

For Office Use Only:

File Number _____
Related File Number _____
Pre-consultation Meeting _____
Application Submitted _____
Complete Application _____

Application Fee _____
Conservation Authority Fee _____
Well & Septic Info Provided _____
Planner _____
Public Notice Sign _____

Check the type of planning application(s) you are submitting.

- ☐ Consent/Severance/Boundary Adjustment
☐ Surplus Farm Dwelling Severance and Zoning By-law Amendment
☒ Minor Variance
☐ Easement/Right-of-Way

Property Assessment Roll Number: 493 110 09800 0000

A. Applicant Information

Name of Owner KENNETH GAAL - BRENDA GAAL

It is the responsibility of the owner or applicant to notify the planner of any changes in ownership within 30 days of such a change.

Address 175 CEDAR DR.
Town and Postal Code TURKEY POINT.
Phone Number 519 754 6822
Cell Number 519 754 6822
Email ken.w.gaal@gmail.com.

Name of Applicant u u
Address _____
Town and Postal Code _____
Phone Number _____
Cell Number _____
Email _____

Name of Agent

JUSTIN NASCIANGILO / ELEVATION HOMES

Address

503 CON 6

Town and Postal Code

WATERFORD NOE1Y0

Phone Number

905 630 9137

Cell Number

905 630 9137

Email

elevationhomedesign@yahoo.ca

Please specify to whom all communications should be sent. Unless otherwise directed, all correspondence and notices in respect of this application will be forwarded to the owner and agent noted above.

☒ Owner

☒ Agent

☐ Applicant

Names and addresses of any holder of any mortgagees, charges or other encumbrances on the subject lands:

B. Location, Legal Description and Property Information

1. Legal Description (include Geographic Township, Concession Number, Lot Number, Block Number and Urban Area or Hamlet):

175 CEDAR DR TURKEY POINT, NORFOLK.

Municipal Civic Address:

175 CEDAR DR. RESORT RES

Present Official Plan Designation(s):

SCHEDULE "B" SEC 3.8.3.4

Present Zoning:

RESORT RESIDENTIAL

2. Is there a special provision or site specific zone on the subject lands?

☐ Yes ☒ No If yes, please specify:

3. Present use of the subject lands:

SINGLE FAMILY DWELLING

4. Please describe **all existing** buildings or structures on the subject lands and whether they are to be retained, demolished or removed. If retaining the buildings or structures, please describe the type of buildings or structures, and illustrate the setback, in metric units, from front, rear and side lot lines, ground floor area, gross floor area, lot coverage, number of storeys, width, length, and height on your attached sketch which must be included with your application:

EXISTING COTTAGE AND SMALL GARAGE
- SEE ATTACHED PLOT PLAN FOR SPECS

5. If an addition to an existing building is being proposed, please explain what it will be used for (for example a bedroom, kitchen, or bathroom). If new fixtures are proposed, please describe.

- NEW ADDITION WITH 2 BEDROOMS ON REAR OF
HOME / SIDE AND REAR PORCH OVERHANG

6. Please describe **all proposed** buildings or structures/additions on the subject lands. Describe the type of buildings or structures/additions, and illustrate the setback, in metric units, from front, rear and side lot lines, ground floor area, gross floor area, lot coverage, number of storeys, width, length, and height on your attached sketch which must be included with your application:

SINGLE STORY ADDITION ON REAR OF EXISTING HOME

7. Are any existing buildings on the subject lands designated under the Ontario Heritage Act as being architecturally and/or historically significant? Yes ☐ No ☒

If yes, identify and provide details of the building:

8. If known, the length of time the existing uses have continued on the subject lands:

50+ YEARS

9. Existing use of abutting properties:

RESIDENTIAL

10. Are there any easements or restrictive covenants affecting the subject lands?

☐ Yes ☒ No If yes, describe the easement or restrictive covenant and its effect:

C. Purpose of Development Application

Note: Please complete all that apply. Failure to complete this section will result in an incomplete application.

