

Committee of Adjustment Application to Planning Department

Complete Application

A complete Committee of Adjustment application consists of the following:

- A properly completed and signed application form (signature must on original version);
- 2. Supporting information adequate to illustrate your proposal as listed in **Section H** of this application form (plans are required in paper copy and digital PDF format);
- 3. Written authorization from all registered owners of the subject lands where the applicant is not the owner as per Section N; and,
- Cash, debit or cheque payable to Norfolk County in the amount set out in the Norfolk County User Fees By-Law.
 - Planning application development fees are not required with the submission of your completed and signed development application. Your planning application fee will be determined by the planner when your application has been verified and deemed complete. Prepayments will not be accepted.
- 5. Completed applications are to be mailed to the attention of **Secretary Treasurer Committee of Adjustment:** 185 Robinson Street, Suite 200, Simcoe, ON N3Y 5L6 or email your application <u>committee.of.adjustment@norfolkcounty.ca</u>. Make sure submissions are clearly labelled including address, name, and application type. Failure to do so may impact the timing of your application.

The above listed items are required to ensure that your application is given full consideration. An incomplete or improperly prepared application will not be accepted and may result in delays during the processing of the application. This application must be typed or printed in ink and completed in full.

Please review all of the important information summarised below.

Before your Application is Submitted

A pre-consultation meeting is not usually required for Committee of Adjustment applications; however, discussion with Planning Department staff prior to the submission of an application is **strongly encouraged**. The purpose of communicating with a planner **before** you submit your application is: to review your proposal / application, to discuss potential issues; and to determine the required supporting information and materials to be submitted with your application before it can be considered complete by staff. You might find it helpful to retain the services of an independent professional (such as a registered professional planner) to help you with your application. Information about the Official Plan and Zoning By-law can be found on the County website: www.norfolkcounty.ca/planning



After Your Application is Submitted

Once your payment has been received and the application submitted, in order for your application to be deemed complete all of the components noted above are required.

Incomplete applications will be identified and returned to the applicant. The *Planning Act* permits up to 30 days to review and deem an application complete.

Once your application has been deemed complete by the Planning Department, it is then circulated to public agencies and County departments for review and comment. A sign is also provided that is required to be posted on the subject lands that summarizes the application and identifies the committee meeting date. The comments received from members of the community will be included in the planning report and will inform any recommendations in relation to the application.

If the subject lands are located in an area that is regulated by either the Long Point Region Conservation Authority or by the Grand River Conservation Authority an additional fee will be required if review by the applicable agency is deemed necessary. A separate cheque payable to the Long Point Region Conservation Authority or the Grand River Conservation Authority is required in accordance with their fee schedule at the same time your application is submitted.

Additional studies required as part of the complete application shall be at the sole expense of the applicant. In some instances peer reviews may be necessary to review particular studies and that the cost shall be at the expense of the applicant. The company to complete the peer review shall be selected by the County.

If the application is withdrawn prior to the circulation to commenting agencies, the entire original fee will be refunded. If withdrawn after the circulation to agencies, half the original fee will be refunded. No refund is available after the public meeting and/or approval of application.

Notification Sign Requirements

Planning Department staff may post a notification sign on your property in advance of the public meeting on your behalf. Please keep this sign posted until you have received a notice in the mail indicating that the Secretary Treasurer received no appeals. However, it is the applicant's responsibly to ensure that the sign is correctly posted within the statutory timeframes, according to the *Planning Act*. Failure to post a sign in advance of the public meeting in accordance with statutory requirements will impact the timing of your application at the Committee of Adjustment meeting. Applicants are responsible for removal of the sign following the appeal period. The signs are recyclable and can be placed in your blue box.

Contact Us

For additional information or assistance in completing this application, please contact a planner at 519-426-5870 ext. 1842 or Committee.of.Adjustment@NorfolkCounty.ca



Pre-consultation Meeting	Application Fee Conservation Authority Fee Well & Septic Info Provided Planner Public Notice Sign								
Check the type of plann	Check the type of planning application(s) you are submitting.								
 □ Consent/Severance/Boundary Adjustment □ Surplus Farm Dwelling Severance and Zoning By-law Amendment □ Minor Variance □ Easement/Right-of-Way 									
Property Assessment F	Roll Number: 3340545030043000000								
A. Applicant Information	on								
Name of Owner	ABRAM RENDECOP								
It is the responsibility of to ownership within 30 days	he owner or applicant to notify the planner of any changes in so of such a change.								
Address	693 2ND CONCESSION ROAD ENR								
Town and Postal Code	LANGTON, ONTARIO, NOE 1G0								
Phone Number									
Cell Number									
Email									
Name of Applicant									
Address	PO BOX 26 - 20 ST ELIZABETH CRESCENT								
Town and Postal Code	COURTLAND, NOJ 1E0								
Phone Number	226 931 1865								
Cell Number	226 931 1865								
Email	MHDESIGN.TALK@GMAIL.COM								



ame of Agent	SAME AS APPLI	CANT
ldress		
wn and Postal Code		
one Number		
ell Number		
nail		
correspondence and n	otices in respect o	s should be sent. Unless otherwise directed, of this application will be forwarded to the
Owner	☐ Agent	☑ Applicant
Location, Legal Des Legal Description (incl Block Number and Urb	cription and Proude Geographic Total	ownship, Concession Number, Lot Number, et):
	7 Kr, 37K3019 FA	AKT I CORNER
Control of the Contro	ss: 693 2ND C	ONCESSION ROAD ENR
		AGRICULTURAL (A) AND HAZARD LAND (HL ND HAZARD LAND (HL)
Is there a special provi	sion or site specif	ic zone on the subject lands?
☐ Yes ☒ No If yes,		
	Idress Idress	Idress Id



	Please describe all existing buildings or structures on the subject lands and whether they are to be retained, demolished or removed. If retaining the buildings or structures, please describe the type of buildings or structures, and illustrate the setback, in metric units, from front, rear and side lot lines, ground floor area, gross floor area, lot coverage, number of storeys, width, length, and height on your attached sketch which must be included with your application:	
(ex.)1 Storey	Detached Single Family Dwelling Unit - GFA = 103.6m², FSB = 12.35m, SYSB = 16.73m/65.29m, RYS	SB = 47.19m
(ex.)1 Storey	Detached Accessory Building - GFA = 46.8 m², FSB = 25.0 m, SYSB = 24.61 m/ 63.43 m, RYSB = 39.66	m
(ex.) I Storey	Detached Accessory Building - GFA = 58.3m², FSB = 42.65m, SYSB = 3.97m/100.5m, RYSB = 20.94	m
5.	If an addition to an existing building is being proposed, please explain what it will be used for (for example a bedroom, kitchen, or bathroom). If new fixtures are proposed, please describe. Storage of future RV, Trailer, personal tools, and personal motorized vehicles.	
	Please describe all proposed buildings or structures/additions on the subject lands. Describe the type of buildings or structures/additions, and illustrate the setback, in metric units, from front, rear and side lot lines, ground floor area, gross floor area, lot coverage, number of storeys, width, length, and height on your attached sketch which must be included with your application: Please see attached site plan, floor plan and elevations.	
	Are any existing buildings on the subject lands designated under the <i>Ontario</i> Heritage Act as being architecturally and/or historically significant? Yes □ No ☒ If yes, identify and provide details of the building:	
8.	If known, the length of time the existing uses have continued on the subject lands: Unknown	
9.	Existing use of abutting properties: North - Residential, West - Agricultural Farm, South - Agricultural Farm, East -Residential	
10.	Are there any easements or restrictive covenants affecting the subject lands? ☐ Yes ☒ No If yes, describe the easement or restrictive covenant and its effect:	



C. Purpose of Development Application

Note: Please complete all that apply. Failure to complete this section will result in an incomplete application.

1. Site Information (Please refer to Zoning By-law to confirm permitted dimensions)

	Existing	Permitted	Provision	Proposed	Deficiency
Lot frontage					
Lot depth					
Lot width					
Lot area					
Lot coverage	105.1m² (accessory)	200m²	1-Z-2014 Section 3.2	402.24m²	202.24m²
Front yard					
Rear yard					
Height					
Left Interior side yard					
Right Interior side yard					
Exterior side yard (corner lot)					
Parking Spaces (number)					
Aisle width					
Stall size					
Loading Spaces					
Other	none within HL	0m²	1-Z-2014 Section 11.1.1	297.14m²	297.14m²



2.	g and a promise and a series of the province o						
	By-law: The amount of space required for a future RV, trailer and motorized vehicles is needed.						
	The location is so that the property owner can use the space in front of the building as a						
	space for driving to and from the building to the existing driveway.						
3.	Consent/Severance/Boundary Adjustment: Description of land intended to be						
	severed in metric units: Frontage:						
	Depth:						
	Width:						
	Lot Area:						
	Present Use:						
	Proposed Use:						
	Proposed final lot size (if boundary adjustment):						
	If a boundary adjustment, identify the assessment roll number and property owner of						
	the lands to which the parcel will be added:						
	Description of land intended to be retained in metric units:						
	Frontage:						
	Depth:						
	Width:						
	Lot Area:						
	Present Use:						
	Proposed Use:						
	Buildings on retained land:						
4.	Easement/Right-of-Way: Description of proposed right-of-way/easement in metric						
	units: Frontage:						
	Depth:						



Width:
Area:
Proposed Use:
Surplus Farm Dwelling Severances Only: List all properties in Norfolk County, which are owned and farmed by the applicant and involved in the farm operation
Owners Name:
Roll Number:
otal Acreage:
Vorkable Acreage:
xisting Farm Type: (for example: corn, orchard, livestock)
owelling Present?: ☐ Yes ☐ No If yes, year dwelling built
Pate of Land Purchase:
Owners Name:
Coll Number:
otal Acreage:
Vorkable Acreage:
xisting Farm Type: (for example: corn, orchard, livestock)
welling Present?: Yes No If yes, year dwelling built
ate of Land Purchase:
Owners Name:
toll Number:
otal Acreage:
Vorkable Acreage:
xisting Farm Type: (for example: corn, orchard, livestock)
welling Present?: Yes No If yes, year dwelling built
ate of Land Purchase:
ato of Early 1 diolidoo.



