

For Office Use Only:

File Number _____
Related File Number _____
Pre-consultation Meeting _____
Application Submitted _____
Complete Application _____

Application Fee _____
Conservation Authority Fee _____
Well & Septic Info Provided _____
Planner _____
Public Notice Sign _____

Check the type of planning application(s) you are submitting.

- ☐ Consent/Severance/Boundary Adjustment
☐ Surplus Farm Dwelling Severance and Zoning By-law Amendment
☒ Minor Variance
☐ Easement/Right-of-Way

Property Assessment Roll Number: 3310-491-110-38100 _____

A. Applicant Information

Name of Owner Anne Meiklejohn

It is the responsibility of the owner or applicant to notify the planner of any changes in ownership within 30 days of such a change.

Address 12 Snooks Drive
Town and Postal Code Turkey Point N0E 1T0
Phone Number _____
Cell Number 519-427-3311
Email pmeiklejohn71@gmail.com

Name of Applicant Agent

Address _____
Town and Postal Code _____
Phone Number _____
Cell Number _____
Email _____

Name of Agent David McPherson
Address 8 Culver Lane
Town and Postal Code Simcoe, ON N3Y 5C8
Phone Number _____
Cell Number 519-427-6483
Email david-a-mcpherson@hotmail.com

Please specify to whom all communications should be sent. Unless otherwise directed, all correspondence and notices in respect of this application will be forwarded to the owner and agent noted above.

☐ Owner ☒ Agent ☐ Applicant

Names and addresses of any holder of any mortgages, charges or other encumbrances on the subject lands:

n/a

B. Location, Legal Description and Property Information

1. Legal Description (include Geographic Township, Concession Number, Lot Number, Block Number and Urban Area or Hamlet):

Lot 9 Plan 226

Municipal Civic Address: 12 Snooks Drive, Turkey Point

Present Official Plan Designation(s): Resort Residential

Present Zoning: Resort Residential

2. Is there a special provision or site specific zone on the subject lands?

☐ Yes ☒ No If yes, please specify:

3. Present use of the subject lands:

Residential

4. Please describe **all existing** buildings or structures on the subject lands and whether they are to be retained, demolished or removed. If retaining the buildings or structures, please describe the type of buildings or structures, and illustrate the setback, in metric units, from front, rear and side lot lines, ground floor area, gross floor area, lot coverage, number of storeys, width, length, and height on your attached sketch which must be included with your application:

1 storey dwelling of 113 sqm and 2 accessory sheds of 13 sqm. all shown on attached survey.

5. If an addition to an existing building is being proposed, please explain what it will be used for (for example a bedroom, kitchen, or bathroom). If new fixtures are proposed, please describe.

n/a

6. Please describe **all proposed** buildings or structures/additions on the subject lands. Describe the type of buildings or structures/additions, and illustrate the setback, in metric units, from front, rear and side lot lines, ground floor area, gross floor area, lot coverage, number of storeys, width, length, and height on your attached sketch which must be included with your application:

Proposed is a 2 storey single family dwelling of some 135 sqm and retain the existing 2 shed but convert the existing dwelling into a detached garage of 113 sqm of "usable floor area".

7. Are any existing buildings on the subject lands designated under the *Ontario Heritage Act* as being architecturally and/or historically significant? Yes ☐ No ☒

If yes, identify and provide details of the building:

8. If known, the length of time the existing uses have continued on the subject lands:

50 + years

9. Existing use of abutting properties:

residential

10. Are there any easements or restrictive covenants affecting the subject lands?

☐ Yes ☒ No If yes, describe the easement or restrictive covenant and its effect:

DWELLING

C. Purpose of Development Application

Note: Please complete all that apply. **Failure to complete this section will result in an incomplete application.**

1. Site Information (Please refer to Zoning By-law to confirm permitted dimensions)

	Existing	Permitted	Provision	Proposed	Deficiency
Lot frontage	14.52m	15m		14.52m	0.48m
Lot depth	122m			122m	
Lot width	29.57m			29.57m	
Lot area	1624.19sqm			1624.19sqm	
Lot coverage	6.9%	15%		13.78%	
Front yard	5.2m	6m		3.4m	2.6m
Rear yard	99m	9m		90m	
Height	5m	9.1m		8.8m	
Left Interior side yard	2m	3m		1.3m	1.7m
Right Interior side yard	3m	1.2m		1.3m	
Exterior side yard (corner lot)					
Parking Spaces (number)					
Aisle width					
Stall size					
Loading Spaces					
Other					

GARAGE

C. Purpose of Development Application

Note: Please complete all that apply. Failure to complete this section will result in an incomplete application.

1. Site Information (Please refer to Zoning By-law to confirm permitted dimensions)

	Existing	Permitted	Provision	Proposed	Deficiency
Lot frontage	14.52m	15m		14.52m	0.48m
Lot depth	122m			122m	
Lot width	29.57m			29.57m	
Lot area	1624.19sqm			1624.19sqm	
Lot coverage	0.8%	10%		7.6%	
Front yard	34m	6m		34m	
Rear yard	75m	1.2m		75m	
Height	5m	7m		5m	
Left Interior side yard		1.2m		1.2m	
Right Interior side yard		1.2m		1.2m	
Exterior side yard (corner lot)					
Parking Spaces (number)					
Aisle width					
Stall size					
Loading Spaces			3.2.1(h)		TO CONVERT EXISTING DWELLING TO A DETACHED GARAGE
Other	usable floor area	100sqm		125sqm	25sqm

2. Please explain why it is not possible to comply with the provision(s) of the Zoning By-law:

The existing lot is minimally shy on lot frontage. The proposed dwelling is situate in the same location as the existing dwelling. The existing dwelling is to be retained and converted to a detached garage.

3. **Consent/Severance/Boundary Adjustment:** Description of land intended to be severed in metric units:

Frontage: n/a

Depth: _____

Width: _____

Lot Area: _____

Present Use: _____

Proposed Use: _____

Proposed final lot size (if boundary adjustment): _____

If a boundary adjustment, identify the assessment roll number and property owner of the lands to which the parcel will be added: _____

Description of land intended to be retained in metric units:

Frontage: _____

Depth: _____

Width: _____

Lot Area: _____

Present Use: _____

Proposed Use: _____

Buildings on retained land: _____

4. **Easement/Right-of-Way:** Description of proposed right-of-way/easement in metric units:

Frontage: n/a

Depth: _____

Width: _____
Area: _____
Proposed Use: _____

5. Surplus Farm Dwelling Severances Only: List all properties in Norfolk County, which are owned and farmed by the applicant and involved in the farm operation

Owners Name: n/a
Roll Number: _____
Total Acreage: _____
Workable Acreage: _____
Existing Farm Type: (for example: corn, orchard, livestock) _____
Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built _____
Date of Land Purchase: _____

Owners Name: _____
Roll Number: _____
Total Acreage: _____
Workable Acreage: _____
Existing Farm Type: (for example: corn, orchard, livestock) _____
Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built _____
Date of Land Purchase: _____

Owners Name: _____
Roll Number: _____
Total Acreage: _____
Workable Acreage: _____
Existing Farm Type: (for example: corn, orchard, livestock) _____
Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built _____
Date of Land Purchase: _____

Owners Name: _____
Roll Number: _____
Total Acreage: _____
Workable Acreage: _____
Existing Farm Type: (for example: corn, orchard, livestock) _____
Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built _____
Date of Land Purchase: _____

Owners Name: _____
Roll Number: _____
Total Acreage: _____
Workable Acreage: _____
Existing Farm Type: (for example: corn, orchard, livestock) _____
Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built _____
Date of Land Purchase: _____

Note: If additional space is needed please attach a separate sheet.

D. All Applications: Previous Use of the Property

1. Has there been an industrial or commercial use on the subject lands or adjacent lands? ☐ Yes ☒ No ☐ Unknown

If yes, specify the uses (for example: gas station, or petroleum storage):

2. Is there reason to believe the subject lands may have been contaminated by former uses on the site or adjacent sites? ☐ Yes ☒ No ☐ Unknown

3. Provide the information you used to determine the answers to the above questions:

Information provided by owner.

4. If you answered yes to any of the above questions in Section D, a previous use inventory showing all known former uses of the subject lands, or if appropriate, the adjacent lands, is needed. Is the previous use inventory attached? ☐ Yes ☐ No

E. All Applications: Provincial Policy

1. Is the requested amendment consistent with the provincial policy statements issued under subsection 3(1) of the *Planning Act*, R.S.O. 1990, c. P. 13? ☒ Yes ☐ No

If no, please explain:

2. It is owner's responsibility to be aware of and comply with all relevant federal or provincial legislation, municipal by-laws or other agency approvals, including the Endangered Species Act, 2007. Have the subject lands been screened to ensure that development or site alteration will not have any impact on the habitat for endangered or threatened species further to the provincial policy statement subsection 2.1.7? ☒ Yes ☐ No

If no, please explain:

3. Have the subject lands been screened to ensure that development or site alteration will not have any impact on source water protection? ☐ Yes ☒ No

If no, please explain:

Property is not within a WHPA

Note: If in an area of source water Wellhead Protection Area (WHPA) A, B or C please attach relevant information and approved mitigation measures from the Risk Manager Official.

4. All Applications: Are any of the following uses or features on the subject lands or within 500 metres of the subject lands, unless otherwise specified? Please check boxes, if applicable.

Livestock facility or stockyard (submit MDS Calculation with application)

☐ On the subject lands or ☐ within 500 meters – distance _____

Wooded area

☐ On the subject lands or ☒ within 500 meters – distance 50m

Municipal Landfill

☐ On the subject lands or ☐ within 500 meters – distance _____

Sewage treatment plant or waste stabilization plant

☐ On the subject lands or ☐ within 500 meters – distance _____

Provincially significant wetland (class 1, 2 or 3) or other environmental feature

☐ On the subject lands or ☒ within 500 meters – distance _____

Floodplain

☐ On the subject lands or ☐ within 500 meters – distance _____

Rehabilitated mine site

☐ On the subject lands or ☐ within 500 meters – distance _____

Non-operating mine site within one kilometre

☐ On the subject lands or ☐ within 500 meters – distance _____

Active mine site within one kilometre

☐ On the subject lands or ☐ within 500 meters – distance _____

Industrial or commercial use (specify the use(s))

☐ On the subject lands or ☐ within 500 meters – distance _____

Active railway line

☐ On the subject lands or ☐ within 500 meters – distance _____

Seasonal wetness of lands

☐ On the subject lands or ☐ within 500 meters – distance _____

Erosion

☐ On the subject lands or ☐ within 500 meters – distance _____

Abandoned gas wells

☐ On the subject lands or ☐ within 500 meters – distance _____

F. All Applications: Servicing and Access

1. Indicate what services are available or proposed:

Water Supply

- ☐ Municipal piped water
☐ Individual wells

- ☒ Communal wells
☐ Other (describe below)

Sewage Treatment

- ☐ Municipal sewers
☐ Septic tank and tile bed in good working order
☐ Communal system
☐ Other (describe below)

New private septic system is proposed.

