

**For Office Use Only:**

File Number	_____	Application Fee	_____
Related File Number	_____	Conservation Authority Fee	_____
Pre-consultation Meeting	_____	Well & Septic Info Provided	_____
Application Submitted	_____	Planner	_____
Complete Application	_____	Public Notice Sign	_____

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**Check the type of planning application(s) you are submitting.**

- ☐ Consent/Severance/Boundary Adjustment  
☐ Surplus Farm Dwelling Severance and Zoning By-law Amendment  
☒ Minor Variance  
☐ Easement/Right-of-Way

**Property Assessment Roll Number:** 336-010-41600-0000**A. Applicant Information****Name of Owner** Boston Baptist Church (Tony Dreyer)

It is the responsibility of the owner or applicant to notify the planner of any changes in ownership within 30 days of such a change.

**Address** 2985 Cockshutt Road  
**Town and Postal Code** Waterford, On NOE 1Y0  
**Phone Number** \_\_\_\_\_  
**Cell Number** 519-428-8206  
**Email** dreyertd@outlook.com

**Name of Applicant** Girard Engineering  
**Address** 682 Peel Street  
**Town and Postal Code** Woodstock On, N4S 1L3  
**Phone Number** \_\_\_\_\_  
**Cell Number** 519-879-6875  
**Email** info@girardengineering.ca

Name of Agent \_\_\_\_\_  
Address \_\_\_\_\_  
Town and Postal Code \_\_\_\_\_  
Phone Number \_\_\_\_\_  
Cell Number \_\_\_\_\_  
Email \_\_\_\_\_

Please specify to whom all communications should be sent. Unless otherwise directed, all correspondence and notices in respect of this application will be forwarded to the owner and agent noted above.

☒ Owner ☐ Agent ☒ Applicant

Names and addresses of any holder of any mortgagees, charges or other encumbrances on the subject lands:

None

## B. Location, Legal Description and Property Information

1. Legal Description (include Geographic Township, Concession Number, Lot Number, Block Number and Urban Area or Hamlet):

Lot 9 Registered Plan 45-B. Township of Townsend in the County of Norfolk in the City of Nanticoke in the Regional Municipality of Haldimand Norfolk

Municipal Civic Address: 2985 Cockshutt Road, Waterford, On, N0E 1Y0

Present Official Plan Designation(s): Schedule - C-2 -Hamlet

Present Zoning: Rural Institutional Zone (IR)

2. Is there a special provision or site specific zone on the subject lands?

☐ Yes ☒ No If yes, please specify:

3. Present use of the subject lands:

Church

4. Please describe **all existing** buildings or structures on the subject lands and whether they are to be retained, demolished or removed. If retaining the buildings or structures, please describe the type of buildings or structures, and illustrate the setback, in metric units, from front, rear and side lot lines, ground floor area, gross floor area, lot coverage, number of storeys, width, length, and height on your attached sketch which must be included with your application:

Existing Boston Baptist Church-2 storey stucco-built 1851, Existing rear brick addition-built 1990  
Sunday School-2 storey brick-built 1893- removing existing fire escape and addition new  
fire escape.

5. If an addition to an existing building is being proposed, please explain what it will be used for (for example a bedroom, kitchen, or bathroom). If new fixtures are proposed, please describe.

Removing old metal fire escape ladder on front of Sunday School second storey and replacing  
with new fire escape stair from second storey on the left side of Sunday School building.

6. Please describe **all proposed** buildings or structures/additions on the subject lands. Describe the type of buildings or structures/additions, and illustrate the setback, in metric units, from front, rear and side lot lines, ground floor area, gross floor area, lot coverage, number of storeys, width, length, and height on your attached sketch which must be included with your application:

Replacing old fire escape ladder with new fire escape stair on left side of the Sunday  
School building.

7. Are any existing buildings on the subject lands designated under the *Ontario Heritage Act* as being architecturally and/or historically significant? Yes ☐ No ☒

If yes, identify and provide details of the building:

\_\_\_\_\_  
\_\_\_\_\_

8. If known, the length of time the existing uses have continued on the subject lands:

Since the church was built

9. Existing use of abutting properties:

School

10. Are there any easements or restrictive covenants affecting the subject lands?

☐ Yes ☒ No If yes, describe the easement or restrictive covenant and its effect:

\_\_\_\_\_

### C. Purpose of Development Application

Note: Please complete all that apply. Failure to complete this section will result in an incomplete application.

#### 1. Site Information (Please refer to Zoning By-law to confirm permitted dimensions)

	Existing	Permitted	Provision	Proposed	Deficiency
Lot frontage	40.234m	30m Min.			
Lot depth					
Lot width					
Lot area	1961.725m <sup>2</sup>	1,390m <sup>2</sup> Min.			
Lot coverage					
Front yard		13m Min.		1.314m	11.686m
Rear yard		9m Min.		39.705m	
Height		11m Min.			
Left Interior side yard		3m Min.		1.092	1.908m
Right Interior side yard		3m Min.		N/A	
Exterior side yard (corner lot)		13m Min.		N/A	
Parking Spaces (number)					
Aisle width					
Stall size					
Loading Spaces					
Other					

2. Please explain why it is not possible to comply with the provision(s) of the Zoning By-law:

This is the best location for a fire escape stair to satisfy layout of the second floor and to meet required travel distance requirements.