1. Site Information (Please refer to Zoning By-law to confirm permitted dimensions)

	Existing	Permitted	Provision	Proposed	Deficiency
Lot frontage	18.16m.	" "	" "	" "	" "
Lot depth	54.83	" "	" "	" "	" "
Lot width	18.16	" "	" "	" "	" "
Lot area	995.71m ²	" "	" "	" "	" "
Lot coverage	10%	15%	5%	33%	18%
Front yard	2.94 m	6 m.		2.94 m	2.69 m
Rear yard	31.34	9 m.		176.02	171.23 m
Height	5.49m				
Left Interior side yard	4.68m.				
Right Interior side yard	1.21 m. 1.21 m				
Exterior side yard (corner lot)					
Parking Spaces (number)	3 4				
Aisle width	4.75m.				
Stall size					
Loading Spaces					
Other					

2. Please explain why it is not possible to comply with the provision(s) of the Zoning

By-law:

TWO PORCH OVERHANGS ARE SUPPORTED BY FOOTINGS THAT
DEEM THEM TO BE STRUCTURE OVER LOT COVERAGE -

3. **Consent/Severance/Boundary Adjustment:** Description of land intended to be severed in metric units:

Frontage: _____

Depth: _____

Width: _____

Lot Area: _____

Present Use: _____

Proposed Use: _____

Proposed final lot size (if boundary adjustment): _____

If a boundary adjustment, identify the assessment roll number and property owner of the lands to which the parcel will be added: _____

Description of land intended to be retained in metric units:

Frontage: _____

Depth: _____

Width: _____

Lot Area: _____

Present Use: _____

Proposed Use: _____

Buildings on retained land: _____

4. **Easement/Right-of-Way:** Description of proposed right-of-way/easement in metric units:

Frontage: _____

Depth: _____

Width: _____
Area: _____
Proposed Use: _____

5. Surplus Farm Dwelling Severances Only: List all properties in Norfolk County, which are owned and farmed by the applicant and involved in the farm operation

Owners Name: _____
Roll Number: _____
Total Acreage: _____
Workable Acreage: _____
Existing Farm Type: (for example: corn, orchard, livestock) _____
Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built _____
Date of Land Purchase: _____

Owners Name: _____
Roll Number: _____
Total Acreage: _____
Workable Acreage: _____
Existing Farm Type: (for example: corn, orchard, livestock) _____
Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built _____
Date of Land Purchase: _____

Owners Name: _____
Roll Number: _____
Total Acreage: _____
Workable Acreage: _____
Existing Farm Type: (for example: corn, orchard, livestock) _____
Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built _____
Date of Land Purchase: _____

Owners Name: _____
Roll Number: _____
Total Acreage: _____
Workable Acreage: _____
Existing Farm Type: (for example: corn, orchard, livestock) _____
Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built _____
Date of Land Purchase: _____

Owners Name: _____
Roll Number: _____
Total Acreage: _____
Workable Acreage: _____
Existing Farm Type: (for example: corn, orchard, livestock) _____
Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built _____
Date of Land Purchase: _____

Note: If additional space is needed please attach a separate sheet.

D. All Applications: Previous Use of the Property

1. Has there been an industrial or commercial use on the subject lands or adjacent lands? ☐ Yes ☒ No ☐ Unknown

If yes, specify the uses (for example: gas station, or petroleum storage):

2. Is there reason to believe the subject lands may have been contaminated by former uses on the site or adjacent sites? ☐ Yes ☒ No ☐ Unknown

3. Provide the information you used to determine the answers to the above questions:

HAS BEEN TURKEY POINT COTTAGE COUNTRY

4. If you answered yes to any of the above questions in Section D, a previous use inventory showing all known former uses of the subject lands, or if appropriate, the adjacent lands, is needed. Is the previous use inventory attached? ☐ Yes ☐ No

E. All Applications: Provincial Policy

1. Is the requested amendment consistent with the provincial policy statements issued under subsection 3(1) of the *Planning Act*, R.S.O. 1990, c. P. 13? ☒ Yes ☐ No

If no, please explain:

2. It is owner's responsibility to be aware of and comply with all relevant federal or provincial legislation, municipal by-laws or other agency approvals, including the Endangered Species Act, 2007. Have the subject lands been screened to ensure that development or site alteration will not have any impact on the habitat for endangered or threatened species further to the provincial policy statement subsection 2.1.7? ☒ Yes ☐ No

If no, please explain:

APPROVED BY LONG POINT CONSERVATION AUTH.