Storm Drainage

- ☐ Storm sewers
☐ Other (describe below)
☒ Open ditches

2. Existing or proposed access to subject lands:

- ☒ Municipal road
☐ Unopened road
☐ Provincial highway
☐ Other (describe below)

Name of road/street:

Snooks Drive

G. All Applications: Other Information

1. Does the application involve a local business? ☐ Yes ☒ No

If yes, how many people are employed on the subject lands?

2. Is there any other information that you think may be useful in the review of this application? If so, explain below or attach on a separate page.

Premise and Justification report is attached

H. Supporting Material to be submitted by Applicant

In order for your application to be considered complete, folded hard copies (number of paper copies as directed by the planner) and an **electronic version (PDF) of the site plan drawings, additional plans, studies and reports** will be required, including but not limited to the following details:

1. Concept/Layout Plan
2. All measurements in metric
3. Existing and proposed easements and right of ways
4. Parking space totals – required and proposed
5. All dimensions of the subject lands
6. Dimensions and setbacks of all buildings and structures
7. Location and setbacks of septic system and well from all existing and proposed lot lines, and all existing and proposed structures
8. Names of adjacent streets
9. Natural features, watercourses and trees

In addition, the following additional plans, studies and reports, including but not limited to, **may** also be required as part of the complete application submission:

- ☐ On-Site Sewage Disposal System Evaluation Form (to verify location and condition)
- ☐ Environmental Impact Study
- ☐ Geotechnical Study / Hydrogeological Review
- ☐ Minimum Distance Separation Schedule
- ☐ Record of Site Condition

Your development approval might also be dependent on Ministry of Environment Conservation and Parks, Ministry of Transportation or other relevant federal or provincial legislation, municipal by-laws or other agency approvals.

All final plans must include the owner's signature as well as the engineer's signature and seal.

I. Transfers, Easements and Postponement of Interest

The owner acknowledges and agrees that if required it is their solicitor's responsibility on behalf of the owner for the registration of all transfer(s) of land to the County, and/or transfer(s) of easement in favour of the County and/or utilities. Also, the owner further acknowledges and agrees that it is their solicitor's responsibility on behalf of the owner for the registration of postponements of any charges in favour of the County.

Permission to Enter Subject Lands

Permission is hereby granted to Norfolk County officers, employees or agents, to enter the premises subject to this application for the purposes of making inspections associated with this application, during normal and reasonable working hours.

Freedom of Information

For the purposes of the *Municipal Freedom of Information and Protection of Privacy Act*, I authorize and consent to the use by or the disclosure to any person or public body any information that is collected under the authority of the *Planning Act, R.S.O. 1990, c. P. 13* for the purposes of processing this application.


Owner/Applicant/Agent Signature


Date

J. Owner's Authorization

If the applicant/agent is not the registered owner of the lands that is the subject of this application, the owner must complete the authorization set out below.

I/We Anne Meiklejohn am/are the registered owner(s) of the lands that is the subject of this application.

I/We authorize David McPherson to make this application on my/our behalf and to provide any of my/our personal information necessary for the processing of this application. Moreover, this shall be your good and sufficient authorization for so doing.


Owner


Date

Owner

Date

***Note:** If property is owned by an Ontario Ltd. Corporation, Articles of Incorporation are required to be attached to the application.

K. Declaration

I, David McPherson of Simcoe

solemnly declare that:

all of the above statements and the statements contained in all of the exhibits transmitted herewith are true and I make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath and by virtue of *The Canada Evidence Act*.

Declared before me at:

Simcoe



Owner/Applicant/Agent Signature

In Norfolk County

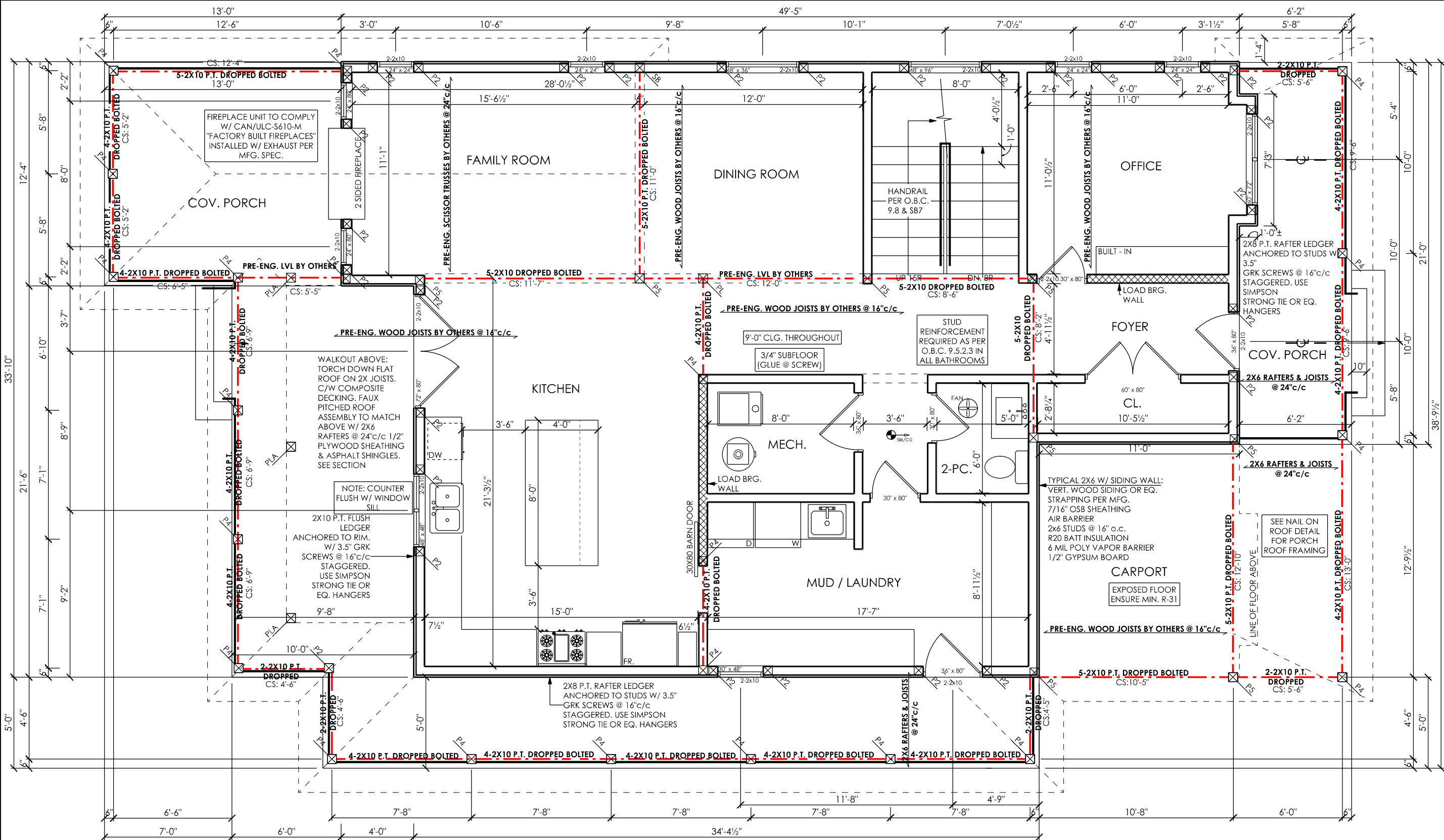
This 30 day of May

A.D., 2025



A Commissioner, etc.

Olivia Catherine Davies, a
Commissioner, etc., Province of Ontario,
for the Corporation of Norfolk County.
Expires May 23, 2027.



DAMPProofing AND DRAINAGE

- IN NORMAL SOIL CONDITIONS, THE EXTERIOR SURFACES OF FOUNDATION WALLS ENCLOSING BASEMENTS AND CRAWLSPACES SHALL BE DAMPProofED. WHERE HYDROSTATIC PRESSURE OCCURS, A WATERProofING SYSTEM IS REQUIRED.
- MASONRY FOUNDATION WALLS SHALL BE PARGED WITH 1/4" OF MORTAR COVERED OVER THE FOOTING PRIOR TO DAMPProofING.
- 4" Ø PERFORATED WEEPING TILE WRAPPED WITH FILTER SOCK IN ACCORDANCE WITH O.B.C. 9.14.3. FOUNDATION DRAINS SHALL BE LAID ON LEVEL, UNDISTURBED GROUND ADJACENT TO THE FOOTINGS AT OR BELOW THE TOP OF THE BASEMENT SLAB OR CRAWLSPACE FLOOR AND SHALL BE COVERED WITH 6" OF CRUSHED STONE
- FOUNDATION DRAINS SHALL FRAIN TO A STORM SEWER, DRAINAGE DITCH, DRY WELL OR SUMP.
- WINDOW WELLS SHALL BE DRAINED TO THE FOOTING
- DOWNSPOUTS NOT DIRECTLY CONNECTED TO A STORM SEWER SHALL HAVE EXTENSIONS TO CARRY WATER AWAY FROM THE BUILDING AND PROVISIONS SHALL BE MADE TO PREVENT SOIL EROSION.
- CONCRETE SLABS IN ATTACHED GARAGES SHALL BE SLOPED TO DRAIN TO EXTERIOR.
- THE BUILDING SITE SHALL BE GRADED SO THAT SURGACE, SUMP AND ROOF DRAINAGE WILL NOT ACCUMULATE AT OR NEAR THE BUILDING AND WILL NOT ADVERSELY AFFECT ADJACENT PROPERTIES.

