

Committee of Adjustment Application to Planning Department

Complete Application

A complete Committee of Adjustment application consists of the following:

1. A properly completed and signed application form (signature must on original version);
2. Supporting information adequate to illustrate your proposal as listed in **Section H** of this application form (plans are required in paper copy and digital PDF format);
3. Written authorization from all registered owners of the subject lands where the applicant is not the owner as per Section N; and,
4. Cash, debit or cheque payable to Norfolk County in the amount set out in the Norfolk County User Fees By-Law.

Planning application development fees are not required with the submission of your completed and signed development application. Your planning application fee will be determined by the planner when your application has been verified and deemed complete. Prepayments will not be accepted.

5. Completed applications are to be mailed to the attention of **Secretary Treasurer – Committee of Adjustment**: 185 Robinson Street, Suite 200, Simcoe, ON N3Y 5L6 or email your application committee.of.adjustment@norfolkcounty.ca. Make sure submissions are clearly labelled including address, name, and application type. Failure to do so may impact the timing of your application.

The above listed items are required to ensure that your application is given full consideration. An incomplete or improperly prepared application will not be accepted and may result in delays during the processing of the application. This application must be typed or printed in ink and completed in full.

Please review all of the important information summarised below.

Before your Application is Submitted

A pre-consultation meeting is not usually required for Committee of Adjustment applications; however, discussion with Planning Department staff prior to the submission of an application is **strongly encouraged**. The purpose of communicating with a planner **before** you submit your application is: to review your proposal / application, to discuss potential issues; and to determine the required supporting information and materials to be submitted with your application before it can be considered complete by staff. You might find it helpful to retain the services of an independent professional (such as a registered professional planner) to help you with your application. Information about the Official Plan and Zoning By-law can be found on the County website: www.norfolkcounty.ca/planning

After Your Application is Submitted

Once your payment has been received and the application submitted, in order for your application to be deemed complete all of the components noted above are required.

Incomplete applications will be identified and returned to the applicant. The *Planning Act* permits up to 30 days to review and deem an application complete.

Once your application has been deemed complete by the Planning Department, it is then circulated to public agencies and County departments for review and comment. A sign is also provided that is required to be posted on the subject lands that summarizes the application and identifies the committee meeting date. The comments received from members of the community will be included in the planning report and will inform any recommendations in relation to the application.

If the subject lands are located in an area that is regulated by either the Long Point Region Conservation Authority or by the Grand River Conservation Authority an additional fee will be required if review by the applicable agency is deemed necessary. A separate cheque payable to the Long Point Region Conservation Authority or the Grand River Conservation Authority is required in accordance with their fee schedule at the same time your application is submitted.

Additional studies required as part of the complete application shall be at the sole expense of the applicant. In some instances peer reviews may be necessary to review particular studies and that the cost shall be at the expense of the applicant. The company to complete the peer review shall be selected by the County.

If the application is withdrawn prior to the circulation to commenting agencies, the entire original fee will be refunded. If withdrawn after the circulation to agencies, half the original fee will be refunded. No refund is available after the public meeting and/or approval of application.

Notification Sign Requirements

Planning Department staff may post a notification sign on your property in advance of the public meeting on your behalf. Please keep this sign posted until you have received a notice in the mail indicating that the Secretary Treasurer received no appeals. However, it is the applicant's responsibility to ensure that the sign is correctly posted within the statutory timeframes, according to the *Planning Act*. Failure to post a sign in advance of the public meeting in accordance with statutory requirements will impact the timing of your application at the Committee of Adjustment meeting. Applicants are responsible for removal of the sign following the appeal period. The signs are recyclable and can be placed in your blue box.

Contact Us

For additional information or assistance in completing this application, please contact a planner at 519-426-5870 ext. 1842 or Committee.of.Adjustment@NorfolkCounty.ca



For Office Use Only:

File Number	_____	Application Fee	_____
Related File Number	_____	Conservation Authority Fee	_____
Pre-consultation Meeting	_____	Well & Septic Info Provided	_____
Application Submitted	_____	Planner	_____
Complete Application	_____	Public Notice Sign	_____

Check the type of planning application(s) you are submitting.

- ☐ Consent/Severance/Boundary Adjustment
- ☐ Surplus Farm Dwelling Severance and Zoning By-law Amendment
- ☐ Minor Variance
- ☐ Easement/Right-of-Way

Property Assessment Roll Number: _____**A. Applicant Information****Name of Owner** _____

It is the responsibility of the owner or applicant to notify the planner of any changes in ownership within 30 days of such a change.

