

Committee of Adjustment Application to Planning Department

Complete Application

A complete Committee of Adjustment application consists of the following:

1. A properly completed and signed application form (signature must on original version);
2. Supporting information adequate to illustrate your proposal as listed in **Section H** of this application form (plans are required in paper copy and digital PDF format);
3. Written authorization from all registered owners of the subject lands where the applicant is not the owner as per Section N; and,
4. Cash, debit or cheque payable to Norfolk County in the amount set out in the Norfolk County User Fees By-Law.
5. The completed application and fees are to be mailed to the attention of **Secretary Treasurer – Committee of Adjustment**: 185 Robinson Street, Suite 200, Simcoe, ON N3Y 5L6 or email your application committee.of.adjustment@norfolkcounty.ca. Make sure submissions are clearly labelled including address, name, and application type. Failure to do so may impact the timing of your application.

The above listed items are required to ensure that your application is given full consideration. An incomplete or improperly prepared application will not be accepted and may result in delays during the processing of the application. This application must be typed or printed in ink and completed in full.

Please review all of the important information summarised below.

Before your Application is Submitted

A pre-consultation meeting is not usually required for Committee of Adjustment applications; however, discussion with Planning Department staff prior to the submission of an application is **strongly encouraged**. The purpose of communicating with a planner **before** you submit your application is: to review your proposal / application, to discuss potential issues; and to determine the required supporting information and materials to be submitted with your application before it can be considered complete by staff. You might find it helpful to retain the services of an independent professional (such as a registered professional planner) to help you with your application. Information about the Official Plan and Zoning By-law can be found on the County website: www.norfolkcounty.ca/planning

After Your Application is Submitted

Once your payment has been received and the application submitted, in order for your application to be deemed complete all of the components noted above are required.

Incomplete applications will be identified and returned to the applicant. The *Planning Act* permits up to 30 days to review and deem an application complete.

Once your application has been deemed complete by the Planning Department, it is then circulated to public agencies and County departments for review and comment. A sign is also provided that is required to be posted on the subject lands that summarizes the application and identifies the committee meeting date. The comments received from members of the community will be included in the planning report and will inform any recommendations in relation to the application.

If the subject lands are located in an area that is regulated by either the Long Point Region Conservation Authority or by the Grand River Conservation Authority an additional fee will be required if review by the applicable agency is deemed necessary. A separate cheque payable to the Long Point Region Conservation Authority or the Grand River Conservation Authority is required in accordance with their fee schedule at the same time your application is submitted.

Additional studies required as part of the complete application shall be at the sole expense of the applicant. In some instances peer reviews may be necessary to review particular studies and that the cost shall be at the expense of the applicant. The company to complete the peer review shall be selected by the County.

If the application is withdrawn prior to the circulation to commenting agencies, the entire original fee will be refunded. If withdrawn after the circulation to agencies, half the original fee will be refunded. No refund is available after the public meeting and/or approval of application.

Notification Sign Requirements

Planning Department staff may post a notification sign on your property in advance of the public meeting on your behalf. Please keep this sign posted until you have received a notice in the mail indicating that the Secretary Treasurer received no appeals. However, it is the applicant's responsibility to ensure that the sign is correctly posted within the statutory timeframes, according to the *Planning Act*. Failure to post a sign in advance of the public meeting in accordance with statutory requirements will impact the timing of your application at the Committee of Adjustment meeting. Applicants are responsible for removal of the sign following the appeal period. The signs are recyclable and can be placed in your blue box.

Contact Us

For additional information or assistance in completing this application, please contact a planner at 519-426-5870 ext. 1842 or Committee.of.Adjustment@NorfolkCounty.ca

For Office Use Only:

File Number	_____	Application Fee	_____
Related File Number	_____	Conservation Authority Fee	_____
Pre-consultation Meeting	_____	Well & Septic Info Provided	_____
Application Submitted	_____	Planner	_____
Complete Application	_____	Public Notice Sign	_____

Check the type of planning application(s) you are submitting.

- ☐ Consent/Severance/Boundary Adjustment
- ☐ Surplus Farm Dwelling Severance and Zoning By-law Amendment
- ☒ Minor Variance
- ☐ Easement/Right-of-Way

Property Assessment Roll Number: 3310334010093000000

A. Applicant Information

Name of Owner Angele & Kaveh Nateghi

It is the responsibility of the owner or applicant to notify the planner of any changes in ownership within 30 days of such a change.

Address 409 Nelson Street West

Town and Postal Code Port Dover, ON N0A 1N0

Phone Number _____

Cell Number 226-567-4601

Email kaveh.nateghi@gmail.com

Name of Applicant Drew Fallowfield of 2478153 Ontario Inc. o/a Girard Engineering

Address 682 Peel Street

Town and Postal Code Woodstock, ON N4S 1L3

Phone Number 519-879-6875

Cell Number _____

Email dfallowfield@girardengineering.ca

Name of Agent Same as Applicant
Address _____
Town and Postal Code _____
Phone Number _____
Cell Number _____
Email _____

Please specify to whom all communications should be sent. Unless otherwise directed, all correspondence and notices in respect of this application will be forwarded to the owner and agent noted above.

☐ Owner ☐ Agent ☒ Applicant

Names and addresses of any holder of any mortgagees, charges or other encumbrances on the subject lands:

Scotiabank 54 Norfolk St N, Simcoe, ON, N3Y 3N7

B. Location, Legal Description and Property Information

1. Legal Description (include Geographic Township, Concession Number, Lot Number, Block Number and Urban Area or Hamlet):

PDOV PLAN 187 LOT 13 PT LOTS 14 15 16 PT BLK A PT BLK B CON 1 PT LOT 10

Municipal Civic Address: 409 Nelson Street West, Port Dover, ON N0A 1N0

Present Official Plan Designation(s): Urban Residential & Hazard Land

Present Zoning: R1-A & HL

2. Is there a special provision or site specific zone on the subject lands?

☐ Yes ☒ No If yes, please specify:

3. Present use of the subject lands:

Single Family Residence

Name of Agent Same as Applicant

Address

Town and Postal Code

Phone Number

Cell Number

Email

Please specify to whom all communications should be sent. Unless otherwise directed, all correspondence and notices in respect of this application will be forwarded to the owner and agent noted above.

☒ Owner ☒ Agent ☒ Applicant

Names and addresses of any holder of any mortgagees, charges or other encumbrances on the subject lands:

B. Location, Legal Description and Property Information

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Municipal Civic Address: 409 Nelson Street West, Port Dover, ON N0A 1N0

Present Official Plan Designation(s): Urban Residential & Hazard Land

Present Zoning: R1-A & HL

2. Is there a special provision or site specific zone on the subject lands?

☐ Yes ☒ No If yes, please specify:

3. Present use of the subject lands:

Single Family Residence

4. Please describe **all existing** buildings or structures on the subject lands and whether they are to be retained, demolished or removed. If retaining the buildings or structures, please describe the type of buildings or structures, and illustrate the setback, in metric units, from front, rear and side lot lines, ground floor area, gross floor area, lot coverage, number of storeys, width, length, and height on your attached sketch which must be included with your application:

Existing single family residence

5. If an addition to an existing building is being proposed, please explain what it will be used for (for example a bedroom, kitchen, or bathroom). If new fixtures are proposed, please describe.

No addition proposed

6. Please describe **all proposed** buildings or structures/additions on the subject lands. Describe the type of buildings or structures/additions, and illustrate the setback, in metric units, from front, rear and side lot lines, ground floor area, gross floor area, lot coverage, number of storeys, width, length, and height on your attached sketch which must be included with your application:

Proposed Stairs, Landings, and Deck (stand alone from residence at rear of yard)

7. Are any existing buildings on the subject lands designated under the *Ontario Heritage Act* as being architecturally and/or historically significant? Yes ☐ No ☒

If yes, identify and provide details of the building:

8. If known, the length of time the existing uses have continued on the subject lands:

Unknown

9. Existing use of abutting properties:

Single Family Residential

10. Are there any easements or restrictive covenants affecting the subject lands?

☐ Yes ☒ No If yes, describe the easement or restrictive covenant and its effect:

C. Purpose of Development Application

AS IT PERTAINS TO THE PROPOSED STAIRS, LANDINGS & DECK
ONLY - AS PER SECTION 3.6 UNDER THE GENERAL PROVISIONS

Note: Please complete all that apply. **Failure to complete this section will result in an incomplete application.**

1. Site Information (Please refer to Zoning By-law to confirm permitted dimensions)

	Existing	Permitted	Provision	Proposed	Deficiency
Lot frontage					
Lot depth					
Lot width					
Lot area					
Lot coverage	0.00sq.m.		10% of lot area max. up to 200sq.m.	1.82% (42.00sq.m.)	
Front yard					
Rear yard			6.0m (on sloping rear yard)	4.10m	1.90m
Height					
Left Interior side yard			3.0m (on sloping rear yard)	8.81m	
Right Interior side yard			3.0m (on sloping rear yard)	3.05m	
Exterior side yard (corner lot)					
Parking Spaces (number)					
Aisle width					
Stall size					
Loading Spaces					
Other					

2. Please explain why it is not possible to comply with the provision(s) of the Zoning By-law:

The zoning by-law in the HL portion of the property does not currently allow for decks, landings or stairs and the home owners would prefer to have safer passage to the waters edge and be able to have a sitting area closer to the water. The deck location at the base of the hill is does not comply with the rear yard setback as the deck is set on the flat part of the bottom of the hill as not to disturb the bank.

3. **Consent/Severance/Boundary Adjustment:** Description of land intended to be severed in metric units:

Frontage: _____

Depth: _____

Width: _____

Lot Area: _____

Present Use: _____

Proposed Use: _____

Proposed final lot size (if boundary adjustment): _____

If a boundary adjustment, identify the assessment roll number and property owner of the lands to which the parcel will be added: _____

Description of land intended to be retained in metric units:

Frontage: _____

Depth: _____

Width: _____

Lot Area: _____

Present Use: _____

Proposed Use: _____

Buildings on retained land: _____

4. **Easement/Right-of-Way:** Description of proposed right-of-way/easement in metric units:

Frontage: _____

Depth: _____

Width: _____
Area: _____
Proposed Use: _____

5. Surplus Farm Dwelling Severances Only: List all properties in Norfolk County, which are owned and farmed by the applicant and involved in the farm operation

Owners Name: _____
Roll Number: _____
Total Acreage: _____
Workable Acreage: _____
Existing Farm Type: (for example: corn, orchard, livestock) _____
Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built _____
Date of Land Purchase: _____

Owners Name: _____
Roll Number: _____
Total Acreage: _____
Workable Acreage: _____
Existing Farm Type: (for example: corn, orchard, livestock) _____
Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built _____
Date of Land Purchase: _____

Owners Name: _____
Roll Number: _____
Total Acreage: _____
Workable Acreage: _____
Existing Farm Type: (for example: corn, orchard, livestock) _____
Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built _____
Date of Land Purchase: _____

Owners Name: _____
Roll Number: _____
Total Acreage: _____
Workable Acreage: _____
Existing Farm Type: (for example: corn, orchard, livestock) _____
Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built _____
Date of Land Purchase: _____

Owners Name: _____
Roll Number: _____
Total Acreage: _____
Workable Acreage: _____
Existing Farm Type: (for example: corn, orchard, livestock) _____
Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built _____
Date of Land Purchase: _____

Note: If additional space is needed please attach a separate sheet.

D. All Applications: Previous Use of the Property

1. Has there been an industrial or commercial use on the subject lands or adjacent lands? ☐ Yes ☒ No ☐ Unknown

If yes, specify the uses (for example: gas station, or petroleum storage):

2. Is there reason to believe the subject lands may have been contaminated by former uses on the site or adjacent sites? ☐ Yes ☒ No ☐ Unknown

3. Provide the information you used to determine the answers to the above questions:
Historical knowledge of the area

4. If you answered yes to any of the above questions in Section D, a previous use inventory showing all known former uses of the subject lands, or if appropriate, the adjacent lands, is needed. Is the previous use inventory attached? ☐ Yes ☐ No

E. All Applications: Provincial Policy

1. Is the requested amendment consistent with the provincial policy statements issued under subsection 3(1) of the *Planning Act*, R.S.O. 1990, c. P. 13? ☒ Yes ☐ No

If no, please explain:

2. It is owner's responsibility to be aware of and comply with all relevant federal or provincial legislation, municipal by-laws or other agency approvals, including the Endangered Species Act, 2007. Have the subject lands been screened to ensure that development or site alteration will not have any impact on the habitat for endangered or threatened species further to the provincial policy statement subsection 2.1.7? ☒ Yes ☐ No

If no, please explain:

3. Have the subject lands been screened to ensure that development or site alteration will not have any impact on source water protection? ☒ Yes ☐ No

If no, please explain:

Note: If in an area of source water Wellhead Protection Area (WHPA) A, B or C please attach relevant information and approved mitigation measures from the Risk Manager Official.

4. All Applications: Are any of the following uses or features on the subject lands or within 500 metres of the subject lands, unless otherwise specified? Please check boxes, if applicable.

Livestock facility or stockyard (submit MDS Calculation with application)

☐ On the subject lands or ☐ within 500 meters – distance _____

Wooded area

☐ On the subject lands or ☐ within 500 meters – distance _____

Municipal Landfill

☐ On the subject lands or ☐ within 500 meters – distance _____

Sewage treatment plant or waste stabilization plant

☐ On the subject lands or ☐ within 500 meters – distance _____

Provincially significant wetland (class 1, 2 or 3) or other environmental feature

☒ On the subject lands or ☐ within 500 meters – distance _____

Floodplain

☐ On the subject lands or ☐ within 500 meters – distance _____

Rehabilitated mine site

☐ On the subject lands or ☐ within 500 meters – distance _____

Non-operating mine site within one kilometre

☐ On the subject lands or ☐ within 500 meters – distance _____

Active mine site within one kilometre

☐ On the subject lands or ☐ within 500 meters – distance _____

Industrial or commercial use (specify the use(s))

☐ On the subject lands or ☐ within 500 meters – distance _____

Active railway line

☐ On the subject lands or ☐ within 500 meters – distance _____

Seasonal wetness of lands

☐ On the subject lands or ☐ within 500 meters – distance _____

Erosion

☐ On the subject lands or ☐ within 500 meters – distance _____

Abandoned gas wells

☐ On the subject lands or ☐ within 500 meters – distance _____

F. All Applications: Servicing and Access

1. Indicate what services are available or proposed:

Water Supply

☒ Municipal piped water

☐ Individual wells

☐ Communal wells

☐ Other (describe below)

Sewage Treatment

☒ Municipal sewers

☐ Septic tank and tile bed in good working order

☐ Communal system

☐ Other (describe below)

Storm Drainage

☐ Storm sewers

☐ Other (describe below)

☒ Open ditches

2. Existing or proposed access to subject lands:

☒ Municipal road

☐ Unopened road

☐ Provincial highway

☐ Other (describe below)

Name of road/street:

Nelson Street West

G. All Applications: Other Information

1. Does the application involve a local business? ☐ Yes ☒ No

If yes, how many people are employed on the subject lands?

2. Is there any other information that you think may be useful in the review of this application? If so, explain below or attach on a separate page.

H. Supporting Material to be submitted by Applicant

In order for your application to be considered complete, folded hard copies (number of paper copies as directed by the planner) and an **electronic version (PDF) of the site plan drawings, additional plans, studies and reports** will be required, including but not limited to the following details:

1. Concept/Layout Plan
2. All measurements in metric
3. Existing and proposed easements and right of ways
4. Parking space totals – required and proposed
5. All dimensions of the subject lands
6. Dimensions and setbacks of all buildings and structures
7. Location and setbacks of septic system and well from all existing and proposed lot lines, and all existing and proposed structures
8. Names of adjacent streets
9. Natural features, watercourses and trees

In addition, the following additional plans, studies and reports, including but not limited to, **may** also be required as part of the complete application submission:

- ☐ On-Site Sewage Disposal System Evaluation Form (to verify location and condition)
- ☐ Environmental Impact Study
- ☐ Geotechnical Study / Hydrogeological Review
- ☐ Minimum Distance Separation Schedule
- ☐ Record of Site Condition

Your development approval might also be dependent on Ministry of Environment Conservation and Parks, Ministry of Transportation or other relevant federal or provincial legislation, municipal by-laws or other agency approvals.

All final plans must include the owner's signature as well as the engineer's signature and seal.

L. Transfers, Easements and Postponement of Interest

The owner acknowledges and agrees that if required it is their solicitor's responsibility on behalf of the owner for the registration of all transfer(s) of land to the County, and/or transfer(s) of easement in favour of the County and/or utilities. Also, the owner further acknowledges and agrees that it is their solicitor's responsibility on behalf of the owner for the registration of postponements of any charges in favour of the County.

Permission to Enter Subject Lands

Permission is hereby granted to Norfolk County officers, employees or agents, to enter the premises subject to this application for the purposes of making inspections associated with this application, during normal and reasonable working hours.

Freedom of Information

For the purposes of the *Municipal Freedom of Information and Protection of Privacy Act*, I authorize and consent to the use by or the disclosure to any person or public body any information that is collected under the authority of the *Planning Act*, R.S.O. 1990, c. P. 13 for the purposes of processing this application.

DeK. M. A.

Owner/Applicant/Agent Signature

Dec 16 2024

Date

J. Owner's Authorization

If the applicant/agent is not the registered owner of the lands that is the subject of this application, the owner must complete the authorization set out below.

I/We Kareh & Angele Nateghi am/are the registered owner(s) of the lands that is the subject of this application.

I/We authorize _____ to make this application on my/our behalf and to provide any of my/our personal information necessary for the processing of this application. Moreover, this shall be your good and sufficient authorization for so doing.

DeK. M. A. Kareh Nateghi

Owner

Dec 16 2024

Date

A. Nateghi Angele Nateghi

Owner

Dec-16-2024

Date

***Note:** If property is owned by an Ontario Ltd. Corporation, Articles of Incorporation are required to be attached to the application.

K. Declaration

I, _____ of _____

solemnly declare that:

all of the above statements and the statements contained in all of the exhibits transmitted herewith are true and I make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath and by virtue of *The Canada Evidence Act*.

Declared before me at:

Owner/Applicant/Agent Signature

In _____

This _____ day of _____

A.D., 20____

A Commissioner, etc.

SITE B.M.
TWO SPIKES IN SOUTH
SIDE OF HYDRO POLE
ON NORTH SIDE OF
ROAD IN FRONT OF
HOUSE NO. 412
EL. 189.010 (GEODETIC)

GIVEN
(KNOWN AS NELSON STREET)
(AS WIDENED)

OVERALL SITE PLAN
SCALE: 1:250

LAKE ERIE

A horizontal scale bar with alternating black and white segments. It is labeled with '2.5', '0', and '10' at the bottom, and 'METRES' at the right end.

SITE AREA = 0.23 Ha.

DESCRIPTION OF LAND

BEING LOT 13 AND PART OF LOTS 14, 15 AND 16,
AND PART OF BLOCKS "A" AND "B", REGISTERED PLAN 187
REGISTERED PLAN 187
AND PART OF LOT LOT 10 CONCESSION 1
IN THE GEOGRAPHIC TOWNSHIP OF WOODHOUSE
IN NORFOLK COUNTY

NOTE:

TOP OF FOUNDATION = 189.32
UNDERSIDE OF FOOTING = 186.78
TOP OF RETAINING WALL SHOWN TW
PROPOSED RETAINING WALL SHOWN TRW

THE DISTANCE FROM THE TOP OF FOUNDATION
TO THE UNDERSIDE OF FOOTING IS 2.54m AND
SHALL BE CONFIRMED BY THE CONTRACTOR
PRIOR TO EXCAVATION

© COPYRIGHT JEWITT AND DIXON LTD. 2020

NO PERSON MAY COPY, REPRODUCE, DISTRIBUTE, OR ALTER
THIS PLAN IN WHOLE OR IN PART WITHOUT THE WRITTEN
PERMISSION OF JEWITT AND DIXON LTD. IS STRICTLY
PROHIBITED.

