

Committee of Adjustment Application to Planning Department

Complete Application

A complete Committee of Adjustment application consists of the following:

1. A properly completed and signed application form (signature must on original version);
2. Supporting information adequate to illustrate your proposal as listed in **Section H** of this application form (plans are required in paper copy and digital PDF format);
3. Written authorization from all registered owners of the subject lands where the applicant is not the owner as per Section N; and,
4. Cash, debit or cheque payable to Norfolk County in the amount set out in the Norfolk County User Fees By-Law.

Planning application development fees are not required with the submission of your completed and signed development application. Your planning application fee will be determined by the planner when your application has been verified and deemed complete. Prepayments will not be accepted.

5. Completed applications are to be mailed to the attention of **Secretary Treasurer – Committee of Adjustment**: 185 Robinson Street, Suite 200, Simcoe, ON N3Y 5L6 or email your application committee.of.adjustment@norfolkcounty.ca. Make sure submissions are clearly labelled including address, name, and application type. Failure to do so may impact the timing of your application.

The above listed items are required to ensure that your application is given full consideration. An incomplete or improperly prepared application will not be accepted and may result in delays during the processing of the application. This application must be typed or printed in ink and completed in full.

Please review all of the important information summarised below.

Before your Application is Submitted

A pre-consultation meeting is not usually required for Committee of Adjustment applications; however, discussion with Planning Department staff prior to the submission of an application is **strongly encouraged**. The purpose of communicating with a planner **before** you submit your application is: to review your proposal / application, to discuss potential issues; and to determine the required supporting information and materials to be submitted with your application before it can be considered complete by staff. You might find it helpful to retain the services of an independent professional (such as a registered professional planner) to help you with your application. Information about the Official Plan and Zoning By-law can be found on the County website: www.norfolkcounty.ca/planning

After Your Application is Submitted

Once your payment has been received and the application submitted, in order for your application to be deemed complete all of the components noted above are required.

Incomplete applications will be identified and returned to the applicant. The *Planning Act* permits up to 30 days to review and deem an application complete.

Once your application has been deemed complete by the Planning Department, it is then circulated to public agencies and County departments for review and comment. A sign is also provided that is required to be posted on the subject lands that summarizes the application and identifies the committee meeting date. The comments received from members of the community will be included in the planning report and will inform any recommendations in relation to the application.

If the subject lands are located in an area that is regulated by either the Long Point Region Conservation Authority or by the Grand River Conservation Authority an additional fee will be required if review by the applicable agency is deemed necessary. A separate cheque payable to the Long Point Region Conservation Authority or the Grand River Conservation Authority is required in accordance with their fee schedule at the same time your application is submitted.

Additional studies required as part of the complete application shall be at the sole expense of the applicant. In some instances peer reviews may be necessary to review particular studies and that the cost shall be at the expense of the applicant. The company to complete the peer review shall be selected by the County.

If the application is withdrawn prior to the circulation to commenting agencies, the entire original fee will be refunded. If withdrawn after the circulation to agencies, half the original fee will be refunded. No refund is available after the public meeting and/or approval of application.

Notification Sign Requirements

Planning Department staff may post a notification sign on your property in advance of the public meeting on your behalf. Please keep this sign posted until you have received a notice in the mail indicating that the Secretary Treasurer received no appeals. However, it is the applicant's responsibility to ensure that the sign is correctly posted within the statutory timeframes, according to the *Planning Act*. Failure to post a sign in advance of the public meeting in accordance with statutory requirements will impact the timing of your application at the Committee of Adjustment meeting. Applicants are responsible for removal of the sign following the appeal period. The signs are recyclable and can be placed in your blue box.

Contact Us

For additional information or assistance in completing this application, please contact a planner at 519-426-5870 ext. 1842 or Committee.of.Adjustment@NorfolkCounty.ca



For Office Use Only:

File Number	_____	Application Fee	_____
Related File Number	_____	Conservation Authority Fee	_____
Pre-consultation Meeting	_____	Well & Septic Info Provided	_____
Application Submitted	_____	Planner	_____
Complete Application	_____	Public Notice Sign	_____

Check the type of planning application(s) you are submitting.

- ☐ Consent/Severance/Boundary Adjustment
- ☐ Surplus Farm Dwelling Severance and Zoning By-law Amendment
- ☐ Minor Variance
- ☐ Easement/Right-of-Way

Property Assessment Roll Number: _____**A. Applicant Information****Name of Owner** _____

It is the responsibility of the owner or applicant to notify the planner of any changes in ownership within 30 days of such a change.

Address _____

Town and Postal Code _____

Phone Number _____

Cell Number _____

Email _____

Name of Applicant _____

Address _____

Town and Postal Code _____

Phone Number _____

Cell Number _____

Email _____

Name of Agent

Address

Town and Postal Code

Phone Number

Cell Number

Email

Please specify to whom all communications should be sent. Unless otherwise directed, all correspondence and notices in respect of this application will be forwarded to the owner and agent noted above.

☐ Owner

☐ Agent

☐ Applicant

Names and addresses of any holder of any mortgagees, charges or other encumbrances on the subject lands:

B. Location, Legal Description and Property Information

1. Legal Description (include Geographic Township, Concession Number, Lot Number, Block Number and Urban Area or Hamlet):

Municipal Civic Address:

Present Official Plan Designation(s):

Present Zoning:

2. Is there a special provision or site specific zone on the subject lands?

☐ Yes ☐ No If yes, please specify:

3. Present use of the subject lands:

4. Please describe **all existing** buildings or structures on the subject lands and whether they are to be retained, demolished or removed. If retaining the buildings or structures, please describe the type of buildings or structures, and illustrate the setback, in metric units, from front, rear and side lot lines, ground floor area, gross floor area, lot coverage, number of storeys, width, length, and height on your attached sketch which must be included with your application:

5. If an addition to an existing building is being proposed, please explain what it will be used for (for example a bedroom, kitchen, or bathroom). If new fixtures are proposed, please describe.

6. Please describe **all proposed** buildings or structures/additions on the subject lands. Describe the type of buildings or structures/additions, and illustrate the setback, in metric units, from front, rear and side lot lines, ground floor area, gross floor area, lot coverage, number of storeys, width, length, and height on your attached sketch which must be included with your application:

7. Are any existing buildings on the subject lands designated under the *Ontario Heritage Act* as being architecturally and/or historically significant? Yes ☐ No ☐

If yes, identify and provide details of the building:

8. If known, the length of time the existing uses have continued on the subject lands:

9. Existing use of abutting properties:

10. Are there any easements or restrictive covenants affecting the subject lands?

☐ Yes ☐ No If yes, describe the easement or restrictive covenant and its effect:

C. Purpose of Development Application

Note: Please complete all that apply. **Failure to complete this section will result in an incomplete application.**

1. Site Information (Please refer to Zoning By-law to confirm permitted dimensions)

	Existing	Permitted	Provision	Proposed	Deficiency
Lot frontage					
Lot depth					
Lot width					
Lot area					
Lot coverage					
Front yard					
Rear yard					
Height					
Left Interior side yard					
Right Interior side yard					
Exterior side yard (corner lot)					
Parking Spaces (number)					
Aisle width					
Stall size					
Loading Spaces					
Other					

2. Please explain why it is not possible to comply with the provision(s) of the Zoning By-law:

3. **Consent/Severance/Boundary Adjustment:** Description of land intended to be severed in metric units:

Frontage:

Depth:

Width:

Lot Area:

Present Use:

Proposed Use:

Proposed final lot size (if boundary adjustment):

If a boundary adjustment, identify the assessment roll number and property owner of the lands to which the parcel will be added:

Description of land intended to be retained in metric units:

Frontage:

Depth:

Width:

Lot Area:

Present Use:

Proposed Use:

Buildings on retained land:

4. **Easement/Right-of-Way:** Description of proposed right-of-way/easement in metric units:

Frontage:

Depth:

Width: _____
Area: _____
Proposed Use: _____

5. Surplus Farm Dwelling Severances Only: List all properties in Norfolk County, which are owned and farmed by the applicant and involved in the farm operation

Owners Name: _____
Roll Number: _____
Total Acreage: _____
Workable Acreage: _____
Existing Farm Type: (for example: corn, orchard, livestock) _____
Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built _____
Date of Land Purchase: _____

Owners Name: _____
Roll Number: _____
Total Acreage: _____
Workable Acreage: _____
Existing Farm Type: (for example: corn, orchard, livestock) _____
Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built _____
Date of Land Purchase: _____

Owners Name: _____
Roll Number: _____
Total Acreage: _____
Workable Acreage: _____
Existing Farm Type: (for example: corn, orchard, livestock) _____
Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built _____
Date of Land Purchase: _____

Owners Name: _____
Roll Number: _____
Total Acreage: _____
Workable Acreage: _____
Existing Farm Type: (for example: corn, orchard, livestock) _____
Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built _____
Date of Land Purchase: _____

Owners Name: _____
Roll Number: _____
Total Acreage: _____
Workable Acreage: _____
Existing Farm Type: (for example: corn, orchard, livestock) _____
Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built _____
Date of Land Purchase: _____

Note: If additional space is needed please attach a separate sheet.

D. All Applications: Previous Use of the Property

1. Has there been an industrial or commercial use on the subject lands or adjacent lands? ☐ Yes ☐ No ☐ Unknown

If yes, specify the uses (for example: gas station, or petroleum storage):

2. Is there reason to believe the subject lands may have been contaminated by former uses on the site or adjacent sites? ☐ Yes ☐ No ☐ Unknown

3. Provide the information you used to determine the answers to the above questions:

4. If you answered yes to any of the above questions in Section D, a previous use inventory showing all known former uses of the subject lands, or if appropriate, the adjacent lands, is needed. Is the previous use inventory attached? ☐ Yes ☐ No

E. All Applications: Provincial Policy

1. Is the requested amendment consistent with the provincial policy statements issued under subsection 3(1) of the *Planning Act, R.S.O. 1990, c. P. 13*? ☐ Yes ☐ No

If no, please explain:

2. It is owner's responsibility to be aware of and comply with all relevant federal or provincial legislation, municipal by-laws or other agency approvals, including the Endangered Species Act, 2007. Have the subject lands been screened to ensure that development or site alteration will not have any impact on the habitat for endangered or threatened species further to the provincial policy statement subsection 2.1.7? ☐ Yes ☐ No

If no, please explain:

3. Have the subject lands been screened to ensure that development or site alteration will not have any impact on source water protection? ☐ Yes ☐ No

If no, please explain:

Note: If in an area of source water Wellhead Protection Area (WHPA) A, B or C please attach relevant information and approved mitigation measures from the Risk Manager Official.

4. All Applications: Are any of the following uses or features on the subject lands or within 500 metres of the subject lands, unless otherwise specified? Please check boxes, if applicable.

Livestock facility or stockyard (submit MDS Calculation with application)

☐ On the subject lands or ☐ within 500 meters – distance _____

Wooded area

☐ On the subject lands or ☐ within 500 meters – distance _____

Municipal Landfill

☐ On the subject lands or ☐ within 500 meters – distance _____

Sewage treatment plant or waste stabilization plant

☐ On the subject lands or ☐ within 500 meters – distance _____

Provincially significant wetland (class 1, 2 or 3) or other environmental feature

☐ On the subject lands or ☐ within 500 meters – distance _____

Floodplain

☐ On the subject lands or ☐ within 500 meters – distance _____

Rehabilitated mine site

☐ On the subject lands or ☐ within 500 meters – distance _____

Non-operating mine site within one kilometre

☐ On the subject lands or ☐ within 500 meters – distance _____

Active mine site within one kilometre

☐ On the subject lands or ☐ within 500 meters – distance _____

Industrial or commercial use (specify the use(s))

☐ On the subject lands or ☐ within 500 meters – distance _____

Active railway line

☐ On the subject lands or ☐ within 500 meters – distance _____

Seasonal wetness of lands

☐ On the subject lands or ☐ within 500 meters – distance _____

Erosion

☐ On the subject lands or ☐ within 500 meters – distance _____

Abandoned gas wells

☐ On the subject lands or ☐ within 500 meters – distance _____

F. All Applications: Servicing and Access

1. Indicate what services are available or proposed:

Water Supply

- | | |
|--|---|
| <input type="checkbox"/> Municipal piped water | <input type="checkbox"/> Communal wells |
| <input type="checkbox"/> Individual wells | <input type="checkbox"/> Other (describe below) |
-

Sewage Treatment

- | | |
|---|---|
| <input type="checkbox"/> Municipal sewers | <input type="checkbox"/> Communal system |
| <input type="checkbox"/> Septic tank and tile bed in good working order | <input type="checkbox"/> Other (describe below) |
-

Storm Drainage

- | | |
|---|---------------------------------------|
| <input type="checkbox"/> Storm sewers | <input type="checkbox"/> Open ditches |
| <input type="checkbox"/> Other (describe below) | |
-

2. Existing or proposed access to subject lands:

- | | |
|---|---|
| <input type="checkbox"/> Municipal road | <input type="checkbox"/> Provincial highway |
| <input type="checkbox"/> Unopened road | <input type="checkbox"/> Other (describe below) |

Name of road/street:

G. All Applications: Other Information

1. Does the application involve a local business? ☐ Yes ☐ No

If yes, how many people are employed on the subject lands?

2. Is there any other information that you think may be useful in the review of this application? If so, explain below or attach on a separate page.

H. Supporting Material to be submitted by Applicant

In order for your application to be considered complete, folded hard copies (number of paper copies as directed by the planner) and an **electronic version (PDF) of the site plan drawings, additional plans, studies and reports** will be required, including but not limited to the following details:

1. Concept/Layout Plan
2. All measurements in metric
3. Existing and proposed easements and right of ways
4. Parking space totals – required and proposed
5. All dimensions of the subject lands
6. Dimensions and setbacks of all buildings and structures
7. Location and setbacks of septic system and well from all existing and proposed lot lines, and all existing and proposed structures
8. Names of adjacent streets
9. Natural features, watercourses and trees

In addition, the following additional plans, studies and reports, including but not limited to, **may** also be required as part of the complete application submission:

- ☐ On-Site Sewage Disposal System Evaluation Form (to verify location and condition)
- ☐ Environmental Impact Study
- ☐ Geotechnical Study / Hydrogeological Review
- ☐ Minimum Distance Separation Schedule
- ☐ Record of Site Condition

Your development approval might also be dependent on Ministry of Environment Conservation and Parks, Ministry of Transportation or other relevant federal or provincial legislation, municipal by-laws or other agency approvals.

All final plans must include the owner's signature as well as the engineer's signature and seal.

I. Transfers, Easements and Postponement of Interest

The owner acknowledges and agrees that if required it is their solicitor's responsibility on behalf of the owner for the registration of all transfer(s) of land to the County, and/or transfer(s) of easement in favour of the County and/or utilities. Also, the owner further acknowledges and agrees that it is their solicitor's responsibility on behalf of the owner for the registration of postponements of any charges in favour of the County.

Permission to Enter Subject Lands

Permission is hereby granted to Norfolk County officers, employees or agents, to enter the premises subject to this application for the purposes of making inspections associated with this application, during normal and reasonable working hours.

Freedom of Information

For the purposes of the *Municipal Freedom of Information and Protection of Privacy Act*, I authorize and consent to the use by or the disclosure to any person or public body any information that is collected under the authority of the *Planning Act, R.S.O. 1990, c. P. 13* for the purposes of processing this application.

Rafal Wyszynski
Owner/Applicant/Agent Signature

November 5, 2024
Date

J. Owner's Authorization

If the applicant/agent is not the registered owner of the lands that is the subject of this application, the owner must complete the authorization set out below.

I/We Rafal Wyszynski am/are the registered owner(s) of the lands that is the subject of this application.

I/We authorize G. Douglas Vallee Limited to make this application on my/our behalf and to provide any of my/our personal information necessary for the processing of this application. Moreover, this shall be your good and sufficient authorization for so doing.

Rafal Wyszynski
Owner

November 5, 2024
Date

Owner

Date

***Note:** If property is owned by an Ontario Ltd. Corporation, Articles of Incorporation are required to be attached to the application.

K. Declaration

I, Rafal Wyszynski of Kitchener, Ontario

solemnly declare that:

all of the above statements and the statements contained in all of the exhibits transmitted herewith are true and I make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath and by virtue of *The Canada Evidence Act*.

Declared before me at:

NORFOLK COUNTY

R/W
Owner/Applicant/Agent Signature

In Simcoe

This 5TH day of NOVEMBER

A.D., 2024

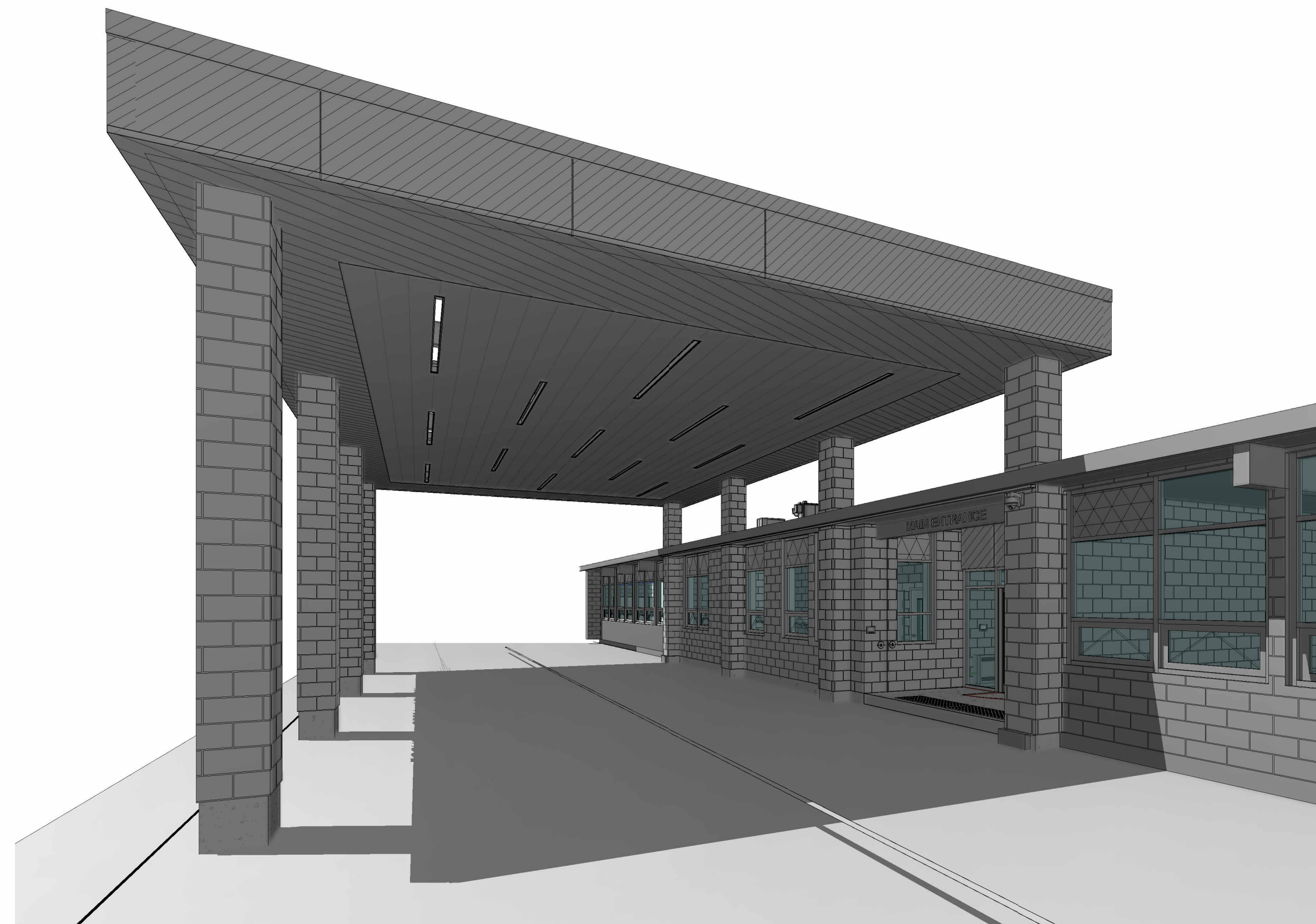
G. Fraser

A Commissioner, etc.