Address _____

Town and Postal Code _____

Phone Number _____

Cell Number _____

Email _____

Name of Applicant _____

Address _____

Town and Postal Code _____

Phone Number _____

Cell Number _____

Email _____

Name of Agent

Address

Town and Postal Code

Phone Number

Cell Number

Email

Please specify to whom all communications should be sent. Unless otherwise directed, all correspondence and notices in respect of this application will be forwarded to the owner and agent noted above.

☐ Owner

☐ Agent

☐ Applicant

Names and addresses of any holder of any mortgagees, charges or other encumbrances on the subject lands:

B. Location, Legal Description and Property Information

1. Legal Description (include Geographic Township, Concession Number, Lot Number, Block Number and Urban Area or Hamlet):

Municipal Civic Address:

Present Official Plan Designation(s):

Present Zoning:

2. Is there a special provision or site specific zone on the subject lands?

☐ Yes ☐ No If yes, please specify:

3. Present use of the subject lands:

4. Please describe **all existing** buildings or structures on the subject lands and whether they are to be retained, demolished or removed. If retaining the buildings or structures, please describe the type of buildings or structures, and illustrate the setback, in metric units, from front, rear and side lot lines, ground floor area, gross floor area, lot coverage, number of storeys, width, length, and height on your attached sketch which must be included with your application:

5. If an addition to an existing building is being proposed, please explain what it will be used for (for example a bedroom, kitchen, or bathroom). If new fixtures are proposed, please describe.

6. Please describe **all proposed** buildings or structures/additions on the subject lands. Describe the type of buildings or structures/additions, and illustrate the setback, in metric units, from front, rear and side lot lines, ground floor area, gross floor area, lot coverage, number of storeys, width, length, and height on your attached sketch which must be included with your application:

7. Are any existing buildings on the subject lands designated under the *Ontario Heritage Act* as being architecturally and/or historically significant? Yes ☐ No ☐

If yes, identify and provide details of the building:

8. If known, the length of time the existing uses have continued on the subject lands:

9. Existing use of abutting properties:

10. Are there any easements or restrictive covenants affecting the subject lands?

☐ Yes ☐ No If yes, describe the easement or restrictive covenant and its effect:

C. Purpose of Development Application

Note: Please complete all that apply. **Failure to complete this section will result in an incomplete application.**

1. Site Information (Please refer to Zoning By-law to confirm permitted dimensions)

	Existing	Permitted	Provision	Proposed	Deficiency
Lot frontage					
Lot depth					
Lot width					
Lot area					
Lot coverage					
Front yard					
Rear yard					
Height					
Left Interior side yard					
Right Interior side yard					
Exterior side yard (corner lot)					
Parking Spaces (number)					
Aisle width					
Stall size					
Loading Spaces					
Other					

2. Please explain why it is not possible to comply with the provision(s) of the Zoning By-law:

3. **Consent/Severance/Boundary Adjustment:** Description of land intended to be severed in metric units:

Frontage: _____

Depth: _____

Width: _____

Lot Area: _____

Present Use: _____

Proposed Use: _____

Proposed final lot size (if boundary adjustment): _____

If a boundary adjustment, identify the assessment roll number and property owner of the lands to which the parcel will be added: _____

Description of land intended to be retained in metric units:

Frontage: _____

Depth: _____

Width: _____

Lot Area: _____

Present Use: _____

Proposed Use: _____

Buildings on retained land: _____

4. **Easement/Right-of-Way:** Description of proposed right-of-way/easement in metric units:

Frontage: _____

Depth: _____

Width: _____
Area: _____
Proposed Use: _____

5. Surplus Farm Dwelling Severances Only: List all properties in Norfolk County, which are owned and farmed by the applicant and involved in the farm operation

Owners Name: _____
Roll Number: _____
Total Acreage: _____
Workable Acreage: _____
Existing Farm Type: (for example: corn, orchard, livestock) _____
Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built _____
Date of Land Purchase: _____

Owners Name: _____
Roll Number: _____
Total Acreage: _____
Workable Acreage: _____
Existing Farm Type: (for example: corn, orchard, livestock) _____
Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built _____
Date of Land Purchase: _____

Owners Name: _____
Roll Number: _____
Total Acreage: _____
Workable Acreage: _____
Existing Farm Type: (for example: corn, orchard, livestock) _____
Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built _____
Date of Land Purchase: _____

Owners Name: _____
Roll Number: _____
Total Acreage: _____
Workable Acreage: _____
Existing Farm Type: (for example: corn, orchard, livestock) _____
Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built _____
Date of Land Purchase: _____

Owners Name: _____
Roll Number: _____
Total Acreage: _____
Workable Acreage: _____
Existing Farm Type: (for example: corn, orchard, livestock) _____
Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built _____
Date of Land Purchase: _____

Note: If additional space is needed please attach a separate sheet.