Owners Name:
Roll Number:
Total Acreage:
Workable Acreage:
Existing Farm Type: (for example: corn, orchard, livestock)
Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built
Date of Land Purchase:
Owners Name:
Roll Number:
Total Acreage:
Workable Acreage:
Existing Farm Type: (for example: corn, orchard, livestock)
Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built
Date of Land Purchase:
Note: If additional space is needed please attach a separate sheet.
D. All Applications: Previous Use of the Property
 Has there been an industrial or commercial use on the subject lands or adjacent lands? ☐ Yes ☒ No ☐ Unknown
If yes, specify the uses (for example: gas station, or petroleum storage):
2. Is there reason to believe the subject lands may have been contaminated by former uses on the site or adjacent sites? ☐ Yes ☒ No ☐ Unknown
3. Provide the information you used to determine the answers to the above questions: This property has been used for residential since the own purchased it and all google history
does not note any industrial use or any contamination.



4.	If you answered yes to any of the above questions in Section D, a previous use inventory showing all known former uses of the subject lands, or if appropriate, the adjacent lands, is needed. Is the previous use inventory attached? \square Yes \square No							
E.	All Applications: Provincial Policy							
1.	Is the requested amendment consistent with the provincial policy statements issued under subsection 3(1) of the <i>Planning Act, R.S.O. 1990, c. P. 13</i> ? ☑ Yes ☐ No							
	If no, please explain:							
2.	It is owner's responsibility to be aware of and comply with all relevant federal or provincial legislation, municipal by-laws or other agency approvals, including the Endangered Species Act, 2007. Have the subject lands been screened to ensure that development or site alteration will not have any impact on the habitat for endangered or threatened species further to the provincial policy statement subsection 2.1.7? 🗵 Yes 🗆 No							
	If no, please explain:							
3.	Have the subject lands been screened to ensure that development or site alteration will not have any impact on source water protection? ☒ Yes ☐ No If no, please explain:							
	Note: If in an area of source water Wellhead Protection Area (WHPA) A, B or C please attach relevant information and approved mitigation measures from the Risk Manager Official.							



4.	All Applications: Are any of the following uses or features on the subject lands or within 500 metres of the subject lands, unless otherwise specified? Please check boxes, if applicable.						
	Livestock facility or stockyard (submit MDS Calculation with application)						
	☐ On the subject lands or ☐ within 500 meters – distance						
	Wooded area ☐ On the subject lands or ☑ within 500 meters – distance492m						
	Municipal Landfill ☐ On the subject lands or ☐ within 500 meters – distance						
	Sewage treatment plant or waste stabilization plant ☐ On the subject lands or ☐ within 500 meters – distance						
	Provincially significant wetland (class 1, 2 or 3) or other environmental feature ☐ On the subject lands or ☐ within 500 meters – distance						
	Floodplain □ On the subject lands or □ within 500 meters – distance						
	Rehabilitated mine site ☐ On the subject lands or ☐ within 500 meters – distance						
	Non-operating mine site within one kilometre ☐ On the subject lands or ☐ within 500 meters – distance						
	Active mine site within one kilometre ☐ On the subject lands or ☐ within 500 meters – distance						
	Industrial or commercial use (specify the use(s)) ☐ On the subject lands or ☐ within 500 meters – distance						
	Active railway line ☐ On the subject lands or ☐ within 500 meters – distance						
	Seasonal wetness of lands ☐ On the subject lands or ☐ within 500 meters – distance						
	Erosion □ On the subject lands or □ within 500 meters – distance						
	Abandoned gas wells ☐ On the subject lands or ☐ within 500 meters – distance						



F. All Applications: Servicing and Access 1. Indicate what services are available or proposed: Water Supply ☐ Municipal piped water □ Communal wells Individual wells SANDPOINT Sewage Treatment ☐ Municipal sewers ☐ Communal system ☑ Septic tank and tile bed in good working order ☐ Other (describe below) Storm Drainage Storm sewers Open ditches ☐ Other (describe below) Existing or proposed access to subject lands: ☐ Provincial highway □ Unopened road ☐ Other (describe below) Name of road/street: 2ND CONCESSION ROAD ENR G. All Applications: Other Information Does the application involve a local business? ☐ Yes ☒ No If yes, how many people are employed on the subject lands? 2. Is there any other information that you think may be useful in the review of this

application? If so, explain below or attach on a separate page.



H. Supporting Material to be submitted by Applicant

In order for your application to be considered complete, folded hard copies (number of paper copies as directed by the planner) and an **electronic version (PDF) of the site plan drawings, additional plans, studies and reports** will be required, including but not limited to the following details:

- 1. Concept/Layout Plan
- 2. All measurements in metric
- Existing and proposed easements and right of ways
- Parking space totals required and proposed
- 5. All dimensions of the subject lands
- 6. Dimensions and setbacks of all buildings and structures
- 7. Location and setbacks of septic system and well from all existing and proposed lot lines, and all existing and proposed structures

In addition, the following additional plans, studies and reports, including but not limited

- 8. Names of adjacent streets
- 9. Natural features, watercourses and trees

to, may also be required as part of the complete application submission:

On-Site Sewage Disposal System Evaluation Form (to verify location and condition)

Environmental Impact Study

Geotechnical Study / Hydrogeological Review

Minimum Distance Separation Schedule

Record of Site Condition

Your development approval might also be dependent on Ministry of Environment

Your development approval might also be dependent on Ministry of Environment Conservation and Parks, Ministry of Transportation or other relevant federal or provincial legislation, municipal by-laws or other agency approvals.

All final plans must include the owner's signature as well as the engineer's signature and seal.



I. Transfers, Easements and Postponement of Interest

The owner acknowledges and agrees that if required it is their solicitor's responsibility on behalf of the owner for the registration of all transfer(s) of land to the County, and/or transfer(s) of easement in favour of the County and/or utilities. Also, the owner further acknowledges and agrees that it is their solicitor's responsibility on behalf of the owner for the registration of postponements of any charges in favour of the County.

Permission to Enter Subject Lands

Permission is hereby granted to Norfolk County officers, employees or agents, to enter the premises subject to this application for the purposes of making inspections associated with this application, during normal and reasonable working hours.

Freedom of Information

For the purposes of the *Municipal Freedom of Information and Protection of Privacy Act*, I authorize and consent to the use by or the disclosure to any person or public body any information that is collected under the authority of the *Planning Act, R.S.O.* 1990, c. P. 13 for the purposes of processing this application.

Oknam H Perlange Amaria Im Klassen March - 29 - 2025

Owner/Applicant/Agent Signature

Date

J. Owner's Authorization

*Note: If property is owned by an Ontario Ltd. Corporation, Articles of Incorporation are required to be attached to the application.



K. Declaration I, Michele Hammond of Norfolk County solemnly declare that: all of the above statements and the statements contained in all of the exhibits transmitted herewith are true and I make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath and by virtue of The Canada Evidence Act. Declared before me at: Norkolk County Owner/Applicant/Agent Signature In the Province of Ontaino A.D., 20 25



A Commissioner, etc.

Province of Ontario

Expires May 11, 2025

Susan Elaine McCauley, a Commissioner, et.

for John R. Hanselman, Barrister and Solicitor

GENERAL NOTES

- 1. THE GENERAL CONTRACTOR SHALL CAREFULLY STUDY AND COMPARE THE CONSTRUCTION DOCUMENTS AND SHALL AT ONCE REPORT TO OWNERS REPRESENTATIVE ANY ERROR, INCONSISTENCY, OR OMISSION HE/SHE MAY DISCOVER. CONTRACTOR SHALL PERFORM NO PORTION OF THE WORK AT ANY TIME WITHOUT CONSTRUCTION DOCUMENTS, OR WHERE REQUIRED, APPROVED SHOP DRAWINGS, PRODUCT DATA OR SAMPLES FOR SUCH PORTION OF THE WORK. THE TERM "OWNER" HEREIN REFERS TO THE PARTY TO WHICH THE GENERAL CONTRACTOR HAS CONTRACTED WITH TO
- PERFORM THE WORK. THE CONTRACTOR, IMMEDIATELY UPON APPROVAL OF CONSTRUCTION PRICING, SHALL PREPARE AND SUBMIT FOR THE OWNER INFORMATION AN ESTIMATED PROGRESS SCHEDULE FOR THE WORK DESCRIBED IN THE CONSTRUCTION DOCUMENTS. THE SCHEDULE SHALL BE SUBMITTED WITHIN THREE (3) DAYS OF APPROVAL DATE.
- THE CONTRACTOR SHALL MAINTAIN AT THE SIRE FOR ARCHITECT, ONE RECORD COPY OF ALL DRAWINGS, SPECIFICATIONS, ADDENDA, CHANGE ORDERS AND OTHER MODIFICATIONS, IN GOOD ORDER AND MARKED CURRENTLY TO RECORD ALL CHANGES MADE DURING CONSTRUCTION, AND APPROVED SHOP DRAWINGS, PRODUCT DATA AND SAMPLES.
- 4. GENERAL CONTRACTOR TO COORDINATE ALL CONSTRUCTION AND DESIGN DOCUMENTS SUPPLIED BY M H DESIGN, ANY CONSTRUCTION WORK PERTAINING TO HVAC SYSTEMS, SECURITY SYSTEMS, SPECIAL ELECTRICAL REQUIREMENTS, ETC., SHALL BE HANDLED BY OWNER'S SPECIFIC VENDORS.
- 5. EACH CONTRACTOR/SUBCONTRACTOR SHALL BE RESPONSIBLE FOR DAILY CLEAN UP AND REMOVAL OF DEBRIS AS RELATED TO HIS TRADE. SPACE SHALL BE LEFT CLEAN AND READY FOR NEXT TRADE. AT FINAL PHASE CONTRACTOR SHALL LEAVE AREA CLEAN FOR OWNER MOVE-IN.
- WALL CONSTRUCTION DIMENSIONS ARE FROM FINISH FACE TO FINISH FACE U.N.O. CONTRACTOR SHALL COMPENSATE FOR SUCH WHEN LAYING OUT OR MEASURING FOR CHALK LINES. ELECTRICAL OUTLETS ARE DIMENSIONS FROM FACE OF WALL TO CENTERLINE OF LOCATION: U.N.O.
- UNLESS OTHERWISE PROVIDED IN CONTRACT DOCUMENTS, CONTRACTOR TO PROVIDE AND PAY FOR ALL PERMITS, LABOR, CONSTRUCTION, EQUIPMENT AND MACHINERY, TOOLS, TRANSPORTATION AND OTHER FACILITIES AND SERVICES NECESSARY FOR PROPER EXECUTION AND COMPLETION OF WORK, CONTRACTOR TO PAY ALL SALES, CONSUMER, USE AND OTHER SIMILAR TAXES FOR WORK, OR PORTIONS THEREOF PROVIDED BY CONTRACTOR, WHICH ARE LEGAL ENACTED AT TIME OF CONSTRUCTION.
- CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK, USING CONTRACTOR'S BEST SKILLS AND ATTENTION. CONTRACTOR TO BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES, AND SHALL COORDINATE ALL PORTIONS OF THE WORK.
- 10. CONTRACTOR SHALL BE RESPONSIBLE TO OWNER FOR THE ACTS AND OMISSIONS OF THE CONTRACTOR'S EMPLOYEES, SUBCONTRACTORS AND THEIR AGENTS AND EMPLOYEES, AND OTHER PERSONS PERFORMING ANY OF THE WORK UNDER A CONTRACT WITH CONTRACTOR. 11. CONTRACTOR AT ALL TIMES SHALL ENFORCE STRICT DISCIPLINE AND GOOD ORDER AMONG CONTRACTOR'S