ELDON FRASER DARBYSON,
a Commissioner, etc., Province of Ontario,
for G. Douglas Vallee Limited.
Expires August 21, 2027.



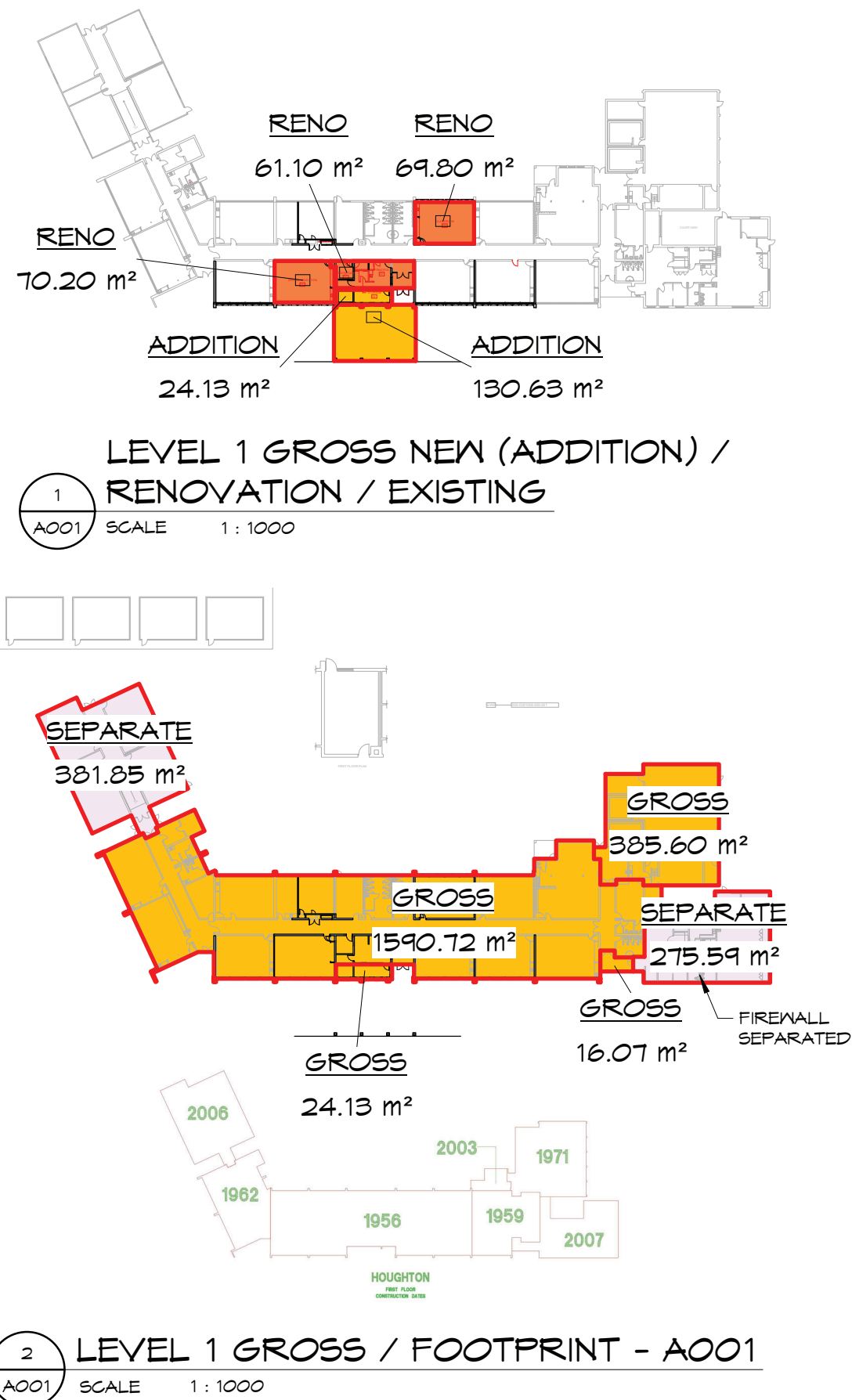
1 SOUTH-WEST ISOMETRIC
A000 SCALE



2 SOUTH-EAST ISOMETRIC
A000 SCALE



3 SOUTH ISOMETRIC
A000 SCALE



OBC DATA MATRIX PART 3 & 11

Firm Name :	G. DOUGLAS VALLEE LIMITED	STAMP (s)	
Certificate of Practice No. :	1938		
Address :	2 TALBOT STREET NORTH SIMCOE, ONTARIO N3Y 3W4		
Contact Information :	TEL. 1 (519) 426-6210		
Individual who reviews and accepts responsibility for Design Activities :	MELISSA STICKL, OAA		
Name of Project :	HOUGHTON PUBLIC SCHOOL RENO		
Location of Project :	505 FAIRGROUND RD. LANGTON, ONTARIO, CANADA, NOE 1G0		
Building Code Version:	O. Reg. 332/12	Last Amendment	O. Reg. 563/17
Project Type:	<input type="checkbox"/> New <input type="checkbox"/> Addition <input type="checkbox"/> Renovation <input checked="" type="checkbox"/> Addition and Renovation <input type="checkbox"/> Change of use	OBC Section Reference	
Major Occupancy Classification:	A-2	DIV. A - 1.1.2.	
Superimposed Major Occupancies:	<input checked="" type="checkbox"/> No <input type="checkbox"/> Yes	DIV. A - 3.2.2.7	
Building Area (m ²) (Footprint):	Description: LEVEL 1	Existing	New
Gross Area (m ²) (Total all floors above grade):	Description: AS BLDG AREA FOOTPRINT ABOVE	Existing	New
Floor Area (m ²) (rentable):	Description: COORD. IV. OCCUPANCY PLAN ON A004	Existing	New
Mezzanine Area (m ²):	Description: N/A	Existing	New
Building Height:	1 EX. Storeys above grade - EX. 5.5 (m) above grade	DIV. A - 1.4.1.2.	
High Building:	<input checked="" type="checkbox"/> No <input type="checkbox"/> Yes	DIV. B - 3.2.6.1	
Number of Streets / Firefighter access:	3 Streets	DIV. B - 3.2.2.10.	
Building Size:	<input type="checkbox"/> Small <input checked="" type="checkbox"/> Medium <input type="checkbox"/> Large <input type="checkbox"/> > Large	T. 11.2.1.1.B-N	
Existing Building Classification:	Change in Major Occupancy: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> Not Applicable (no change of major occupancy)	DIV. B - 11.2.1.1	
Construction Index:	N/A IF NO CHANGE IN MAJOR OCCUPANCY	T. 11.2.1.1.B to N	
Hazard Index:	N/A IF NO CHANGE IN MAJOR OCCUPANCY	DIV. B - 4.1.2.1.(3), 5.2.2.1.(2), T4.1.2.1.B	
Importance Category:	<input type="checkbox"/> low <input checked="" type="checkbox"/> Normal <input type="checkbox"/> Post-disaster	DIV. B - 11.3.3.1	
Renovation Type:	<input type="checkbox"/> Basic Renovation <input checked="" type="checkbox"/> Extensive Renovation	DIV. B - 11.3.3.2	
Ex. Building Classification:	3.2.2.25. Group A, Division 2, up to 2 Storeys	DIV. B - 3.2.2.20-83	
(1) A building classified as Group A, Division 2 is permitted to conform to Sentence (2) provided, (a) it is not more than 2 storeys in building height, and (b) it has a building area not more than the value in Table 3.2.2.25.			
Table 3.2.2.25. Maximum Building Area, Group A, Division 2, up to 2 Storeys			
Forming Part of Sentence 3.2.2.25.(1)			
Item	Column 1	Column 2	Column 3
	No. of Storeys	Maximum Area, m ²	Maximum Area, m ²
1.	1	1600	2400
2.	2	800	1200
(2) The building referred to in Sentence (1) is permitted to be of combustible construction or noncombustible construction used singly or in combination, and, (a) floor assemblies shall be fire separations and, if of combustible construction, shall have a fire-resistance rating not less than 45 min, (b) mezzanines shall have, if of combustible construction, a fire-resistance rating not less than 45 min, (c) roof assemblies shall have, if of combustible construction, a fire-resistance rating not less than 45 min, except that in a building not more than 1 storey in building height, the fire-resistance rating is permitted to be waived provided the roof assembly is constructed as a fire-retardant treated wood roof system conforming to Article 3.1.1.1, and the building area is not more than, (i) 800 m ² if facing one street, (ii) 1 000 m ² if facing two streets, or (iii) 200 m ² if facing three streets, and (d) loadbearing walls, columns and arches supporting an assembly required to have a fire-resistance rating shall, (i) have a fire-resistance rating not less than 45 min, or (ii) be of noncombustible construction.			

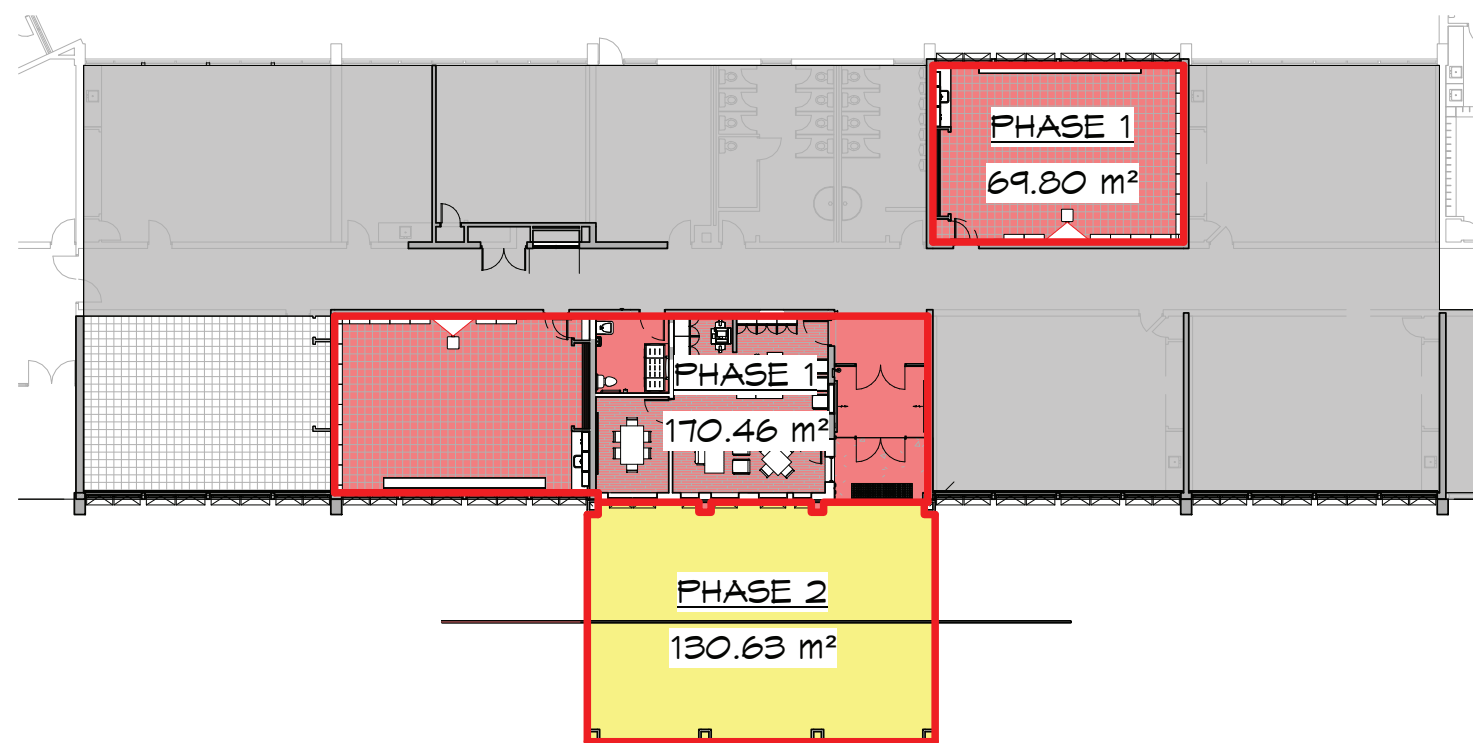
Reduction in Performance Level:	Structural: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes By Increase in Occupant Load: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes By Change in Major Occupancy: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes Plumbing: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes Sewage-system: <input type="checkbox"/> No <input checked="" type="checkbox"/> Yes Extension of combustible construction: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes	DIV. B - 11.4.2.1. DIV. B - 11.4.2.2. DIV. B - 11.4.2.3. DIV. B - 11.4.2.4. DIV. B - 11.4.2.5. DIV. B - 11.4.2.6.
Compensating Construction:	<input type="checkbox"/> No <input checked="" type="checkbox"/> Yes Structural: N/A Increase in Occupant Load: N/A Change of Major Occupancy: N/A Plumbing: NEW PLUMBING TO MEET REQ. OF PART 1 Sewage-system: NEW SANITARY TO MEET REQ. OF PART 8 Extension of Combustible Construction: N/A	DIV. B - 11.4.3.1. DIV. B - 11.4.3.2.(...) DIV. B - 11.4.3.3.(...) DIV. B - 11.4.3.4.(...) DIV. B - 11.4.3.5.(1) DIV. B - 11.4.3.6.(1) DIV. B - 11.4.3.7.(1)
Compliance Alternatives Proposed:	<input checked="" type="checkbox"/> No <input type="checkbox"/> Yes (give number(s))	DIV. B - 11.5.1
Alternative Measures Proposed:	<input checked="" type="checkbox"/> No <input type="checkbox"/> Yes (give number(s))	DIV. B - 11.5.2
Sprinkler System Proposed:	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No EX. Proposed: <input type="checkbox"/> Entire Building <input type="checkbox"/> Selected Floor Areas <input type="checkbox"/> Selected Compartments <input type="checkbox"/> Basement <input type="checkbox"/> In lieu of roof rating <input checked="" type="checkbox"/> Not required	DIV. B - 3.2.2.20-83 DIV. B - 3.2.1.5 DIV. B - 3.2.2.17
Standpipe System:	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No EX.	DIV. B - 3.2.9.1
Fire Alarm System:	<input checked="" type="checkbox"/> Yes EX. <input type="checkbox"/> No Proposed: <input type="checkbox"/> Single Stage <input type="checkbox"/> Two Stage <input type="checkbox"/> None	DIV. B - 3.2.4.1 DIV. B - 3.2.4.4
Water Service / Supply is Adequate:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	DIV. B - 3.2.5.7
Permitted Const.:	<input type="checkbox"/> Combustible <input type="checkbox"/> Non-combustible <input checked="" type="checkbox"/> Both Actual Const. <input type="checkbox"/> Combustible <input type="checkbox"/> Non-combustible <input checked="" type="checkbox"/> Both Heavy Timber Const. <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	DIV. B - 3.2.2.20-83
Importance Category:	<input type="checkbox"/> Low <input checked="" type="checkbox"/> Normal <input type="checkbox"/> High <input type="checkbox"/> Low Human Occup. <input type="checkbox"/> Post Disaster Shelter <input type="checkbox"/> Minor Storage Building <input type="checkbox"/> Explosive or Hazardous Substances <input type="checkbox"/> Post Disaster	DIV. B - 4.1.2.1.(3), 5.2.2.1.(2), T4.1.2.1.B
Seismic Hazard Index:	<input type="checkbox"/> Fa Sa (0.2) <input checked="" type="checkbox"/> Seismic design required for Table 4.1.8.18, Items 6 to 21: <input type="checkbox"/> Fa Sa (0.2) > 0.35 or Post-Disaster <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input checked="" type="checkbox"/> N/A	DIV. B - 4.1.2.1.(3) DIV. B - 4.1.8.18.(2) T - 11.5.1.1.A
Occupant load:	Floor Level / Area Occupancy Type Based On m ² / person # of persons for which the area is designed N/A NO CHANGE TO OCCUPANT LOAD <input type="checkbox"/>	DIV. B - 3.1.1.7....
Plumbing Fixture Requirements (Water Closets):	Ratio: _____ MIF = 1/1 Except as otherwise noted Floor Level / Area Occupancy Load OBC Reference Fixtures Required Fixtures Provided N/A NO CHANGE TO OCCUPANT LOAD	DIV. B - 3.7.4.
Barrier Free Design:	<input checked="" type="checkbox"/> Yes <input checked="" type="checkbox"/> OBC <input type="checkbox"/> AODA <input checked="" type="checkbox"/> NADG <input type="checkbox"/> No (Explain) _____	DIV. B - 3.8 DIV. B - 11.3.3.2.(2)
Hazardous Substances:	<input type="checkbox"/> Yes (Explain) _____ <input checked="" type="checkbox"/> No	DIV. B - 3.3.1.2 & DIV. B - 3.3.1.9
Travel Distance to Egress & Exit Doors (Coord. with Life Safety Plans):	EGRESS DOORS: SINGLE EGRESS DOOR FROM ROOM OR SUITE: MAX. TRAVEL DISTANCE = 15m (AREA TO BE LESS THAN 150m ²) MORE THAN ONE EGRESS DOOR FROM ROOM OR SUITE: MAX. TRAVEL DISTANCE = 30m EXIT DOORS: MAX. TRAVEL DISTANCE = 30m EXIT DOORS: MAX. TRAVEL DISTANCE TO EXIT FROM ANY POINT IN SERVICE SPACE = 50m	DIV. B - 3.3.1.5(1)(c) DIV. B - 7.3.3.1.5.A DIV. B - 3.3.1.6 DIV. B - 3.4.2.5(1)(f) DIV. B - 3.4.2.4(3) & (...)
Fire Extinguishers:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	DIV. B - 3.2.5.17
Required Fire Resistance Rating (FRR):	Horizontal Assemblies Fire resistance Rating Floors: N/A Hours N/A Roof: 3/4 Hours EX. ROOF SYSTEM TO REMAIN Mezzanine: N/A Hours N/A Mech. Penthouse: N/A Hours N/A FRR of Supporting Members Floors: N/A Hours N/A Roof: 3/4 Hours EX. CMU & MD. BEAMS TO REMAIN Mezzanine: N/A Hours N/A Mech. Penthouse: N/A Hours N/A Listed Design No. or Description (SB-2)	

Spatial Separation - Construction of Exterior Walls										DIV. B - 3.2.3	
1.4.1.2. Defined Terms Exposing building face means that part of the exterior wall of a building that faces one direction and is located between ground level and the ceiling of its top storey or, where the building is divided into fire compartments, the exterior wall of a fire compartment that faces one direction. (finished ground level means the ground surface (grade) of the site after all construction, leveling, grading, and development has been completed.) 3.2.3.2. Area of Exposing Building Face (1) Except as permitted by Sentences (2), and (3), the area of an exposing building face shall be calculated as the total area of exterior wall facing in one direction on any side of a building measured from the finished ground level to the uppermost ceiling. (2) If a building is divided by fire separations into fire compartments, the area of exposing building face is permitted to be calculated for each fire compartment provided the fire separations have a fire-resistance rating not less than 45 min. (3) In a building that contains an interconnected floor space, the area of the exposing building face for the interconnected floor space is permitted to be determined by considering each storey as a separate fire compartment notwithstanding openings through the floor assemblies.											
Wall	Area of EBF (m ²)	L.D. (m)	L/H or H/L	Permitted % of Openings	Proposed % of Openings	FRR (Min.)	Listed Design or Description	Type of Const.	Type of Cladding		
North	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A		
South	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A		
East	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A		
West	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A		
Other - Describe											
Energy Efficiency <input checked="" type="checkbox"/> Existing Building EX. SPACES TO REMAIN AS EX. DIV. 1 - 1.1.2.7.											
Energy Efficiency Compliance Path: PRESCRIPTIVE Climatic Zone: ZONE 5 OBC - SB-10 - Gross Area of Exterior Walls: SB-10, 1.1.1.1.(4) The area of the wall measured from grade to the top of the uppermost ceiling (finished grade means the ground surface (grade) of the site after all construction, leveling, grading, and development has been completed.) ASHRAE 2019 - Gross Wall Area: - N/A OBC GOVERNS The area of the wall measured on the exterior face from the top of the floor to the bottom of the roof ASHRAE 2019 - Fenestration: All areas (including the frames) in the building envelope that let in light, including windows, plastic panels, clerestories, roof monitors, skylights, doors that are more than one-half glass, and glass block walls. COORD. IV. SB-10 FORMS FOR ADDITIONAL NOTATIONS											