3. **Consent/Severance/Boundary Adjustment:** Description of land intended to be severed in metric units:

Frontage: \_\_\_\_\_

Depth: \_\_\_\_\_

Width: \_\_\_\_\_

Lot Area: \_\_\_\_\_

Present Use: \_\_\_\_\_

Proposed Use: \_\_\_\_\_

Proposed final lot size (if boundary adjustment): \_\_\_\_\_

If a boundary adjustment, identify the assessment roll number and property owner of the lands to which the parcel will be added: \_\_\_\_\_

\_\_\_\_\_  
\_\_\_\_\_

Description of land intended to be retained in metric units:

Frontage: \_\_\_\_\_

Depth: \_\_\_\_\_

Width: \_\_\_\_\_

Lot Area: \_\_\_\_\_

Present Use: \_\_\_\_\_

Proposed Use: \_\_\_\_\_

Buildings on retained land: \_\_\_\_\_

4. **Easement/Right-of-Way:** Description of proposed right-of-way/easement in metric units:

Frontage: \_\_\_\_\_

Depth: \_\_\_\_\_

Width: \_\_\_\_\_  
Area: \_\_\_\_\_  
Proposed Use: \_\_\_\_\_

**5. Surplus Farm Dwelling Severances Only:** List all properties in Norfolk County, which are owned and farmed by the applicant and involved in the farm operation

Owners Name: \_\_\_\_\_  
Roll Number: \_\_\_\_\_  
Total Acreage: \_\_\_\_\_  
Workable Acreage: \_\_\_\_\_  
Existing Farm Type: (for example: corn, orchard, livestock) \_\_\_\_\_  
Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built \_\_\_\_\_  
Date of Land Purchase: \_\_\_\_\_

Owners Name: \_\_\_\_\_  
Roll Number: \_\_\_\_\_  
Total Acreage: \_\_\_\_\_  
Workable Acreage: \_\_\_\_\_  
Existing Farm Type: (for example: corn, orchard, livestock) \_\_\_\_\_  
Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built \_\_\_\_\_  
Date of Land Purchase: \_\_\_\_\_

Owners Name: \_\_\_\_\_  
Roll Number: \_\_\_\_\_  
Total Acreage: \_\_\_\_\_  
Workable Acreage: \_\_\_\_\_  
Existing Farm Type: (for example: corn, orchard, livestock) \_\_\_\_\_  
Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built \_\_\_\_\_  
Date of Land Purchase: \_\_\_\_\_

Owners Name: \_\_\_\_\_  
Roll Number: \_\_\_\_\_  
Total Acreage: \_\_\_\_\_  
Workable Acreage: \_\_\_\_\_  
Existing Farm Type: (for example: corn, orchard, livestock) \_\_\_\_\_  
Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built \_\_\_\_\_  
Date of Land Purchase: \_\_\_\_\_

Owners Name: \_\_\_\_\_  
Roll Number: \_\_\_\_\_  
Total Acreage: \_\_\_\_\_  
Workable Acreage: \_\_\_\_\_  
Existing Farm Type: (for example: corn, orchard, livestock) \_\_\_\_\_  
Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built \_\_\_\_\_  
Date of Land Purchase: \_\_\_\_\_

**Note: If additional space is needed please attach a separate sheet.**

**D. All Applications: Previous Use of the Property**

1. Has there been an industrial or commercial use on the subject lands or adjacent lands? ☐ Yes ☒ No ☐ Unknown

If yes, specify the uses (for example: gas station, or petroleum storage):

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

2. Is there reason to believe the subject lands may have been contaminated by former uses on the site or adjacent sites? ☐ Yes ☒ No ☐ Unknown

3. Provide the information you used to determine the answers to the above questions:  
Historical knowledge provided by church members

\_\_\_\_\_  
\_\_\_\_\_

4. If you answered yes to any of the above questions in Section D, a previous use inventory showing all known former uses of the subject lands, or if appropriate, the adjacent lands, is needed. Is the previous use inventory attached? ☐ Yes ☒ No

**E. All Applications: Provincial Policy**

1. Is the requested amendment consistent with the provincial policy statements issued under subsection 3(1) of the *Planning Act, R.S.O. 1990, c. P. 13*? ☒ Yes ☐ No

If no, please explain:

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2. It is owner's responsibility to be aware of and comply with all relevant federal or provincial legislation, municipal by-laws or other agency approvals, including the Endangered Species Act, 2007. Have the subject lands been screened to ensure that development or site alteration will not have any impact on the habitat for endangered or threatened species further to the provincial policy statement subsection 2.1.7? ☒ Yes ☐ No

If no, please explain:

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3. Have the subject lands been screened to ensure that development or site alteration will not have any impact on source water protection? ☒ Yes ☐ No

If no, please explain:

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Note: If in an area of source water Wellhead Protection Area (WHPA) A, B or C please attach relevant information and approved mitigation measures from the Risk Manager Official.

4. All Applications: Are any of the following uses or features on the subject lands or within 500 metres of the subject lands, unless otherwise specified? Please check boxes, if applicable.