3. Have the subject lands been screened to ensure that development or site alteration will not have any impact on source water protection? ☒ Yes ☐ No

If no, please explain:

Note: If in an area of source water Wellhead Protection Area (WHPA) A, B or C please attach relevant information and approved mitigation measures from the Risk Manager Official.

4. All Applications: Are any of the following uses or features on the subject lands or within 500 metres of the subject lands, unless otherwise specified? Please check boxes, if applicable.

Livestock facility or stockyard (submit MDS Calculation with application)

☐ On the subject lands or ☐ within 500 meters – distance _____

Wooded area

☐ On the subject lands or ☐ within 500 meters – distance _____

Municipal Landfill

☐ On the subject lands or ☐ within 500 meters – distance _____

Sewage treatment plant or waste stabilization plant

☐ On the subject lands or ☐ within 500 meters – distance _____

Provincially significant wetland (class 1, 2 or 3) or other environmental feature

☐ On the subject lands or ☐ within 500 meters – distance _____

Floodplain

☐ On the subject lands or ☐ within 500 meters – distance _____

Rehabilitated mine site

☐ On the subject lands or ☐ within 500 meters – distance _____

Non-operating mine site within one kilometre

☐ On the subject lands or ☐ within 500 meters – distance _____

Active mine site within one kilometre

☐ On the subject lands or ☐ within 500 meters – distance _____

Industrial or commercial use (specify the use(s))

☐ On the subject lands or ☐ within 500 meters – distance _____

Active railway line

☐ On the subject lands or ☐ within 500 meters – distance _____

Seasonal wetness of lands

☐ On the subject lands or ☐ within 500 meters – distance _____

Erosion

☐ On the subject lands or ☐ within 500 meters – distance _____

Abandoned gas wells

☐ On the subject lands or ☐ within 500 meters – distance _____

F. All Applications: Servicing and Access

1. Indicate what services are available or proposed:

Water Supply

☒ Municipal piped water

☐ Individual wells

☐ Communal wells

☒ Other (describe below)

PRIVATE COMMUNAL WATER SUPPLY

Sewage Treatment

☒ Municipal sewers

☐ Communal system

☒ Septic tank and tile bed in good working order

☐ Other (describe below)

Storm Drainage

☐ Storm sewers

☒ Open ditches

☐ Other (describe below)

2. Existing or proposed access to subject lands:

☒ Municipal road

☐ Provincial highway

☐ Unopened road

☐ Other (describe below)

Name of road/street:

CEDAR DR.

G. All Applications: Other Information

1. Does the application involve a local business? ☐ Yes ☒ No

If yes, how many people are employed on the subject lands?

2. Is there any other information that you think may be useful in the review of this application? If so, explain below or attach on a separate page.

H. Supporting Material to be submitted by Applicant

In order for your application to be considered complete, folded hard copies (number of paper copies as directed by the planner) and an **electronic version (PDF) of the site plan drawings, additional plans, studies and reports** will be required, including but not limited to the following details:

1. Concept/Layout Plan
2. All measurements in metric
3. Existing and proposed easements and right of ways
4. Parking space totals – required and proposed
5. All dimensions of the subject lands
6. Dimensions and setbacks of all buildings and structures
7. Location and setbacks of septic system and well from all existing and proposed lot lines, and all existing and proposed structures
8. Names of adjacent streets
9. Natural features, watercourses and trees

In addition, the following additional plans, studies and reports, including but not limited to, **may** also be required as part of the complete application submission:

- ☐ On-Site Sewage Disposal System Evaluation Form (to verify location and condition)
- ☐ Environmental Impact Study
- ☐ Geotechnical Study / Hydrogeological Review
- ☐ Minimum Distance Separation Schedule
- ☐ Record of Site Condition

Your development approval might also be dependent on Ministry of Environment Conservation and Parks, Ministry of Transportation or other relevant federal or provincial legislation, municipal by-laws or other agency approvals.

All final plans must include the owner's signature as well as the engineer's signature and seal.

K. Declaration

I, JUSTIN NASCIANGELO of WATERFORD

solemnly declare that:

all of the above statements and the statements contained in all of the exhibits transmitted herewith are true and I make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath and by virtue of *The Canada Evidence Act*.

Declared before me at:


Owner/Applicant/Agent Signature

In WATERFORD

This MAY day of 28

A.D., 2025

A Commissioner, etc.