EMPLOYEES AND WILL NOT EMPLOY ON THE WORK ANY UNFIT PERSON OR ANYONE NOT SKILLED IN THE TASK ASSIGNED

- 12. CONTRACTOR WARRANTS TO THE OWNER THAT ALL EQUIPMENT AND MATERIAL FURNISHED UNDER THIS CONTRACT WILL BE NEW, UNLESS OTHERWISE SPECIFIED, AND ALL WORK WILL BE OF GOOD QUALITY, FREE FROM FAULTS AND DEFECTS AND IN CONFORMANCE WITH CONTRACT DOCUMENTS. ALL WORK NOT CONFORMING TO THESE REQUIREMENTS, INCLUDING SUBSTITUTIONS NOT PROPERLY APPROVED AND AUTHORIZED, MAY BE CONSIDERED DEFECTIVE AND WILL BE
- REMOVED & REPLACED AT THE CONTRACTORS EXPENSE. 13. CONTRACTOR WILL BE PRESUMED TO HAVE INSPECTED AND TO HAVE READ AND TO BE THOROUGHLY FAMILIAR WITH THE CONSTRUCTION DOCUMENTS. FAILURE OR OMISSION OF ANY CONTRACTOR TO EXAMINE ANY FORM, INSTRUMENT OR DOCUMENT SHALL IN NO WAY RELIEVE THE CONTRACTOR FROM ANY OBLIGATION IN RESPECT TO HIS/HER WORK. 14. ALL FINISHES, SPECIFIED OR NOT, SHALL BE APPROVED BY OWNER/ARCHITECT FOR SUITABILITY PRIOR TO APPLICATION.
- 15. WHERE SPECIAL ITEMS REQUIRE EXTENDED LEAD TIME PREVENTING INSTALLATION BY PROJECTED MOVE IN DATE, CONTRACTOR IS TO PROPOSE AN AVAILABLE ALTERNATIVE FOR APPROVAL BY OWNER/ARCHITECT AS WELL AS TO PREPARE PRICING FOR POSSIBLE TEMPORARY ASSEMBLIES AND/OR FINISHES. 16. ALL CONSTRUCTION TO BE PRE APPLICABLE AND GOVERNING CODES AND AUTHORITIES. THE CONTRACTOR SHALL NOTIFY M H DESIGN OF ANY CONFLICT BETWEEN THE DRAWINGS AND GOVERNING CODES PRIOR TO BEGINNING
- 7. ALL PLANS ARE DRAWN TO SCALE AS MUCH AS POSSIBLE, BUT ARE NOT INTENDED TO BE AND SHOULD NOT BE SCALED. 18. CONTRACTOR TO VERIFY ALL DIMENSIONS, CONDITIONS, ETC., PRIOR TO SUBMISSION OF PROPOSALS AND TO
- FAMILIARIZE THEMSELVES WITH EXISTING CONDITIONS AS WELL AS NATURE AND SCOPE OF THE WORK. NOTIFY ARCHITECT IN WRITING OF ANY VARIATIONS OR DISCREPANCIES PRIOR TO BEGINNING CONSTRUCTION. 19. CONTRACTOR TO VERIFY SIZE, LOCATION AND CHARACTERISTICS OF ALL MECHANICAL AND ELECTRICAL EQUIPMENT AND PREPARE ALL SURFACES ACCORDINGLY. 20. "TYPICAL" MEANS TYPICAL FOR ALL SIMILAR CONDITIONS U.N.O.
- 21. ALL GYPSUM BOARD PARTITION RETURNS SHALL HAVE METAL 'L' CORNER BEADS FLOOR TO CEILING. 22. "ALIGN" MEANS SIMILAR COMPONENTS OF CONSTRUCTION (E.G. WALL JAMBS, ETC.) SHALL ALIGN ACROSS VOIDS OR WITH FXISTING WALL
- 23. GENERAL CONTRACTOR TO COORDINATE KEYING SYSTEM WITH OWNER. 24. ANY ACCESS OR PENETRATION IN SOUND INSULATED PORTION OF WALLS BY PIPES, DUCTS AND OTHER ELEMENTS IN THE PLENUM IS TO BE SEALED OFF TO PREVENT SOUND TRANSMISSION.
- 25. CONTRACTOR IS TO PROVIDE ADDITIONAL ANCHORING AND/OR BLOCKING IN STUD PARTITIONS AS NECESSARY. CONTRACTOR SHALL FLASH PATCH AREAS WHERE FLOOR IS ROUGH AND CRACKED PRIOR TO INSTALLATION OF FLOORING AND IS TO REMOVE ALL OBSTRUCTIONS, AND IT TO PROVIDE AN EVEN FLOOR IN TIME FOR SCHEDULED FLOORING INSTALLATION.
- 26. SLAB IS NOT TO EXCEED A 1/8" SLOPE PER EVERY 10'-0" UNDER MILLWORK. 27. ALL WALL ANGLES ARE EITHER 90 DEGREES OR 45 DEGREES U.N.O.
- 28. ALL REQUIRED FIREPROOFING IS TO BE U.L. APPROVED. 29. OWNER, WITHOUT INVALIDATING THE CONTRACT, MAY ORDER EXTRA WORK OR MAKE CHANGES BY ALTERING, ADDING TO, OR DEDUCTING FROM THE WORK. THE CONTRACT SUM BEING ADJUSTED ACCORDINGLY. ALL SUCH WORK SHALL BE EXECUTED UNDER THE CONDITIONS OF THE ORIGINAL CONTRACT, EXCEPT THAT ANY CLAIM FOR EXTENSIONS OF TIME CAUSED THEREBY SHALL BE ADJUSTED AT TIME OF ORDERING SUCH CHANGE.
- 30. IF THE CONTRACTOR CLAIMS THAT ANY REVISION TO THE DRAWINGS INVOLVES EXTRA COST UNDER THIS CONTRACT HE/SHE SHALL GIVE THE OWNER WRITTEN NOTICE THEREOF WITHIN A REASONABLE TIME AFTER RECEIPT OF SUCH INSTRUCTIONS. IN ANY EVENT, BEFORE PROCEEDING TO EXECUTE THE WORK, AND THE PROCEDURES SHALL THEN BE PROVIDED FOR IN THE CHANGE IN THE WORK, NO SUCH CLAIM SHALL BE VALID UNLESS SO MADE. UNLESS OTHERWISE AGREED, NO PAYMENT ON SUCH BILLS WILL BE MADE UNTIL FINAL SETTLEMENT.
- 31. OWNER/ARCHITECT/CONTRACTOR WILL CONDUCT A JOB PUNCH LIST WHEN CONSTRUCTION IS SUBSTANTIALLY COMPLETE. CONSTRUCTION IS CONSIDERED TO BE SUBSTANTIALLY COMPLETE WHEN ALL ITEMS SPECIFICED, DRAWN OR DETAILED IN THE CONSTRUCTION DOCUMENTS HAVE BEEN COMPLETED. CONTRACTOR SHALL COMPLETE ALL PUNCH
- ITEMS WITHIN TWO (2) BUSINESS WEEKS OR RECEIPT OF PUNCH LIST. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FILING ALL PHASES OF THE WORK AS REQUIRED BY FEDERAL, PROVINCE COUNTY AND MUNICIPAL LAW.
- 33. CONTRACTOR SHALL NOTIFY OWNER/ARCHITECT IMMEDIATELY IF HE/SHE CANNOT COMPLY WITH ALL NOTES CALLED FOR ON ALL DOCUMENTS AND DRAWINGS PRIOR TO CONSTRUCTION. 34. CONTRACTOR SHALL FURNISH AND INSTALL ANY AND ALL ITEMS REQUIRED TO MEET SAFETY CODES AS REQUIRED BY ALL
- APPLICABLE ONTARIO BUILDING CODES & REGULATIONS. 35. CONTRACTOR SHALL FURNISH AND INSTALL ANY AND ALL ITEMS REQUIRED TO MEET ACCESSIBILITY STANDARDS AS REQUIRED BY ALL APPLICABLE ONTARIO BUILDING CODES & REGULATIONS.

