NAME:

TECHNO METAL POST MODEL P3

DRAWN BY: K. JOHNSTON
VERIFIED BY: R. VACHON
APPROVED BY:



2024-05-30

FILE: 24059-074a	DRAWING NO: 001	SCALE: N/A
------------------	-----------------	------------

LONDON
2958 SUMMERSIDE COURT
LONDON, ON
N6M 1L2
P: 519 619-9477
FAX: 519-488-4757

CLIENT: BINDER BUILT GROUP LTD

NO. REV.:	DATE:	BY:

PROJECT: ONE-STOREY ADDITION 29'-3" X 16'-0"

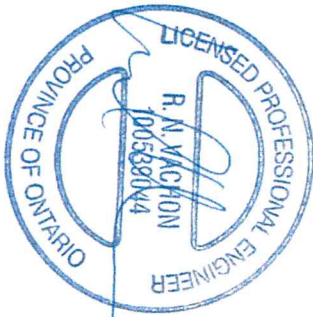
158 WOODSTOCK AVENUE, LONG POINT (ON)

DRAWING NAME:

TECHNO METAL POST MODEL P2

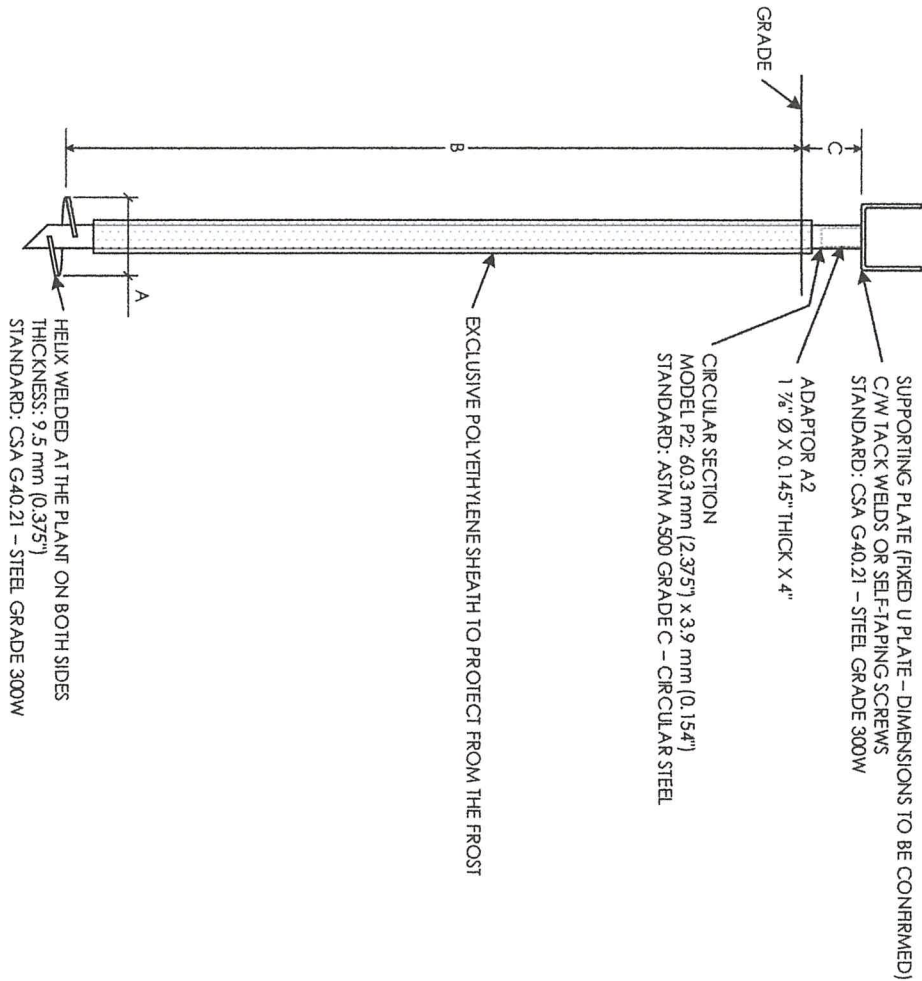
DRAWN BY: K. JOHNSTON VERIFIED BY: R. VACHON

APPROVED BY:



2024-05-30

FILE:	DRAWING NO:	SCALE:
24059-074a	002	N/A



A = 152 mm (6") MIN. B = 1.22 m (4') MIN. C = BETWEEN 152 mm (6") AND 610 mm (24")