I. Transfers, Easements and Postponement of Interest

The owner acknowledges and agrees that if required it is their solicitor's responsibility on behalf of the owner for the registration of all transfer(s) of land to the County, and/or transfer(s) of easement in favour of the County and/or utilities. Also, the owner further acknowledges and agrees that it is their solicitor's responsibility on behalf of the owner for the registration of postponements of any charges in favour of the County.

Permission to Enter Subject Lands

Permission is hereby granted to Norfolk County officers, employees or agents, to enter the premises subject to this application for the purposes of making inspections associated with this application, during normal and reasonable working hours.

Freedom of Information

For the purposes of the *Municipal Freedom of Information and Protection of Privacy Act*, I authorize and consent to the use by or the disclosure to any person or public body any information that is collected under the authority of the *Planning Act, R.S.O. 1990, c. P. 13* for the purposes of processing this application.

Owner/Applicant/Agent Signature

MAY 27/2025
Date

J. Owner's Authorization

If the applicant/agent is not the registered owner of the lands that is the subject of this application, the owner must complete the authorization set out below.

I/We KEN GAAL am/are the registered owner(s) of the lands that is the subject of this application.

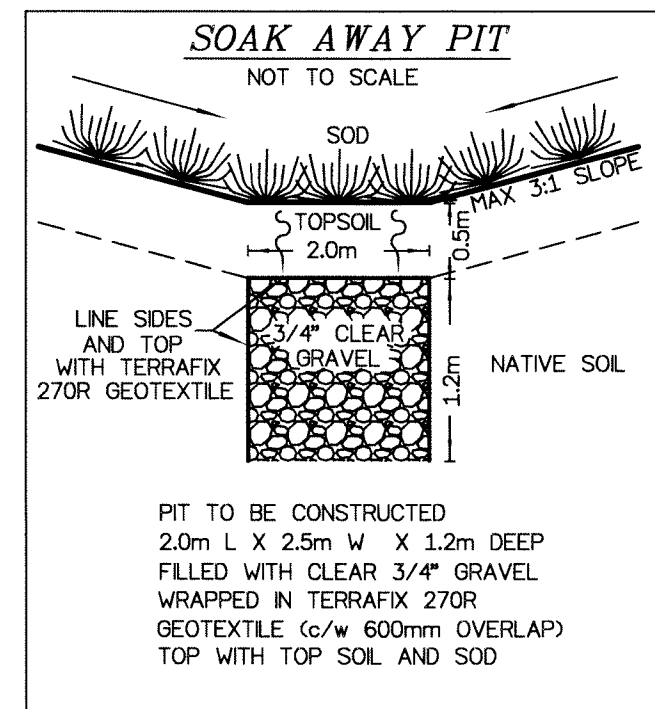
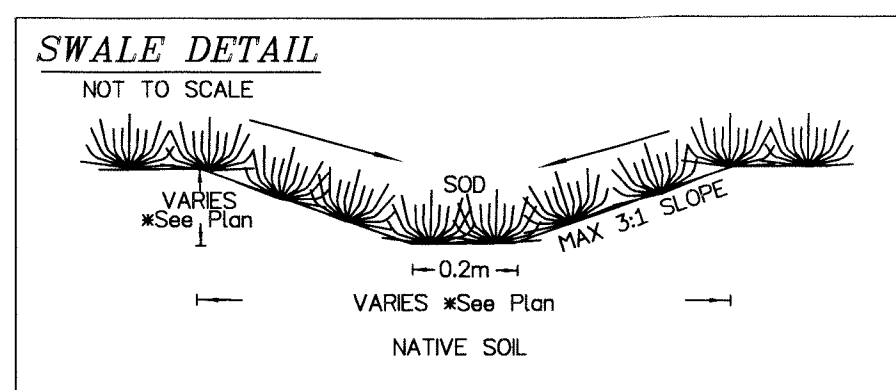
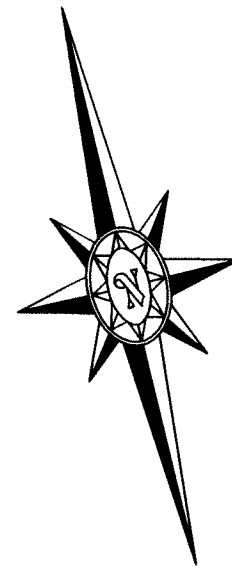
I/We authorize ELEVATION HOMES to make this application on my/our behalf and to provide any of my/our personal information necessary for the processing of this application. Moreover, this shall be your good and sufficient authorization for so doing.