**Livestock facility or stockyard** (submit MDS Calculation with application)

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Wooded area**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Municipal Landfill**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Sewage treatment plant or waste stabilization plant**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Provincially significant wetland (class 1, 2 or 3) or other environmental feature**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Floodplain**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Rehabilitated mine site**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Non-operating mine site within one kilometre**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Active mine site within one kilometre**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Industrial or commercial use (specify the use(s))**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Active railway line**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Seasonal wetness of lands**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Erosion**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Abandoned gas wells**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

## F. All Applications: Servicing and Access

1. Indicate what services are available or proposed:

### Water Supply

- |  |   |
|--|---|
| <input type="checkbox"/> Municipal piped water       | <input type="checkbox"/> Communal wells         |
| <input checked="" type="checkbox"/> Individual wells | <input type="checkbox"/> Other (describe below) |
- 

### Sewage Treatment

- |  |   |
|--|---|
| <input type="checkbox"/> Municipal sewers  | <input type="checkbox"/> Communal system        |
| <input checked="" type="checkbox"/> Septic tank and tile bed in good working order | <input type="checkbox"/> Other (describe below) |
- 

### Storm Drainage

- |  |                                       |
|--|---------------------------------------|
| <input checked="" type="checkbox"/> Storm sewers           | <input type="checkbox"/> Open ditches |
| <input checked="" type="checkbox"/> Other (describe below) |                                       |
- 

Overland flow to municipal R.O.W.

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2. Existing or proposed access to subject lands:

- |  |   |
|--|---|
| <input checked="" type="checkbox"/> Municipal road | <input type="checkbox"/> Provincial highway     |
| <input type="checkbox"/> Unopened road             | <input type="checkbox"/> Other (describe below) |

Name of road/street:

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## G. All Applications: Other Information

1. Does the application involve a local business? ☐ Yes ☒ No

If yes, how many people are employed on the subject lands?

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2. Is there any other information that you think may be useful in the review of this application? If so, explain below or attach on a separate page.

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## **H. Supporting Material to be submitted by Applicant**

In order for your application to be considered complete, folded hard copies (number of paper copies as directed by the planner) and an **electronic version (PDF) of the site plan drawings, additional plans, studies and reports** will be required, including but not limited to the following details:

1. Concept/Layout Plan
2. All measurements in metric
3. Existing and proposed easements and right of ways
4. Parking space totals – required and proposed
5. All dimensions of the subject lands
6. Dimensions and setbacks of all buildings and structures
7. Location and setbacks of septic system and well from all existing and proposed lot lines, and all existing and proposed structures
8. Names of adjacent streets
9. Natural features, watercourses and trees

In addition, the following additional plans, studies and reports, including but not limited to, **may** also be required as part of the complete application submission:

- ☐ On-Site Sewage Disposal System Evaluation Form (to verify location and condition)
- ☐ Environmental Impact Study
- ☐ Geotechnical Study / Hydrogeological Review
- ☐ Minimum Distance Separation Schedule
- ☐ Record of Site Condition

Your development approval might also be dependent on Ministry of Environment Conservation and Parks, Ministry of Transportation or other relevant federal or provincial legislation, municipal by-laws or other agency approvals.

**All final plans must include the owner's signature as well as the engineer's signature and seal.**

### I. Transfers, Easements and Postponement of Interest

The owner acknowledges and agrees that if required it is their solicitor's responsibility on behalf of the owner for the registration of all transfer(s) of land to the County, and/or transfer(s) of easement in favour of the County and/or utilities. Also, the owner further acknowledges and agrees that it is their solicitor's responsibility on behalf of the owner for the registration of postponements of any charges in favour of the County.

### Permission to Enter Subject Lands

Permission is hereby granted to Norfolk County officers, employees or agents, to enter the premises subject to this application for the purposes of making inspections associated with this application, during normal and reasonable working hours.

### Freedom of Information

For the purposes of the *Municipal Freedom of Information and Protection of Privacy Act*, I authorize and consent to the use by or the disclosure to any person or public body any information that is collected under the authority of the *Planning Act*, R.S.O. 1990, c. P. 13 for the purposes of processing this application.

\_\_\_\_\_  
Owner/Applicant/Agent Signature

\_\_\_\_\_  
Date

### J. Owner's Authorization

If the applicant/agent is not the registered owner of the lands that is the subject of this application, the owner must complete the authorization set out below.

I/We Boston Baptist Church am/are the registered owner(s) of the lands that is the subject of this application.

I/We authorize Drew Fallowfield of Girard Engineering to make this application on my/our behalf and to provide any of my/our personal information necessary for the processing of this application. Moreover, this shall be your good and sufficient authorization for so doing.

<u>Boston Baptist Church</u>	<u>July 10/25</u>
Owner	Date
<u>[Signature]</u>	<u>July 10/25</u>
Owner	Date
<u>Chairman Trustee Board</u>	

**\*Note:** If property is owned by an Ontario Ltd. Corporation, Articles of Incorporation are required to be attached to the application.

**K. Declaration**

I, DEAN FAUSTFIELD of CITY OF WOODSTOCK

solemnly declare that:

all of the above statements and the statements contained in all of the exhibits transmitted herewith are true and I make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath and by virtue of *The Canada Evidence Act*.

Declared before me at:

In \_\_\_\_\_  
Brenda Joanne Bruley, a  
Commissioner, etc., Province of Ontario,  
for the Corporation of Norfolk County.  
Expires September 17, 2027.

[Signature]  
Owner/Applicant/Agent Signature

This 21 day of July

A.D. 2025

[Signature]  
A Commissioner, etc.