LOAD*	SLS	ULS
COMPRESSION	20.9 kN 4 700 lb	29.3 kN 6 580 lb

* ESTIMATED LOAD

LONDON
2958 SUMMERSIDE COURT
LONDON, ON
N6M 1L2
P: 519 619-9477
FAX: 519-488-4757

CLIENT:

BINDER BUILT GROUP LTD

NO. REV.:	DATE:	BY:

PROJECT:

ONE-STOREY ADDITION 29'-3" X 16'-0"

158 WOODSTOCK AVENUE, LONG POINT (ON)

DRAWING NAME:

TECHNO METAL POST LAYOUT

DRAWN BY:

K. JOHNSTON

VERIFIED BY:

R. VACHON

APPROVED BY:



2024-05-30

FILE:

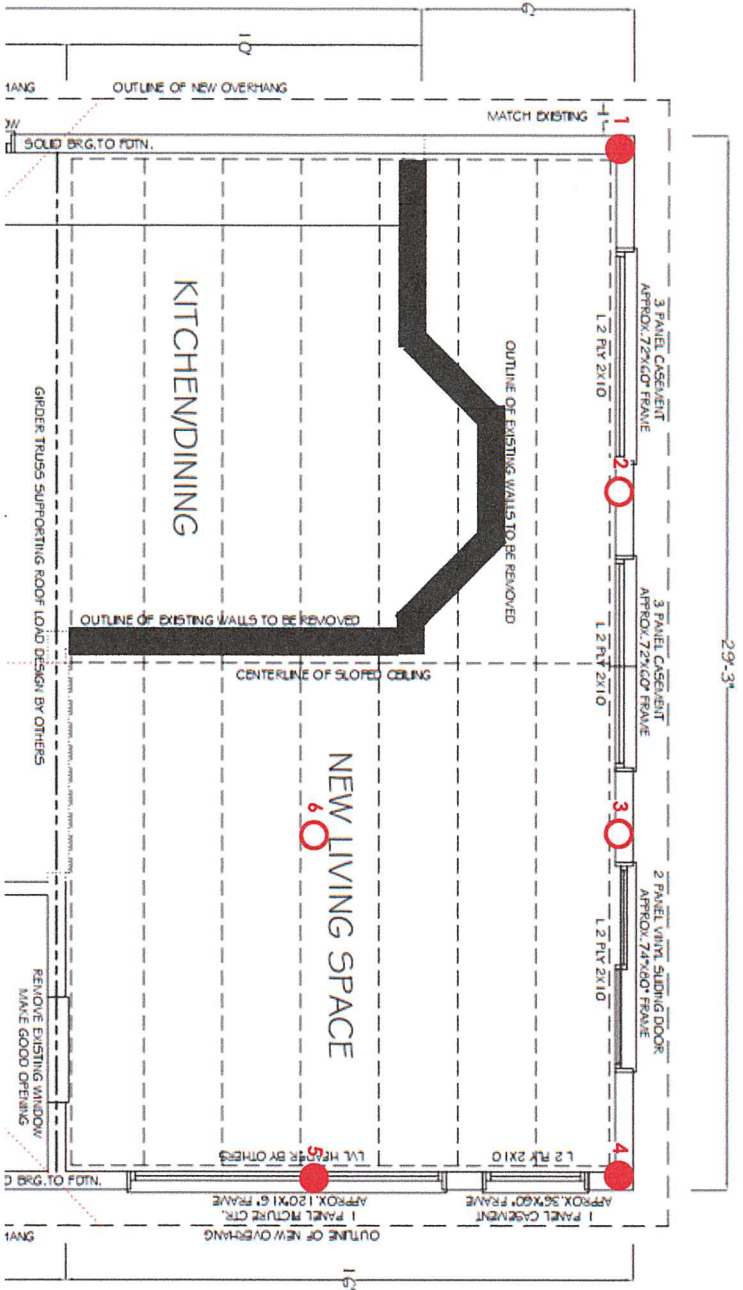
24059-0740

DRAWING NO:

003

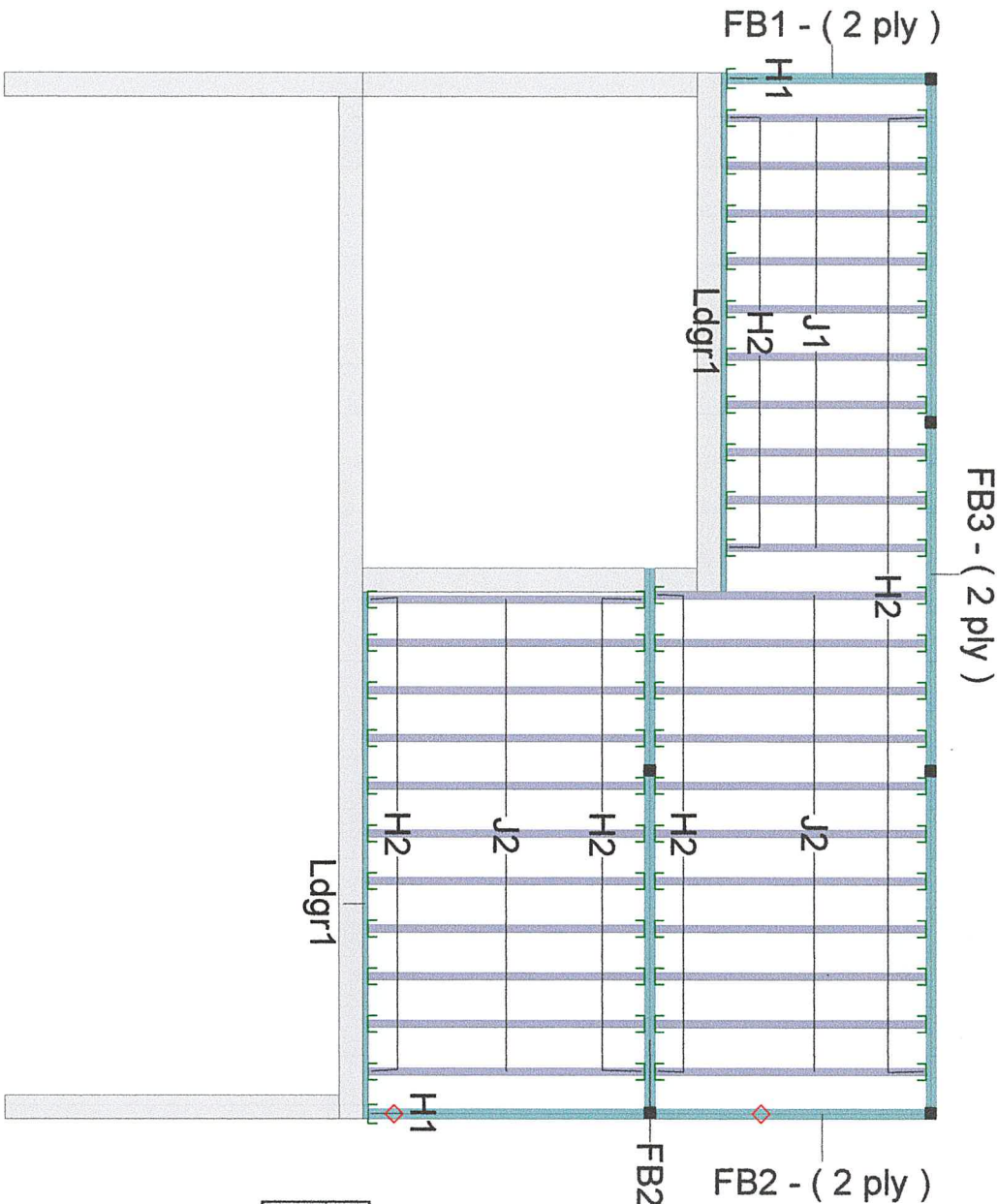
SCALE:

N/A



REF: EXTRACT OF PLAN REALIZED BY WARREN BESELAERE, BOB & NANCY SPARK, MAY 15/2024.

- TECHNO METAL POST MODEL P3 TO BE INSTALLED - SEE DRAWING 001
- TECHNO METAL POST MODEL P2 TO BE INSTALLED - SEE DRAWING 002
- EXISTING FOUNDATION/PILARS BY OTHERS



All specific joist installation methods **MUST** be followed for construction of this floor system. They can be found in the attached Joist installation guide.

