

**For Office Use Only:**

File Number	_____	Application Fee	_____
Related File Number	_____	Conservation Authority Fee	_____
Pre-consultation Meeting	_____	Well & Septic Info Provided	_____
Application Submitted	_____	Planner	_____
Complete Application	_____	Public Notice Sign	_____

**Check the type of planning application(s) you are submitting.**

- ☐ Consent/Severance/Boundary Adjustment  
☐ Surplus Farm Dwelling Severance and Zoning By-law Amendment  
☒ Minor Variance  
☐ Easement/Right-of-Way

**Property Assessment Roll Number:**

493100 19600

**A. Applicant Information**

**Name of Owner**

Marleen & Arjan Kremers

It is the responsibility of the owner or applicant to notify the planner of any changes in ownership within 30 days of such a change.

**Address**

121 Ordnance Avenue

**Town and Postal Code**

Turkey Point

**Phone Number**

1-519-688-8899

**Cell Number**

Same as above

**Email**

marleen@agrichoice.ca

**Name of Applicant**

Claude Dalm

**Address**

41 King Street

**Town and Postal Code**

Tilsonburg N4G 3E6

**Phone Number**

519-688-0228

**Cell Number**

519-550-1307

**Email**

design@dalm.ca

Name of Agent

Claude Dalm

Address

41 King Street

Town and Postal Code

Tillsonburg N4G 3E6

Phone Number

519-688-0228

Cell Number

519-550-1307

Email

design@dalm.ca

Please specify to whom all communications should be sent. Unless otherwise directed, all correspondence and notices in respect of this application will be forwarded to the owner and agent noted above.

☐ Owner

☐ Agent

☒ Applicant

Names and addresses of any holder of any mortgagees, charges or other encumbrances on the subject lands:

**B. Location, Legal Description and Property Information**

1. Legal Description (include Geographic Township, Concession Number, Lot Number, Block Number and Urban Area or Hamlet):

Turkey Point, PLAN 133 PT LOT 55 CONCESSION A  
PT LOT 11 RP37R1541 PART 31 AND 32

Municipal Civic Address: 121 ORDONANCE AVENUE

Present Official Plan Designation(s): Resort Residential Designation

Present Zoning: Resort Residential

2. Is there a special provision or site specific zone on the subject lands?

☐ Yes ☒ No If yes, please specify:

3. Present use of the subject lands:

Used as a seasonal cottage

4. Please describe **all existing** buildings or structures on the subject lands and whether they are to be retained, demolished or removed. If retaining the buildings or structures, please describe the type of buildings or structures, and illustrate the setback, in metric units, from front, rear and side lot lines, ground floor area, gross floor area, lot coverage, number of storeys, width, length, and height on your attached sketch which must be included with your application:

Back sun room at back of property to be retained. (15.3m<sup>2</sup>)  
Vinyl sided shed to be demolished. See attached  
Surveyor's real property report.

5. If an addition to an existing building is being proposed, please explain what it will be used for (for example a bedroom, kitchen, or bathroom). If new fixtures are proposed, please describe.

N/A

6. Please describe **all proposed** buildings or structures/additions on the subject lands. Describe the type of buildings or structures/additions, and illustrate the setback, in metric units, from front, rear and side lot lines, ground floor area, gross floor area, lot coverage, number of storeys, width, length, and height on your attached sketch which must be included with your application:

Proposed 2-storey cottage with attached  
garage. Refer to proposed site plan for setbacks  
& lot coverage.

7. Are any existing buildings on the subject lands designated under the Ontario Heritage Act as being architecturally and/or historically significant? Yes ☐ No ☒

If yes, identify and provide details of the building:

8. If known, the length of time the existing uses have continued on the subject lands:

Not known

9. Existing use of abutting properties:

Resort Residential - Seasonal Cottages

10. Are there any easements or restrictive covenants affecting the subject lands?

☒ Yes ☐ No If yes, describe the easement or restrictive covenant and its effect:

Hydro Easement at back of property to allow  
for work on hydro lines. Gravel fenced in gravel  
laneway for access to back of cottage.

### C. Purpose of Development Application

Note: Please complete all that apply. **Failure to complete this section will result in an incomplete application.**

#### 1. Site Information (Please refer to Zoning By-law to confirm permitted dimensions)

	Existing	Permitted	Provision	Proposed	Deficiency
Lot frontage	10.668m				
Lot depth	70.1m				
Lot width	10.668m				
Lot area	744.2m <sup>2</sup>				
Lot coverage	17.3%+(5.9%)	15%+(10%)	5.8.2 h)	28%+(2%)	13%
Front yard	3.7m	6m	5.8.2 c)	4.75m	1.25m
Rear yard	~33.7m	9m	5.8.2 f)	18.8m	
Height	N/A	9.1m	5.8.2 g)	8m	
Left Interior side yard	2.72m	1.2m	5.8.2 e)	1.2m	
Right Interior side yard	1.15m @ Closest Point	1.2m	5.8.2 e)	1.2m	
Exterior side yard (corner lot)					
Parking Spaces (number)					
Aisle width					
Stall size					
Loading Spaces					
Other					



2. Please explain why it is not possible to comply with the provision(s) of the Zoning By-law:

Size of lot doesn't allow for necessary amenities with lot coverage only at 15%  
Setback from property line is too tight at 6m to allow for adequate covered porch at front.

N/A

3. **Consent/Severance/Boundary Adjustment:** Description of land intended to be severed in metric units:

Frontage: \_\_\_\_\_

Depth: \_\_\_\_\_

Width: \_\_\_\_\_

Lot Area: \_\_\_\_\_

Present Use: \_\_\_\_\_

Proposed Use: \_\_\_\_\_

Proposed final lot size (if boundary adjustment): \_\_\_\_\_

If a boundary adjustment, identify the assessment roll number and property owner of the lands to which the parcel will be added: \_\_\_\_\_

Description of land intended to be retained in metric units:

Frontage: \_\_\_\_\_

Depth: \_\_\_\_\_

Width: \_\_\_\_\_

Lot Area: \_\_\_\_\_

Present Use: \_\_\_\_\_

Proposed Use: \_\_\_\_\_

Buildings on retained land: \_\_\_\_\_

N/A

4. **Easement/Right-of-Way:** Description of proposed right-of-way/easement in metric units:

Frontage: \_\_\_\_\_

Depth: \_\_\_\_\_

Width: \_\_\_\_\_  
Area: \_\_\_\_\_  
Proposed Use: \_\_\_\_\_

N/A

**5. Surplus Farm Dwelling Severances Only:** List all properties in Norfolk County, which are owned and farmed by the applicant and involved in the farm operation

Owners Name: \_\_\_\_\_  
Roll Number: \_\_\_\_\_  
Total Acreage: \_\_\_\_\_  
Workable Acreage: \_\_\_\_\_  
Existing Farm Type: (for example: corn, orchard, livestock) \_\_\_\_\_  
Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built \_\_\_\_\_  
Date of Land Purchase: \_\_\_\_\_

Owners Name: \_\_\_\_\_  
Roll Number: \_\_\_\_\_  
Total Acreage: \_\_\_\_\_  
Workable Acreage: \_\_\_\_\_  
Existing Farm Type: (for example: corn, orchard, livestock) \_\_\_\_\_  
Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built \_\_\_\_\_  
Date of Land Purchase: \_\_\_\_\_

Owners Name: \_\_\_\_\_  
Roll Number: \_\_\_\_\_  
Total Acreage: \_\_\_\_\_  
Workable Acreage: \_\_\_\_\_  
Existing Farm Type: (for example: corn, orchard, livestock) \_\_\_\_\_  
Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built \_\_\_\_\_  
Date of Land Purchase: \_\_\_\_\_

Owners Name: \_\_\_\_\_  
Roll Number: \_\_\_\_\_  
Total Acreage: \_\_\_\_\_  
Workable Acreage: \_\_\_\_\_  
Existing Farm Type: (for example: corn, orchard, livestock) \_\_\_\_\_  
Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built \_\_\_\_\_  
Date of Land Purchase: \_\_\_\_\_

Owners Name: \_\_\_\_\_  
Roll Number: \_\_\_\_\_  
Total Acreage: \_\_\_\_\_  
Workable Acreage: \_\_\_\_\_  
Existing Farm Type: (for example: corn, orchard, livestock) \_\_\_\_\_  
Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built \_\_\_\_\_  
Date of Land Purchase: \_\_\_\_\_

**Note:** If additional space is needed please attach a separate sheet.

**D. All Applications: Previous Use of the Property**

1. Has there been an industrial or commercial use on the subject lands or adjacent lands? ☐ Yes ☒ No ☒ Unknown

If yes, specify the uses (for example: gas station, or petroleum storage):

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

2. Is there reason to believe the subject lands may have been contaminated by former uses on the site or adjacent sites? ☐ Yes ☒ No ☐ Unknown

3. Provide the information you used to determine the answers to the above questions: /

Existing cottage has been there unchanged since possession of property was taken.

- W/A 4. If you answered yes to any of the above questions in Section D, a previous use inventory showing all known former uses of the subject lands, or if appropriate, the adjacent lands, is needed. Is the previous use inventory attached? ☐ Yes ☐ No

**E. All Applications: Provincial Policy**

1. Is the requested amendment consistent with the provincial policy statements issued under subsection 3(1) of the *Planning Act*, R.S.O. 1990, c. P. 13? ☒ Yes ☐ No

If no, please explain:

2. It is owner's responsibility to be aware of and comply with all relevant federal or provincial legislation, municipal by-laws or other agency approvals, including the Endangered Species Act, 2007. Have the subject lands been screened to ensure that development or site alteration will not have any impact on the habitat for endangered or threatened species further to the provincial policy statement subsection 2.1.7? ☐ Yes ☒ No

If no, please explain:

No endangered or threatened species present on property since possession of property was taken.

3. Have the subject lands been screened to ensure that development or site alteration will not have any impact on source water protection? ☐ Yes ☒ No

If no, please explain: will be

Structures built within same general area as existing cottage and vinyl shed is located.

Note: If in an area of source water Wellhead Protection Area (WHPA) A, B or C please attach relevant information and approved mitigation measures from the Risk Manager Official.

4. All Applications: Are any of the following uses or features on the subject lands or within 500 metres of the subject lands, unless otherwise specified? Please check boxes, if applicable.

**Livestock facility or stockyard** (submit MDS Calculation with application)

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Wooded area**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Municipal Landfill**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Sewage treatment plant or waste stabilization plant**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Provincially significant wetland (class 1, 2 or 3) or other environmental feature**

☐ On the subject lands or ☒ within 500 meters – distance Channel at Back of property & TP beach at front of property across the road.