CAUTION:

THIS IS NOT A PLAN OF SURVEY OR SURVEYOR'S
REPORT AND SHALL NOT BE USED FOR
TRANSACTION OR FINANCING PURPOSES

F.W.	-	J.P.H.
BOOK	-	W059-61,64,66
CALC.	-	W.J.S.
PLAN	-	W.J.S.
CHECK	-	K.S.H.
CLIENT	-	PROMINENT
JOB No.	-	19-2257

P1903A8953-2

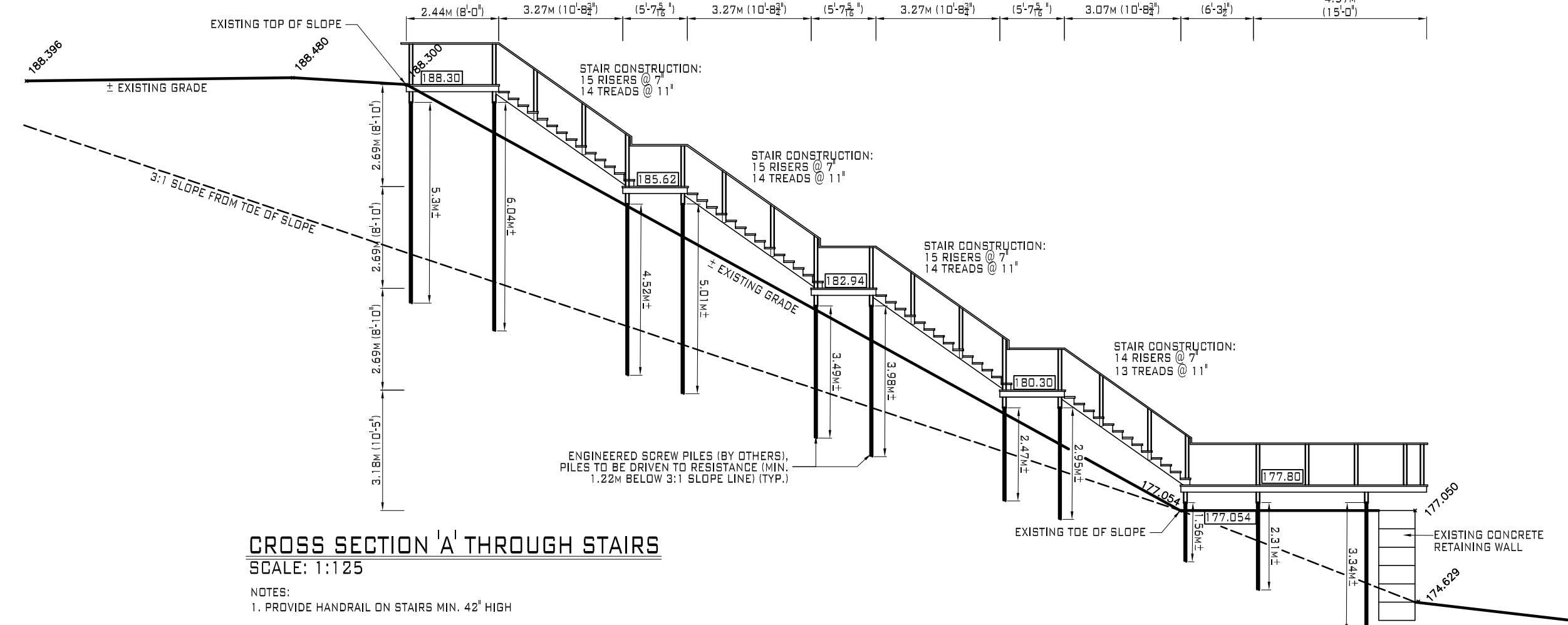
LEGEND

STANDARD IRON BAR	SHOWN	SIB	■
IRON BAR	SHOWN	IB	■
ROUND IRON BAR	SHOWN	IB	○
ORIGIN UNKNOWN	SHOWN	OU	
TOP OF FOUNDATION	SHOWN	TOF	
BELL BOX	SHOWN	BBX	□
BENCH MARK	SHOWN	BM	⊙
MANHOLE	SHOWN	MH	⊗

NOTE:

THE VARIOUS UTILITY LOCATIONS SHOWN ON THIS PLAN ARE
BASED ON PHYSICAL LOCATES.

PRIOR TO ANY ON SITE CONSTRUCTION ACTIVITY A VERIFICATION
LOCATE IS BOTH RECOMMENDED AND ADVISED.



SITE STATISTICS & ZONING DATA TABLE:

EXISTING ZONE: R1-A RESIDENTIAL / HL HAZARD LAND

ZONE REGULATION	REQUIRED	PROVIDED
LOT AREA - MINIMUM	450.00sq	2,315.00sq
LOT COVERAGE	NO PROVISION	14.14%
LOT FRONTAGE - MINIMUM	15.00m	21.17m
FRONT YARD DEPTH - MINIMUM	6.00m	10.93m
REAR YARD DEPTH - MINIMUM	7.50m	6.88m
INTERIOR SIDE YARD - MINIMUM	1.20m	L: 1.45m EXISTING R: 1.45m EXISTING
HEIGHT OF BUILDING - MAXIMUM	11m	<11.00m EXISTING
ACCESSORY STRUCTURES **	REQUIRED	PROVIDED
LOT COVERAGE	10% TO MAX OF 200.00sq	42.00sq (42.00sq)
INTERIOR SIDE YARD - MINIMUM	3.00m (IN ELONG REAR YARD)	3.00m REAR YARD
REAR YARD DEPTH - MINIMUM	6.00m (IN ELONG REAR YARD)	3.00m REAR YARD 4.10m **

⁴⁴ DENOTES - MINOR VARIANCE REQUIRED FOR ACCESSORY STRUCTURES WITHIN LIMITS OF HL ZONED PORTION OF PROPERTY & REAR YARD SETBACK FOR ACCESSORY STRUCTURE

ACTUAL NORTH

BOTH THE CLIENT AND THE CONTRACTOR, INCLUDING ALL SUB-TRADES, SHALL REVIEW ALL DRAWINGS AND VERIFY ALL DIMENSIONS. IT IS THE RESPONSIBILITY OF THE CLIENT AND THE CONTRACTOR TO REPORT ANY DISCREPANCIES TO THE ENGINEER BEFORE PROCEEDING WITH CONSTRUCTION.

THESE DRAWINGS ARE TO BE READ AND NOT TO BE SCALED.

[illegible]

ORIGINAL SURVEY BY:

JEWITT AND DIXON LTD.
ONTARIO LAND SURVEYORS
R.R.1, SIMCOE, ONTARIO, N3Y 4J9
(51 PARK ROAD)

PHONE: (519) 426-0842
E-mail: surveyors@amtelecom.net

DESIGNED BY:

girard
ENGINEERING

2478153 ONTARIO INC.

212 MAIN STREET WEST P.O. BOX 98
OTTERVILLE, ONTARIO N0J 1R0

TEL: 1-519-879-6875
FAX: 1-519-879-6536
EMAIL: INFO@GIRARDENGINEERING.CA

ENGINEERS STAMPS:



NOTE: THESE DRAWINGS ARE THE PROPERTY OF THE ENGINEER AND ARE NOT VALID
UNLESS SEALED IN RED INK. THESE DRAWINGS ARE NOT TO BE REPRODUCED UNLESS
AUTHORIZED BY THE ENGINEER.

CONTRACTOR:

DOVERSCAPES INC.
DARREN OOSTDYK
53 GEOFFREY ROAD,
PT. DOVER, ONTARIO

DESIGNED FOR:

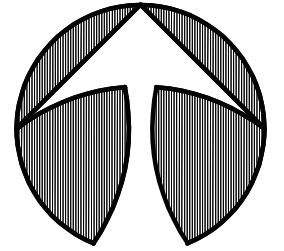
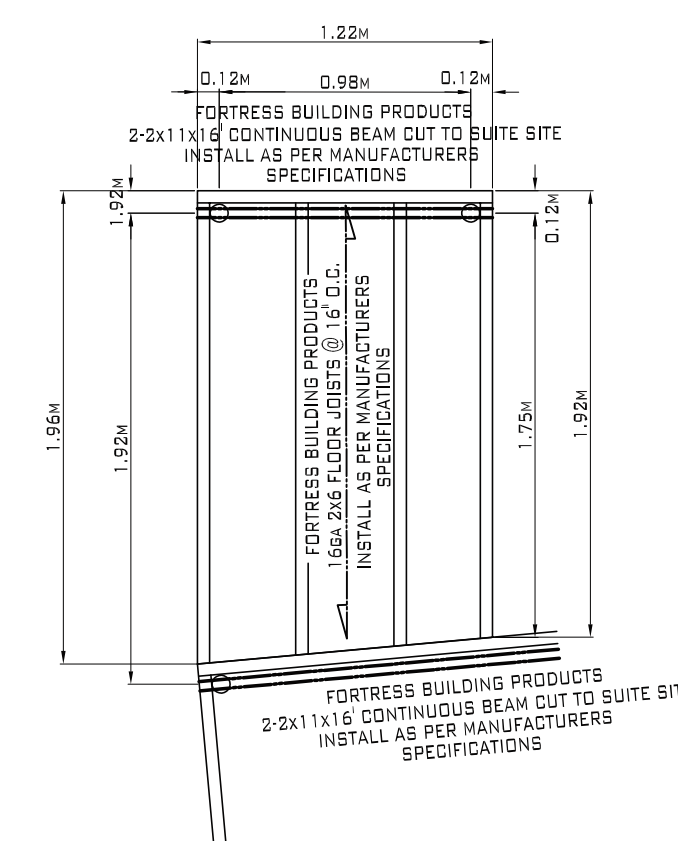
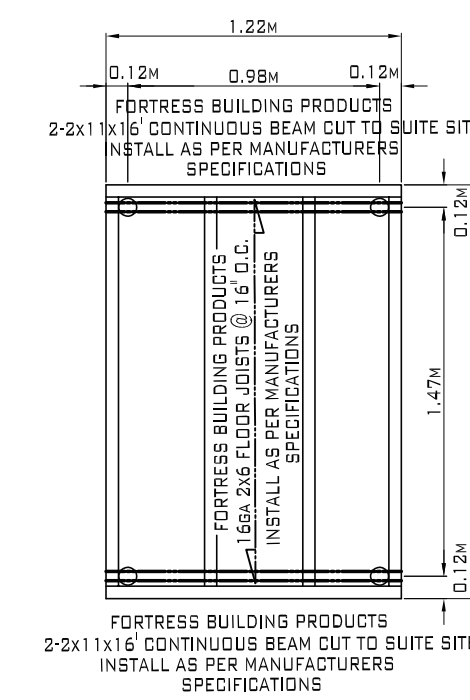
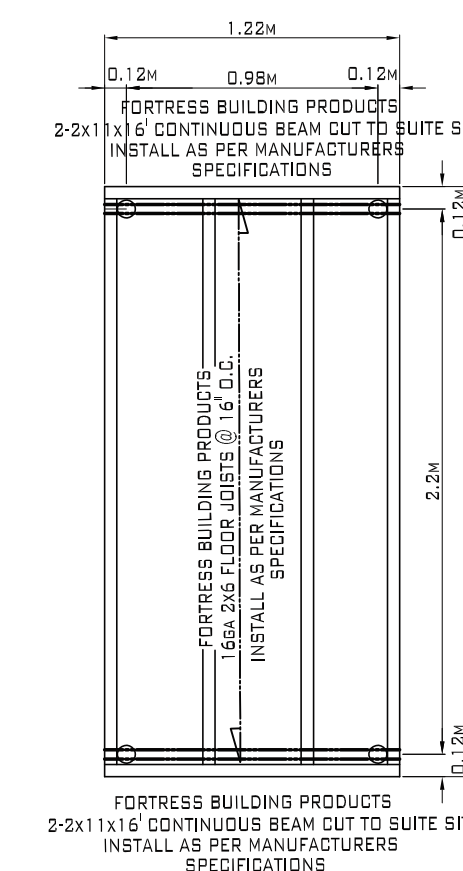
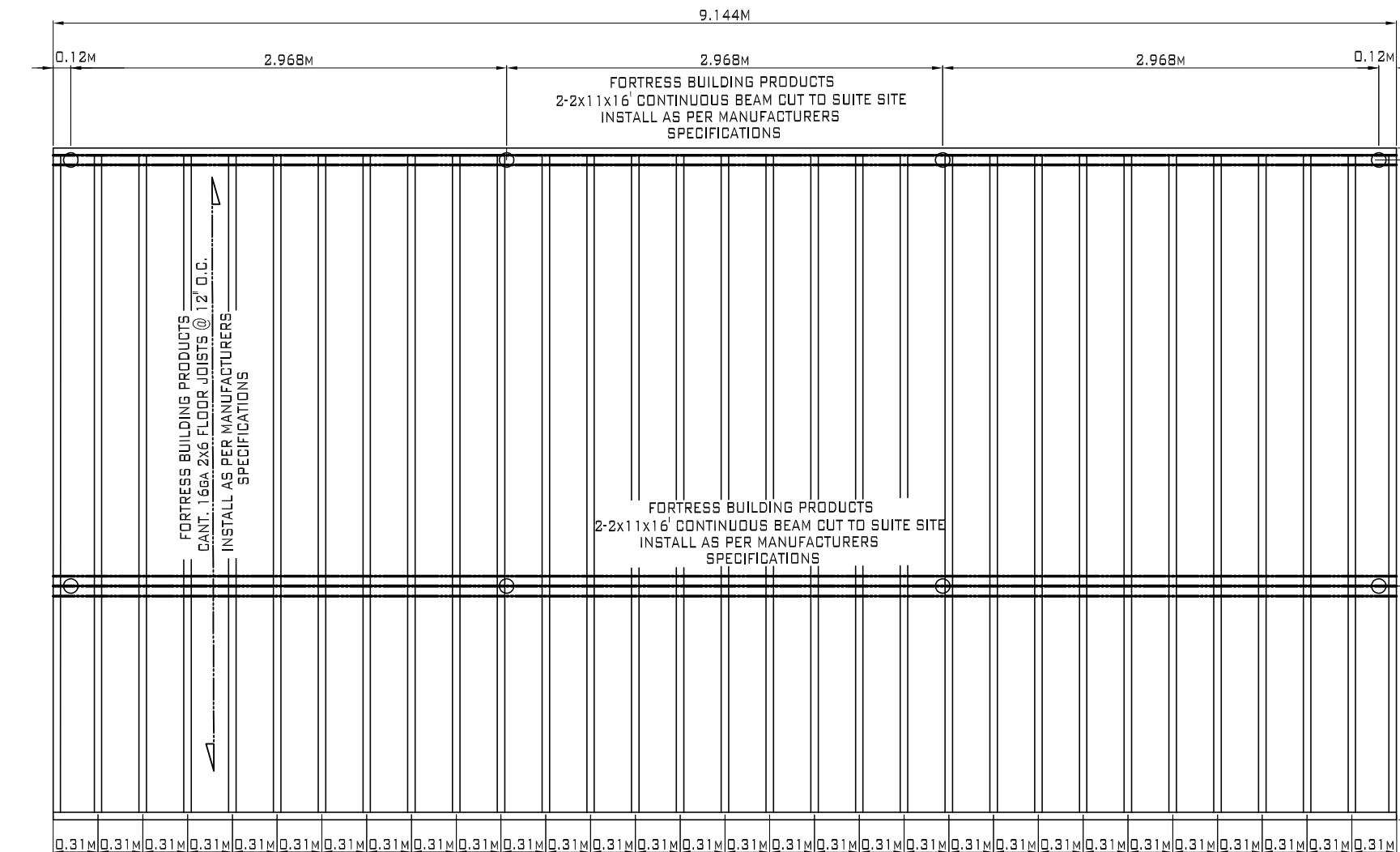
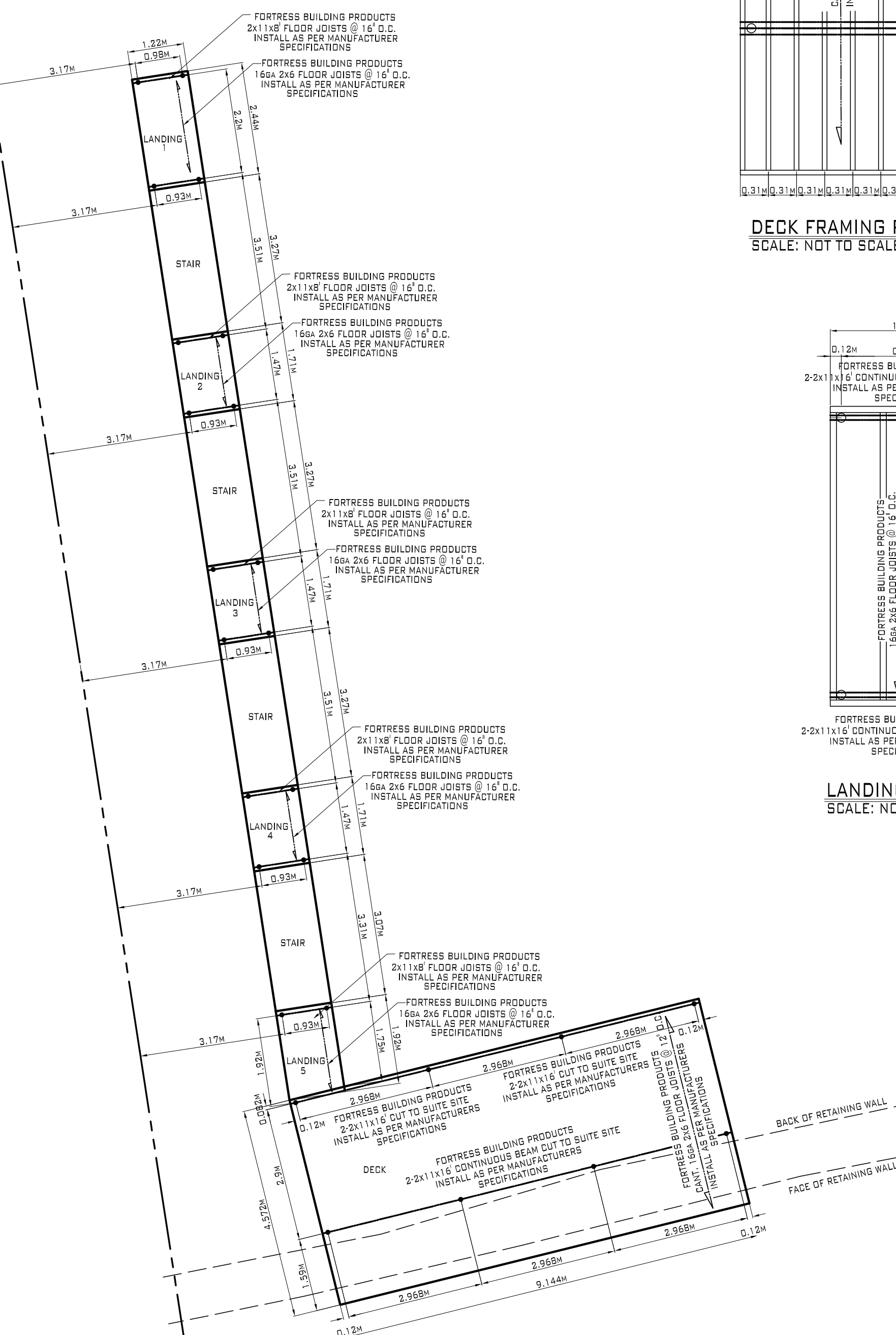
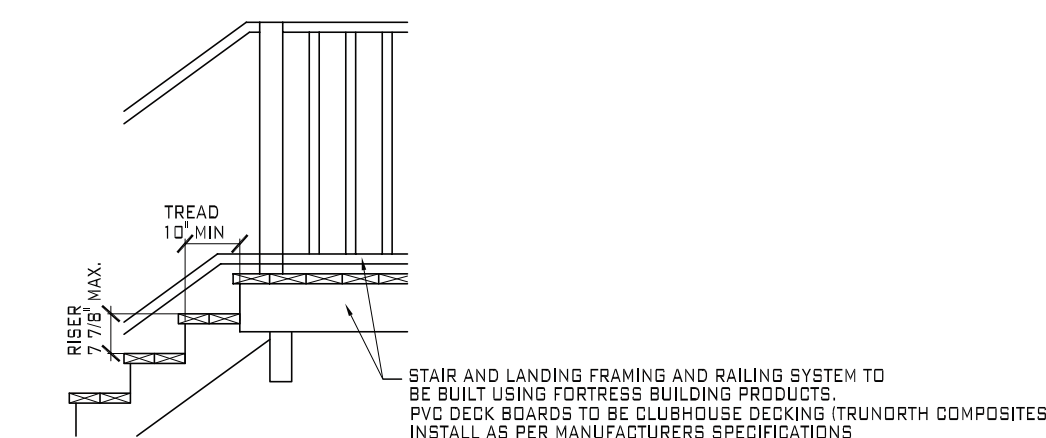
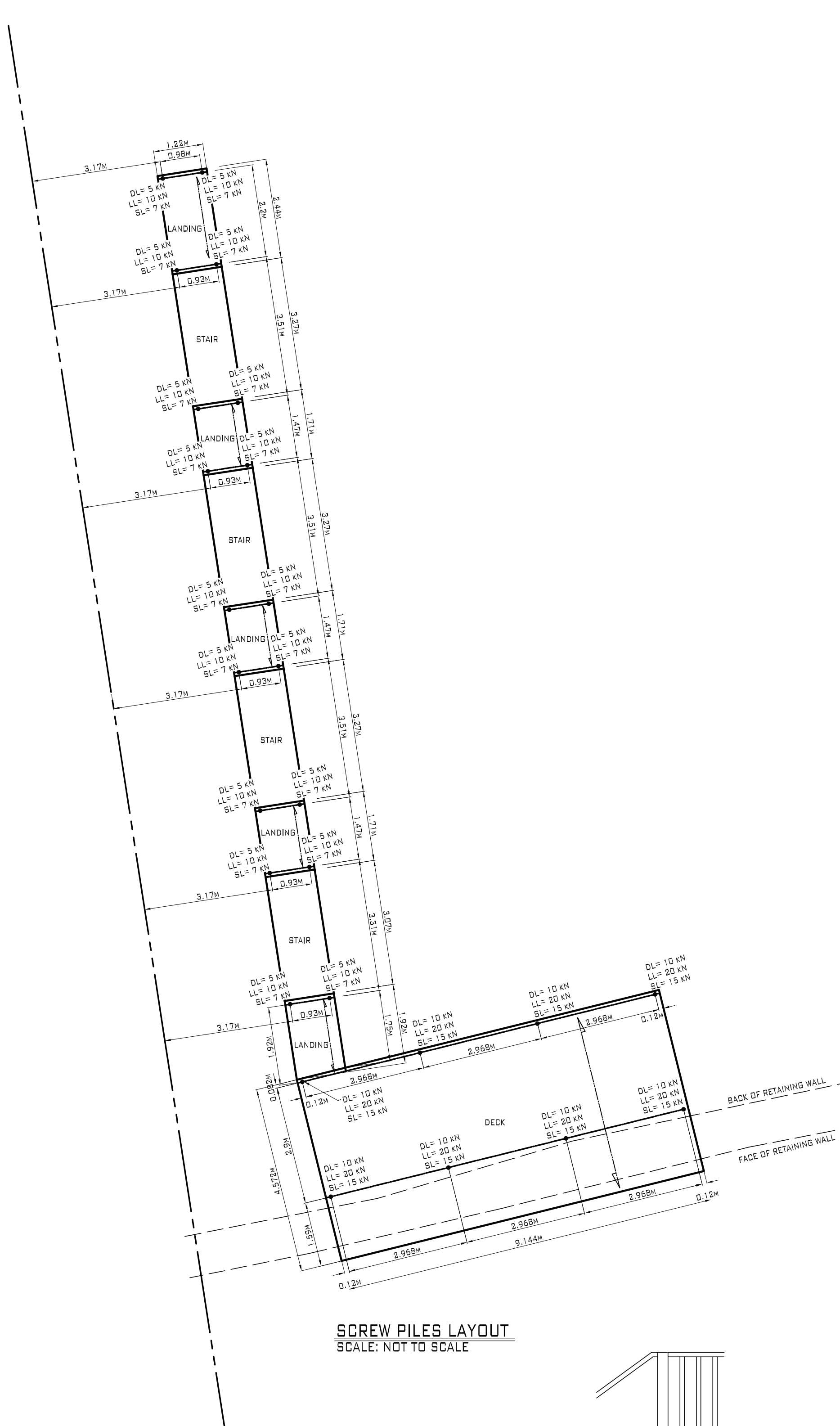
ANGELA & KAVEH NATEGEHI
409 NELSON ST. W
PT. DOVER, ONTARIO