Load from Above

Wall

PJ1-40 9.5

West Fraser 2.0 LVL 1.75 X 9.5

CrawlSpace RCP					
Label	Description	Width	Depth	Qty	Pcs Length
FB3	West Fraser 2.0 LVL	1.75	9.5	1	2 30-0-0
FB2	West Fraser 2.0 LVL	1.75	9.5	2	4 16-0-0
FB1	West Fraser 2.0 LVL	1.75	9.5	1	2 6-0-0
Ldgr1	West Fraser 2.0 LVL	1.75	9.5		2 16-0-0
Joist					
Label	Description	Width	Depth	Qty	Pcs Length
J2	PJ1-40	2.5	9.5		22 8-0-0
J1	PJ1-40	2.5	9.5		10 6-0-0
Hanger					
Label	Pcs	Description	fasteners	fasteners	
H1	2	HD410F (Min)	14 10dX1 1/2	6 10d	
H2	64	TH125S5	6 10d	2 10dX1 1/2	

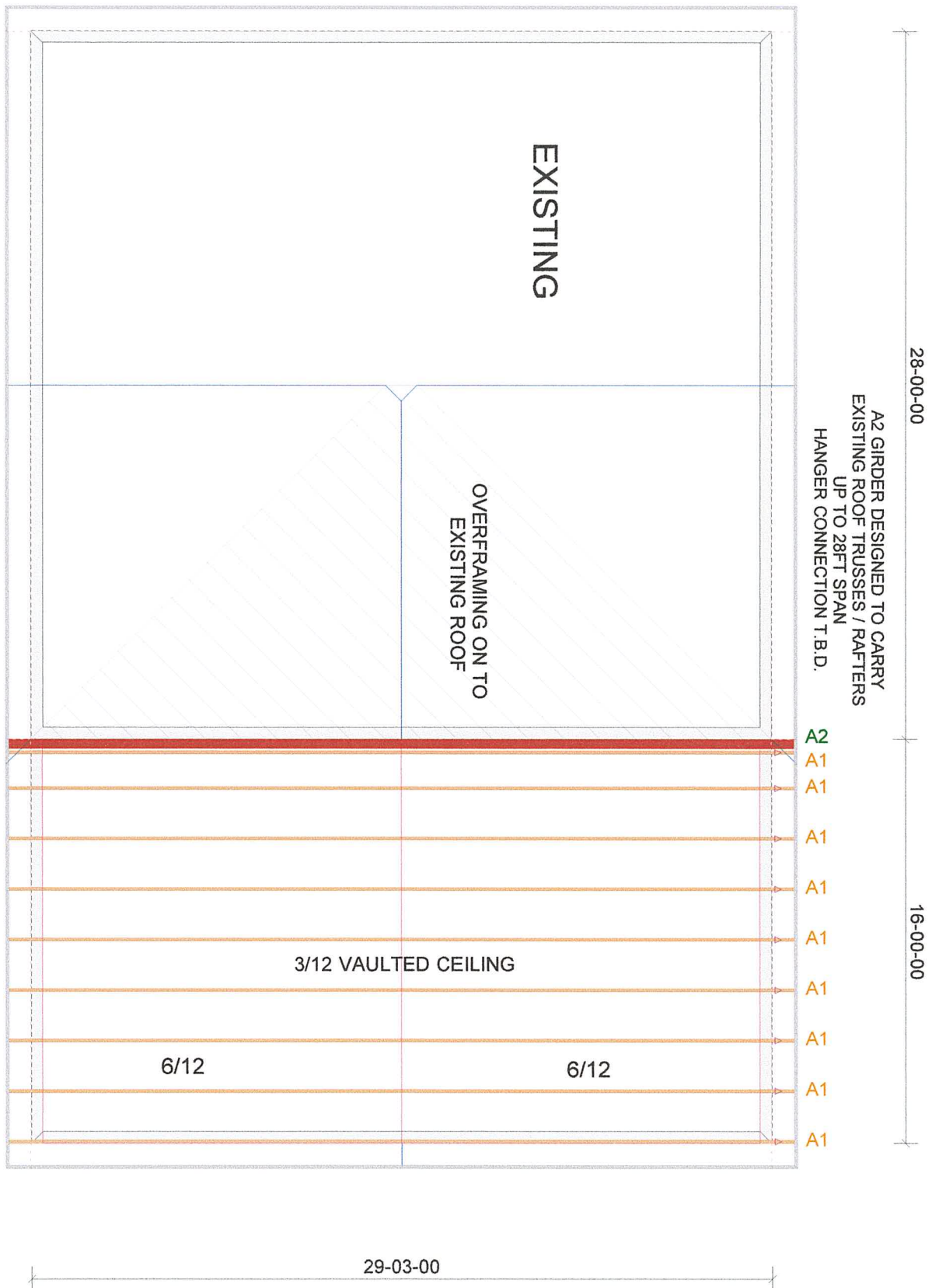


Layout Name	
Bob and Nancy Stark addition	
Project	
200556	
Shipping	
153 Woodstock Avenue, Long Point, ON	
Created	
June 07, 2004	
Designer	
Nick Kerkhuff	
CrawlSpace RCP	
LSO (Canada)	
Design Method	
NBC 2015	
Building Code	
OSBC 2015/2020 (Upstairs)	