Opaque Elements	Nonresidential		Residential		Semiheated	
	Assembly Max. U-Value	Insulation Min. R-Value	Assembly Max. U-Value	Insulation Min. R-Value	Assembly Max. U-Value ⁽¹⁾	Insulation Min. R-Value
Roofs						
Insulation entirely Above Deck	U-0.029	R-35 ci	U-0.029	R-35 ci	U-0.025	R-17 ci
Metal Building *	U-0.033	R-25 + R-11 Ls	U-0.033	R-25 + R-11 Ls	U-0.074	R-10 + R-19
Attic and Other	U-0.019	R-60	U-0.019	R-60	U-0.031	R-38
Walls, Above Grade						
Mass	U-0.054	R-17 ci	U-0.048	R-19 ci	U-0.091	R-10 ci
Metal Building	U-0.045	R-13 + R-19 ci	U-0.045	R-13 + R-19 ci	U-0.085	R-13 + R-6.3 ci
Steel Framed	U-0.050	R-13 + R-12 ci	U-0.050	R-13 + R-12 ci	U-0.076	R-13 + R-6.3 ci
Wood Framed	U-0.046	R-13 + R-10 ci	U-0.046	R-13 + R-10 ci	U-0.080	R-13 + R-1 ci
Walls, Below Grade						
Below Grade Wall	C-0.067	R-15 ci	C-0.067	R-15 ci	C-0.119	R-7.4 ci
Floors						
Mass	U-0.051	R-16.4 ci	U-0.046	R-18.7 ci	U-0.096	R-7.4 ci
Steel joist	U-0.034	R-38	U-0.034	R-38	U-0.047	R-25
Wood Framed and Other	U-0.030	R-38	U-0.030	R-38	U-0.046	R-21
Slab-On-Grade Floors						
Unheated	F-0.468	R-15 for 48 in.	F-0.459	R-15 for 48 in.	F-0.730	NR
Heated	F-0.619	R-10 full slab	F-0.619	R-10 full slab	F-0.810	R-10 for 48 in.
Opaque Doors						
Swinging	U-0.45		U-0.45		U-0.63	
Nonswinging	U-0.45		U-0.45		U-1.31	
Fenestration						
	Assembly Max. U-Value ⁽¹⁾	Assembly Max. SHGC	Assembly Max. U-Value ⁽¹⁾	Assembly Max. SHGC	Assembly Max. U-Value ⁽¹⁾	Assembly Max. SHGC
Vertical Fenestration, 0% - 40% of Wall						
Nonmetal framing: all	U-0.29		U-0.29		U-0.41	
Metal framed: fixed	U-0.38	0.40	U-0.38	0.40	U-0.56	NR
Metal framed: operable	U-0.45	1.10	U-0.45	1.10	U-0.63	NR
Metal framed: entrance door	U-0.69		U-0.61		U-0.69	
Skylight, 0% - 3% of roof						
All Types	U-0.45	0.40	NR	0.40	NR	NR

The following definitions apply: ci = continuous insulation, Ls = linear system, NR = no (insulation) requirement, a when using the R-value compliance method for metal building roofs, thermal spacer block is required.

GRAY HIGHLIGHTED APPLICABLE



3 LEVEL 1 PHASING PLAN
A001 SCALE 1 : 300

NO.	DATE	ISSUANCE
0	2024.08.12	BLDG. PERMIT COMMENTS
5	2024.08.12	BLDG. PERMIT & TENDER
4	2024.05.30	BLDG. PERMIT & TENDER
3	2024.05.16	PROGRESS
2	2024.05.14	PROGRESS
NO.	DATE	ISSUANCE

DO NOT SCALE DRAWINGS. CALL FOR ANY CLARIFICATIONS THAT ARE REQUIRED. FIELD VERIFY AT ALL BUILT CONDITIONS.

ALL DWG.'S ARE TO BE READ IN COLOUR
ORIGINAL PAGE SIZE ARCH "D" - 24" x 36"

BRAND FIRE DISTRICT SCHOOL BOARD

vallee
Consulting Engineers,
Architects & Planners

G. DOUGLAS VALLEE LIMITED
2 TALBOT STREET NORTH
SIMCOE ONTARIO N3Y 3W4
(519) 426-6270

STAMP ARCH. **Ontario Association of Architects**
Melissa Nicole Stickl
Licence 1857
Arch. 19, 2014

PROJECT TITLE:
HOUGHTON PUBLIC SCHOOL RENO
505 FAIRGROUND RD.,
LANGTON, ONTARIO, CANADA,
NOE 1G0

DRAWING TITLE:
OBC MATRIX, AREA PLANS & PHASING PLAN

CHECKED BY: MS
DRAWING SCALE: As indicated
PROJECT NO.: 23-201

DRAWN BY: JS
DRAWING NO.:
A001

DRAWING LIST

ARCHITECTURAL	
A000	COVER SHEET
A001	OBC MATRIX, AREA PLANS & PHASING PLAN
A001A	UNPROTECTED OPENING ELEV.'S, S/S 10/12 ELEV.'S, CONDITION SPACE PLANS
A002	DWG. LIST, ABBR.'S, CONSULTANT LIST, SYMBOLS LEGEND, KEY MAP, SITE MAP, SITE PLAN
A003	FDTN. / WALL / FLR. / CEILING / COLUMN / ROOF TYPES & TYP. NOTES
A004	LEVEL 1 LIFE SAFETY PLAN & OCCUPANCY PLAN
A004A	LIFE SAFETY LEGENDS
A101	SITE PLAN & OPSD DETAILS
A101A	EX. SITE PLAN REFERENCE FIRE TRUCK ROUTE
A201	LEVEL 1 PLAN
A201A	LEVEL 1 WALL & FLOOR TYPES & DIMENSIONS
A202	ROOF PLAN
A301	BLDG. SECTIONS
A302	EXTERIOR ELEVATIONS - ENT. FRAMING / WINDOW SCHEDULES
A401	WALL SECTION & DETAILS @ EXT. WALL
A402	WALL SECTION & DETAILS @ OPENINGS
A402A	OPENING SCHEMATICS
A403	WALL SECTION & DETAILS @ ENT. VEST. & FROST SLAB
A403A	FROST SLAB DETAILS
A404	WALL SECTION & DETAILS @ EX. OPENINGS
A405	WALL SECTION & DETAILS @ EX. EXT. WALL & INT. PARTITIONS - RECEPTION
A406	WALL SECTION & DETAILS @ VEHICLE PORT
A406A	WALL SECTION & DETAILS @ VEHICLE PORT @ EXT. WALL
A407	WALL DETAILS @ C/G'S
A601	LEVEL 1 RCP
A701	WASHROOM GUIDELINES & ENLARGED W.R. PLANS
A801	DOOR SCH. / FRAME / LEAF TYPES / SCREENS & NOTES
A802	OPENING DETAILS
A901	LEVEL 1 MILLWORK PLAN & RM. FIN. SCHEDULE
A902	MILLWORK ELEVATIONS & ENLARGED PLANS
A903	MILLWORK SECTION DETAILS
A904	MILLWORK SECTION DETAILS
D201	LEVEL 1 DEMOLITION PLAN
D201A	LEVEL 1 DEMOLITION & EX. ELEV.'S
D201B	LEVEL 1 DEMOLITION & EX. ELEV.'S
D201C	LEVEL 1 DEMOLITION & EX. ELEV.'S
D201D	LEVEL 1 DEMOLITION & EX. ELEV.'S

ARCHITECTURAL PRESENTATION

P201 PRESENTATION PLANS

ELECTRICAL

E000	GENERAL NOTES, LEGENDS, DRAWING LIST AND SCHEDULES
E000	SPECIFICATIONS
E001	SPECIFICATIONS
E100	KEY PLAN
E200	PROPOSED LIGHTING PLAN
E300	PROPOSED POWER PLAN
E600	DETAILS
ED200	DEMOLITION LIGHTING PLAN
ED300	DEMOLITION POWER PLAN
M-100	LEGENDS AND SCHEDULES
M-101	DETAILS
M-102	SPECIFICATIONS
M-200	PLUMBING & DRAINAGE
M-300	HVAC
M-400	HYDRONICS

STRUCTURAL

S000	STRUCTURAL GENERAL NOTES
S200	FOOTING FOUNDATION & S/O/G PLAN
S200A	STRUCTURAL GENERAL DETAILS
S201	UNTEL PLAN
S202	ROOF FRAMING PLAN
A/F/F	& AFF - ABOVE FINISHED FLOOR
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ABBREVIATIONS & SHORT FORMS

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TYF	- THRU WALL FLASHING
TYP.	- TYPICAL

ULC	- UNDERWRITERS LABORATORIES OF CANADA
U/G	- UNDER CUT
U/S	- UNDER SIDE
UN/G	- UNO - UNLESS NOTED OTHERWISE
VAP.	- VAPOUR
VAR.	- VARIES
VERT.	- VERTICAL
W	- WITH
WB	- WHITE BOARD/MARKER BOARD
WBF	- WATER BOTTLE FILL UP STATION
WG	- WATER COOLER
WM	- WATER METER
WR	- WASTE RECEPTACLE
WS	- WASTER SOFTENER
%	- PERCENT
@	- AT
O/C	- ON CENTER

MATERIAL ABBREVIATIONS

AB	- ARCHITECTURAL BLOCK
ACT	- ACOUSTIC CEILING TILE
ASPH.	- ASPHALT
AMP	- ACOUSTIC WALL PANEL
AT	- ACOUSTIC TILE
AL	- ALUMINUM
AN	- ANODIZED
AN(C)	- ANODIZED COLOURED
B	- BRICK
BIB	- BOARD & BATTEN
BFG	- BACK PTD. GLASS
CAR	- CARPET
CPT	- CARPET TILE
CB	- CONCRETE BLOCK
CEM	- CEMENT BOARD
CT	- CERAMIC TILE
CONC	- CONCRETE
C(S)	- CONC. SEALED
CTF	- CORK TILE FLOORING
EM	- EXPANDED METAL
EP	- EPOXY PAINT & PRIMER
ESF	- EPOXY SEALED FLOORING
ET	- EPOXY TERRAZZO
F	- FIRELITE GLAZING
FG	- FIBERGLASS
FT	- FLOCKED TILE (GARPETING)
GB / GBD. / GYP.BD.	- GYPSUM BOARD
GLB	- GLASS BLOCK
GLBL	- GLAZED BLOCK
GL	- GLAZING / GLASS
GNG	- GEORGIAN WIRE GLAZING
GM	- GYM MAT
GMT	- GLASS MOSAIC TILE
HM	- HOLLOW METAL
HARDWD.	- HARDWOOD
H/D/G	- HOT / HOT DIPPED GALV.
IMP	- INSULATED METAL PANELS
LCC	- LEAD COATED COPPER
LINO	- LINOLUM
LSS	- LAMINATED SAFETY GLAZING
LVT	- LUXURY VINYL TILE
LVP	- LUXURY VINYL PLANK
LVS	- LEXAN GLAZING
MAR	- MARMOLEUM
MAB	- MASONITE
MS	- METAL SIDING
MTL	- METAL
MW	- MOVEABLE WALL SYSTEM
NAT.	- NATURAL
PB	- PARTICLE BOARD
PG	- PRECAST CONC.
P	- PTD. - PAINTED
PT	- PRE-FIN. - PREFINISHED
PL	- PLASTER
FLAM	- PLASTIC LAMINATE
PLYWD.	- PLYWOOD
PMP	- PREFORMED METAL PANEL
PSP	- PERCED STEEL PLANKING
PT	- PORCELAIN TILE
PQP	- PARQUET FLOORING
QT	- QUARRY TILE
QVT	- QUARTZ VINYL TILE
R	- RUBBER
RB	- RUBBER BASE
RSF	- RESILIENT SHEET FLOORING
S	- STONE
SAFF	- SAFETY FLOORING
SG	- SPECIAL COATING
SF	- SPORTS FLOORING
SG	- LAMINATED SAFETY GLASS
SL	- SPANDREL GLAZING
SHV	- SHEET VINYL FLOORING
S.S.	- SOLID SURFACE
ST	- STUCCO
ST / STL	- STEEL
S/S	- STAINLESS STEEL
SKV	- STAINED & VARNISHED
SLC	- SOLID MCD CORE
T	- TEMPERED GLAZING / GLASS
TDS	- TEMPERED DOUBLE GLAZING / GLASS
TBB	- TILE BACKER BOARD
TEGUM	- TEGUM ACOUSTIC PANEL
TERR	- TERRAZZO
TURF	- ARTIFICIAL TURF
U	- POLYURETHANE
V	- VINYL
VCGB	- VINYL COATED GYPSUM BOARD
VCP	- VENEER CORE PLYWOOD
VCT	- VINYL COMPOSITE TILE
VFF	- VINYL FLANK FLOORING
VR	- VENTED RUBBER BASE
WD	- WOOD
WP	- WATER PROOFING

RM. NAMES

AL	- AIR LOCK
CL	- CLOSET
GLASSRM.	- GLASSROOM
COMM.	- COMMUNICATION
CONF.	- CONFERENCE
CORR.	- CORRIDOR
ELEC.	- ELECTRICAL
ELEV.	- ELEVATOR
INST.	- INSTRUCTOR
LAB	- LABORATORY
LAU	- LAUNDRY
FR.	- POWDER ROOM
PRINC.	- PRINCIPAL
REC.	- RECEPTION
RECEIV.	- RECEIVING
RM.	- ROOM
SHWR.	- SHOWER
STOR.	- STORAGE
ST.	- STATION
SUR.	- SURGERY
VEST.	- VESTIBULE
VP	- VICE PRINCIPAL
WR.	- WASHROOM

CONSULTANT LIST

ARCHITECTURAL / STRUCTURAL



CONTACTS:

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JULIAN STEWART, B.Arch, S.C.

STRUCTURAL:

BEN BUCHVALD, M. Eng., P. Eng.,
KEEGAN AMY

ELECTRICAL

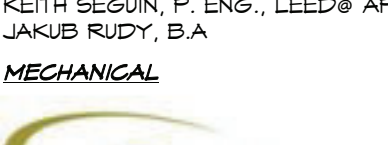


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MECHANICAL

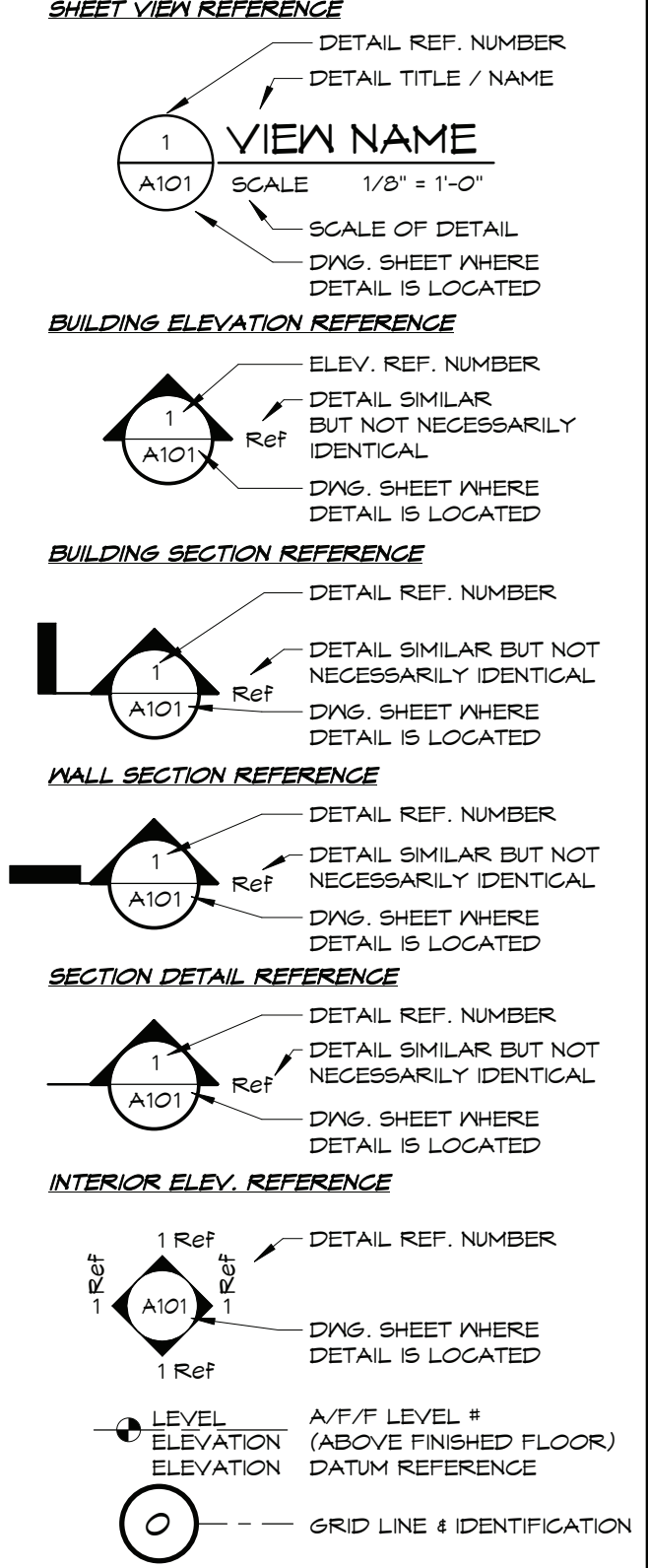


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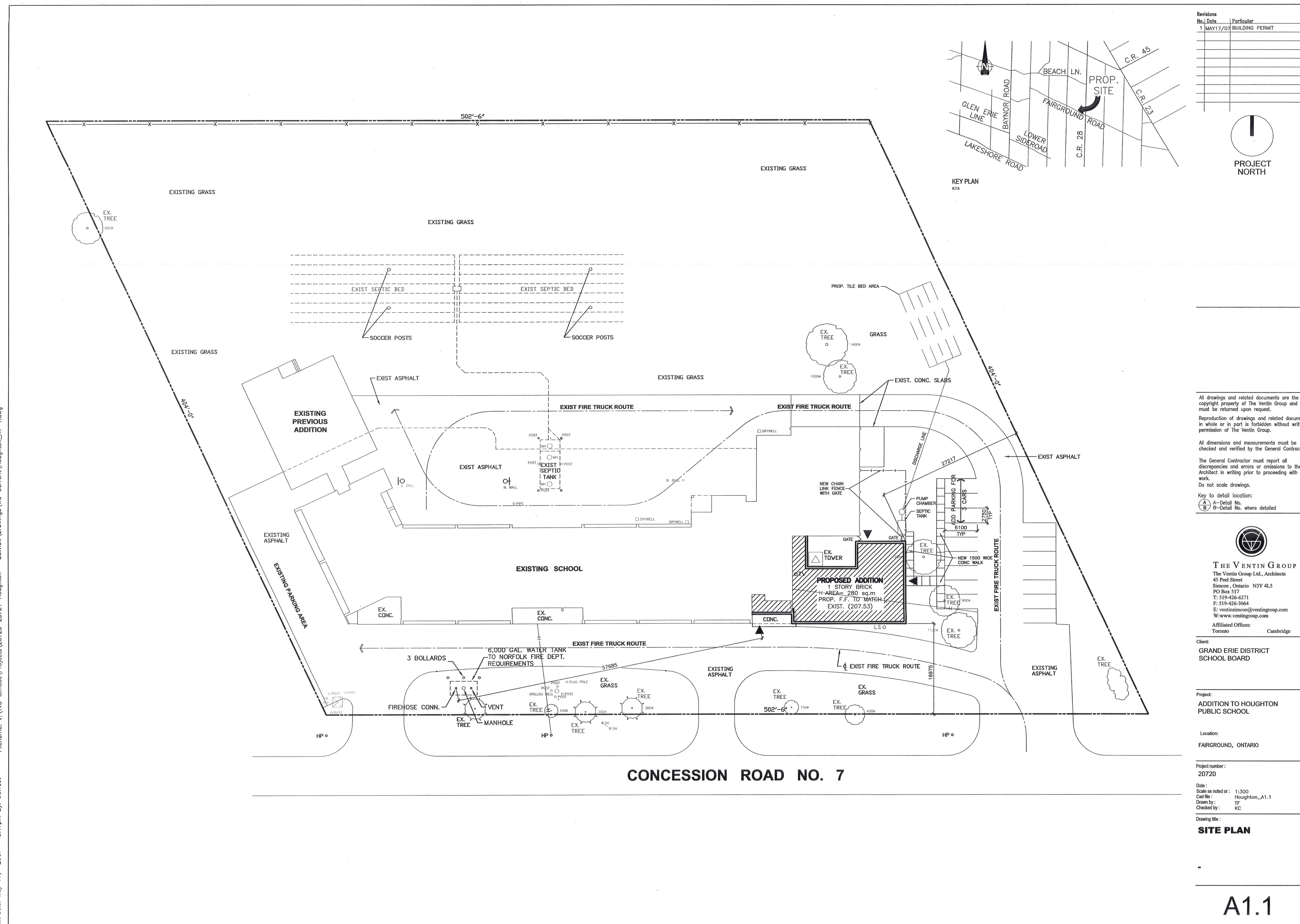
ANNOTATIONS LEGEND



SITE PLAN
SCALE 1:100



SITE MAP

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All dimensions and measurements must be checked and verified by the General Contractor.