SITE PLAN FOR PROPOSED STAIRS

OVERALL PLAN

SCALE: 1:250		DRAWING NO: 100
DATE: AUGUST 2024		
DRAWING BY: T. SPRAGUE / T. STREATCH		
DESIGNED BY: M. VASANTHA		
CHECKED BY: M. VASANTHA		
PROJECT NO: 24-019		

100



ACTUAL NORTH

BOTH THE CLIENT AND THE CONTRACTOR, INCLUDING ALL SUB-TRADES, SHALL REVIEW ALL DRAWINGS AND VERIFY ALL DIMENSIONS. IT IS THE RESPONSIBILITY OF THE CLIENT AND THE CONTRACTOR TO REPORT ANY DISCREPANCIES TO THE ENGINEER BEFORE PROCEEDING WITH CONSTRUCTION.

[illegible]

ORIGINAL SURVEY BY:

JEWITT AND DIXON LTD.
ONTARIO LAND SURVEYORS
R.R.1, SIMCOE, ONTARIO, N3Y 4J9
(51 PARK ROAD)
PHONE: (519) 426-0842
E-mail: surveyors@amtelecom.net

DESIGNED BY:

girard
ENGINEERING

2478153 ONTARIO INC.

212 MAIN STREET WEST P.O. BOX 98
OTTERVILLE, ONTARIO N0J 1R0

TEL: 1-519-879-6875
FAX: 1-519-879-6536
EMAIL: INFO@GIRARDEENGINEERING.CA

ENGINEERS STAMPS:



NOTE: THESE DRAWINGS ARE THE PROPERTY OF THE ENGINEER AND ARE NOT VALID
UNLESS SEALED IN RED INK. THESE DRAWINGS ARE NOT TO BE REPRODUCED UNLESS
AUTHORIZED BY THE ENGINEER.

CONTRACTOR:

DOVERSCAPES INC.
DARREN OOSTDYK
53 GEOFFREY ROAD,
PT. DOVER, ONTARIO

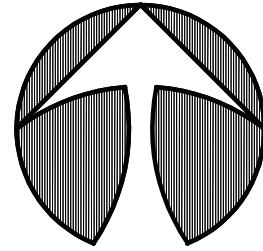
DESIGNED FOR:

ANGELA & KAVEH NATEGEHI
409 NELSON ST. W
PT. DOVER, ONTARIO

SITE PLAN FOR PROPOSED STAIRS

OVERALL PLAN

SCALE: 1:250		DRAWING NO: 102
DATE: AUGUST 2024		
DRAWING BY: T. SPRAGUE/ T. STREATCH		
DESIGNED BY: M. VASANTHA		
CHECKED BY: M. VASANTHA		
PROJECT NO: 24-019		



ACTUAL NORTH

BOTH THE CLIENT AND THE CONTRACTOR, INCLUDING ALL SUB-TRADES, SHALL REVIEW ALL DRAWINGS AND VERIFY ALL DIMENSIONS. IT IS THE RESPONSIBILITY OF THE CLIENT AND THE CONTRACTOR TO REPORT ANY DISCREPANCIES TO THE ENGINEER BEFORE PROCEEDING WITH CONSTRUCTION.

THESE DRAWINGS ARE TO BE READ AND NOT TO BE SCALED.

NO.	REVISION:	BY:	DATE:
1	ISSUED FOR PRELIMINARY REVIEW	TS	JUNE 6, 2024
2	ISSUED FOR PRELIMINARY REVIEW	TS	JULY 22, 2024
3	ISSUED FOR PERMIT & CONSTRUCTION	TS	AUGUST 23, 2024
4	ZONING PROVISIONS TABLE ADDED	DF	DECEMBER 13, 2024

ORIGINAL SURVEY BY:

JEWITT AND DIXON LTD.
ONTARIO LAND SURVEYORS
R.R.1, SIMCOE, ONTARIO, N3Y 4J9
(51 PARK ROAD)

PHONE: (519) 426-0842
E-mail: surveyors@amtelecom.net

DESIGNED BY:

girard
ENGINEERING
2478153 ONTARIO INC.
212 MAIN STREET WEST P.O. Box 98
OTTERVILLE, ONTARIO N0J 1R0
TEL: 1-519-879-6875
FAX: 1-519-879-6536
EMAIL: INFO@GIRARDENGINEERING.CA

ENGINEERS STAMPS:



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CONTRACTOR:

DOVERSCAPES INC.
DARREN OOSTDYK
53 GEOFFREY ROAD,
PT. DOVER, ONTARIO

DESIGNED FOR:

ANGELA & KAVEH NATEGEHI
409 NELSON ST. W
PT. DOVER, ONTARIO

**SITE PLAN FOR
PROPOSED STAIRS**

**FORTRESS BUILDING
PRODUCT DETAILS**

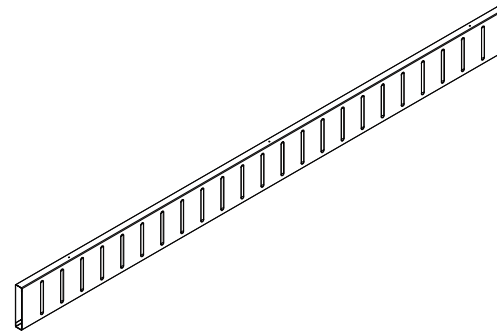
SCALE:	1:250	DRAWING NO: 103
DATE:	AUGUST 2024	
DRAWING BY:	T. SPRAGUE / T. STREATCH	
DESIGNED BY:	M. VASANTHA	
CHECKED BY:	M. VASANTHA	
PROJECT NO:	24-019	



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GARLAND, TX 75040
TOLL FREE: 1-866-323-4766
FAX: (972) 644-3720
www.fortressbp.com/framing

SELECT DESIRED LENGTH:

- ☐ 8'
☐ 12' (SHOWN)
☐ 16'
☐ 18'
☐ 20'



PERSPECTIVE

144" (3657.60 MM)

TOP VIEW

1 15/16" (50 MM)



FRONT VIEW

SIDE VIEW

NOTES:
1. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
2. DO NOT SCALE DRAWING.
3. THIS DRAWING IS INTENDED FOR USE BY ARCHITECTS, ENGINEERS, CONTRACTORS, CONSULTANTS AND DESIGN PROFESSIONALS FOR PLANNING PURPOSES ONLY. THIS DRAWING MAY NOT BE USED FOR CONSTRUCTION.
4. ALL INFORMATION CONTAINED HEREIN WAS CURRENT AT THE TIME OF DEVELOPMENT BUT MUST BE REVIEWED AND APPROVED BY THE PRODUCT MANUFACTURER TO BE CONSIDERED ACCURATE.
5. CONTRACTOR'S NOTE: FOR PRODUCT AND COMPANY INFORMATION VISIT www.CADdetails.com/info AND ENTER REFERENCE NUMBER 24-019

EVOLUTION STEEL DECK FRAMING

EVOLUTION BEAMS: 16 GAUGE GALVANIZED AND POWDER COATED BEAM

24-019

REVISION DATE 01/08/2024

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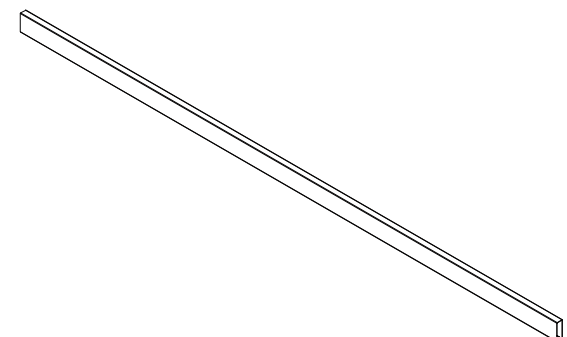
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SELECT DESIRED LENGTH:

- ☐ 12'
☐ 14'
☐ 16' (SHOWN)
☐ 18'
☐ 20'



PERSPECTIVE

102" (4876.80 MM)

FRONT VIEW

SIDE VIEW

1 15/16" (50 MM)

16 GA

NOTES:
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EVOLUTION STEEL DECK FRAMING

EVOLUTION JOISTS: 16 GAUGE GALVANIZED AND POWDER COATED JOIST

24-019

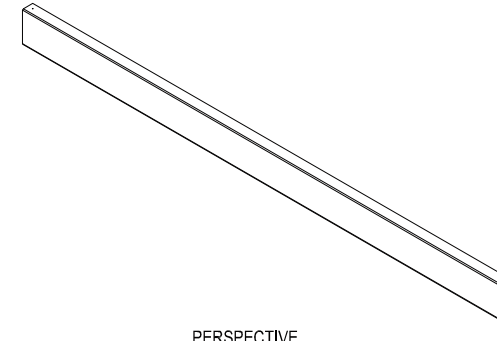
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PERSPECTIVE

96" (2438.40 MM)

TOP VIEW

2 1/16" (51.98 MM)

FRONT VIEW

SIDE VIEW

6 1/8" (155.89 MM)

NOTES:
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EVOLUTION STEEL DECK FRAMING

EVOLUTION RIM JOISTS: RIM JOIST (TRACK) WITHOUT PRE-PUNCHED SPACERS

24-019

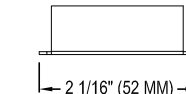
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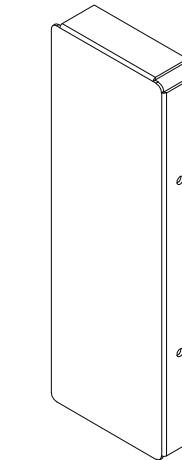
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TOP VIEW



PERSPECTIVE

5/8" (15.88 MM)

SIDE VIEW

FRONT VIEW

6 5/8" (167.27 MM)

NOTES:
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EVOLUTION STEEL DECK FRAMING

EVOLUTION BRACKETS AND ACCESSORIES: JOIST END CAPS

24-019

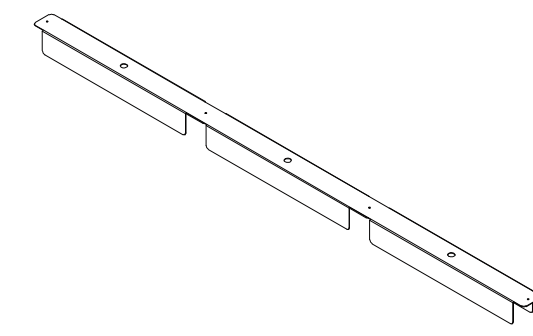
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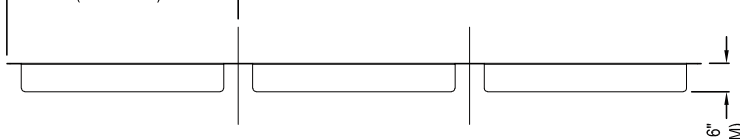
PERSPECTIVE

48" (1219.20 MM)

TOP VIEW

1 15/16" (50 MM)

SIDE VIEW



FRONT VIEW

NOTES:
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EVOLUTION STEEL DECK FRAMING

EVOLUTION BRACKETS AND ACCESSORIES: STRAP - 4" JOIST MID-SPAN BLOCKING 16" OC

24-019

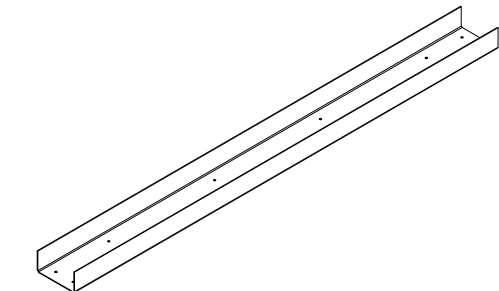
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PERSPECTIVE

48" (1219.20 MM)

TOP VIEW

4 22" (107.23 MM)

SIDE VIEW

FRONT VIEW

NOTES:
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EVOLUTION STEEL DECK FRAMING

EVOLUTION BRACKETS AND ACCESSORIES: 4" DOUBLE BEAM TRACK

24-019

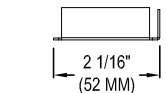
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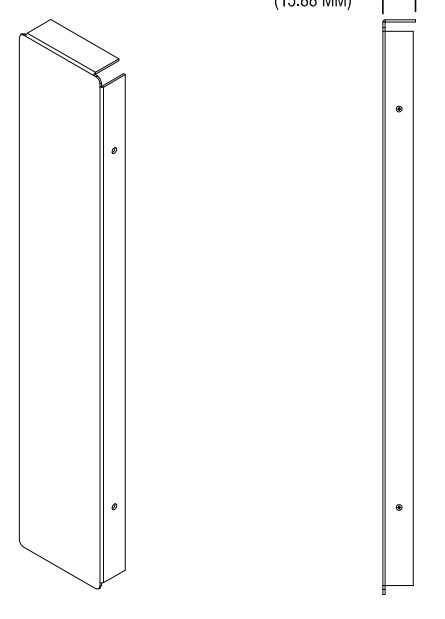
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TOP VIEW



PERSPECTIVE

SIDE VIEW

FRONT VIEW

NOTES:
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EVOLUTION STEEL DECK FRAMING

EVOLUTION BRACKETS AND ACCESSORIES: BEAM END CAPS

24-019

REVISION DATE 01/08/2024

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PERMIT # _____

LOT GRADING EXEMPTION – SUBMISSION FORM

PROPERTY INFORMATION (Required)		
MUNICIPAL ADDRESS: <u>409 Nelson Street West, Pt. Dover, ON N0A 1N0</u>		
LOT(S) / BLOCK(S): <u>LOT 13 PT LOTS 14 15 16 PT BLK A</u> REG. PLAN / CONC. <u>CON 1 / PDOV PLAN 187</u>		
GEOGRAPHIC TOWNSHIP: <u>Port Dover</u> SUBDIVISION: _____		
ROLL NUMBER: <u>3310334010093000000</u>		
REGISTERED OWNER (Required)		APPLICANT / AGENT (if different than owner)
Name <u>Angela & Kaveh Nategehi</u>		Name <u>Girard Engineering c/o Drew Fallowfield</u>
Address <u>409 Nelson Street West</u>		Address <u>682 Peel Street</u>
Town/City <u>Pt. Dover</u>	Prov. <u>ON</u>	Town/City <u>Woodstock</u>
Postal Code <u>N0A 1N0</u>		Prov. <u>ON</u>
Telephone <u>226-567-4601</u>		Postal Code <u>N4S 1L3</u>
Fax <u>kaveh.nategehi@gmail.com</u>		Telephone <u>519-879-6875</u>
Email <u>kaveh.nategehi@gmail.com</u>		Fax <u>dfallowfield@girardengineering.ca</u>
		Email <u>dfallowfield@girardengineering.ca</u>

ALL INFORMATION BELOW IS REQUIRED UNLESS OTHERWISE STATED

Please send correspondence to (check appropriate box below):

- ☒ Registered Owner
☒ Applicant / Agent

Type of proposed building/structure: Stairs w/ Landings & DeckTotal square footage of all existing buildings/structures on the subject property: 3522.57 sq.ft.(Only applicable if the property is within an urban boundary and is not required for rural properties)Square footage of proposed building/structure: 743.12 sq.ft.Total area of subject property: 24,918.41 sq.ft.

I have included a site plan that includes all required information (circle):

☒ Yes ☐ No

I, Madana Vasantha, P.Eng., have read Norfolk County Lot Grading and Drainage By-Law 2017-04 and confirm that the property identified in this application conforms with the requirements for a lot grading exemption as specified in said by-law.



Signature

August 29, 2024

Date

This document is provided under delegated authority of by-law 2017-04 and may not include all information needed. Reference must be made to that by-law for all the information required for a complete submission. Issued: February 9, 2017.



LOT GRADING EXEMPTION – SUBMISSION REQUIREMENTS

The following information and items must be included with all lot grading exemption applications in order to meet the requirements of a complete submission:

- 1) Municipal Address of the proposed building/structure
- 2) Contact information (mailing address, phone number, and email address).
 - i) Registered Owner (Required for all submissions)
 - ii) Applicant/Agent (if applicable – applicant is an agent designated by the registered owner)

Note: All correspondence will be sent, by mail, to the specified preferred address that is provided with the submission. If a preferred contact is not provided, all correspondence will be sent to the registered owner.

- 3) Identify the type of building/structure (barn, house, shop, addition, shed, etc.)
- 4) Total square footage of all existing buildings/structures on subject property (this information is only required if the property is within an urban boundary and is not required for properties in rural areas)
- 5) Square footage of proposed building/structure
- 6) Total lot area
- 7) Site plan – the following information must be included:
 - i) Show proposed building/structure in desired final location
 - ii) Label proposed building/structure
 - iii) Proposed drainage pattern if existing drainage is being altered by the project. If grading will not be affected by the proposed building/structure please specify
 - iv) Dimensions of proposed building/structure
 - v) Distance from proposed building /structure to all property lines and existing buildings, structures and drainage features on the property
 - vi) Existing drainage patterns



The Corporation of Norfolk County

By-Law 2017-04

Lot Grading and Drainage

THIS FORM IS TO BE SUBMITTED WITH EVERY LOT GRADING PLAN

Municipal Address: 409 Nelson Street West, Pt. Dover, ON N0A 1N0

And/or

PIN: _____

SELECT THE **ONE** PURPOSE FOR SUBMITTING THIS FORM:

☐ Proposed Grading Plan for Infill Lot:

I, _____, a Qualified Person, submit the attached Proposed Grading Plan, under my seal to confirm that the Plan provides drainage in accordance with the Ontario Building Code and applicable Municipal regulations for the works to be constructed that are the subject of the Building Permit Application to which this is attached.

☐ Proposed Grading Plan within a Plan of Subdivision:

I, _____, a Qualified Person, submit the attached Proposed Grading Plan, under my seal to confirm that the Plan conforms in all respects with the Master Grading Plan in the Plan of Subdivision Master Grading Plan, registered as:

_____(common name of the Plan of Subdivision and Registration Number).

- ☐ Final Grading Plan for Infill Lot that fully conforms with the Proposed Grading Plan:

I, _____, a Qualified Person, submit the attached Final Grading Plan, under my seal to confirm that the Plan conforms in all respects with the Proposed Grading Plan for the referenced property.