Floor	
Live	
Dead	
Deflection Joist	
LL Span L /	
TL Span L /	
Deflection Flush Girder	
LL Span L /	
TL Span L /	
Deflection Dropped Girder	
LL Span L /	
TL Span L /	
Deflection Header	
LL Span L /	
TL Span L /	
Decking	
SFR Plywood	
Thickness	
3/4"	
Fastener	
Nailed & Glued	

All joists are designed to have 3" of bearing on each side of the rough stud girders added on the plan. Good and dimensional lumber beams or headers indicated on the plan are for supplied and specified by others. All rebar and require solid blocking in behind where bidders are to be attached.

Customer approval Signature:



Job Number: Q2400653

Job Name: Bob and Nancy Stark Addition

Site Address: 158 Woodstock Avenue

City, Pr: Long Point, ON

Customer: SBC

Sales Rep: John Schultz

Designer: Dave Mills

Date: 6/4/2024

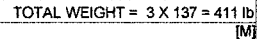


JOB NAME	TRUSS NAME	QUANTITY	PLY	JOB DESC.	DRWG NO.
Q2400653	A1	9	1	TRUSS DESC.	
Springfield Building Components, Springfield					
Version 8.630 S Jan 12 2023 MiTek Industries, Inc. Tue Jun 4 09:38:48 2024 Page 2					
ID:zfJgRvQgTygxYGzmstZ5_fzA31J-RXJDfhyC4G061jfUtds9kaRoQ9vRpNz0HldBEez9jAL					
JSI GRIP= 0.89 (M) (INPUT = 0.90) JSI METAL= 0.63 (Q) (INPUT = 1.00)					

A geological cross-section diagram showing stratigraphic layers. The layers are labeled with numbers and names. The layers from top to bottom are:

- 10-8 0-0
- 10-6 5-0-3
- 5-0-3
- 49-11
- 9-4-13
- 49-11
- 14-7-8
- 49-11
- 19-5-3
- 49-11
- 24-2-13
- 5-0-3
- 29-3-0
- 30-1-8

A scale bar at the bottom right indicates a length of 150 feet.

[illegible]

CONTINUED ON PAGE 2

JOB NAME	TRUSS NAME	QUANTITY	PLY	JOB DESC.	Bob and Nancy Stark Addition	DRWG NO.
Q2400653	A2	1	3	TRUSS DESC.		

Springfield Building Components, Springfield

Version 8.630 S Jan 12 2023 MiTek Industries, Inc. Tue Jun 4 09:38:48 2024 Page 2

ID:zfJgRvQgTygxYGzmstZ5_fzA31J-RXJDfhyC4G061jfUtds9kaRnM9s6pMa0HldBEez9jAL

PLATES (table is in inches)

JT	TYPE	PLATES	W	LEN	Y	X
B	TMBMW1-l	MT20	7.0	8.0	2.75	
C	TMWW-l	MT20	4.0	5.0	2.00	2.00
D	TS-l	MT20	3.0	8.0		
E	TMWW+t	MT20	4.0	5.0	1.75	2.00
F	TTW+p	MT20	5.0	8.0	Edge	
G	TMWW+t	MT20	4.0	5.0	1.75	2.00
H	TS-l	MT20	3.0	8.0		
I	TMWW-l	MT20	4.0	5.0	2.00	2.00
J	TMBMW1-l	MT20	7.0	8.0	2.75	1.50
L	BMWW+t	MT20	4.0	7.0	4.00	1.25
M	BS-l	MT20	5.0	6.0		
N	BMWW+t	MT20	6.0	8.0		
O	BMWW+t	MT20	4.0	7.0	4.00	1.25

Edge - INDICATES REFERENCE CORNER OF PLATE TOUCHES EDGE OF CHORD.

NAIL VALUES
PLATE GRIP(DRY) SHEAR SECTION
(PSI) (PLI) (PLI)
MAX MIN MAX MIN MAX MIN
MT20 650 371 1747 788 1987 1873

PLATE PLACEMENT TOL. = 0.250 inches

PLATE ROTATION TOL. = 5.0 Deg.


