

For Office Use Only:

File Number _____
Related File Number _____
Pre-consultation Meeting _____
Application Submitted _____
Complete Application _____

Application Fee _____
Conservation Authority Fee _____
Well & Septic Info Provided _____
Planner _____
Public Notice Sign _____

Check the type of planning application(s) you are submitting.

- ☐ Consent/Severance/Boundary Adjustment
☐ Surplus Farm Dwelling Severance and Zoning By-law Amendment
☒ Minor Variance
☐ Easement/Right-of-Way

Property Assessment Roll Number: 44311044400

A. Applicant Information

Name of Owner Kim & Karen Coulter

It is the responsibility of the owner or applicant to notify the planner of any changes in ownership within 30 days of such a change.

Address 25 Cedar Drive

Town and Postal Code Turkey Point NOE 1P0

Phone Number +1 (905) 320-7271

Cell Number Same as above

Email k.coulter5@me.com; Karen 9754@icloud.com

Name of Applicant Claude Dalm

Address 6 Cedar Street

Town and Postal Code Ingersoll NSC 1A7

Phone Number 519-550-1307

Cell Number Same as above

Email design@dalm.ca

Name of Agent

Claude Dalm

Address

6 Cedar Street

Town and Postal Code

Ingersoll NSC 1A7

Phone Number

519-550-1307

Cell Number

519-550-1307

Email

design@dalm.ca

Please specify to whom all communications should be sent. Unless otherwise directed, all correspondence and notices in respect of this application will be forwarded to the owner and agent noted above.

☐ Owner

☒ Agent

☐ Applicant

Names and addresses of any holder of any mortgagees, charges or other encumbrances on the subject lands:

B. Location, Legal Description and Property Information

1. Legal Description (include Geographic Township, Concession Number, Lot Number, Block Number and Urban Area or Hamlet):

Geographic Township of

Charlotteville in front of Concession A PT LOT 14
PLAN 135 PT LOT 6 AND RP 37R1941 PARTS 21 & 22

Municipal Civic Address: 25 Cedar Drive, Turkey Point

Present Official Plan Designation(s): Resort Residential Designation

Present Zoning: Resort Residential (RR)

2. Is there a special provision or site specific zone on the subject lands?

☐ Yes ☒ No If yes, please specify:

3. Present use of the subject lands:

Used for single family dwelling
seasonal home

4. Please describe **all existing** buildings or structures on the subject lands and whether they are to be retained, demolished or removed. If retaining the buildings or structures, please describe the type of buildings or structures, and illustrate the setback, in metric units, from front, rear and side lot lines, ground floor area, gross floor area, lot coverage, number of storeys, width, length, and height on your attached sketch which must be included with your application:

Single Storey Cottage with covered porch (168.6 m²) &
2 existing sheds at back of property
(~~47~~ 47.1 m² combined)

5. If an addition to an existing building is being proposed, please explain what it will be used for (for example a bedroom, kitchen, or bathroom). If new fixtures are proposed, please describe.

The ~~An~~ addition will be used for a home theatre and office space.

6. Please describe **all proposed** buildings or structures/additions on the subject lands. Describe the type of buildings or structures/additions, and illustrate the setback, in metric units, from front, rear and side lot lines, ground floor area, gross floor area, lot coverage, number of storeys, width, length, and height on your attached sketch which must be included with your application:

Proposed 2-Storey addition to be built b/w
Cottage and shed with footprint of 43.1 m² Proposed
height of addition from grade to midpoint of roof is 6.43m

7. Are any existing buildings on the subject lands designated under the Ontario Heritage Act as being architecturally and/or historically significant? Yes ☐ No ☒

If yes, identify and provide details of the building:

8. If known, the length of time the existing uses have continued on the subject lands:

Not known

9. Existing use of abutting properties:

Resort Residential - Seasonal Cottages

10. Are there any easements or restrictive covenants affecting the subject lands?

☒ Yes ☐ No If yes, describe the easement or restrictive covenant and its effect:

There is a hydro easement at the back of property
but it will be moved in the fall. Hydro one is supposed
to move the lines.

C. Purpose of Development Application

Note: Please complete all that apply. **Failure to complete this section will result in an incomplete application.**

1. Site Information (Please refer to Zoning By-law to confirm permitted dimensions)

	Existing	Permitted	Provision	Proposed	Deficiency
Lot frontage	15.429m				
Lot depth	81.686m				
Lot width	14.71m				
Lot area	1075.6m ²				
Lot coverage	20.1%	15%	5.8.2 h)	24.1%	4%
Front yard	6m	6m	5.8.2 c)	N/A	
Rear yard	31.67m	9m	5.8.2 f)	N/A	
Height	5.82m	9.1m	5.8.2 g)	8.18m	
Left Interior side yard	1.36m	1.2m	5.8.2 e)	1.36m	
Right Interior side yard	3.37m	1.2m	5.8.2 e)	5.1m	
Exterior side yard (corner lot)					
Parking Spaces (number)					
Aisle width					
Stall size					
Loading Spaces					
Other					

2. Please explain why it is not possible to comply with the provision(s) of the Zoning By-law:

The proposed addition exceeds the allowable lot coverage of 15%. The owners need more space for a home office & storage since this will become their permanent residence.

N/A

3. **Consent/Severance/Boundary Adjustment:** Description of land intended to be severed in metric units:

Frontage: _____

Depth: _____

Width: _____

Lot Area: _____

Present Use: _____

Proposed Use: _____

Proposed final lot size (if boundary adjustment): _____

If a boundary adjustment, identify the assessment roll number and property owner of the lands to which the parcel will be added: _____

Description of land intended to be retained in metric units:

Frontage: _____

Depth: _____

Width: _____

Lot Area: _____

Present Use: _____

Proposed Use: _____

Buildings on retained land: _____

N/A

4. **Easement/Right-of-Way:** Description of proposed right-of-way/easement in metric units:

Frontage: _____

Depth: _____

Width: _____
Area: _____
Proposed Use: _____

N/A

5. Surplus Farm Dwelling Severances Only: List all properties in Norfolk County, which are owned and farmed by the applicant and involved in the farm operation

Owners Name: _____
Roll Number: _____
Total Acreage: _____
Workable Acreage: _____
Existing Farm Type: (for example: corn, orchard, livestock) _____
Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built _____
Date of Land Purchase: _____

Owners Name: _____
Roll Number: _____
Total Acreage: _____
Workable Acreage: _____
Existing Farm Type: (for example: corn, orchard, livestock) _____
Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built _____
Date of Land Purchase: _____

Owners Name: _____
Roll Number: _____
Total Acreage: _____
Workable Acreage: _____
Existing Farm Type: (for example: corn, orchard, livestock) _____
Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built _____
Date of Land Purchase: _____

Owners Name: _____
Roll Number: _____
Total Acreage: _____
Workable Acreage: _____
Existing Farm Type: (for example: corn, orchard, livestock) _____
Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built _____
Date of Land Purchase: _____

Owners Name: _____
Roll Number: _____
Total Acreage: _____
Workable Acreage: _____
Existing Farm Type: (for example: corn, orchard, livestock) _____
Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built _____
Date of Land Purchase: _____

Note: If additional space is needed please attach a separate sheet.

D. All Applications: Previous Use of the Property

1. Has there been an industrial or commercial use on the subject lands or adjacent lands? ☐ Yes ☒ No ☐ Unknown

If yes, specify the uses (for example: gas station, or petroleum storage):

2. Is there reason to believe the subject lands may have been contaminated by former uses on the site or adjacent sites? ☐ Yes ☒ No ☐ Unknown

3. Provide the information you used to determine the answers to the above questions:

4. If you answered yes to any of the above questions in Section D, a previous use inventory showing all known former uses of the subject lands, or if appropriate, the adjacent lands, is needed. Is the previous use inventory attached? ☐ Yes ☐ No

E. All Applications: Provincial Policy

1. Is the requested amendment consistent with the provincial policy statements issued under subsection 3(1) of the *Planning Act*, R.S.O. 1990, c. P. 13? ☒ Yes ☐ No

If no, please explain:

2. It is owner's responsibility to be aware of and comply with all relevant federal or provincial legislation, municipal by-laws or other agency approvals, including the Endangered Species Act, 2007. Have the subject lands been screened to ensure that development or site alteration will not have any impact on the habitat for endangered or threatened species further to the provincial policy statement subsection 2.1.7? ☐ Yes ☒ No N/A

If no, please explain:

Doesn't apply. The proposed addition will be built between structures where there are no existing habitats.

3. Have the subject lands been screened to ensure that development or site alteration will not have any impact on source water protection? ☐ Yes ☒ No

If no, please explain:

Doesn't apply. Proposed ^{to be} is built between structures on property and away from any source water.

Note: If in an area of source water Wellhead Protection Area (WHPA) A, B or C please attach relevant information and approved mitigation measures from the Risk Manager Official.

4. All Applications: Are any of the following uses or features on the subject lands or within 500 metres of the subject lands, unless otherwise specified? Please check boxes, if applicable.

N/A **Livestock facility or stockyard** (submit MDS Calculation with application)
☐ On the subject lands or ☐ within 500 meters – distance _____

Wooded area

☐ On the subject lands or ☒ within 500 meters – distance _____

Forest Behind
Property > 100 ft
from rear
of existing
shed.

N/A **Municipal Landfill**
☐ On the subject lands or ☐ within 500 meters – distance _____

N/A **Sewage treatment plant or waste stabilization plant**
☐ On the subject lands or ☐ within 500 meters – distance _____

Provincially significant wetland (class 1, 2 or 3) or other environmental feature

☒ On the subject lands or ☐ within 500 meters – distance _____

LPRCA - Ontario -
Reg 178-06

N/A **Floodplain**
☐ On the subject lands or ☐ within 500 meters – distance _____

Rehabilitated mine site

☐ On the subject lands or ☐ within 500 meters – distance _____

Non-operating mine site within one kilometre

☐ On the subject lands or ☐ within 500 meters – distance _____

Active mine site within one kilometre

☐ On the subject lands or ☐ within 500 meters – distance _____

N/A **Industrial or commercial use (specify the use(s))**

☐ On the subject lands or ☐ within 500 meters – distance _____

Active railway line

☐ On the subject lands or ☐ within 500 meters – distance _____

Seasonal wetness of lands

☐ On the subject lands or ☐ within 500 meters – distance _____

Erosion

☐ On the subject lands or ☐ within 500 meters – distance _____

Abandoned gas wells

☒ On the subject lands or ☐ within 500 meters – distance _____

F. All Applications: Servicing and Access

1. Indicate what services are available or proposed:

Water Supply

- ☒ Municipal piped water
☐ Individual wells

*Available but not
affected by proposed
additions*

- ☐ Communal wells
☐ Other (describe below)

~~N/A~~

Sewage Treatment

- ☐ Municipal sewers
☐ Septic tank and tile bed in good working order
- ☐ Communal system
☒ Other (describe below)

N/A Holding Tank

Storm Drainage

- ☐ Storm sewers
☐ Other (describe below)
- ☐ Open ditches

N/A

2. Existing or proposed access to subject lands:

- ☒ Municipal road
☐ Unopened road
- ☐ Provincial highway
☐ Other (describe below)

Name of road/street:

Cedar Drive

G. All Applications: Other Information

1. Does the application involve a local business? ☐ Yes ☒ No

If yes, how many people are employed on the subject lands?

2. Is there any other information that you think may be useful in the review of this application? If so, explain below or attach on a separate page.

H. Supporting Material to be submitted by Applicant

In order for your application to be considered complete, folded hard copies (number of paper copies as directed by the planner) and an **electronic version (PDF) of the site plan drawings, additional plans, studies and reports** will be required, including but not limited to the following details:

1. Concept/Layout Plan
2. All measurements in metric
3. Existing and proposed easements and right of ways
4. Parking space totals – required and proposed
5. All dimensions of the subject lands
6. Dimensions and setbacks of all buildings and structures
7. Location and setbacks of septic system and well from all existing and proposed lot lines, and all existing and proposed structures
8. Names of adjacent streets
9. Natural features, watercourses and trees

In addition, the following additional plans, studies and reports, including but not limited to, **may** also be required as part of the complete application submission:

- ☐ On-Site Sewage Disposal System Evaluation Form (to verify location and condition)
- ☐ Environmental Impact Study
- ☐ Geotechnical Study / Hydrogeological Review
- ☐ Minimum Distance Separation Schedule
- ☐ Record of Site Condition

Your development approval might also be dependent on Ministry of Environment Conservation and Parks, Ministry of Transportation or other relevant federal or provincial legislation, municipal by-laws or other agency approvals.

All final plans must include the owner's signature as well as the engineer's signature and seal.

I. Transfers, Easements and Postponement of Interest


The owner acknowledges and agrees that if required it is their solicitor's responsibility on behalf of the owner for the registration of all transfer(s) of land to the County, and/or transfer(s) of easement in favour of the County and/or utilities. Also, the owner further acknowledges and agrees that it is their solicitor's responsibility on behalf of the owner for the registration of postponements of any charges in favour of the County.

Permission to Enter Subject Lands

Permission is hereby granted to Norfolk County officers, employees or agents, to enter the premises subject to this application for the purposes of making inspections associated with this application, during normal and reasonable working hours.

Freedom of Information

For the purposes of the *Municipal Freedom of Information and Protection of Privacy Act*, I authorize and consent to the use by or the disclosure to any person or public body any information that is collected under the authority of the *Planning Act, R.S.O. 1990, c. P. 13* for the purposes of processing this application.



Owner/Applicant/Agent Signature

6/12/2025

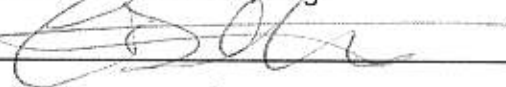
Date

J. Owner's Authorization

If the applicant/agent is not the registered owner of the lands that is the subject of this application, the owner must complete the authorization set out below.

I/We Claude D. M. am/are the registered owner(s) of the lands that is the subject of this application.

I/We authorize _____ to make this application on my/our behalf and to provide any of my/our personal information necessary for the processing of this application. Moreover, this shall be your good and sufficient authorization for so doing.



Owner

Date

Owner

Date

***Note:** If property is owned by an Ontario Ltd. Corporation, Articles of Incorporation are required to be attached to the application.

K. Declaration

I, Claude Dahn of Ingersoll, ON
solemnly declare that:

all of the above statements and the statements contained in all of the exhibits
transmitted herewith are true and I make this solemn declaration conscientiously
believing it to be true and knowing that it is of the same force and effect as if made
under oath and by virtue of *The Canada Evidence Act*.

Declared before me at:

SIMCOE, ONT



Owner/Applicant/Agent Signature

In NORFOLK COUNTY

This 18th day of JUNE 2025

A.D., 2025


A Commissioner, etc.

Sherry Ann Mott, a
Commissioner, etc., Province of Ontario.
for the Corporation of Norfolk County.
Expires March 16, 2026.