Owner
Brenda Gaal
Owner

MAY 27/2025
Date

Date

***Note:** If property is owned by an Ontario Ltd. Corporation, Articles of Incorporation are required to be attached to the application.



PROPOSED LOT GRADING AND DRAINAGE PLAN

FOR: KEN GAAL
175 CEDAR DRIVE
TURKEY POINT

PIN 50267 - 0481 (LT)

SCALE: 1 : 150

1.5 0 6 METRES

JEWITT AND DIXON LTD.

SITE B.M.#1

SPIKE IN FACE OF
WOOD HYDRO POLE
ELEV = 176.80
(GEODETIC)

SITE B.M.#1
SPIKE IN POLE
ELEV = 176.80

LEGEND

BELL BOX	SHOWN	BBX	□
BENCH MARK	SHOWN	BM	●
CATCH BASIN	SHOWN	CB	■
TOP OF FOUNDATION	SHOWN	TOF	—
OVERHEAD HYDRO LINE	SHOWN	O/H	—
LIQUID PROPANE TANK	SHOWN	LPG	—
HYDRO POLE	SHOWN	HP	—
UNDERSIDE OF SIDING	SHOWN	USS	—
DECIDUOUS TREE	SHOWN		—

ELEVATIONS SHOWN HEREON ARE IN METRES
AND ARE BASED ON A GEODETIC DATUM.

METRIC NOTE:

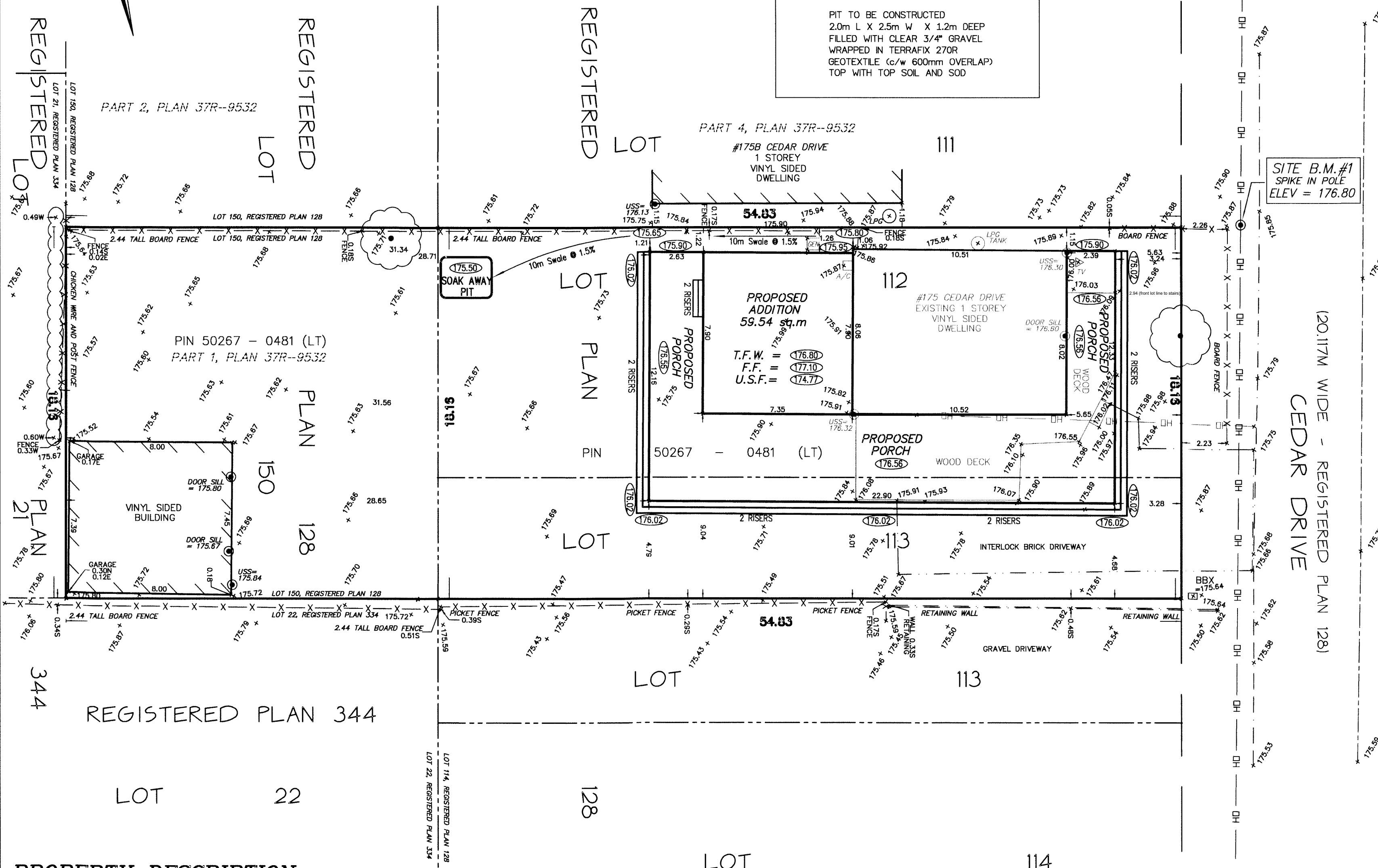
DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN
BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