JSI GRIP= 0.89 (C) (INPUT = 0.90)
JSI METAL= 0.76 (B) (INPUT = 1.00)

MAP A
CONTEXT MAP
Geographic Township of SOUTH WALSINGHAM

ANPL2024416

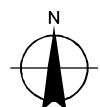


Legend

 Subject Lands

2020 Air Photo

1/28/2025



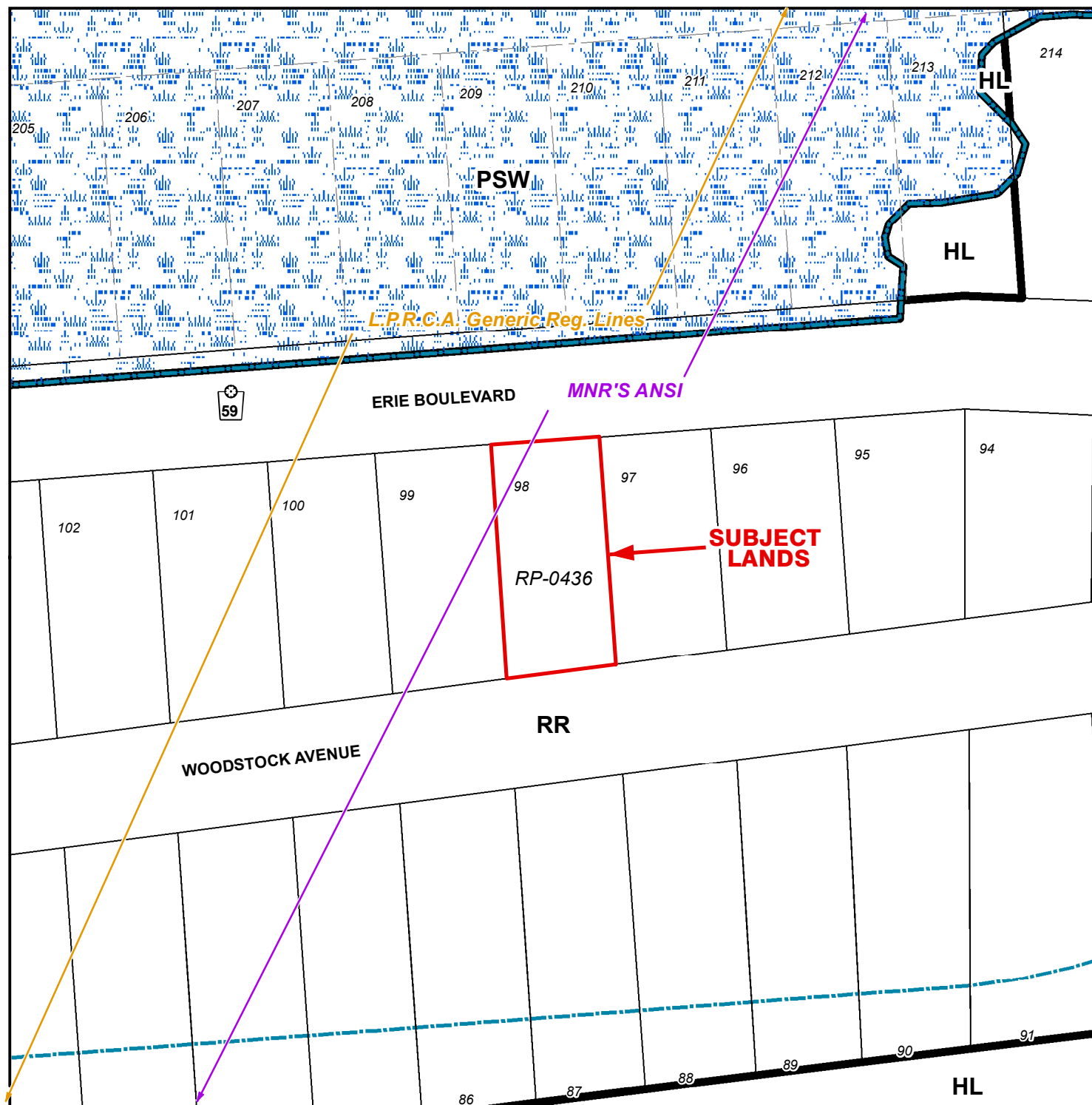
10 5 0 10 20 30 40
Meters

MAP B

ZONING BY-LAW MAP

Geographic Township of SOUTH WALSINGHAM