**Floodplain**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Rehabilitated mine site**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Non-operating mine site within one kilometre**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Active mine site within one kilometre**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Industrial or commercial use (specify the use(s))**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Active railway line**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Seasonal wetness of lands**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Erosion**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Abandoned gas wells**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

## F. All Applications: Servicing and Access

1. Indicate what services are available or proposed:

Water Supply

- ☒ Municipal piped water  
☐ Individual wells

- ☐ Communal wells  
☐ Other (describe below)

Sewage Treatment

- ☐ Municipal sewers  
☐ Communal system  
☐ Septic tank and tile bed in good working order ☒ Other (describe below)

Holding tank at back of property

Storm Drainage

- ☐ Storm sewers  
☐ Other (describe below)

- ☐ Open ditches

Property is graded and sloped from front to back of property.

2. Existing or proposed access to subject lands:

- ☒ Municipal road  
☐ Unopened road

- ☐ Provincial highway  
☒ Other (describe below)

Name of road/street:

Accessible by Ordinance Avenue & Grandfathered  
Gravel laneway at back of property.

## G. All Applications: Other Information

1. Does the application involve a local business? ☐ Yes ☒ No

If yes, how many people are employed on the subject lands?

2. Is there any other information that you think may be useful in the review of this application? If so, explain below or attach on a separate page.

The survey of existing cottage on property.  
It shows the setback to front deck of  
cottage as 3.7m. which is closer to  
front property line than what we are proposing  
at 4.75m..

#### **H. Supporting Material to be submitted by Applicant**

In order for your application to be considered complete, folded hard copies (number of paper copies as directed by the planner) and an **electronic version (PDF) of the site plan drawings, additional plans, studies and reports** will be required, including but not limited to the following details:

1. Concept/Layout Plan
2. All measurements in metric
3. Existing and proposed easements and right of ways
4. Parking space totals – required and proposed
5. All dimensions of the subject lands
6. Dimensions and setbacks of all buildings and structures
7. Location and setbacks of septic system and well from all existing and proposed lot lines, and all existing and proposed structures
8. Names of adjacent streets
9. Natural features, watercourses and trees

In addition, the following additional plans, studies and reports, including but not limited to, **may** also be required as part of the complete application submission:

- ☐ On-Site Sewage Disposal System Evaluation Form (to verify location and condition)
- ☐ Environmental Impact Study
- ☐ Geotechnical Study / Hydrogeological Review
- ☐ Minimum Distance Separation Schedule
- ☐ Record of Site Condition

Your development approval might also be dependent on Ministry of Environment Conservation and Parks, Ministry of Transportation or other relevant federal or provincial legislation, municipal by-laws or other agency approvals.

**All final plans must include the owner's signature as well as the engineer's signature and seal.**



## I. Transfers, Easements and Postponement of Interest

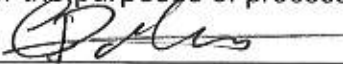
The owner acknowledges and agrees that if required it is their solicitor's responsibility on behalf of the owner for the registration of all transfer(s) of land to the County, and/or transfer(s) of easement in favour of the County and/or utilities. Also, the owner further acknowledges and agrees that it is their solicitor's responsibility on behalf of the owner for the registration of postponements of any charges in favour of the County.

## Permission to Enter Subject Lands

Permission is hereby granted to Norfolk County officers, employees or agents, to enter the premises subject to this application for the purposes of making inspections associated with this application, during normal and reasonable working hours.

## Freedom of Information

For the purposes of the *Municipal Freedom of Information and Protection of Privacy Act*, I authorize and consent to the use by or the disclosure to any person or public body any information that is collected under the authority of the *Planning Act*, R.S.O. 1990, c. P. 13 for the purposes of processing this application.



Owner/Applicant/Agent Signature

June 16, 2025

Date

## J. Owner's Authorization

If the applicant/agent is not the registered owner of the lands that is the subject of this application, the owner must complete the authorization set out below.

I/We \_\_\_\_\_ am/are the registered owner(s) of the lands that is the subject of this application.

I/We authorize \_\_\_\_\_ to make this application on my/our behalf and to provide any of my/our personal information necessary for the processing of this application. Moreover, this shall be your good and sufficient authorization for so doing.

X Claudio Dalm

Owner



Date

\_\_\_\_\_

Owner

\_\_\_\_\_

Date

**\*Note:** If property is owned by an Ontario Ltd. Corporation, Articles of Incorporation are required to be attached to the application.

**K. Declaration**

I, Claude Dahn of Ingersoll, ON  
solemnly declare that:

all of the above statements and the statements contained in all of the exhibits  
transmitted herewith are true and I make this solemn declaration conscientiously  
believing it to be true and knowing that it is of the same force and effect as if made  
under oath and by virtue of *The Canada Evidence Act*.

Declared before me at:

SIMCOE ONT



Owner/Applicant/Agent Signature

In NORFOLK COUNTY

This 18<sup>th</sup> day of JUNE 2025

A.D., 20 25



Sherry Ann Mott, a  
Commissioner, etc., Province of Ontario,  
for the Corporation of Norfolk County.  
Expires March 18, 2026.

A Commissioner, etc.



SURVEYOR'S REAL PROPERTY REPORT

(PART 1) PLAN OF  
PART OF LOT 55  
REGISTERED PLAN 133 (TURKEY POINT)  
PART OF LOT 11  
TURKEY POINT MARSH IN FRONT  
OF CONCESSION A  
GEOGRAPHIC TOWNSHIP OF CHARLOTTEVILLE  
NORFOLK COUNTY

KIM HUSTED SURVEYING LTD.

(PART 2)  
REPORT SUMMARY (TO BE READ IN CONJUNCTION WITH PLAN OF SURVEY)  
REGISTERED EASEMENTS AND/OR RIGHTS-OF-WAY: SUBJECT TO RIGHT-OF-WAY AND  
SUBJECT TO EASEMENT AS SET OUT IN NR579006, TOGETHER WITH A RIGHT-OF-WAY  
AS SET OUT IN NR579006.  
COMPLIANCE WITH MUNICIPAL OFFICIAL PLANS AND  
ZONING BY-LAWS: NOT CERTIFIED BY THIS REPORT  
ADDITIONAL REMARKS: PROPERTY DESCRIPTION: PART OF LOT 55, REGISTERED PLAN 133  
TURKEY POINT, AND PART OF LOT 11, TURKEY POINT MARSH IN FRONT OF CONCESSION A  
(PARTS 31 & 32, 37R-1541), GEOGRAPHIC TOWNSHIP OF CHARLOTTEVILLE, NORFOLK COUNTY  
ALL OF P.L.N. 50267-0339  
SUBJECT PROPERTY AREA = 744.20 SQUARE METRES  
AREA OF SUBJECT PROPERTY COVERED BY COTTAGE, DECKS AND PATIO  
= 128.72 SQUARE METRES  
COVERAGE = 17.3 %  
AREA OF SUBJECT PROPERTY COVERED BY SHED, SUN ROOM AND PATIO  
= 44.18 SQUARE METRES  
COVERAGE = 5.9 %

THIS SURVEYOR'S REAL PROPERTY REPORT HAS BEEN PREPARED FOR  
HENRY DALM CONSTRUCTION  
AND THE UNDERSIGNED ACCEPTS NO RESPONSIBILITY  
FOR USE BY OTHERS

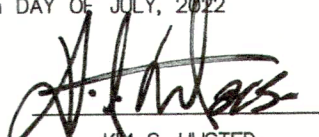
THIS REPORT CAN BE UPDATED BY KIM HUSTED SURVEYING LTD.  
HOWEVER NO ADDITIONAL PRINTS OF THIS ORIGINAL  
REPORT WILL BE ISSUED SUBSEQUENT TO THE DATE  
OF CERTIFICATION

SURVEYOR'S CERTIFICATE

I CERTIFY THAT  
(1) - THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH  
THE SURVEYS ACT, THE SURVEYORS ACT AND THE REGULATIONS  
MADE UNDER THEM

(2) - THIS SURVEY WAS COMPLETED ON THE 5th DAY OF JULY, 2022

JULY 19, 2022  
DATE

  
KIM S. HUSTED  
ONTARIO LAND SURVEYOR

NOTES

(1) - BEARINGS ARE ASTRONOMIC AND ARE REFERRED TO THE WESTERLY LIMIT OF  
ORDNANCE AVENUE AS SHOWN ON REGISTERED PLAN 133 HAVING A BEARING OF  
N 10° 19' 18" E