CONCRETE

- ALL CONCRETE TO HAVE ULTIMATE COMPRESSIVE STRENGTH @ 28 DAYS OF:
- 20 MPA FOR FOOTINGS AND WALLS
- 25 MPA FOR BASEMENT FLOORS
- 32 MPA FOR GARAGE FLOORS AND ALL EXTERIOR CONCRETE WITH 5%-8% AIR ENTRAINMENT.
- CONCRETE FLOOR SLABS**
- GARAGE, CARPORT, EXTERIOR SLABS AND STEPS SHALL BE 32 MPA, 4650 PSI CONCRETE (AFTER 28 DAYS) WITH 5-8% AIR ENTRAINMENT UNLESS NOTED OTHERWISE.
- BASEMENT SLABS TO BE 4" THICK 20 MPS POURED CONCRETE WITH DAMPProofING (REFER TO SECTIONS) ON 6" COURSE CLEAN GRANULAR MATERIAL.
- ALL FILL OHTER THAN COURSE CLEAN MATERIAL PLACED BENEATH CONCRETE SLABS SHALL BE COMPACTED TO PROVIDE UNIFORM SUPPORT.

SOIL GAS CONTROL

- WHERE METHANE OR RADON GASES ARE KNOWN TO BE PRESENT, A SOIL GAS BARRIER SHALL BE INSTALLED AT WALLS, FLOORS AND ROOFS IN CONTACT WITH THE GROUND ACCORDING TO SUPPLEMENTARY STANDARDS SB-9.

INSULATION/VENTILATION & WEATHERProofING

- INSULATION SHALL BE PROTECTED WITH GYPSUM BOARD OR AN EQUIVALENT INTERIOR FINISH, EXCEPT FOR UNFINISHED BASEMENTS WHERE 5mil POLY IS SUFFICIENT FOR FIBERGLASS TYPE INSULATIONS.
- DUCTS PASSING THROUGH UNHEATED SPACE SHALL BE MADE AIRTIGHT WITH TAPE AND SEALANT.
- CAULKING SHALL BE PROVIDED FOR ALL EXTERIOR DOORS AND ACCESS HATCHES TO THE EXTERIOR, EXCEPT DOORS FROM A GARAGE TO THE EXTERIOR.
- WEATHER STRIPPING SHALL BE PROVIDED ON ALL DOORS AND ACCESS HATCHES TO THE EXTERIOR, EXCEPT DOORS FROM A GARAGE TO THE EXTERIOR.
- EXTERIOR WALLS, CEILINGS AND FLOORS SHALL BE CONSTRUCTED SO AS TO PROVIDE A CONTINUOUS BARRIER TO THE PASSAGE OF WATER VAPOUR FROM THE INTERIOR AND TO THE LEAKAGE OF AIR FROM THE EXTERIOR.



TBP G
DRAFTING & DESIGN
220 BROAD STREET EAST
DUNNVILLE, ON. N1A 1G2
INFO@THEBUILDINGPERMITGUY.CA

THE UNDERSIGNED HAS THE REVIEWED AND TAKES RESPONSIBILITY FOR THE DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO ACT AS A DESIGNER.

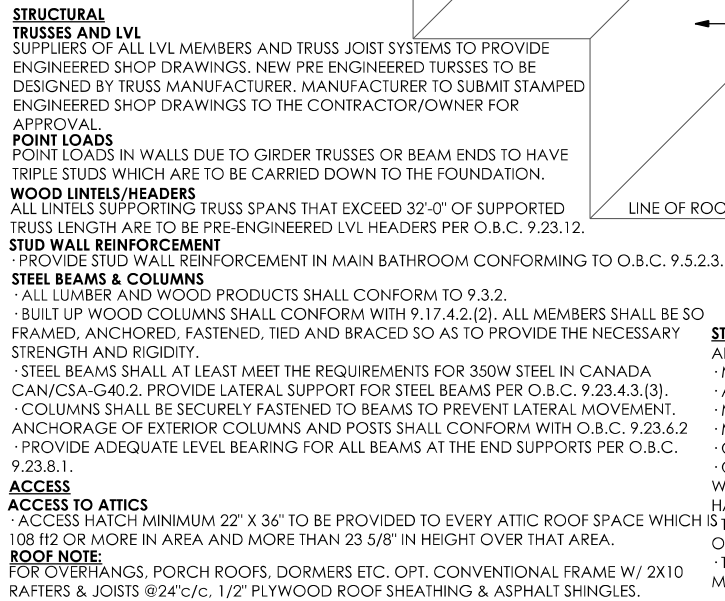
QUALIFICATION INFORMATION REQUIRED UNLESS THE DESIGN IS EXEMPT UNDER DIV. C. 3.2.5.1. OF THE 2012 ONTARIO BUILDING CODE.

JOHN BARNHART
41773
103362
BCIN

MEIKLEJOHN
NEW DWELLING
12 SNOOKS DRIVE, TURKEY POINT, ON.

DRAWN BY: J. BARNHART

A-2



- ALL INTERIOR AND EXTERIOR STAIRS TO CONFORM WITH O.B.C. 9.8.2.
- MIN STAIR WIDTH TO BE 2'-10" PER O.B.C. 9.8.2.1.(2).
- ALL STAIRS TO BE UNIFORM IN RISE AND RUN
- MIN. RISE = 4 7/8" MAX RISE = 7 7/8"
- MIN. RUN = 10" MAX RUN = 14"
- CURVED STAIRS MIN RUN = 5 7/8" AT THE NARROW END OF THE TREAD AND,
- COMPLIES WITH THE DIMENSIONS FOR RECTANGULAR TREADS SPECIFIED IN TABLE 9.8.4.1

WHEN MEASURED AT A POINT 300mm FROM THE CENTER LINE OF THE INSIDE OF THE HANDRAIL.

IS TAPERED TREADS IN REQUIRED EXIT STAIRS SHALL CONFORM TO THE REQUIREMENTS OF O.B.C. 3.4.6.9.

- THE DEPTH OF A TAPERED TREAD SHALL NOT BE LESS THAN ITS RUN AT ANY POINT AND NO MORE THAN ITS RUN AT ANY POINT PLUS 1"

- ALL HANDRAILS AND GUARDS TO BE INSTALLED PER O.B.C. §8-1 HANDRAILS PER O.B.C. 9.8.7.
- HANDRAILS SHALL BE NOT LESS THAN 34" AND NOT MORE THAN 38" IN HEIGHT.
- IF STAIRS ARE OPEN ON BOTH SIDES OF STAIRS, GUARDS ARE REQUIRED ON ONE SIDE, IF STAIR WIDTH EXCEEDS 43" RAILINGS ARE REQUIRED ON BOTH SIDES IN ADDITION TO GUARDS.
- STAIRS WITH WALLS ON BOTH SIDES REQUIRE A HANDRAIL ON ONE SIDE, IF THE STAIR WIDTH EXCEEDS 3'-7" RAILINGS ARE REQUIRED ON BOTH SIDES OF THE STAIRS.
- EXTERIOR GUARDS AS PER O.B.C. 9.8.8.1.
- MIN. RAILING HEIGHT TO BE 36" IF DECK HEIGHT IS LESS THAN 5'-11" ABOVE GRADE.
- MIN. RAILING HEIGHT TO BE 42" IF DECK HEIGHT IS MORE THAN 5'-11" ABOVE GRADE.
- NO GUARD REQUIRED FOR DECKS LESS THAN 24" ABOVE GRADE.

- EVERY FLOOR LEVEL CONTAINING A BEDROOM AND NOT SERVED BY AN EXTERIOR DOOR SHALL CONTAIN AT LEAST 1 WINDOW HAVING AN UNOBSTRUCTED OPEN AREA OF 3.8 FT² WITH NO DIMENSION LESS THAN 15" AND IS OPENABLE WITHOUT THE USE OF TOOLS OR SPECIALIZED KNOWLEDGE.
- EXTERIOR HOUSE DOORS AND WINDOWS WITHIN 6'-7" FROM GRADE SHALL BE CONSTRUCTED TO RESIST ENTRY. DOORS SHALL HAVE A DEADBOLT LOCK.
- THE PRINCIPAL ENTRY DOOR SHALL HAVE A DOOR VIEWER, TRANSPARENT GLAZING OR A SIDELIGHT.



SMOKE ALARMS & DETECTORS

- SHALL BE INSTALLED ON ANY STOREY OF A DWELLING UNIT THAT CONTAINS SLEEPING ROOMS PER O.B.C. 9.10.19.3.
- IN EACH SLEEPING ROOM.
- IN A LOCATION BETWEEN THE SLEEPING ROOMS AND THE REMAINDER OF THE STOREY, AND IF THE SLEEPING ROOMS ARE SERVED BY A HALLWAY, THE SMOKE ALARM SHALL BE LOCATED IN THE HALLWAY.
- ALL SMOKE ALARMS ARE TO BE INTERCONNECTED AND PROVIDED WITH 7 DAYS OF BATTERY BACKUP PER O.B.C. 9.10.19.
- CO DETECTOR SHALL BE INSTALLED AS PER O.B.C. 9.33.4.2. WHICH STATES: UNITS SHALL BE INSTALLED ON OR NEAR THE CEILING ON EACH FLOOR AND BASEMENT LEVEL 2'-1" OR MORE ABOVE AN ADJACENT LEVEL.

BASEMENT WINDOWS

- PROVIDE WEEPING TILE AT ALL WINDOWS PER O.B.C.
- ALL BASEMENT BEDROOMS SHALL HAVE A WINDOW CONFORMING TO O.B.C. 9.9.10.1
- IS OPENABLE WITHOUT THE USE OF TOOLS OR SPECIALIZED KNOWLEDGE
 - PROVIDES AND INDIVIDUAL, UNOBSTRUCTED OPEN PORTION HAVING A MIN. AREA OF 3.78 ft2 WITH NO DIMENSION LESS THAN 15"
 - WINDOW SILL HEIGHT TO BE A MAX. 39" ABOVE THE FLOOR
 - WINDOW WELLS MAY BE REQUIRED DUE TO FINAL GRADE. CONFIRM WITH BUILDER.
- WINDOW WELLS MUST CONFORM WITH O.B.C. 9.14.6.3.
- PROVIDE WEEPING TILE IN ALL WINDOW WELLS AND FILL WITH A MIN. OF 6" CRUSHED CLEAR STONE.