NOTE:

THE VARIOUS UTILITY LOCATIONS SHOWN ON THIS PLAN ARE
BASED ON PHYSICAL LOCATES.
PRIOR TO ANY ON SITE CONSTRUCTION ACTIVITY A VERIFICATION
LOCATE IS BOTH RECOMMENDED AND ADVISED.

NOTES

- (1) - A SURVEY OF THE SUBJECT PROPERTY WAS PREPARED
BY JEWITT AND DIXON LTD. DATED JUNE 29, 1987 (P.4616)
- (2) - PROPOSED BUILDING POSITIONED BY CALCULATIONS,
NOT BY ACTUAL SURVEY
- (3) - PROPOSED FINAL GRADES ARE SHOWN (176.80) AND
ARE IN METERS
- (4) - T.F.W. DENOTES TOP OF FOUNDATION WALL
- (5) - U.S.F. DENOTES UNDERSIDE OF FOOTING
- (6) - F.F. DENOTES FINISHED FLOOR
- (7) - SITE BENCHMARK - SPIKE IN FACE OF WOOD HYDRO POLE
HAVING A GEODETIC ELEVATION OF 176.80 METERS TO BE
VERIFIED BY CONTRACTOR PRIOR TO EXCAVATION
- (8) - IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO
VERIFY THE ELEVATION OF THE UPPER LIMIT OF THE
GROUND WATER TABLE, SOIL BEARING CAPACITY AND
THE ELEVATION OF THE UNDER SIDE OF FOOTING PRIOR
TO EXCAVATION.
- (9) - DISTANCE FROM TOP OF FOUNDATION WALL TO
UNDERSIDE OF FOOTING EQUALS 2.03m OR 6'8" TO BE
CONFIRMED BY CONTRACTOR PRIOR TO EXCAVATION.
- (10) - ELEVATIONS ARE REFERRED TO CANADIAN GEODETIC
DATUM, CGVD 1928 VERTICAL DATUM
- (11) - THIS SKETCH WAS COMPLETED FROM FIELD WORK
COMPLETED ON THE 9TH DAY OF JANUARY, 2023



PROPERTY DESCRIPTION:

ALL OF LOT 112, REGISTERED PLAN 128
PARTS OF LOTS 113 & 150, REGISTERED PLAN 128
GEOGRAPHIC TOWNSHIP OF CHARLOTTEVILLE
COUNTY OF NORFOLK

CAUTION

THIS IS NOT A PLAN OF SURVEY OR SURVEYOR'S REPORT AND SHALL NOT BE USED
FOR TRANSACTION OR FINANCING PURPOSES

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MARCH 19, 2024

[Signature]
KIM HUSTED, O.L.S.
THIS COPY IS VALID UNLESS
EMPOWERED WITH THE SURVEYOR'S SEAL

JEWITT AND DIXON LTD.

ONTARIO LAND SURVEYORS

650 IRELAND ROAD, SIMCOE, ON
N3Y 4K2

PHONE: (519) 426-0842
E-mail: info@jewittdixon.com

F.W. - J.M.R.