DRAWING INDEX

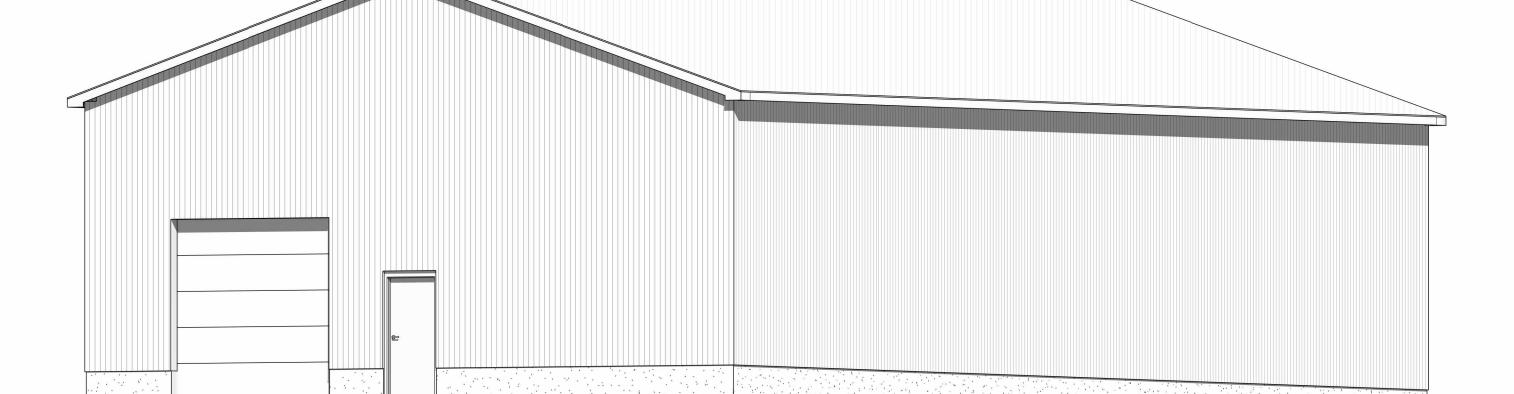
ARCHITECTURAL

NO.	SHEET NAME
A0.01	SITE PLAN
A0.02	GENERAL NOTES (STRUCT)
A0.03	ISOMETRIC MODELS
A1.01	FLOOR PLAN
A2.01	ELEVATION
A2.02	ELEVATION
A3.01	ARCHITECTURAL DETAILS
A3.02	ARCHITECTURAL ROOF DETAILS
A4.01	SECTION 'A'

STRUCTURAL

F1.01	SLAB EDGE PLAN	
F2.01	ELEVATIONS	
F3.01	FOUNDATION DETAILS	
F5.01	SECTIONS	
\$1.01	POST PLAN	
\$1.02	TRUSS & BRACING LAYOUT	
\$2.01	STRUCTURAL ELEVATIONS	
\$2.02	STRUCTURAL ELEVATIONS	
\$2.03	STRUCTURAL ELEVATIONS	
\$2.04	STRUCTURAL ELEVATIONS	
\$3.01	DETAILS	
\$3.02	DETAILS	

NO.



PROJECT DATA

PROJECT DESCRIPTION: 1 STOREY DETACHED ACCESSORY BUILDING

JURISDICTION: NORFOLK COUNTY LOT ZONING: (A) AGRICULTURAL, (HL) HAZARD LAND

ZONING BYLAW: 1-Z-2014 SECTION 3.2. - ACCESSORY USES FOR RESIDENTIAL USES LOT AREA: 7,405.75 m²

200 m², OR <10%, WHICHEVER IS LESS MAXIMUM LOT COVERAGE: FRONT YARD SETBACK: REAR YARD SETBACK: 1.2 m

8 m

MAXIMUM BUILDING HEIGHT:

ABBREVIATIONS

A & @ AB AC ACC	AND AT THE RATE ANCHOR BOLT AIR CONDITIONING ACCESSIBLE	DR DTL DW E EA ELEC	DOOR DETAIL DISHWASHER EACH ELECTRICAL	I IN INCL INT J JAN	INCH/INCHES INCLUDED/INCLUDING INTERIOR JANITOR	PLYWD PNL PREFAB PREFIN PSF PT	PLYWOOD PANEL PREFABRICATED PREFINISHED POUNDS PER SQUARE FOOT PRESSURE TREATED	STL STOR STRUCT SUSP SYM SYS	STEEL STORAGE STRUCTURAL OR STRUCTURE SUSPENDED SYMETTRICAL SYSTEM
ACM ACT ADJ AFF AFG	ALUMINUM COMPOSITE MATERIAL ACOUSTIC CEILING TILE ADJACENT ABOVE FINISHED FLOOR ABOVE FINISHED GRADE	ENG EP EQ EQUIP EXH	ENGINEER ELECTRICAL PANELS EQUAL EQUIPMENT EXHAUST	JC JST <u>K</u> KIT KO	JANITOR'S CLOSET JOIST KITCHEN KNOCK OUT	Q QTY <u>R</u> R	QUANTITY RADIUS/RISER RETURN AIR	<u>T</u> T T&B T&G TB	TREAD TOP AND BOTTOM TONGUE AND GROOVE TOWEL BAR
ALT ALUM APC APPROX	ALTERNATE ALUMINUM ACOUSTIC PANEL CEILING APPROXIMATE	EF EXIST EXP <u>F</u>	EXHAUST FAN EXISTING EXPANSION	LAM LAV LB	LAMINATE LAVATORY POUNDS	RAD RCP RD REC	RADIUS REFLECTED CEILING PLAN ROOF DRAIN RECESSED	TEL TEMP THK THRU	TELEPHONE OR TELECOM TEMPORARY THICKNESS THROUGH
ARCH B BF BLDG BLK	BARRIER-FREE BUILDING BLOCK	FA FB FD FDC FE	FIRE ALARM FACE BRICK FLOOR DRAIN, FIRE DEPARTMENT FIRE DEPARTMENT CONNECTION FIRE EXTINGUISHER	LT M M MAS MAX	METER MASONRY MAXIMUM	RECPT REF REFR REINF REL	RECEPTACLE REFERENCE REFRIGERATOR REINFORCED, REINFORCING RELOCATE	TKBD TMPD TO TOB TOC	TACKBOARD TEMPERED TOP OF TOP OF BEAM TOP OF CONCRETE
BM BO BOT BSMNT <u>C</u>	BEAM BOTTOM OF BOTTOM BASEMENT	FH FHC FIN FIXT	FIRE HYDRANT FIRE HOSE CABINET FINISH FIXTURE FLOOR	MECH MH MIN MISC MTL	MECHANICAL MAN HOLE MINIMUM MISCELLANEOUS METAL	REM REQ RESIL REV RM	REMOVABLE REQUIRE, REQUIRED RESILIENT REVISION, REVISED ROOM	TOS TYP <u>U</u> UNFIN UNO	TOP OF STEEL TYPICAL UNFINISHED UNLESS NOTED OTHERWISE
CB CC CEM CER CLG	CATCH BASIN CENTER TO CENTER CEMENT CERAMIC CEILING	FND FO FT FTG G	FOUNDATION FACE OF FEET, FOOT FOOTING	N NA NIC NO	NORTH NOT APPLICABLE NOT IN CONTRACT NUMBER	RO S SD SEC	ROUGH OPENING SOUTH STORM DRAIN SECTION	UON URNL V VCT VEST	UNLESS OTHERWISE NOTED URINAL VINYL COMPOSITION TILE VESTIBULE
CMU CO COL CORR CT	CONCRETE MASONRY UNIT CLEAN OUT COLUMN CORRIDOR CERAMIC TILE	GA GALV GB GC GEN	GAUGE GALVANIZED GRAB BAR GENERAL CONTRACT(OR) GENERAL		NON COMBUSTIBLE NOT TO SCALE ON CENTER OFFICE	SF SH SHR SHT SIM	SQUARE FEET/FOOT SPRINKLER HEAD SHOWER SHEET SIMILAR	VIF VP VR VT VWC	VERIFY IN FIELD VISION PANEL VAPOR RETARDER VINYL TILE VINYL WALL COVERING
CTR CW D D	CENTER COLD WATER DEEP, DEPTH	GRD GWB <u>H</u> H	GROUND GYPSUM WALL BOARD HIGH/HEIGHT	OH OPP PAV	OVERHEAD OPPOSITE PAVING	SM SP SPEC SPK	SURFACE MOUNTED STANDPIPE SPECIFICATION, SPECIFIED SPRINKLER	W W WC WD	WIDE OR WEST WATER CLOSET WOOD
DBL DEMO DEPT DISP DIV DN	DOUBLE DEMOLISH OR DEMOLITION DEPARTMENT DISPENSER DIVISION DOWN	HB HC HR HTG HVAC HW	HOSE BIB, HOSE BIBB HANDICAPPED HOUR HEATING HEATING VENTILATION AND AC HOT WATER	PC PERIM PERP PL PLBG PLF	PRECAST PERIMETER PERPINDICULAR PLATE PLUMBING POUNDS PER LINEAR FOOT	SPKR SQ SS SSK STA STC	SPEAKER SQUARE STAINLESS STEEL SERVICE SINK STATION SOUND TRANMISSION COEFFICIENT	WIN WM WS WSCT WWF WWM	WINDOW WIRE MESH WEATHER-STRIPPING WAINSCOTTING WELDED WIRE FABRIC WELDED WIRE MESH

DRAWING SYMBOLS

101	DOOR TAG
(1t)	WINDOW TAG
1†	WALL TAG
1	REVISION TAG
Room name	ROOM NAME & NUMBER
Ref 1 A101 1 D	ELEVATION NUMBER & SHEET NUMBER
1 View Name 1/8" = 1'-0"	DETAIL NUMBER VIEW NAME SHEET NUMBER SCALE
1 A101 SIM	DETAIL NUMBER SHEET NUMBER