- ☐ Final Grading Plan for Infill Lot that does not fully conform with the Proposed Grading Plan:

I, _____, a Qualified Person, submit the attached Proposed Grading Plan, under my seal to confirm that the Final Grading Plan does not fully conform with the Proposed Grading Plan for the referenced property. I further attest that the grading depicted in the Final Grading Plan provides adequate drainage in accordance with prevailing Acts, Regulations and by-laws.

- ☐ Final Grading Plan in a Plan of Subdivision that conforms with the Proposed Grading Plan to the extent described in Section 5 of the By-Law:

I, _____, a Qualified Person, submit the attached Final Grading Plan, under my seal to confirm that the Plan conforms in all respects with the Proposed Grading Plan for the referenced property.

- ☐ Final Grading Plan in a Plan of Subdivision that does not fully conform with the Proposed Grading Plan to the extent described in Section 5 of the By-Law:

I, _____, the Qualified Person that designed the Master Grading Plan, under my seal confirm that the Final Grading Plan does not fully conform with the Master Grading Plan for the referenced property as described in Clause 5.3 of the By-Law. I further attest that the grading depicted in the Final Grading Plan provides adequate drainage in accordance with prevailing Acts, Regulations and by-laws.

- ☒ Exemption from Submission of Grading Plans (Must be obtained prior to making a Building Permit Application):

I, Madana Vasantha, P.Eng., a Qualified Person, under my seal, confirm that the existing property qualifies for a Lot Grading Plan exemption as described in the By-Law and that this property provides drainage in accordance with the Ontario Building Code and all other prevailing Acts, Regulations and by-laws for the works to be constructed that are the subject of the Building Permit Application attached hereto, and no changes will be made to the existing grading for the construction of those works.

Or:

I, _____, the (agent) or (owner) request that the County review the proposed works as described in the attached information which is to be the subject of a future Building Permit application and the County advise if this meets the requirements for an exemption for the submission of Proposed and Final Grading Plans. I understand that any fees provided to the County for this review are non-refundable, whether or not the exemption is granted and that in requesting this exemption, confirm that the works that are the subject of this application is eligible for an exemption under the By-Law.

Exemption is granted by (Print name): _____
(Sign name): _____ (County Staff), and this form may be provided with the supporting documentation submitted for the exemption with a Building Permit application consistent with the information in the Exemption Request.

Exemption is denied by (Print name): _____
(Sign name): _____ (County Staff). Proposed and Final Grading Plans must be submitted with the Building Permit application.

IN ANY INSTANCE ABOVE NOTING "UNDER MY SEAL", AFFIX SEAL BELOW:



SEAL (Qualified Person)

(Sign and date over the seal)

Name: Madana Vasantha, P.Eng.

License Number: 100175148

This form approved by the County Official under delegated authority under Norfolk County By-Law 2017-04

212 Main Street West, P.O. Box 98
Otterville, Ontario N0J 1R0
Bus: 519-879-6875

Email: info@girardengineering.ca



682 Peel Street
Woodstock, Ontario N4S 1L3
Bus: 519-879-6875

Email: info@girardengineering.ca

To Whom it May Concern,

We, Angele & Kaveh Nateghi (the owners), hereby authorize 2478153 Ontario Inc. o/a Girard Engineering to act as an official agent with regards to the Proposed Stairs & Deck (the project) at 409 Nelson Street West In Port Dover, ON (the project address). Girard Engineering is authorized to make applications, answer questions related to, and provide information pertaining to the project.

Norfolk County, Long Point Regional Conservation Authority, and/or any other governing agencies involved with this project are hereby authorized to release any permits, documents, or information regarding the project to Girard Engineering.

We understand that it will be the shared responsibility of the owners and the agent for ensuring that all work is carried out in accordance with the Permit, the Ontario Building Code / Act, and all applicable laws / by-laws and policies of Norfolk County and Long Point Regional Conservation Authority.

Owner (Print): Kaveh Nateghi

Owner (Sign): *Dr. K. Nateghi*

Date: Aug 30 2024



Long Point Region Conservation Authority

PERMIT No. LPRCA-178/24 **PROHIBITED ACTIVITIES, EXEMPTIONS AND PERMITS** (CONSERVATION AUTHORITIES ACT - ONTARIO REGULATION 41/24)

4 Elm Street
Tillsonburg, ON
N4G 0C4
Phone (519) 842-4242
Fax (519) 842-7123
www.lprca.on.ca

Permission has been granted to:

Applicant:	<u>Angele and Kaveh Nateghi</u>	Telephone:	<u>226-567-4601</u>
Address:	<u>409 Nelson Street West, Port Dover</u>	Email:	<u>Kaveh.nateghi@gmail.com</u>
	<u>N0A 1N0</u>		
Agent:	<u>Girard Engineering – Drew Fallowfield</u>	Telephone:	<u>519-879-6875</u>
Address:	<u>682 Peel Street, Woodstock</u>	Email:	<u>DFallowfield@girardengineering.ca</u>
	<u>N4S 1L3</u>		

Location/Address of works: 409 Nelson Street West. 331033401009300

Lot: 13 **Plan:** 187 **Municipality:** Norfolk County

Description of Works: to construct stairs from the top of bank down to shoreline protection with intermittent landings and a 42 m² (452 ft²) deck.

Type of fill: n/a

This permit is valid on the above location only for the period of:

DATE: October 2, 2024 to October 2, 2026

This permit shall be subject to the following conditions:

The Applicant and owner, by acceptance of and in consideration of the issuance of this permit, agrees to the following conditions:

GENERAL CONDITIONS: (SEE REVERSE SIDE OF PERMIT)

SPECIFIC CONDITIONS:

1. Locations and dimensions of proposed works must be as indicated on the enclosed copy of the work permit application dated August 30, 2024 and the associated information.

GENERAL CONDITIONS:

1. This permit does not preclude any approvals required by any other laws or regulations.
2. Temporary sediment & erosion control measures shall be installed around any disturbed and/or exposed ground or excavated material stockpiles, remain in place until the site has been suitably stabilized, and must be monitored regularly to ensure effectiveness. Remedial/Emergency measures must be taken at any sign of failure. This step is considered necessary to prevent the undesirable migration of silt.
3. The Conservation Authority should be contacted within 48 hours prior to the commencement of construction.
4. Authorized representatives of the Long Point Region Conservation Authority may at any time enter onto the lands which are described herein in order to make any surveys, examinations or inspections which are required for the purpose of insuring that the work(s) authorized by this permit are being carried out according to the terms of this permit.
5. It is the responsibility of the permittee to ensure the development is located within the extent of the property boundaries owned by the proponent.
6. This permit is not assignable.
7. The project shall be carried out generally as per the plans submitted in support of the application as they may be amended by conditions of this permit.
8. This approval does not guarantee the soundness of the proposed work and it is the responsibility of the permittee to monitor and maintain the construction activity to ensure the integrity of the work.
9. The applicant agrees to maintain all existing drainage patterns.
10. Any activity or development other than that identified in this permit application must be reviewed by the LPRCA; at which time, staff will determine if additional approvals or an amended permit will be required.
11. Permits are valid for two years. No notice will be issued on expiration of the permit and it is the responsibility of the permittee to ensure a valid permit is in effect at the time work is occurring.



Long Point Region Conservation Authority

4 Elm Street, Tillsonburg, ON N4G 0C4

Tel: (519) 842-4242 Fax: (519) 842-7123

Email: planning@lprca.on.ca Website: www.lprca.on.ca

Permit Application – Schedule A

PROHIBITED ACTIVITIES, EXEMPTIONS AND PERMIT (O. Reg. 41/24)

Owner's Contact Information:	
Name: Angela & Kaveh Nategehi	E-mail: kaveh.nateghi@gmail.com
Mailing Address: 409 Nelson Street West	Postal Code: N0A 1N0
City/Town: Pt. Dover	Primary Phone: 226-567-4601
Agent/Consultant/Contractor's Contact Information:	
Name: Girard Engineering - Drew Fallowfield	E-mail: dfallowfield@girardengineering.ca
Mailing Address: 682 Peel Street	Postal Code: N4S 1L3
City/Town: Woodstock	Primary Phone: 519-879-6875
Location of Proposed Work:	
Municipal Address: 409 Nelson Street West	
Tax Assessment Roll Number: 3310334010093000000	
City/Town: Pt. Dover	Township: Norfolk County
Lot: LOT 13 PT LOTS 14 15 16 PT BLK A PT BLK B PT LOT 10	Concession/Plan: CON 1 / PDOV PLAN 187

Proposed Work: (Check all appropriate boxes)

- ☐ Place, dump, remove fill
- ☐ Site grading
- ☒ Construct a new building or structure
- ☐ Alter or renovate an existing building or structure
- ☐ Construct or replace a septic system
- ☐ Construct erosion control or shoreline protection
- ☐ Construction of new, or replacement of an existing watercourse crossing
- ☐ Other: _____

scription of Proposed Works:

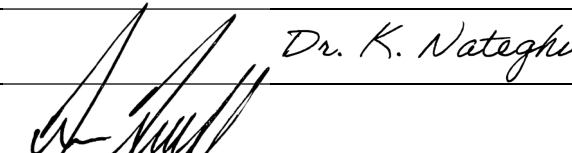
Construct Stairs (with intermittent landings) from the Top of Bank down to a New Deck at the Bottom of Bank at rear of property

Pre-consultation Completed: es ☐ No ☒

Proposed Start Date:	October 2024
Proposed Completion Date:	Spring 2025

Existing squar footage:	0.00 sq.ft.
Proposed square footag :	743.12 sq.ft.
Quantity of fill (m ³) if applicabl :	

I understand that the information contained in this application form is accurate to the best of my knowledge, and that the staff of the Long Point Region Conservation Authority (LPRCA) will undertake a detailed inspection of the subject lands as part of the application process.

Signature of Owner:	 Dr. K. Nateghi	Date:
Signature of Agent:		Date: 8/29/24

**Prohibited Activities, Exemptions and Permits
Ontario Regulation 41/24**

PROPERTY OWNER AUTHORIZATION

Subject Property:
Municipal Address: 409 Nelson Street West , Pt. Dover, ON N0A 1N0
Municipality: Norfolk County
I/We: Angela & Kaveh Nategehi
Hereby Authorize: Girard Engineering c/o Drew Fallowfield

To submit the enclosed application to the Long Point Region Conservation Authority, to appear on my behalf at any hearing(s) of the application, and to provide any information or materials required by the Board relevant to the application for the purposes of obtaining permission to develop, interfere with a wetland, or alter a shoreline or watercourse in accordance with the requirements of Ontario Regulated 41/24 as amended.

Signature of Owner: <i>Dr. K. Nategehi</i>	Date:
---	--------------

☒ Please copy the Owner on correspondence between the Conservation Authority and Agent.

APPLICATION FORM INSTRUCTIONS

Owner	The legal owner(s) of the property where the proposed development or alteration will be carried out
Agent	If the owner has assigned another party as an agent to act on the owner's behalf for the project, written authorization from the owner is required
Quantity of Fill	Approximate quantity expressed in cubic metres, cubic yards, trucks loads (12 yards) or tandem truck loads (18 yards)
Floor Area	For residential development, area of living space including full height basement and additional storeys, but not including attached garage, non-habitable crawl space, open breezeways, decks, or porches

Roll #:		Date:	
----------------	--	--------------	--

APPLICATION CHECKLIST

Submission: LPRCA permit applications along with supporting information may be submitted in person to our office, by email, or mail.

Pre-consultation: Please contact LPRCA staff regarding the requirements specific to your proposal. Also, please make sure your contractors and consultants contact LPRCA staff before completing detailed drawings or technical studies.

Complete application: A complete application package includes (check all applicable):

- ☐ 1. A plan of the area showing the property boundary, type and location of the proposed development activity, or a plan of the area showing the plan view and cross-section details of an activity to straighten, change, divert, or interfere with the existing channel of a river, creek, stream or watercourse, including a change or interference with a wetland.
- ☐ 2. The elevations of existing buildings, if any, as well as grades and the proposed elevations of any buildings and grades after the development activity or other activity.
- ☐ 3. The proposed use of any buildings and structures following completion of the development activity or a statement of the purpose of an activity to straighten, change, divert, or interfere with the existing channel of a river, creek, stream or watercourse, including changes or interference with a wetland.
- ☐ 4. A description of the methods to be used in carrying out an activity to straighten, change, divert, or interfere with the existing channel of a river, creek, stream, or watercourse, including changes or interference with a wetland.
- ☐ 5. Drainage details before and after the development activity or other activity.
- ☐ 6. A complete description of any type of fill proposed to be placed or dumped.
- ☐ 7. The start and completion dates of the development activity or other activity.
- ☐ 8. A confirmation of authorization for the proposed development activity or other activity given by the owner of the subject property, if the applicant is not the owner
- ☐ 9. Any other technical information, studies, or plans that the authority requests, including information requested during pre-submission consultations between the authority and the applicant.

Technical Reports: One or more of the following technical reports may be required (advised by LPRCA staff)

- ☐ 1. Design drawings and description of the design elements for flood-proofing measures, stamped and certified by a qualified professional engineer (for development in floodplains and flood hazard areas).
- ☐ 2. Slope stability study and erosion analysis, prepared by a qualified professional with expertise in geotechnical engineering, to determine the stable top-of-bank, the minimum development setback to address the potential erosion hazards, and associated foundation, construction, grading, and drainage recommendations, in accordance with the Provincial Technical Guidelines (for development in erosion hazard areas).
- ☐ 3. Geotechnical investigation, by a qualified professional geotechnical engineer, of site soil and groundwater conditions related to building foundation type and design requirements, in accordance with the *Ontario Building Code* to facilitate subsequent building permit (for development in area with organic soils).
- ☐ 4. Coastal engineering assessment prepared by a qualified professional with expertise in coastal engineering in accordance with LPRCA's Shoreline Management Plan and the Provincial Technical Guidelines addressing hydrodynamic forces affecting the design and indicating how the aggravation of erosion on neighbouring properties is avoided (for shoreline alterations).
- ☐ 5. Environmental Impact Study (EIS) clearly indicating that there will be no negative impact to the form or function of the wetland to the satisfaction of LPRCA (for development near wetlands).
- ☐ 6. Hydraulic analysis by a qualified professional with expertise in water resource engineering addressing flood conveyance, storage-discharge, and changes in flood levels on-site and on adjacent properties (for development in floodplains, watercourse alterations).
- ☐ 7. Complex and large-scale proposals may require additional technical studies and plans.

GENERAL CONDITIONS OF PERMIT

1. This permit does not absolve the permittee of the responsibility of obtaining necessary permission from applicable federal and provincial agencies or local municipalities.
2. The permittee agrees by acceptance of the permit:
 - a. To indemnify and save harmless, the Long Point Region Conservation Authority and its officers, employees, or agents from against all damage, injury, loss, costs, claims, demands, actions, and proceedings, arising out of or resulting from any act or omission of the permittee or of any of this agents, employees or contractors relating to any of the particular terms or conditions of this permit.
 - b. That this permit shall not release the permittee from any legal liability or obligation, and remains in force subject to all limitations, requirements, and liabilities imposed by law.
 - c. To provide certification of conformance to ensure compliance with the intent of the permit. This certification must be provided by an accredited professional and is to be submitted as may be specified in the permit.
3. Authorized representatives of the Long Point Region Conservation Authority will be granted entry at any time into lands which are the subject of this permit application in order to make such surveys, examinations, investigations, inspections, or other arrangements which such representatives deem necessary.
4. The project shall be carried out generally as per the plans submitted in support of the application as they may be amended by conditions of this permit.
5. Any activity or development other than that identified in this permit application must be reviewed by the LPRCA; at which time, staff will determine if additional approvals or an amended permit will be required.
6. The Long Point Region Conservation Authority may, with notice, cancel the permit or may change any of the conditions at any time if it is determined that the conditions of the permit have not been met.
7. Temporary sediment and erosion control measures shall be installed around any disturbed and/or exposed ground or excavated material stockpiles and remain in place until the site has been suitably stabilized, with regular monitoring to ensure effectiveness. Remedial/emergency measures must be taken at any sign of failure.
8. The applicant agrees to maintain all existing drainage patterns except as expressly identified in the permit.
9. It is the responsibility of the permittee to ensure the development is located within the extent of the property boundaries owned by the proponent.
10. This approval does not guarantee the soundness of the proposed work and it is the responsibility of the permittee to monitor and maintain the construction activity to ensure the integrity of the work.
11. The permit shall not be assigned (non-transferrable).
12. Permits are valid for the period of time indicated on the permit. No notice will be issued on expiration of the permit and it is the responsibility of the permittee to ensure a valid permit is in effect at the time of work occurring.
13. The Conservation Authority should be contacted within 48 hours prior to the commencement of construction.
14. The Long Point Region Conservation Authority may make copies of Schedule A, as required, for the purposes of assessing the proposal and, when approved, to form part of the permit issued.

NOTICE OF COLLECTION

Pursuant to section 29(2) of the Municipal Freedom of Information and Protection of Individual Privacy Act, 1989, the personal information contained on this form is collected under the legal authority of the Conservation Authorities Act, R.S.O. 1980, c85, as amended. This information is used to assess applications for and, where approved, issue comment. The name of the applicant, location of the work and a description of the project may be published in LPRCA documents, including agendas, reports and meeting minutes which are posted on the LPRCA website. Questions about the collection of personal information should be directed to the Freedom of Information Coordinator, Long Point Region Conservation Authority, 4 Elm Street, Tillsonburg, Ontario, N4G 0C4, (519) 842-4242.



SITE AREA = 0.23 Ha.

DESCRIPTION OF LAND

BEING LOT 13 AND PART OF LOTS 14, 15 AND 16,
AND PART OF BLOCKS "A" AND "B", REGISTERED PLAN 187
REGISTERED PLAN 187
AND PART OF LOT LOT 10 CONCESSION 1
IN THE GEOGRAPHIC TOWNSHIP OF WOODHOUSE
IN NORFOLK COUNTY

NOTE:

TOP OF FOUNDATION = 189.32
UNDERSIDE OF FOOTING = 186.78
TOP OF RETAINING WALL SHOWN TW
PROPOSED RETAINING WALL SHOWN TRW

THE DISTANCE FROM THE TOP OF FOUNDATION
TO THE UNDERSIDE OF FOOTING IS 2.54m AND
SHALL BE CONFIRMED BY THE CONTRACTOR
PRIOR TO EXCAVATION

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CAUTION:

THIS IS NOT A PLAN OF SURVEY OR SURVEYOR'S
REPORT AND SHALL NOT BE USED FOR
TRANSACTION OR FINANCING PURPOSES

F.W.	-	J.P.H.
BOOK	-	W059-61,64,66
CALC.	-	W.J.S.
PLAN	-	W.J.S.
CHECK	-	K.S.H.
CLIENT	-	PROMINENT
JOB No.	-	19-2257

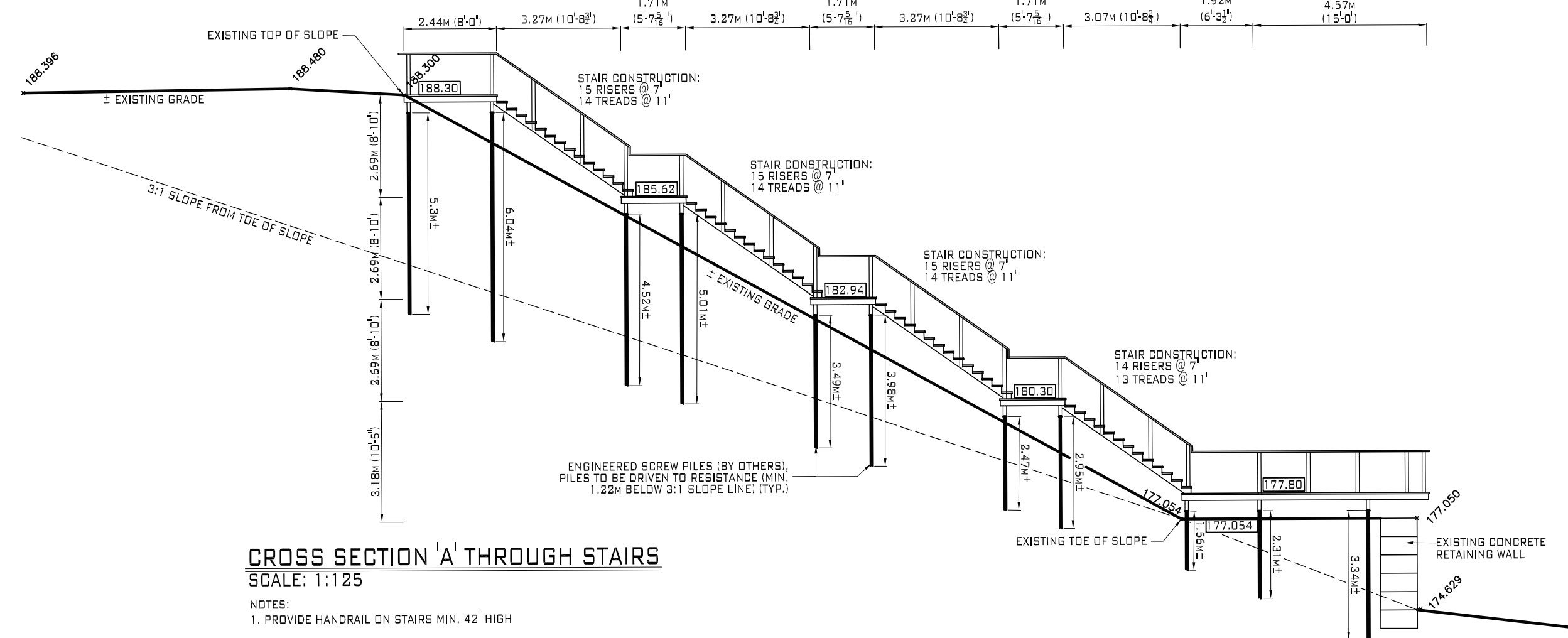
P1903A8953-2

LEGEND

STANDARD IRON BAR	SHOWN	SIB	■
IRON BAR	SHOWN	IB	■
ROUND IRON BAR	SHOWN	IB	⊗
ORIGIN UNKNOWN	SHOWN	OU	
TOP OF FOUNDATION	SHOWN	TOF	
BELL BOX	SHOWN	BBX	□
BENCH MARK	SHOWN	BM	⊙
MANHOLE	SHOWN	MH	⊗

NOTE:

THE VARIOUS UTILITY LOCATIONS SHOWN ON THIS PLAN ARE
BASED ON PHYSICAL LOCATES.
PRIOR TO ANY ON SITE CONSTRUCTION ACTIVITY A VERIFICATION
LOCATE IS BOTH RECOMMENDED AND ADVISED.