ELECTRICAL

ELECTRIC VEHICLE CHARGING STATIONS

- ALL ELECTRICAL TO CONFORM WITH O.B.C. 9.34. AND BE COMPLETED AND INSPECTED AS PER E.S.A.
- ELECTRICAL OUTLET BOX SHALL BE INSTALLED IN THE GARAGE OR CARPORT OR ADJACENT TO THE DRIVEWAY AND TO BE PROVIDED WITH A MIN:
- 200 AMP PANEL BOARD
- CONDUIT NOT LESS THAN 27mm TRADE SIZE AND IS EQUIPPED WITH A MEANS TO ALLOW CABLES TO BE PULLED INTO THE CONDUIT, AND
- A SQUARE 4 11/16" TRADE SIZE ELECTRICAL OUTLET BOX.

LIGHTING / ELECTRICAL

LIGHTING

- CONFIRM ALL PLACEMENT OF OUTLETS, SWITCHES AND LIGHT FIXTURES WITH HOME OWNER PRIOR TO INSTALLATION.
- PROVIDE AN EXTERIOR LIGHT AT ALL EXITS.
- AN EXTERIOR LIGHT CONTROLLED BY AN INTERIOR SWITCH IS REQUIRED AT EVERY ENTRANCE AS PER O.B.C. 9.34.2.1.
- A LIGHT CONTROLLED BY A SWITCH IS REQUIRED IN EVERY KITCHEN, BEDROOM, LIVING ROOM, UTILITY ROOM, LAUNDRY ROOM, DINING ROOM, BATHROOM, VESTIBULE, HALLWAY, GARAGE AND CARPORT. A SWITCHED RECPTICLE MAY BE PROVIDED INSTEAD OF A LIGHT IN BEDROOMS AND LIVING ROOMS.
- STAIRS SHALL BE LIGHTED. AND EXCEPT WHERE SERVING AN UNFINISHED BASEMENT SHALL BE CONTROLLED BY A 3 WAY SWITCH AT THE HEAD AND FOOT OF THE STAIRS.
- BASEMENTS REQUIRE A LIGHT FOR EACH 323 ft2. CONTROLLED BY A SWITCH AT THE HEAD OF THE STAIRS.
- EVERY STAIR WAY GREATER THAN 4 RISERS IN A DWELLING UNIT SHALL BE LIGHTED AND CONTROLLED WITH A 3 WAY SWITCH PER O.B.C. 9.34.2.3.

PLUMBING NOTES

- ALL PLUMBING TO BE COMPLETED AS PER O.B.C. 9.31. AND PART 7.
- ALL THERMOSTATICALLY CONTROLLED MIXING VALVES SHALL BE PROVIDED FOR ALL FAUCETS OR WATER HEATER SOURCE.
- PRESSURE BALANCED OR THERMOSTATICALLY CONTROLLED MIXING VALVES SHALL BE PROVIDED FOR ALL SHOWER UNITS PER O.B.C. 7.6.5.2.
- A FLOOR DRAIN SHALL BE INSTALLED IN THE BASEMENT, AND CONNECTED TO TEH SANITARY SEWER WHERE GRAVITY DRAINAGE IS POSSIBLE. IN OTHER CASES IT SHALL CONNECT TO A STORM DRAINAGE SYSTEM, DITCH OR DRY WELL.

DRAIN WATER HEAT RECOVERY UNITS

- A DRAIN WATER HEAT RECOVERY UNIT SHALL BE INSTALLED IN EACH DWELLING UNIT TO RECEIVE DRAIN WATER FROM ALL SHOWERS OR FROM AT LEAST 2 SHOWERS WHERE THERE ARE 2 OR MORE SHOWERS IN THE DWELLING UNIT PER O.B.C. S8-12.3.1.1.12.
- DWHR UNITS NEED NOT BE INSTALLED IN AREAS WHERE THERE IS NO CRAWLSPACE ACCESS BENEATH ANY OF THE SHOWERS AND/OR WHERE SHOWERS ARE INSTALLED ON CONCRETE SLABS.
 - DWHR UNITS SHALL BE INSTALLED IN AN UPRIGHT POSITION AND NOT DIVERGE MORE THAN 5 DEG. FROM VERTICAL AND IN A CONDITIONED SPACE OR ON THE WARM SIDE OF THE DEWPOINT OF THE WALL ASSEMBLY

MECHANICAL VENTILATION

- PROVIDE MECHANICAL VENTILATION SYSTEMS PER O.B.C. 9.32.
- EXHAUST FANS TO CONFORM TO PART 6 O.B.C.
- SUPPLEMENTAL EXHAUST SHALL BE INSTALLED SO THAT THE TOTAL CAPACITY OF ALL KITCHEN, BATHROOM AND OTHER EXHAUSTS, LESS THE PRINCIPAL EXHAUST, IS NOT LESS THAN THE TOTAL REQUIRED CAPACITY.
- ALL EXHAUST FANS SHALL BE DIRECTLY VENTED TO THE OUTDOORS.
- A HEAT RECOVERY VENTILATOR MAY BE EMPLOYED IN LIEU OF EXHAUST TO PROVIDE VENTILATION. AN HRV IS REQUIRED IF ANY SOLID FUEL BURNING APPLIANCES ARE INSTALLED.
- SUPPLEMENTARY AIR INTAKES SHALL BE LOCATED SO AS TO AVOID CONTINATION FROM EXHAUST OUTLETS.

GAS FIREPLACES

- ZERO CLEARANCE GAS FIREPLACES TO BE INSTALLED IN STRICT ACCORDANCY WITH THE MANUFACTURERS SPECIFICATIONS (DIRECT VENT IN ACCORDANCE WITH O.B.C. AND AUTHORITIES HAVING JURISDICTION).
- COMBUSTION AIR SUPPLY TO FIREPLACES SHALL BE 4"Ø INSULATED NON COMBUSTIBLE DUCT WITH OPERABLE DAMPER AND INSECT SCREEN, MIN. 2" CLEARANCE TO COMBUSTIBLES.

ZONE 1 SB-12 COMPLIANCE PACKAGE A2 PER O.B.C. TABLE 3.1.1.2.A(1P)

- CEILING WITH ATTIC SPACE - MIN. R-40
- CEILING WITHOUT ATTIC SPACE - MIN. R-31
- EXPOSED FLOOR - MIN. R-31
- WALLS ABOVE GRADE - MIN. R-20
- BASEMENT WALLS - MIN. R-12+10ci OR R-20 BLANKET
- HEATED SLAB OR SLAB <600mm BELOW GRADE - MIN. R-10
- WINDOWS & SLIDING GLASS DOORS - MAX. 0.28U 25 ENERGY RATING SKYLIGHTS - MAX. 0.49U
- SPACE HEATING EQUIPMENT - MIN. 96% AFUE
- HRV EFFICIENCY - MIN. 75% SRE
- DOMESTIC HOT WATER HEATER - MIN. 0.70 EF

CI - CONTINUOUS INSULATION

IN THE CASE OF BASEMENT WALL ASSEMBLIES, WHERE R-20 IS REQUIRED, R-12 + 10ci IS PERMITTED TO BE USED OR VICE VERSA; OR WHERE R-12+5ci IS REQUIRED, R15ci IS PERMITTED TO BE USED OR VICE VERSA

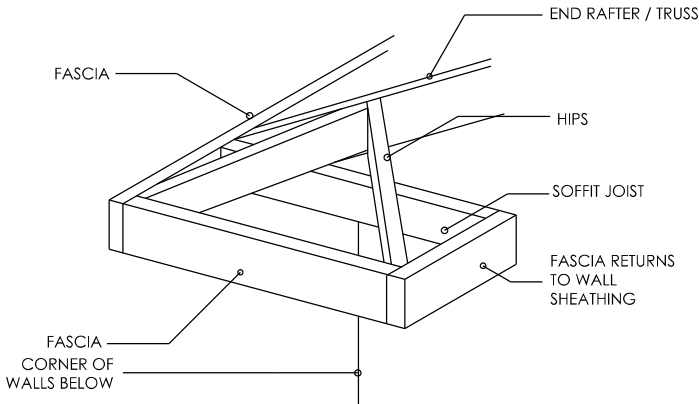


FRONT ELEVATION

SCALE: 3/16" = 1'-0"

DRAWING LEGEND

- | | | | |
|--|---|--|----------------------------------|
| | NEW BASEMENT FOUNDATION WALL ASSEMBLY
DELTA FN OR EQ. FND. WRAP
10" 24MPa CONCRETE W/ 20" WIDE X 8" DEEP
CONCRETE FTG. (TYP. UNO.)
R-20 BLANKET WRAP INSULATION | | 110cfm FAN VENTED
TO EXTERIOR |
| | TYPICAL 2X6 W/ SIDING WALL:
VERT. WOOD SIDING OR EQ.
STRAPPING PER MFG.
7/16" OSB SHEATHING
AIR BARRIER
2x6 STUDS @ 16" o.c.
R20 BATT INSULATION
6 MIL POLY VAPOR BARRIER
1/2" GYPSUM BOARD | | FLOOR DRAIN |
| | NEW INTERCONNECTED SMOKE &
CO ALARM W/ VISUAL
SIGNALLING DEVICE. SEE NOTES | | |
| | JOIST DIRECTION | | |
| | NEW INTERIOR PARTITION WALL
2X6 @ 16" c/c STUD WALL W/ 1 LAYER
1/2" GYP. EA. SIDE | | |



HIP RETURN DETAIL



TBP G
DRAFTING & DESIGN

220 BROAD STREET EAST
DUNNVILLE, ON, N1A 1G2
289.308.6442
INFO@THEBUILDINGPERMITGUY.CA

THE UNDERSIGNED HAS THE REVIEWED AND TAKES
RESPONSIBILITY FOR THE DESIG. AND HAS THE QUALIFICATIONS
AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO
BUILDING CODE TO ACT AS A DESIGNER.