ANPL2024416



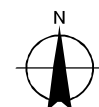
LEGEND

- Subject Lands
- Adjacent Lands
- Wetland
- MNR ANSI
- LPRCA Generic RegLines

ZONING BY-LAW 1-Z-2014

1/28/2025

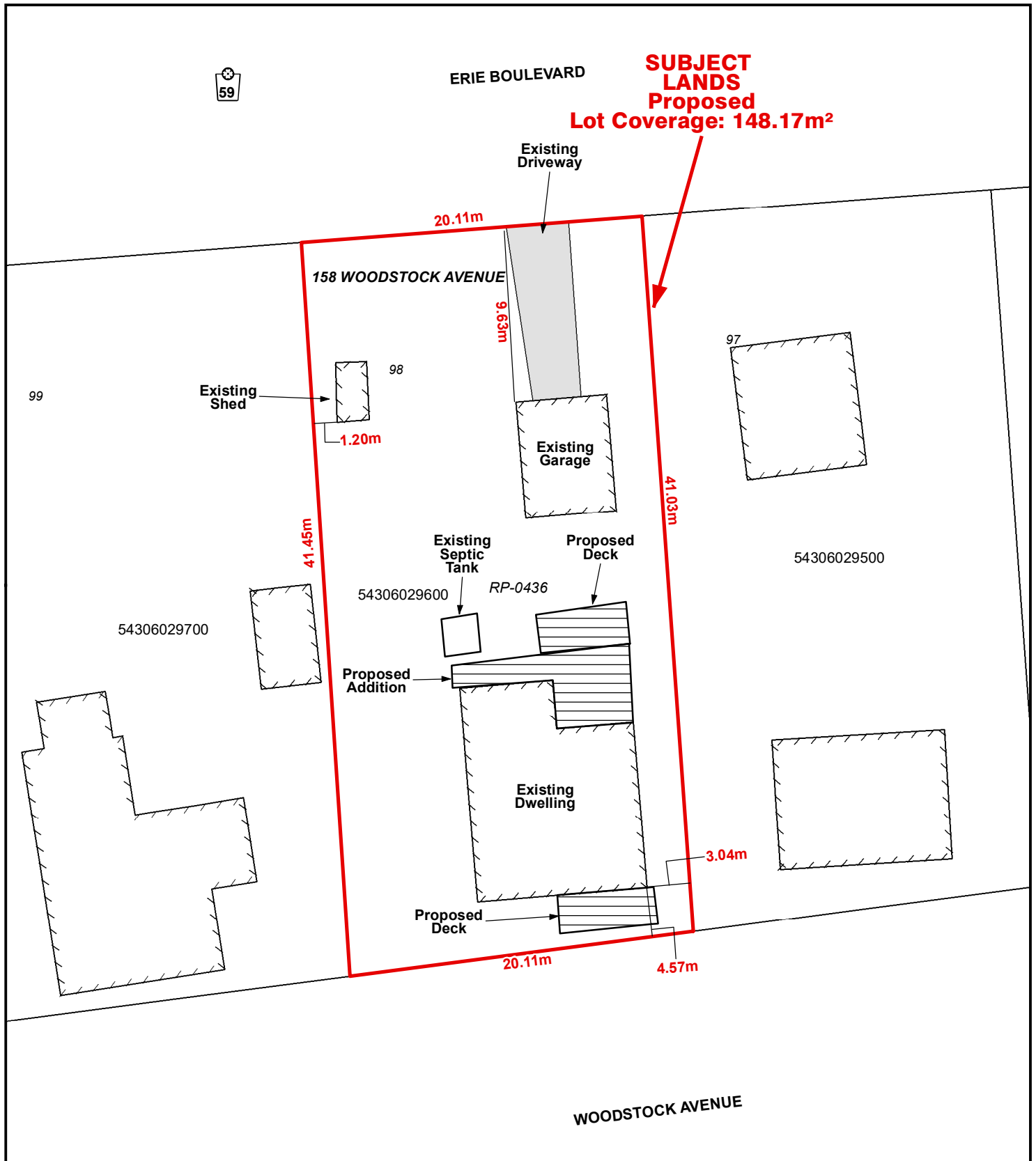
- (H) - Holding
- HL - Hazard Land Zone
- PSW - Provincially Significant Wetland Zone
- RR - Resort Residential Zone