The General Contractor must report all discrepancies and errors or omissions to the Architect in writing prior to proceeding with work.

Do not scale drawings.

Key to scale location:

Ⓐ	Detail no.
B	B-Detail no. where detailed



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Affiliated Offices:

Toronto Cambridge

Client:

GRAND ERIE DISTRICT
SCHOOL BOARD

Project:
ADDITION TO HOUGHTON
PUBLIC SCHOOL

Location:
FAIRGROUND, ONTARIO

Project number :
20720

Date :
Scale as noted or : 1:300
Cad file : Houghton_A1.1
Drawn by : TF
Checked by : KC

Drawing title :
SITE PLAN

SITE PLAN

A1.1

NOTE:
SHOWN FOR EX. FIRE TRUCK ROUTES x3 STREETS REFERENCE ONLY

NO.	DATE	ISSUANCE
5	2024.06.12	BLDG. PERMIT & TENDER
4	2024.05.30	BLDG. PERMIT & TENDER
NO.	DATE	ISSUANCE

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STAMP ARCH.	STAMP STRUCT.
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[illegible][illegible][illegible][illegible]

PROJECT TITLE:
HOUGHTON PUBLIC SCHOOL
RENO
505 FAIRGROUND RD.,
LANGTON, ONTARIO, CANADA,
N0E 1G0

DRAWING TITLE:
EX. SITE PLAN REFERENCE FIRE
TRUCK ROUTE

CHECKED BY:	DRAWN BY:
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MS m/z 100, 117, 132, 147, 161, 176, 191, 206, 221, 236, 251, 266, 281, 296, 311, 326, 341, 356, 371, 386, 401, 416, 431, 446, 461, 476, 491, 506, 521, 536, 551, 566, 581, 596, 611, 626, 641, 656, 671, 686, 701, 716, 731, 746, 761, 776, 791, 806, 821, 836, 851, 866, 881, 896, 911, 926, 941, 956, 971, 986, 1001.

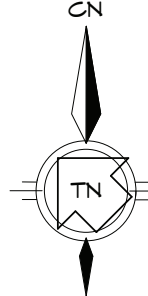



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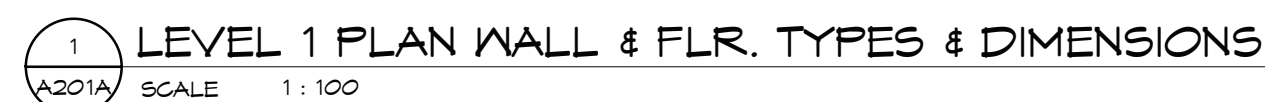
PROJECT NO.:	A101A
23-201	

PROJECT NO.: 23-201

25-201	
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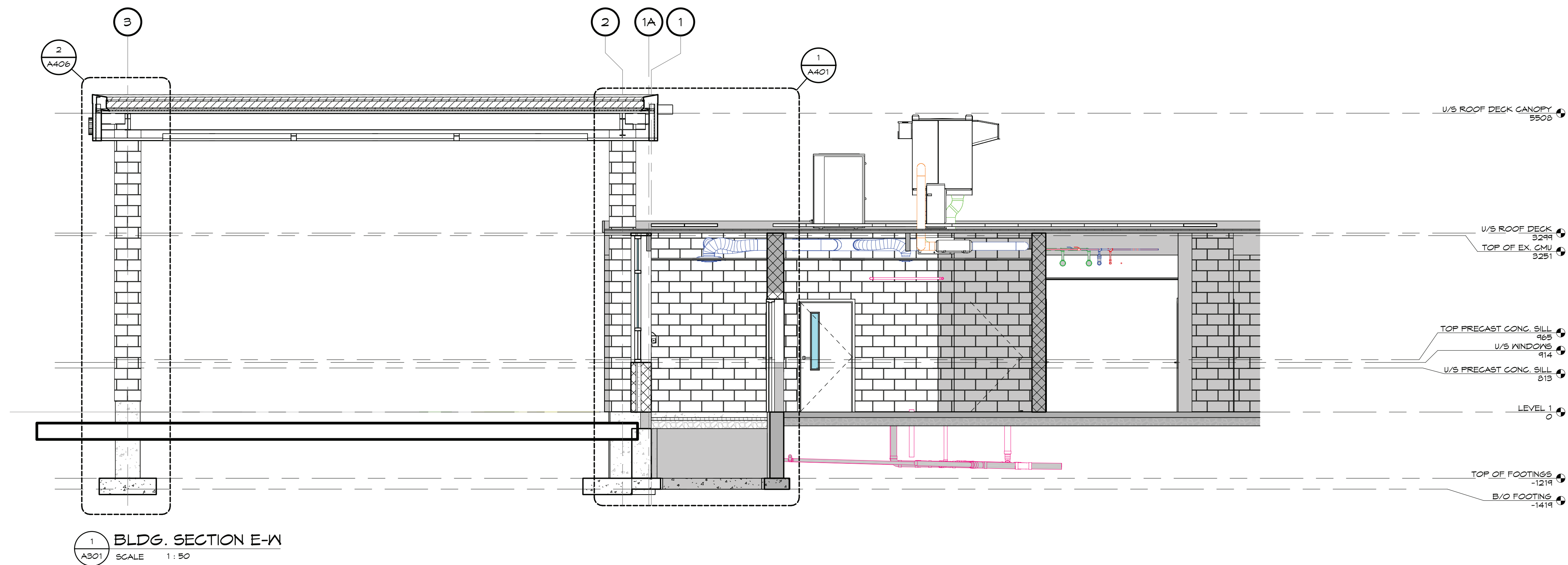


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 <div style="display: inline-block; vertical-align: middle;"><h1 style="margin: 0;">vallee</h1><p style="margin: 0;"><i>Consulting Engineers, Architects & Planners</i></p></div>	
<p>G. DOUGLAS VALLEE LIMITED 2 TALBOT STREET NORTH SIMCOE ONTARIO N3Y 3W4 (519) 426-6270</p>	
<p>STAMP ARCH.</p> <div style="text-align: center;"></div>	<p>STAMP STRUCT.</p> <div style="border: 1px solid black; height: 100px; width: 100%;"></div>
<p>PROJECT TITLE:</p> <p>HOUGHTON PUBLIC SCHOOL RENO</p> <p>505 FAIRGROUND RD., LANGTON, ONTARIO, CANADA, N0E 1G0</p>	
<p>DRAWING TITLE:</p> <p>LEVEL 1 WALL & FLOOR TYPES & DIMENSIONS</p>	
<p>CHECKED BY:</p> <p>MS</p> <p>DRAWING SCALE:</p> <p>As indicated</p> <p>PROJECT NO.:</p> <p>23-201</p>	<p>DRAWN BY:</p> <p>JS</p> <p>DRAWING NO.:</p> <p>A201A</p>



- GENERAL NOTES:**
- SHOP DWS'S ARE TO BE DIMENSIONED IN METRIC UNITS (IMPERIAL & METRIC BOTH SHOWN IS ACCEPTABLE)
 - ALL DIM'S ARE OUTSIDE OF WALL SYSTEMS

DATE PLOTTED 10/3/2024 2:50:30 PM PROJECT NUMBER & NAME 23-201 HOUGHTON PUBLIC SCHOOL RENO FILE PATH: H:\Projects\2023\23-201 Houghton Public School Reno\Drawings\Arch\23-201 Houghton.rvt



NO.	DATE	ISSUANCE
6	2024.06.17	ADDENDUM #1
5	2024.06.12	BLDG. PERMIT & TENDER
4	2024.05.30	BLDG. PERMIT & TENDER
3	2024.05.16	PROGRESS
2	2024.05.14	PROGRESS

NO.	DATE	ISSUANCE
6	2024.06.17	ADDENDUM #1
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4	2024.05.30	BLDG. PERMIT & TENDER
3	2024.05.16	PROGRESS
2	2024.05.14	PROGRESS