**DESIGN LOADS** - BOSTON, ONTARIO

GROUND SNOW LOAD	88.1 kPa (12.1 psf)
SAC. LOAD	12.3 psf
WIND LOADS	1750 - 0.42 kPa (8.77 psf) 1710 FOR DEFLECTION - 0.33 kPa (6.89 psf)
SEISMIC DATA	SAC. Z1 - 0.155 SAC. Z2 - 0.155

THESE GENERAL NOTES SHALL BE READ IN CONJUNCTION WITH THE

- [illegible]

**ALLOWABLE SOIL BEARING CAPACITY FOR THIS PROJECT HAS BEEN**

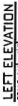
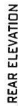
- THE CONTRACTOR SHALL REPORT ANY UNSTABLE SOIL CONDITIONS TO THE ENGINEER. FOOTINGS SHALL NOT BE POURED UNTIL THE SOIL HAS BEEN FULLY INSPECTED AND APPROVED BY THE ENGINEER OR SOIL CONSULTANT.
- THE DIRECTION OF THE SOIL CONSULTANT SHALL BE STRICTLY FOLLOWED.
- ALL EXISTING FOOTINGS SHALL BE POURED TO AN UNWEIGHED MINIMUM SOIL DEPTH OF 4 FEET.
- SOILS NOT ALREADY FINISHED BASED ON THE STUDIES SHOWN ON THE EXAMINATIONS SHALL CONFORM TO THE LATEST CONDITIONS OF THE CALIFORNIA APPROVED ENGINEER (ALAT) AT A MINIMUM DEPTH OF 4 FEET.
- THE CONTRACTOR SHALL OBTAIN THE NECESSARY PERMITS AND THE MINISTRY OF LABOR REGULATION FOR CONSTRUCTION AND SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE EXISTING UTILITIES.
- WALLS TO BE BACKFILLED ON BOTH SIDES SHALL BE BACKFILLED WITH A MINIMUM OF 10 FEET OF BACKFILL.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE EXISTING UTILITIES.
- THE TOP TO THE SATURATION OF THE ENGINEER. BACKFILL SHALL BE PLACED TO THE TOP OF THE EXISTING FOOTING.
- ALL MATERIAL, CONTRACTORS TO 15% A.P.D. UNLESS OTHERWISE NOTED.
- INSTALLATION DETAILS FOR WALLPIERS IS BY FOLLOWING INTERVIEW.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE EXISTING UTILITIES.
- WALLS AND PIER SHALL BE CONCRETE TO BE INSTALLED.
- THE CONTRACTOR SHALL BE NOTIFIED ON FOOTINGS ON THE

**CONCRETE NOTES:**

- [illegible]

STEEL SHALL CONFORM TO CAN/CSA-S16-14 "DESIGN OF STEEL"

- [illegible]



CONSTRUCTION NORTH

**NORFOLK COUNTY  
HARTSON ADMINISTRATION  
BUILDING**  
12 GILBERTSON DRIVE  
SIMCOE, ONTARIO N3Y 3N3

**INSTRUCTED BY:**

**girard**  
ENGINEERING  
2478153 ONTARIO INC.

DESIGNED BY:

682 PEEL STREET  
WOODSTOCK ON, N45 1L3  
TEL: 1-519-879-6875  
E-MAIL: INFO@GIRARDENGINEERING.COM

**CONCLUSION**

[illegible]

**BOSTON BAPTIST CHURCH**  
**TONY DREYER**  
2985 COCKSHUTT ROAD,  
WATERFORD, ONTARIO, N0E 1Y0  
TEL: 519-428-8206  
EMAIL: DREYERT@OUTLOOK.COM

**FLOOR PLANS  
& SECTIONS**

SCALE	1" = 10'
DATE	JUNE 20, 2025
DRAWING BY	T. STEGLICH
DESIGNED/CHECKED BY	M. USANOMA
PROJECT NO:	25-035
<div style="text-align: center;"> <h1>A-1</h1> </div>	
DRAWING NO.	



CONSTRUCTION NORTH

MUNICIPALITY:  
**NORFOLK COUNTY**  
GILBERTSON ADMINISTRATION  
12 GILBERTSON BUILDING  
SINGEE, ONTARIO N3Y 3N3  
PHONE: 519-226-9870

CONTRACTED BY:

DESIGNED BY:  
**girard**  
ENGINEERING  
2478153 ONTARIO INC.  
682 PTD. SUITE  
WINDSOR, ONT. N4S 1L3  
TEL: 519-979-8879  
FAX: 519-979-8878  
EMAIL: INFO@GIRARDENGINEERING.CA

APPROVED BY:



NOTES: THESE DRAWINGS ARE THE PROPERTY OF THE ENGINEER AND ARE NOT TO BE REPRODUCED OR COPIED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF THE ENGINEER.