ACTUAL NORTH

BOTH THE CLIENT AND THE CONTRACTOR, INCLUDING ALL SUB-TRADES, SHALL REVIEW ALL DRAWINGS AND VERIFY ALL DIMENSIONS. IT IS THE RESPONSIBILITY OF THE CLIENT AND THE CONTRACTOR TO REPORT ANY DISCREPANCIES TO THE ENGINEER BEFORE PROCEEDING WITH CONSTRUCTION.

THESE DRAWINGS ARE TO BE READ AND NOT TO BE SCALED.

[illegible]

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ONTARIO LAND SURVEYORS
R.R.1, SIMCOE, ONTARIO, N3Y 4J9
(51 PARK ROAD)
PHONE: (519) 426-0842
E-mail: surveyors@amtelecom.net

DESIGNED BY:



girard
ENGINEERING

2478153 ONTARIO INC.
212 MAIN STREET WEST P.O. BOX 98
OTTERVILLE, ONTARIO NOJ 1R0

TEL: 1-519-879-6875
FAX: 1-519-879-6536
EMAIL: INFO@GIRARDENGINEERING.CA

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CONTRACTOR:

DOVERSCAPES INC.
DARREN OOSTDYK
53 GEOFFREY ROAD,
PT. DOVER, ONTARIO

DESIGNED FOR:

ANGELA & KAVEH NATEGEHI
409 NELSON ST. W
PT. DOVER, ONTARIO

SITE PLAN FOR PROPOSED STAIRS

OVERALL PLAN

SCALE:	1:250	DRAWING NO: 100
DATE:	AUGUST 2024	
DRAWING BY:	T. SPRAGUE/ T. STRETCH	
DESIGNED BY:	M. VASANTHA	
CHECKED BY:	M. VASANTHA	
PROJECT NO:	24-019	

100



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ONTARIO LAND SURVEYORS
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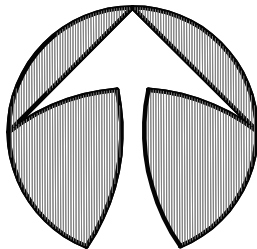
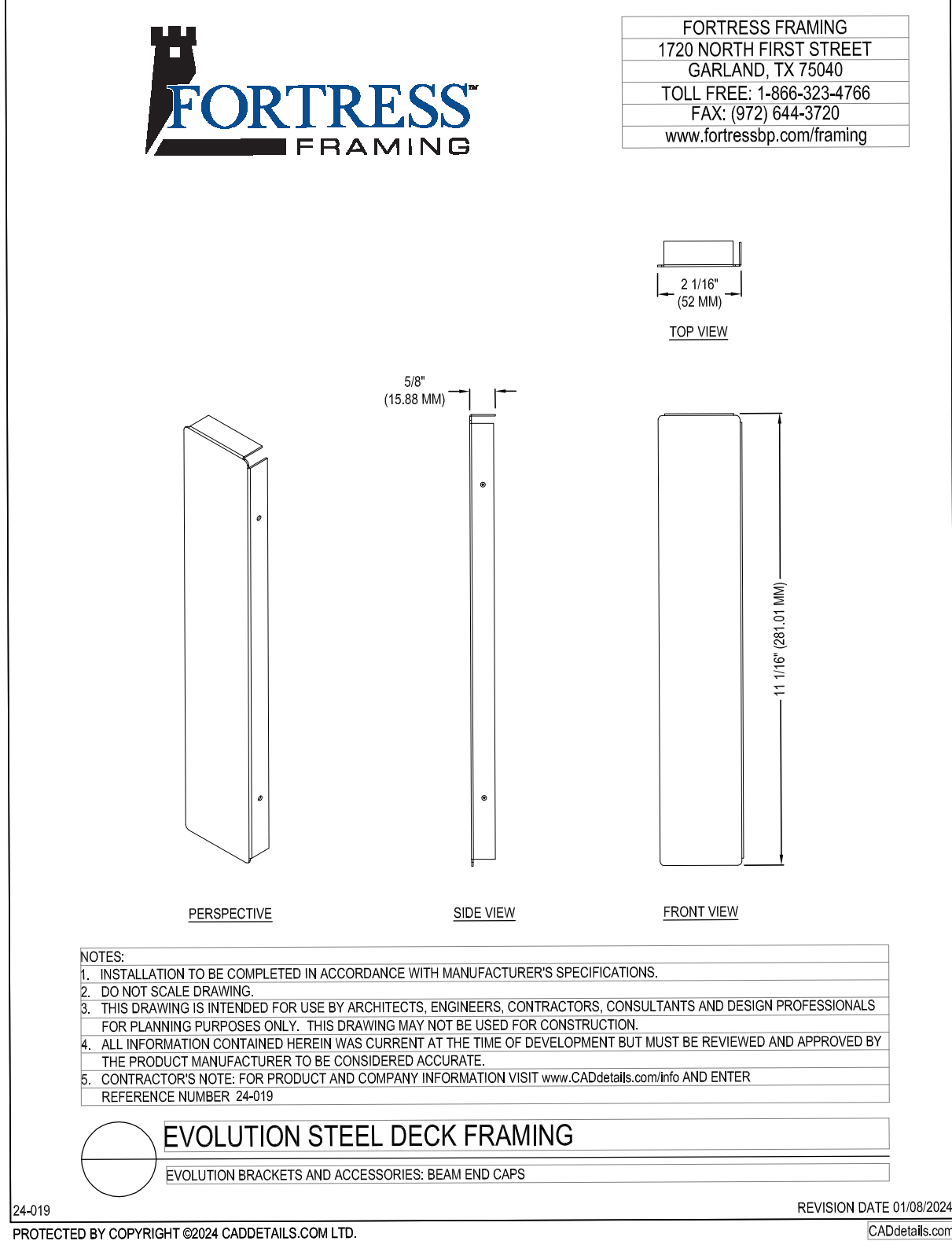
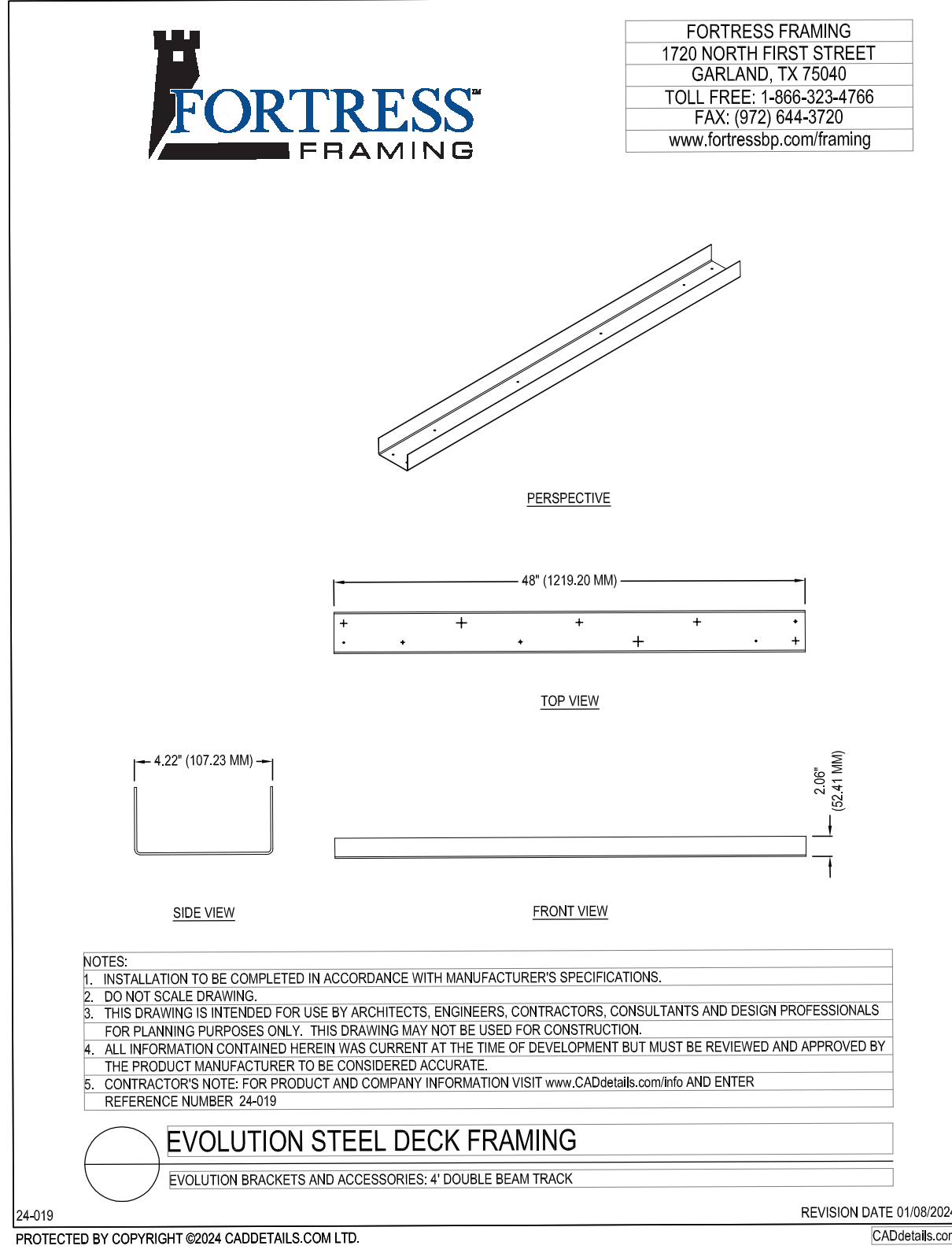
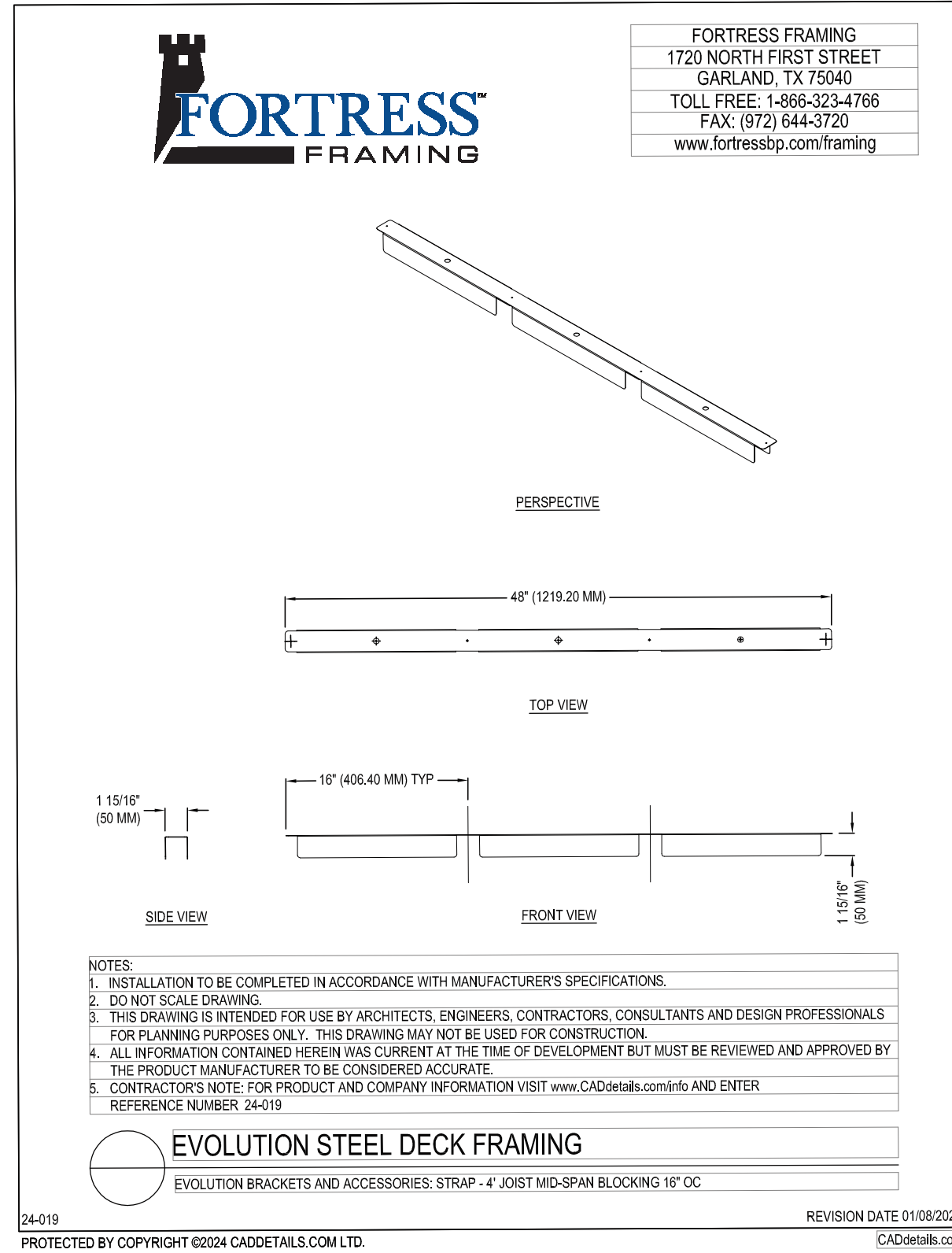
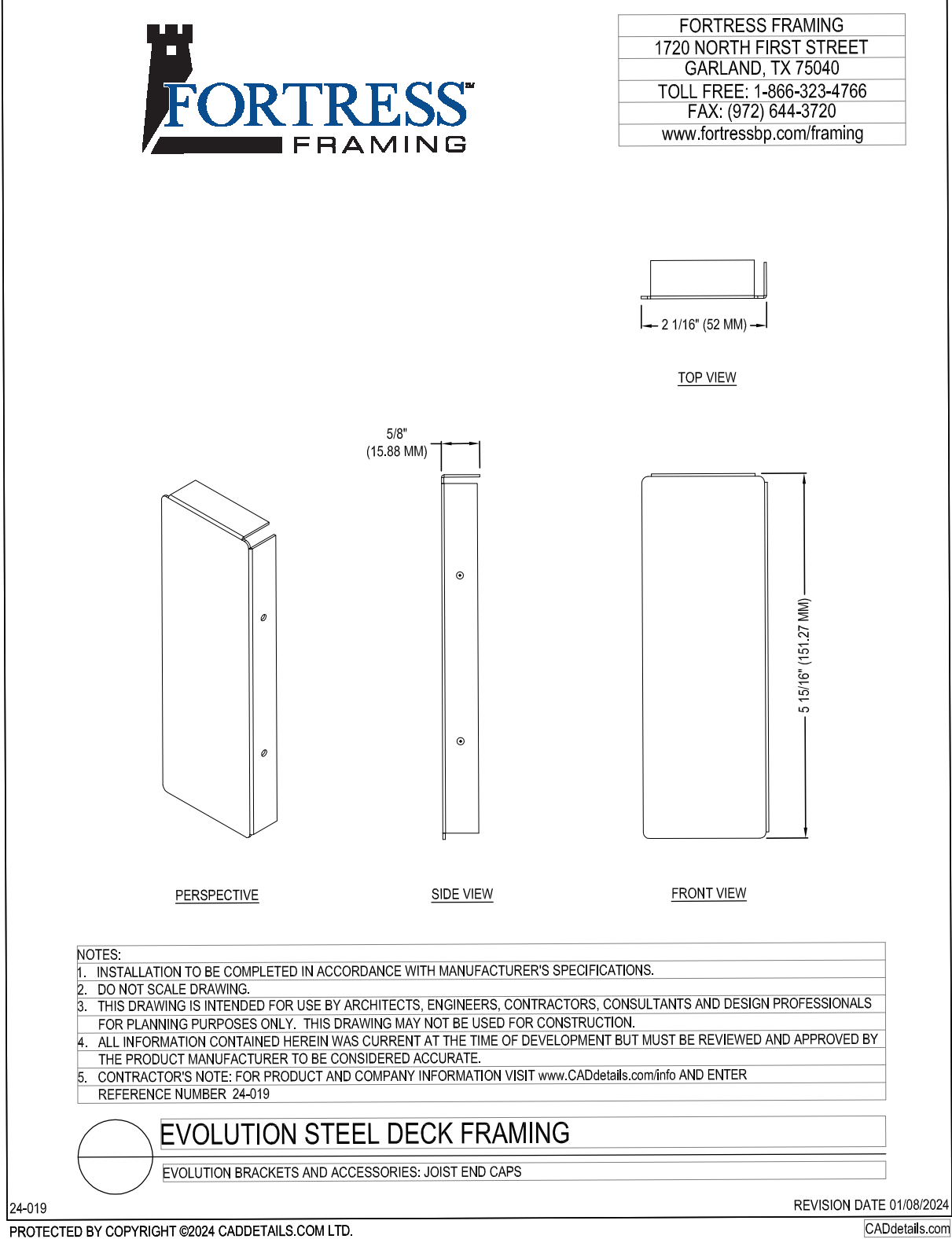
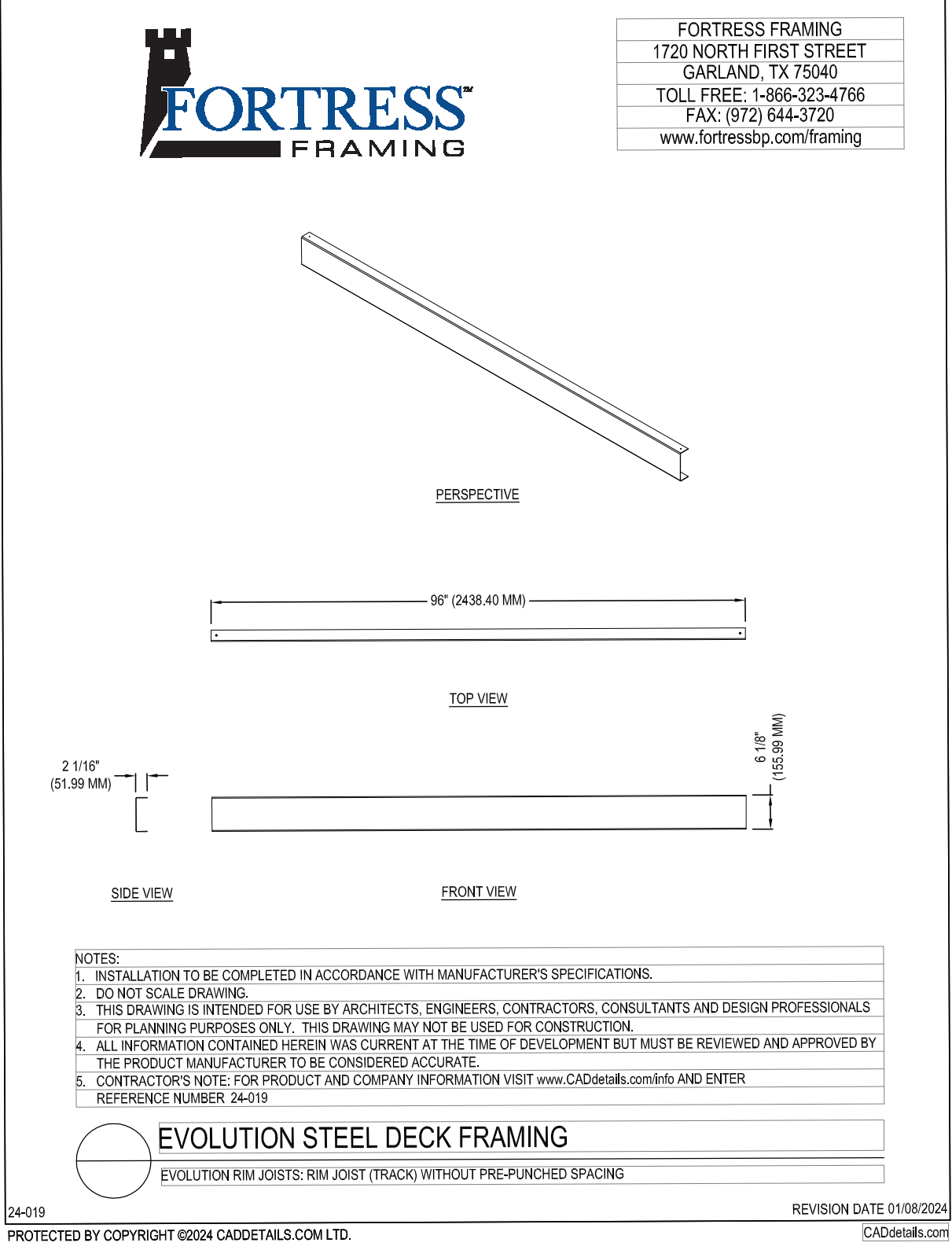
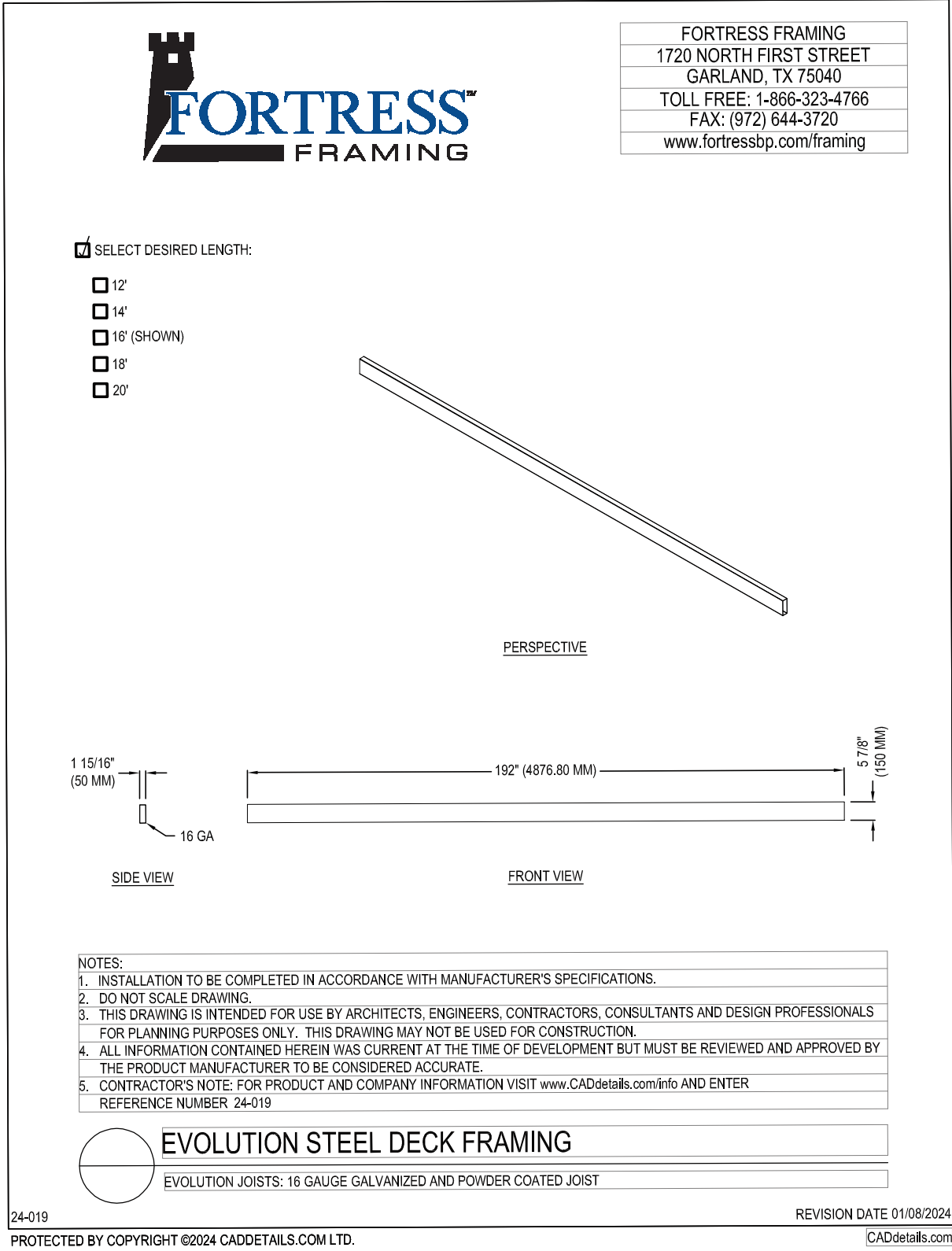
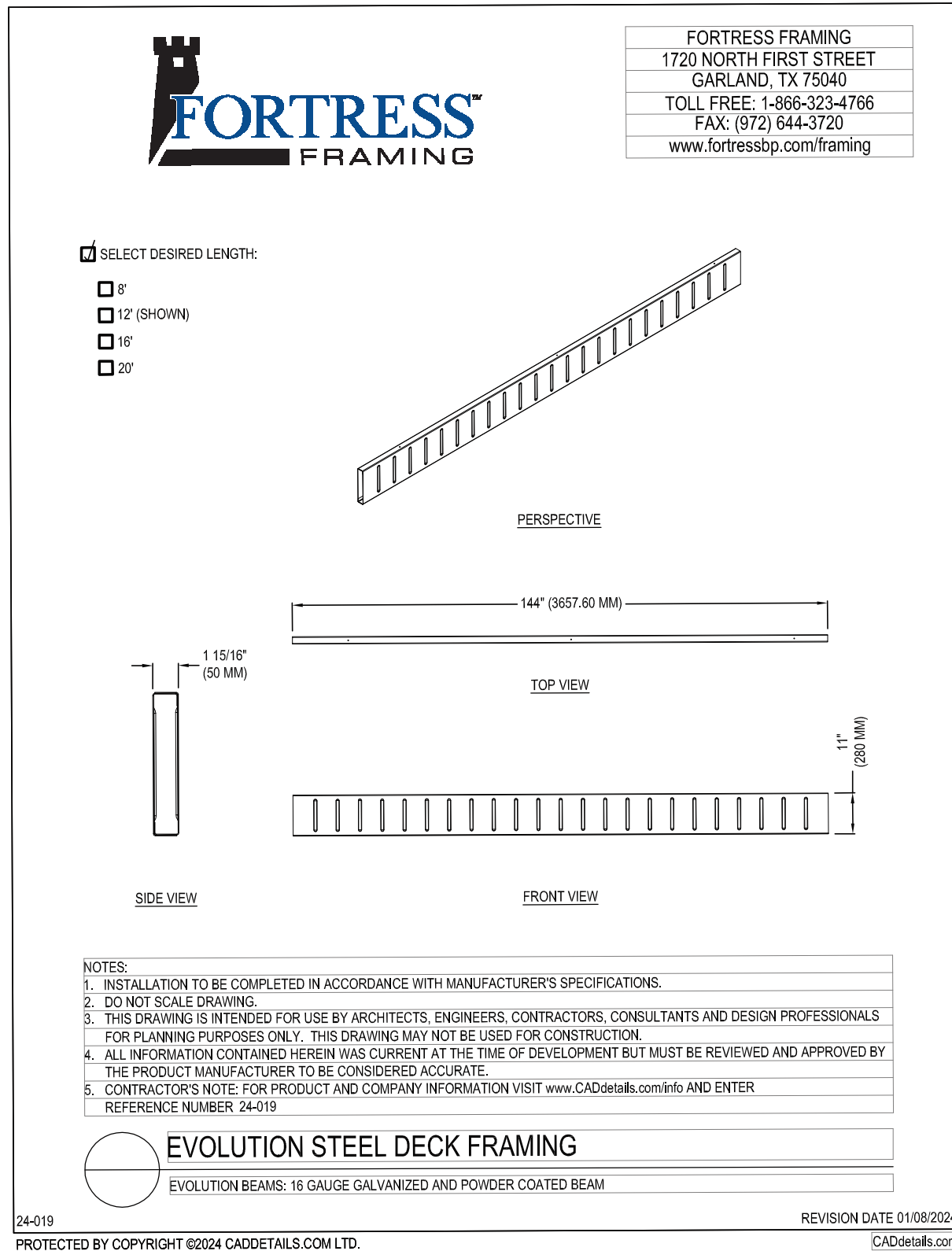
**CONTRACTOR**