SECTION NUMBER

SHEET NUMBER

VICINITY MAP



CONTRACT CLOSEOUT

- 1. AT COMPLETION OF WORK, THE G.C. SHALL ENSURE THAT ALL SURFACES ARE CLEAN AND UNMARKED AND THE AREA IS FREE OF ALL CONSTRUCTION MATERIAL, DEBRIS AND DUST.
- THREE COPIES OF WARRANTIES, GUARANTEES AND MANUFACTURERS' INSTRUCTIONS ON EQUIPMENT FURNIED AND INSTALLED BY THE G.C. SHALL BE SUBMITTED IN NOTEBOOK FORM TO THE OWNER AT THE TIME OF OCCUPANCY. THE G.C. FOR A PERIOD OF ONE YEAR FROM THE FATE OF COMPLETION AND ACCEPTANCE BY THE OWNER, SHALL ADJUST REPAIR, OR REPLACE AT NO COST TO THE OWNER ANY ITEM, MATERIAAL OR WORKMANSHIP FOUND BE DEFECTIVE, INCLUDED OR AFFECTED WITHIN THE SCOPE OF THE CONTRACT.
- G.C. TO WARRANT TO THE TENANT THAT ALL MATERIALS AND EQUIPMENT FURNISHED AND INSTALLED UNDER THIS CONTRACT SHALL BE NEW, UNLESS OTHERWISE SPECIFIED, AND THAT ALL WORK SHALL BE OF GOOD QUALITY, FREE FROM FAULTS AND DEFECTS AND CONFORMS WITH THE CONTRACT DOCUMENTS.
- CLOSE OUT DOCUMENTS TO INCLUDE THE FOLLOWING: A. Certificate of Substantial Completion.
- Subcontractor directory list
- General Contractor Warrant letter.
- B. Permits and Inspections.
- Subcontractor Warrant letters. Operations and warrant information for all materials/products installed on the iob.

OWNER

ABRAM RENDECOP 693 2ND CONCESSION ROAD ENR LANGTON, ONTARIO

ABRAM RENDECOP PROPERTY OWNER

N0E 1G0

123 456 7890 CLIENT@EMAIL.COM WEBSITE: WWW.CLIENTWEBSITE.COM

PO BOX 26 - 20 ST ELIZBETH CRESCENT COURTLAND, ONTARIO NOJ 1EO

MICHELE HAMMOND DIPL. ARC. TECH., BCIN

226 931 1865 MHDESIGN.TALK@GMAIL.COM EMAIL: WEBSITE: WWW.M-H.DESIGN

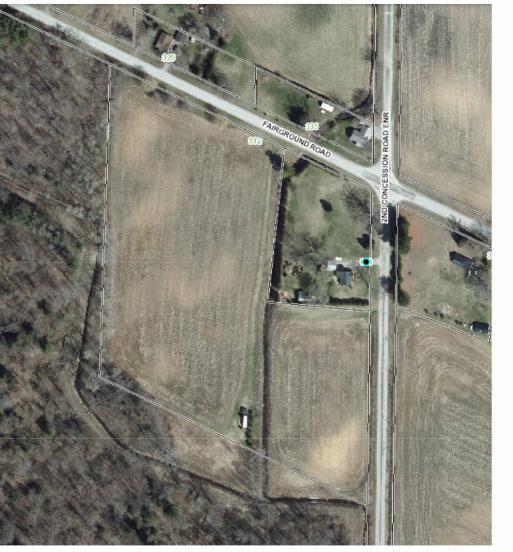
ARCHITECTURAL STRUCTURAL

N5C 4E1

THE ELITE ENGINEERING GROUP INC 58 ROSSITTER ROAD INGERSOLL, ONTARIO

DR. LOUIE D'ORAZIO M.SC.ENG., MBA, MMP., PH.D., P.ENG. PRESIDENT

CELL: 519 280 5384 ELITEENGINEERING2001@GMAIL.COM EMAIL: WEBSITE: WWW.ELITEENGINEERINGGROUP.COM







THE BUILDING IS DESIGNED IN ACCORDANCE WITH THE 2012 ONTARIO BUILDING CODE AND ALL UP TO DATE AMENDMENTS.

a) SNOW Ss = 1.20 kPa (DEAD LOAD = 0.4 kPa) Sr = 0.4 kPaCs = 0.92ls = 1.0 $S = 1.44 \, \text{kPa} / 30.1 \, \text{psf}$

q50 = 0.47 kPaP = AS PER 2020 NBC FIGURE 4.1.7.6-A

2 MINOR VARIANCE 2025/04/02 **REVISION TABLE**

RENDECOP, ABRAM

693 2ND CONCESSION ROAD ENR LANGTON, ONTARIO N0E 1G0

COVER SHEET

PROJECT NUMBER	24-035
DATE	2025-04-02
DRAWN BY	MH
CHECKED BY	LDO
SCALE	1 /⊿'' = 1'-∩''

LOT INFO

LEGAL DESCRIPTION: HGN CON 1 PT LOT 7 RP 37R5619 PART 1 CORNER

1.83AC 235.16FR D

MUNICIPALITY: NORFOLK COUNTY TOWNSHIP: HOUGHTON

AGRICULTURAL (A), HAZARD LAND (HL) ZONING:

ROLL #: BUILDING USE: 3310545030043000000 ACCESSORY BUILDING

ZONING BY-LAW 1-Z-2014 - SECTION 3.2 - ACCESSORY USES FOR RESIDENTIAL USES

	PROVISIONS (m)	PROPOSED (m)
FRONT YARD SETBACK	12.35	40.03
REAR YARD SETBACK	1.2	15.24
MINIMUM INTERIOR SIDE YARD SETBACK	1.2	60.95
MINIMUM EXTERIOR SIDE YARD SETBACK	8	18.29
MAXIMUM HEIGHT	8	7.42
MAXIMUM COVERAGE	200m² / <10%	402.24m²
EXISTING ACCESSORY BUILDINGS	105.1m²	
PROPOSED ACCESSORY BUILDING	297.14m²	
TOTAL EXCEEDING	202.24m² ◀	

MINOR VARIANCE APPLICATION REQUIRED: SEEKING RELIEF FOR 202.24m²

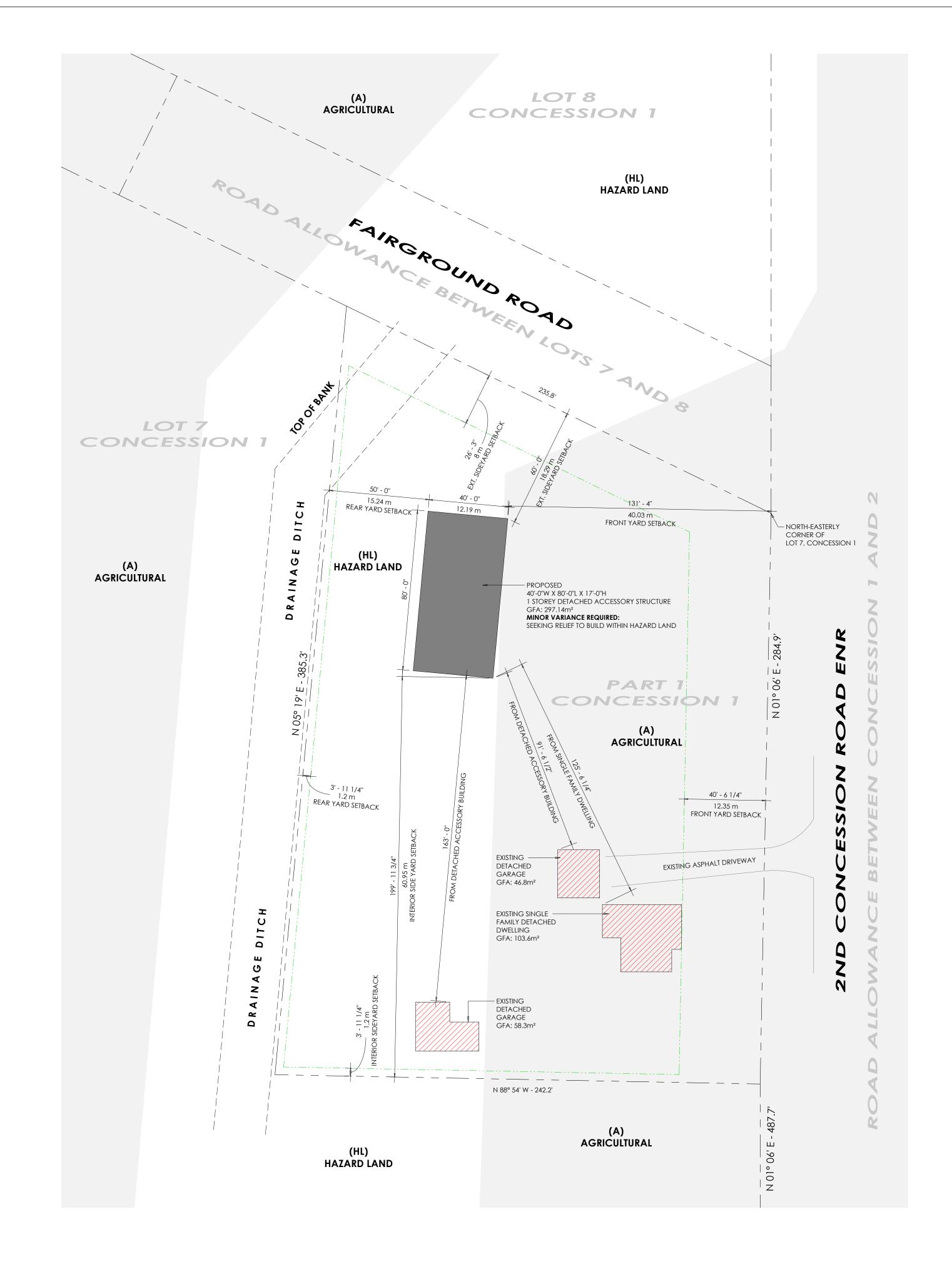
FLOOR PLAN LEGEND

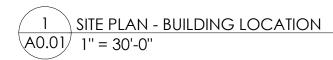
MAN DOOR ENTRANCE PRINCIPAL ENTRANCE

BARRIER FREE ENTRANCE EXIT ONLY

OVERHEAD DOOR

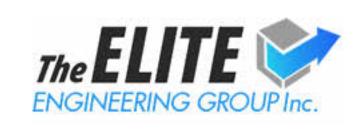
PROPERTY LINES
PROPERTY SETBACKS SEPTIC/WELL DRIVEWAY PROPOSED BUILDING EXISTING STRUCTURE EXISTING STRUCTURE TO BE REMOVED GRASS GRAVEL DRIVEWAY CONCRETE SIAMESE CONNECTION