QUALIFICATION INFORMATION REQUIRED UNLESS THE DESIGN
IS EXEMPT UNDER DIV. C. 3.2.5.1. OF THE 2012 ONTARIO
BUILDING CODE.

JOHN BARNHART
41773
THE BUILDING PERMIT GUY
103362
BCIN

MEIKLEJOHN

NEW DWELLING

12 SNOOKS DRIVE, TURKEY POINT, ON.

DRAWN BY:
J. BARNHART

A-4


THE BUILDING PERMIT GUY DRAFTING & DESIGN



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BUILDING CODE.

JOHN BARNHART 41773



THE BUILDING PERMIT GUY 103362

MEIKLEJOHN
NEW DWELLING
12 SNOOKS DRIVE, TURKEY POINT, ON.

DRAWN BY:
J. BARNHART

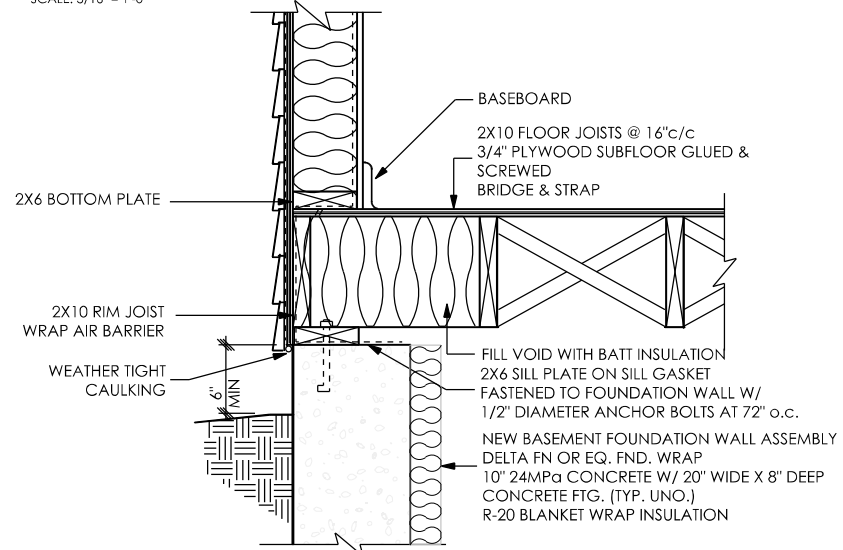
A-5

THE BUILDING PERMIT GUY DRAFTING & DESIGN

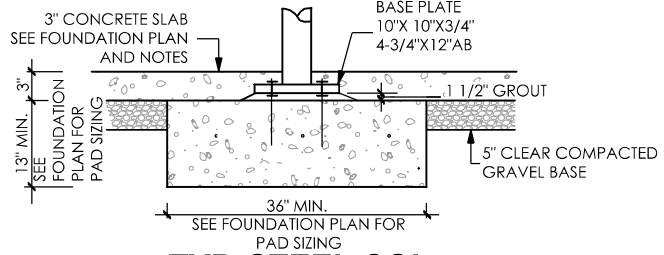




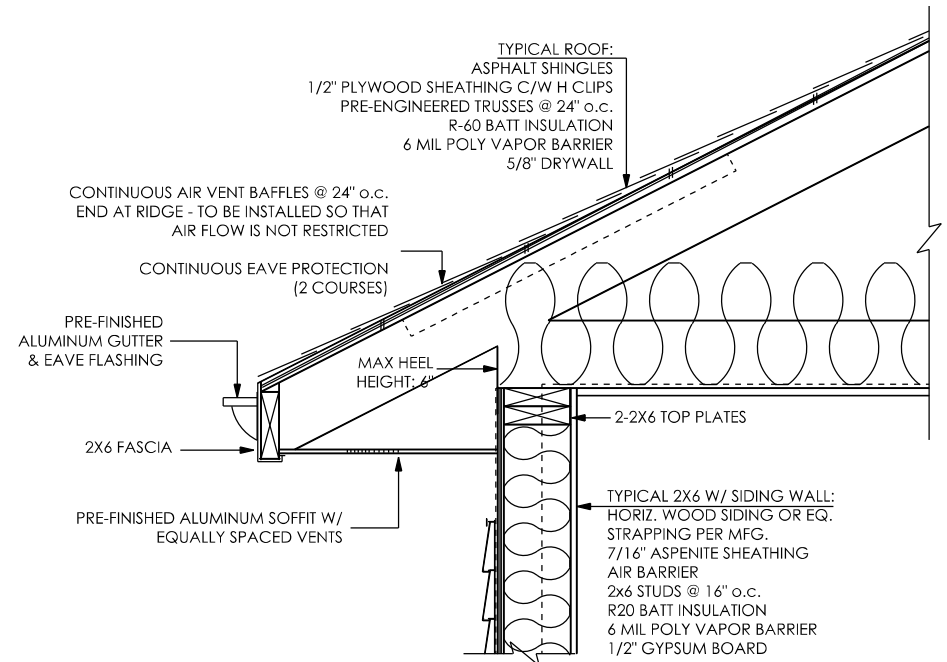
LEFT ELEVATION
SCALE: 3/16" = 1'-0"



2X6 W/ SIDING WALL @ FOUNDATION



TYP. STEEL COL.
ANCHORAGE DETAILS



2X6 W/ SIDING @ EAVES



TBP G
DRAFTING & DESIGN
220 BROAD STREET EAST
DUNNVILLE, ON. N1A 1G2
289.308.6442
INFO@THEBUILDINGPERMITGUY.CA

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THE DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO ACT AS A DESIGNER.
QUALIFICATION INFORMATION REQUIRED UNLESS THE DESIGN IS EXEMPT UNDER DIV. C. 3.2.5.1. OF THE 2012 ONTARIO BUILDING CODE.
JOHN BARNHART
THE BUILDING PERMIT GUY
FIRM NAME
103362
BCIN
41773

MEIKLEJOHN
NEW DWELLING
12 SNOOKS DRIVE, TURKEY POINT, ON.

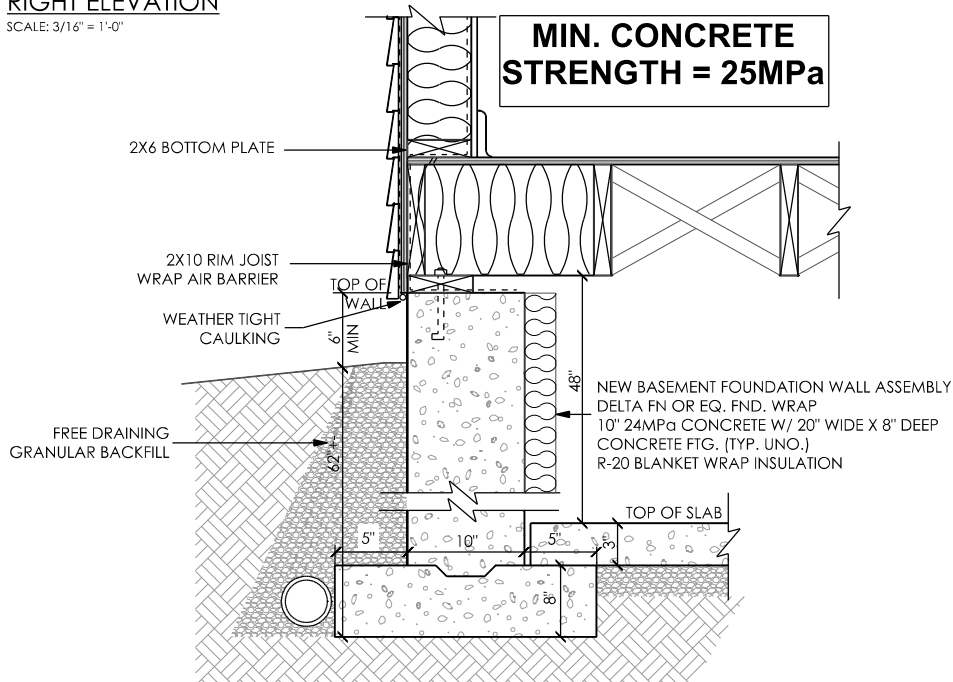
DRAWN BY:
J. BARNHART

A-6

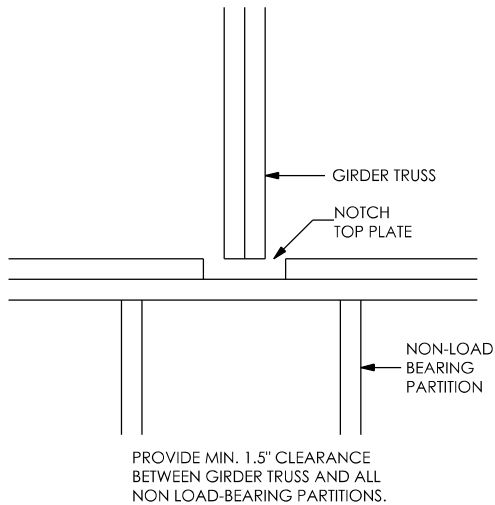
THE BUILDING PERMIT GUY DRAFTING & DESIGN



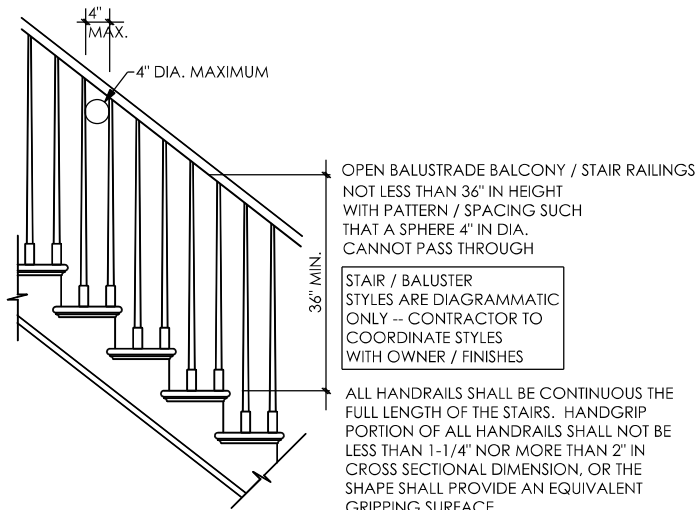
RIGHT ELEVATION
SCALE: 3/16" = 1'-0"



10" POURED CONCRETE FOUNDATION WALL (TYPICAL)



TYP. GIRDER TRUSS @
NON LOAD BEARING
PARTITIONS



Interior Stair Railing



TBP G
DRAFTING & DESIGN

220 BROAD STREET EAST
DUNNVILLE, ON. N1A 1G2
289.308.6442
INFO@THEBUILDINGPERMITGUY.CA

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BUILDING CODE.