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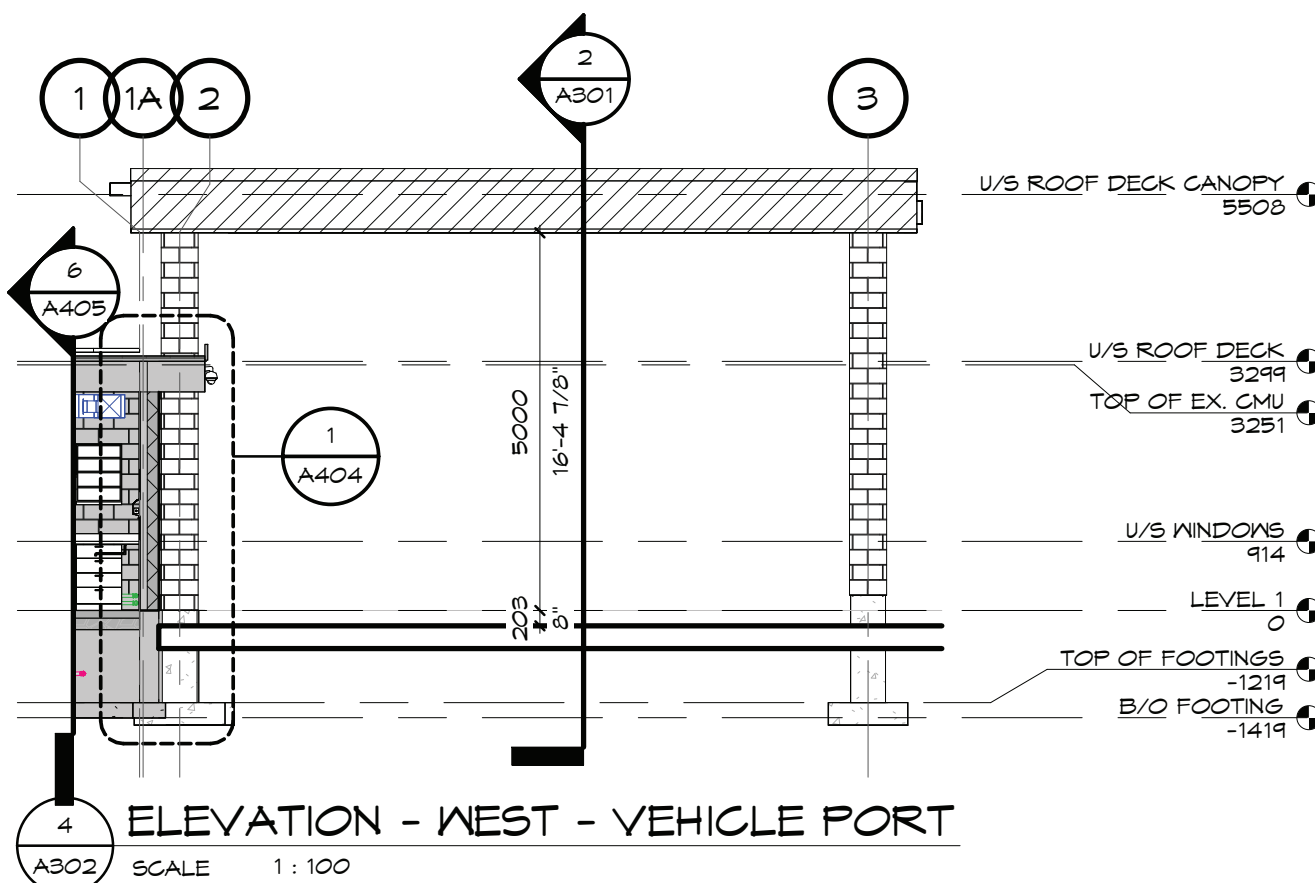
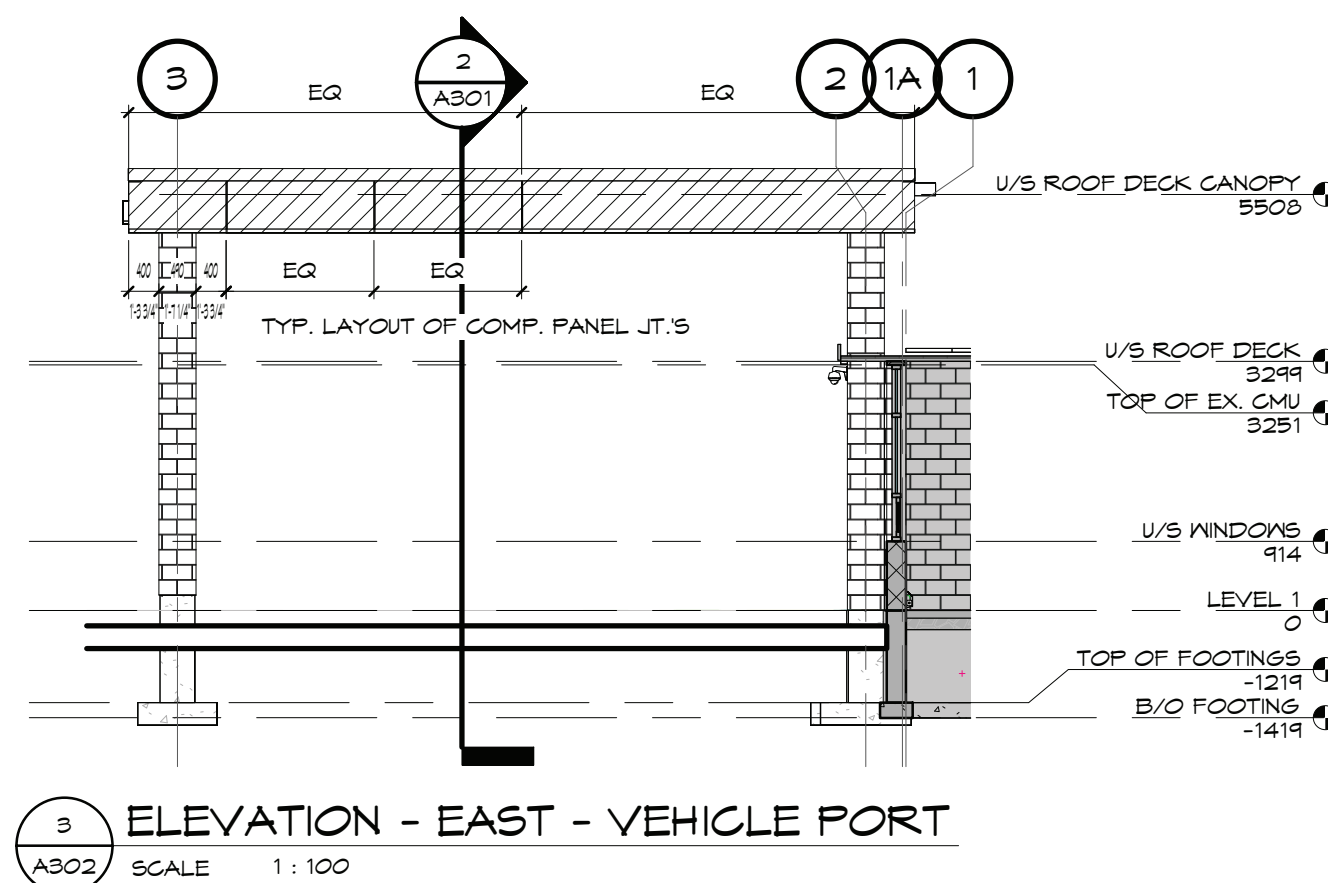
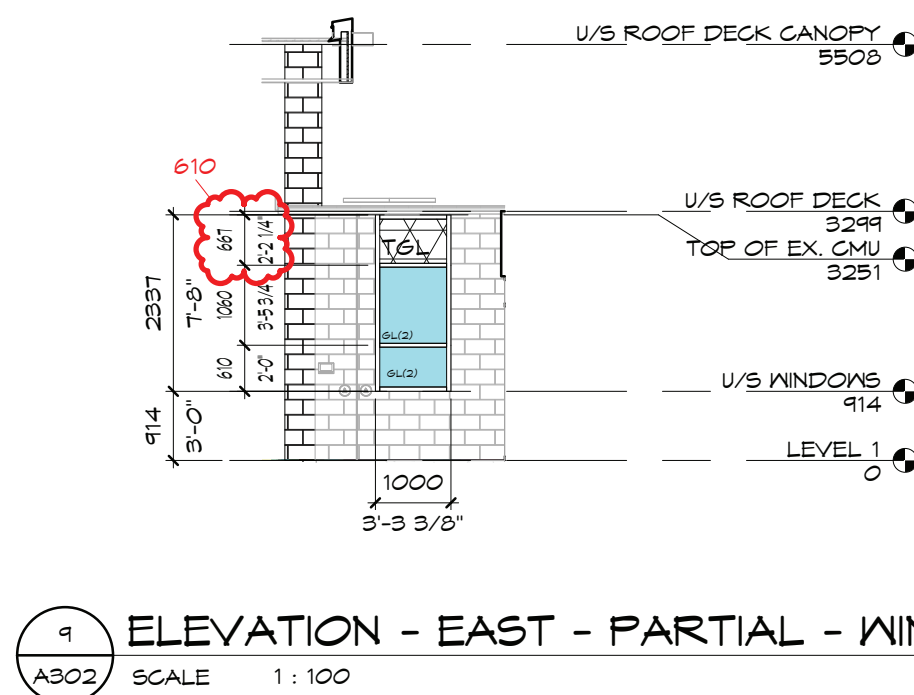
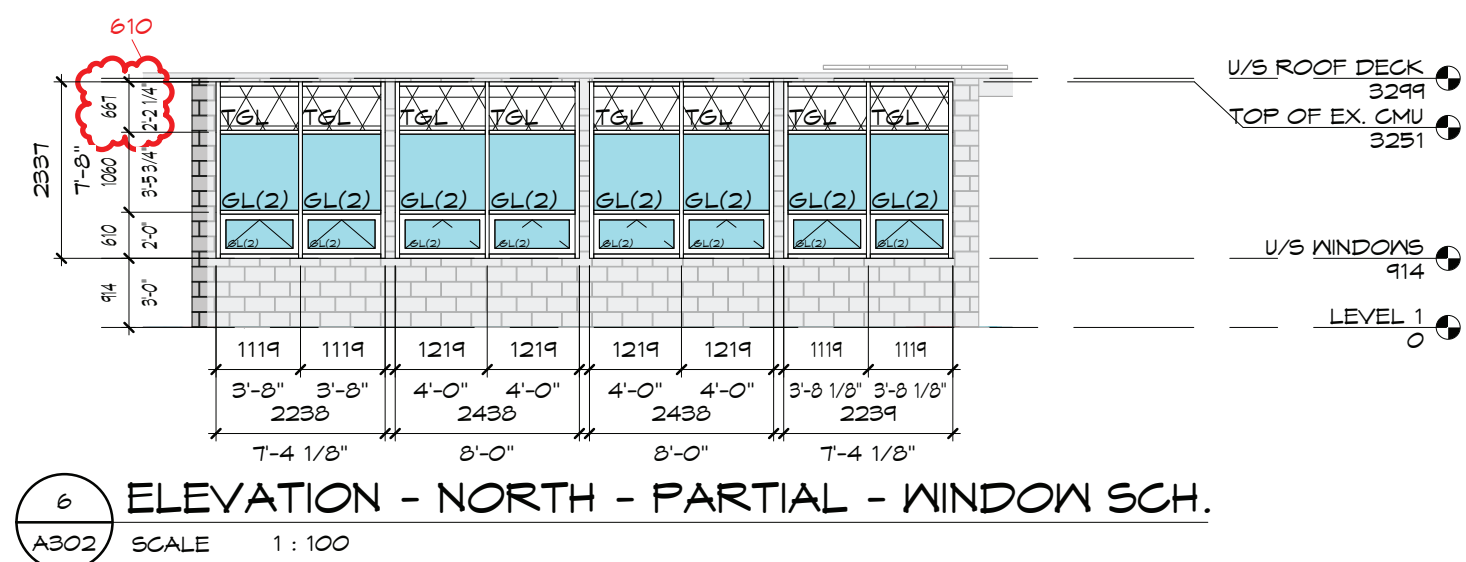
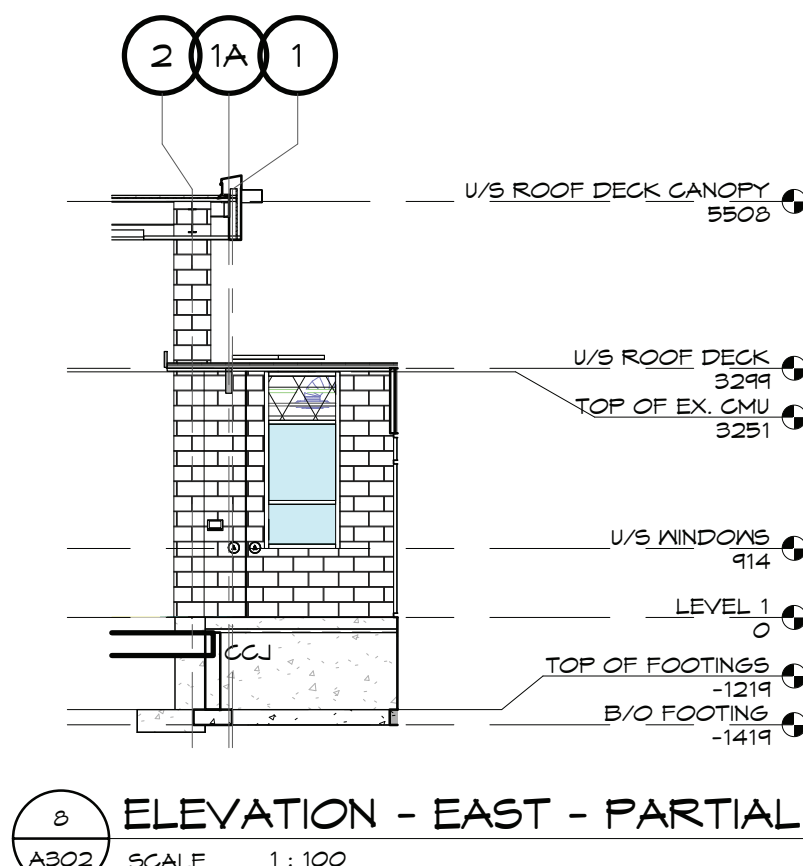
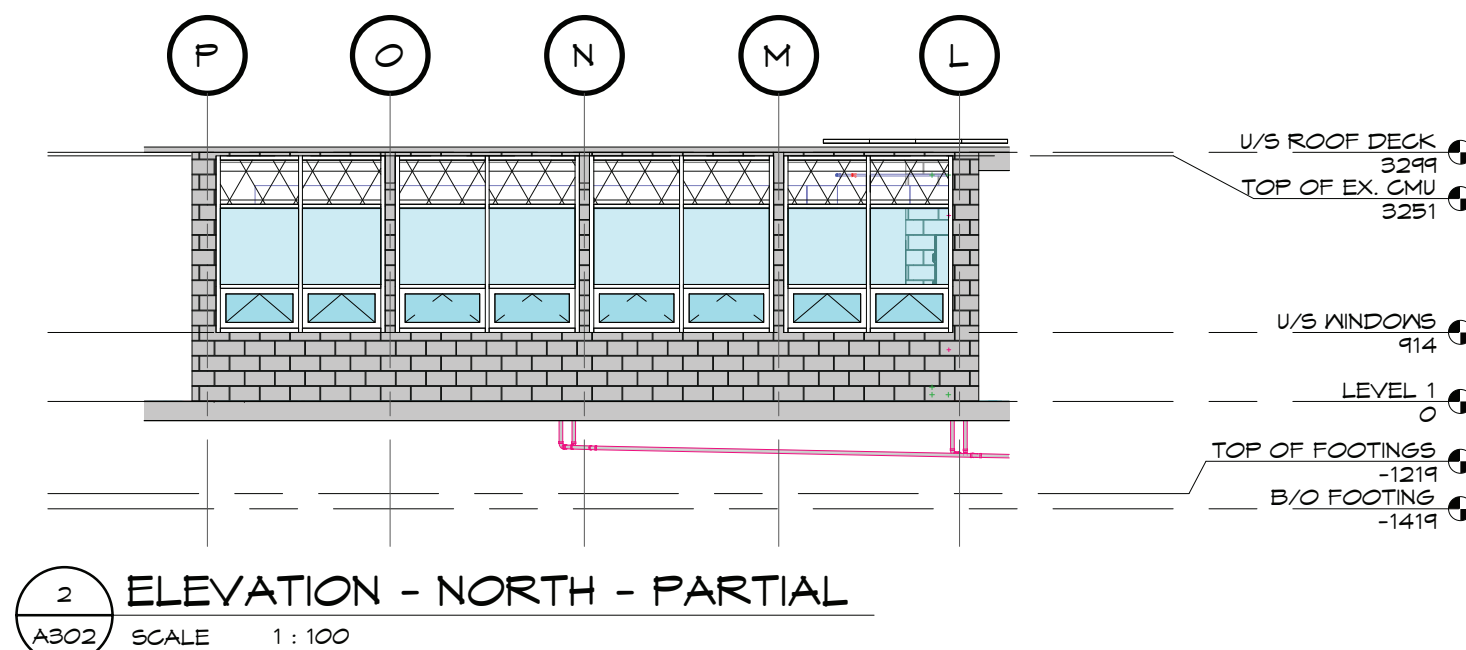
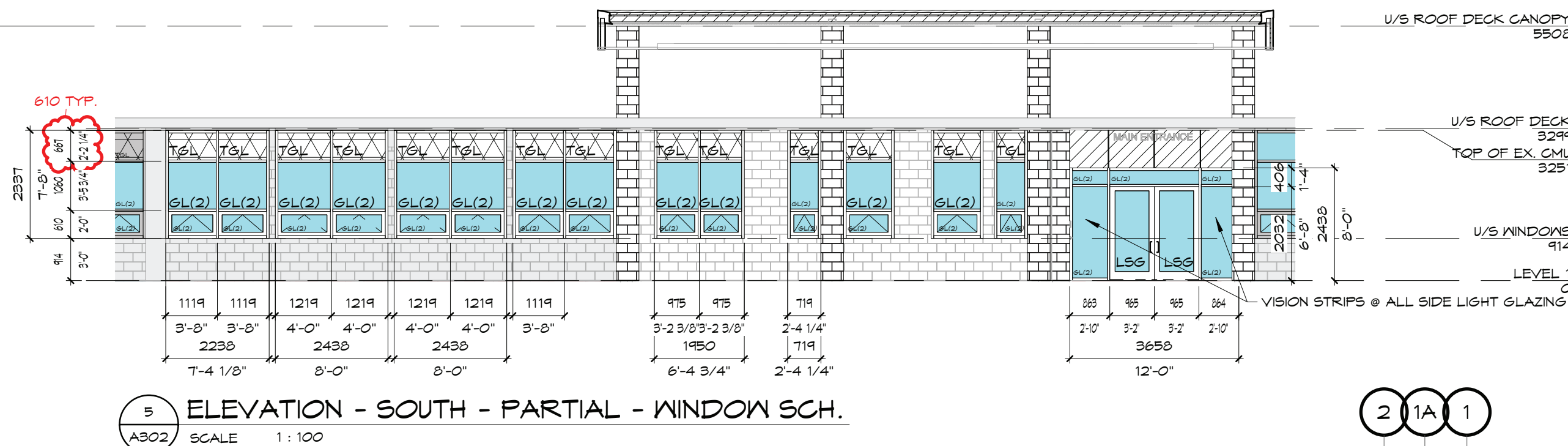
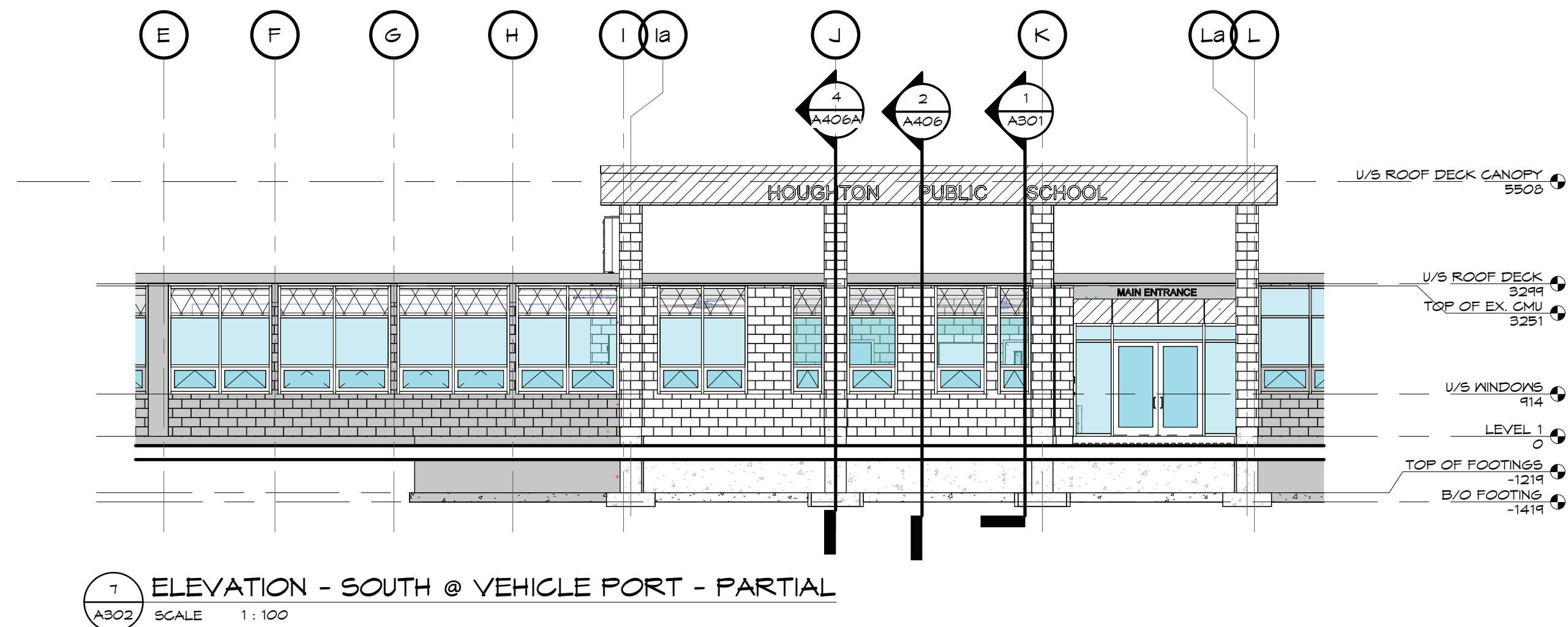
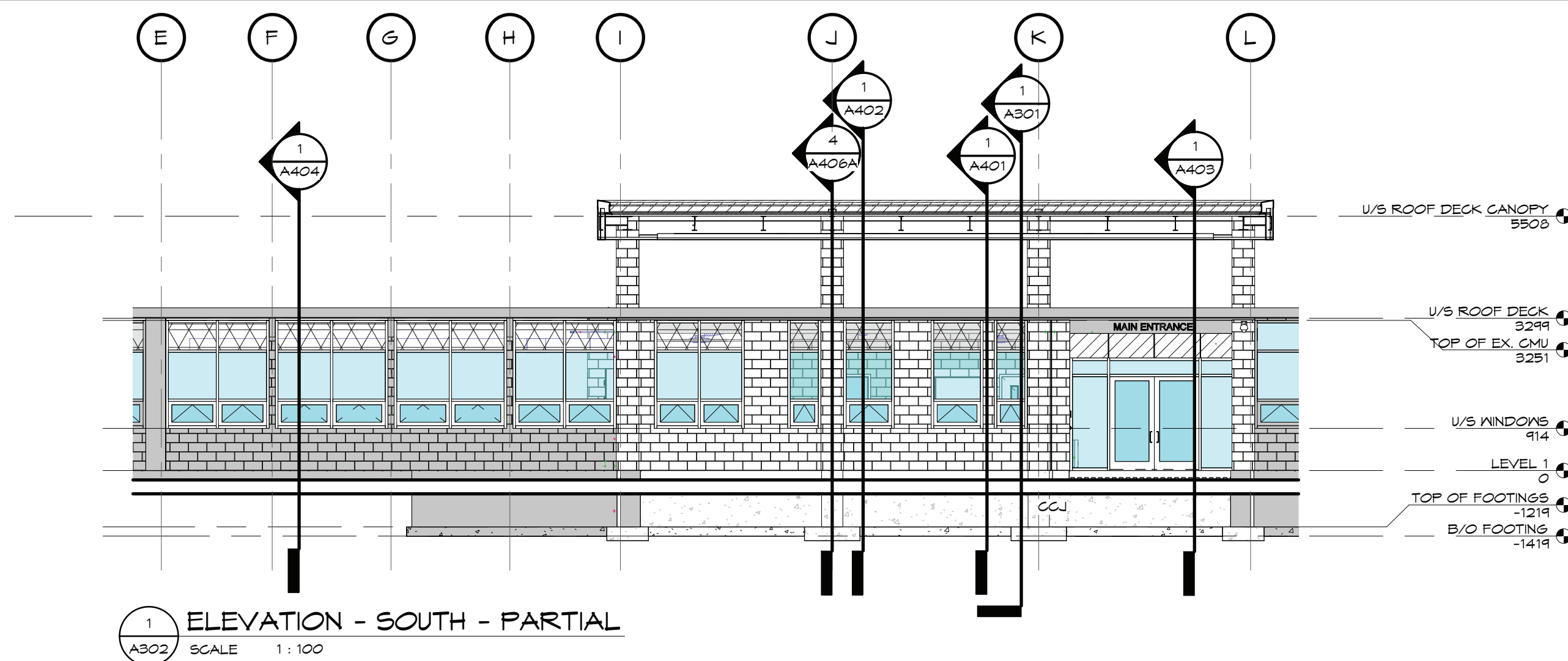
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PROJECT TITLE:
HOUGHTON PUBLIC SCHOOL RENO
505 FAIRGROUND RD.,
LANGTON, ONTARIO, CANADA,
N0E 1G0

DRAWING TITLE:
BLDG. SECTIONS

CHECKED BY: MS	DRAWN BY: JS
DRAWING SCALE: 1 : 50	DRAWING NO.: A301
PROJECT NO.: 23-201	



ALUM. ENT. STOREFRONT FRAMING & WINDOW NOTES

COORD.:
• IT IS THE RESPONSIBILITY OF THE CURTAIN WALL / ENT. STOREFRONT FRAMING / WINDOW & HARDWARE MANUF. / CONTRACTOR TRADES TO COORDINATE & EXECUTE THEIR WORK TOGETHER

• COORD. IV FLR. PLANS, ELEVATIONS & SCHEDULES FOR LOCATIONS & QUANTITY OF CURTAIN WALLS, ENT. STOREFRONT FRAMING & WINDOWS

DOOR FINISH HARDWARE:
• ALL DOOR FINISH HARDWARE TO BE INCLUDED IN THE CONTRACT - CASH ALLOWANCE - COORD. IV A301 DWG.

FIRE RATINGS:
• COORD. IV LIFE SAFETY DWG.'S FOR FIRE SEPARATIONS & FIRE RESISTANCE RATINGS FOR EXPOSURE SITUATIONS. FIRE RATED FRAMING & GLAZING TO BE IMPLEMENTED.
2 HR. (120 MIN.) FIRE SEPARATION TO HAVE 1 1/2 HR. (90 MIN.) FIRE RATED CLOSURE
1 1/2 HR. (90 MIN.) FIRE SEPARATION TO HAVE 1 HR. (60 MIN.) FIRE RATED CLOSURE
1 HR. (60 MIN.) FIRE SEPARATIONS TO HAVE 3/4 HR. (45 MIN.) FIRE RATED CLOSURE
3/4 (45 MIN.) HR. FIRE SEPARATIONS TO HAVE 3/4 HR. (45 MIN.) FIRE RATED CLOSURE
1/2 HR. (30 MIN.) FIRE SEPARATIONS TO HAVE 20 MIN. FIRE RATED CLOSURE

DOORS & OPENING INFILLS IN EXT. WALLS IV A FIRE RESISTANCE RATINGS BUT THAT ARE NOT REQ'D TO BE PROTECTED OPENINGS ARE NOT REQ'D TO HAVE A FIRE RESISTANCE RATING TYP.
(COORD. IV UNPROTECTED OPENING ELEV.'S)

• ALL FIRE RATED CURTAIN WALLS / ENT. STOREFRONT FRAMING & WINDOWS IV GLAZING 'GL' TO HAVE 'FIRELITE' GLAZING AS REQ'D INCLUDING ALL EXPOSURE SITUATIONS UNLESS HM IV GWS ARE NOTED. ALL NON-RATED GLAZING TO BE TEMPERED U/V/O TYP.

SIZINGS:
• OPENINGS - DIM.'S INDICATED ARE R/O U/V/O - VERIFY ALL OPENING DIM.'S ON SITE PRIOR TO FABRICATION & ORDERING
• REPLACEMENTS - DIMENSIONS INDICATED ARE FOR EX. R/O SIZING UNLESS OPENING SIZE IS NOTED TO BE ALTERED. VERIFY ALL OPENING DIMENSIONS ON SITE / SHOP DWG.'S PRIOR TO FABRICATION & ORDERING

ALUM. OPENING NOTES
ALUM. DOOR LEAF:
• ALL EXT. ALUM. DOORS TO BE INSULATED, CONT. PER. WEATHER STRIPPING, ALUM. THRESHOLD (THRESHOLD TO EXTEND U/S EACH JAMB & BE THE WIDTH OF THE DOOR FRAME), DOOR CLOSER, FRAMES TO BE THERMALLY BROKEN

ALUM. HINGES:
• ALL ALUM. DOORS TO HAVE CONT. HINGES. ALL HM, S/S, THERM. GLASS, VINYL, MD, STEEL, FLAM COVERED WOOD DOORS TO HAVE 3 BALLBEARING HINGES. ALL EXTERIOR HM. DOORS TO HAVE 4 HINGES

ALUM. FRAMING:
• FRAMING - COORD. IV SPEC.
• COORD. IV SPEC. & INT. & EXT. FIN. SCH.

GLAZING:
• GLAZING - COORD. IV SPEC.
• ALL GLASS AND GLAZING, CONTRACTOR SHALL VERIFY AND PROVIDE THICKNESS TO BE CONFIRMED BY MANUFACTURER FOR THE ASSEMBLY IN WHICH THE GLAZING IS INSTALLED. TO BE SUBMITTED IN SHOP DRAWINGS STAMPED BY A PROFESSIONAL ENGINEER BEFORE ANY MANUFACTURING. GLAZING TAPE TO BE AS PER MANUFACTURER'S WRITTEN RECOMMENDATIONS.