SKETCH
PREPARED FOR BUILDING PERMIT
AND LOT GRADING
FOR: DALM CONSTRUCTION
#25 CEDAR DRIVE, LONG POINT

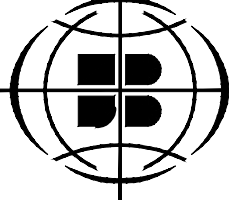
SCALE 1:150
METRIC DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

PROPERTY DESCRIPTION:
PAR TOF LOT G
REGISTERED PLAN 135
AND PART OF LOT 14
IN FRONT OF CONCESSION A
GEOGRAPHIC TOWNSHIP OF CHARLOTTEVILLE
NORFOLK COUNTY

- NOTES
- PROPERTY DIMENSIONS ARE AS SHOWN ON PLAN OF SURVEY BY KIM HUSTED SURVEYING LTD., PROJECT No. 11-9455SRPR, DATED APRIL 16, 2015.
 - PROPOSED BUILDING POSITIONED BY CALCULATIONS, NOT BY
 - PROPOSED FINAL GRADES ARE SHOWN 176.90 AND ARE IN METRES
EXISTING GRADES TO MATCH ARE SHOWN 176.90 AND ARE IN METRES
 - T.F.W. DENOTES TOP OF FOUNDATION WALL
 - U.S.F. DENOTES UNDERSIDE OF FOOTING
 - SITE BENCHMARK #1 FINISHED FLOOR OF EXISTING SHED LOCATED ON THE SUBJECT PROPERTY HAVING A GEODETIC ELEVATION OF 177.34 METRES
SITE BENCHMARK #2 FINISHED FLOOR OF EXISTING DWELLING LOCATED ON THE SUBJECT PROPERTY HAVING A GEODETIC ELEVATION OF 176.91 METRES
SITE BENCHMARK #3 UNDERSIDE OF SIDING OF EXISTING DWELLING LOCATED ON THE SUBJECT PROPERTY HAVING A GEODETIC ELEVATION OF 176.88 METRES
ELEVATIONS ARE REFERRED TO CANADIAN GEODETIC DATUM 1928, GEOD MODEL HT2_2010v70.
 - IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE ELEVATION OF THE UPPER LIMIT OF THE GROUND WATER TABLE, SOIL BEARING CAPACITY AND THE ELEVATION OF THE UNDER SIDE OF FOOTING PRIOR TO EXCAVATION.
 - SEPTIC SYSTEM TO BE DESIGNED BY OTHERS
ELEVATIONS TO BE REVISED WHERE REQUIRED.
 - IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE SITE BENCH MARKS PRIOR TO EXCAVATION
 - AREA OF SUBJECT PROPERTY = 1075.6 SQUARE METRES
AREA OF EXISTING DWELLING & COVERED PORCH = 168.6 SQUARE METRES
AREA OF EXISTING SHEDS = 47.1 SQUARE METRES
EXISTING LOT COVERAGE = 20.1%
AREA OF PROPOSED ADDITION = 43.1 SQUARE METRES
ADDITION LOT COVERAGE = 4.0%
TOTAL LOT COVERAGE = 24.1%

- CAUTION
- THIS IS NOT A PLAN OF SURVEY OR SURVEYOR'S REPORT AND SHALL NOT BE USED FOR TRANSACTION OR FINANCING PURPOSES
 - DO NOT CONVEY FROM THIS PLAN
 - THE PROPOSED BUILDING AND IT'S LOCATION SHOWN HEREON MAY BE SUBJECT TO CHANGES PRIOR TO CONSTRUCTION. THIS SKETCH SHOULD NOT BE RELIED UPON AS CERTIFICATION THAT THE DWELLING WAS ACTUALLY CONSTRUCTED AS SHOWN.
 - ELEVATION OF EXISTING GROUND WATER TABLE AND SOIL CONDITIONS NOT DETERMINED

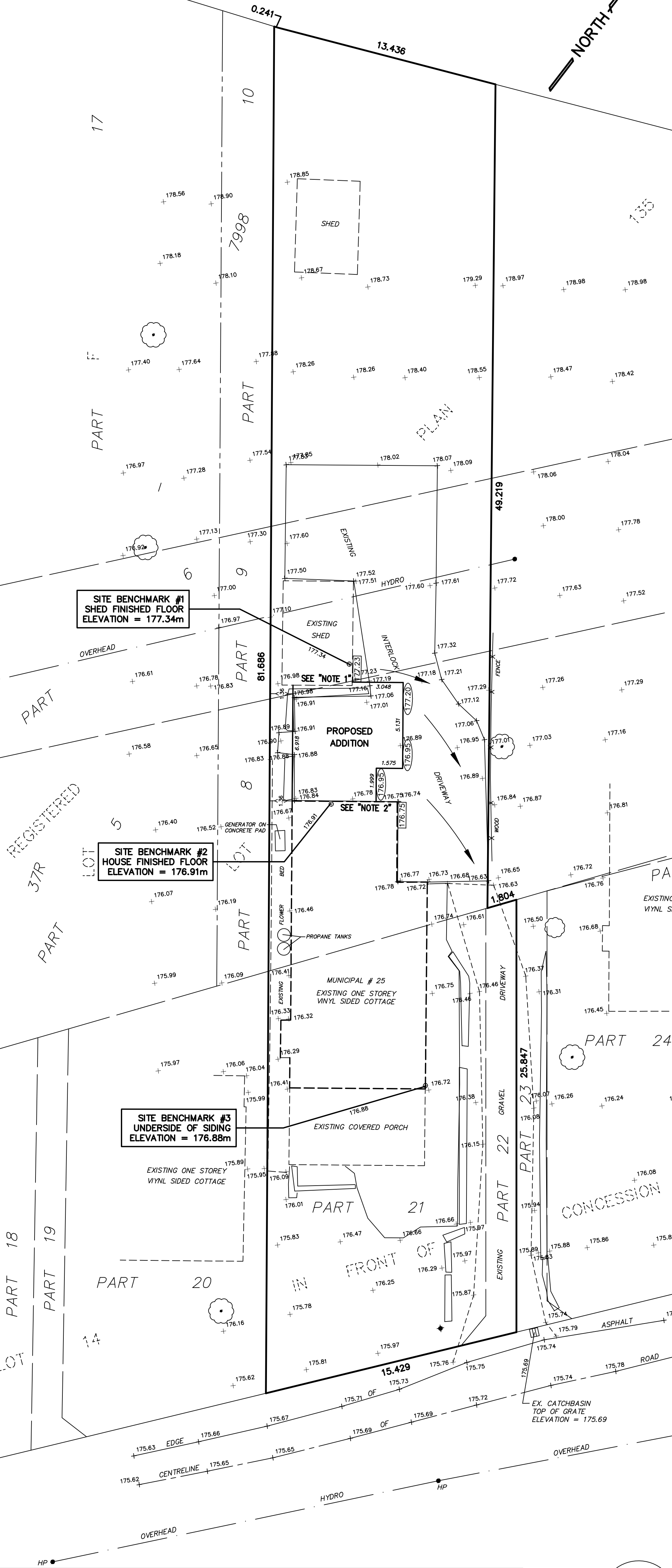
© COPYRIGHT 2025 KIM HUSTED SURVEYING LTD.
THE REPRODUCTION, ALTERATION, OR USE OF THIS REPORT IN WHOLE OR IN PART WITHOUT THE WRITTEN PERMISSION OF KIM HUSTED SURVEYING LTD. IS STRICTLY PROHIBITED



KIM HUSTED
SURVEYING LTD.
A wholly owned subsidiary of J.D. Barnes Limited

30 Harvey St., Tillsonburg, ON N4G 3J8
T: (519) 842-3638 F: (519) 842-3639 www.jdbarnes.com

DRAWN BY:	RH	CHECKED BY:	KSH	REFERENCE NO.:	25-53-484-00
				DATED:	02/25/25



NOTE 1: T.F.W. OF PROPOSED ADDITION TO MATCH THE EXISTING T.F.W. OF EXISTING SHED. ELEVATION OF EXISTING SHED T.F.W. IS UNKNOWN. TO BE DETERMINED DURING CONSTRUCTION.
NOTE 2: T.F.W. OF PROPOSED ADDITION IS TO BE SET 9.5" (0.24m) ABOVE T.F.W. OF THE EXISTING DWELLING. ELEVATION OF EXISTING DWELLING T.F.W. IS UNKNOWN. TO BE DETERMINED DURING CONSTRUCTION.
NOTE: STEP FOUNDATION WHERE REQUIRED TO SUIT GRADE.

FEBRUARY 25, 2025



Long Point Region Conservation Authority

PERMIT No. LPRCA-94/25
PROHIBITED ACTIVITIES, EXEMPTIONS AND PERMITS
(CONSERVATION AUTHORITIES ACT - ONTARIO REGULATION 41/24)

4 Elm Street
Tillsonburg, ON
N4G 0C4
Phone (519) 842-4242
Fax (519) 842-7123
www.lprca.on.ca

Permission has been granted to:

Applicant:	Kim and Karen Coulter	Telephone:	905-320-7271
Address:	12 Stoneridge Crescent Niagara on the Lake. L0S 1P0	Email:	Kcoulter5@me.com
Agent:	Claudius Dalm	Telephone:	519-550-1307
Address:	6 Cedar Street, Ingersoll	Email:	design@dalm.ca

Location/Address of works: 25 Cedar Drive. 331049311044400

Lot: 14 Concession: A Municipality: Norfolk County

Description of Works: to construct a 78 m² (842.5 ft²) addition to the existing vacation home.

Type of fill: n/a

This permit is valid on the above location only for the period of:

DATE: June 6, 2025 to June 6, 2027

This permit shall be subject to the following conditions:

The Applicant and owner, by acceptance of and in consideration of the issuance of this permit, agrees to the following conditions:

GENERAL CONDITIONS: (SEE REVERSE SIDE OF PERMIT)

SPECIFIC CONDITIONS:

1. Locations and dimensions of proposed works must be as indicated on the enclosed copy of the work permit application dated May 1, 2025 and the associated information.

GENERAL CONDITIONS:

1. This permit does not preclude any approvals required by any other laws or regulations.
2. Temporary sediment & erosion control measures shall be installed around any disturbed and/or exposed ground or excavated material stockpiles, remain in place until the site has been suitably stabilized, and must be monitored regularly to ensure effectiveness. Remedial/Emergency measures must be taken at any sign of failure. This step is considered necessary to prevent the undesirable migration of silt.
3. The Conservation Authority should be contacted within 48 hours prior to the commencement of construction.
4. Authorized representatives of the Long Point Region Conservation Authority may at any time enter onto the lands which are described herein in order to make any surveys, examinations or inspections which are required for the purpose of insuring that the work(s) authorized by this permit are being carried out according to the terms of this permit.
5. It is the responsibility of the permittee to ensure the development is located within the extent of the property boundaries owned by the proponent.
6. This permit is not assignable.
7. The project shall be carried out generally as per the plans submitted in support of the application as they may be amended by conditions of this permit.
8. This approval does not guarantee the soundness of the proposed work and it is the responsibility of the permittee to monitor and maintain the construction activity to ensure the integrity of the work.
9. The applicant agrees to maintain all existing drainage patterns.
10. Any activity or development other than that identified in this permit application must be reviewed by the LPRCA; at which time, staff will determine if additional approvals or an amended permit will be required.
11. Permits are valid for two years. No notice will be issued on expiration of the permit and it is the responsibility of the permittee to ensure a valid permit is in effect at the time work is occurring.



Long Point Region Conservation Authority

4 Elm Street, Tillsonburg, ON N4G 0C4

Tel: (519) 842-4242 Fax: (519) 842-7123

Email: planning@lprca.on.ca Website: www.lprca.on.ca

Permit Application – Schedule A

PROHIBITED ACTIVITIES, EXEMPTIONS AND PERMITS (O. Reg. 41/24)

Owner's Contact Information:	
Name: <u>Kim & Karen Coulter</u>	E-mail: <u>kcounters@me.com</u>
Mailing Address: <u>12 Stoneridge Cres.</u>	Postal Code: <u>L0S 1S1</u>
City/Town: <u>St. Davids</u>	Primary Phone: <u>+1-905-320-7271</u>
Agent/Consultant/Contractor's Contact Information:	
Name: <u>Claudius Dalm</u>	E-mail: <u>design@dalm.ca</u>
Mailing Address: <u>6 Cedar Street</u>	Postal Code: <u>N5C 1A7</u>
City/Town: <u>Ingersoll</u>	Primary Phone: <u>519-550-1307</u>
Location of Proposed Work:	
Municipal Address: <u>25 Cedar Drive</u>	
Tax Assessment Roll Number: <u>3310493110444000000</u>	
City/Town: <u>Turkey Point</u>	Township: <u>Norfolk County</u>
Lot: <u>LOT 14 PLAN BSPT, WTH</u>	Concession/Plan: <u>RP37R1941 PARTS 21 & 22 of LOT 6</u>

Proposed Work: (Check all appropriate boxes)

- ☐ Place, dump, remove fill
- ☒ Site grading
- ☒ Construct a new building or structure
- ☒ Alter or renovate an existing building or structure
- ☐ Construct or replace a septic system
- ☐ Construct erosion control or shoreline protection
- ☐ Construction of new, or replacement of an existing watercourse crossing
- ☐ Other: _____

Addition to existing Cottage

Description of Proposed Works:

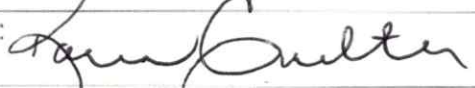
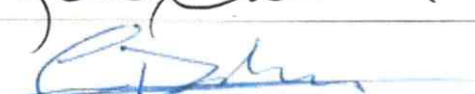
Portion of existing interlocked driveway to be removed between existing shed and cottage. 466.3 ft² 2-story addition to be constructed between. Foundation height of addition to be set to match existing grade

Pre-consultation Completed: Yes ☐ No ☒

Proposed Start Date:	September 1 st
Proposed Completion Date:	April 1 st

Existing square footage:	1814.1 ft ²
Proposed square footage:	466.3 ft ²
Quantity of fill (m ³) if applicable:	N/A

I understand that the information contained in this application form is accurate to the best of my knowledge, and that the staff of the Long Point Region Conservation Authority (LPRCA) will undertake a detailed inspection of the subject lands as part of the application process.


Signature of Owner: 	Date: 5/2/2025
Signature of Agent: 	Date: 5/1/2025

Prohibited Activities, Exemptions and Permits
Ontario Regulation 41/24

PROPERTY OWNER AUTHORIZATION

Subject Property:	
Municipal Address:	25 Cedar Drive
Municipality:	Turkey Point
I/We:	KIM & KAREN
Hereby Authorize:	Claudius Dalm

To submit the enclosed application to the Long Point Region Conservation Authority, to appear on my behalf at any hearing(s) of the application, and to provide any information or materials required by the Board relevant to the application for the purposes of obtaining permission to develop, interfere with a wetland, or alter a shoreline or watercourse in accordance with the requirements of Ontario Regulated 41/24 as amended.

Signature of Owner:		Date:	05/02/2025
---------------------	--	-------	------------

☐ Please copy the Owner on correspondence between the Conservation Authority and Agent.

APPLICATION FORM INSTRUCTIONS

- Owner** The legal owner(s) of the property where the proposed development or alteration will be carried out
- Agent** If the owner has assigned another party as an agent to act on the owner's behalf for the project, written authorization from the owner is required
- Quantity of Fill** Approximate quantity expressed in cubic metres, cubic yards, trucks loads (12 yards) or tandem truck loads (18 yards)
- Floor Area** For residential development, area of living space including full height basement and additional storeys, but not including attached garage, non-habitable crawl space, open breezeways, decks, or porches

APPLICATION CHECKLIST

Submission: LPRCA permit applications along with supporting information may be submitted in person to our office, by email, or mail.