LEGEND

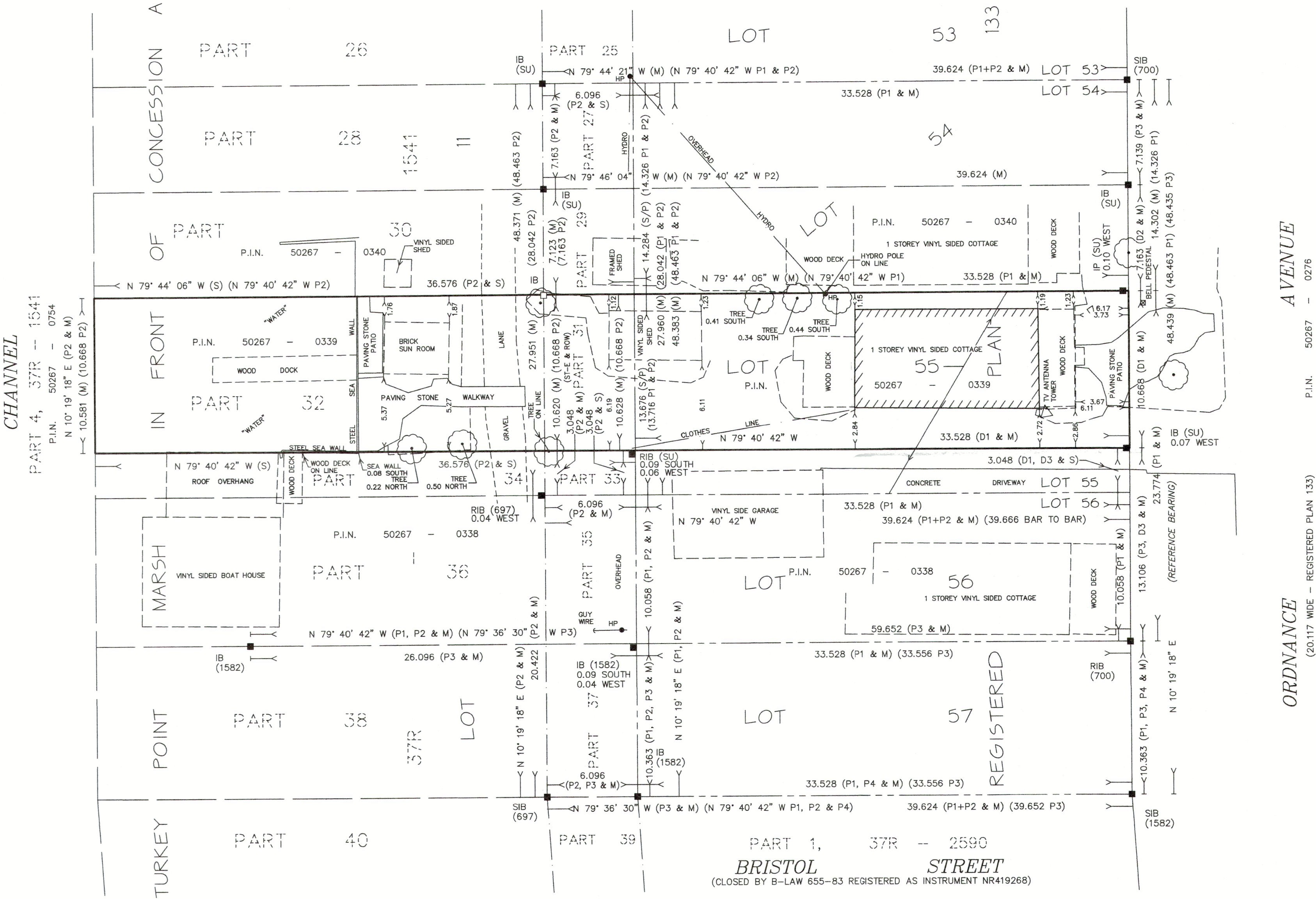
■	DENOTES	SURVEY MONUMENT FOUND
□	DENOTES	SURVEY MONUMENT SET
SIB	DENOTES	STANDARD IRON BAR
IB	DENOTES	IRON BAR
RIB	DENOTES	ROUND IRON BAR
P	DENOTES	IRON PIPE
(WT)	DENOTES	WITNESS
(697)	DENOTES	G.B. McCauley, O.L.S.
(700)	DENOTES	JEWITT & DIXON LTD.
(1582)	DENOTES	KIM HUSTED SURVEYING LTD.
(SU)	DENOTES	SOURCE UNKNOWN
(P1)	DENOTES	REGISTERED PLAN 133
(P2)	DENOTES	DEPOSITED PLAN 37R-1541
(P3)	DENOTES	SURVEYOR'S REAL PROPERTY REPORT BY KIM HUSTED SURVEYING LTD., PROJECT: 19-15098, DATED: SEPTEMBER 13, 2019
(P4)	DENOTES	DEPOSITED PLAN 37R-2590
(D1)	DENOTES	INSTRUMENT NR579006, P.L.N. 50267-0339
(D2)	DENOTES	INSTRUMENT NR606052, P.L.N. 50267-0340
(D3)	DENOTES	INSTRUMENT NR315124, P.L.N. 50267-0338
(M)	DENOTES	MEASURED
(S)	DENOTES	SET
(S/P)	DENOTES	SET BY PROPORTIONING
P.L.N.	DENOTES	PROPERTY IDENTIFIER NUMBER
ST	DENOTES	SUBJECT TO
E	DENOTES	EASEMENT
ROW	DENOTES	RIGHT-OF-WAY

© COPYRIGHT 2022 KIM HUSTED SURVEYING LTD.  
THE REPRODUCTION, ALTERATION, OR USE OF THIS REPORT IN WHOLE OR IN  
PART WITHOUT THE WRITTEN PERMISSION OF KIM HUSTED SURVEYING  
LTD. IS STRICTLY PROHIBITED

KIM HUSTED SURVEYING LTD.  
ONTARIO LAND SURVEYOR  
30 HARVEY STREET, TILLSBURG, ONTARIO, N4G 3J8  
PHONE: 519-842-3638 FAX: 519-842-3639

PROJECT: 22-17865 REFERENCE: FF8

DWG. WLP  
CKD. KSH



CHANNEL  
PART 4, 37R -- 1541  
P.L.N. 50267 - 0754  
N 10° 19' 18" E (P2 & M)  
10.581 (M) (10.668 P2)

ORDNANCE AVENUE  
(20.117 WIDE - REGISTERED PLAN 133)

REGISTERED

SCALE 1:200  
METRIC  
DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN  
BE CONVERTED TO FEET BY DIVIDING BY 0.3048

PART 1, 37R -- 2590  
BRISTOL STREET  
(CLOSED BY B-LAW 655-83 REGISTERED AS INSTRUMENT NR419268)

ASSOCIATION OF ONTARIO  
LAND SURVEYORS  
PLAN SUBMISSION FORM

V - 2 5 2 8 1

THIS PLAN IS NOT VALID  
UNLESS IT IS AN EMBOSSED  
ORIGINAL COPY  
ISSUED BY THE SURVEYOR  
In accordance with Regulation 1206, Section 29(3)





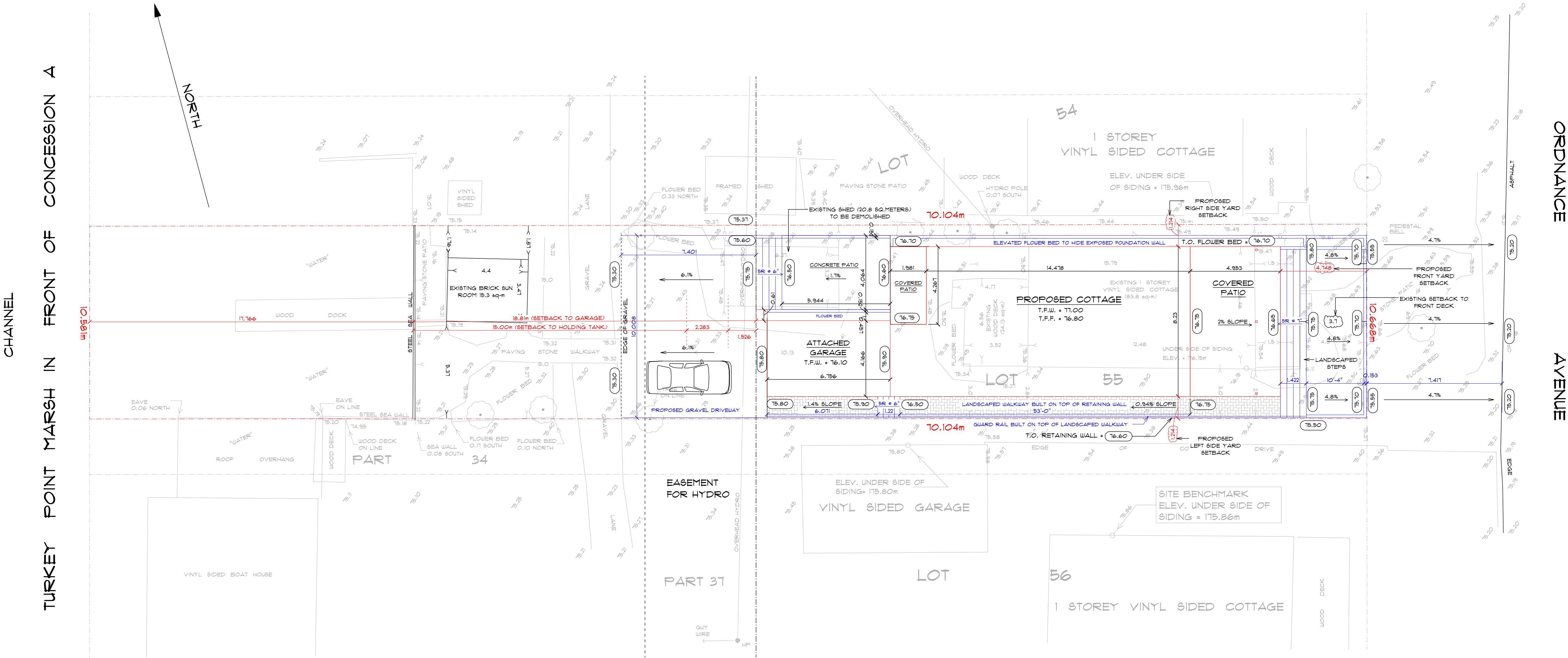
SITE PLAN: 121 ORDNANCE AVENUE, TURKEY POINT

TOTAL LOT AREA = 744.2 SQUARE METERS

PROPOSED COTTAGE (INCLUDING COVERED PORCHES & ATTACHED GARAGE) = 2204 FT² OR 204.8 SQUARE METERS

EXISTING BRICK SUN ROOM = 15.3 SQUARE METERS  
15.3/744.2 \* 100 = 2%

LOT COVERAGE = (204.8 + 15.3)/744.2 \* 100 = 29.5%



41 KING ST. TILLSONBURG, ON. N4G 3E6  
PHONE: (519) 688-0228 EMAIL: DESIGN@DALM.CA  
WWW.DALM.CA

- ALL PLANS AND DRAWINGS, IT'S CONCEPTS OR IDEAS, ARE AND REMAIN THE PROPERTY OF DALM CONSTRUCTION LIMITED. NO REPRODUCTIONS ARE TO BE MADE WITHOUT WRITTEN PERMISSION.
- CONTRACTOR TO VERIFY ALL DIMENSIONS.

PROPOSED COTTAGE FOR:

Arjan & Marlene Kremers  
121 Ordinance Avenue  
Turkey Point, NOE IWO

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO DESIGN THE WORK SHOWN.

QUALIFICATION INFORMATION

REQUIRED UNLESS DESIGN IS EXEMPT UNDER 2.17.5.1 OF THE BUILDING CODE.