ENERGY EFFICIENCY:
• ENERGY EFFICIENCY OF OPENING INFILLS IN CONDITIONED / SEMI-HEATED SPACES TO MEET OR EXCEED THE CBC MATRIX ENERGY EFFICIENCY REQ.'S

SHOP DRAWINGS
IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO ENSURE, DOOR(S), SCREEN(S), WINDOW(S), CURTAIN WALL(S), FRAME(S), & THEIR HARDWARE MANUF.'S TRADES COORD. & EXECUTE THEIR WORK TOGETHER & LABEL IDENTIFYING INFO. FOR ALL DOOR(S), SCREEN(S), WINDOW(S), CURTAIN WALL(S), FRAME(S) SCH.'S TO MATCH THE IDENTIFICATION TAG LABELS & DIMENSIONS HERE.
(REVISE & RESUBMIT SHOP DWG.'S WILL BE RETURNED IF THIS FORMAT IS NOT FOLLOWED IV NO REVIEW UNDERTAKEN)

ELEVATION LEGEND - EXTERIOR

- LF WM LIGHT FIXTURE (WM - WALL MTD.)
EX WM EX. LIGHT FIXTURE (WM - WALL MTD.)
EX PA EX. PA SYSTEM SPEAKER
EX HB EX. HOSE BIB
CAMERA LOCATIONS
COMPARTMENT CAVITY JOINT & LOCATION (COORD. IV A401 FOR TYP. DETAILS)
(COORD. IV MASONRY MODULE) MAX. DISTANCE 30m)
SIGNAGE:
• 25mm THICK BRUSHED ALUM. IV 25mm BRUSHED ALUM. STANDOFFS
• FONT TYPE: ARIAL
• FONT SIZE: 150 / 300mm

- HATCH IDENTIFICATION LEGEND**
GL(1/2)3 VISION GLAZING (MAY NOT BE LABELLED GL, MAY BE COLOURED LIGHT BLUE)
TGL TRANSLUCENT GLAZING
PRE-FIN. ALUM. COMPOSITE PANEL (DIFF. COLOURS WILL BE LABELLED)
ARCH. MASONRY BLOCK VENEER (DIFF. COLOURS WILL BE LABELLED)
CMU BLOCK (DIFF. COLOURS WILL BE LABELLED)
EX. CMU BLOCK VENEER TO REMAIN (DIFF. COLOURS WILL BE LABELLED)

GENERAL NOTES:
• SHOP DWG.'S ARE TO BE DIMENSIONED IN METRIC UNITS (IMPERIAL & METRIC BOTH SHOWN IS ACCEPTABLE)
• ALL EXT. ELEC. REG.'S ARE TO BE MTD. 400mm A/F LEVEL 1 TO 'CENTER OF REG. TYP.

GENERAL NOTES - EX. CONDITIONS:
• ALL EX. ITEMS WILL HATCHED THE COLOUR 'GRAY' & BE LABELLED IV 'EX' & ARE TO REMAIN U/V/O OR SHOWN & NOTED IN DEMO PLANS & OTHER CONSULTANT DWG.'S TYP.

• COORD. IV STRUCT. / MECH. / ELEC. DWG.'S FOR ADDITIONAL NOTATIONS & INFO.
• COORD. IV EX. DWG.'S PROVIDED FOR ADDITIONAL NOTATIONS & INFO.
• F/V ALL EX. DIMENSIONS TYP.

• PATCH, REPAIR & PAINT ALL EX. ITEMS WHERE DISTURBED / DAMAGED BY CONST. / DEMO, REPLACE WHERE DIRECTED. PROVIDE CLEAN TRANSITIONS TYP.

• ALL NEW ELEC. WIRING TO BE SURFACE MTD. ON EX. CMU WALL SYSTEMS UNLESS CONTRACTOR CAN FISH THROUGH & CONCEALED IN NEW CMU WALLS TYP.

NO.	DATE	ISSUANCE
14	N/A	REV/CLOUD INTERNAL
1	2024.08.28	CCC#1 - HM DOORS
6	2024.06.17	ADDENDUM #1
5	2024.06.12	BLDG. PERMIT & TENDER
4	2024.05.30	BLDG. PERMIT & TENDER
3	2024.05.16	PROGRESS
2	2024.05.14	PROGRESS
NO.	DATE	ISSUANCE

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PROJECT TITLE:
HOUGHTON PUBLIC SCHOOL RENO
505 FAIRGROUND RD.,
LANGTON, ONTARIO N3Y 3W4,
NOE 1G0

DRAWING TITLE:
EXTERIOR ELEVATIONS - ENT. FRAMING / WINDOW SCHEDULES

CHECKED BY: MS	DRAWN BY: JS
DRAWING SCALE: 1:100	DRAWING NO.: A302
PROJECT NO.: 23-201	

DEMOLITION LEGEND

- EX. TO BE DEMOLISHED / REMOVED
- - - TREE / VEGETATION PROTECTION
- (COORD. IV) LANDSCAPE DNG'S FOR EXTENTS

HATCH IDENTIFICATION LEGEND

- EX. TO BE DEMOLISHED / REMOVED

- THE **AUTHORITY HAVING JURISDICTION** IS NORFOLK COUNTY
- ALL ITEMS INDICATED IV A DASHED LINE / ANGLE HATCH ARE CONSIDERED TO BE REMOVED BY THIS CONTRACT. ITEMS INDICATED DO NOT NECESSARILY ENTAIL ALL ITEMS TO BE REMOVED - COORD. IV ALL CONST. DOCUMENTS & CONSULTANT DNG'S FOR NEW WORK THAT REQUIRES DEMO OF ANY EXTENT
- THESE NOTES APPLY TO DEMOLITION / CONST. WITHIN THE PROPERTY / BOUNDARY / SCOPE OF WORK U/V/O.

NOTE:
COORD. IV CONST. / NEW DNG'S FOR WORK THAT IS NOT NOTED IN THE DEMO DNG'S TYP.

REFERENCE NOTE:
FOR OTHER SITE & BLDG. CONDITIONS, EX. TO REMAIN / SALVAGING / DEMO / REMOVAL / GAPPING / TERMINATIONS / ETC. & CONST. / NEW TO BE PROVIDED, THIS DNG. IS TO BE READ IN CONJUNCTION IV ALL OTHER DNG'S LISTED ON A100 DNG. LIST

SITE SPECIFIC

GENERAL NOTES:

VERIFY CONDITIONS:

- CONTRACTOR TO VERIFY ALL CONDITIONS ON SITE TO DETERMINE COMPLETE SCOPE OF WORK (COORD. IV EX. SITE SURVEY & ALL OTHER DNG'S)
- CONTRACTOR TO VERIFY EXISTENCE & OBTAIN LOCATES FOR ALL EX. UNDERGROUND & CIVIL SERVICES ON BOTH S&T & INT. OF PROPERTY / BOUNDARY / SCOPE OF WORK LINES PRIOR TO COMMENCEMENT OF WORK / ANY DIGGING / EXCAVATION (COORD. IV SITE SERVICE & EX. SITE SURVEY DNG'S)

ACCESS / CONST. FENCE / SECURE SITE:

- CONTRACTOR TO SECURE THE WORK SITE DURING DEMO & CONST. & HOARD OFF THE WORK AREA TO PREVENT ACCESS FOR ANYONE NOT ENGAGED IN THE WORK OF THIS DEMOLITION / CONST. SCOPE
- PROVIDE CONST. GATES / FENCES / BOUNDARIES AS SHOWN / REQ'D TO THE **AUTHORITY HAVING JURISDICTION** REQ'S. (SUBMIT SHOP DNG'S FOR LOCATIONS & EXTENTS).
- A 1.0m HIGH CHAIN LINK FENCE (ALTERNATE MODU-LOG OR SIMILAR CONSTRUCTION FINISHES) ON SUPPORTS AS REQ'D. @ WORK BOUNDARIES TO BE ERECTED BY THE CONTRACTOR PRIOR TO THE COMMENCEMENT OF THE DEMOLITION PROCESS & SHALL REMAIN & BE MAINTAINED IN POSITION INDEFINITELY UNTIL COMPLETION OF NEW CONST. WORK.
- MAINTAIN SAFE EMPLOYEE / SAFE PUBLIC ACCESS TO THE BLDG. DURING OPERATING HOURS & MAINTAIN FULL EMERGENCY ACCESS & EXITING @ ALL TIMES TO & FROM THE BLDG. THROUGHOUT CONST. & DEMO. PROVIDE PROTECTION TO ALL PERSONNEL FROM FALLING DEBRIS & CONST. TRAFFIC, POST SIGNAGE & CONSTRUCT HOARDING / PROTECTED PEDESTRIAN WALKWAYS AS REQ'D.

SILTATION:

- SILTATION CONTROL DEVICES SHALL BE INSTALLED PRIOR TO WORKS COMMENCING ON THE SITE FOR DEMOLITION / CONST. SCOPE AND SHALL BE MAINTAINED IN POSITION UNTIL COMPLETION OF DEMO WORK / UNTIL COMPLETION OF NEW CONST. WORK, TO THE SATISFACTION OF THE **AUTHORITY HAVING JURISDICTION** BY THE DEMO CONTRACTOR (COORD. IV OPSD 219.11, 219.130)

PROTECTION:

- DO NOT DISTURB ANY ITEMS BEYOND THIS BOUNDARY OR ONTO MUNICIPAL PROPERTY OR THAT ARE NOT INDICATED (REPAIR & MAKE GOOD WHERE REQ'D. PROVIDE CLEAN TRANSITIONS TYP.)
- PROTECT ALL SIGNIFICANT AREAS / ELEMENTS DURING DEMOLITION TYP.
- CONTRACTOR TO PROTECT ALL EXPOSED PORTIONS OF THE EX. BLDG. TO REMAIN. MAKE GOOD ALL DISTURBED SURFACES & ADJACENT SYSTEMS / REPLACE & REPAIR ANY DAMAGE CAUSED BY INSUFFICIENT PROTECTION OF SURFACES / MATERIALS THAT ARE TO REMAIN, PROVIDE CLEAN TRANSITIONS TYP.
- PROTECT ALL EX. TREES / VEGETATION TO REMAIN & INSTALL TREE PROTECTION MEASURES: PROTECTION TO STAY FOR THE LENGTH OF NEW CONST. / DEMOLITION, REPLACE ANY DAMAGED OR DISTURBED TREES CAUSED BY THIS DEMO. WORK

REMOVAL / DISPOSAL:

- CONTRACTOR TO INCLUDE REMOVAL AND TERMINATION OF ANY EX. SERVICES CONNECTED TO THE EXISTING BUILDING / LOCATED IN SCOPE OF WORK TO BE DEMOLISHED / OR RELOCATED INCLUDING ANY NECESSARY PERMITS OR UTILITY FEES.
- CONTRACTOR IS RESPONSIBLE FOR REMOVAL & DISPOSAL OF ALL MATERIALS THAT ARE DEMOLISHED & THAT ARE NOT INDICATED FOR REUSE / RECLAIMING / SALVAGING OR AS OTHERWISE INDICATED BY THE OWNER. ALL COSTS ARE PART OF BASE BID SUBMISSION IN ACCORDANCE IV BEST CONSTRUCTION PRACTICE, OBC, MUNICIPAL & PROVINCIAL LEGISLATURE REGARDING DEMOLITION & DISPOSAL METHODS (RECYCLE ALL MATERIALS WHERE ABLE).

HAZARDOUS / ABATEMENT:

- PERFORM ALL REQUIRED HAZARDOUS MATERIALS REMOVALS & ABATEMENT AS PART OF THIS WORK. HAZARDOUS MATERIALS / DESIGNATED SUBSTANCE SURVEY / REPORT BY **MAPLE ENVIRONMENTAL INC. RE-ASSESSMENT REPORT OF ASBESTOS-CONTAINING BUILDING MATERIALS REPORT DATED MARCH 2023, MAPLE PROJECT NUMBER 20171, HOUGHTON PUBLIC SCHOOL, 505 FAIRGROUND SIDE ROAD, LANGTON, ONTARIO**
- LIMITED DESIGNATED SUBSTANCE SURVEY REPORT (MAIN OFFICE RENOVATION AND NEW EXTERIOR ROOF ADDITION) REPORT DATED APRIL 17, 2024, MAPLE PROJECT NUMBER 21585, HOUGHTON PUBLIC SCHOOL, 505 FAIRGROUND ROAD, LANGTON, ONTARIO.

- IF ANY HAZARDOUS MATERIAL IS DISCOVERED IN SOILS, MEDIANE THE EXISTING SOIL AS REQUIRED UNDER CASH ALLOWANCE FOR UNKNOWN HAZARDOUS MATERIALS. PROVIDE UNIT RATES FOR THIS WORK PER M³ FOR REMOVAL, DISPOSAL, & REPLACEMENT WITH NEW BACKFILL TO SPECIFIED FINISHED GRADE IV GRANULAR B' & COMPACTED TO 100% STANDARD PROCTOR (@ HARD SURFACE AREAS, SOFT AREAS USE EXCAVATED / NATIVE DIRT MATERIALS). ALL BACK SLOPES TO BLEND INTO EX. TO A MAX. SLOPE OF 1:2 TO PREVENT FONDING. INSTALL 200mm MIN. TOPSOIL AT ALL VEGETATION AREAS; ANY AREAS OF BARE TOPSOIL TO BE GRADED LEVEL & COVERED IV SOD
- ABATEMENT & DEMOLITION INCLUDES REMOVAL, PROPER DISPOSAL OFF SITE & RECYCLING WHERE AVAILABLE OF ALL ITEMS INDICATED IN DNG.

RUBBLE:

- NO RUBBLE OF ANY NATURE TO BE LEFT IN PLACE OR BE USED AS BACKFILL. THIS INCLUDES ALL REBAR, STEEL, SCRAP METAL, WOOD & OTHER DEBOTAGE MATERIALS RESULTING FROM ABATEMENT AND DEMOLITION PROCESSES

- ALL DISTURBED AREAS & HOLES CREATED BY EXCAVATION DURING DEMOLITION TO BE BACKFILLED TO FINISHED GRADE IV GRANULAR B' & COMPACTED TO 100% STANDARD PROCTOR (@ HARD SURFACE AREAS, SOFT AREAS USE EXCAVATED / NATIVE DIRT MATERIALS). ALL BACK SLOPES TO BLEND INTO EX. TO A MAX. SLOPE OF 1:2 TO PREVENT FONDING. INSTALL 200mm MIN. TOPSOIL AT ALL VEGETATION AREAS; ANY AREAS OF BARE TOPSOIL TO BE GRADED LEVEL & COVERED IV SOD

MAKE GOOD:

- MAKE GOOD ALL EXISTING SURFACES / SUBSTRATES / OPENINGS TO RECEIVE NEW FINISHES. INFILL AFTER DEMOLITION IS COMPLETE. ENSURE VOIDS ARE CLEAN & FREE FROM OBSTRUCTIONS SO NEW WORK IS NOT ADVERSELY AFFECTED.

SALVAGING:

- ALL SALVAGED / REUSED MATERIALS ARE TO BE REMOVED IV GREAT CARE, KEPT IN DRY PLACE, PLACED ON SKIDS, COVERED & PROTECTED FROM DAMAGE FOR FUTURE USE & IMPLEMENTATION. TAG / NOTE WHERE MATERIALS ARE ORIG. FROM IN THE BLDG. ALL PLANTINGS TO BE PLANTED IN LARGE POTS & WATERED THROUGHOUT DURATIONS OF PROJECT. LOCATION TO BE DETERMINED ON SITE IV OWNER TYP.

- SALVAGE ALL MULCH, ALL EX. SITE VEHICULAR SIGNS & POSTS

COORD. ANY ADDITIONAL SALVAGING REQUIREMENTS BEFORE START OF DEMO. WORK IV OWNER THAT ARE TO BE RE-USED. & OR HAVE A HISTORICAL SIGNIFICANCE

SPECIFIC SITE DEMO. NOTES:

SURFACES:

- REMOVE ALL EX. ASPHALT PAVEMENT, GRANULAR SUB-BASE & NATIVE SOIL AS REQ'D TO INSTALL NEW FDTN'S (SALVAGE ALL GRANULAR BASE - STOCK PILE WHERE AVAILABLE ON SITE IV LOCATION AS DIRECTED BY OWNER - EXTENTS TO BE VERIFIED BY CONTRACTOR)

- REMOVE EX. TOPSOIL @ NEW LANEWAY / BLDG. / CONST. LOCATIONS WHERE APPLICABLE - STOCK PILE WHERE AVAILABLE ON SITE IV LOCATION AS COORD.'D IV CIVIL & DIRECTED BY OWNER - EXTENTS TO BE VERIFIED BY CONTRACTOR

GENERAL NOTE:

- CUT & REMOVE EX. SURFACES & SUB-BASES AS REQ'D TO REMOVE ANY EX. WORK OR INSTALL ANY NEW WORK FOR ANY TRADE - COORD. DEMO WORK FOR NEW CONST. AS REQ'D IN THE SURFACES TO FINISH THE WORK. INSTALL NEW SURFACES TO MATCH EX. MATERIALS, PROVIDE CLEAN TRANSITIONS, MAKE GOOD WHERE DAMAGED / DISTURBED TYP.

LANDSCAPE:

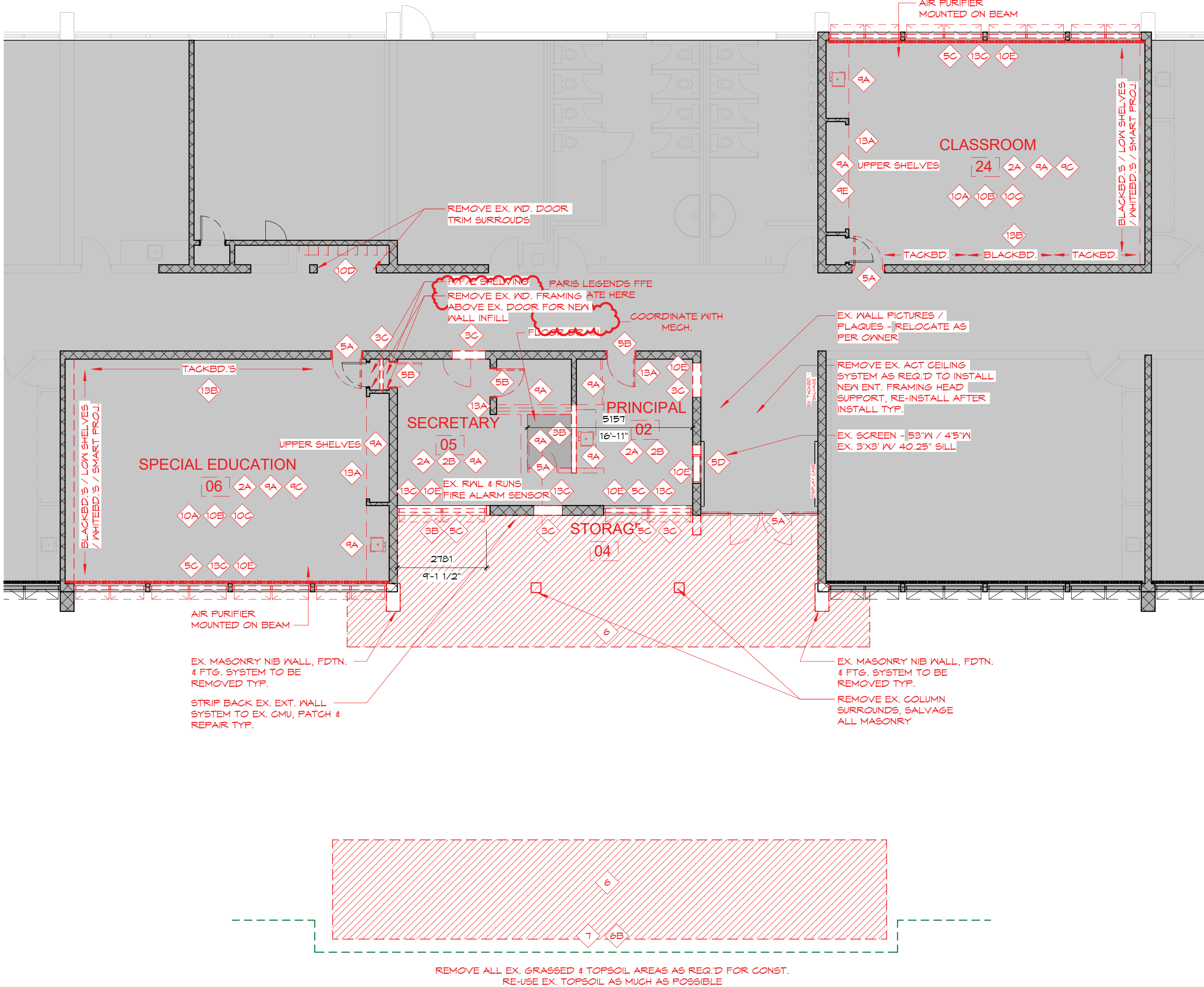
- REMOVE ALL EX. SITE LANDSCAPE ELEMENTS INCLUDING BUT NOT LIMITED TO TREES / SHRUBS / BUSHES / ROOTS / VEGETATION / PLANTING BOXES / GARDENS / RAISED GARDEN BEDS / URNS / ROCKS / VEGETATION IN CONFLICT IV NEW PROPOSED LAYOUTS / DEMOLITION AREA / AS NOTED (NOTE: REMOVE ONLY THAT PORTION OF TREE ROOT SYSTEMS WHICH ARE FOUND WITHIN THE PROPERTY LIMITS - DO NOT UNDERGO PERIMETER FENCING / HOARDING)

GENERAL NOTE:

- COORD. IV CIVIL FOR ANY ASSOCIATED DEMO / REMOVAL / GAPPING / TERMINATIONS / ETC. & CONST. TYP.