JOHN BARNHART
41773
103362
BCIN

MEIKLEJOHN

NEW DWELLING

12 SNOOKS DRIVE, TURKEY POINT, ON.

DRAWN BY:
J. BARNHART

A-7

THE BUILDING PERMIT GUY DRAFTING & DESIGN

**Premise and Justification of
Minor Variance Application
for 12 Snooks Drive, Turkey Point**

This application is for the “demolition” of an existing dwelling and the construction of a new dwelling on the subject property.

Existing now, on the subject lands, is a single storey dwelling, dating from the 1950's, of some 113 sq.m in building area. Also existing are a couple of small accessory sheds, totalling about 13 sq.m in building area.

Proposed is a 2-storey dwelling with a carport and, to retain the existing dwelling, converting it into a detached 2-car garage.

This application to construct a new dwelling requires relief of 0.48m of frontage from the required 15m minimum lot frontage to permit a lot frontage of 14.52m. Also, we seek relief of 2.6m of front yard setback from the required 6m front yard setback, to permit a front yard setback of 3.4m to the deck. Also, we seek relief of 1.7m from the required 3m left side yard setback to permit a left side yard setback of 1.3m on the carport side of the dwelling.

Since the existing dwelling is proposed to be retained and moved back on the property and converted to a detached garage, we seek relief of clause 3.2.1 (h) of the Zoning By-law, to permit the “new accessory building” to be established before the principal use, new dwelling, is established. We also seek relief of 25 sq.m. from the maximum 100 sq.m. permitted usable floor area of accessory buildings, to permit a maximum of 125 sq.m of useable floor area, in the sum of the 3 accessory buildings.

The reason we seek left side yard relief on the carport side of the dwelling is that the Zoning By-law no longer recognizes carports as garages, and therefore it cannot enjoy a side yard setback of 1.2m, as a garage could.

Attached is a site plan of the new proposal, a survey prepared by Jewitt & Dixon, a topographic plan of existing conditions by Jewitt & Dixon, and a Service Ontario map showing the property all as on PIN member.

Architectural plans of the proposed dwelling are also attached.

Provincial Planning Statement 2024 Considerations

The Provincial Planning Statement 2024 (PPS) provides policy direction on matters of provincial interest, related to land use planning and development, which is intended to be complemented by local policies addressing local interests. The PPS promotes healthy, livable, and safe communities through the efficient use of land throughout the Province of Ontario. The PPS directs municipalities to focus their growth within settlement areas.

The PPS policies relevant to this site are related to healthy, livable, and safe communities in settlement areas.

Section 2.1 of the PPS supports the providing of an appropriate range and mix of housing options and densities to meet the projected needs of current and future residents. It also states that planning authorities should support the achievement of complete communities by accommodating an appropriate range and mix of land uses.

Section 5.2 of the PPS states that development shall be directed to areas outside of:

- a.) Hazardous lands adjacent to the shoreline of the Great Lakes which are impacted by flooding hazards, erosion hazards, and/or dynamic beach hazards.

Both Norfolk County Council and Long Point Region Conservation Authority Board of Directors have decreed that flooding hazards are not applicable to this site.

Under Section 45(1) of the Planning Act there are four tests a minor variance must meet. In order to be considered the application must meet all four tests:

- Does the application conform to the general intent and purpose of the Official Plan.
- Does the application conform to the general intent and purpose of the Zoning Bylaw.
- Is the application desirable for the appropriate development of the lands in question.
- Is the application minor.

Norfolk County Official Plan

The subject property is designated as Resort Residential in the Norfolk County Official Plan. Permitted uses within this designation include cottages. The application enables the continued use of a cottage in the Resort Residential designation and therefore conforms to the general intent and purpose of the Official Plan, including the Lakeshore Special Policy Area Secondary Plan.

Norfolk County Zoning By-law 1-Z-2014

Zoning By-law 1-Z-2014 zones the property Resort Residential. Article 5.8.1a) permits a vacation home within the Resort Residential Zone.

The general intent and purpose of the Norfolk County Zoning By-law is to maintain the character of the neighborhood. Turkey Point is a large, established cottage node within Norfolk County. The neighboring properties to 12 Snooks Drive are all vacation homes. The proposed vacation home maintains the general large scale cottage character of the neighborhood, conforms to the established building line, and is compatible with the established streetscape. The requested variance will maintain the general intent and purpose of the Zoning By-law and will promote continued and better use of the vacation home property.

Is the Variance Desirable and Appropriate

The continued use of this property, with a modern up-to-date vacation home, is compatible with and fits within the existing neighborhood. Small, old, outdated cottages in Turkey Point have been demolished and rebuilt over the past 40 years. This proposal is an improvement of the property in that the new up-to-date vacation home is desirable and an appropriate reflection of the Snooks Drive streetscape.

Is the Variance Minor in Nature

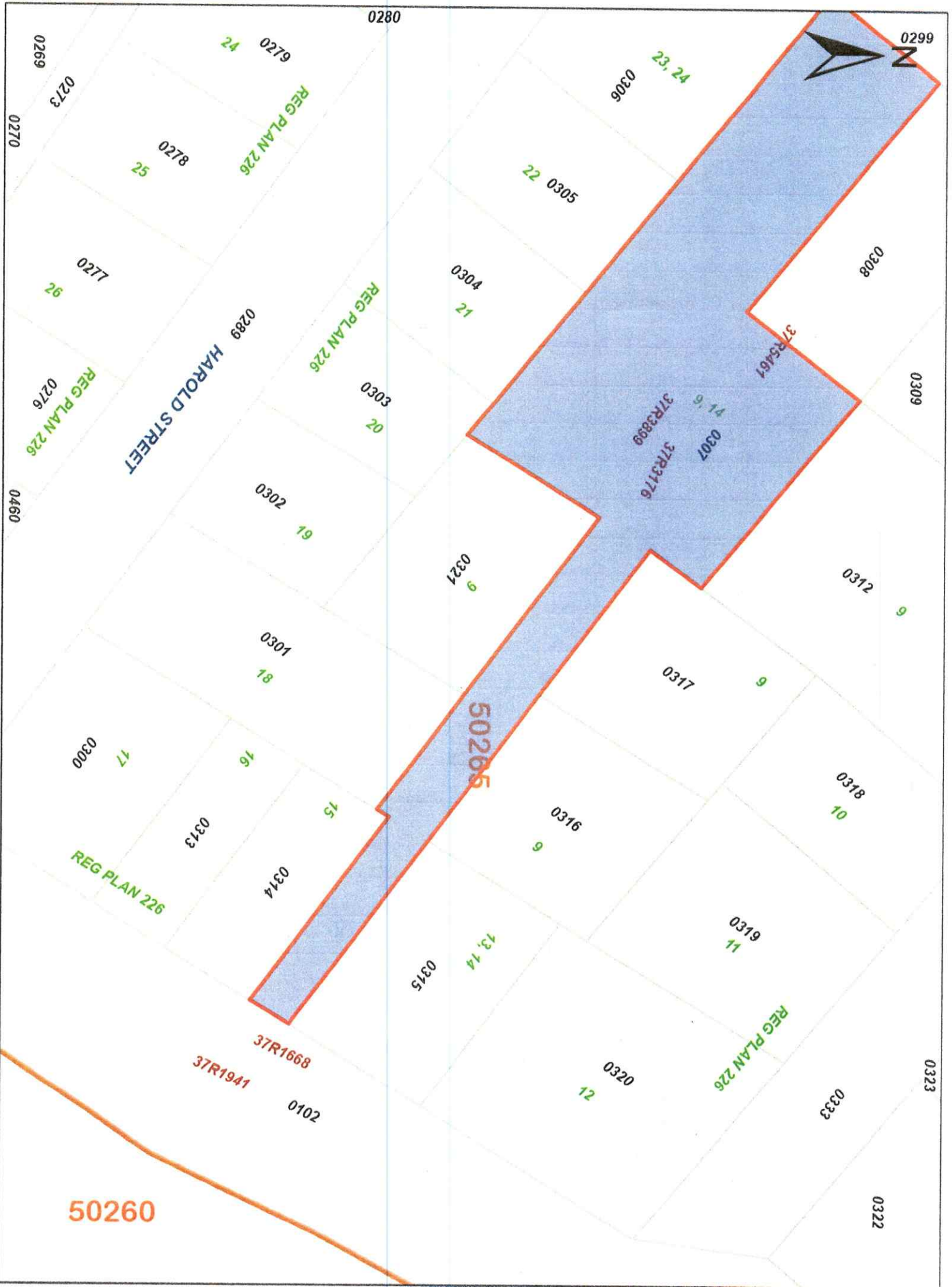
The application is minor in nature because it proposes a modest decrease of front yard setback to the front deck, a small reduction in left side yard setback only because the definitions have changed to preclude carports being identified as garages. Also, the intent is to retain and repurpose the existing dwelling, converting it into a detached 2-car garage. The repurposing of the existing dwelling substantially reduces the environmental impact of new construction. We seek relief from clause 3.2.1 (h), in order to retain and repurpose the existing dwelling.

Conclusion

The requested relief in lot frontage, front yard setback, and left side yard setback is minor in nature, appropriate for the neighborhood, in conformance with the PPS, compatible with the existing streetscape, and generally meets the intent of the Norfolk County Official Plan and the Norfolk County Zoning By-law.

The subject application will facilitate the continued use and enjoyment of the vacation property.