HENRY DALM 39111  
NAME BCIN

SIGNATURE

SITE PLAN

DRAWN BY: Claudius Dalm SCALE: 1:120  
DESIGN BY: Henry/Claudius  
CHECKED BY: Henry Dalm  
DATE: 7/1/2025  
PROJECT: Kremers

S1



GENERAL NOTES:

- The plans for this project have been reviewed by Dalm Construction Limited for use only at the location noted on this page.
- It is the responsibility of the owner and/or contractor to ensure that the provisions of the applicable zoning bylaw and all other applicable bylaws of the municipality are being complied with as they relate to the proposed construction.
- Contractor to check and verify all discrepancies before construction begins, verify all dimensions on site and ensure that all materials, details and methods of construction meet or exceed the requirements of the latest edition of the Ontario Building code (OBC), Local Codes and Zoning Requirements.
- All structural elements not obtainable through the OBC, Tables are to be sized, stamped and approved by a Registered Professional Engineer.
- Drawings are not to be scaled.
- Window and door sizes may not be exactly as shown. Contractor to verify all dimensions prior to construction.
- Dalm Construction Limited is not responsible for any misrepresentations of these drawings and will not take any responsibility for any changes made to the drawings by the contractor, owner or others.

TECHNICAL NOTES:

- EXCAVATION
  - Actual soil bearing capacity to be determined at the site.
  - Excavation for the foundations to extend to undisturbed soil having a minimum allowable bearing pressure of 75 Pa (1510 psf)
- BACKFILL
  - Backfill within 600mm (24 5/8") of the foundation shall be free of debris and boulder larger than 250mm (9 7/8") dia.
  - The foundation wall must be laterally supported before backfilling.
- FOOTINGS AND FOUNDATIONS
  - Footings for walls, columns, etc., to extend below the frost line and bear on undistributed soil.
  - Concrete strength to be minimum 15 MPa (2,200 psi) except as noted.
  - Provide 2 #4 steel reinforcing bars over entrances of sewers and utilities.
  - Exterior foundation walls to extend at least 150mm (5 7/8") above finished grade level.
  - Step footing vertical rise not to exceed 600mm (23 5/8") for firm soil and 400mm (15 3/4") for sand and gravel, horizontal run to be a minimum of 600mm (24 5/8").

4. FOUNDATION DRAINAGE

- Drain tile to be on undisturbed or wall compacted soil and the top of the tile placed below the bottom of the floor slab.
- Foundation drains shall drain to a sewer, drainage ditch, drywell, or a covered automatic sump pump draining into a positive outlet.
- A drainage layer shall consist of:
  - Minimum 19mm (3/4") mineral fibre insulation with a density of 3.6 lb/sq ft. or
  - Minimum 100mm (4") of free drainage granular material or
  - An approved system that provides equivalent performance.

5. SURFACE DRAINAGE

- The building site is to be graded so that the water will not accumulate at or near the building and adversely affect adjacent properties.
- Window wells are to be drained to the footing level drainage tile or another suitable location.

6. CONCRETE FLOORS AND FLATWORK

- Concrete strength for garage and carport floors and all exterior flatwork to be minimum 32 MPa (4,650 psi) and 5% to 8% air entrainment.
- Other slabs to have min. concrete strength of 25 MPa (3,600 psi).
- Concrete slabs to be minimum 75mm (3") thick on a minimum of 100mm (4") of coarse granular material.
- All fill other than coarse clean material placed beneath concrete slab shall be compacted to provide uniform support.

7. WOOD FRAME CONSTRUCTION

- Holes or notching in roof, floor, wall or ceiling members to be restricted to the sizes outlined in the OBC.
- Roof trusses shall not be notched, drilled or weakened unless accumulated for in the design.
- Exterior columns and posts are to be anchored.
- Floor Joists to have minimum 38mm (1 1/2") length of end bearing.
- Joists framed into the side of a wood beam, trimmer, header, etc. are to be supported on joist hangers.
- Double joists under parallel non-load bearing partitions.
- Provide 2"x2" cross bridging at maximum 6'-10" o.c. between supports.

8. STAIRS TO CONFORM TO O.B.C. 9.8.8

- Stairs to have uniform rise and run throughout. Rise and run to conform to the following:

	Minimum	Maximum
Rise	4 7/8"	7 7/8"
Run	10"	14"
Tread	11"	15"

9. COLUMNS AND BEAMS

- Minimum 89mm (3 1/2") end bearing for wood and steel beams.
- Steel columns to have minimum outside diameter of 73mm (2 7/8") and a minimum wall thickness of 4.7mm (3/16)

10. ABOVE GRADE MASONRY

- Veneer over wood frame walls to have not less than 25mm (1") air space behind the veneer.
- Provide weep holes spaced not more than 800mm (2'-1") apart at the bottom of air spaces in masonry veneer walls.
- Masonry veneer shall be tied to wood framing members by corrosion resistant ties and screws or nails as per OBC.

11. FLOORING

- Finished flooring in bathrooms and kitchens shall consist of resilient flooring, felted synthetic fibre floor covering, concrete, terrazzo, ceramic tile, mastic or other types of flooring providing similar degrees of water resistance.

12. WATERPROOF WALL FINISH

- Waterproof finish is to be provided to a height of not less than:
  - 1,800mm (5'-11") above the floor in a shower stall.
  - 1,200mm (3'-11") above the rims of bathtubs with shower heads.
  - 400mm (15 3/4") above the rim of bathtubs with no shower.

13. PLUMBING

- The owner and/or the contractor are responsible for the design layout and the installation of the plumbing system.
- Where a private sewage system is required or utilized, the design, evaluation, construction or alteration of a new system as the case may be, shall be undertaken by a qualified person registered undertake such work.

14. HEATING AND AIR CONDITIONING

- The owner and/or contractor are responsible for the design/layout and installation of the heating and air conditioning system.

15. NATURAL VENTILATION

- Roof vents designed to prevent entry of rain, snow and insects.
- Vents shall be distributed uniformly on opposite sides of the building with not less than 25% of the opening at either the top or bottom of the space.

16. MECHANICAL VENTILATION

- The owner and/or contractor are responsible for the design/layout and installation of the mechanical ventilation system in compliance with the OBC.

17. CAULKING

- Caulking shall be provided between masonry, siding or stucco and adjacent door and window frame or trim and anywhere else where it is required to prevent the entry of water into the structure.

18. DOORS AND WINDOWS

- Exterior doors and windows within 6'-1" from grade shall be constructed to resist forced entry. Doors shall be equipped with a dead bolt lock.
- The principle entry door shall either a door viewer, transparent glazing or a sidelight.

19. GUARDS TO COMPLY WITH O.B.C. 9.8.8

- Maximum opening in any guard must be able to prevent passage of a 100mm (4") diameter spherical object.
- Guard attachment to comply with one of the methods details in SB-1 of the supplementary guidelines to the OBC.
- A guard is to be provided at every location where there is a difference in elevation from floor, stairs or ramp to adjust surfaces or more than 600mm (5/8")
- Minimum guard heights to be as follows:
  - 800mm (2'-11") for stairs measured vertically above a line drawn
  - 900mm (2'-11") for porches, decks, balconies and landings not through stair nosings.
  - more than 1,800mm (5'-11") above adjacent ground
  - 1,070mm (3'6") for porches, decks, balconies and landings more floor or other surface areas.
  - than 1,800mm (5'-11") above adjacent ground floor or other surface areas.

20. ALARMS AND DETECTORS

- Interconnected Smoke and Carbon Monoxide Alarm required, complete with visual and audible signalling hardware, As per CAN/ULC S531 & NFPA 72.
- At least one interconnected smoke & carbon monoxide alarm shall be installed on or near the ceiling on each floor level and basement level 900mm (2'-11") or more above an adjacent level.
- A interconnected smoke & carbon monoxide alarm shall be installed on or near the ceiling adjustment to every sleeping area.

21. GARAGE GASPROOFING

- The walls and ceiling of an attached garage shall be constructed and sealed to provide an effective barrier to exhaust fumes.
- Doors between the dwelling and attached garage shall be weathertipped and have a self closer.

22. ELECTRICAL

- An exterior light controlled by a wall switch is required at every entrance and in every kitchen, bedroom, living room, dining room utility room, vestibule, hallway, garage and car port. A switch recepticle may be provided instead of a light in bedroom and living rooms.
- Basements require a light for every 30 sq. m (323 sq. ft) controlled by a switch at the head of the stairs.
- Stairs shall be lighted and except where serving an unfinished basement shall be controlled by a 3-way switch at the head and and foot of the stairs.



41 KING ST. TILLSONBURG, ON. N4G 3E6  
PHONE: (519) 688-0228 EMAIL: DESIGN@DALM.CA  
WWW.DALM.CA

- ALL PLANS AND DRAWINGS, IT'S CONCEPTS OR IDEAS, ARE AND REMAIN THE PROPERTY OF DALM CONSTRUCTION LIMITED. NO REPRODUCTIONS ARE TO BE MADE WITHOUT WRITTEN PERMISSION.

- CONTRACTOR TO VERIFY ALL DIMENSIONS.

DRAWING SCHEDULE		
PAGE #	PAGE NAME	REVISION DATE
A0	NOTES & SCHEDULES	6/16/2025
A1	FRONT & REAR ELEVATIONS	6/16/2025
A2	RIGHT & LEFT ELEVATIONS	6/16/2025
A3	FOUNDATION PLAN	T.B.D.
A4	MAIN FLOOR PLAN	6/16/2025
A5	SECOND FLOOR PLAN	6/16/2025
R1	GARAGE ROOF LAYOUT	6/16/2025
R2	MAIN ROOF LAYOUT	6/16/2025
D1	CROSS-SECTION A	T.B.D.
D2	CROSS-SECTION B	T.B.D.
D3	WALL SECTIONS	T.B.D.

PROPOSED COTTAGE FOR:

Arjan & Marlene Kremers  
121 Ordnance Avenue  
Turkey Point, NOE IWO

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO DESIGN THE WORK SHOWN.

QUALIFICATION INFORMATION  
REQUIRED UNLESS DESIGN IS EXEMPT UNDER 2.17.5.1 OF THE BUILDING CODE.