Pre-consultation: Please contact LPRCA staff regarding the requirements specific to your proposal. Also, please make sure your contractors and consultants contact LPRCA staff before completing detailed drawings or technical studies.

Complete application: A complete application package includes (check all applicable):

- ☒ 1. A plan of the area showing the property boundary, type and location of the proposed development activity, or a plan of the area showing the plan view and cross-section details of an activity to straighten, change, divert, or interfere with the existing channel of a river, creek, stream or watercourse, including a change or interference with a wetland.
- ☒ 2. The elevations of existing buildings, if any, as well as grades and the proposed elevations of any buildings and grades after the development activity or other activity.
- ☒ 3. The proposed use of any buildings and structures following completion of the development activity or a statement of the purpose of an activity to straighten, change, divert, or interfere with the existing channel of a river, creek, stream or watercourse, including changes or interference with a wetland.
- ☐ 4. A description of the methods to be used in carrying out an activity to straighten, change, divert, or interfere with the existing channel of a river, creek, stream, or watercourse, including changes or interference with a wetland.
- ☐ 5. Drainage details before and after the development activity or other activity.
- ☐ 6. A complete description of any type of fill proposed to be placed or dumped.
- ☒ 7. The start and completion dates of the development activity or other activity.
- ☐ 8. A confirmation of authorization for the proposed development activity or other activity given by the owner of the subject property, if the applicant is not the owner.
- ☐ 9. Any other technical information, studies, or plans that the authority requests, including information requested during pre-submission consultations between the authority and the applicant.

Technical Reports: One or more of the following technical reports may be required (advised by LPRCA staff)

- ☐ 1. Design drawings and description of the design elements for flood-proofing measures, stamped and certified by a qualified professional engineer (for development in floodplains and flood hazard areas).
- ☐ 2. Slope stability study and erosion analysis, prepared by a qualified professional with expertise in geotechnical engineering, to determine the stable top-of-bank, the minimum development setback to address the potential erosion hazards, and associated foundation, construction, grading, and drainage recommendations, in accordance with the Provincial Technical Guidelines (for development in erosion hazard areas).
- ☐ 3. Geotechnical investigation, by a qualified professional geotechnical engineer, of site soil and groundwater conditions related to building foundation type and design requirements, in accordance with the *Ontario Building Code* to facilitate subsequent building permit (for development in area with organic soils).
- ☐ 4. Coastal engineering assessment prepared by a qualified professional with expertise in coastal engineering in accordance with LPRCA's Shoreline Management Plan and the Provincial Technical Guidelines addressing hydrodynamic forces affecting the design and indicating how the aggravation of erosion on neighbouring properties is avoided (for shoreline alterations).
- ☐ 5. Environmental Impact Study (EIS) clearly indicating that there will be no negative impact to the form or function of the wetland to the satisfaction of LPRCA (for development near wetlands).
- ☐ 6. Hydraulic analysis by a qualified professional with expertise in water resource engineering addressing flood conveyance, storage-discharge, and changes in flood levels on-site and on adjacent properties (for development in floodplains, watercourse alterations).
- ☐ 7. Complex and large-scale proposals may require additional technical studies and plans.

GENERAL CONDITIONS OF PERMIT

1. This permit does not absolve the permittee of the responsibility of obtaining necessary permission from applicable federal and provincial agencies or local municipalities.
2. The permittee agrees by acceptance of the permit:
 - a. To indemnify and save harmless, the Long Point Region Conservation Authority and its officers, employees, or agents from against all damage, injury, loss, costs, claims, demands, actions, and proceedings, arising out of or resulting from any act or omission of the permittee or of any of its agents, employees or contractors relating to any of the particular terms or conditions of this permit.
 - b. That this permit shall not release the permittee from any legal liability or obligation, and remains in force subject to all limitations, requirements, and liabilities imposed by law.
 - c. To provide certification of conformance to ensure compliance with the intent of the permit. This certification must be provided by an accredited professional and is to be submitted as may be specified in the permit.
3. Authorized representatives of the Long Point Region Conservation Authority will be granted entry at any time into lands which are the subject of this permit application in order to make such surveys, examinations, investigations, inspections, or other arrangements which such representatives deem necessary.
4. The project shall be carried out generally as per the plans submitted in support of the application as they may be amended by conditions of this permit.
5. Any activity or development other than that identified in this permit application must be reviewed by the LPRCA; at which time, staff will determine if additional approvals or an amended permit will be required.
6. The Long Point Region Conservation Authority may, with notice, cancel the permit or may change any of the conditions at any time if it is determined that the conditions of the permit have not been met.
7. Temporary sediment and erosion control measures shall be installed around any disturbed and/or exposed ground or excavated material stockpiles and remain in place until the site has been suitably stabilized, with regular monitoring to ensure effectiveness. Remedial/emergency measures must be taken at any sign of failure.
8. The applicant agrees to maintain all existing drainage patterns except as expressly identified in the permit.
9. It is the responsibility of the permittee to ensure the development is located within the extent of the property boundaries owned by the proponent.
10. This approval does not guarantee the soundness of the proposed work and it is the responsibility of the permittee to monitor and maintain the construction activity to ensure the integrity of the work.
11. The permit shall not be assigned (non-transferrable).
12. Permits are valid for the period of time indicated on the permit. No notice will be issued on expiration of the permit and it is the responsibility of the permittee to ensure a valid permit is in effect at the time of work occurring.
13. The Conservation Authority should be contacted within 48 hours prior to the commencement of construction.
14. The Long Point Region Conservation Authority may make copies of Schedule A, as required, for the purpose of assessing the proposal and, when approved, to form part of the permit issued.

NOTICE OF COLLECTION

Pursuant to section 29(2) of the Municipal Freedom of Information and Protection of Individual Privacy Act, 1989, the personal information contained on this form is collected under the legal authority of the Conservation Authorities Act, R.S.O. 1980, c85, as amended. This information is used to assess applications for and, where approved, issue comment. The name of the applicant, location of the work and a description of the project may be published in LPRCA documents, including agendas, reports and meeting minutes which are posted on the LPRCA website. Questions about the collection of personal information should be directed to the Freedom of Information Coordinator, Long Point Region Conservation Authority, 4 Elm Street, Tillsonburg, Ontario, N4G 0C4, (519) 842-4242.

SKETCH
PREPARED FOR BUILDING PERMIT
AND LOT GRADING
FOR: DALM CONSTRUCTION
#25 CEDAR DRIVE, LONG POINT

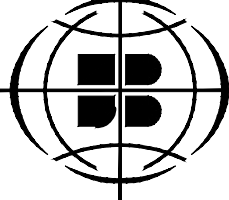
SCALE 1:150
METRIC DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

PROPERTY DESCRIPTION:
PAR TOF LOT G
REGISTERED PLAN 135
AND PART OF LOT 14
IN FRONT OF CONCESSION A
GEOGRAPHIC TOWNSHIP OF CHARLOTTEVILLE
NORFOLK COUNTY

- NOTES
- PROPERTY DIMENSIONS ARE AS SHOWN ON PLAN OF SURVEY BY KIM HUSTED SURVEYING LTD., PROJECT No. 11-9455SRPR, DATED APRIL 16, 2015.
 - PROPOSED BUILDING POSITIONED BY CALCULATIONS, NOT BY
 - PROPOSED FINAL GRADES ARE SHOWN 176.90 AND ARE IN METRES
EXISTING GRADES TO MATCH ARE SHOWN 176.90 AND ARE IN METRES
 - T.F.W. DENOTES TOP OF FOUNDATION WALL
 - U.S.F. DENOTES UNDERSIDE OF FOOTING
 - SITE BENCHMARK #1 FINISHED FLOOR OF EXISTING SHED LOCATED ON THE SUBJECT PROPERTY HAVING A GEODETIC ELEVATION OF 177.34 METRES
SITE BENCHMARK #2 FINISHED FLOOR OF EXISTING DWELLING LOCATED ON THE SUBJECT PROPERTY HAVING A GEODETIC ELEVATION OF 176.91 METRES
SITE BENCHMARK #3 UNDERSIDE OF SIDING OF EXISTING DWELLING LOCATED ON THE SUBJECT PROPERTY HAVING A GEODETIC ELEVATION OF 176.88 METRES
ELEVATIONS ARE REFERRED TO CANADIAN GEODETIC DATUM 1928, GEOID MODEL HT2_2010v70.
 - IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE ELEVATION OF THE UPPER LIMIT OF THE GROUND WATER TABLE, SOIL BEARING CAPACITY AND THE ELEVATION OF THE UNDER SIDE OF FOOTING PRIOR TO EXCAVATION.
 - SEPTIC SYSTEM TO BE DESIGNED BY OTHERS
ELEVATIONS TO BE REVISED WHERE REQUIRED.
 - IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE SITE BENCH MARKS PRIOR TO EXCAVATION
 - AREA OF SUBJECT PROPERTY = 1075.6 SQUARE METRES
AREA OF EXISTING DWELLING & COVERED PORCH = 168.6 SQUARE METRES
AREA OF EXISTING SHEDS = 47.1 SQUARE METRES
EXISTING LOT COVERAGE = 20.1%
AREA OF PROPOSED ADDITION = 43.1 SQUARE METRES
ADDITION LOT COVERAGE = 4.0%
TOTAL LOT COVERAGE = 24.1%

- CAUTION
- THIS IS NOT A PLAN OF SURVEY OR SURVEYOR'S REPORT AND SHALL NOT BE USED FOR TRANSACTION OR FINANCING PURPOSES
 - DO NOT CONVEY FROM THIS PLAN
 - THE PROPOSED BUILDING AND IT'S LOCATION SHOWN HEREON MAY BE SUBJECT TO CHANGES PRIOR TO CONSTRUCTION. THIS SKETCH SHOULD NOT BE RELIED UPON AS CERTIFICATION THAT THE DWELLING WAS ACTUALLY CONSTRUCTED AS SHOWN.
 - ELEVATION OF EXISTING GROUND WATER TABLE AND SOIL CONDITIONS NOT DETERMINED

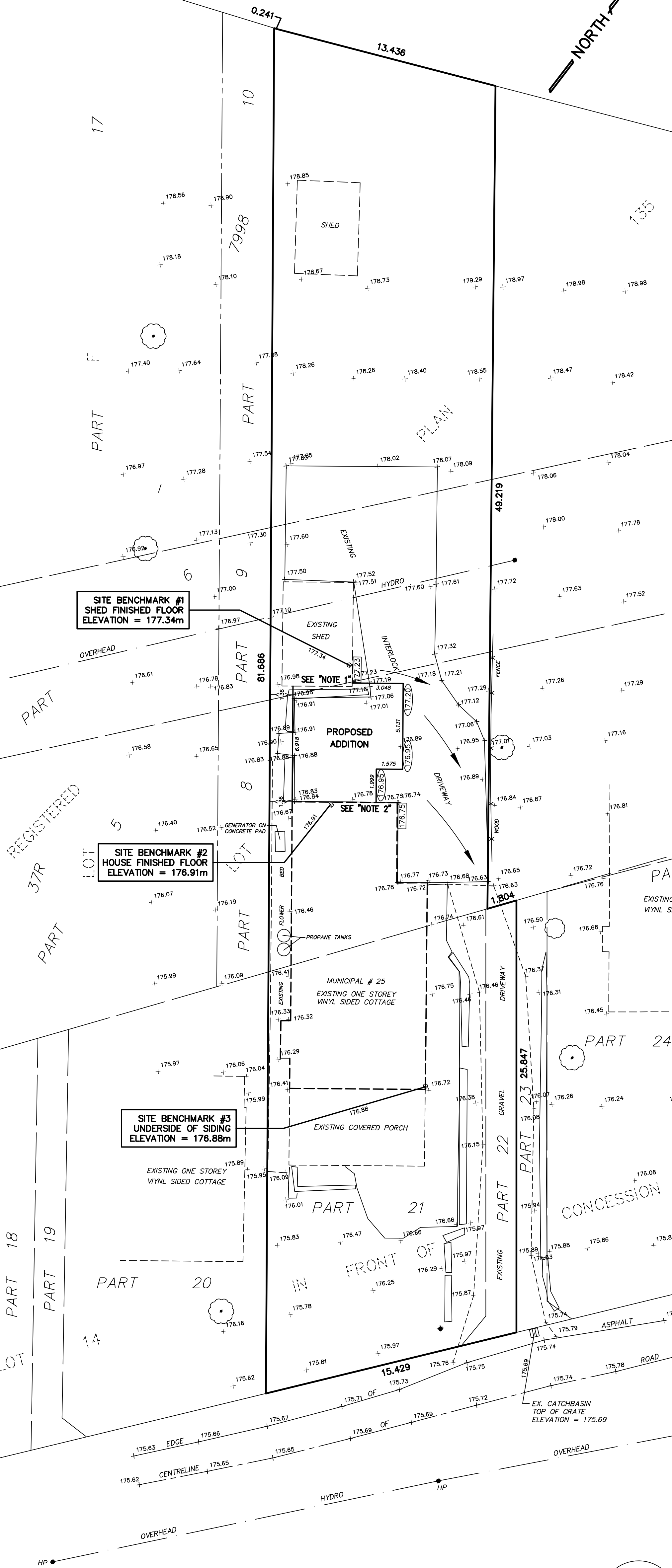
© COPYRIGHT 2025 KIM HUSTED SURVEYING LTD.
THE REPRODUCTION, ALTERATION, OR USE OF THIS REPORT IN WHOLE OR IN PART WITHOUT THE WRITTEN PERMISSION OF KIM HUSTED SURVEYING LTD. IS STRICTLY PROHIBITED



KIM HUSTED
SURVEYING LTD.
A wholly owned subsidiary of J.D. Barnes Limited

30 Harvey St., Tillsonburg, ON N4G 3J8
T: (519) 842-3638 F: (519) 842-3639 www.jdbarnes.com

DRAWN BY:	RH	CHECKED BY:	KSH	REFERENCE NO.:	25-53-484-00
				DATED:	02/25/25



NOTE 1: T.F.W. OF PROPOSED ADDITION TO MATCH THE EXISTING T.F.W. OF EXISTING SHED. ELEVATION OF EXISTING SHED T.F.W. IS UNKNOWN. TO BE DETERMINED DURING CONSTRUCTION.
NOTE 2: T.F.W. OF PROPOSED ADDITION IS TO BE SET 9.5" (0.24m) ABOVE T.F.W. OF THE EXISTING DWELLING. ELEVATION OF EXISTING DWELLING T.F.W. IS UNKNOWN. TO BE DETERMINED DURING CONSTRUCTION.
NOTE: STEP FOUNDATION WHERE REQUIRED TO SUIT GRADE.

"THIS IS NOT
AN ORIGINAL COPY
UNLESS
EMBOSSED WITH
SEAL"

FEBRUARY 25, 2025

GENERAL NOTES:

- The plans for this project have been reviewed by Dalm Construction Limited for uses only at the location noted on this page.
- It is the responsibility of the owner and/or contractor to ensure that the provisions of the applicable zoning bylaw and all other applicable bylaws of the municipality are being complied with as they relate to the proposed construction.
- Contractor to check and verify all discrepancies before construction begins, verify all dimensions on site and ensure that all materials, details and methods of construction meet or exceed the requirements of the latest edition of the Ontario Building Code (OBC), Local Codes and Zoning Requirements.
- All structural elements not obtainable through the OBC. Tables are to be sized, stamped and approved by a Registered Professional Engineer.
- Drawings are not to be scaled.
- Window and door sizes may not be exactly as shown. Contractor to verify all dimensions prior to construction.
- Dalm Construction Limited is not responsible for any misrepresentations of these drawings and will not take any responsibility for any changes made to the drawings by the contractor, owner or others.