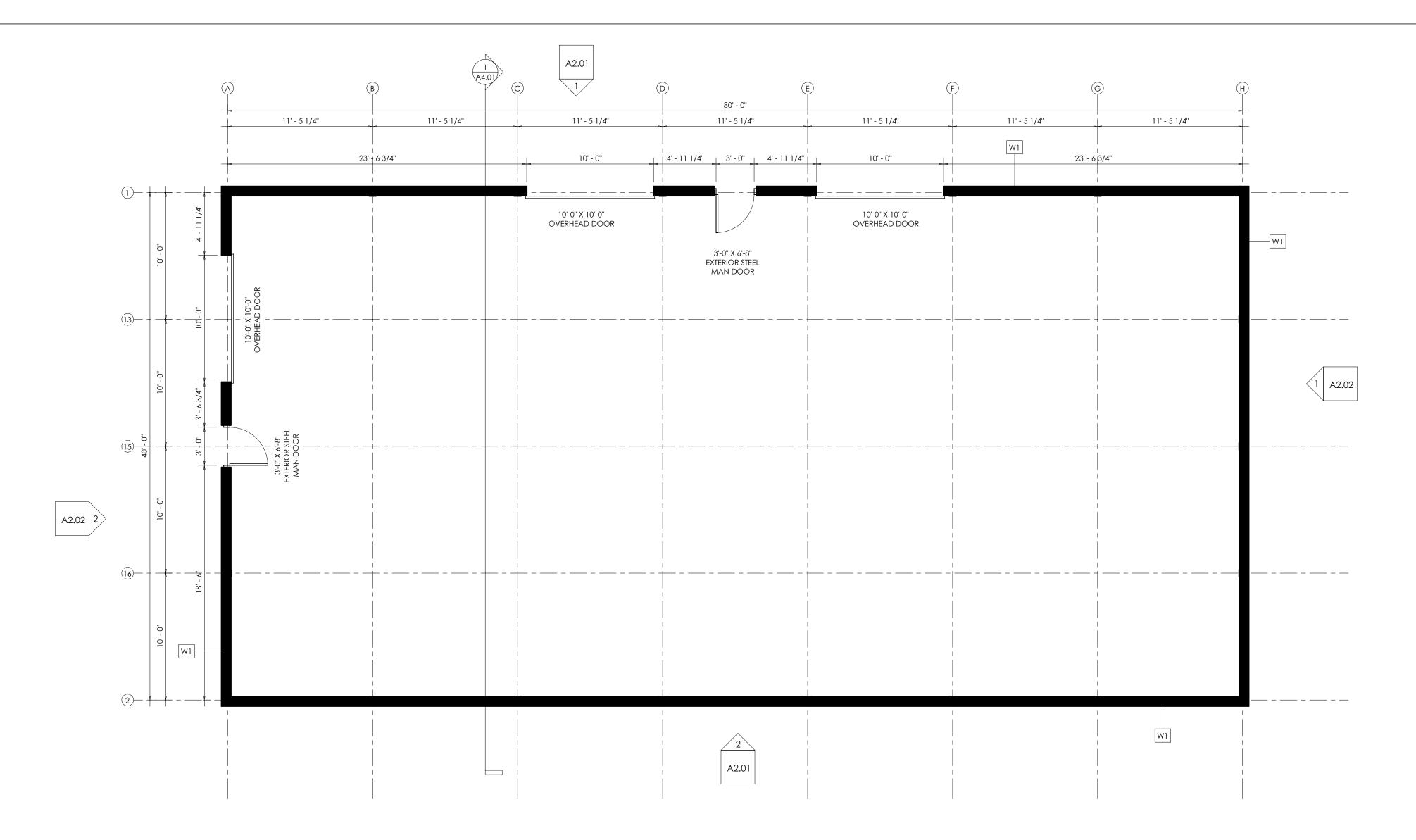
RENDECOP, ABRAM

693 2ND CONCESSION ROAD ENR LANGTON, ONTARIO N0E 1G0

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PROJECT NUMBER	24-035	
DATE	2025-04-02	:15:44
DRAWN BY	MH	02 2
CHECKED BY	LDO	5-04
SCALE	As indicated	: 2025
		1

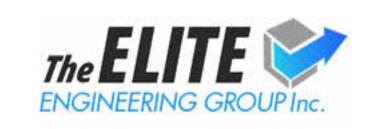
A0.01



1 GROUND FLOOR PLAN A1.01 3/16" = 1'-0"







2 MINOR VARIANCE 2025/04/02
1 PRELIMINARY 2024/12/17
NO. DESCRIPTION DATE

REVISION TABLE



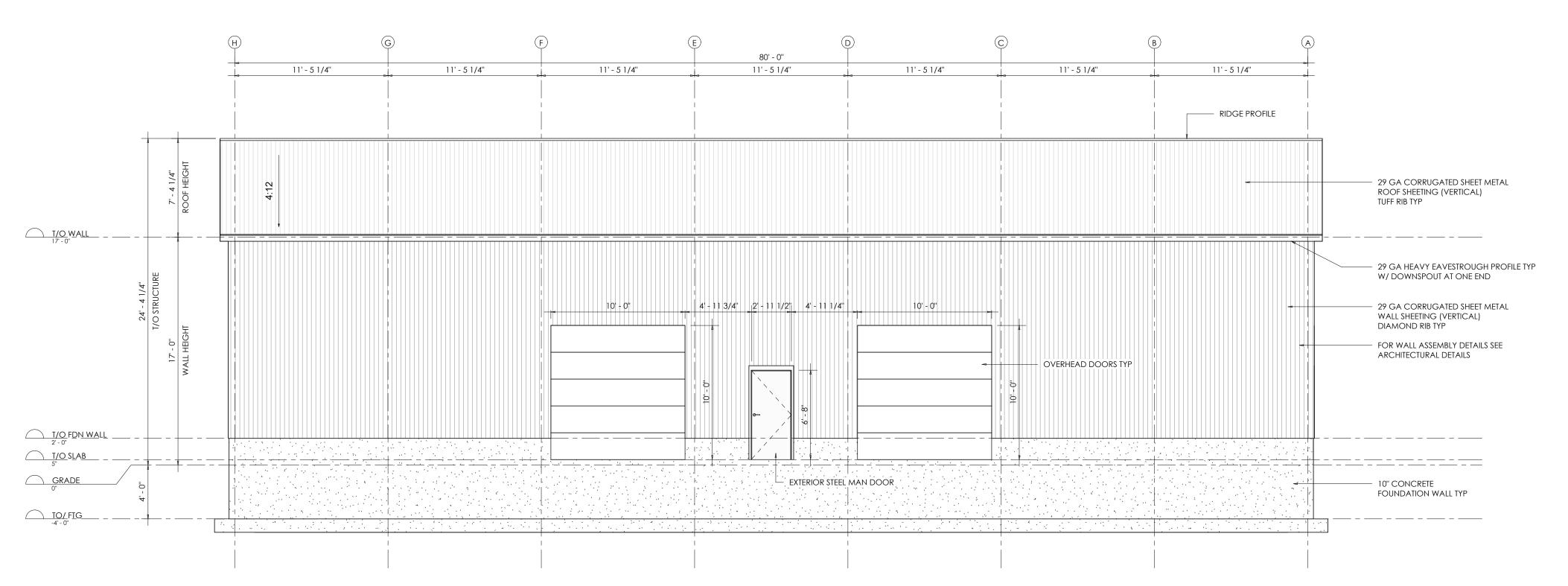
RENDECOP, ABRAM

693 2ND CONCESSION ROAD ENR LANGTON, ONTARIO NOE 1G0

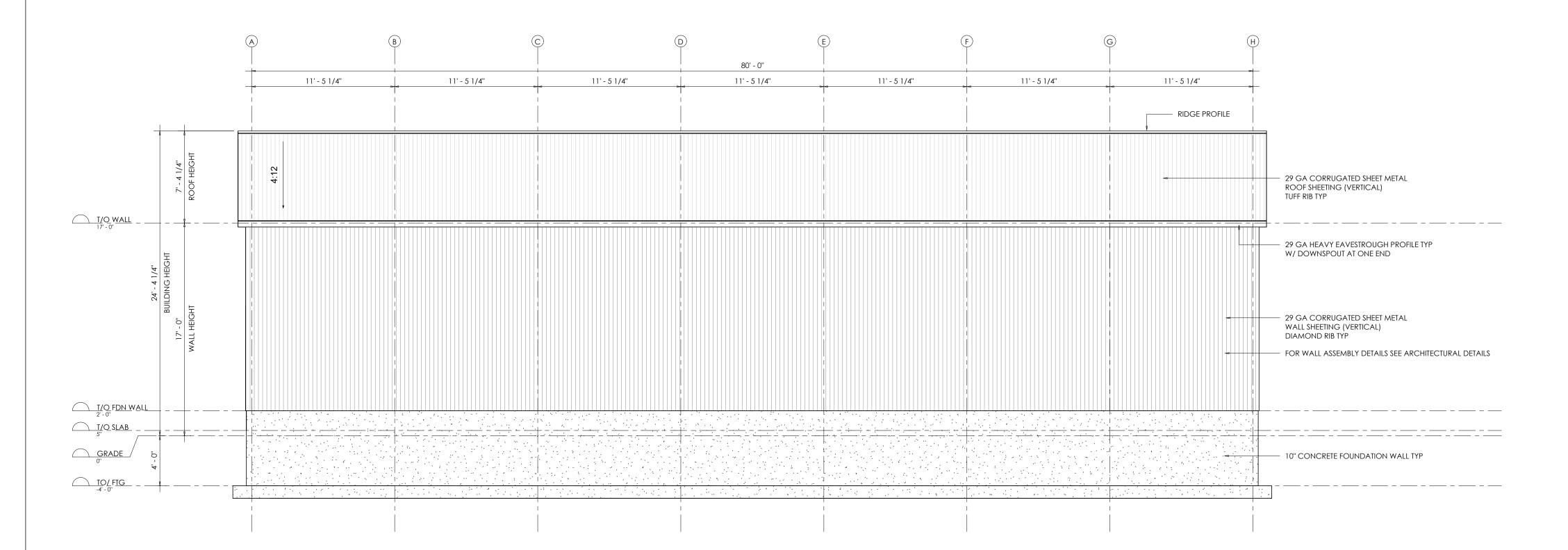
FLOOR PLAN

PROJECT NUMBER	24-035
DATE	2025-04-02
DRAWN BY	MH
CHECKED BY	LDO
SCALE	3/16" = 1'-0'