HENRY DALM	39111
NAME	BCIN

SIGNATURE

NOTES & SCHEDULES

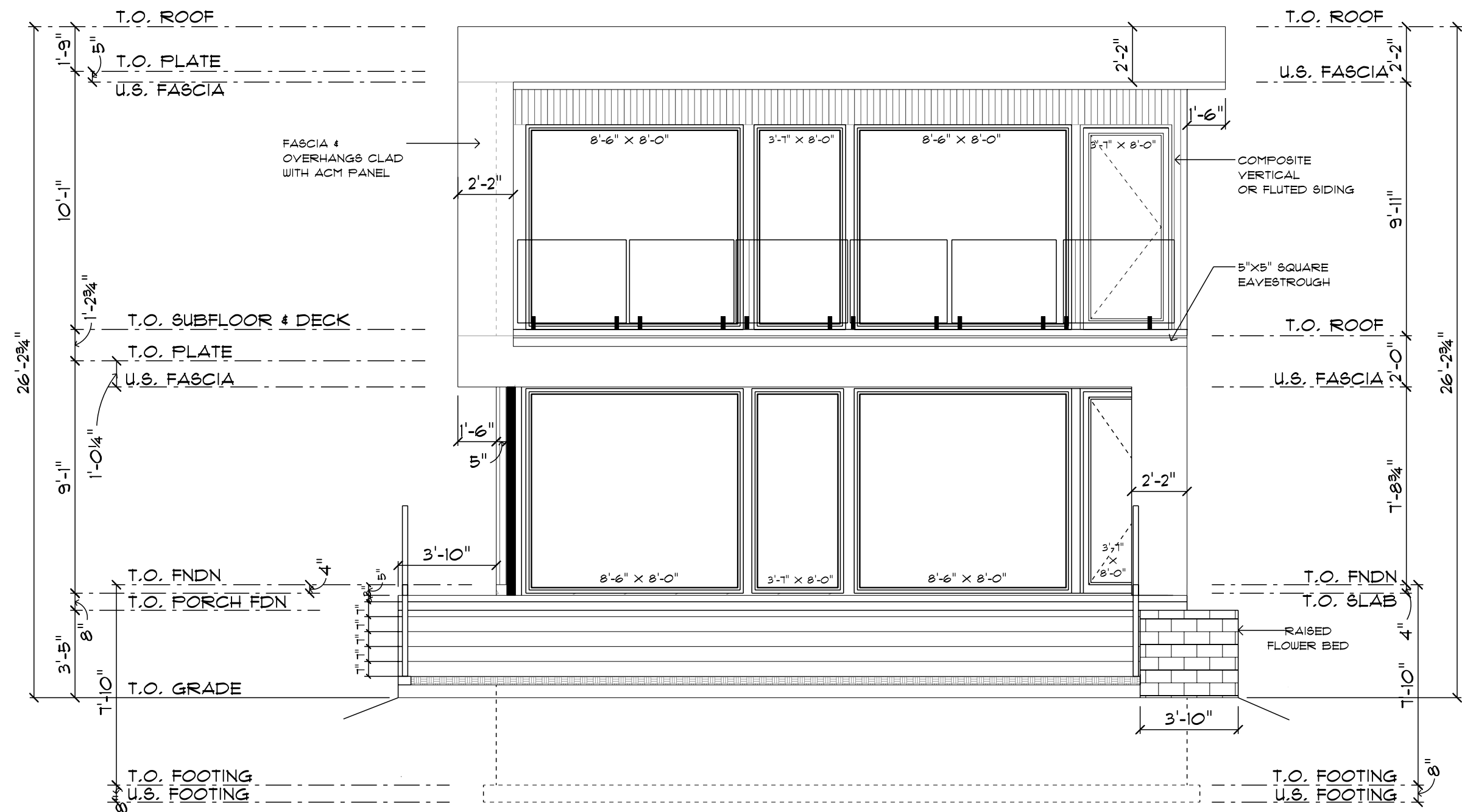
DRAWN BY: Claudius Dalm	SCALE: As Noted
DESIGN BY: Henry/Claudius	AO
CHECKED BY: Henry Dalm	
DATE: 6/16/2025	
PROJECT: Kremers	

CONCEPT PLANS ONLY; NOT FOR CONSTRUCTION



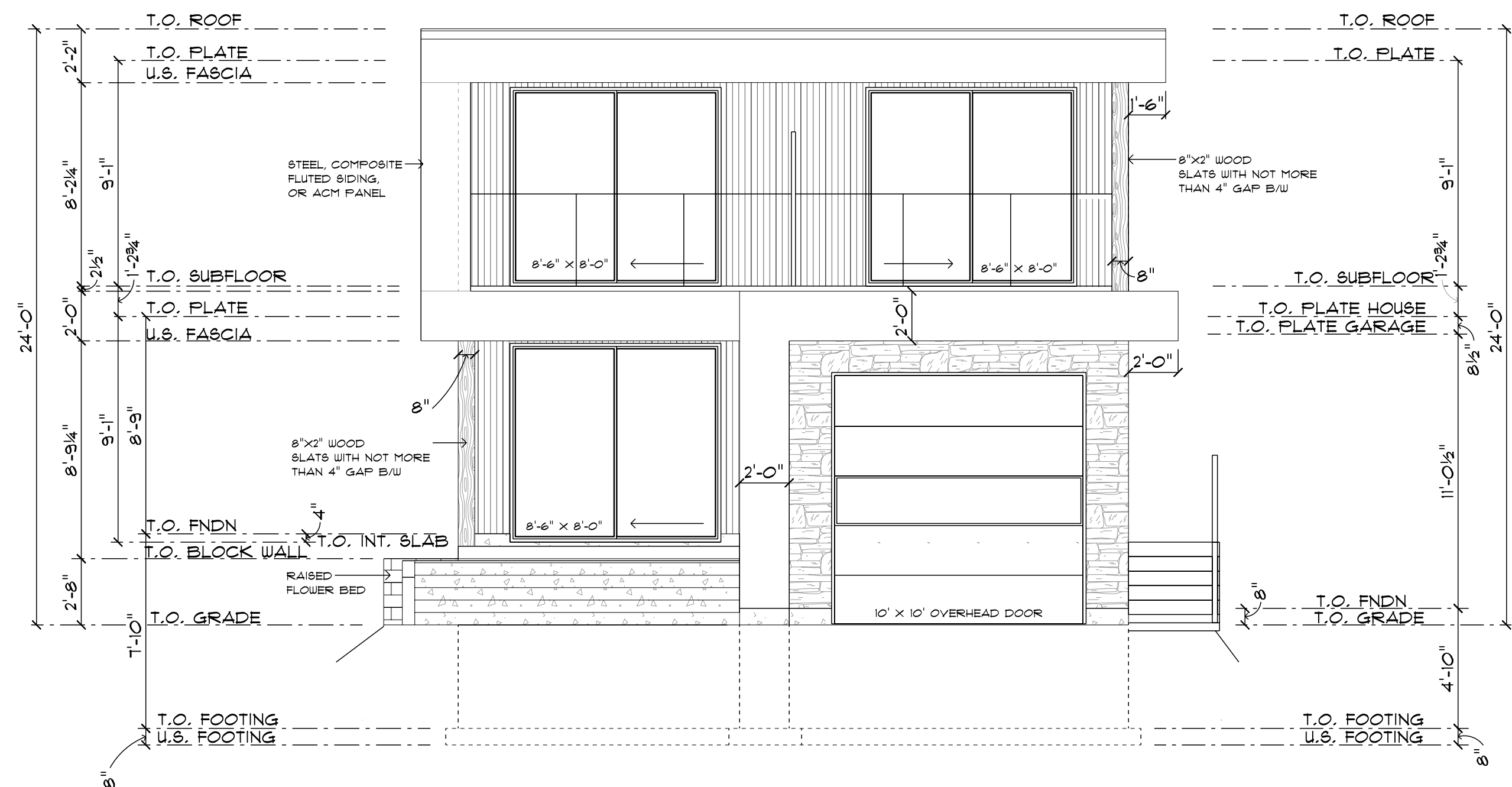
FRONT ELEVATION

SCALE: 1/32" = 1'-0"



REAR ELEVATION

SCALE: 1/32" = 1'-0"



CONCEPT PLANS ONLY; NOT FOR CONSTRUCTION



41 KING ST. TILLSONBURG, ON. N4G 3E6  
PHONE: (519) 688-0228 EMAIL: DESIGN@DALM.CA  
WWW.DALM.CA

- ALL PLANS AND DRAWINGS, IT'S CONCEPTS OR IDEAS, ARE AND REMAIN THE PROPERTY OF DALM CONSTRUCTION LIMITED. NO REPRODUCTIONS ARE TO BE MADE WITHOUT WRITTEN PERMISSION.

- CONTRACTOR TO VERIFY ALL DIMENSIONS.

PROPOSED COTTAGE FOR:

Arjan & Marlene Kremers  
121 Ordnance Avenue  
Turkey Point, NOE IWO

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO DESIGN THE WORK SHOWN.

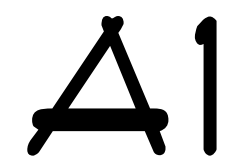
QUALIFICATION INFORMATION

REQUIRED UNLESS DESIGN IS EXEMPT UNDER 2.17.5.1 OF THE BUILDING CODE.

HENRY DALM 39111  
NAME BCIN

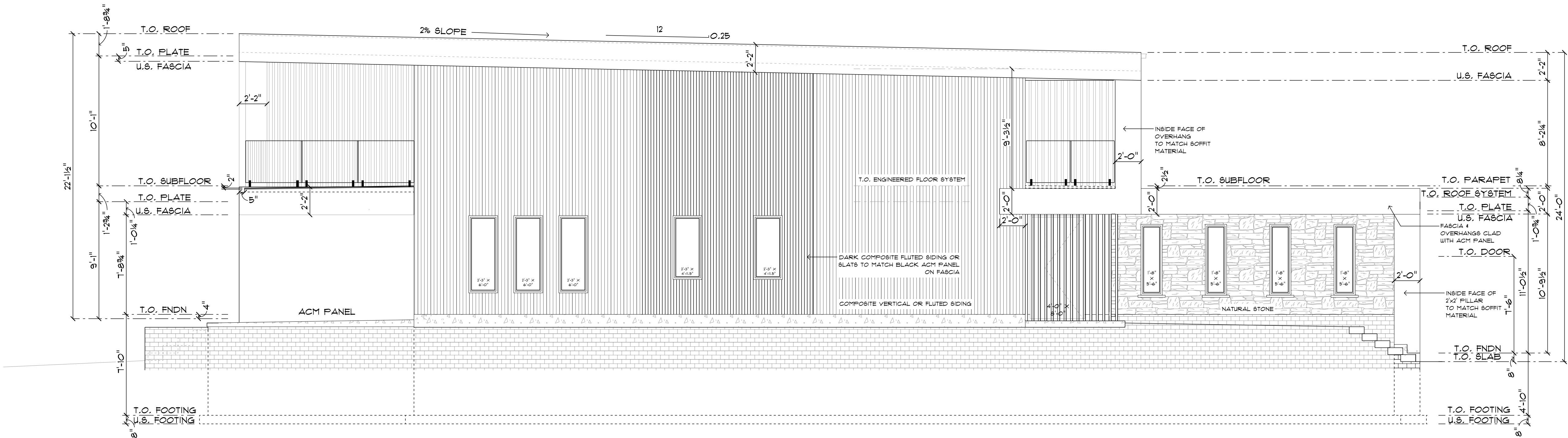
SIGNATURE

FRONT & REAR  
ELEVATIONS

DRAWN BY: Claudius Dalm	SCALE: 0.2188" = 1'-0"
DESIGN BY: Henry/Claudius	
CHECKED BY: Henry Dalm	
DATE: 6/16/2025	
PROJECT: Kremers	