TECHNICAL NOTES:

- EXCAVATION
 - Actual soil bearing capacity to be determined at the site.
 - Excavation for the foundations to extend to undisturbed soil having a minimum allowable bearing pressure of 75 Pa (1510 psf)
- BACKFILL
 - Backfill within 600mm (24 5/8") of the foundation shall be free of debris and boulder larger than 250mm (9 7/8") dia.
 - The foundation wall must be laterally supported before backfilling.
- FOOTINGS AND FOUNDATIONS
 - Footings for walls, columns, etc. to extend below the frost line and bear on undistributed soil.
 - Concrete strength to be minimum 15 MPa (2200 psi) except as noted.
 - Provide 2 #4 steel reinforcing bars over entrances of sewers and utilities.
 - Exterior foundation walls to extend at least 150mm (5 7/8") above finished grade level.
 - Step footing vertical rise not to exceed 600mm (23 5/8") for firm soil and 400mm (15 3/4") for sand and gravel. horizontal run to be a minimum of 600mm (24 5/8").

4. FOUNDATION DRAINAGE

- Drain tile to be on undisturbed or well compacted soil and the top of the tile placed below the bottom of the floor slab.
- Foundation drains shall drain to a sewer, drainage ditch, drywell, or a covered automatic sump pump draining into a positive outlet.
- A drainage layer shall consist of:
 - Minimum 19mm (3/4") mineral fibre insulation with a density of 3.6 lb/sq ft. or
 - Minimum 100mm (4") of free drainage granular material or
 - An approved system that provides equivalent performance.

5. SURFACE DRAINAGE

- The building site is to be graded so that the water will not accumulate at or near the building and adversely affect adjacent properties.
- Window wells are to be drained to the footing level drainage tile or another suitable location.

6. CONCRETE FLOORS AND FLATWORK

- Concrete strength for garage and carport floors and all exterior flatwork to be minimum 32 MPa (4,650 psi) and 5% to 8% air entrainment.
- Other slabs to have min. concrete strength of 25 MPa (3,600 psi).
- Concrete slabs to be minimum 75mm (3") thick on a minimum of 100mm (4") of coarse granular material.
- All fill other than coarse clean material placed beneath concrete slab shall be compacted to provide uniform support.

7. WOOD FRAME CONSTRUCTION

- Holes or notching in roof, floor, wall or ceiling members to be restricted to the sizes outlined in the OBC.
- Roof trusses shall not be notched, drilled or weakened unless accumulated for in the design.
- Exterior columns and posts are to be anchored.
- Floor Joists to have minimum 38mm (1 1/2") length of end bearing.
- Joists framed into the side of a wood beam, trimmer, header, etc. are to be supported on joist hangers.
- Double joists under parallel non-load bearing partitions.
- Provide 2"x2" cross bridging at maximum 6'-10" o.c. between supports.

8. STAIRS TO CONFORM TO O.B.C. 9.8 (AMENDED JAN. 1, 2022)

- Stairs to have uniform rise and run throughout. Rise and run to confirm to the following:

	Minimum	Maximum
Rise	4 7/8"	7 1/8"
Run	10"	14"
Tread	11"	15"

9. COLUMNS AND BEAMS

- Minimum 89mm (3 1/2") end bearing for wood and steel beams.
- Steel columns to have minimum outside diameter of 73mm (2 7/8") and a minimum wall thickness of 4.7mm (3/16)

10. ABOVE GRADE MASONRY

- Veneer over wood frame walls to have not less than 25mm (1") air space behind the veneer.
- Provide weep holes spaced not more than 800mm (2'-7") apart at the bottom of air spaces in masonry veneer walls.
- Masonry veneer shall be tied to wood framing members by corrosion resistant ties and screws or nails as per OBC.

11. FLOORING

- Finished flooring in bathrooms and kitchens shall consist of resilient flooring, felted synthetic fibre floor covering, concrete, terrazzo, ceramic tile, mastic or other types of flooring providing similar degrees of water resistance.

12. WATERPROOF WALL FINISH

- Waterproof finish is to be provided to a height of not less than:
 - 1,800mm (5'-11") above the floor in a shower stall.
 - 1200mm (3'-11") above the rims of bathtubs with shower heads.
 - 400mm (15 3/4") above the rim of bathtubs with no shower.

13. PLUMBING

- The owner and/or the contractor are responsible for the design layout and the installation of the plumbing system.
- Where a private sewage system is required or utalized, the design, evaluation, construction or alteration of a new system as the case may be, shall be undertaken by a qualified person registered undertake such work.

14. HEATING AND AIR CONDITIONING

- The owner and/or contractor are responsible for the design/layout and installation of the heting and air conditioning system.

15. NATURAL VENTILATION

- Roof vents designed to prevent entry of rain, snow and insects.
- Vents shall be distributed uniformly on opposite sides of the building with not less than 25% of the opening at either the top or bottom of the space.

16. MECHANICAL VENTILATION

- The owner and/or contractor are responsible for the design/layout and installation of the mechanical ventilation system in compliance with the OBC.

17. CAULKING

- Caulking shall be provided between masonry, siding or stucco and adjacent door and window frames or trim and anywhere else where it is required to prevent the entry of water into the structure.

18. DOORS AND WINDOWS

- Exterior doors and windows within 6'-7" from grade shall be constructed to resist forced entry. Doors shall be equipped with a dead bolt lock.
- The principle entry door shall either a door viewer, transparent glazing or a sidelight.

19. GUARDS TO COMPLY WITH O.B.C. 9.8.8

- Maximum opening in any guard must be able to prevent passage of a 100mm (4") diameter spherical object.
- Guard attachment to comply with one of the methods details in SB-7 of the supplementary guidelines to the OBC.
- A guard is to be provided at every location where there is a difference in elevation from floor, stairs or ramp to adjust surfaces or more than 600mm (5/8")
- Minimum guard heights to be as follows:
 - 800mm (2'-11") for stairs measured vertically above a line drawn
 - 900mm (2'-11") for porches, decks, balconies and landings not through stair nosings.
 - more than 1,800mm (5'-11") above adjacent ground
 - 1,070mm (3'-6") for porches, decks, balconies and landings more floor or other surface areas.
 - than 1,800mm (5'-11") above adjacent ground floor or other surface areas.

20. ALARMS AND DETECTORS

- Interconnected smoke and Carbon Monoxide Alarm required, complete with visual and audible signalling hardware, As per CAN/ULC 5531 & NFPA 72.
- At least one interconnected smoke & carbon monoxide alarm shall be installed on or near the ceiling on each floor level and basement level 900mm (2'-11") or more above an adjacent level.
- A interconnected smoke & carbon monoxide alarm shall be installed on or near the ceiling adjustment to every sleeping area.

21. GARAGE GASPROOFING

- The walls and ceiling of an attached garage shall be constructed and sealed to provide an effective barrier to exhaust fumes.
- Doors between the dwelling and attached garage shall be weatherstripped and have a self closer.

22. ELECTRICAL

- An exterior light controlled by a wall switch is required at every entrance and in every kitchen, bedroom, living room, dining room utility room, vestibule, hallway, garage and car port. A switch recepticle may be provided instead of a light in bedroom and living rooms.
- Basements require a light for every 30 sq. m (323 sq. ft) controlled by a switch at the head of the stairs.
- Stairs shall be lighted and except where serving an unfinished basement shall be controlled by a 3-way switch at the head and and foot of the stairs.



41 KING ST. TILLSONBURG, ON. N4G 3E6
PHONE: (519) 688-0228 EMAIL: DESIGN@DALM.CA
WWW.DALM.CA

- ALL PLANS AND DRAWINGS, IT'S CONCEPTS OR IDEAS. ARE AND REMAIN THE PROPERTY OF DALM CONSTRUCTION LIMITED. NO REPRODUCTIONS ARE TO BE MADE WITHOUT WRITTEN PERMISSION.

- CONTRACTOR TO VERIFY ALL DIMENSIONS.

DRAWING SCHEDULE		
PAGE #	PAGE NAME	REVISION DATE
A0	NOTES & SCHEDULES	5/23/2025
A1	FRONT ELEVATION	5/23/2025
A2	REAR ELEVATION	5/23/2025
A3	RIGHT & LEFT ELEVATIONS	5/23/2025
A4	FOUNDATION PLAN	5/23/2025
A5	MAIN FLOOR PLAN	5/23/2025
A6	LOFT FLOOR PLAN	5/23/2025
D1	CROSS-SECTION A	5/23/2025
D2	WALL SECTION	5/23/2025
S1	SPATIAL SEPARATION CALCULATIONS	5/23/2025

PROPOSED ADDITION FOR:
KIM & KAREN COULTER
25 Cedar Drive
Turkey Point, Ontario
NOE 1W0

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO DESIGN THE WORK SHOWN.

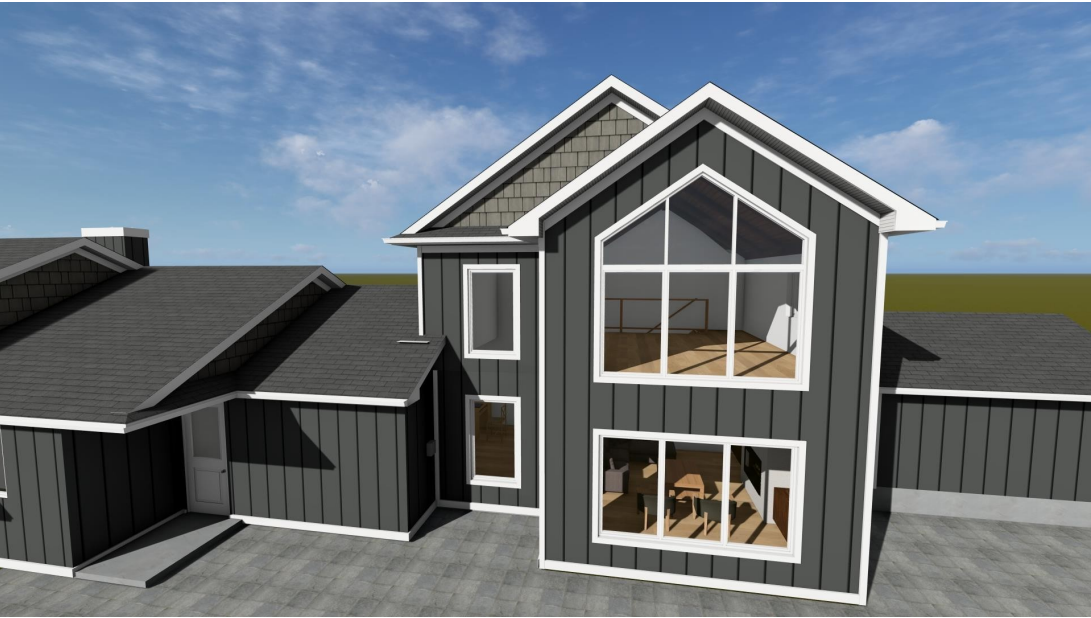
QUALIFICATION INFORMATION
REQUIRED UNLESS DESIGN IS EXEMPT UNDER 2.17.5.1 OF THE BUILDING CODE.

HENRY DALM	39111
NAME	BCIN

SIGNATURE

NOTES & SCHEDULES

DRAWN BY: Claudius Dalm	SCALE: As Noted
DESIGN BY: Henry Dalm	A0
CHECKED BY: Henry Dalm	
DATE: 5/23/2025	
PROJECT: Coulter	





41 KING ST. TILLSONBURG, ON. N4G 3E6
PHONE: (519) 688-0228 EMAIL: DESIGN@DALM.CA
WWW.DALM.CA

- ALL PLANS AND DRAWINGS, IT'S CONCEPTS OR IDEAS, ARE AND REMAIN THE PROPERTY OF DALM CONSTRUCTION LIMITED. NO REPRODUCTIONS ARE TO BE MADE WITHOUT WRITTEN PERMISSION.

- CONTRACTOR TO VERIFY ALL DIMENSIONS.

PROPOSED ADDITION FOR:

KIM & KAREN COULTER
25 Cedar Drive
Turkey Point, Ontario
NOE 1W0

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO DESIGN THE WORK SHOWN.

QUALIFICATION INFORMATION

REQUIRED UNLESS DESIGN IS EXEMPT UNDER 2.17.5.1 OF THE BUILDING CODE.

HENRY DALM
NAME

39111
BCIN

SIGNATURE

FRONT ELEVATION

DRAWN BY: Claudius Dalm SCALE: As Noted

DESIGN BY: Henry Dalm

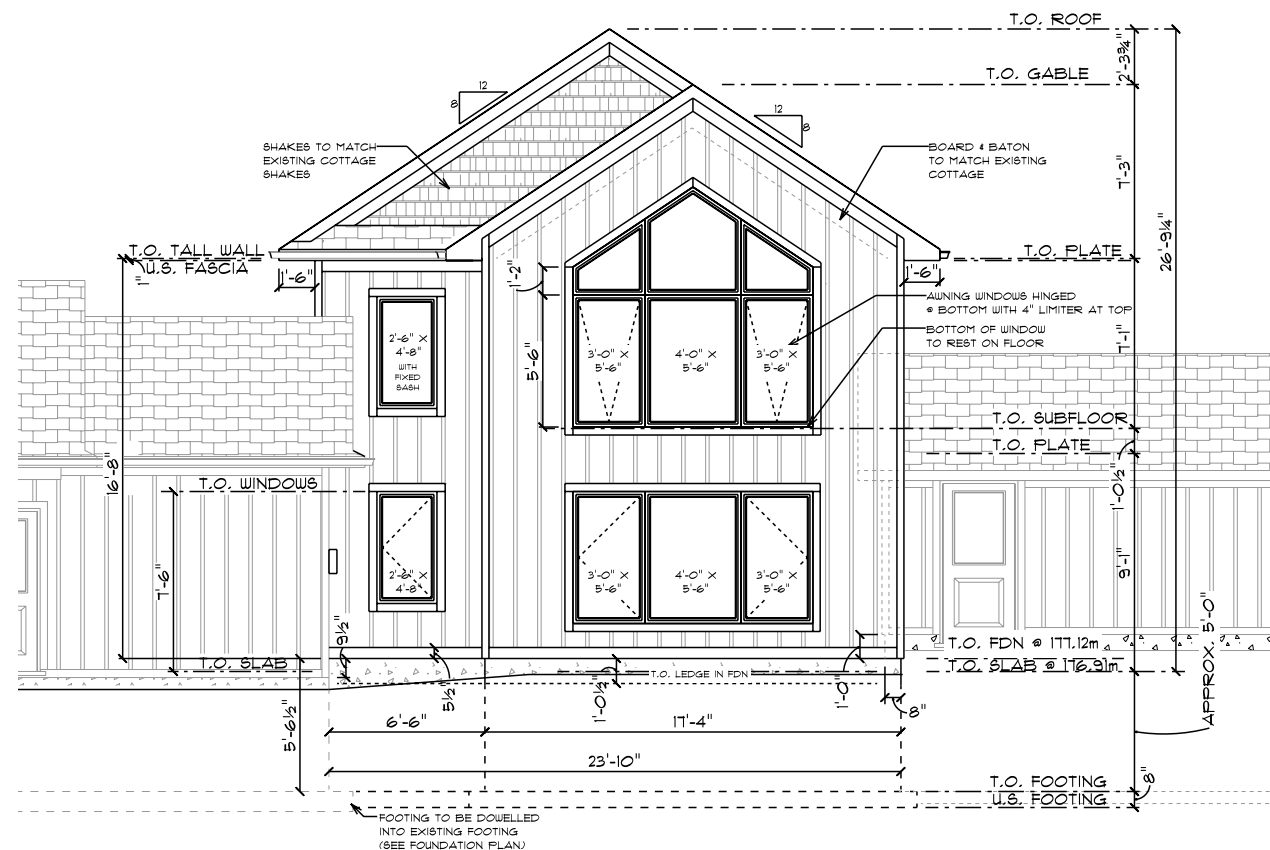
CHECKED BY: Henry Dalm

DATE: 5/23/2025

PROJECT: Coulter

A1

FRONT ELEVATION SCALE: 1/8" = 1'-0"