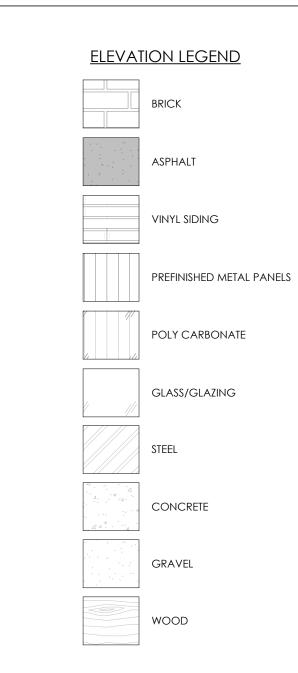
A1.01



NORTH ELEVATION - COVERINGS
A2.01 3/16" = 1'-0"

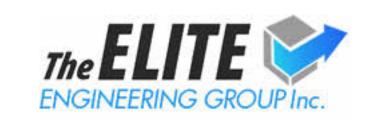


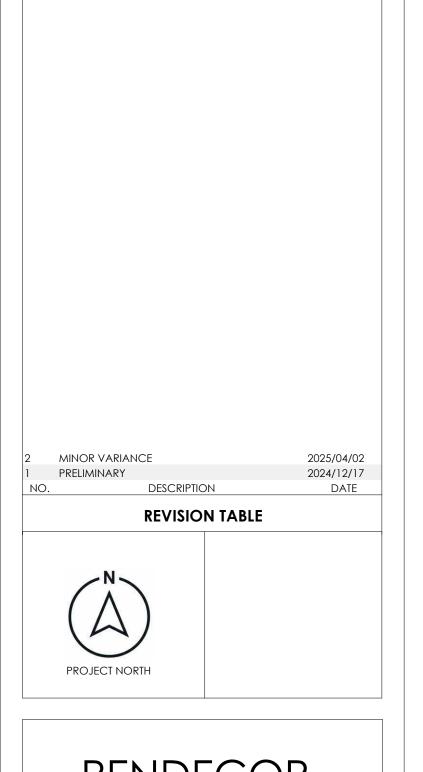
2 SOUTH ELEVATION - COVERINGS A2.01 3/16" = 1'-0"











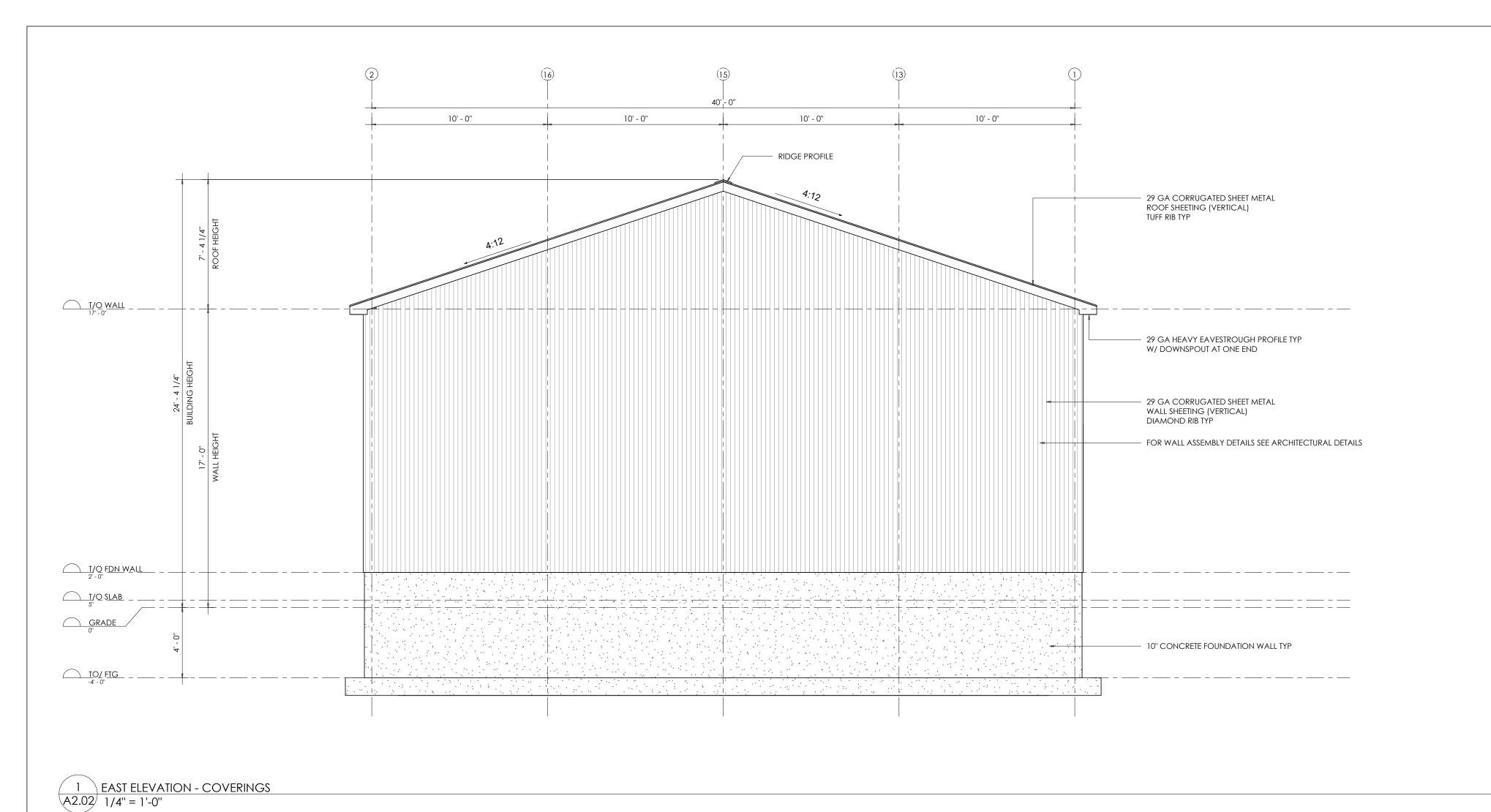
RENDECOP, ABRAM

693 2ND CONCESSION ROAD ENR LANGTON, ONTARIO NOE 1G0

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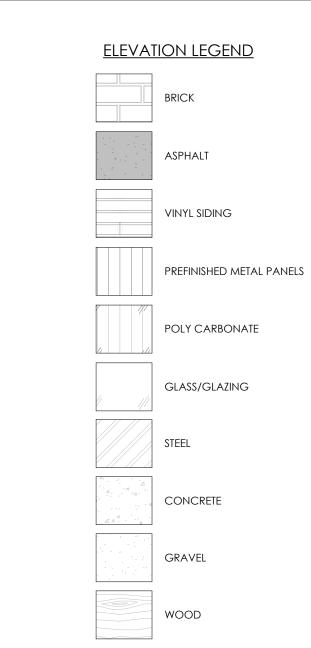
PROJECT NUMBER	24-035
DATE	2025-04-02
DRAWN BY	MH
CHECKED BY	LDO
SCALE	As indicated

A2.01



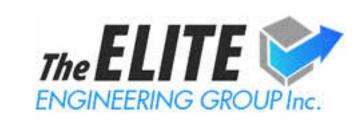
10' - 0'' 10' - 0'' 10' - 0" - RIDGE PROFILE 29 GA CORRUGATED SHEET METAL ROOF SHEETING (VERTICAL) TUFF RIB TYP <u>T/O WALL</u> _ _------ 29 GA HEAVY EAVESTROUGH PROFILE TYP W/ DOWNSPOUT AT ONE END 3' - 6 3/4" 3' - 0" - 29 GA CORRUGATED SHEET METAL WALL SHEETING (VERTICAL) DIAMOND RIB TYP 29 GA CORRUGATED SHEET METAL INTERIOR WALL SHEETING (VERTICAL) TUFF RIB TYP (LINER WHITE) T/O SLAB _ GRADE 0" EXTERIOR STEEL MAN DOOR - 10" CONCRETE FOUNDATION WALL TYP

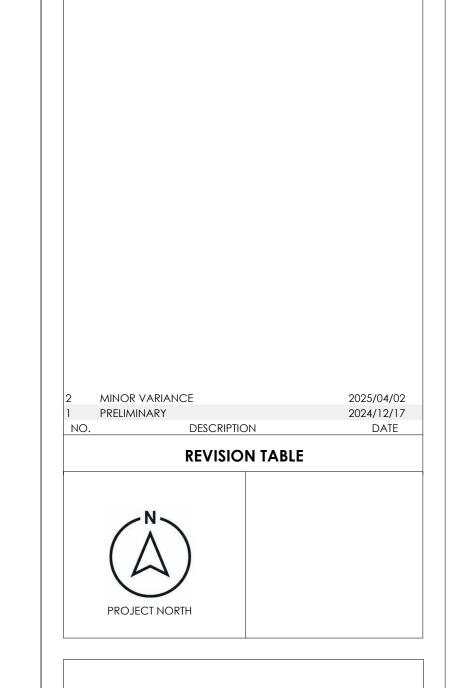
2 WEST ELEVATION - COVERINGS A2.02 1/4" = 1'-0"