BOOK - LL-FILE

CALC. - J.L.M.

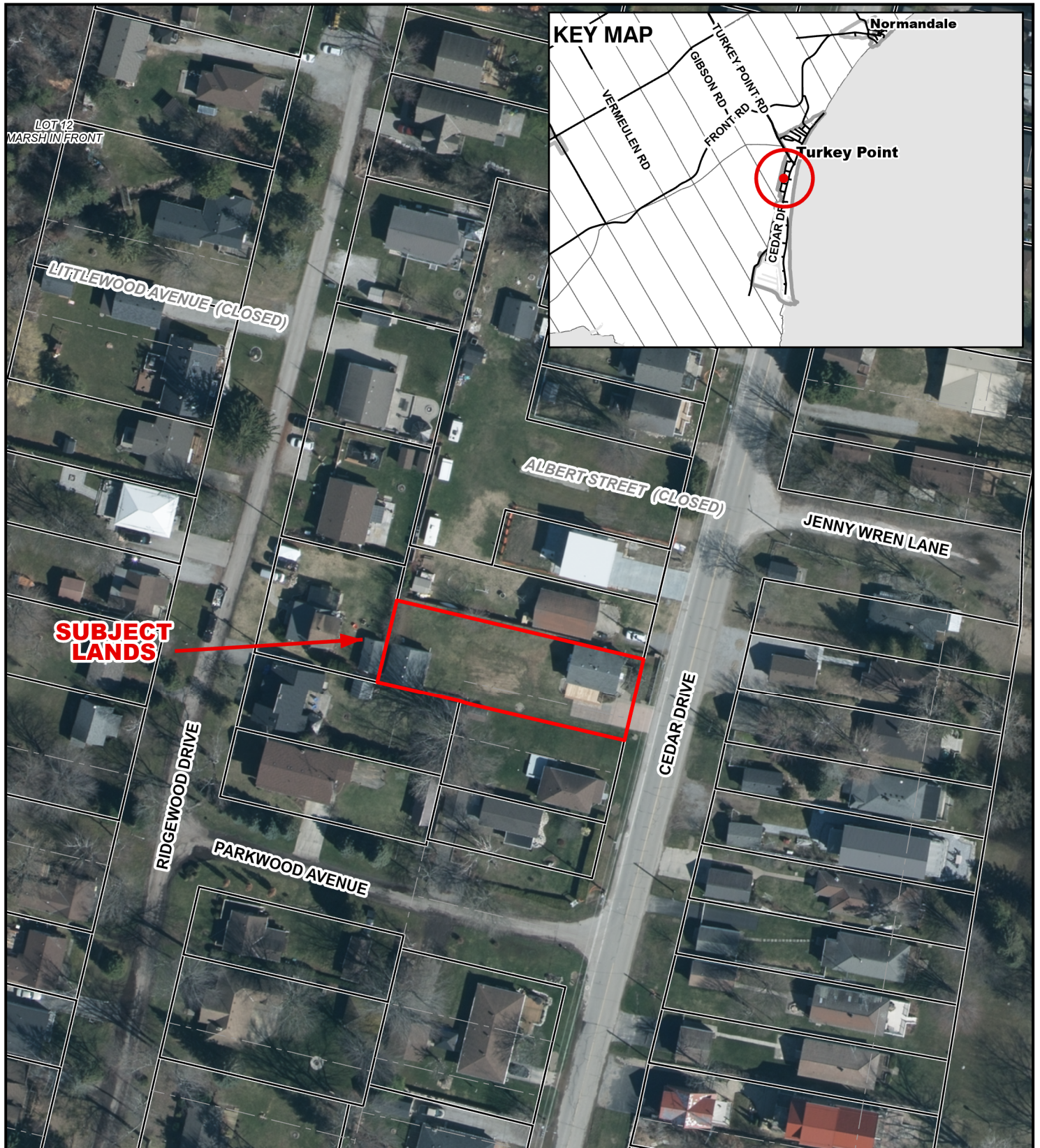
PLAN - J.L.M.

CHECK - K.H.