7.53.75 0 7.5 15 22.5 30 Meters

CONCEPTUAL PLAN

Geographic Township of SOUTH WALSINGHAM



Legend

Subject Lands

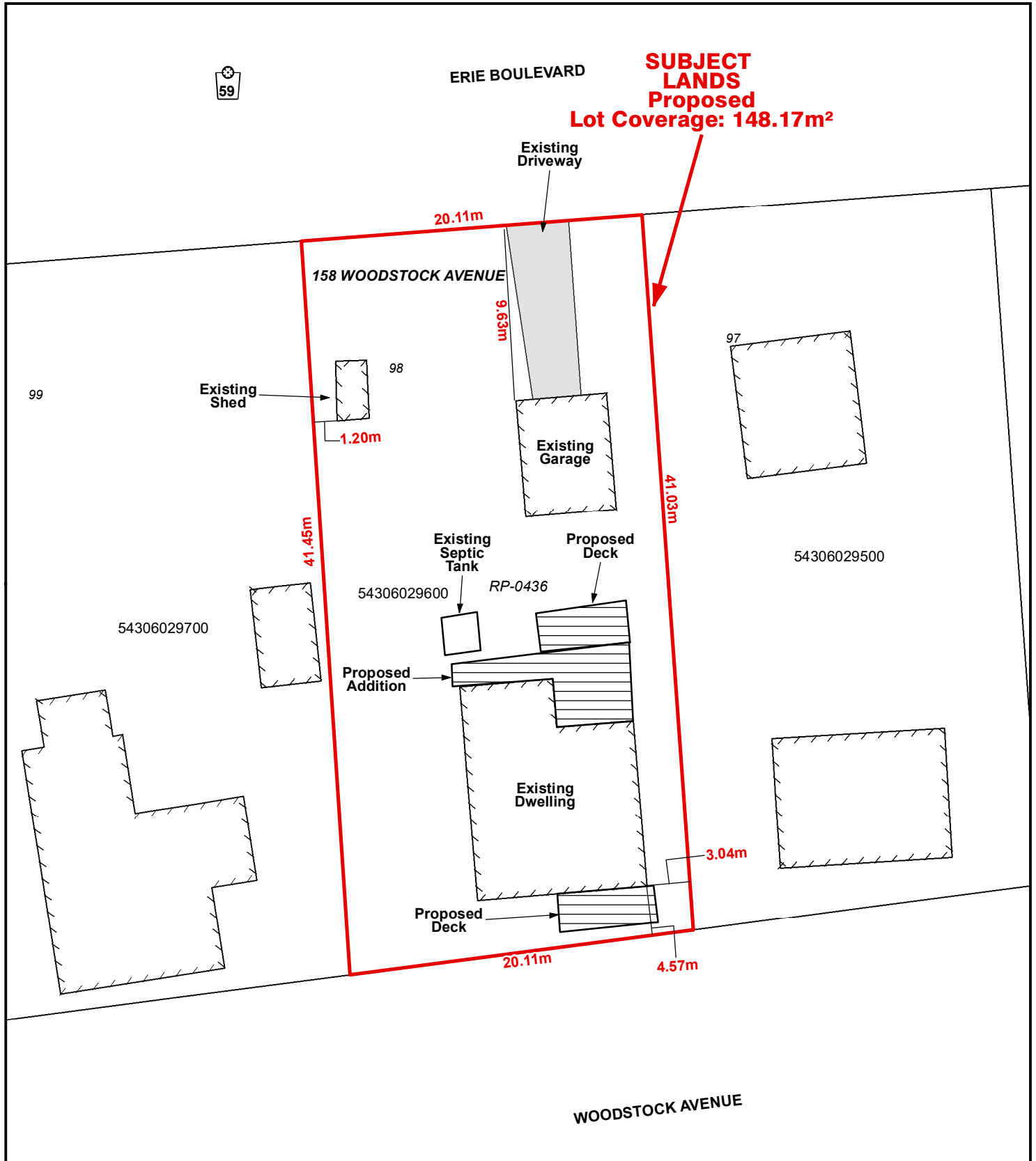
1/28/2025



2.5 1.25 0 2.5 5 7.5 10 Meters

CONCEPTUAL PLAN

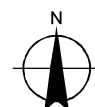
Geographic Township of SOUTH WALSINGHAM



Legend

Subject Lands

1/28/2025



2.5 1.25 0 2.5 5 7.5 10 Meters