REVISIONS:

**BOSTON BAPTIST CHURCH**  
TONY DREYER  
2985 COCKSHUT ROAD,  
WATERBURY, ONTARIO, CANADA N1O  
1Y0  
TEL: 519-226-9870  
EMAIL: DREYER@BOUTLOOK.COM

PROPOSED FIRE ESCAPE

SITE PLAN

SCALE:	3/32" = 1' = 0"	DRAWING NO.	
DATE:	JUNE 20, 2023	DATE:	
DRAWN BY:	T. DREYER	PROJECT NO.:	25-035
DESIGNED BY:	K. LAMON		

**S-100**

SITE PLAN  
PREPARED FOR BUILDING PERMIT  
FOR: TONY DREYER

LOT 9, REGISTERED PLAN 45-B  
41R-9356  
CONCESSION 5  
CITY OF NANTICOKE  
IN THE MUNICIPALITY OF THE  
COUNTY OF NORFOLK

NOW IN THE CITY OF NANTICOKE  
IN THE REGIONAL MUNICIPALITY OF  
HALDAMAND NORFOLK

SCALE - 1" = 20'

SURVEYOR'S CERTIFICATE

DATE: 2023-06-20

BY: TONY DREYER

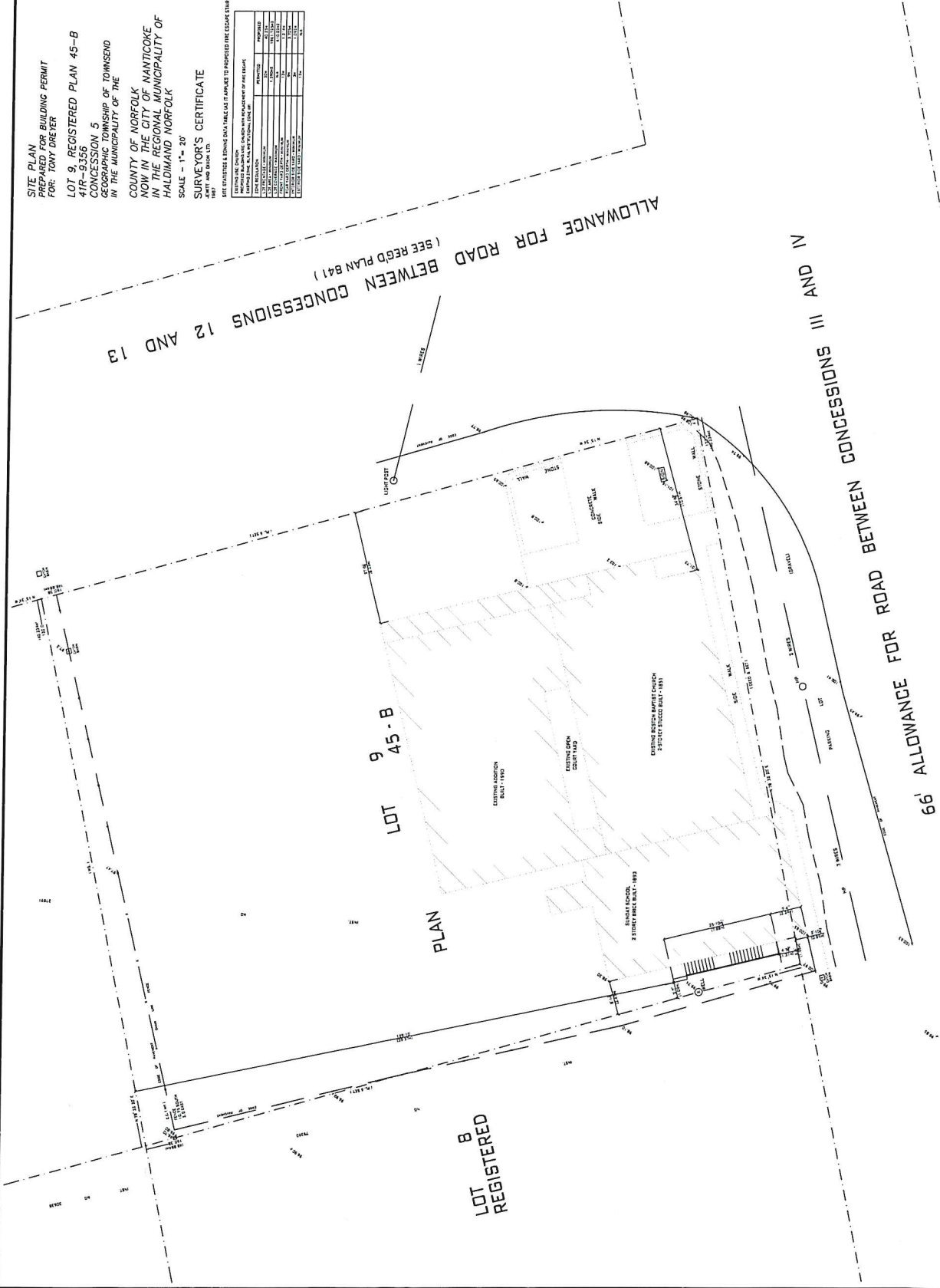
FOR: TONY DREYER

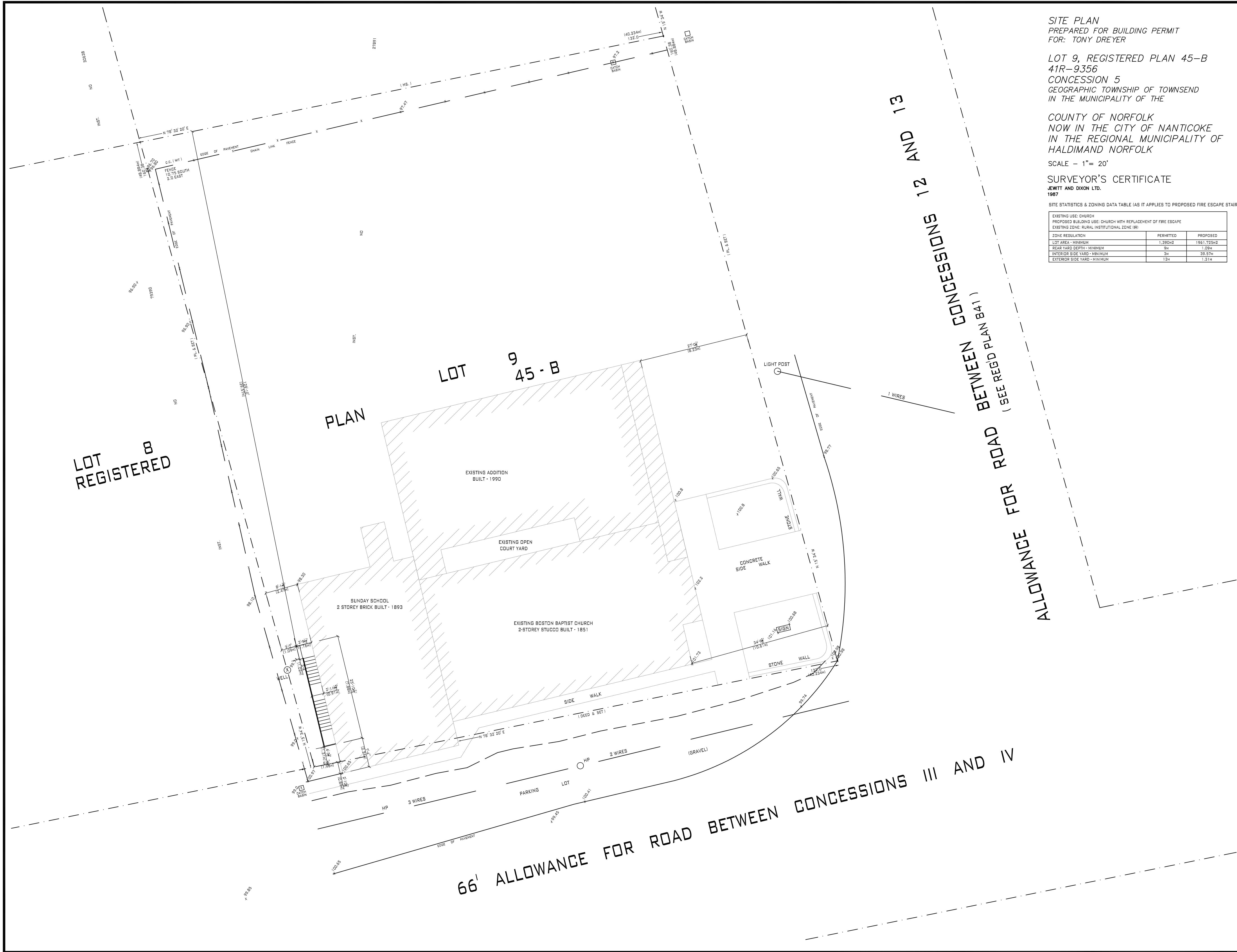
FOR: TONY DREYER

EXISTING FIRE ESCAPE	
NO.	DESCRIPTION
1	EXISTING FIRE ESCAPE
2	EXISTING FIRE ESCAPE
3	EXISTING FIRE ESCAPE
4	EXISTING FIRE ESCAPE
5	EXISTING FIRE ESCAPE