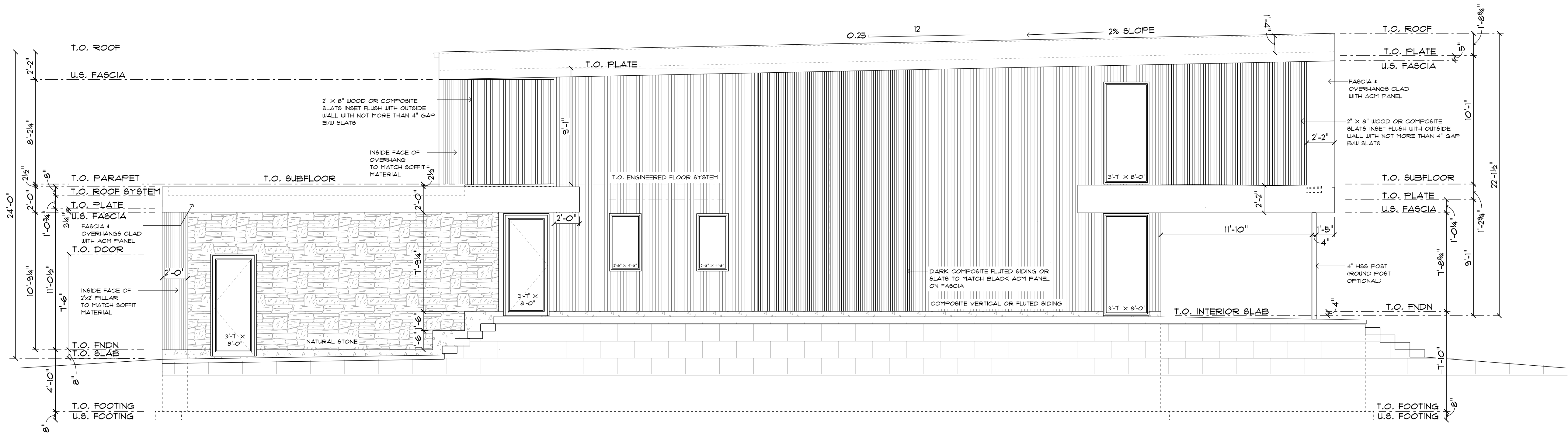
RIGHT ELEVATION

SCALE: 1/32" = 1'-0"



LEFT ELEVATION

SCALE: 1/32" = 1'-0"



CONCEPT PLANS ONLY; NOT FOR CONSTRUCTION



41 KING ST. TILLSONBURG, ON. N4G 3E6  
PHONE: (519) 688-0228 EMAIL: DESIGN@DALM.CA  
WWW.DALM.CA

- ALL PLANS AND DRAWINGS, IT'S CONCEPTS OR IDEAS, ARE AND REMAIN THE PROPERTY OF DALM CONSTRUCTION LIMITED. NO REPRODUCTIONS ARE TO BE MADE WITHOUT WRITTEN PERMISSION.

- CONTRACTOR TO VERIFY ALL DIMENSIONS.

PROPOSED COTTAGE FOR:

Arjan & Marlene Kremers  
121 Ordnance Avenue  
Turkey Point, NOE IWO

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO DESIGN THE WORK SHOWN.

QUALIFICATION INFORMATION

REQUIRED UNLESS DESIGN IS EXEMPT UNDER 2.17.5.1 OF THE BUILDING CODE.

HENRY DALM 39111  
NAME BCIN

SIGNATURE

RIGHT & LEFT  
ELEVATIONS

DRAWN BY: Claudius Dalm	SCALE: 0.2188" = 1'-0"
DESIGN BY: Henry/Claudius	
CHECKED BY: Henry Dalm	
DATE: 6/16/2025	
PROJECT: Kremers	

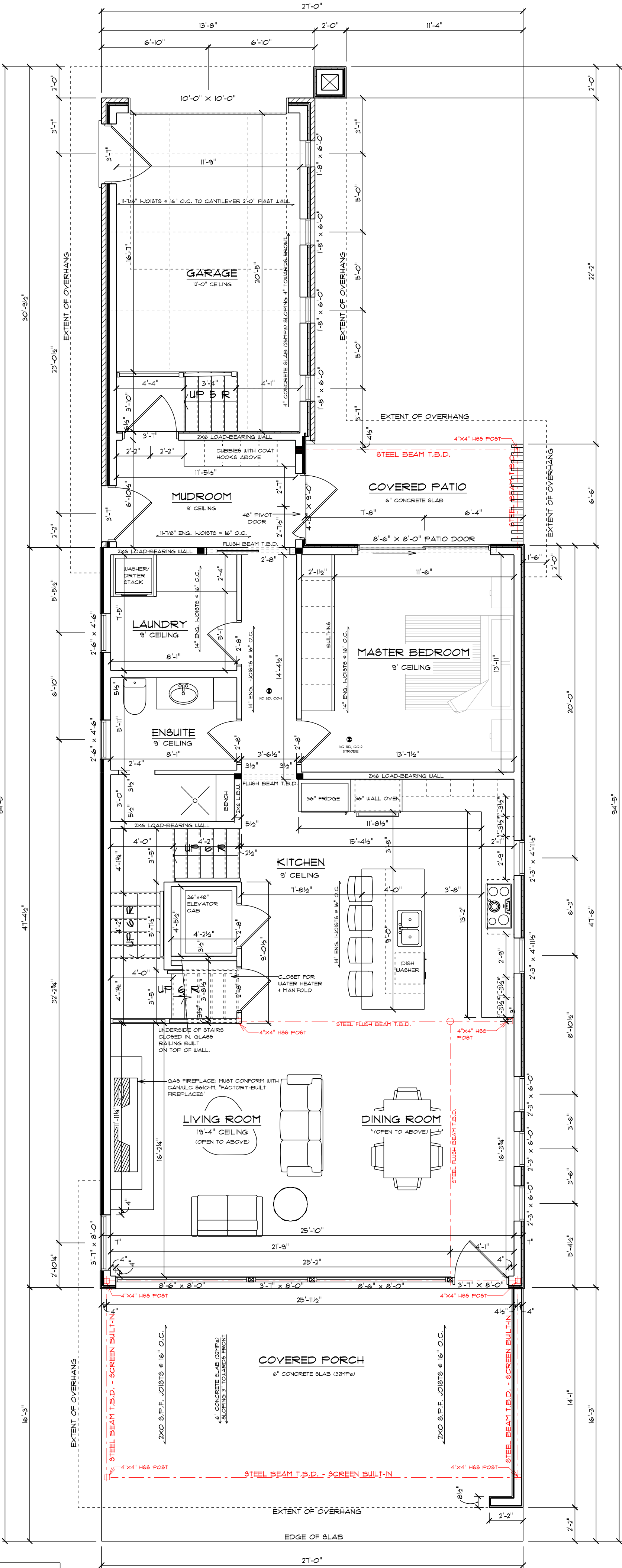
A2



MAIN FLOOR

SCALE: 1/32" = 1'-0"

SEE ROOF LAYOUT R1  
FOR ROOF FRAMING DETAILS



CONCEPT PLANS ONLY; NOT FOR CONSTRUCTION



41 KING ST. TILLSONBURG, ON. N4G 3E6  
PHONE: (519) 688-0228 EMAIL: DESIGN@DALM.CA  
WWW.DALM.CA

- ALL PLANS AND DRAWINGS, IT'S CONCEPTS OR IDEAS, ARE AND REMAIN THE PROPERTY OF DALM CONSTRUCTION LIMITED. NO REPRODUCTIONS ARE TO BE MADE WITHOUT WRITTEN PERMISSION.

- CONTRACTOR TO VERIFY ALL DIMENSIONS.

SQUARE FOOTAGES:

MAIN LIVING SPACE = 1384 FT<sup>2</sup>  
GARAGE = 293 FT<sup>2</sup>  
REAR COVERED PATIO = 90 FT<sup>2</sup>  
FRONT PATIO = 432 FT<sup>2</sup> (324 COVERED)  
CONCRETE PATO = 270 FT<sup>2</sup>

PROPOSED COTTAGE FOR:

Arjan & Marlene Kremers  
121 Ordnance Avenue  
Turkey Point, NOE IWO

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO DESIGN THE WORK SHOWN.

QUALIFICATION INFORMATION

REQUIRED UNLESS DESIGN IS EXEMPT UNDER 2.17.5.1 OF THE BUILDING CODE.