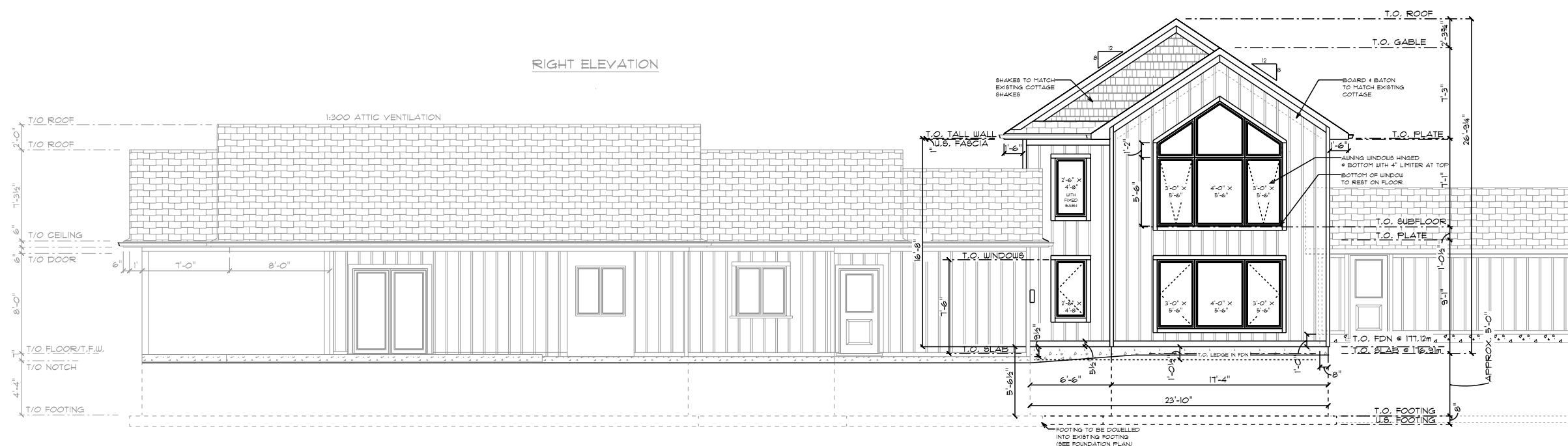


TOP OF FINISHED FLOOR (T.F.F.) OF ADDITION TO MATCH EXISTING T.F.F. @ 176.91m

TOP OF FOUNDATION OF ADDITION AT FRONT ELEVATION = 177.12m

FRONT ELEVATION

RIGHT ELEVATION





41 KING ST. TILLSONBURG, ON. N4G 3E6
PHONE: (519) 688-0228 EMAIL: DESIGN@DALM.CA
WWW.DALM.CA

- ALL PLANS AND DRAWINGS, IT'S CONCEPTS OR IDEAS, ARE AND REMAIN THE PROPERTY OF DALM CONSTRUCTION LIMITED. NO REPRODUCTIONS ARE TO BE MADE WITHOUT WRITTEN PERMISSION.

- CONTRACTOR TO VERIFY ALL DIMENSIONS.

PROPOSED ADDITION FOR:

KIM & KAREN COULTER
25 Cedar Drive
Turkey Point, Ontario
NOE 1W0

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO DESIGN THE WORK SHOWN.

QUALIFICATION INFORMATION

REQUIRED UNLESS DESIGN IS EXEMPT UNDER 2.17.5.1 OF THE BUILDING CODE.

HENRY DALM
NAME

39111
BCIN

SIGNATURE

REAR ELEVATION

DRAWN BY: Claudius Dalm

SCALE: As Noted

DESIGN BY: Henry Dalm

CHECKED BY: Henry Dalm

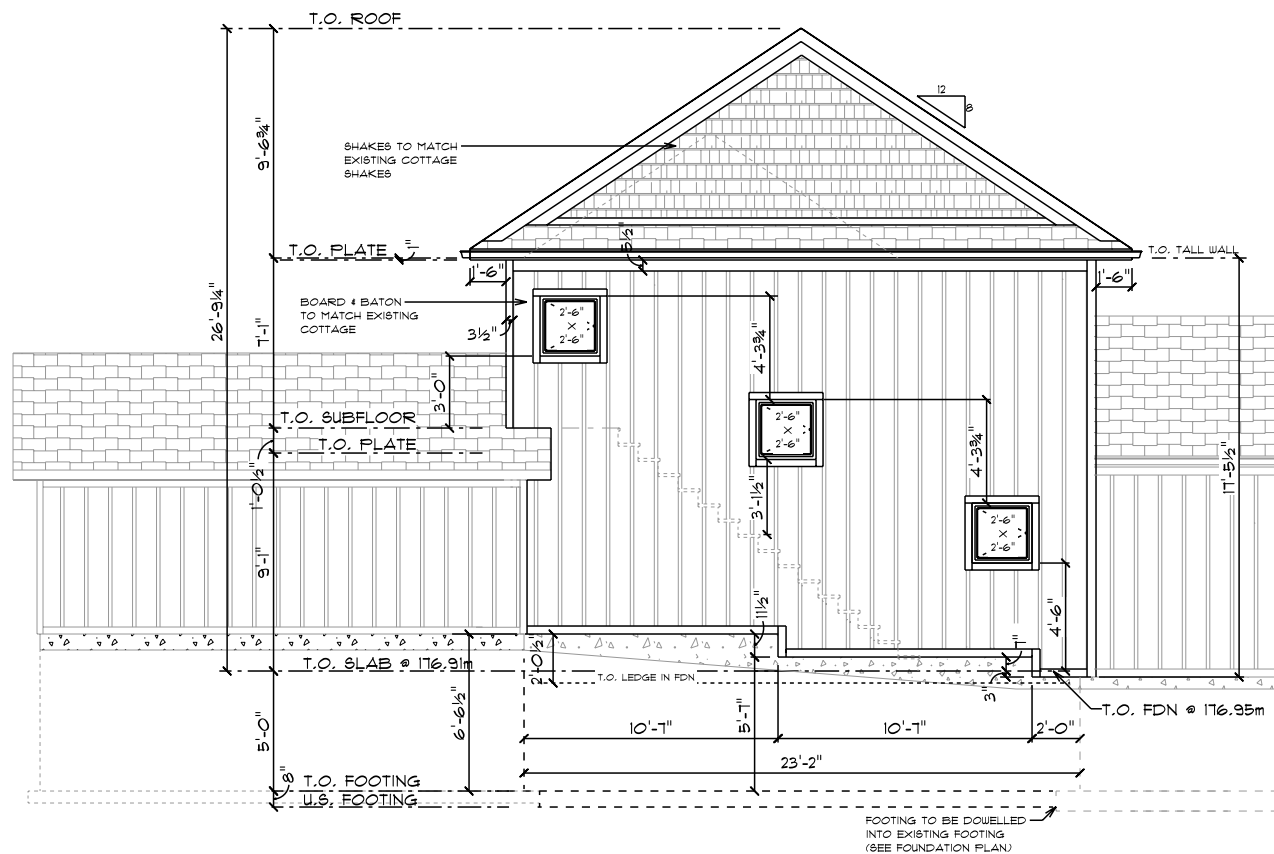
DATE: 5/23/2025

PROJECT: Coulter

A2

REAR ELEVATION

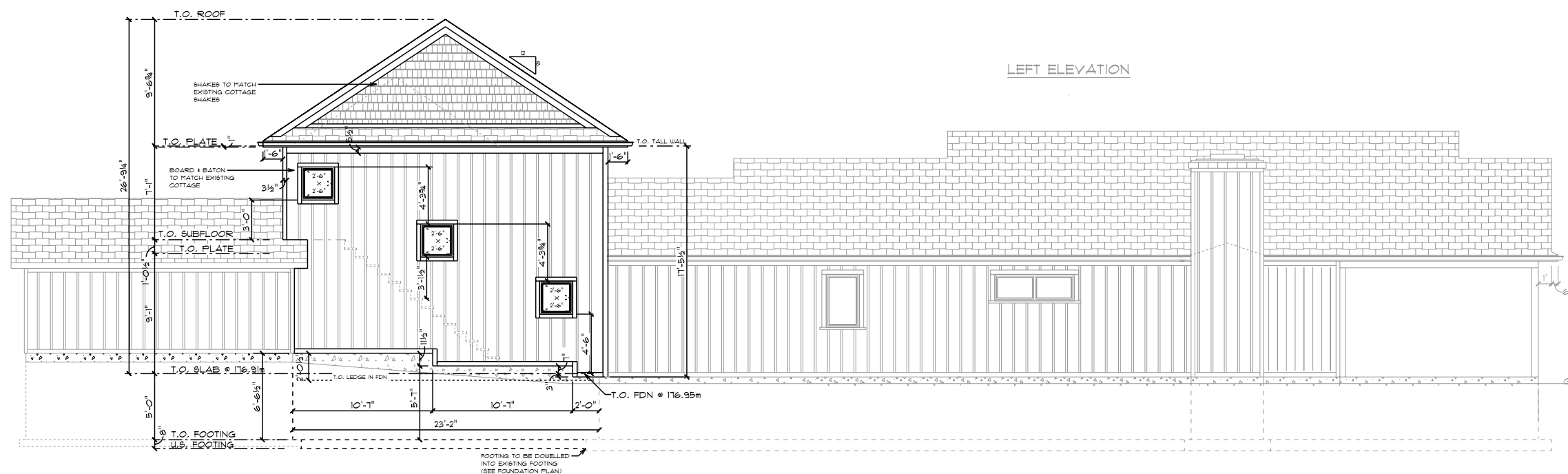
SCALE: 1/8" = 1'-0"



TOP OF FINISHED FLOOR (T.F.F.) OF ADDITION TO MATCH EXISTING T.F.F. @ 176.91m

TOP OF FOUNDATION OF ADDITION AT LOWEST POINT AT REAR ELEVATION = 176.95m

REAR ELEVATION



LEFT ELEVATION



41 KING ST. TILLSONBURG, ON. N4G 3E6
PHONE: (519) 688-0228 EMAIL: DESIGN@DALM.CA
WWW.DALM.CA

- ALL PLANS AND DRAWINGS, IT'S CONCEPTS OR IDEAS, ARE AND REMAIN THE PROPERTY OF DALM CONSTRUCTION LIMITED. NO REPRODUCTIONS ARE TO BE MADE WITHOUT WRITTEN PERMISSION.
- CONTRACTOR TO VERIFY ALL DIMENSIONS.

PROPOSED ADDITION FOR:
KIM & KAREN COULTER
25 Cedar Drive
Turkey Point, Ontario
NOE 1W0

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO DESIGN THE WORK SHOWN.

QUALIFICATION INFORMATION
REQUIRED UNLESS DESIGN IS EXEMPT UNDER 2.17.5.1 OF THE BUILDING CODE.

HENRY DALM 39111
NAME BCIN

SIGNATURE

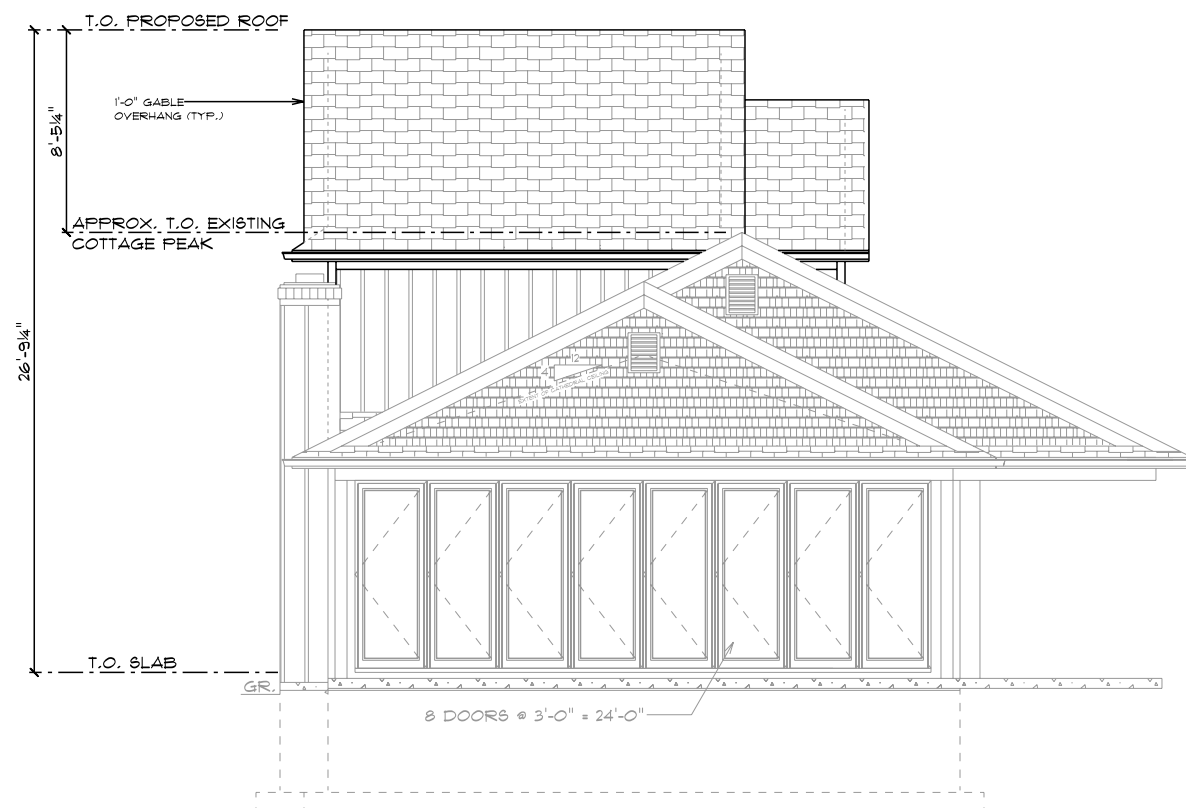
LEFT & RIGHT
ELEVATIONS

DRAWN BY: Claudius Dalm SCALE: 1/8" = 1'-0"
DESIGN BY: Henry Dalm
CHECKED BY: Henry Dalm
DATE: 5/23/2025
PROJECT: Coulter