53 GEOFFREY ROAD,
PT. DOVER, ONTARIO

409 NELSON ST. W.
PT. DOVER, ONTARIO

OVERALL PLAN

102



ACTUAL NORTH

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NO:	REVISION:	BY:	DATE:
1	ISSUED FOR PRELIMINARY REVIEW	TS	JUNE 6, 2024
2	ISSUED FOR PRELIMINARY REVIEW	TS	JULY 22, 2024
3	ISSUED FOR PERMIT & CONSTRUCTION	TS	AUGUST 22, 2024

ORIGINAL SURVEY BY:

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ONTARIO LAND SURVEYORS

R.R.1, SIMCOE, ONTARIO, N3Y 4J9
(51 PARK ROAD)

PHONE: (519) 426-0842

E-mail: surveyors@amtelecom.net

DESIGNED BY:

girard
ENGINEERING

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212 MAIN STREET WEST P.O. Box 98
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TEL: 1-519-879-6875

FAX: 1-519-879-6536

EMAIL: info@girardengineering.ca

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DARREN OOSTDYK
53 GEDFREY ROAD,
PT. DOVER, ONTARIO

DESIGNED FOR:

ANGELA & KAVEH NATEGEHI
409 NELSON ST. W
PT. DOVER, ONTARIO

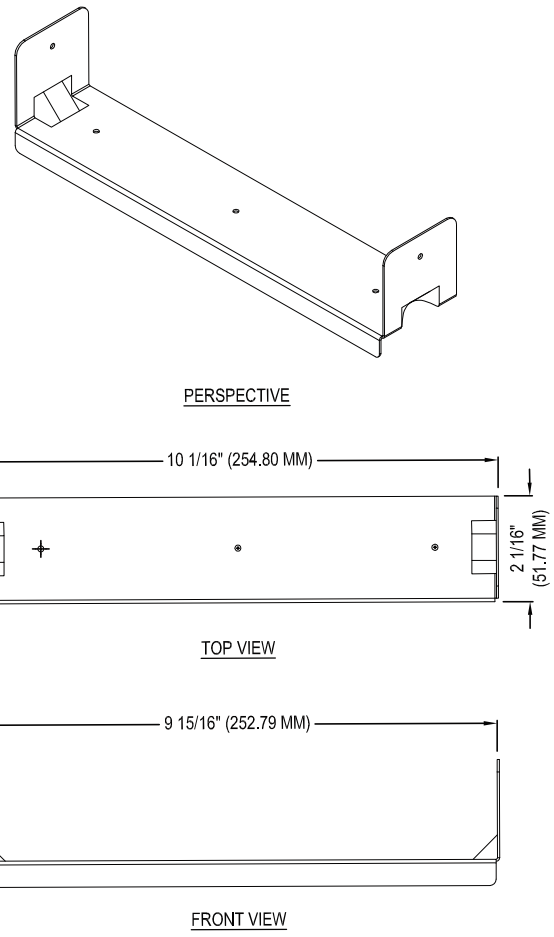
SITE PLAN FOR
PROPOSED STAIRS

FORTRESS BUILDING
PRODUCT DETAILS

SCALE: 1:250	DRAWING NO: 103
DATE: AUGUST 2024	
DRAWING BY: T. SPRAGUE/ T. STREATCH	
DESIGNED BY: M. VASANTHA	
CHECKED BY: M. VASANTHA	
PROJECT NO: 24-019	



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GARLAND, TX 75040
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FAX: (972) 644-3720
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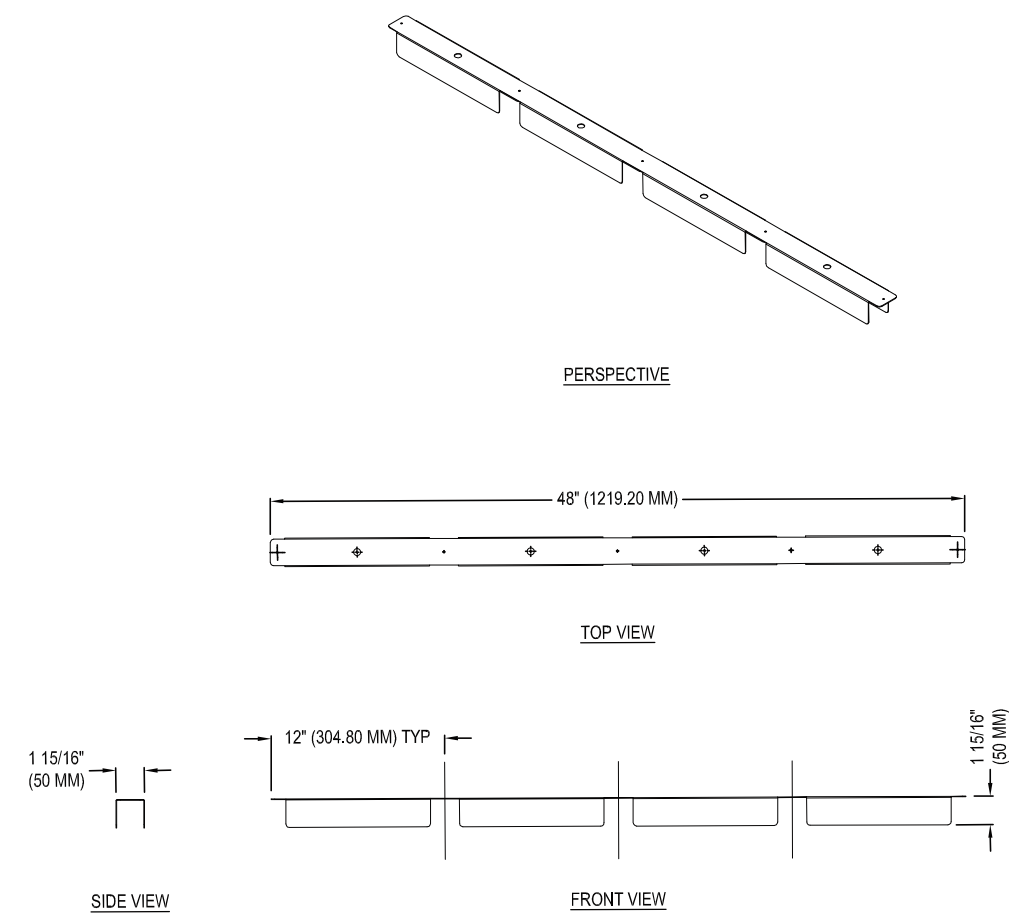
- NOTES:
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 2. DO NOT SCALE DRAWING.
 3. THIS DRAWING IS INTENDED FOR USE BY ARCHITECTS, ENGINEERS, CONTRACTORS, CONSULTANTS AND DESIGN PROFESSIONALS FOR PLANNING PURPOSES ONLY. THIS DRAWING MAY NOT BE USED FOR CONSTRUCTION.
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 5. CONTRACTORS NOTE: FOR PRODUCT AND COMPANY INFORMATION VISIT www.CADetails.com/info AND ENTER REFERENCE NUMBER: 24-019

EVOLUTION STEEL DECK FRAMING
EVOLUTION BRACKETS AND ACCESSORIES: PRE-SPACED 12" OC BLOCKING ABOVE BEAM

24-019 REVISION DATE 01/08/2024
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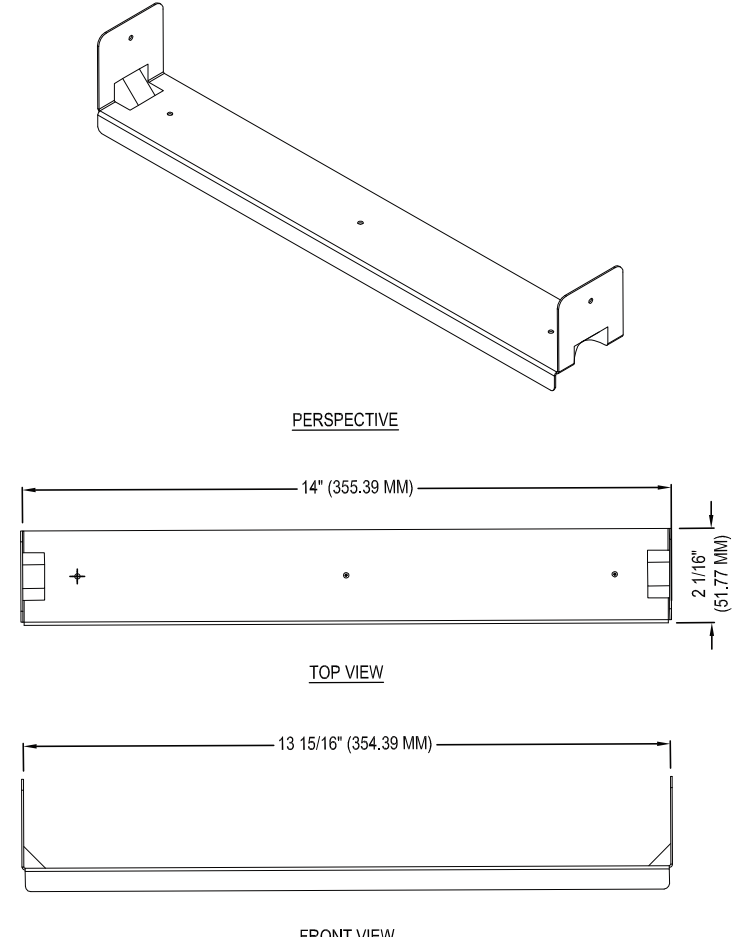
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EVOLUTION STEEL DECK FRAMING
EVOLUTION BRACKETS AND ACCESSORIES: STRAP - 4" JOIST MID-SPAN BLOCKING 12" OC

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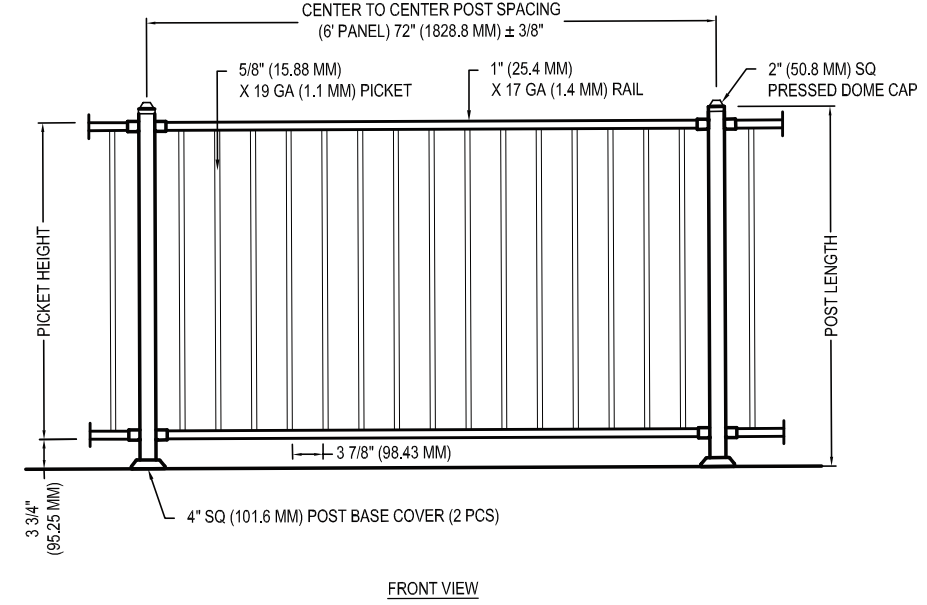
EVOLUTION STEEL DECK FRAMING
EVOLUTION BRACKETS AND ACCESSORIES: PRE-SPACED 16" OC BLOCKING ABOVE BEAM