HENRY DALM 39111  
NAME BCIN

SIGNATURE

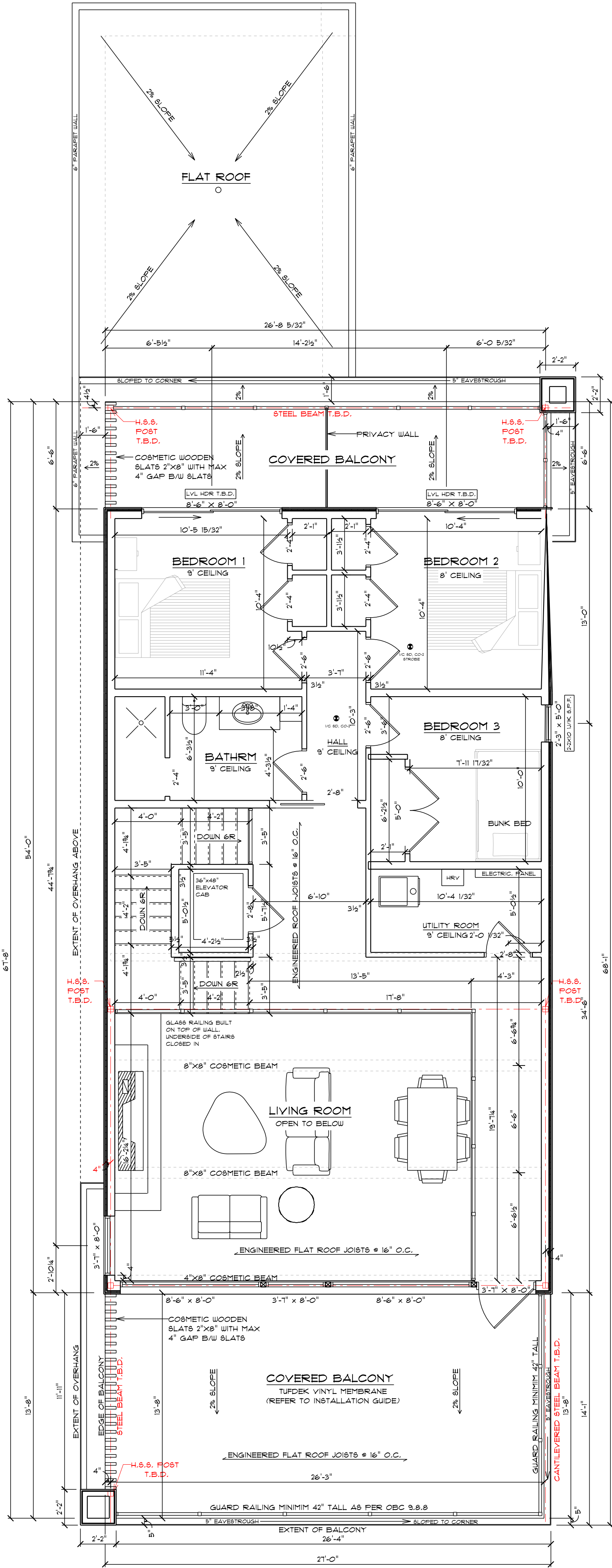
MAIN FLOOR

DRAWN BY: Claudius Dalm	SCALE: 0.2188" = 1'-0"
DESIGN BY: Henry/Claudius	<div>A4</div>
CHECKED BY: Henry Dalm	
DATE: 6/16/2025	
PROJECT: Kremers	

SECOND FLOOR

SCALE: 1/32" = 1'-0"

SEE ROOF LAYOUT R2  
FOR ROOF FRAMING DETAILS



CONCEPT PLANS ONLY; NOT FOR CONSTRUCTION

41 KING ST. TILLSONBURG, ON. N4G 3E6  
PHONE: (519) 688-0228 EMAIL: DESIGN@DALM.CA  
WWW.DALM.CA

- ALL PLANS AND DRAWINGS, IT'S CONCEPTS OR IDEAS, ARE AND REMAIN THE PROPERTY OF DALM CONSTRUCTION LIMITED. NO REPRODUCTIONS ARE TO BE MADE WITHOUT WRITTEN PERMISSION.

- CONTRACTOR TO VERIFY ALL DIMENSIONS.

SQUARE FOOTAGES:

MAIN LIVING SPACE = 819 FT<sup>2</sup>  
(EXCLUDING STAIRWELL & ELEVATOR)  
FRONT BALCONY = 340 FT<sup>2</sup>  
REAR BALCONY = 173 FT<sup>2</sup>

PROPOSED COTTAGE FOR:

Arjan & Marlene Kremers  
121 Ordnance Avenue  
Turkey Point, NOE IWO

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO DESIGN THE WORK SHOWN.

QUALIFICATION INFORMATION

REQUIRED UNLESS DESIGN IS EXEMPT UNDER 2.17.5.1 OF THE BUILDING CODE.

HENRY DALM	39111
NAME	BCIN

SIGNATURE

SECOND FLOOR

DRAWN BY: Claudius Dalm	SCALE: 0.2188" = 1'-0"
DESIGN BY: Henry/Claudius	A5
CHECKED BY: Henry Dalm	
DATE: 6/16/2025	
PROJECT: Kremers	



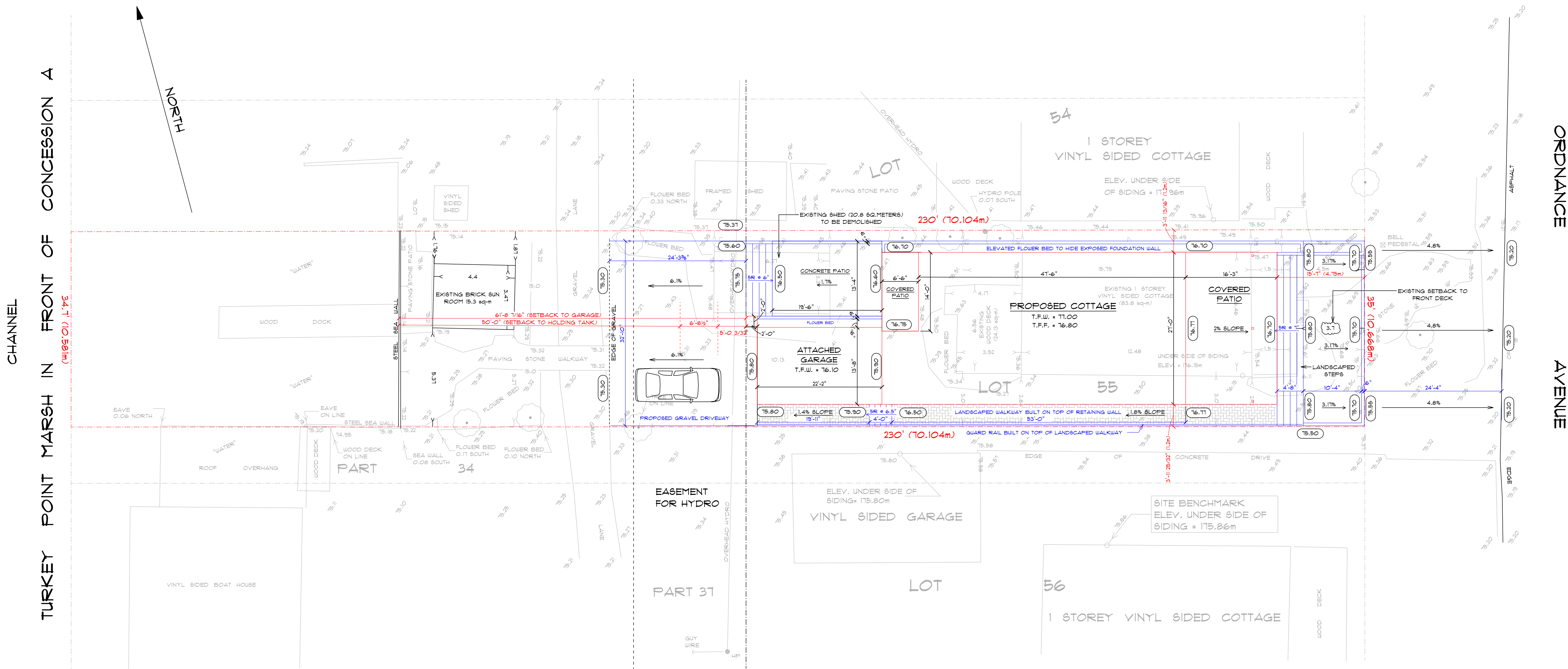
SITE PLAN: 121 ORDNANCE AVENUE, TURKEY POINT

TOTAL LOT AREA = 744.2 SQUARE METERS

PROPOSED COTTAGE (INCLUDING COVERED PORCHES & ATTACHED GARAGE) = 2204 FT² OR 204.8 SQUARE METERS

EXISTING BRICK SUN ROOM = 15.3 SQUARE METERS  
15.3/744.2 \* 100 = 2%

LOT COVERAGE = 204.8/744.2 \* 100 = 27.5% + 2% FOR ACCESSARY STRUCTURE



41 KING ST. TILLSONBURG, ON. N4G 3E6  
PHONE: (519) 688-0228 EMAIL: DESIGN@DALM.CA  
WWW.DALM.CA

- ALL PLANS AND DRAWINGS, IT'S CONCEPTS OR IDEAS, ARE AND REMAIN THE PROPERTY OF DALM CONSTRUCTION LIMITED. NO REPRODUCTIONS ARE TO BE MADE WITHOUT WRITTEN PERMISSION.

- CONTRACTOR TO VERIFY ALL DIMENSIONS.

PROPOSED COTTAGE FOR:

Arjan & Marlene Kremers  
121 Ordinance Avenue  
Turkey Point, NOE IWO

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO DESIGN THE WORK SHOWN.

QUALIFICATION INFORMATION

REQUIRED UNLESS DESIGN IS EXEMPT UNDER 2.17.5.1 OF THE BUILDING CODE.