A3

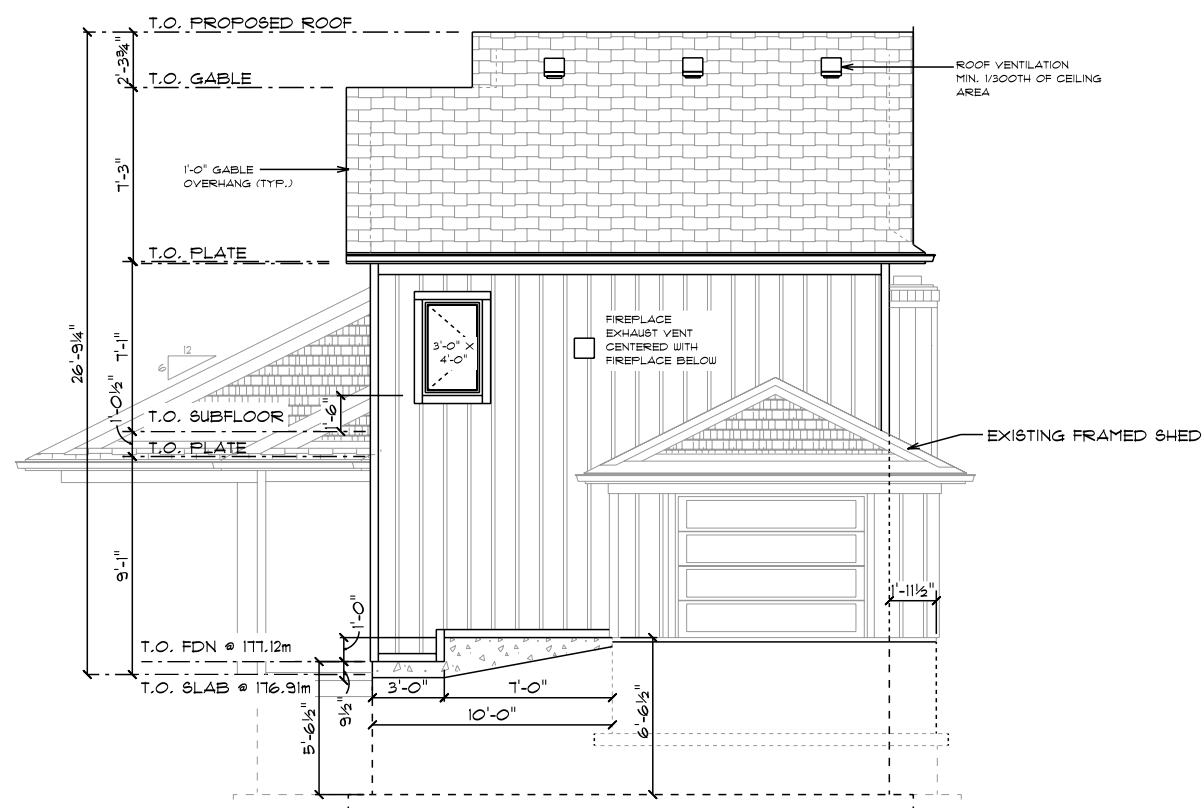
LEFT ELEVATION

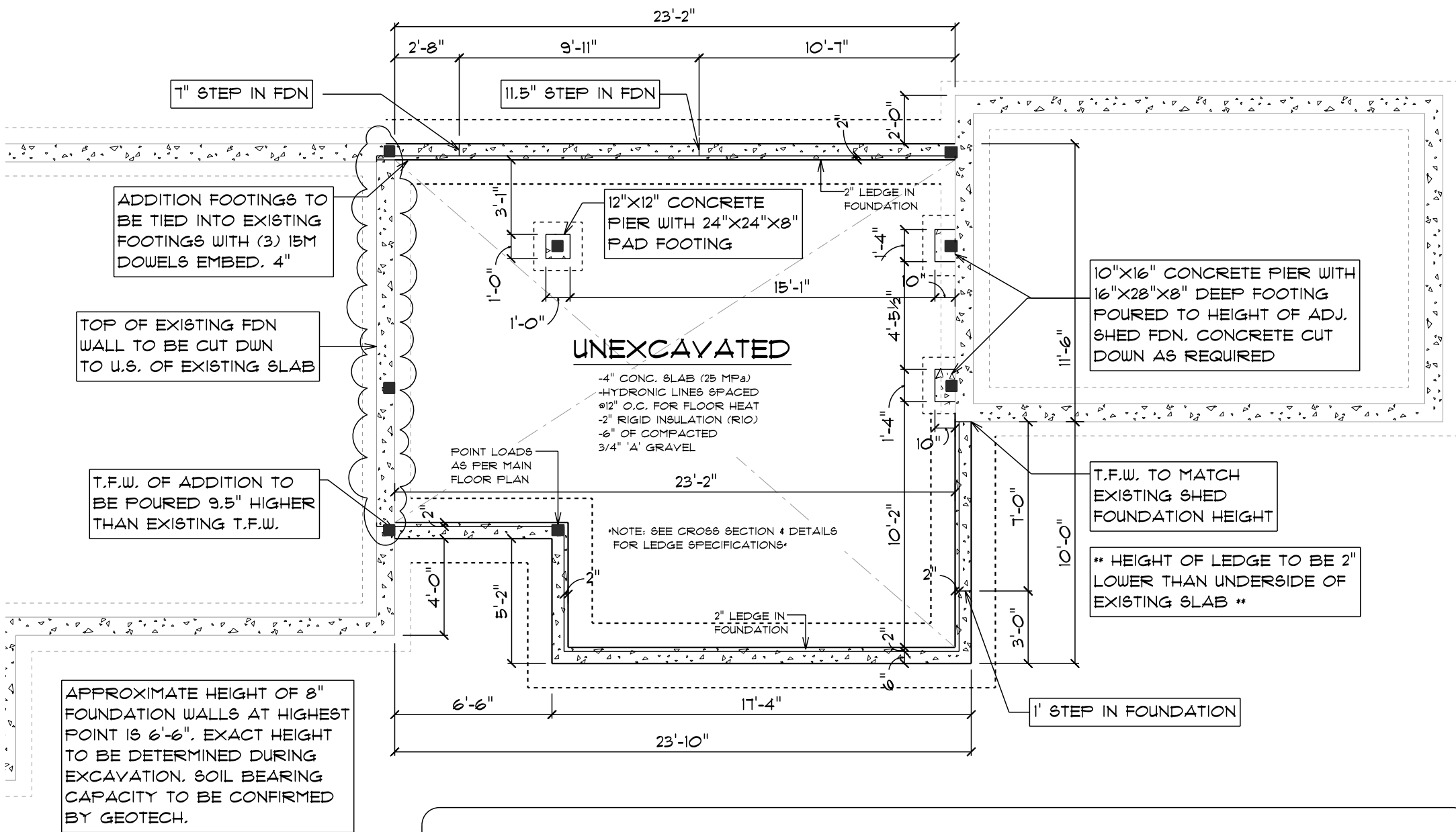
SCALE: 1/8" = 1'-0"



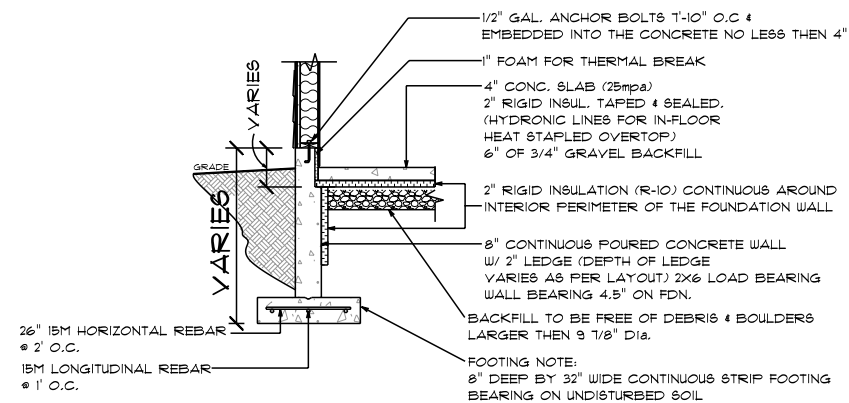
RIGHT ELEVATION

SCALE: 1/8" = 1'-0"

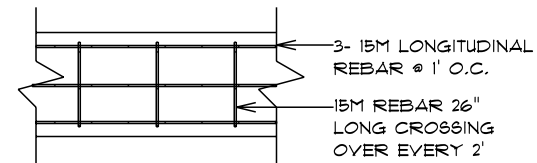




A FOUNDATION DETAIL - EXTERIOR 8" FOUNDATION WALLS NOT TO SCALE



32" X 8" CONCRETE STRIP FOOTING
WITH 3 ROWS OF LONGITUDINAL 15M REBAR
& 1 CROSSING OVER EVERY 24"



41 KING ST. TILLSONBURG, ON. N4G 3E6
PHONE: (519) 688-0228 EMAIL: DESIGN@DALM.CA
WWW.DALM.CA

- ALL PLANS AND DRAWINGS, IT'S CONCEPTS OR IDEAS. ARE AND REMAIN THE PROPERTY OF DALM CONSTRUCTION LIMITED. NO REPRODUCTIONS ARE TO BE MADE WITHOUT WRITTEN PERMISSION.
- CONTRACTOR TO VERIFY ALL DIMENSIONS.

PROPOSED ADDITION FOR:
KIM & KAREN COULTER
25 Cedar Drive
Turkey Point, Ontario
NOE 1W0

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO DESIGN THE WORK SHOWN.

QUALIFICATION INFORMATION
REQUIRED UNLESS DESIGN IS EXEMPT UNDER 2.17.5.1 OF THE BUILDING CODE.

HENRY DALM 39111
NAME BCIN

SIGNATURE

FOUNDATION PLAN

DRAWN BY: Claudius Dalm SCALE: As Noted

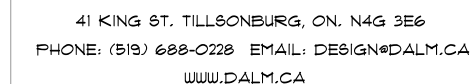
DESIGN BY: Henry Dalm

CHECKED BY: Henry Dalm

DATE: 5/23/2025

PROJECT: Coulter

A4



- ALL PLANS AND DRAWINGS, IT'S CONCEPTS OR IDEAS, ARE AND REMAIN THE PROPERTY OF DALM CONSTRUCTION LIMITED. NO REPRODUCTIONS ARE TO BE MADE WITHOUT WRITTEN PERMISSION.

- CONTRACTOR TO VERIFY ALL DIMENSIONS.

TOTAL NEW SQUARE
FOOTAGE= 488 ft²
(DIMENSIONS TAKEN
FROM OUTSIDE OF
SHEATHING)

TOTAL AREA
INCLUDING
ADDITION &
ALTERATIONS= 645.7 ft²

PROPOSED ADDITION FOR:

KIM & KAREN COULTER
25 Cedar Drive
Turkey Point, Ontario
NOE IWO

THE UNDERSIGNED HAS REVIEWED AND TAKES
RESPONSIBILITY FOR THIS DESIGN AND HAS THE
QUALIFICATIONS AND MEETS THE REQUIREMENTS
SET OUT IN THE ONTARIO BUILDING CODE TO
DESIGN THE WORK SHOWN.

QUALIFICATION INFORMATION

REQUIRED UNLESS DESIGN IS EXEMPT UNDER
2.17.5.1 OF THE BUILDING CODE.

HENRY DALM
NAME

39111
BCIN

SIGNATURE

MAIN FLOOR PLAN

DRAWN BY: Claudius Palm

SCALE: $3/16" = 1'-0"$

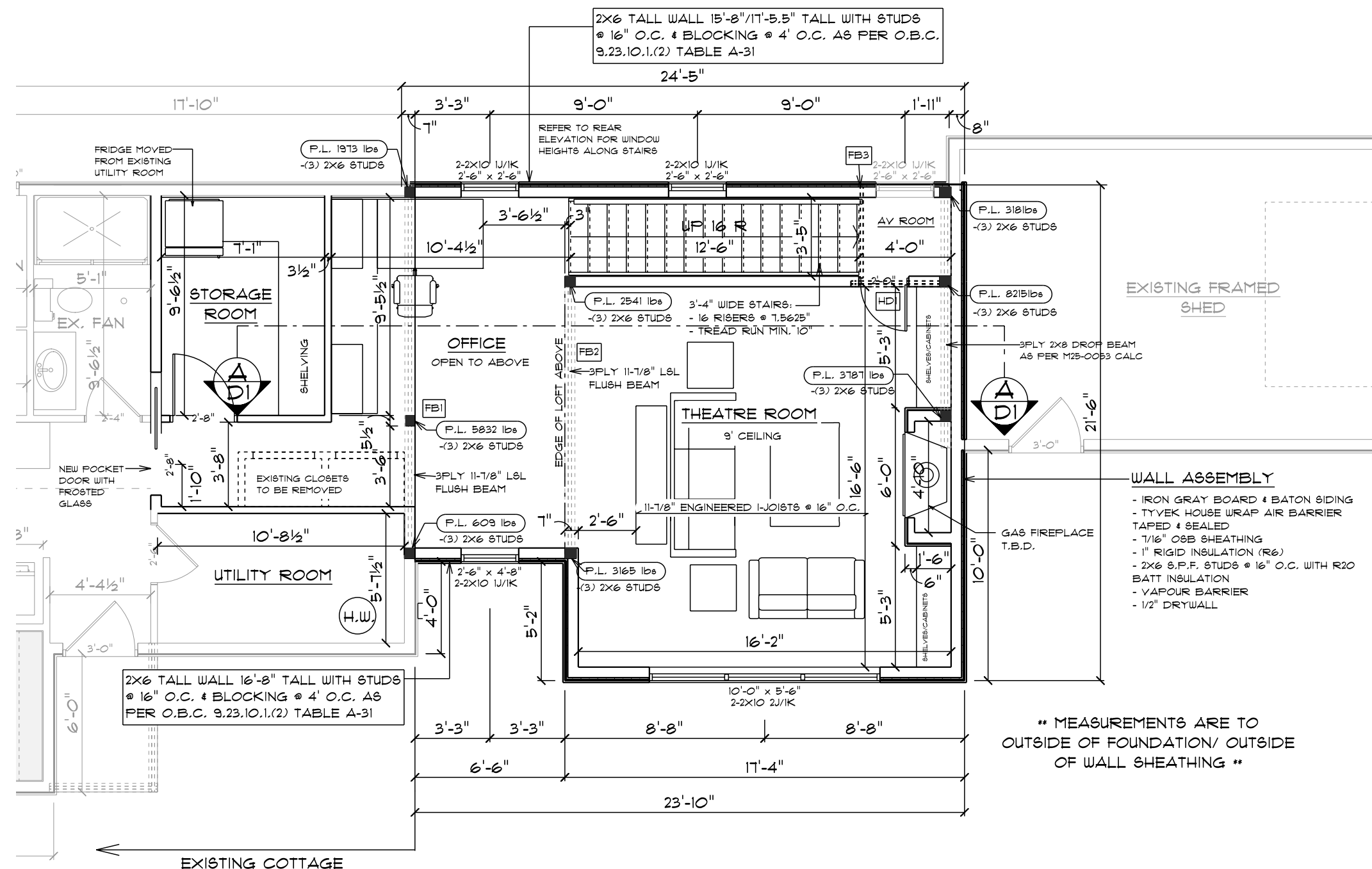
DESIGN BY: Henry Dalm

CHECKED BY: Henry Dalm

DATE: 5/23/2025

PROJECT: Coulter

△ 夢



REFER TO FLOOR SYSTEM
LAYOUT & MEMBER CALCULATIONS FOR
FB1-FB3, HD1, & M25-0053 FOR NAILING PATTERNS
& BEARING REQUIREMENTS



41 KING ST. TILLSONBURG, ON. N4G 3E6
PHONE: (519) 688-0228 EMAIL: DESIGN@DALM.CA
WWW.DALM.CA

- ALL PLANS AND DRAWINGS, IT'S CONCEPTS OR IDEAS, ARE AND REMAIN THE PROPERTY OF DALM CONSTRUCTION LIMITED. NO REPRODUCTIONS ARE TO BE MADE WITHOUT WRITTEN PERMISSION.