6	EXISTING FIRE ESCAPE
7	EXISTING FIRE ESCAPE
8	EXISTING FIRE ESCAPE
9	EXISTING FIRE ESCAPE
10	EXISTING FIRE ESCAPE
11	EXISTING FIRE ESCAPE
12	EXISTING FIRE ESCAPE
13	EXISTING FIRE ESCAPE
14	EXISTING FIRE ESCAPE
15	EXISTING FIRE ESCAPE
16	EXISTING FIRE ESCAPE
17	EXISTING FIRE ESCAPE
18	EXISTING FIRE ESCAPE
19	EXISTING FIRE ESCAPE
20	EXISTING FIRE ESCAPE

ALLOWANCE FOR ROAD BETWEEN CONCESSIONS 12 AND 13  
(SEE REGD PLAN 841)

66' ALLOWANCE FOR ROAD BETWEEN CONCESSIONS III AND IV





SITE PLAN  
PREPARED FOR BUILDING PERMIT  
FOR: TONY DREYER

LOT 9, REGISTERED PLAN 45-B  
41R-9356  
CONCESSION 5  
GEOGRAPHIC TOWNSHIP OF TOWNSEND  
IN THE MUNICIPALITY OF THE

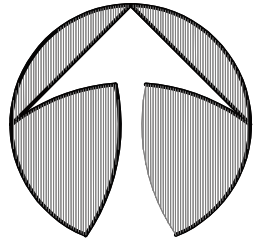
COUNTY OF NORFOLK  
NOW IN THE CITY OF NANTICOKE  
IN THE REGIONAL MUNICIPALITY OF  
HALDIMAND NORFOLK

SCALE - 1"= 20'

SURVEYOR'S CERTIFICATE  
JEWITT AND DIXON LTD.  
1987

SITE STATISTICS & ZONING DATA TABLE (AS IT APPLIES TO PROPOSED FIRE ESCAPE STAIRS):