David McPherson



PLAN OF SURVEY
OF PART OF
LOTS 9 & 14
REGISTERED PLAN 226
IN THE GEOGRAPHIC
TOWNSHIP OF CHARLOTTEVILLE
IN
NORFOLK COUNTY

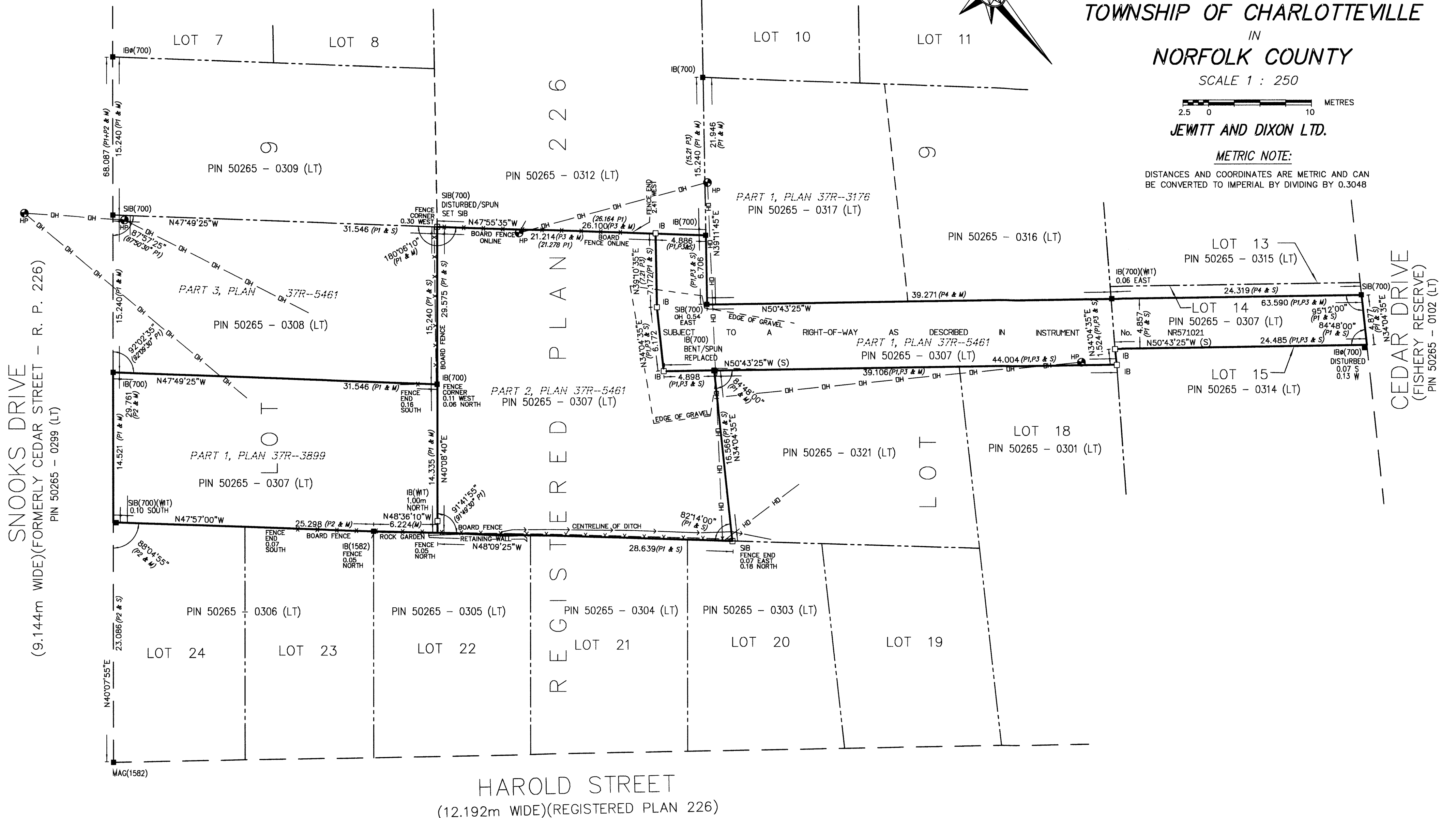
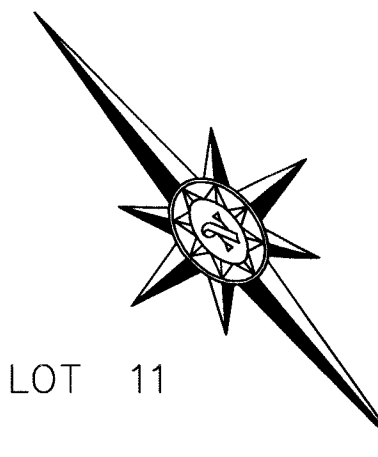
SCALE 1 : 250

2.5 0 10 METRES

JEWITT AND DIXON LTD.

METRIC NOTE:

DISTANCES AND COORDINATES ARE METRIC AND CAN
BE CONVERTED TO IMPERIAL BY DIVIDING BY 0.3048



SURVEYOR'S CERTIFICATE

I CERTIFY THAT:

- THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT, AND THE LAND TITLES ACT, AND THE REGULATIONS MADE UNDER THEM.
- THE SURVEY WAS COMPLETED ON THE 23RD DAY OF APRIL, 2024

DATED: APRIL 29, 2024

THIS PLAN OF SURVEY RELATES TO AOLS PLAN SUBMISSION FORM NUMBER V-73133

R.C. DIXON, O.L.S.
FOR JEWITT & DIXON LTD.

LEGEND

2.5cm X 2.5cm X 1.2m STANDARD	IRON BARS	SHOWN	-□- SIB
1.6cm X 1.6cm X 0.6m	IRON BARS	SHOWN	-□- IB
1.6cm ROUND X 0.6m	IRON BARS	SHOWN	-□- IB Ø
LOT LINES	SHOWN	---	---
DEED LINES	SHOWN	---	---
FENCE LINES	SHOWN	-X-X-X-X-X-	-X-X-X-X-X-
OVERHEAD LINES	SHOWN	-OH-OH-OH-	-OH-OH-OH-
ROAD LINES	SHOWN	---	---
FOUND IRON BARS	SHOWN	■	PLANTED IRON BARS SHOWN -□- HP
			HYDRO POLE SHOWN -●- HP

JEWITT AND DIXON LTD.
J. B. DODD, O.L.S.
K.S. HUSTED, O.L.S.
WITNESS MONUMENT
ORIGIN UNKNOWN
PLAN 37R-5461
SURVEYOR'S REAL PROPERTY REPORT SHOWN (P2)
BY K. HUSTED, O.L.S. DATED JUNE 23 2022 (22-17719)
BUILDING LOCATION SURVEY BY J.B. DODD, O.L.S. DATED JULY 1 1984 (S-4012-B)
PLAN OF SURVEY BY JEWITT & DIXON LTD. DATED FEBRUARY 10 2021 (20-2758)

SHOWN (700)
SHOWN (996)
SHOWN (1582)
SHOWN (WIT)
SHOWN (OU)
SHOWN (P1)
SHOWN (P2)
SHOWN (P3)
SHOWN (P4)

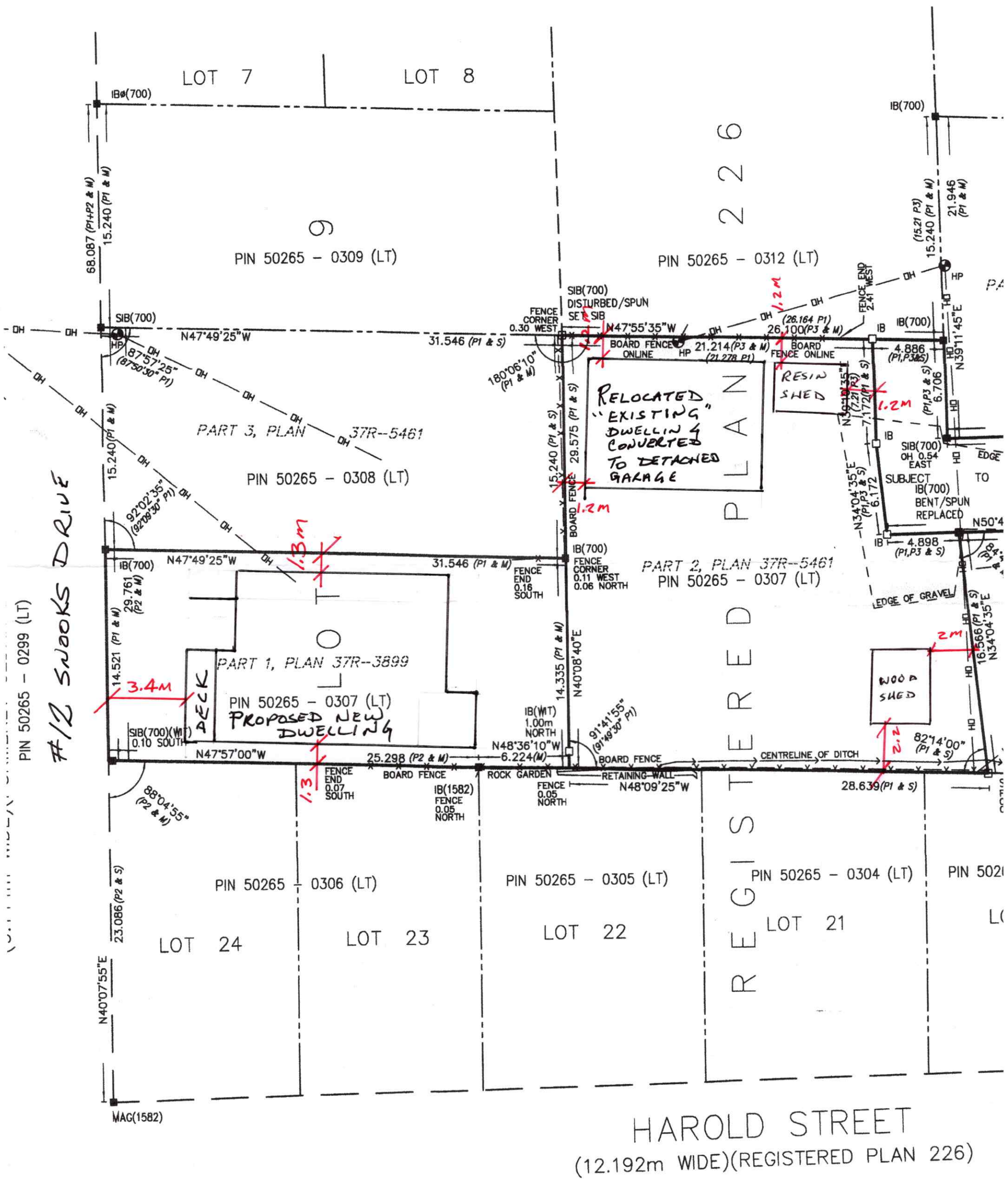
JEWITT AND DIXON LTD.
ONTARIO LAND SURVEYORS

650 IRELAND ROAD
SIMCOE, ONTARIO, N3Y 4K2
PHONE: (519) 426-0842
E-mail: info@jewittdixon.com

F.W. - J.M.R.
BOOK - LL-FILE
CALC. - J.L.M.
PLAN - J.L.M.
CHECK - K.H.