- CONTRACTOR TO VERIFY ALL DIMENSIONS.

TOTAL SQUARE FOOTAGE OF LOFT = 322.4 ft²
(DIMENSIONS TAKEN FROM OUTSIDE WALL SHEATHING)

PROPOSED ADDITION FOR:
KIM & KAREN COULTER
25 Cedar Drive
Turkey Point, Ontario
NOE 1W0

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO DESIGN THE WORK SHOWN.

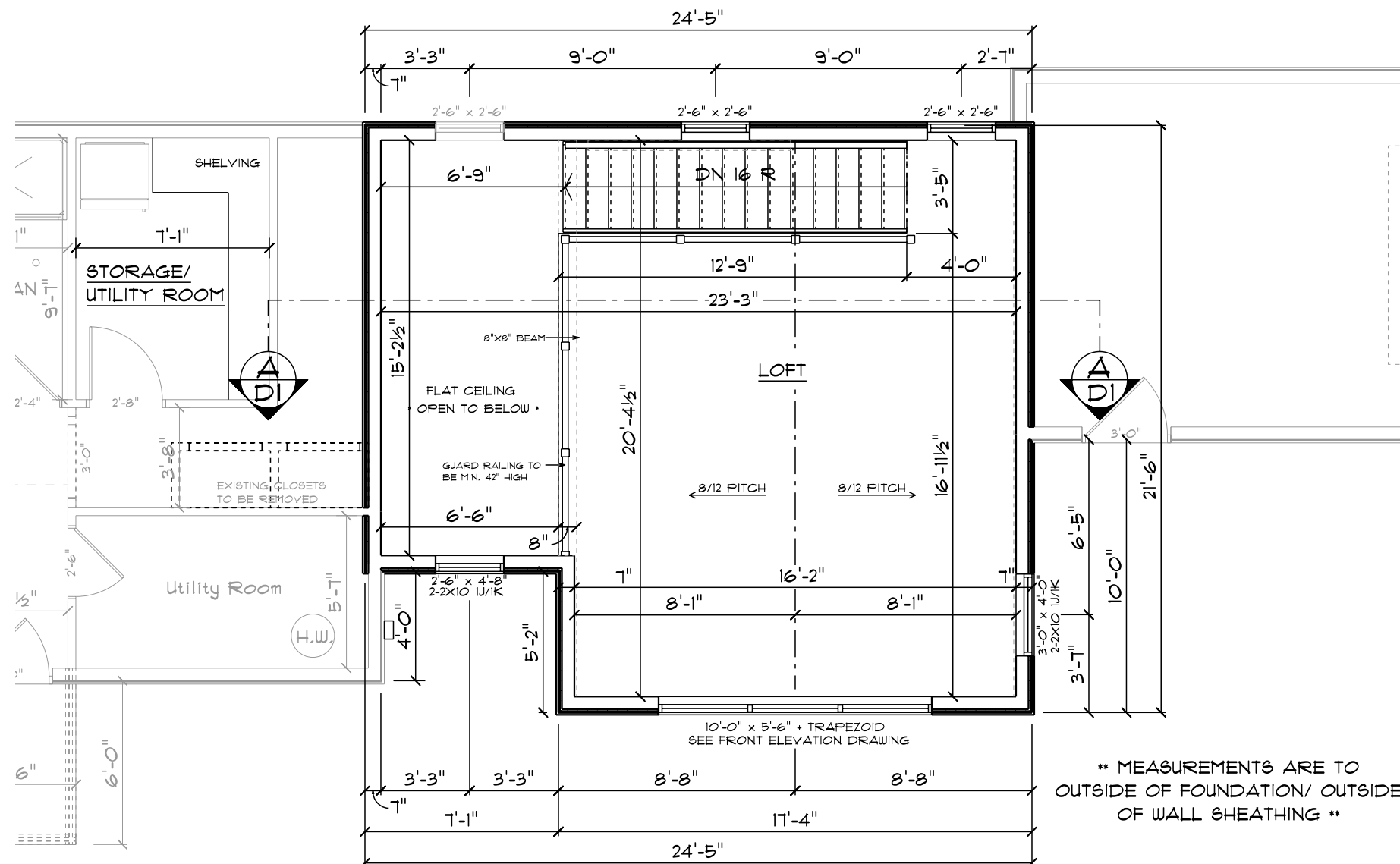
QUALIFICATION INFORMATION
REQUIRED UNLESS DESIGN IS EXEMPT UNDER 2.17.5.1 OF THE BUILDING CODE.

HENRY DALM 39111
NAME BCIN

SIGNATURE

LOFT FLOOR PLAN

DRAWN BY: Claudius Dalm	SCALE: 3/16" = 1'-0"
DESIGN BY: Henry Dalm	A6
CHECKED BY: Henry Dalm	
DATE: 5/23/2025	
PROJECT: Coulter	



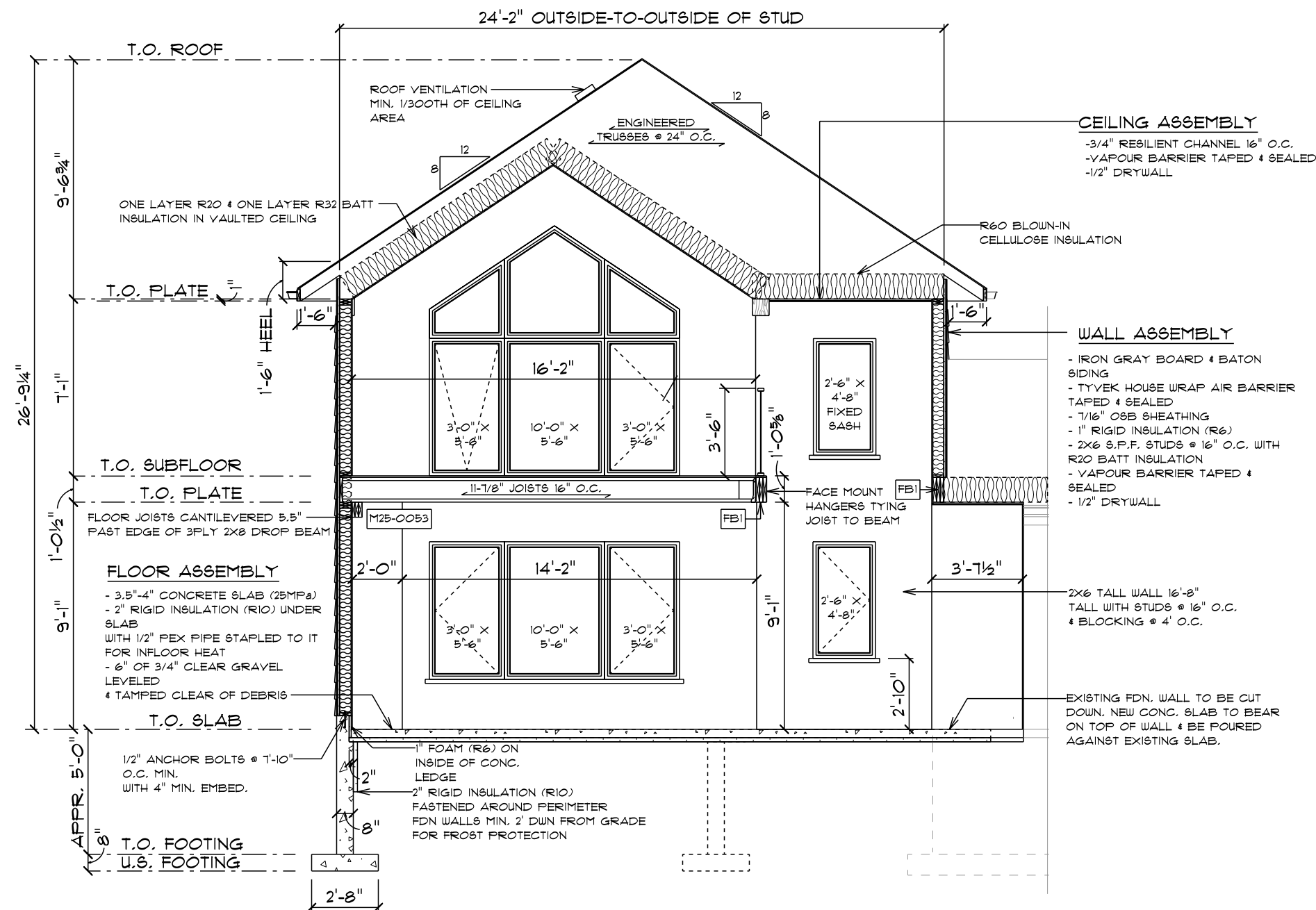
REFER TO TRUSS LAYOUT & DRAWINGS FOR DETAILS ON TRUSS INSTALLATION, BRACING, & BEARING REQUIREMENTS



41 KING ST. TILLSONBURG, ON. N4G 3E6
PHONE: (519) 688-0228 EMAIL: DESIGN@DALM.CA
WWW.DALM.CA

- ALL PLANS AND DRAWINGS, IT'S CONCEPTS OR IDEAS, ARE AND REMAIN THE PROPERTY OF DALM CONSTRUCTION LIMITED. NO REPRODUCTIONS ARE TO BE MADE WITHOUT WRITTEN PERMISSION.

- CONTRACTOR TO VERIFY ALL DIMENSIONS.



PROPOSED ADDITION FOR:
KIM & KAREN COULTER
25 Cedar Drive
Turkey Point, Ontario
NOE 1W0

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO DESIGN THE WORK SHOWN.

QUALIFICATION INFORMATION
REQUIRED UNLESS DESIGN IS EXEMPT UNDER 2.17.5.1 OF THE BUILDING CODE.

HENRY DALM 39111
NAME BCIN

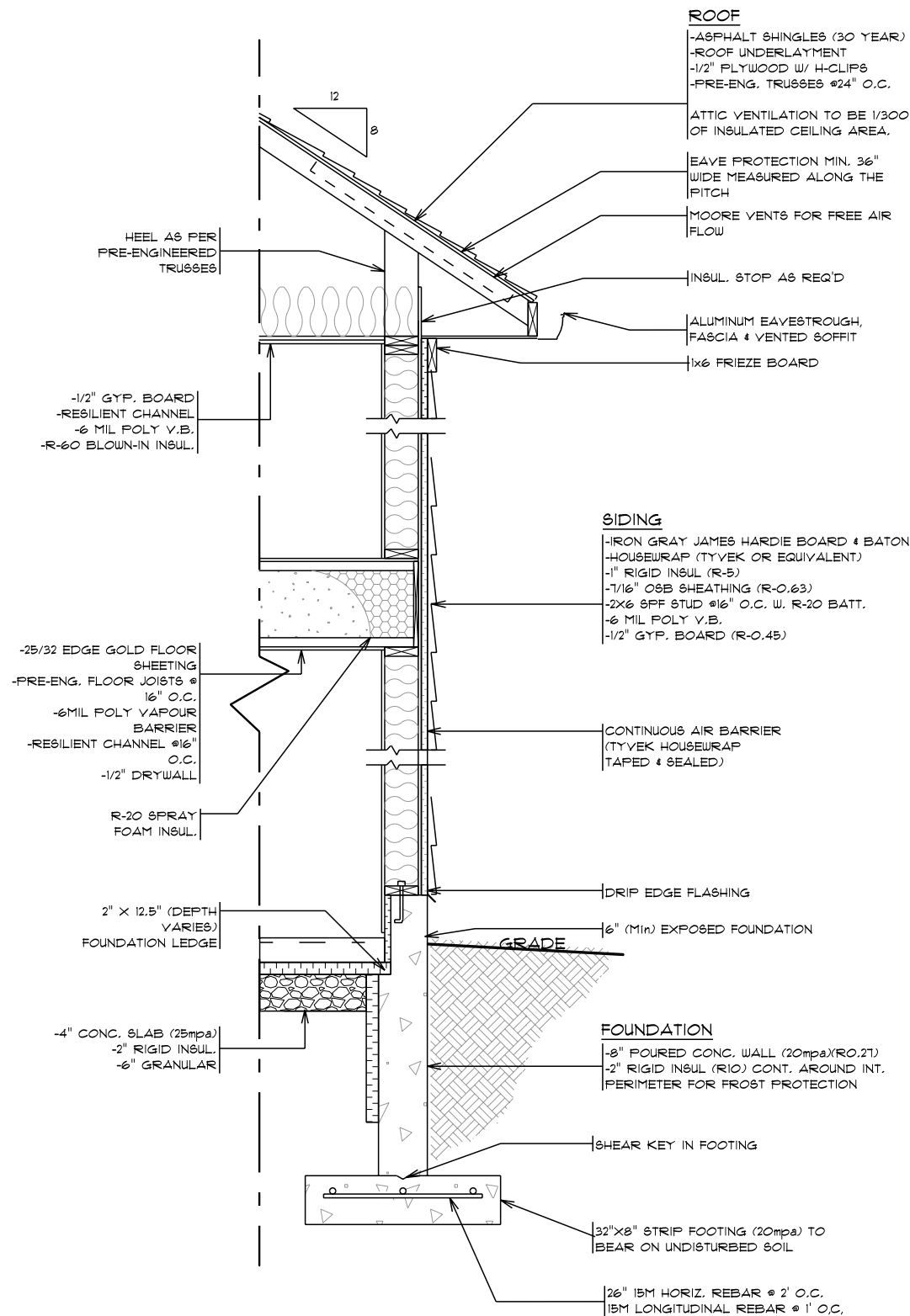
SIGNATURE

CROSS-SECTION A

DRAWN BY: Claudius Dalm SCALE: 3/16" = 1'-0"
DESIGN BY: Henry Dalm
CHECKED BY: Henry Dalm
DATE: 5/23/2025
PROJECT: Coulter

D1

EXTERIOR WALL CROSS-SECTION - SIDING



41 KING ST. TILLSONBURG, ON. N4G 3E6
PHONE: (519) 688-0228 EMAIL: DESIGN@DALM.CA
WWW.DALM.CA

- ALL PLANS AND DRAWINGS, IT'S CONCEPTS OR IDEAS, ARE AND REMAIN THE PROPERTY OF DALM CONSTRUCTION LIMITED. NO REPRODUCTIONS ARE TO BE MADE WITHOUT WRITTEN PERMISSION.

- CONTRACTOR TO VERIFY ALL DIMENSIONS.

PROPOSED ADDITION FOR:

KIM & KAREN COULTER
25 Cedar Drive
Turkey Point, Ontario
NOE 1W0

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO DESIGN THE WORK SHOWN.

QUALIFICATION INFORMATION

REQUIRED UNLESS DESIGN IS EXEMPT UNDER 2.17.5.1 OF THE BUILDING CODE.