CLIENT - GAAL

PROJECT No. - 22-3601

22-3601-GP

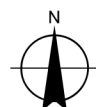


Legend

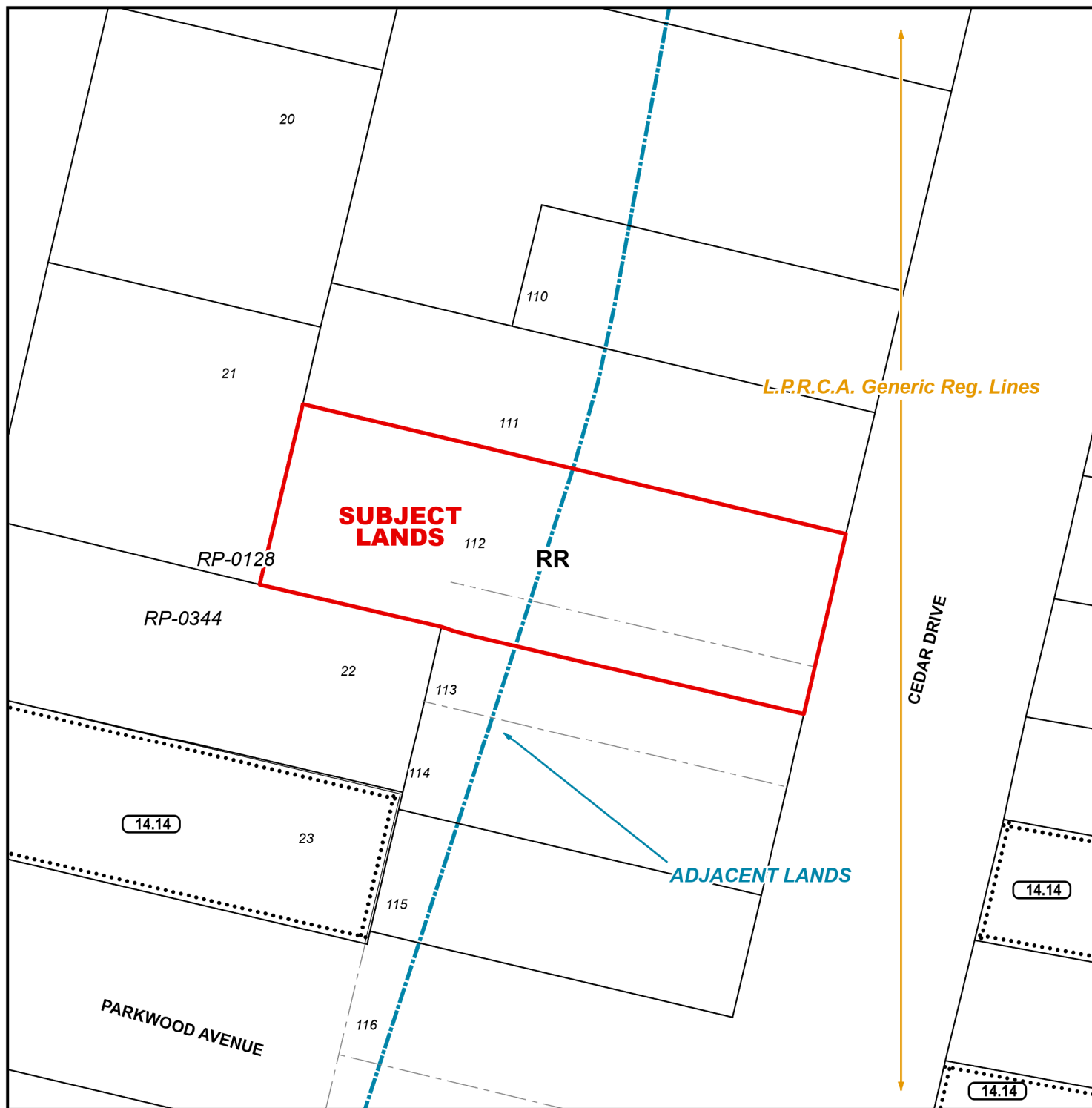
 Subject Lands

2020 Air Photo

8/5/2025






9 4.5 0 9 18 27 36 Meters



LEGEND

ZONING BY-LAW 1-Z-2014

8/5/2025

-  Subject Lands
 Adjacent Lands
 LPRCA Generic RegLines

(H) - Holding

RR - Resort Residential Zone