HAZARDOUS / ABATEMENT:

- MEDIATE SOIL AS REQ'D FOR HAZARDOUS MATERIALS. PROVIDE UNIT RATES FOR THIS WORK PER M³ FOR REMOVAL, DISPOSAL & REPLACEMENT IV NEW GRANULAR B' MATERIAL



1 LEVEL 1 PLAN DEMOLITION
D201 SCALE 1:100

BLDG. SPECIFIC

PROTECTION:

- PROTECT ALL SIGNIFICANT AREAS / ELEMENTS TO REMAIN DURING DEMOLITION; i.e. FLR. IV 15mm PLYMD., WALL SYSTEM IV BARRIERS, ETC. TYP.

STRUCTURE:

- BEFORE DEMOLITION / REMOVAL OF ANY EXISTING WALL SYSTEMS OR PARTIAL WALL SYSTEMS, CONSULT A STRUCTURAL ENGINEER WHEREVER A LOAD BEARING MEMBER / BEAM / LINTEL / POST(S) / COLUMN(S) ARE AFFECTED. SHOP DNG'S ARE TO BE SUBMITTED BEFORE ANY WORK IS UNDERTAKEN. PROVIDE AN ENGINEERED METHODOLOGY REPORT FOR DEMOLITION WHEN REQUIRED BY THE MUNICIPALITY.

MASONRY:

- "TOOTHING IN" MASONRY IS ONLY ACCEPTED WHERE EXISTING MASONRY WALL SYSTEM HAS BEEN DEMOLISHED OR WHERE A NEW OPENING HAS BEEN MADE. REMOVE & REPLACE ANY DAMAGED MASONRY WITH RECLAIMED MATERIAL TO MATCH EXISTING WHERE POSSIBLE, MAKE CLEAN TRANSITIONS TYP.

MAKE GOOD:

- MAKE GOOD ALL EXISTING SURFACES / SUBSTRATES / OPENINGS TO RECEIVE NEW FINISHES. INFILL AFTER DEMOLITION IS COMPLETE. ENSURE VOIDS ARE CLEAN & FREE FROM OBSTRUCTIONS SO NEW WORK IS NOT ADVERSELY AFFECTED.

SALVAGING:

- ALL SALVAGED / REUSED MATERIALS ARE TO BE REMOVED IV GREAT CARE, KEPT IN DRY PLACE, PLACED ON SKIDS, COVERED & PROTECTED FROM DAMAGE FOR FUTURE USE & IMPLEMENTATION. TAG / NOTE WHERE MATERIALS ARE ORIG. FROM IN THE BLDG. LOCATION TO BE DETERMINED ON SITE IV OWNER TYP.

- SALVAGE ALL EX. LOCKERS, DISPLAY CASE & TACKBD. @ INT., ROLLING SHADES, WHITEBD'S, SMART PROJ. & SCREENS, WALL MTD, PENCIL SHARPENERS, PHOTOCOPIER / PRINTER, WATER DISPENSER, AIR PURIFIER.

COORD. ANY ADDITIONAL SALVAGING REQUIREMENTS BEFORE START OF DEMO. WORK IV OWNER THAT ARE TO BE RE-USED. & OR HAVE A HISTORICAL SIGNIFICANCE

SPECIFIC BUILDING DEMO. NOTES:

FLOOR NOTES:

- REMOVE EX. FIN. FLR'ING, INCLUDING BUT NOT LIMITED TO FIN. FLR'ING, UNDERLAYMENTS, ADHESIVES, BASE, FASTENERS, TO ORIG. CONC. SUBFLR. - TO NEW RM. SIZING WHERE APPLICABLE. MAKE ALL DISTURBED SURFACES LEVEL AND SMOOTH TO ACCEPT NEW FINISH. (COORD. IV A202 MILLWORK LEVEL PLANS FOR EX. & NEW FLR'ING. LOCATIONS & EXTENTS)

- REMOVE EX. FLR. SYSTEM INCLUDING BUT NOT LIMITED TO FIN. FLR'ING, UNDERLAYMENTS, ADHESIVES, BASE, FASTENERS, CONC. SUBFLR. & ASSOCIATED REBAR / REIN. AIR/VAP. BARRIER, COMPACTED GRANULAR FILL, ETC. AS REQ'D TO INSTALL NEW WORK.

GENERAL NOTE:

- ENSURE ALL NEW & EX. VARIATIONS IN FLR. HEIGHT WITHIN THE SCOPE OF WORK ARE FEATHERED & LEVELLED IV CONC. TOPPING 85MM. COAT TO PROVIDE A SLOPE OF NOT MORE THAN 10mm/3000mm - UNLESS THE FLR. IS SLOPING TO A FLR. DRAIN

WALL NOTES:

- REMOVE EX. WALL(S) (COMPLETE COMPOSITION) IN ENTIRETY & ASSOCIATED MECH. / ELEC. SYSTEMS AS REQ'D FROM ABOVE FLR. SUBSTRATE SYSTEM / BOTTOM SILL. PLATE OR COURSE TO U/S FLR. JST. SYSTEM / U/S DECK / U/S ROOF TRUSSES & ALL ASSOCIATED SYSTEMS. EX. FRAMING / BLOCKING (ABOVE, BELOW OR SIDES) OF EX. CAN REMAIN UNLESS REQ'D TO BE REMOVED FOR OTHER CLEARANCES. INSTALL NEW FRAMING MEMBERS & WALL FIN. TO MATCH EX. CONST. FOR ANY EXP. D. END WALL CONDITIONS. INFILL WALL FIN. WHERE ANY WALL WAS REMOVED PERP. TO ANOTHER & NOW LEAVES A WALL FIN. VOID TYP. (REMOVE WALL(S) LOWER THAN ABOVE FLR. WHERE REQ'D TO INSTALL NEW CONC. SUBFLR. OR WHERE IT IS TO BE LEVELLED IV CONC. TOPPING 85MM COAT AS REQ'D.)

- REMOVE PORTION OF EX. WALL(S) (COMPLETE COMPOSITION) FOR NEW OPENING(S) - RELOCATE EX. ELEC. & MECH. TO BESIDE PORTION OF EX. WALL THAT IS REMOVED TYP. (COORD. IV OPENING SCH'S OR DIM'S)

WALL OPENING NOTES:

- REMOVE EX. DOOR INCLUDING BUT NOT LIMITED TO FRAME, LEAF, SILL, MOLDINGS, HARDWARE, FLASHINGS, CAULKING, GLAZING, SIGNAGE, ETC. - GAF ALL ELEC. INFILL EX. OPENING. INSTALL NEW FRAMING MEMBERS & WALL FIN. TO MATCH EX. ADJ. CONST. (COORD. IV OPENING SCH'S)

- REMOVE EX. DOOR INCLUDING BUT NOT LIMITED TO FRAME, LEAF, SILL, MOLDINGS, HARDWARE, FLASHINGS, CAULKING, GLAZING, SIGNAGE, ETC. - GAF ALL ELEC. INFILL EX. OPENING. INSTALL NEW FRAMING MEMBERS & WALL FIN. TO MATCH EX. ADJ. CONST. (COORD. IV OPENING SCH'S)

- REMOVE EX. WINDOW INCLUDING BUT NOT LIMITED TO FRAME, GLAZING, SILL, MOLDINGS, HARDWARE, FLASHINGS, CAULKING, STORM WINDOW, ETC. - GAF ALL ELEC. INFILL EX. OPENING. INSTALL NEW FRAMING MEMBERS & WALL FIN. TO MATCH EX. ADJ. CONST. (COORD. IV OPENING SCH'S)

- REMOVE EX. SCREEN INCLUDING BUT NOT LIMITED TO FRAME, GLAZING, SILL, MOLDINGS, HARDWARE, FLASHINGS, CAULKING, ETC. - GAF ALL ELEC. INFILL EX. OPENING. INSTALL NEW FRAMING MEMBERS & WALL FIN. TO MATCH EX. ADJ. CONST. (COORD. IV OPENING SCH'S)

GENERAL NOTES:

- COORD. DEMO WORK IV ALL CONSULTANT DNG'S FOR IMPLEMENTATION OF NEW OPENINGS / PENETRATIONS THROUGH EX. BLDG. SYSTEMS - COORD. DEMO WORK FOR NEW CONST. AS REQ'D TO FINISH THE WORK
- COORD. IV STRUCT. FOR ANY ADDITIONAL LINTELS / WALL SUPPORTS REQ'D

CEILING NOTES:

- EX. CEILINGS MAY INCLUDE MULTIPLE LAYERS OF DIFFERENT MATERIALS. ALL TO BE REMOVED U/V/O

ROOF NOTES:

- REMOVE EX. ROOF MEMBRANES, PARAPET CAP FLASHING, MEMBRANE, FRAMING AS REQ'D (ROOF NOT SHOWN IN THIS VIEW, COORD. IV A202 DNG.)

MILLWORK NOTES:

- REMOVE EX. MILLWORK & ACCESSORIES INCLUDING BUT NOT LIMITED TO COUNTERTOPS, SINKS, DISHWASHERS, FRIDGES, MICROWAVES, UPPER CABINETS, BASE CABINETS, VANITIES, DESKS, BRACKET SUPPORTS, SHELVS, ETC.

- REMOVE EX. BLACKBOARDS, CHALKBD'S, SMARTBD'S, WHITEBD'S & TACKBD'S

- REMOVE EX. COAT / CLOTHING HOOKS & SUPPORT FRAMING

FURNITURE / FIXTURES / EQUIP. (PPE)

- REMOVE EX. EQUIP. INCLUDING BUT NOT LIMITED TO STOVES, OVENS, MICROWAVES, SINKS, VENT HOODS, FRIDGES, FREEZERS, STAND ALONE TABLES & COUNTERS WHERE EQUIP. IS INSTALLED ON TOP, ETC., ALL OTHER MISC. EQUIP. ITEMS

- COORD. IV OWNER FOR SALVAGING & RE-INSTALL. LOCATIONS
- REMOVE EX. FURNITURE INCLUDING BUT NOT LIMITED TO SHELVS, SHELVS, ROLLABLE STACKABLE SHELVS, TABLES, CHAIRS, COUCHES, DESKS, WORKSTATIONS, TAGS / COR. BD'S (FRAMED / FRAMELESS), GRAB BARS, ETC., ALL OTHER MISC. ITEMS ON WALL SYSTEMS

- COORD. IV OWNER FOR SALVAGING & RE-INSTALL. LOCATIONS
- REMOVE EX. FIXTURES & ACCESSORIES INCLUDING BUT NOT LIMITED TO HOOKS, HOOK BACKERS, HANGERS, SIGNAGE, PAPER TOWEL DISPENSERS, HAND SANITARY / SOAP DISPENSERS, GRAB BARS, PATIENT CHART HOLDERS, MAILBOX SLOTS / WALL MTD. SHELVS, SLOTS, PLANT DECORATIONS, ETC. ALL OTHER MISC. ITEMS ON WALL SYSTEMS

- COORD. IV OWNER FOR SALVAGING & RE-INSTALL. LOCATIONS
- REMOVE EX. LOCKERS
- COORD. IV OWNER FOR SALVAGING & RE-INSTALL. LOCATIONS
- REMOVE EX. BLINDS / CURTAINS / SHADES; THERE ARE ALSO UNUSED OLD SUPPORT FRAMING ON U/S EX. CEILING TO REMOVE WHERE PRESENT. SALVAGE EX. ROLLER SHADES / BLINDS THAT MATCH THE SPEC'S

MECH. / ELEC. NOTES:

- REMOVE EX. CLOCK (RELOCATED TO NEW CONTROL RM. PANEL)

- REMOVE EX. PA SPEAKER (RELOCATED TO NEW CONTROL RM. PANEL)

- REMOVE EX. MECH. HYDRONIC RADIATOR COVERS

GENERAL NOTES:

- CUT & REMOVE EX. WALLS / FLR'S / CEILINGS / ROOFS & OTHER BLDG. SYSTEMS AS REQ'D TO REMOVE ANY EX. WORK OR INSTALL ANY NEW WORK FOR ANY TRADE - COORD. DEMO WORK FOR NEW CONST. AS REQ'D IN THE EX. BLDG. SYSTEM TO FINISH THE WORK. INSTALL NEW WALLS / WALL FIN. & PAINT / FLR'S / FLR. FIN. / CEILINGS TO MATCH EX. ADJ. MATERIALS.

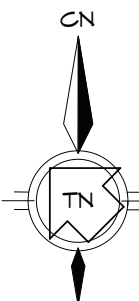
- REMOVE ANYTHING ON EX. SYSTEMS TO RECEIVE NEW PAINT FIN. OR WASHING OF SYSTEM IS TO BE UNDERTAKEN. INCLUDING TAPE, NAILS, SCREENS, FASTENERS, ANCHORS, HOOKS, PLUGS, ADHESIVES, SIGNAGE, POSTINGS, ETC. (MECH. & ELEC. SYSTEMS ALONG IV OTHER SYSTEMS THAT SHOULD NOT BE REMOVED ARE TO REMAIN) FEATHER ALL CHECKED EDGES OF EX. PAINT, PREP. & PAINT. EVERYTHING IS TO BE RE-INSTALLED AFTER PAINTING IS COMPLETE TO ORIG. LOCATION. (COORD. IV OWNER FOR ITEMS TO BE RE-INSTALLED)

- PATCH & REPAIR EX. WALL / FLR. / CEILING / SUBSTRATE SYSTEM WHERE FIN. IS DAMAGED, WHERE THERE IS EX. DAMAGE OR HOL. FROM ANY ANCHORAGE / MOUNTING / INSTALL. DEMO & REMOVED ITEMS / ETC. OCCURS. INSTALL NEW WALL / FLR. / CEILING TO MATCH EX. MATERIALS. INSTALL WALL / FLR. / CEILING FIN. & PAINT TO MATCH ADJ. WHERE REQ'D.

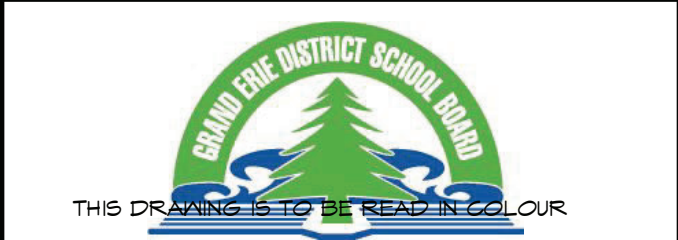
- PROVIDE CLEAN & SMOOTH TRANSITIONS, MAKE GOOD WHERE DAMAGED / DISTURBED TYP.

- COORD. IV STRUCT. / MECH. / ELEC. FOR ANY ASSOCIATED DEMO / REMOVAL / GAPPING / TERMINATIONS / ETC. & CONST. TYP.

NO.	DATE	ISSUANCE
14	N/A	REV/CLOUD INTERNAL
1	2024.08.28	GOO#1 - HM DOORS
6	2024.06.17	APPENDUM #1
5	2024.06.12	BLDG. PERMIT & TENDER
4	2024.05.30	BLDG. PERMIT & TENDER
3	2024.05.16	PROGRESS
2	2024.05.14	PROGRESS
NO.	DATE	ISSUANCE



DO NOT SCALE DRAWINGS. CALL FOR ANY CLARIFICATIONS THAT ARE REQUIRED. FIELD VERIFY AT ALL BUILT CONDITIONS
ALL DWG.'S ARE TO BE READ IN COLOUR
ORIGINAL PAGE SIZE ARCH D" - 24" x 36"



G. DOUGLAS VALLEE LIMITED
2 TALBOT STREET NORTH
SIMCOE ONTARIO N3Y 3W4
(519) 426-6270

STAMP ARCH:	STAMP STRUCT.

PROJECT TITLE:
**HOUGHTON PUBLIC SCHOOL
RENO**
505 FAIRGROUND RD.,
LANGTON, ONTARIO, CANADA,
NOE 1G0

DRAWING TITLE:
LEVEL 1 DEMOLITION PLAN

CHECKED BY: MS	DRAWN BY: JS
DRAWING SCALE: 1:100	DRAWING NO.: D201
PROJECT NO.: 23-201	



vallee

*Consulting Engineers,
Architects & Planners*

October 15, 2024

Committee of Adjustment Application to Planning Department
Norfolk County
185 Robinson Street, Suite 200,
Simcoe, ON N3Y 5L6

Attention: Secretary Treasurer - Committee of Adjustment

**Reference: Minor Variance Application
505 Fairground Road, Langton
Our Project 23-201**

Introduction

G. Douglas Vallee Limited has been retained by the Grand Erie District School Board to make an application for a minor variance related to Houghton Public School at 505 Fairground Road, in Langton, Norfolk County. The owner seeks to construct a 24.31sm. addition to the school to accommodate a Universal Washroom that abides all by-laws, as well as a 130.63sm. canopy addition at the main entrance to the school to cover a portion of the existing driveway and drop off area. The proposed canopy encroaches the current front yard setback by 3.81m.

The following application has been submitted for review and consideration:

Minor Variance

- Relief from Section 8.3.2c) of the Zoning Bylaw to permit a minimum front yard set back of 7.5 meters, whereas the provision requires 13 meters, less 1.5-meter projection for a total of 11.5 meters.

Included with this request are the following:

- Signed Norfolk County Committee of Adjustment Application Form
- Appendix A – Drawings prepared by G. Douglas Vallee Limited

The Site and Surrounding Land Uses

The subject land is located along Fairground Road in Langton, Ontario. The property is currently occupied by Houghton Public School. The topography of the land is mainly flat. Mature trees and vegetation cover some of the subject lands, generally towards the perimeter of the property.

The property is zoned Rural Institutional (IR) under the Zoning By-Law of Norfolk County 1-Z-2024. The proposed building addition meets all provisions of the Rural Institutional (IR) zoning by-law. The proposed canopy addition meets all provisions of the Rural Institutional (IR) zoning by-law, aside from the front yard setback.