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- SELECT DESIRED PICKET HEIGHT:
- 34" (863.8 MM)
 - 40" (1016 MM)
- SELECT DESIRED POST LENGTH:
- 39.5" (1003.3 MM)
 - 45.5" (1155.7 MM)



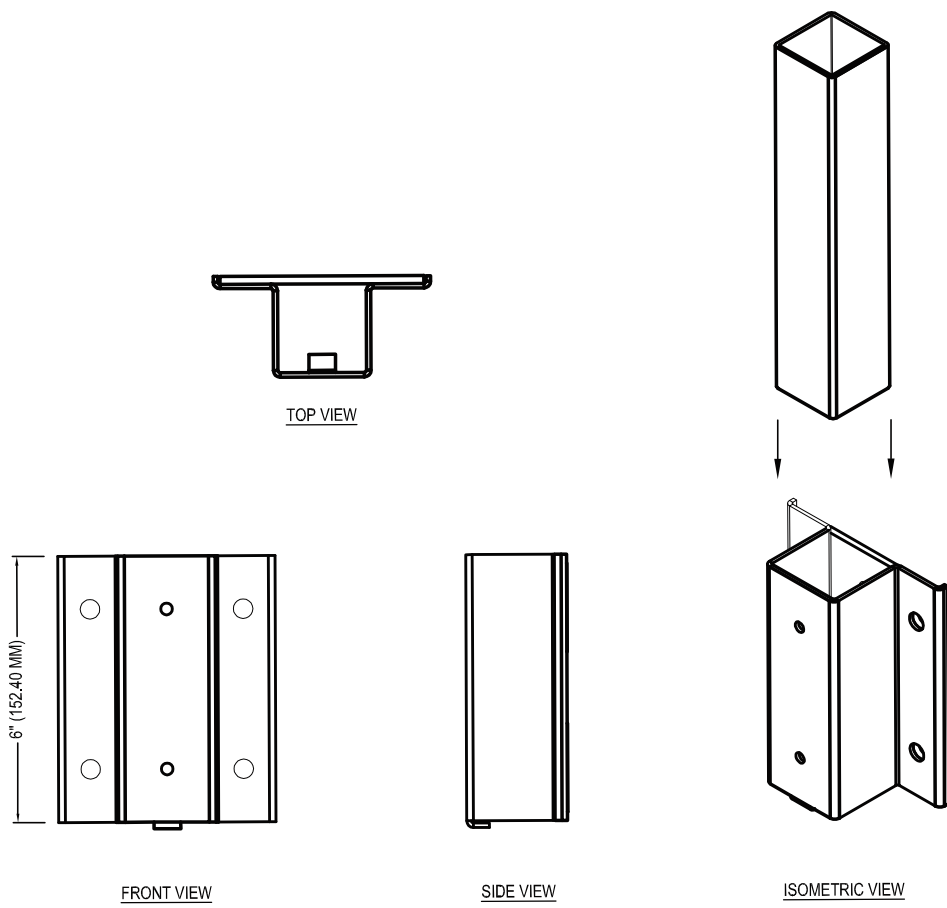
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1. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
 2. NOTE TO ARCHITECT: SCALE DRAWING IN AUTOCAD MODEL SPACE.
 3. THIS DRAWING IS INTENDED FOR USE BY ARCHITECTS, ENGINEERS, CONTRACTORS, CONSULTANTS AND DESIGN PROFESSIONALS FOR PLANNING PURPOSES ONLY. THIS DRAWING MAY NOT BE USED FOR CONSTRUCTION.
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 5. CONTRACTORS NOTE: FOR PRODUCT AND COMPANY INFORMATION VISIT www.CADetails.com/info AND ENTER REFERENCE NUMBER: 24-019

FE26 IRON RAILING
FE26: 6" PANEL - RESIDENTIAL

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- NOTES:
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 2. NOTE TO ARCHITECT: SCALE DRAWING IN AUTOCAD MODEL SPACE.
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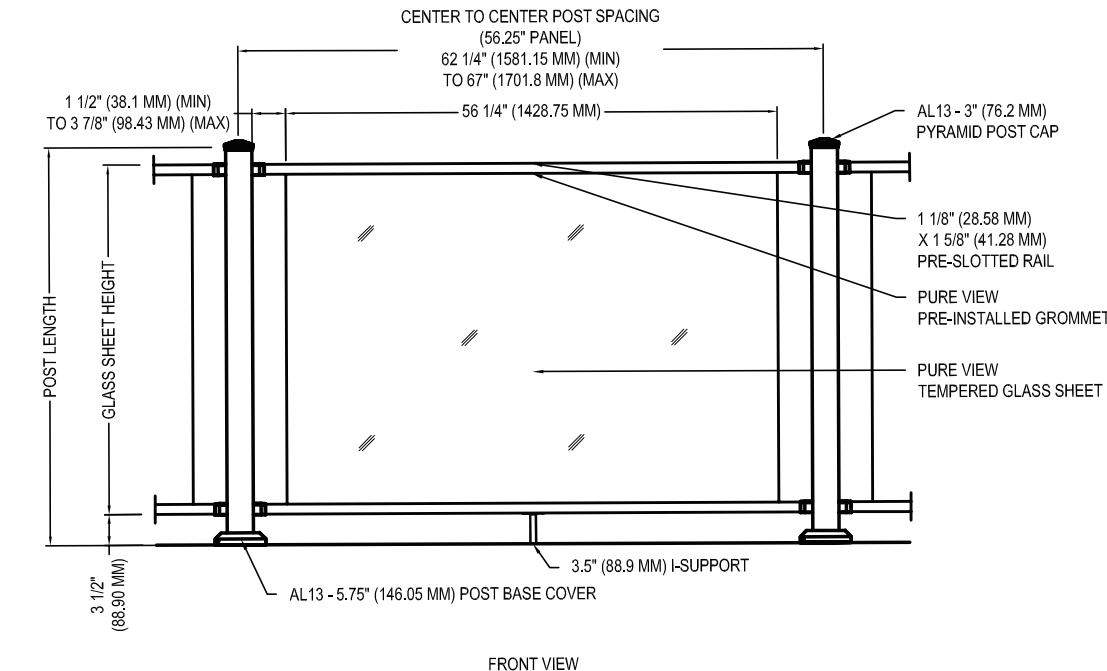
FE26 IRON RAILING
FE26: FASCIA MOUNT BRACKET - 2" STRAIGHT

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FAX: (972) 644-3720
www.fortressbp.com/railing

- SELECT DESIRED PICKET HEIGHT:
- 34" (863.8 MM)
 - 40" (1016 MM)
- SELECT DESIRED POST LENGTH:
- 39.5" (1003.3 MM)
 - 45.5" (1155.7 MM)



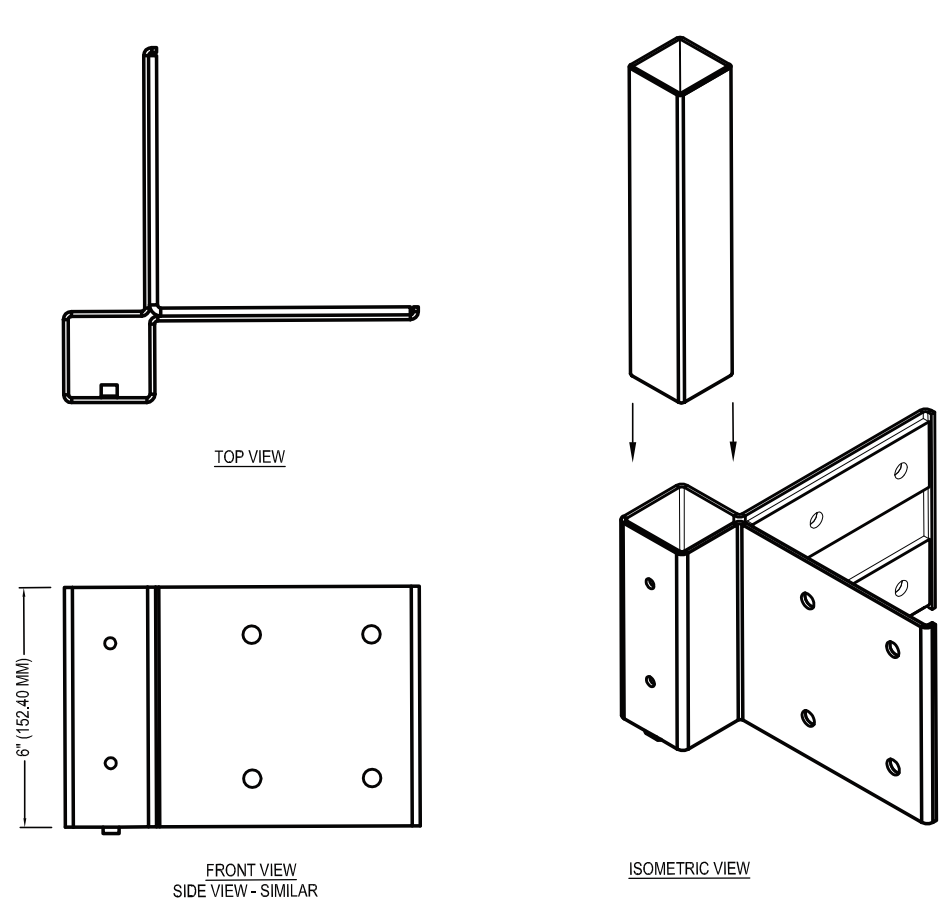
- NOTES:
1. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
 2. NOTE TO ARCHITECT: SCALE DRAWING IN AUTOCAD MODEL SPACE.
 3. THIS DRAWING IS INTENDED FOR USE BY ARCHITECTS, ENGINEERS, CONTRACTORS, CONSULTANTS AND DESIGN PROFESSIONALS FOR PLANNING PURPOSES ONLY. THIS DRAWING MAY NOT BE USED FOR CONSTRUCTION.
 4. ALL INFORMATION CONTAINED HEREIN WAS CURRENT AT THE TIME OF DEVELOPMENT BUT MUST BE REVIEWED AND APPROVED BY THE PRODUCT MANUFACTURER TO BE CONSIDERED ACCURATE.
 5. CONTRACTORS NOTE: FOR PRODUCT AND COMPANY INFORMATION VISIT www.CADetails.com/info AND ENTER REFERENCE NUMBER: 24-019

PURE VIEW GLASS RAILING
PURE VIEW: FULL GLASS PANEL AL13 - 56.25 PANEL - RESIDENTIAL

24-019 REVISION DATE 01/08/2024
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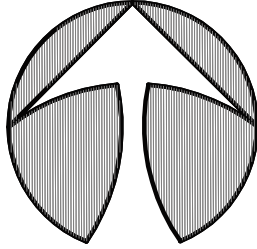
FORTRESS RAILING PRODUCTS
1720 NORTH FIRST STREET
GARLAND, TX 75040
TOLL FREE: 1-866-323-4766
FAX: (972) 644-3720
www.fortressbp.com/railing



- NOTES:
1. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
 2. NOTE TO ARCHITECT: SCALE DRAWING IN AUTOCAD MODEL SPACE.
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 5. CONTRACTORS NOTE: FOR PRODUCT AND COMPANY INFORMATION VISIT www.CADetails.com/info AND ENTER REFERENCE NUMBER: 24-019

FE26 IRON RAILING
FE26: FASCIA MOUNT BRACKET - 2" OUTSIDE CORNER

24-019 REVISION DATE 01/08/2024
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ACTUAL NORTH

BOTH THE CLIENT AND THE CONTRACTOR, INCLUDING ALL SUB-TRADES, SHALL REVIEW ALL DRAWINGS AND VERIFY ALL DIMENSIONS. IT IS THE RESPONSIBILITY OF THE CLIENT AND THE CONTRACTOR TO REPORT ANY DISCREPANCIES TO THE ENGINEER BEFORE PROCEEDING WITH CONSTRUCTION.

THESE DRAWINGS ARE TO BE READ AND NOT TO BE SCALED.

NO:	REVISION:	BY:	DATE:
1	ISSUED FOR PRELIMINARY REVIEW	TS	JUNE 6, 2024
2	ISSUED FOR PRELIMINARY REVIEW	TS	JULY 22, 2024
3	ISSUED FOR PERMIT & CONSTRUCTION	TS	AUGUST 23, 2024

ORIGINAL SURVEY BY:

JEWITT AND DIXON LTD.
ONTARIO LAND SURVEYORS
R.R.1, SIMCOE, ONTARIO, N3Y 4J9
(51 PARK ROAD)

PHONE: (519) 426-0842
E-mail: surveyors@amtelecom.net

DESIGNED BY:

girard ENGINEERING
2478153 ONTARIO INC.
212 MAIN STREET WEST P.O. Box 98
OTTERVILLE, ONTARIO N0J 1R0
TEL: 1-519-879-6875
FAX: 1-519-879-6536
EMAIL: info@girardengineering.ca

ENGINEERS STAMPS:



NOTE: THESE DRAWINGS ARE THE PROPERTY OF THE ENGINEER AND ARE NOT VALID UNLESS SEALED IN RED INK. THESE DRAWINGS ARE NOT TO BE REPRODUCED UNLESS AUTHORIZED BY THE ENGINEER.

CONTRACTOR:

DOVERSCAPES INC.
DARREN OOSTDYK
53 GEDFREY ROAD,
PT. DOVER, ONTARIO

DESIGNED FOR:

ANGELA & KAVEH NATEGEHI
409 NELSON ST. W
PT. DOVER, ONTARIO

SITE PLAN FOR
PROPOSED STAIRS

FORTRESS BUILDING
PRODUCT DETAILS

SCALE:	1:250
DATE:	AUGUST 2024
DRAWING BY:	T. SPRAGUE/ T. STREATCH
DESIGNED BY:	M. VASANTHA
CHECKED BY:	M. VASANTHA
PROJECT NO:	24-019

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Construction details:

- We will be cutting some vegetation (10-12' wide) in the proposed deck and stair area for access while building
- Foundation Helical Piles will be installed with a combination of hand electric pile driver tool, and stand behind skid steer in the lower (flat) deck area
- Each stair platform will then be built one at a time by being pre-framed on the top of the hill, then lowered down on a cart, and lifted into place by hand and secured to the foundation piles
- Once all the platforms are built, the lower deck landing will be framed using standard practice at the bottom of the hill
- Each platform will be connected together with stair stringers one at a time, now that the platforms have been installed
- Decking and railings will then be installed on the stringers and platforms using standard building practices by hand
- No heavy machinery or equipment will be used
- No large areas will be excavated or otherwise altered to any large degree
- The property owners are very conscious of the importance of the existing hill side and the whole plan has been designed with that thought in mind. Helical piles for minimal disturbance and efficient construction, steel framing and pvc decking to ensure that this project will long outlive all of us and no further work will be required on the hillside. Once the work is completed the forest and vegetation will grow back, leaving a staircase through a forest and a deck at the bottom to enjoy the scenery

212 Main Street West, P.O. Box 98
Otterville, Ontario N0J 1R0
Bus: 519-879-6875

Email: info@girardengineering.ca



682 Peel Street
Woodstock, Ontario N4S 1L3
Bus: 519-879-6875

Email: info@girardengineering.ca

To Whom it May Concern,

We, Angele & Kaveh Nateghi (the owners), hereby authorize 2478153 Ontario Inc. o/a Girard Engineering to act as an official agent with regards to the Proposed Stairs & Deck (the project) at 409 Nelson Street West In Port Dover, ON (the project address). Girard Engineering is authorized to make applications, answer questions related to, and provide information pertaining to the project.

Norfolk County, Long Point Regional Conservation Authority, and/or any other governing agencies involved with this project are hereby authorized to release any permits, documents, or information regarding the project to Girard Engineering.

We understand that it will be the shared responsibility of the owners and the agent for ensuring that all work is carried out in accordance with the Permit, the Ontario Building Code / Act, and all applicable laws / by-laws and policies of Norfolk County and Long Point Regional Conservation Authority.

Owner (Print): Kaveh Nateghi

Owner (Sign): *Dr. K. Nateghi*

Date: Aug 30 2024



APPLICABLE LAW CHECKLIST

The Building Code Act prohibits the issuance of a building permit if the proposed construction or demolition will contravene an applicable law as defined by the Building Code. The questions below will help you to determine if an applicable law applies to your project. No timeframe for building permit review can be established until all required applicable law approvals are completed and the approval documents are submitted to the Building Division.

If the answer is **YES** to any question, the relevant approval documents must be submitted with this permit application. Where any required approval has **NOT** been obtained, the agencies listed on the back of this form must be contacted to obtain approval, and the declaration on the bottom of this form must state accordingly.

Property Address: 409 Nelson Street West, Pt. Dover, ON N0A 1N0 **Permit Number** (office use) _____

Zoning By-Laws – Norfolk County Planning Department	YES	NO
Is/was relief required to permit a minor zoning variance in your proposal?		X
Is/was rezoning required to permit the proposed building or land use?		X
Is a land division or subdivision required and not yet fully completed?		X
Are municipal services required but not yet completed or available?		X

Planning Approval - Norfolk County Planning Department	YES	NO
Is this property regulated by Site Plan Control under Section 41 of the Planning Act?		X

Heritage - Norfolk County Heritage and Culture Department	YES	NO
Are you demolishing a building that is listed on the County's heritage inventory?		X
Is the building designated or in the process of being designated?		X
Is the property located in a heritage district or study area?		X

Construction and Fill Permits – Long Point Regional or Grand River Conservation Authority	YES	NO
Is the property located within a regulated area (i.e. abutting a ravine, watercourse, wetland, or shoreline)?	X	

Building and Land Use Permits - Ontario Ministry of Transportation	YES	NO
Is the property within 45m of a highway or 180 m from any highway intersection?		X
Is the property within 395m of a controlled highway intersection? (applies to Sign Permits)		X
Is this a major traffic generating project located within 800m of a highway?		X

Community Development Division- Building Department

185 Robinson Street, Suite 200, Simcoe, ON N3Y 5L6 • 519-426-5870 Ext. 6016

Clean Water Act – Public Works	YES	NO
Is the property located within a Source Water Protection regulated area?		X
If yes: does a Water Source Protection Plan restrict the land use you are proposing? (s.59 screening form may be required)		X

Agriculture and Farms - Ontario Ministry of Agriculture and Food	YES	NO
Is this a farm building that will house animals or manure?		X
Is this a milk processing plant?		X

Crown Lands Work Permit – Ministry of Natural Resources	YES	NO
Are you proposing to construct or place a structure or combination of structures that are in physical contact with more than 15 square meters of shore lands?		X
Are you proposing to build on Crown Land?		X

Electrical Conductor Clearances - Electrical Safety Authority	YES	NO
Are any overhead power lines located above or within 5.5 metres of the proposed building?		X

Environmental Approvals - Ministry of Environment, Conservation, Parks	YES	NO
Is a Record of Site Condition required to be filed because of a change to more sensitive land use? Is the property a former waste disposal site?		X
Is this project a major industrial, commercial, or government project?		X
Is this a renewable energy project?		X
Does this property have a Certificate of Property Use under the Environmental Protection Act?		X

Child Care Centres - Ministry of Education	YES	NO
Is a daycare proposed in any part of the building?		X

Seniors Centres - Ministry of Children, Community and Social Services	YES	NO
Is this a seniors project where Ontario Government funding is being sought?		X

Long Term Care Centres – Ministry of Health & Long Term Care	YES	NO
---	-----	----

Construction, alteration or conversion of building used for a nursing home?		X
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Education Act - Ministry of Education	YES	NO
Is the project being carried out on the property of an educational facility?		X
If so, is any or all building on the property being fully or partially demolished?		X

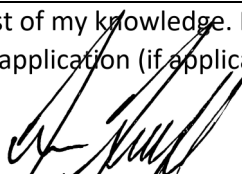
DECLARATION – I have considered the list of applicable laws in the Ontario Building Code as described above, and do hereby declare that:

	None of these applicable law approvals apply to this project
X	Applicable laws check 'yes' apply to this project, and approval documents are submitted with this application.
	Applicable laws checked 'yes' apply to this project; however, all approval documents have not yet been obtained

The information provided on this form is true to the best of my knowledge. I have authority to act on behalf of the owner, corporation, or partnership with respect to this application (if applicable).

Name: Girard Engineering
c/o Drew Fallowfield

Signature:



Date: August 29, 2024

Approvals from other agencies are required in many instances before a building permit can be processed and issued. These approvals are **NOT** administered by the Building Department. The fastest way to obtain a building permit is to ensure that all other required approvals are completed prior to permit application. The Building Department is required by law to prioritize applications that are fully complete in terms of applicable law approvals and document submissions. Building permit documents must be consistent with applicable law approvals. If you answer yes to any of the following question please reach out to these agencies for approvals.