HENRY DALM
NAME

39111
BCIN

SIGNATURE

WALL SECTION

DRAWN BY: Claudius Dalm

SCALE: 0.4531" = 1'-0"

DESIGN BY: Henry Dalm

CHECKED BY: Henry Dalm

DATE: 5/23/2025

PROJECT: Coulter

D2



41 KING ST. TILLSONBURG, ON. N4G 3E6
PHONE: (519) 688-0228 EMAIL: DESIGN@DALM.CA
WWW.DALM.CA

- ALL PLANS AND DRAWINGS, IT'S CONCEPTS OR IDEAS, ARE AND REMAIN THE PROPERTY OF DALM CONSTRUCTION LIMITED. NO REPRODUCTIONS ARE TO BE MADE WITHOUT WRITTEN PERMISSION.

- CONTRACTOR TO VERIFY ALL DIMENSIONS.

PROPOSED ADDITION FOR:

KIM & KAREN COULTER
25 Cedar Drive
Turkey Point, Ontario
NOE 1W0

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO DESIGN THE WORK SHOWN.

QUALIFICATION INFORMATION

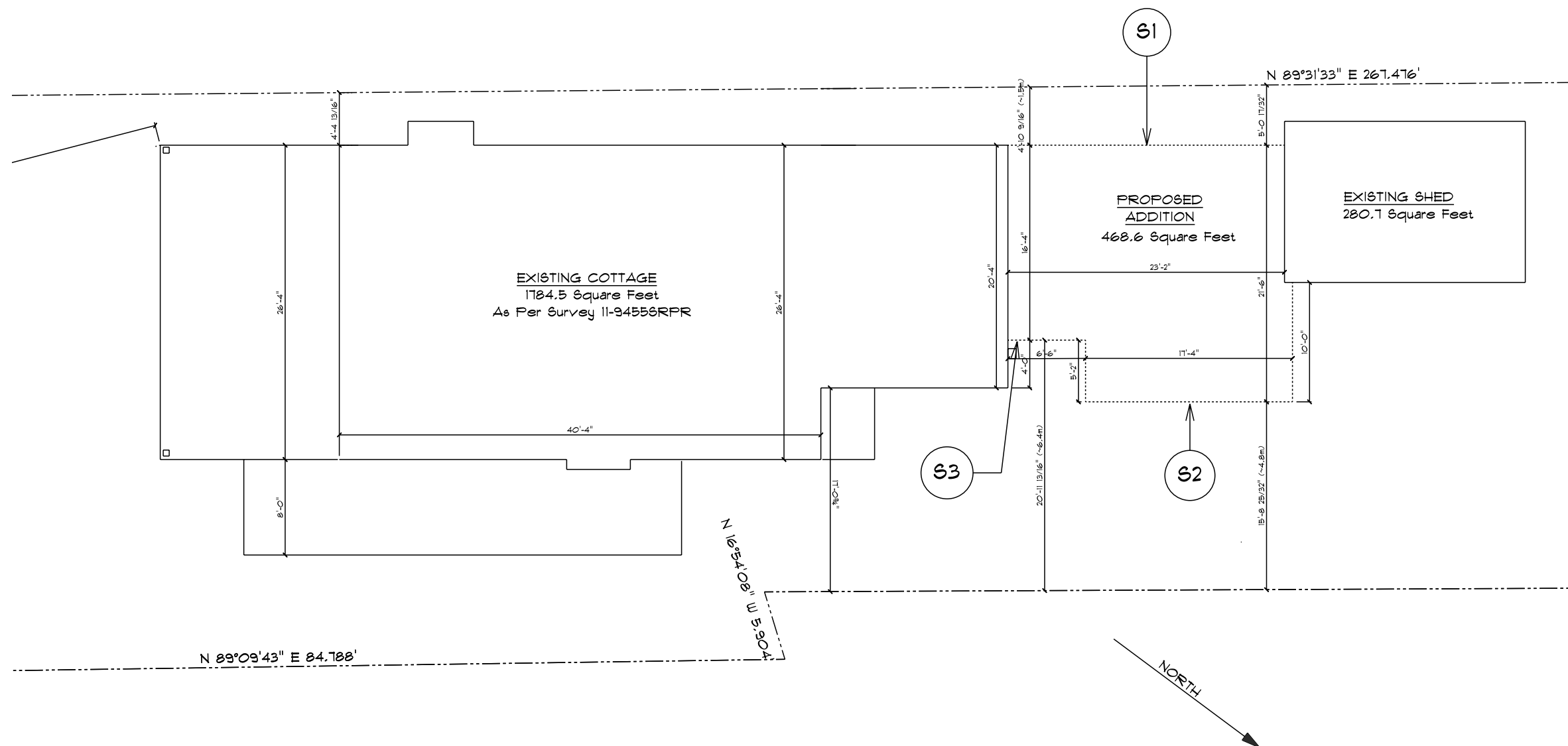
REQUIRED UNLESS DESIGN IS EXEMPT UNDER 2.17.5.1 OF THE BUILDING CODE.

HENRY DALM 39111
NAME BCIN

SIGNATURE

SPATIAL SEPARATION CALCULATIONS

DRAWN BY: Claudius Dalm	SCALE: 0.0938" = 1'-0"
DESIGN BY: Henry Dalm	S1
CHECKED BY: Henry Dalm	
DATE: 5/23/2025	
PROJECT: Coulter	



S1 REAR WALL

GROSS EXPOSED WALL AREA = 414.5 Sq. Ft.
(38.5 sq.m.)
GLAZING OPENINGS AREA = 18.75 Sq. Ft. (1.74 sq.m.)
% GLAZED OPENINGS = 4.5%
MAX. ALLOW. AREA OF GLAZED OPENINGS @ L.D. 1.5m
IS 8% AS PER OBC TABLE 9.10.15.4.

S2 FRONT WALL (THEATRE RM & LOFT)

GROSS EXPOSED WALL AREA = 322.6 Sq. Ft.
(30 sq.m.)
GLAZING OPENINGS AREA = 115.8 Sq. Ft.
(10.76 sq.m.)
% GLAZED OPENINGS = 35.9%
MAX. ALLOW. AREA OF GLAZED OPENINGS @ L.D. 4m
IS 39% AS PER OBC TABLE 9.10.15.4.

S3 FRONT WALL (OFFICE)

GROSS EXPOSED WALL AREA = 113.1 Sq. Ft.
(10.5 sq.m.)
GLAZING OPENINGS AREA = 23.3 Sq. Ft. (2.2 sq.m.)
% GLAZED OPENINGS = 20.9%
MAX. ALLOWABLE AREA OF GLAZED OPENINGS @ L.D. 6m
IS 100% AS PER OBC TABLE 9.10.15.4.

K. Declaration

I, Claude Dahn of Ingersoll, ON
solemnly declare that:

all of the above statements and the statements contained in all of the exhibits
transmitted herewith are true and I make this solemn declaration conscientiously
believing it to be true and knowing that it is of the same force and effect as if made
under oath and by virtue of *The Canada Evidence Act*.

Declared before me at:

SIMCOE, ONT



Owner/Applicant/Agent Signature

In NORFOLK COUNTY

This 18th day of JUNE 2025

A.D., 20 25


A Commissioner, etc.


Sherry Ann Mott, a
Commissioner, etc., Province of Ontario.
for the Corporation of Norfolk County.
Expires March 16, 2026.

CONTEXT MAP

Geographic Township of CHARLOTTEVILLE

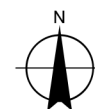


Legend

 Subject Lands

2020 Air Photo

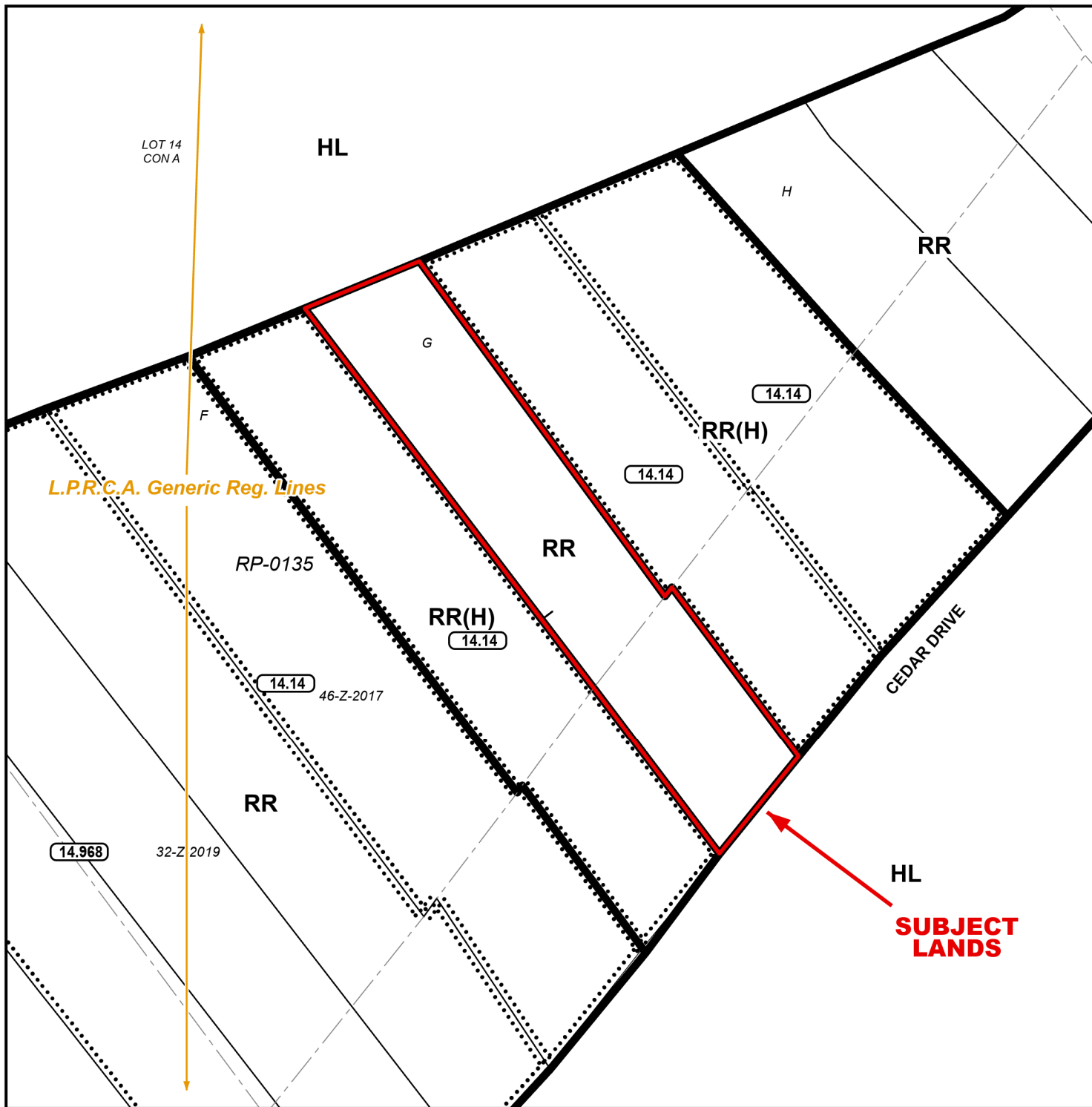
7/9/2025



30 15 0 30 60 90 120 Meters

MAP B
ZONING BY-LAW MAP
 Geographic Township of CHARLOTTEVILLE

ANPL2025206



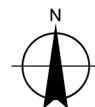
LEGEND

- Subject Lands
- LPRCA Generic RegLines

ZONING BY-LAW 1-Z-2014

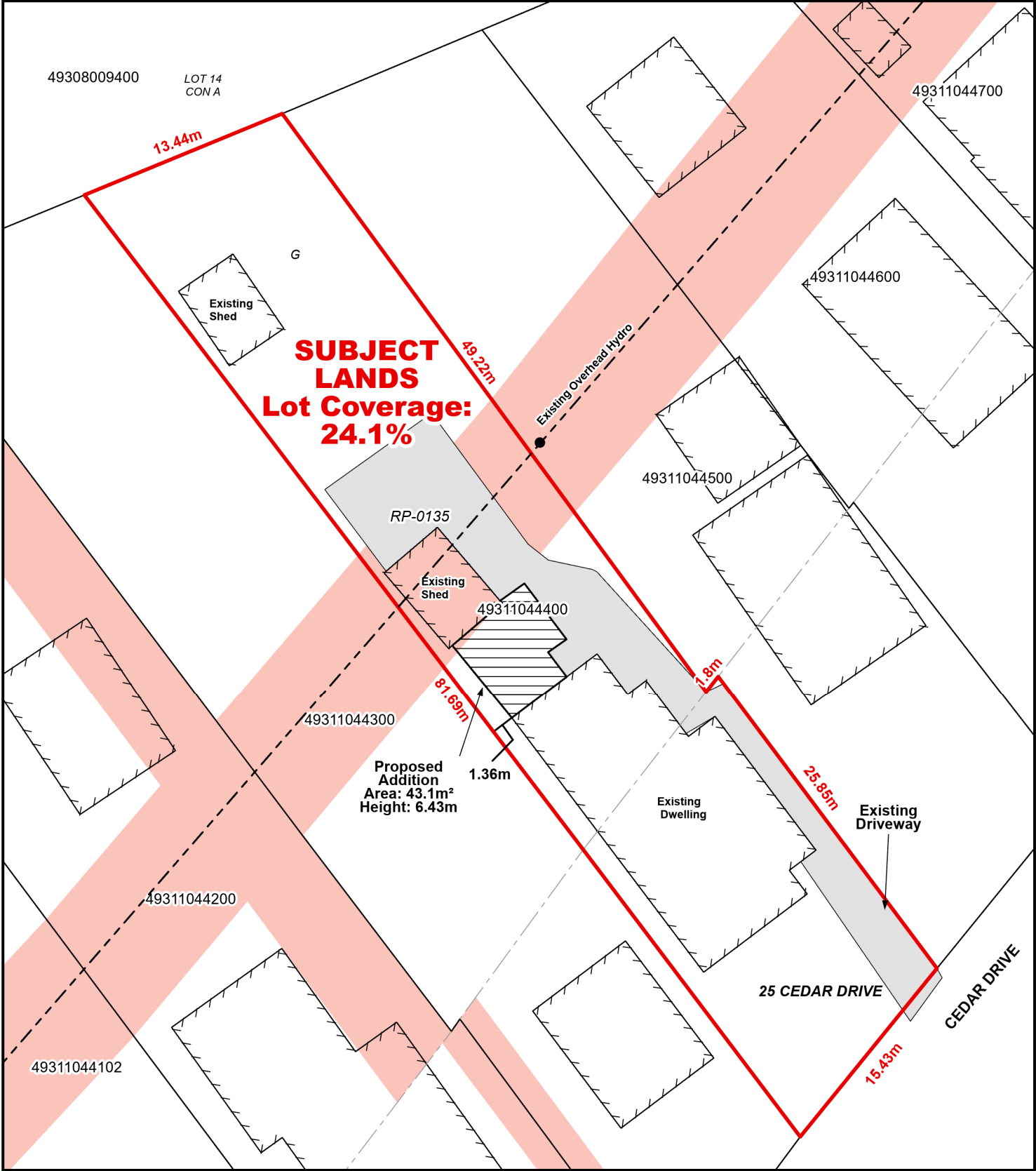
7/9/2025

- (H) - Holding
- HL - Hazard Land Zone
- RR - Resort Residential Zone



5 2.5 0 5 10 15 20 Meters

CONCEPTUAL PLAN
Geographic Township of CHARLOTTEVILLE



Legend

- Subject Lands
- Easements

7/9/2025