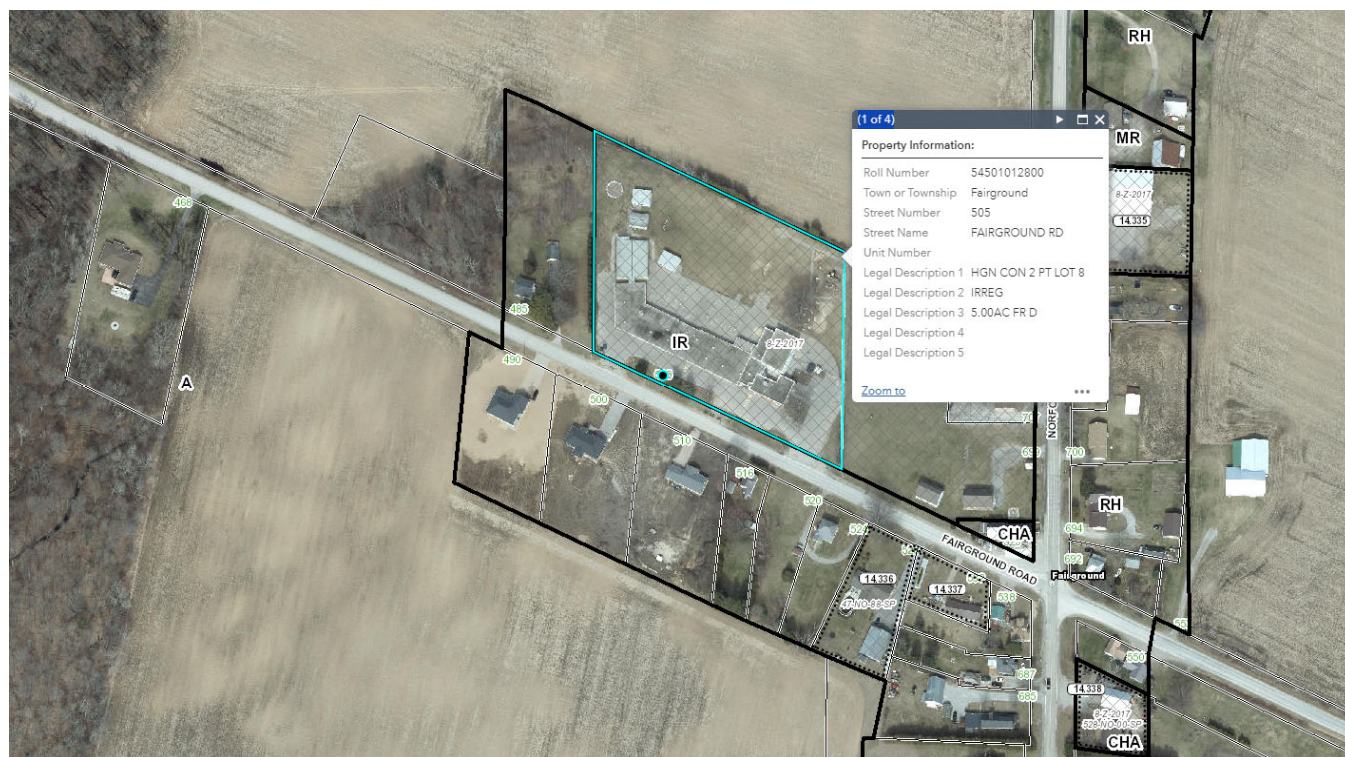


Figure 1. Aerial view of subject lands.

The subject lands are surrounded by mainly Hamlet Residential (RH) zoning regulations, with some Agricultural (A) and Hamlet Commercial (CHA). The surrounding properties are comprised of single detached dwellings, farmland, and a small-scale commercial establishment.

Proposal

The owner is seeking to construct a small, one-storey addition at the front of the existing school that is in line with the existing, conforming front yard setback as depicted in Appendix A. The owner is also seeking to construct a canopy addition at the front of the existing school that covers and supports the existing bus lane drop off area. This canopy is intended to denote the main entrance and also to provide shelter and protection for students, staff and parents from weather and other inclement conditions. This proposed canopy addition would need to extend 3.81m beyond the current required front yard setback to provide the required clearances for the bus lanes and drop off area.

Norfolk County Zoning By-law

The property is zoned Rural Institutional (IR) under the Zoning By-Law of Norfolk County 1-Z-2024. As shown in Table 1 below, the proposed canopy addition, with a decrease in minimum front yard setback would meet all other requirements within the IR zone.

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Provision	Required	Provided	Complies
8.3.1 Permitted Uses	Public or private elementary or secondary school, etc.	Existing to remain	✓
8.3.2 a) Min. Lot Area	1390m ²	Existing to remain	✓
8.3.2 b) Min. Lot Frontage	30m	Existing to remain	✓
8.3.2 c) Min. Front Yard	13m (less 1.5m projection)	7.69m	
8.3.2 d) Min. Ext. Side Yard	N/A	N/A	✓
8.3.2 e) Min. Int. Side Yard	3m	Existing to remain	✓
8.3.2 f) Min. Rear Yard	9m	Existing to remain	✓
8.3.2 h) Max. Building Height	11m	5.5m (proposed canopy)	✓

The proposed decrease in minimum front yard setback would not result in any other deficiencies and meets the intent and purpose of the Norfolk County Zoning Bylaw.

Planning Review – Minor Variance

Section 45(1) of the Planning Act gives power to the Committee of Adjustment to modify the zoning by-law provided that:

1. The requested variance is minor in nature.
2. The variance is appropriate for the desirable development of the land.
3. The variance maintains the general intent and purpose of the Zoning Bylaw.
4. The variance maintains the general intent and purpose of the Official Plan.

Table 2 below provides an analysis of the four (4) tests of a minor variance required under the Planning Act.

Section 3.8	Minimum Front Yard Setback	
Test	Comment	Complies
The request for variance constitutes a minor departure from the performance standards of the zoning bylaw	<p>The minimum front yard setback permitted in Rural Institutional (IR) is 13 meters. The zoning by-law permits 1.5m projection into the front yard setback. As shown in Appendix A, the proposed minimum front yard setback would be 7.5m.</p> <p>The proposed building addition meets all provisions of the Rural Institutional (IR) zoning bylaw including all setbacks. The proposed canopy addition meets all other provisions of the Rural</p>	✓

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	<p>Institutional (IR) zoning bylaws, aside from the front yard setback.</p> <p>In this instance, the requested variance is considered a minor departure from the zoning bylaw standards.</p>	
The variance is desirable for the appropriate development of the land.	<p>This application proposes to enhance the current conditions of the development and site. The Grand Erie District School Board desires to keep its students, faculty members, and visitors safe from exterior conditions by providing coverage through a proposed canopy addition over the existing bus lanes and drop off area.</p> <p>In this instance, a decrease in the minimum front yard setback would be appropriate for the development of the subject lands.</p>	✓
The variance maintains the general intent and purpose of the Zoning Bylaw	<p>As outlined above, the property is zoned Rural Institutional (IR) under the Norfolk County Zoning Bylaw. The current land use is a public elementary school. The proposed minor variance for the canopy addition supports this use, which maintains the general intent and purpose of the zoning bylaw.</p>	✓
The variance maintains the general intent and purpose of the Official Plan	<p>The lands are Hamlet Designation use under the Official Plan of Norfolk County. Hamlet development, in this case in the form of institutional facilities, provide import services to the surrounding Rural Area as outlined in the Official Plan.</p> <p>In this instance, the proposed variance maintains the general intent and purpose of the Official Plan of Norfolk County.</p>	✓

Summary

This proposal seeks to permit a decrease of the minimum front yard setback to 7.5m.

It has been demonstrated that a proposed decrease in the front yard setback meets the four tests of a minor variance and facilitates appropriate development.

As outlined in this report, we respectfully request the Norfolk County Committee of Adjustment to approve the minor variance application subject to appropriate conditions.

Respectfully,

Melissa Stickl

Melissa Stickl, BAS, M.Arch, OAA, MRAIC

G. DOUGLAS VALLEE LIMITED

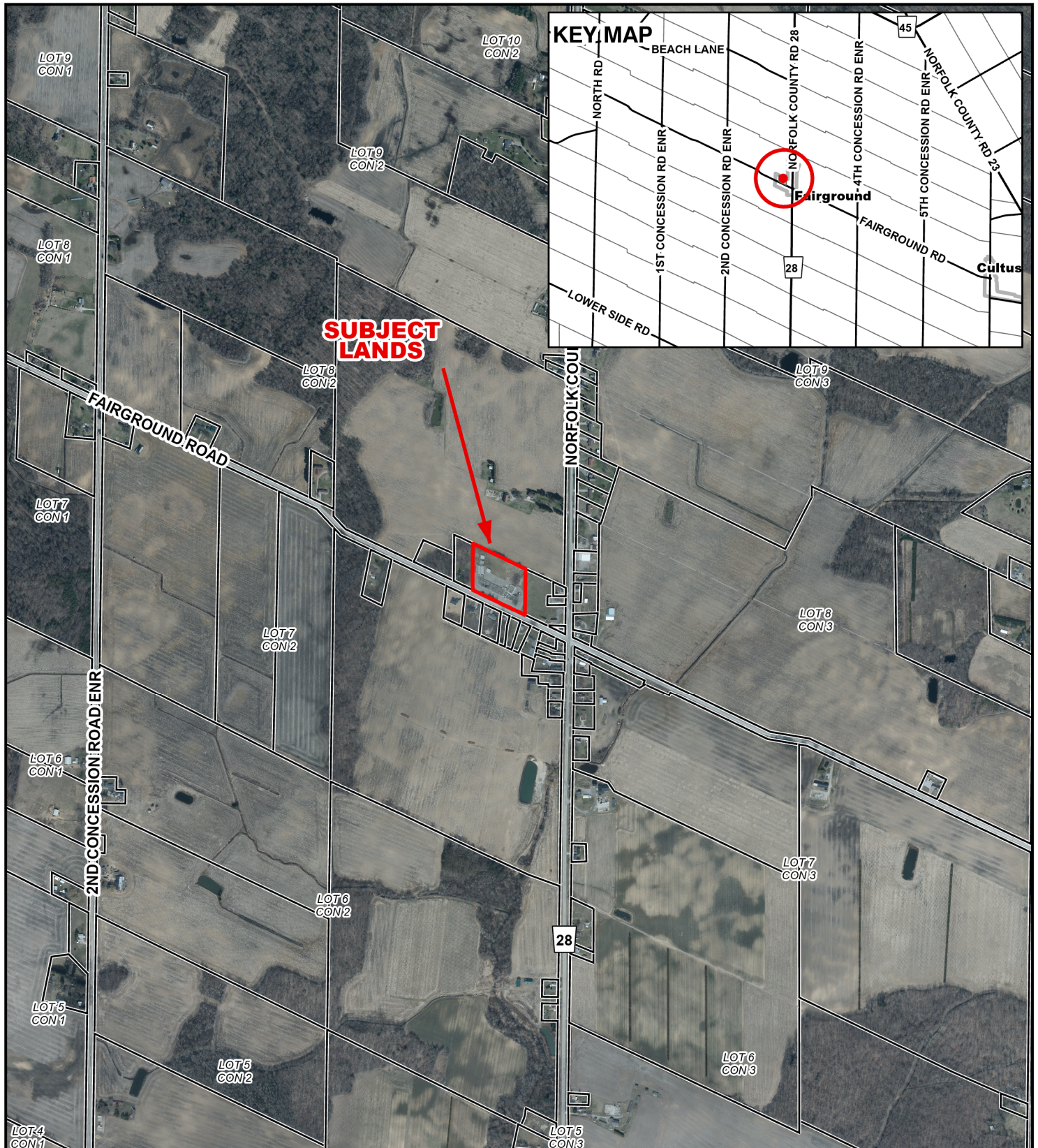
Consulting Engineers, Architects & Planners

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G. DOUGLAS VALLEE LIMITED
Consulting Engineers, Architects & Planners

CONTEXT MAP

Geographic Township of HOUGHTON

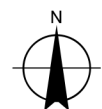


Legend

Subject Lands

2020 Air Photo

3/4/2025



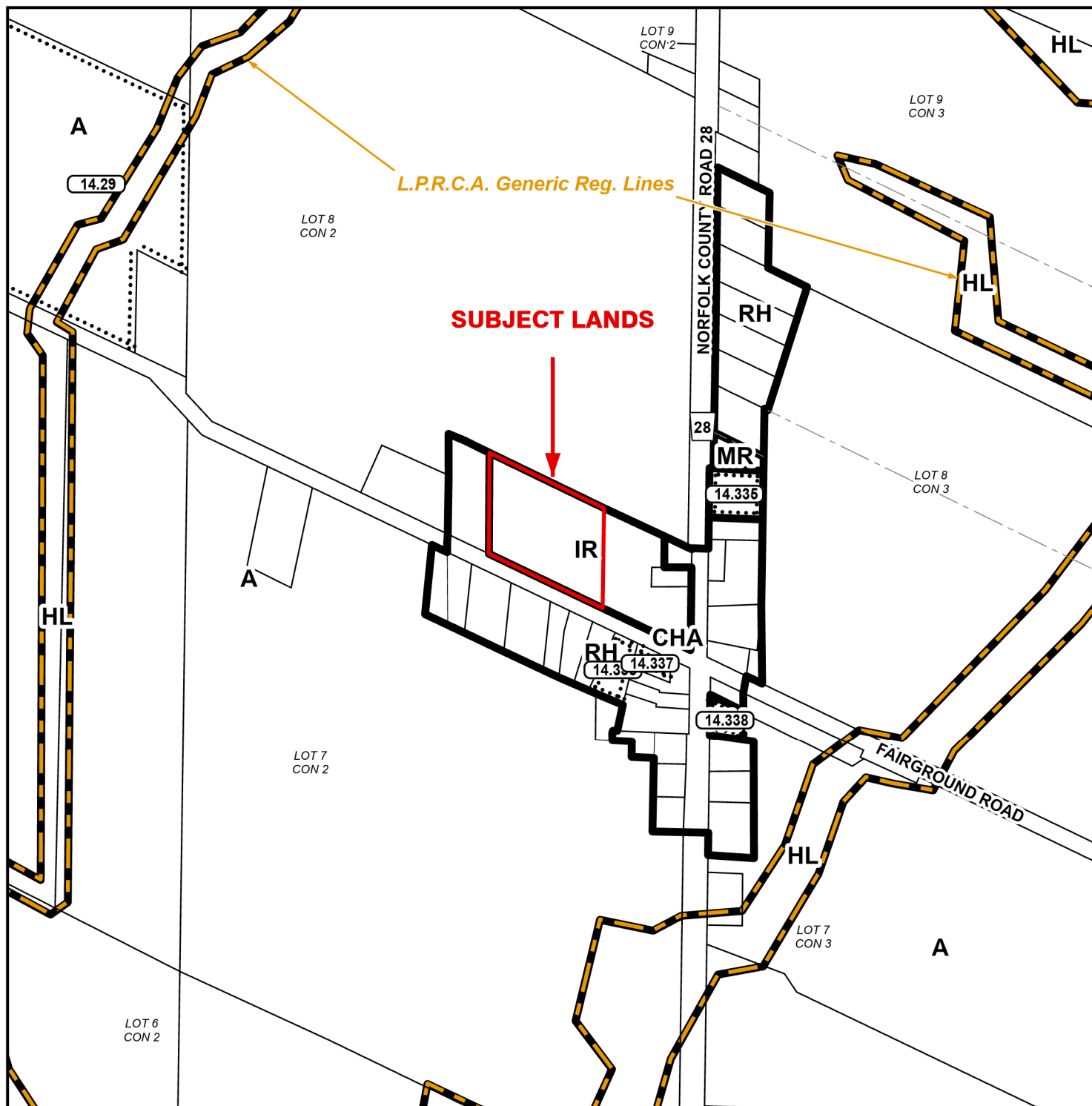
110 55 0 110 220 330 440 Meters

MAP B

ZONING BY-LAW MAP

Geographic Township of HOUGHTON

ANPL2024449



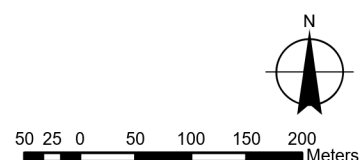
LEGEND

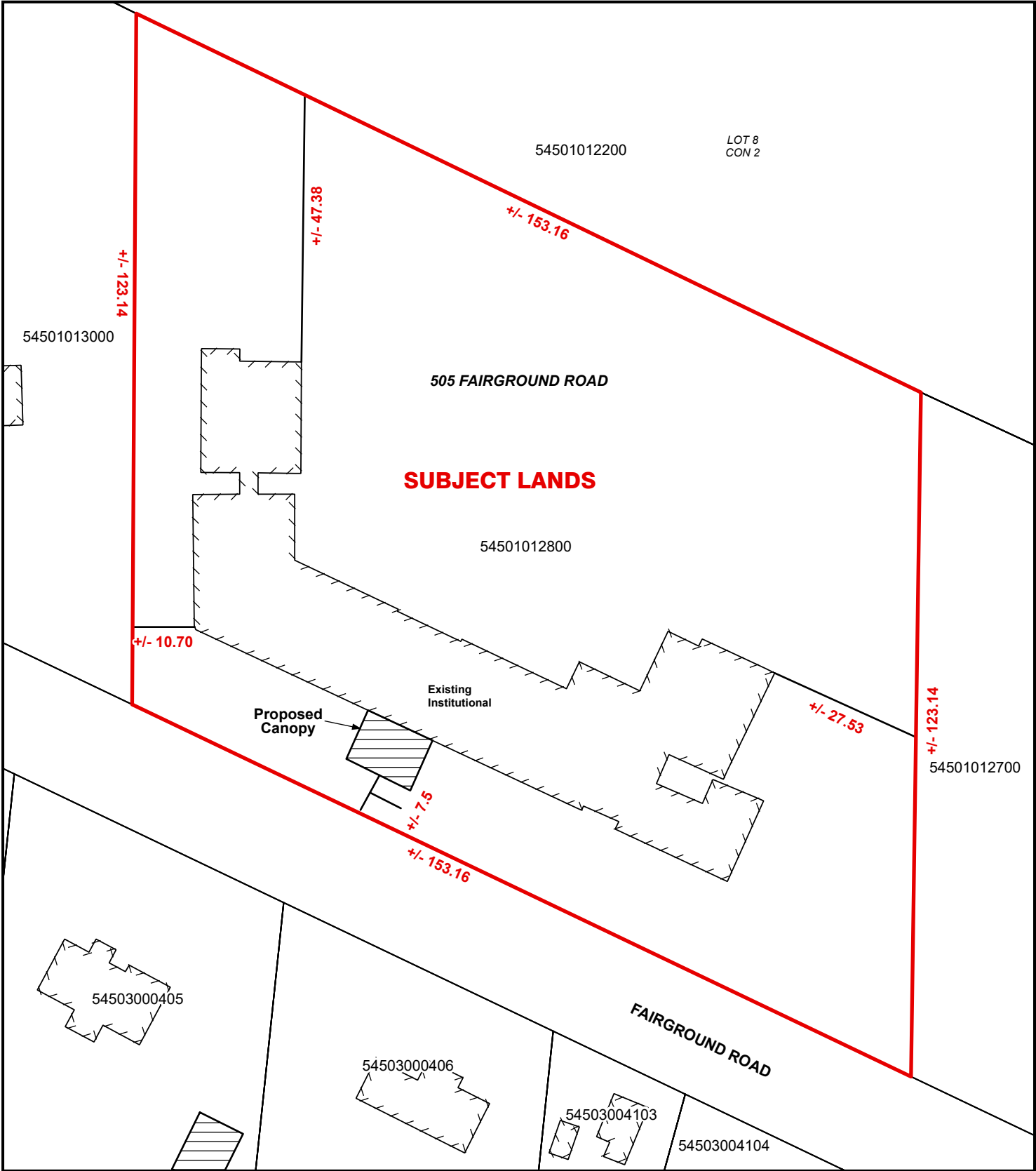
- Subject Lands
- LPRCA Generic RegLines

ZONING BY-LAW 1-Z-2014

3/4/2025

- (H) - Holding
- A - Agricultural Zone
- CHA - Hamlet Commercial Zone
- RH - Hamlet Residential Zone
- HL - Hazard Land Zone
- MR - Rural Industrial Zone
- IR - Rural Institutional Zone





Legend

Subject Lands