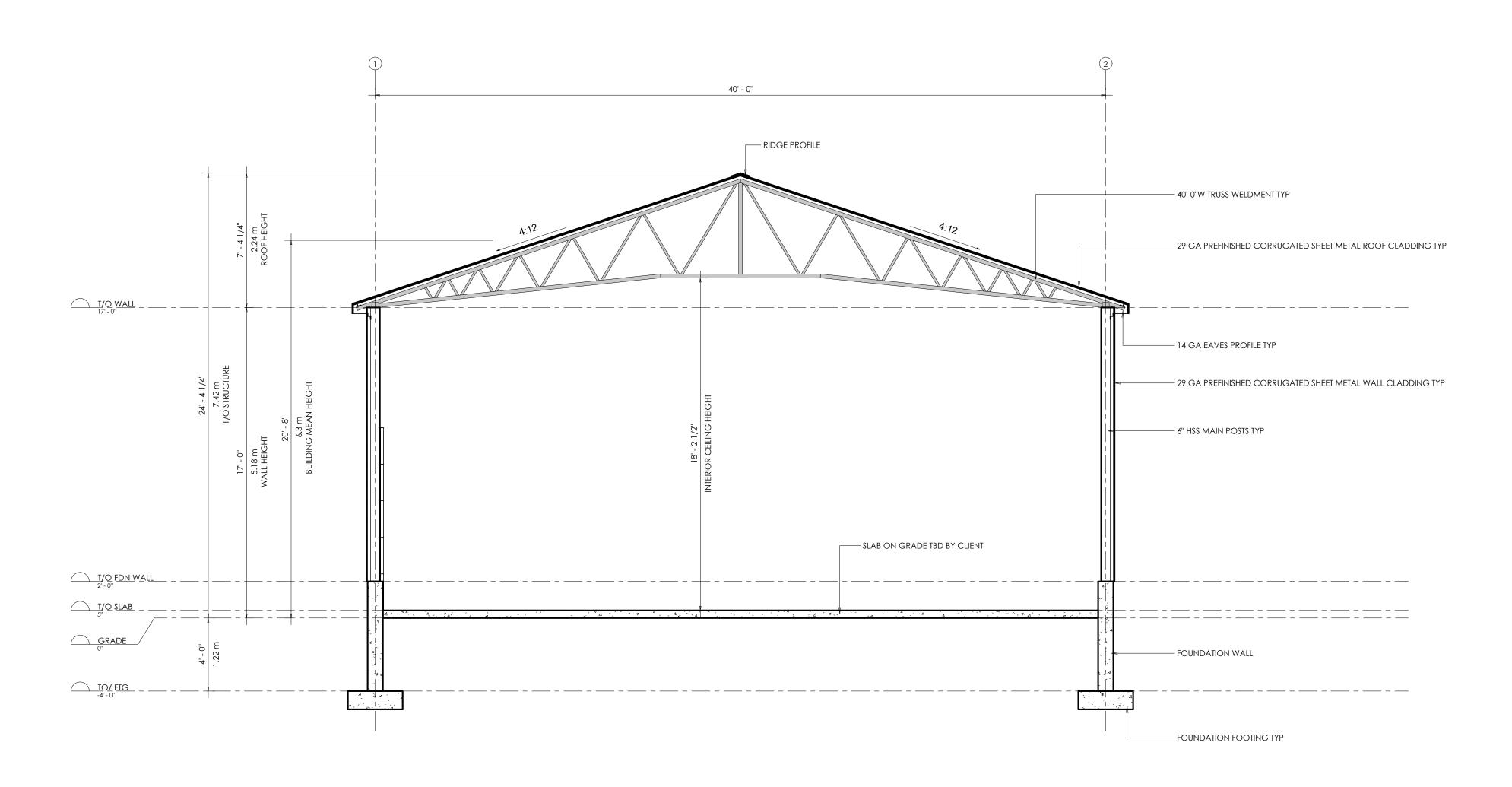
RENDECOP, ABRAM

693 2ND CONCESSION ROAD ENR LANGTON, ONTARIO NOE 1G0

ELEVATION

PROJECT NUMBER	24-035
DATE	2025-04-02
DRAWN BY	MH
CHECKED BY	LDO
SCALE	As indicated

A2.02



1 BUILDING SECTION 'A'
A4.01 1/4" = 1'-0"







	MINOR VARIAN RELIMINARY	CE		2025/04/02 2024/12/17
NO.	KLLIIVIII V IKT	DESCRIPTIO	ON	DATE
REVISION TABLE				

RENDECOP, ABRAM

693 2ND CONCESSION ROAD ENR LANGTON, ONTARIO NOE 1G0

SECTION 'A'

PROJECT NUMBER	24-035
DATE	2025-04-02
DRAWN BY	MH
CHECKED BY	LDO
SCALE	1/4'' = 1'-0''

A4.01



RE: Four Tests of a Minor Variance

692 2ND CONCESSION ROAD ENR, LANGTON, ONTARIO, NOE 1G0

Date: 2025/04/02

Attn: Scott Wilson,

I, Michele Hammond, am applying for a minor variance application for the property owners Abram Rendecop and Maria Klassen who live at the noted address. The proposed steel-framed 1-storey detached accessory structure is to be 40'-0" wide, 80'-0" long and 17'-0" in wall height.

The proposed addition is to accommodate the amount of storage required for the homeowner. This project will not be altering the use of the property from Residential, and we will not be applying for a zoning amendment. The homeowners feel that this project will not only help with storage of their personal property but also add more appeal to the community with a new building that is visible from 2nd Concession Road ENR.

The current lot is zoned as (A) Agricultural, and the proposed building will be used for the homeowner's storage and be ancillary to the existing single-family dwelling. The purpose of this minor variance application is to request an exemption to build the addition within Hazard Land and to build a building that exceeds the maximum allowable lot coverage for accessory buildings. Given that there are already two existing detached accessory buildings for small vehicles and a riding lawn mower, the property owner would like to keep these two buildings. The proposed building will be storage for an RV trailer, two boats and other personal motorized vehicles. As per provisions of section 3.2 of the Zoning ByLaw 1-Z-2014, the maximum allowable lot coverage for accessory building on an Agricultural Zones property is 200m². The existing buildings already amount to 105.1m² and the proposed building is to be 297.14m². As per section 11.1.1. within the same Zoning ByLaw, no structures shall be allowed within hazard lands, however, with the size of the proposed building, the owners feel that the building would have more curb appeal not being so close to 2nd Concession Road ENR.

One mature douglas fir tree will be removed for this project, however no other existing trees will be altered.

Other than not being able to meet the requirement of no buildings allowed within the hazard lands, the building will not be exceeding any front yard, side yard or rear yard setbacks. The building also is less than 8m in height and will not require relief as per section 3.2 within Zoning ByLaw a-Z-2014.

Thank you,

Michele Hammond | Dipl. Arc.

Michael Dumm

Cell: 226 931 1865 Owner/Designer

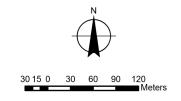
CONTEXT MAP

Geographic Township of HOUGHTON



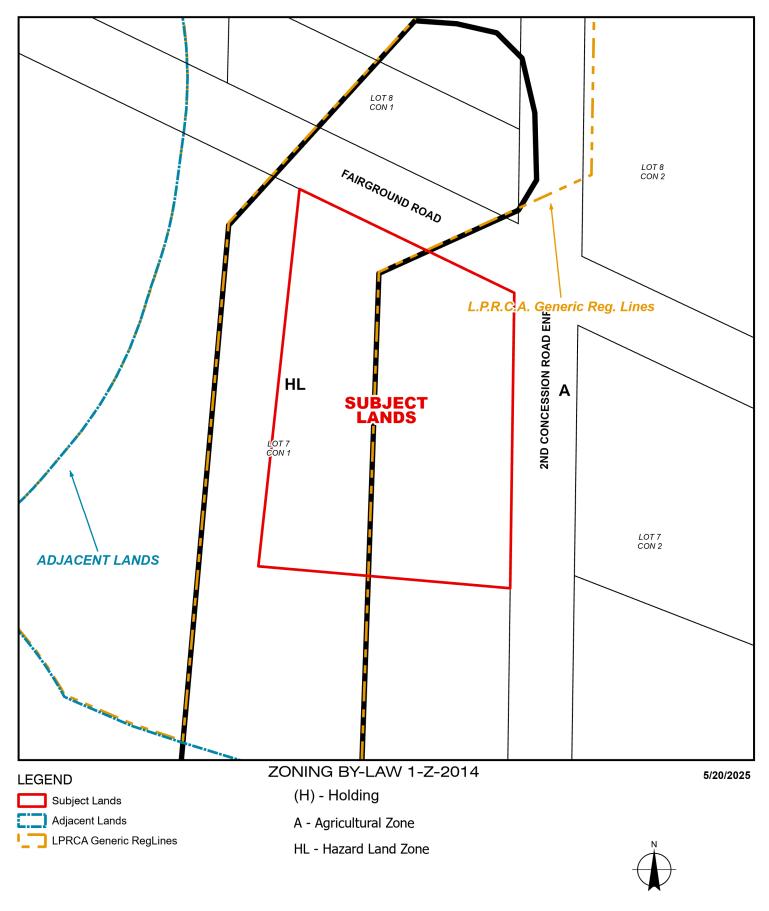
Legend





MAP B ZONING BY-LAW MAP

Geographic Township of HOUGHTON



MAP C ANPL2025109

CONCEPTUAL PLAN

Geographic Township of HOUGHTON