Zoning and Planning – Community Services Division – Norfolk County

Zoning 519-426-5870 ext. 6064 or zoning@norfolkcounty.ca
Planning 519-426-5870 ext. 1842 or planning@norfolkcounty.ca

Planning Act, s.34, 34(5), 45, and Part VI

Zoning By-laws restrict such things as land use, lot size, building size, and setbacks. If your project does not comply with any part of the Zoning By-law, a minor variance or rezoning must be obtained before any building permit can be issued. Zoning By-laws also restrict the issuance of permits until any associated land division, subdivision, or municipal servicing is complete. **Planning Act, s.41**

Site Plan Approval applies to commercial, industrial, institutional, multi-residential and intensive livestock site plans. The site plan agreement must be registered before site plans will be approved.

Conservation Authority Permits

Grand River Conservation Authority (GRCA) 1-866-900-4722 or grca@grandriver.ca **Long Point Regional Conservation Authority (LPRCA)** 1-888-231-5408 or conservation@lprca.on.ca

Community Development Division- Building Department

185 Robinson Street, Suite 200, Simcoe, ON N3Y 5L6 • 519-426-5870 Ext. 6016

Conservation Authorities Act s. 28 (1)(c), regulation 166/06

Development within certain conservation regulated areas requires a construction and fill permit from the conservation authority before any building permit can be issued. GRCA or LPRCA will confirm if your property falls within their jurisdiction.

Highway Corridor Building & Land Use Permits

Ministry of Transportation (MTO) 1-800-265-6072 or www.mto.gov.on.ca/english/highway-bridges/highway-corridor-management/index.shtml

Public Transportation and Highway Improvement Act, s.34, 38

Ministry authorization is required for construction of all buildings within certain distances of a highway or intersection. The requirement for Ministry authorization extends to 800m from a highway where development will generate major traffic, such as a shopping centre.

Environmental Approvals

Ministry of the Environment, Conservation and Parks (MECP) 1-800-461-6290 or www.ontario.ca

Environmental Protection Act s. 46, 47.3, 168 and the Environmental Assessment Act s 5.

Ministry of Environment approvals are required where a property of industrial or commercial use is changed to more sensitive residential or parkland use, for major government, industrial and commercial projects where defined by regulation, properties formerly used for landfill or waste disposal, or renewable energy projects.

Electrical Conductor Clearances

Electrical Safety Authority 1-877-372-7233 or www.esasafe.com

Subsection 3.1.19. of the Ontario Building Code prohibits buildings being located beneath or within a certain minimum distances of overhead electrical conductor wires, other than the power feed to the building.

Source Water Protection – Environmental and Infrastructure Services – Norfolk County

Environmental Services – Stephanie Davis- Manager, Water & Wastewater Compliance- 519-426-5870 ext. 8037 or Stephanie.Davis@norfolkcounty.ca

Cambium Inc. Racheal Doyle – sourcewaterprotection@cambium-inc.com

Clean Water Act s. 59

Special land use restrictions may apply if a water source protection plan is in effect in the area where the building is located. Uses affected by these restrictions require the approval of the designated Risk Management Official

Agriculture and Farms

Ministry of Agriculture Food and Rural Affairs 1-877-424-1300 or www.omafra.gov.on.ca

Community Development Division- Building Department

185 Robinson Street, Suite 200, Simcoe, ON N3Y 5L6 • 519-426-5870 Ext. 6016

Nutrient Management Act 2002 s.11 reg 267/03, Milk Act s.14

Buildings or structures that house animals or store manure may trigger a requirement for a nutrient management strategy approved by the Ministry. The Ministry must determine that a milk processing plant is necessary and authorize it before a building permit can be issued.

Child Care Centres

Ministry of Education (905) 895-9192 or www.ontario.ca

Child Care and Early Years Act, s. 14 reg 137/15

Ministry plan approval is required if a new building is proposed to be used as a day nursery, an existing building is proposed to be used, altered or renovated for a day nursery, or if an existing day nursery is altered or renovated.

Seniors Centres

Ministry of Children, Community and Social Services 1-888-789-4199 or www.mcscs.gov.on.ca

Elderly Persons Centres Act s. 6 of reg 314

Reports must be submitted to the Minister and approval obtained for all seniors centres to which government funding applies.

Long Term Care Homes

Ministry of Health & Long Term Care 1-800-387-5559 or www.health.gov.on.ca

Nursing Home Act s. 4, 5 reg 832 Homes for the Aged & Rest Homes Act s. 14

The Long Term Health Care Act is designed to help ensure that residents of long-term care homes receive safe, consistent, high-quality, resident-centred care.

Education

Ministry of Education (905) 895-9192 or www.ontario.ca

Education Act s. 194

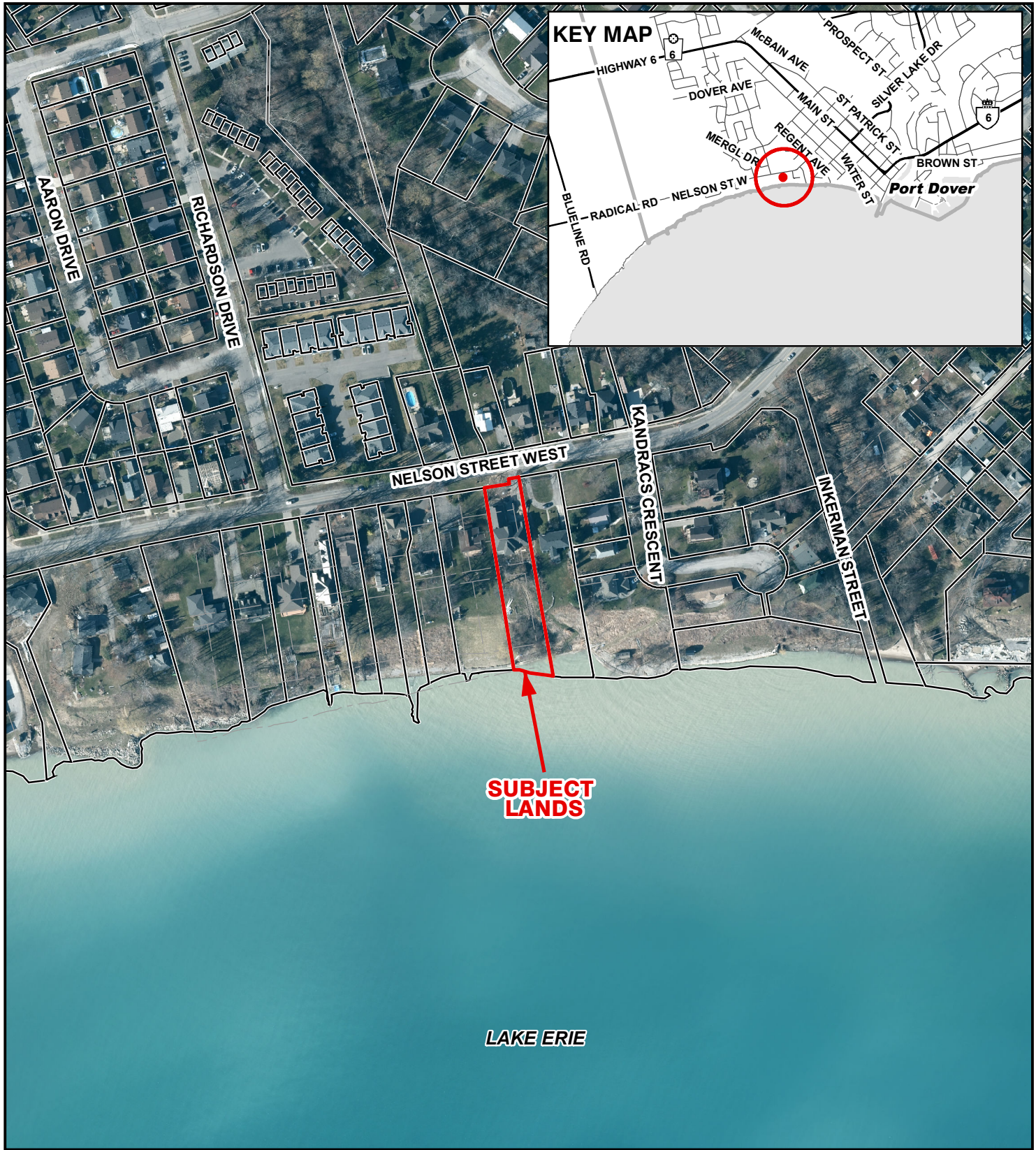
The board shall obtain approval from the Minister for the demolition of any buildings located on a school site regulated by the Education Act. App

Crown Lands Works Permits

Ministry of Natural Resources www.ontario.ca/page/crown-land-work-permits

Ontario Regulation 239/13 s. 2, s. 5

Ministry approval is required to construct a building on crown lands or to construct or place a structure along shorelines.

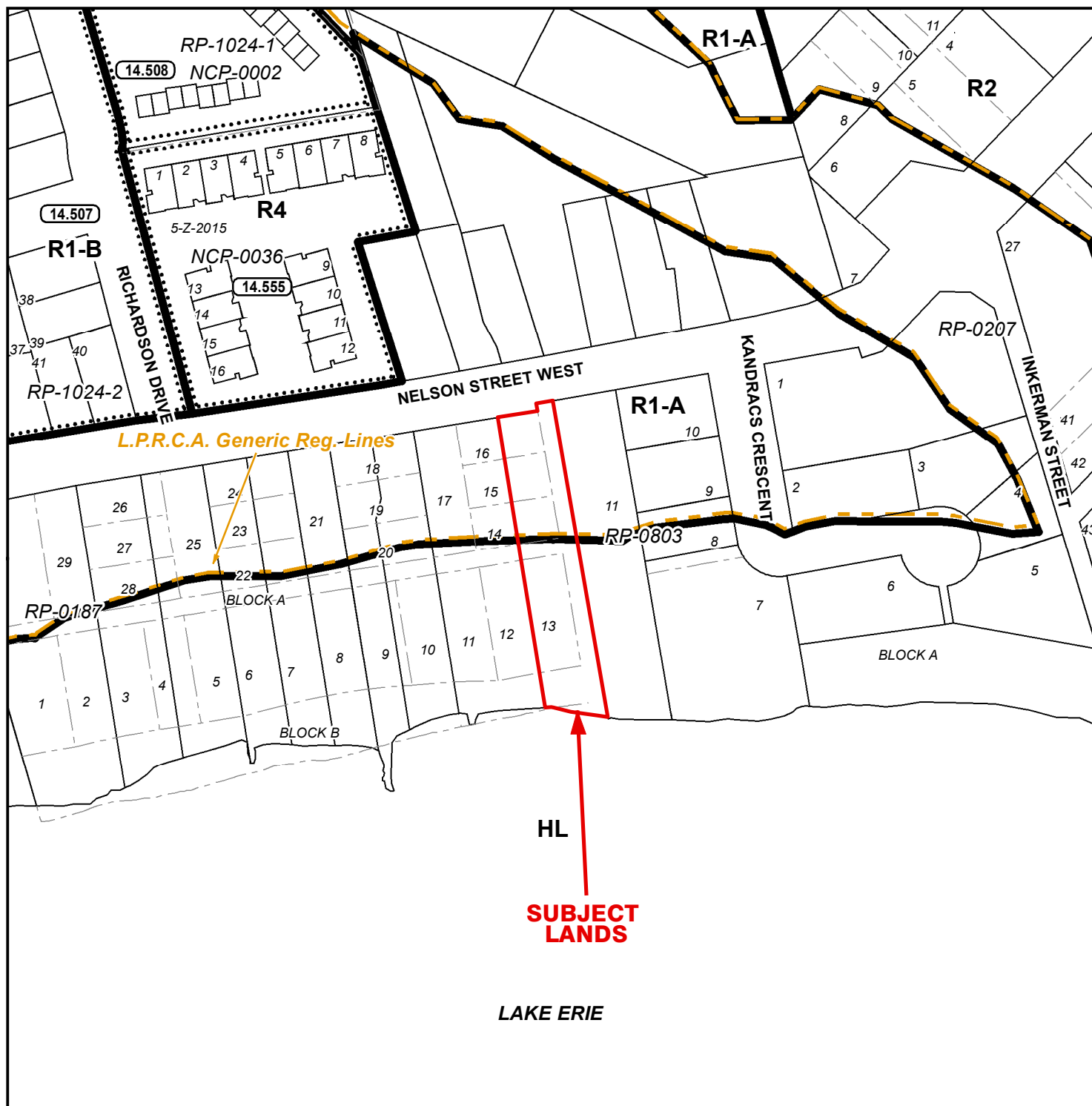


MAP B

ZONING BY-LAW MAP

Urban Area of PORT DOVER

ANPL2024436



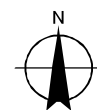
LEGEND

- Subject Lands
- LPRCA Generic RegLines

ZONING BY-LAW 1-Z-2014

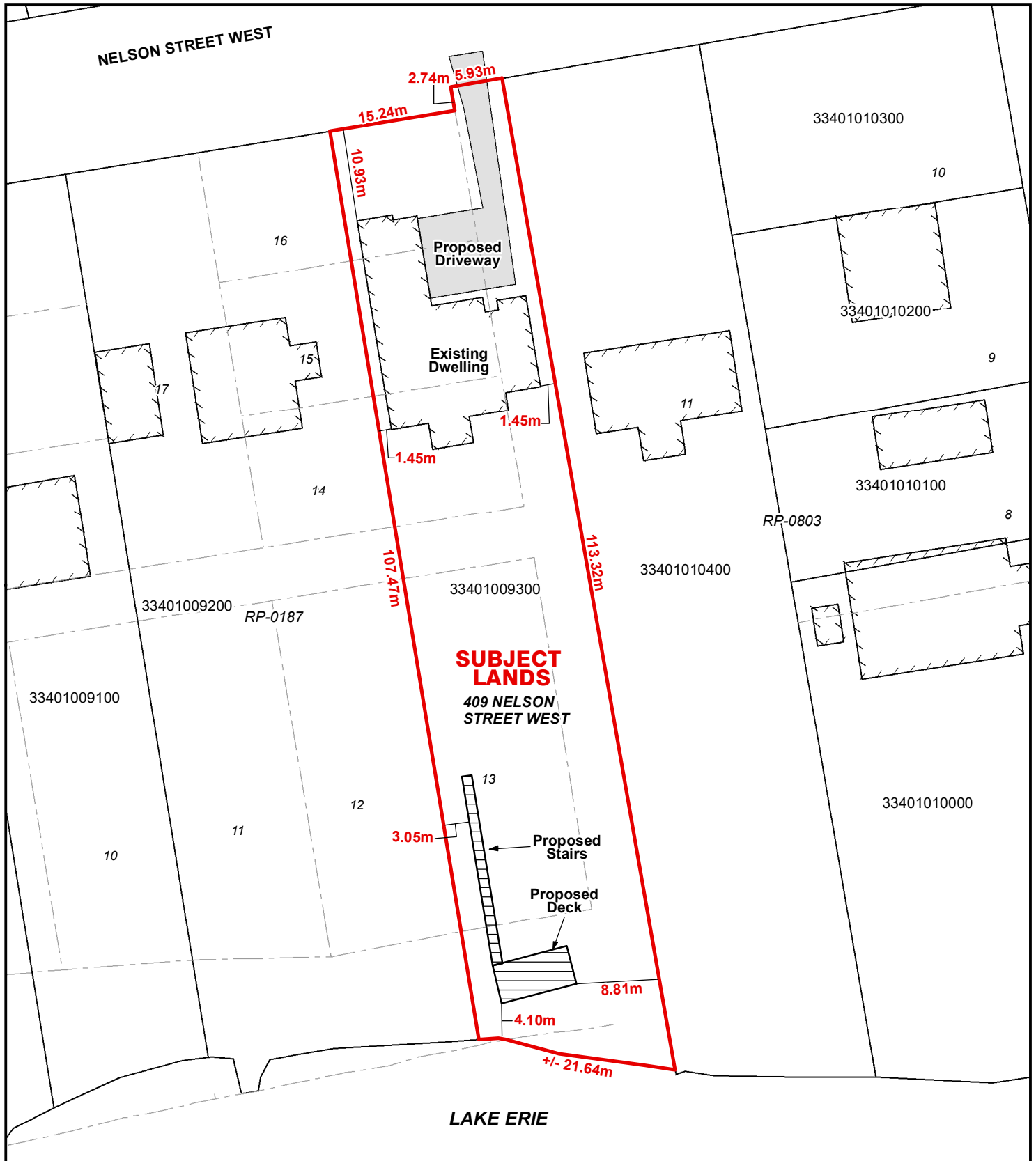
2/28/2025

- (H) - Holding
- HL - Hazard Land Zone
- R1-A - Residential R1-A Zone
- R1-B - Residential R1-B Zone
- R2 - Residential R2 Zone
- R4 - Residential R4 Zone



10 5 0 10 20 30 40
Meters

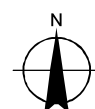
CONCEPTUAL PLAN
Urban Area of PORT DOVER



Legend

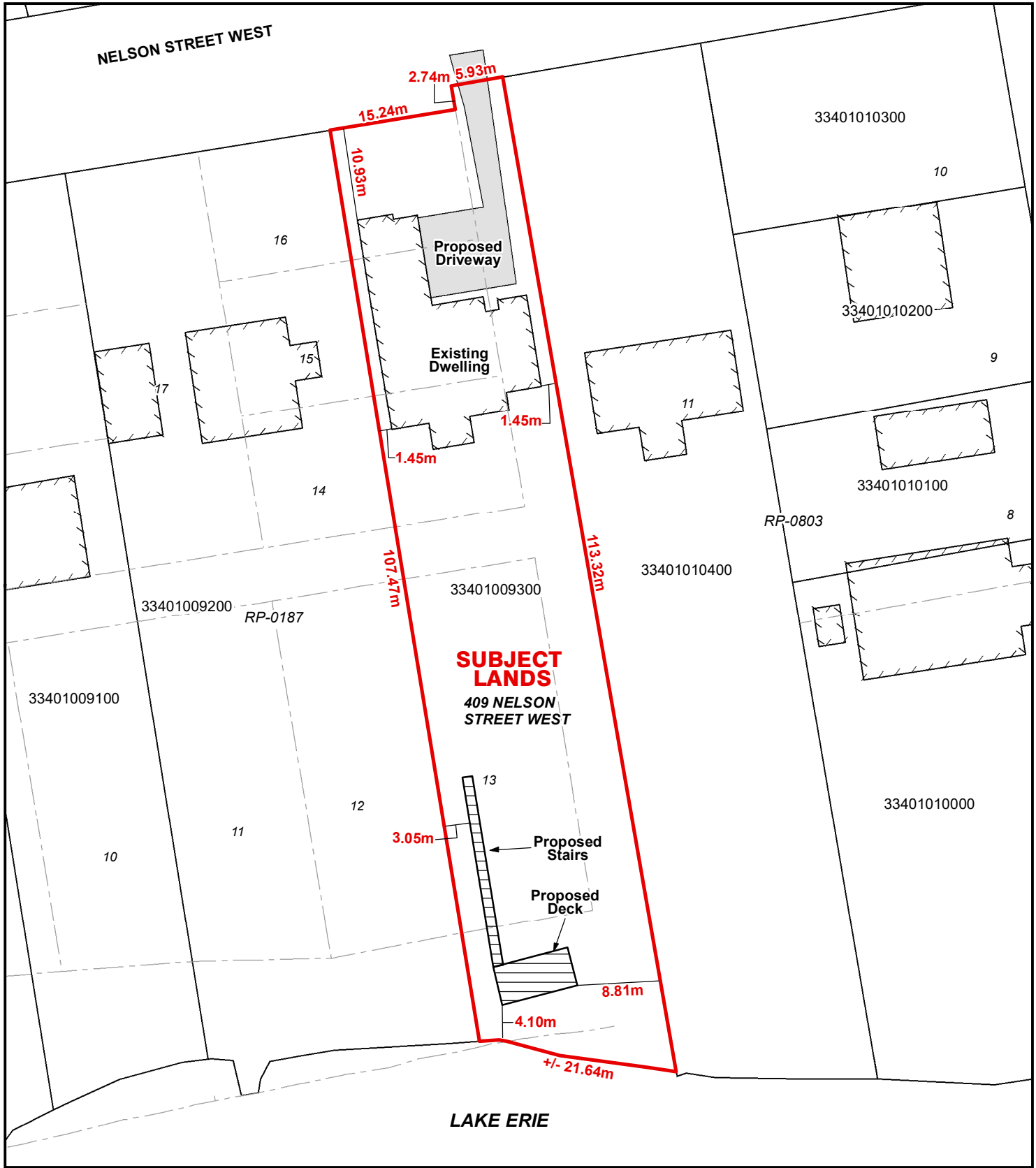
Subject Lands

2/28/2025



6 3 0 6 12 18 24 Meters

CONCEPTUAL PLAN
Urban Area of PORT DOVER



Legend

Subject Lands

2/28/2025