CLIENT - MEIKLEJOHN

24-4009-PS



FOR'S CERTIFICATE

IFY THAT:

THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT, AND THE LAND TITLES ACT, AND THE REGULATIONS MADE UNDER THEM.

THE SURVEY WAS COMPLETED ON THE 23RD DAY OF APRIL, 2024

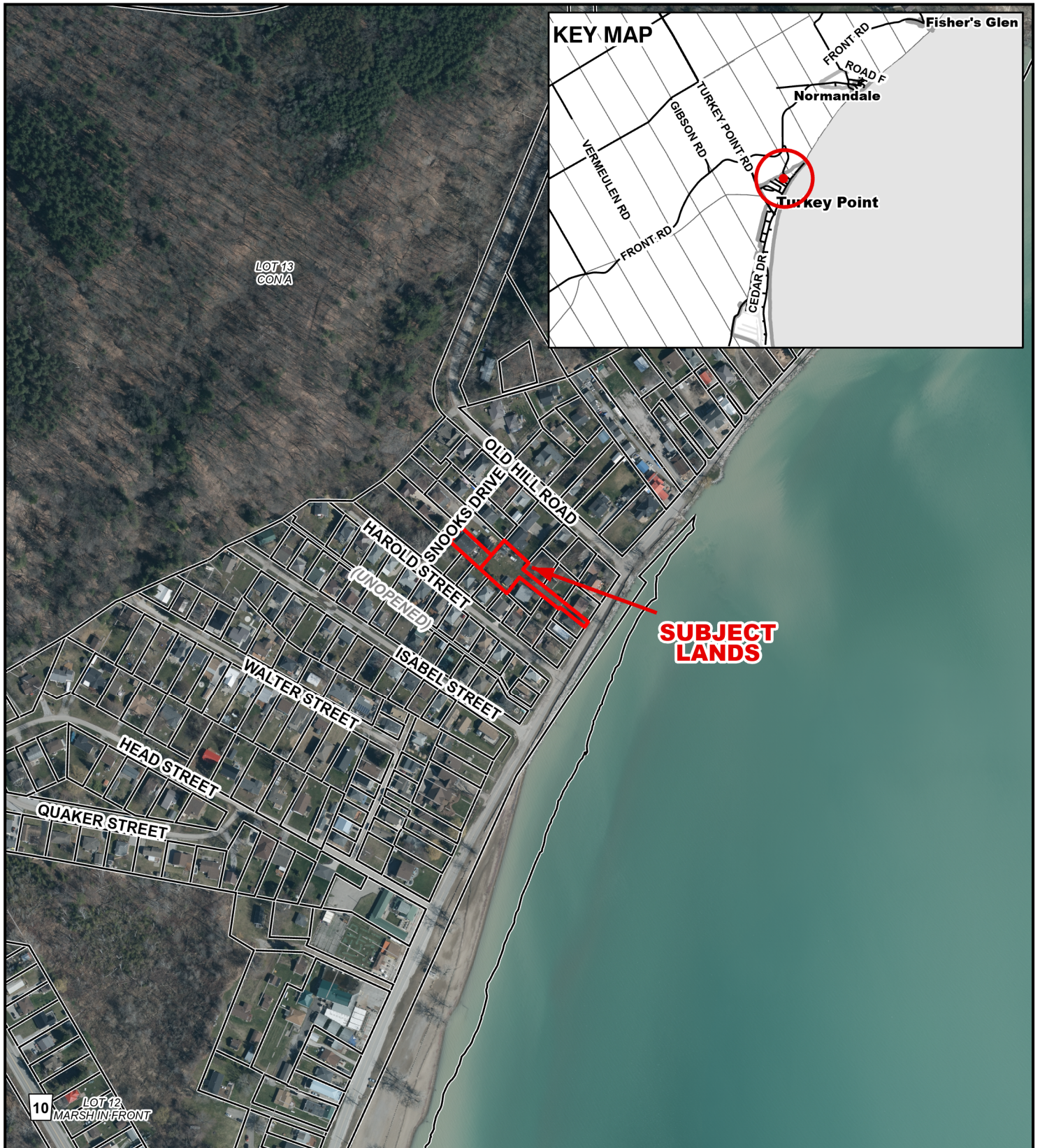
R. C. DIXON, O.L.S.

LEGEND


2.5cm X 2.5cm X 1.2m STANDARD	IRON BARS	SH
1.6cm X 1.6cm X 0.6m	IRON BARS	SH
1.6cm ROUND X 0.6m	IRON BARS	SH
LOT LINES	SHOWN	---
DEED LINES	SHOWN	---
FENCE LINES	SHOWN	-X-X-X-
OVERHEAD LINES	SHOWN	-OH-OH-
ROAD LINES	SHOWN	---

MAP A
CONTEXT MAP
Geographic Township of CHARLOTTEVILLE

ANPL2025194

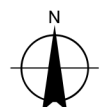


Legend

 Subject Lands

2020 Air Photo

7/9/2025



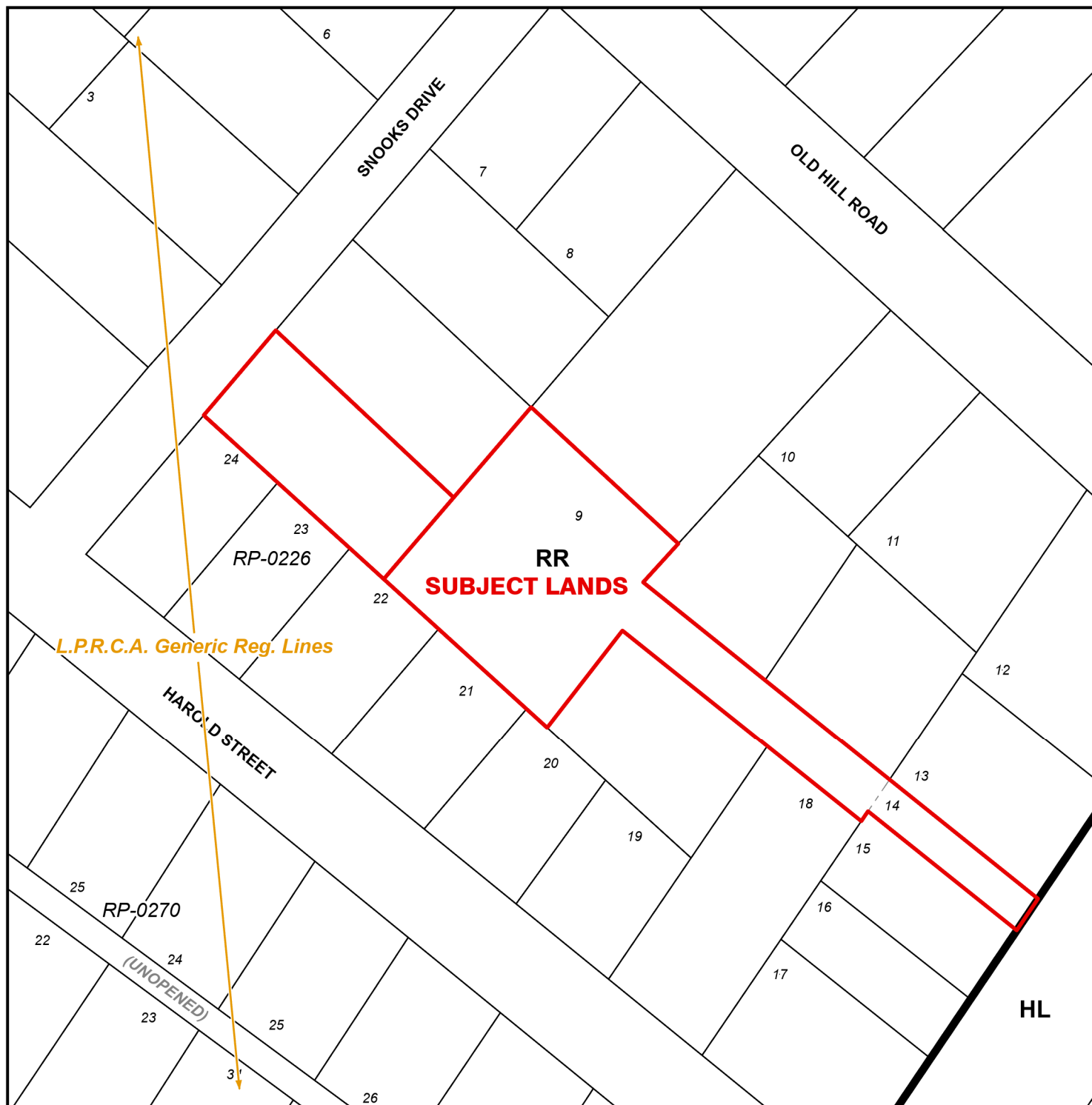
30 15 0 30 60 90 120
Meters

MAP B

ZONING BY-LAW MAP

Geographic Township of CHARLOTTEVILLE

ANPL2025194



LEGEND

- Subject Lands
- LPRCA Generic RegLines

ZONING BY-LAW 1-Z-2014

7/9/2025

(H) - Holding

HL - Hazard Land Zone

RR - Resort Residential Zone



5.52.75 0 5.5 11 16.5 22 Meters

CONCEPTUAL PLAN
Geographic Township of CHARLOTTEVILLE