HENRY DALM 39111  
NAME BCIN

SIGNATURE

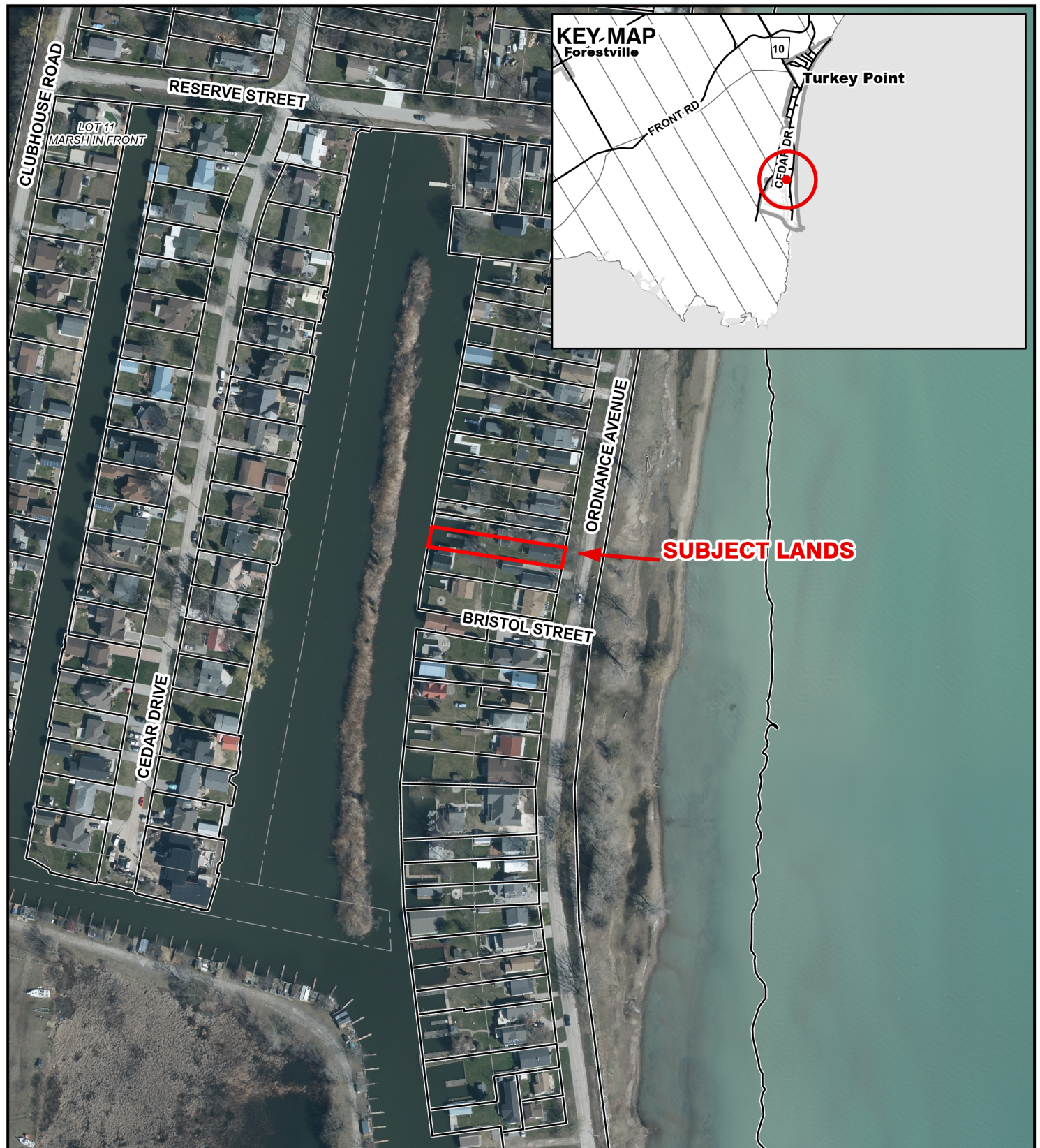
SITE PLAN

DRAWN BY: Claudius Dalm	SCALE: 0.0938" = 1'-0"
DESIGN BY: Henry/Claudius	S1
CHECKED BY: Henry Dalm	
DATE: 6/16/2025	
PROJECT: Kremers	



**CONTEXT MAP**

Geographic Township of CHARLOTTEVILLE

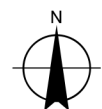


**Legend**

Subject Lands

2020 Air Photo

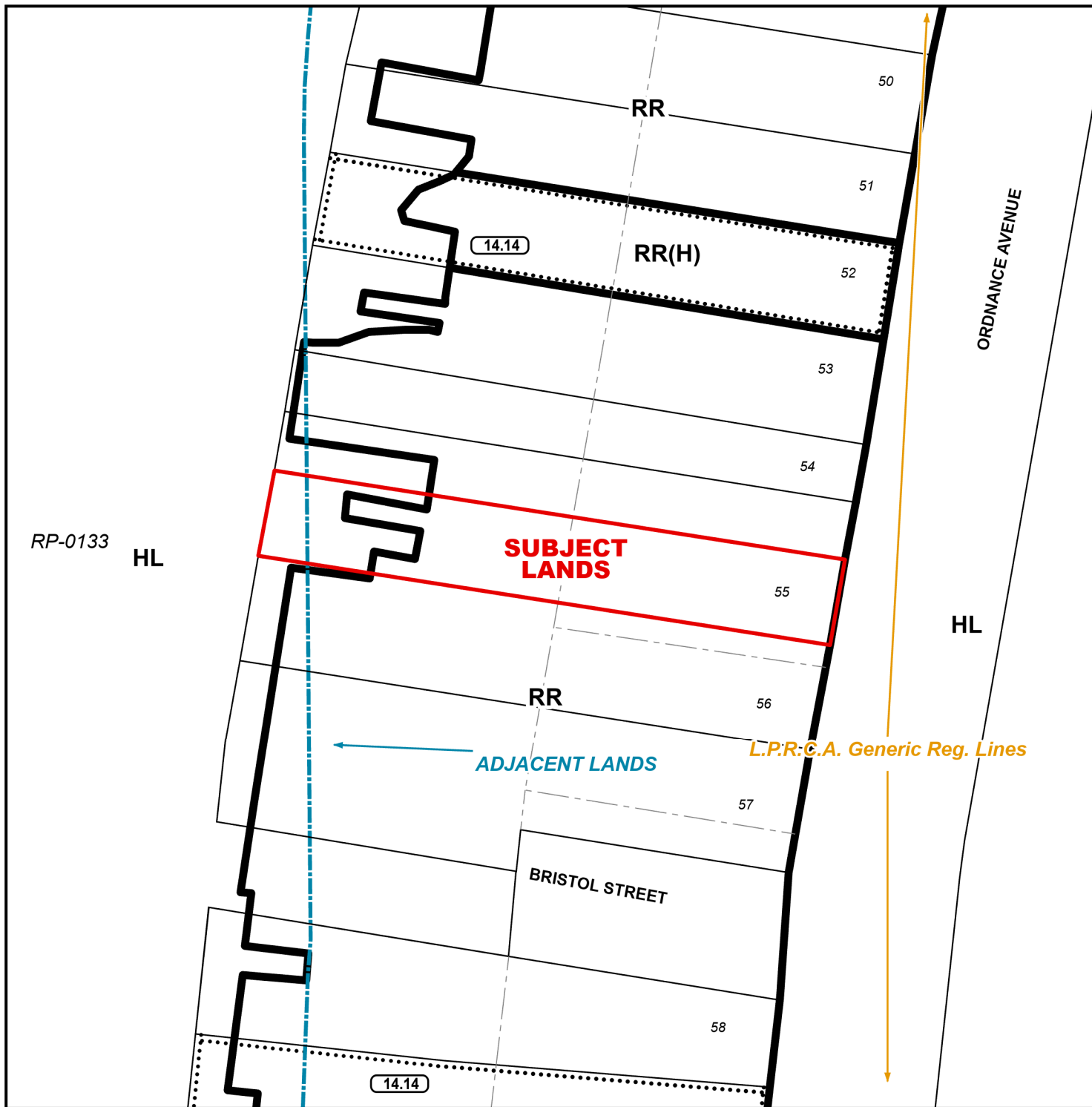
7/11/2025



20 10 0 20 40 60 80 Meters

**MAP B**  
**ZONING BY-LAW MAP**  
 Geographic Township of CHARLOTTEVILLE

ANPL2025210



**LEGEND**

- Subject Lands
- Adjacent Lands
- LPRCA Generic RegLines

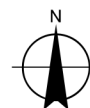
ZONING BY-LAW 1-Z-2014

7/11/2025

(H) - Holding

HL - Hazard Land Zone

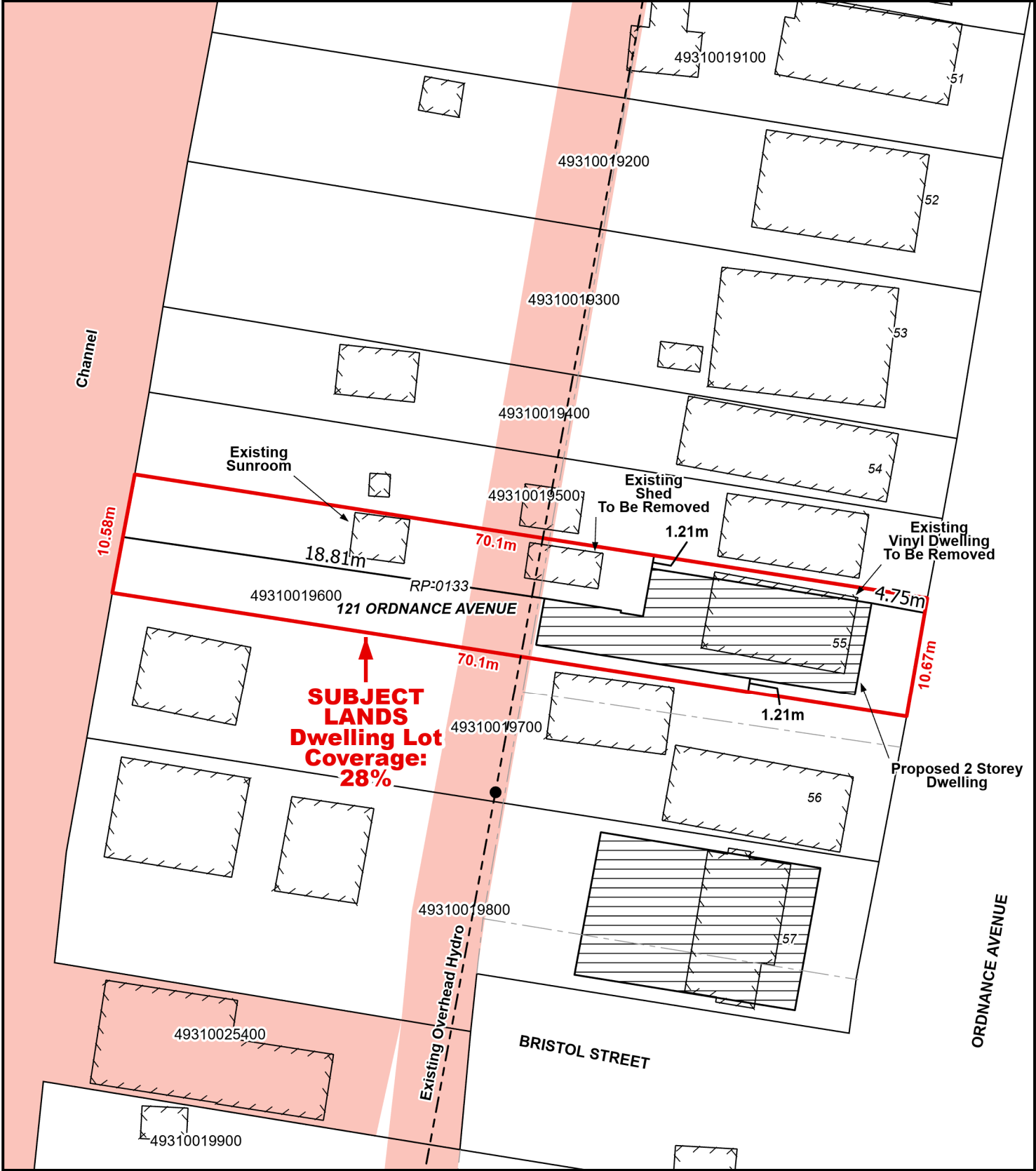
RR - Resort Residential Zone



5.5 2.75 0 5.5 11 16.5 22 Meters



CONCEPTUAL PLAN  
Geographic Township of CHARLOTTEVILLE



Legend

- Subject Lands
- Easements

7/11/2025