EXISTING USE: CHURCH PROPOSED BUILDING USE: CHURCH WITH REPLACEMENT OF FIRE ESCAPE EXISTING ZONE: RURAL INSTITUTIONAL ZONE (RI)	PERMITTED	PROPOSED
ZONE REGULATION	1.390m2	1961.725m2
LOT AREA - MINIMUM	9m	1.09m
REAR YARD DEPTH - MINIMUM	3m	29.57m
INTERIOR SIDE YARD - MINIMUM	12m	1.31m
EXTERIOR SIDE YARD - MINIMUM		



CONSTRUCTION NORTH

MUNICIPALITY:  
NORFOLK COUNTY  
GILBERTSON ADMINISTRATION  
BUILDING  
12 GILBERTSON DRIVE  
SIMCOE, ONTARIO N3Y 3N3  
PHONE: 519-426-5870

CONSTRUCTED BY:

DESIGNED BY:  
**girard**  
ENGINEERING  
2478153 ONTARIO INC.  
682 PEEL SREET  
WOODSTOCK ON, N4S 1L3  
TEL: 1-519-879-6875  
EMAIL: INFO@GIRARDEENGINEERING.CA

APPROVED BY:



NOTE: THESE DRAWINGS ARE THE PROPERTY OF THE ENGINEER AND ARE NOT VALID UNLESS SEALED WITH RED INK. THESE DRAWINGS ARE NOT TO BE REPRODUCED UNLESS AUTHORIZED BY THE ENGINEER.

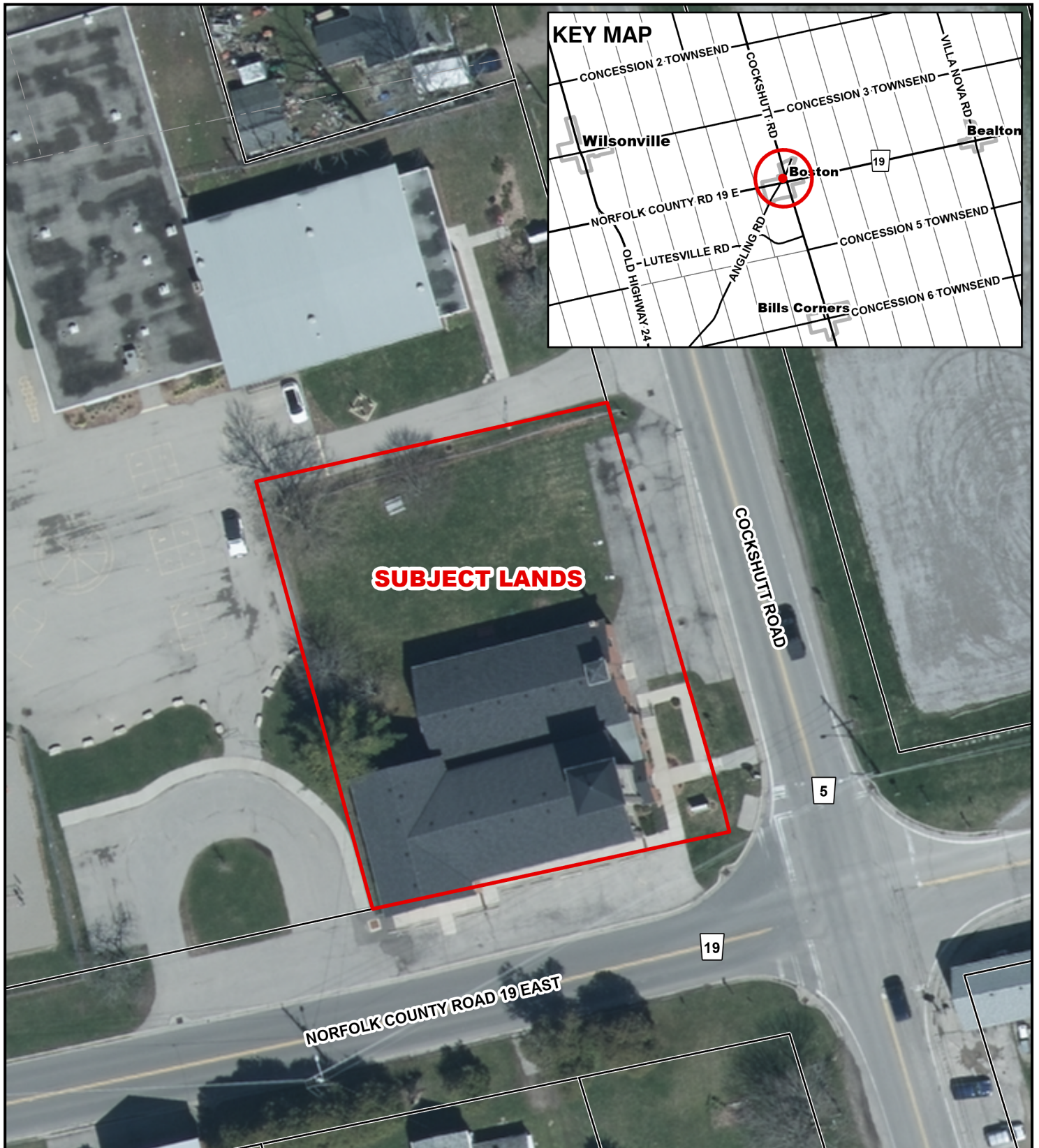
DESIGNED FOR:

BOSTON BAPTIST CHURCH  
TONY DREYER  
2985 COCKSHUTT ROAD,  
WATERFORD, ONTARIO, NOE 1Y0  
TEL: 519-428-8206  
EMAIL: DREYERTO@OUTLOOK.COM


PROPOSED FIRE ESCAPE

SITE PLAN

SCALE: 3/32" = 1'-0"	DRAWING NO:
DATE: JUNE 20, 2025	S-100
DRAWING BY: T. STREATCH	
DESIGNED/CHECKED BY: M. VASANTHA	
PROJECT NO: 25-035	

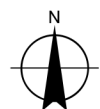


**Legend**

 Subject Lands

2020 Air Photo

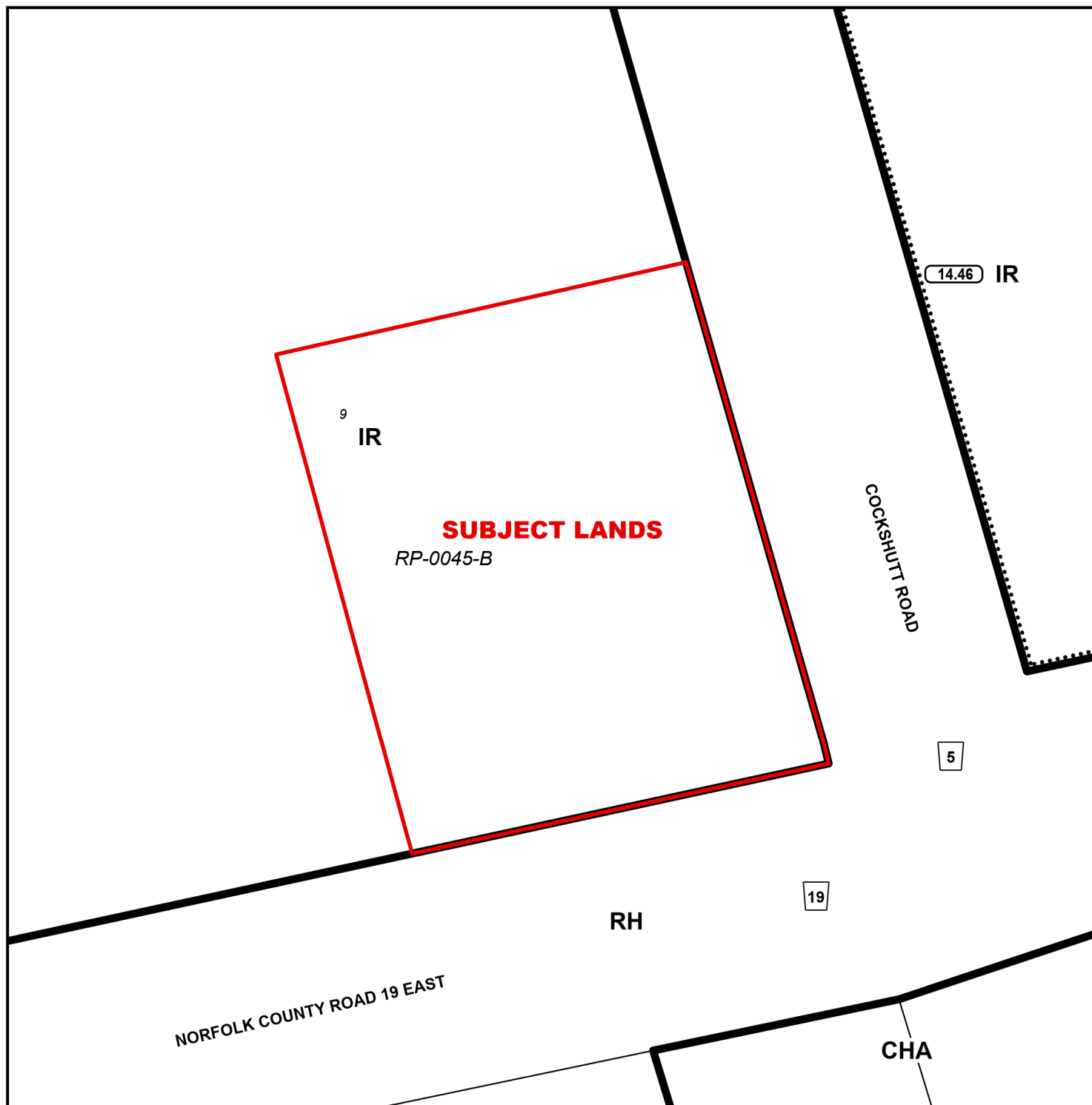
10/9/2025



4.5 2.25 0 4.5 9 13.5 18 Meters

**MAP B**  
**ZONING BY-LAW MAP**  
Geographic Township of TOWNSEND

ANPL2025243



**LEGEND**

Subject Lands

ZONING BY-LAW 1-Z-2014

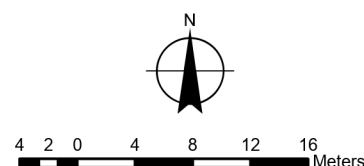
10/9/2025

(H) - Holding

CHA - Hamlet Commercial Zone

RH - Hamlet Residential Zone

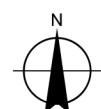
IR - Rural Institutional Zone



## Geographic Township of TOWNSEND



 Subject Lands



**10/9/2025**