D. All Applications: Previous Use of the Property

1. Has there been an industrial or commercial use on the subject lands or adjacent lands? ☐ Yes ☐ No ☐ Unknown

If yes, specify the uses (for example: gas station, or petroleum storage):

2. Is there reason to believe the subject lands may have been contaminated by former uses on the site or adjacent sites? ☐ Yes ☐ No ☐ Unknown

3. Provide the information you used to determine the answers to the above questions:

4. If you answered yes to any of the above questions in Section D, a previous use inventory showing all known former uses of the subject lands, or if appropriate, the adjacent lands, is needed. Is the previous use inventory attached? ☐ Yes ☐ No

E. All Applications: Provincial Policy

1. Is the requested amendment consistent with the provincial policy statements issued under subsection 3(1) of the *Planning Act, R.S.O. 1990, c. P. 13*? ☐ Yes ☐ No

If no, please explain:

2. It is owner's responsibility to be aware of and comply with all relevant federal or provincial legislation, municipal by-laws or other agency approvals, including the Endangered Species Act, 2007. Have the subject lands been screened to ensure that development or site alteration will not have any impact on the habitat for endangered or threatened species further to the provincial policy statement subsection 2.1.7? ☐ Yes ☐ No

If no, please explain:

3. Have the subject lands been screened to ensure that development or site alteration will not have any impact on source water protection? ☐ Yes ☐ No

If no, please explain:

Note: If in an area of source water Wellhead Protection Area (WHPA) A, B or C please attach relevant information and approved mitigation measures from the Risk Manager Official.

4. All Applications: Are any of the following uses or features on the subject lands or within 500 metres of the subject lands, unless otherwise specified? Please check boxes, if applicable.

Livestock facility or stockyard (submit MDS Calculation with application)

☐ On the subject lands or ☐ within 500 meters – distance _____

Wooded area

☐ On the subject lands or ☐ within 500 meters – distance _____

Municipal Landfill

☐ On the subject lands or ☐ within 500 meters – distance _____

Sewage treatment plant or waste stabilization plant

☐ On the subject lands or ☐ within 500 meters – distance _____

Provincially significant wetland (class 1, 2 or 3) or other environmental feature

☐ On the subject lands or ☐ within 500 meters – distance _____

Floodplain

☐ On the subject lands or ☐ within 500 meters – distance _____

Rehabilitated mine site

☐ On the subject lands or ☐ within 500 meters – distance _____

Non-operating mine site within one kilometre

☐ On the subject lands or ☐ within 500 meters – distance _____

Active mine site within one kilometre

☐ On the subject lands or ☐ within 500 meters – distance _____

Industrial or commercial use (specify the use(s))

☐ On the subject lands or ☐ within 500 meters – distance _____

Active railway line

☐ On the subject lands or ☐ within 500 meters – distance _____

Seasonal wetness of lands

☐ On the subject lands or ☐ within 500 meters – distance _____

Erosion

☐ On the subject lands or ☐ within 500 meters – distance _____

Abandoned gas wells

☐ On the subject lands or ☐ within 500 meters – distance _____

F. All Applications: Servicing and Access

1. Indicate what services are available or proposed:

Water Supply

- | | |
|--|---|
| <input type="checkbox"/> Municipal piped water | <input type="checkbox"/> Communal wells |
| <input type="checkbox"/> Individual wells | <input type="checkbox"/> Other (describe below) |
-

Sewage Treatment

- | | |
|---|---|
| <input type="checkbox"/> Municipal sewers | <input type="checkbox"/> Communal system |
| <input type="checkbox"/> Septic tank and tile bed in good working order | <input type="checkbox"/> Other (describe below) |
-

Storm Drainage

- | | |
|---|---------------------------------------|
| <input type="checkbox"/> Storm sewers | <input type="checkbox"/> Open ditches |
| <input type="checkbox"/> Other (describe below) | |
-

2. Existing or proposed access to subject lands:

- | | |
|---|---|
| <input type="checkbox"/> Municipal road | <input type="checkbox"/> Provincial highway |
| <input type="checkbox"/> Unopened road | <input type="checkbox"/> Other (describe below) |

Name of road/street:

G. All Applications: Other Information

1. Does the application involve a local business? ☐ Yes ☐ No

If yes, how many people are employed on the subject lands?

2. Is there any other information that you think may be useful in the review of this application? If so, explain below or attach on a separate page.

H. Supporting Material to be submitted by Applicant

In order for your application to be considered complete, folded hard copies (number of paper copies as directed by the planner) and an **electronic version (PDF) of the site plan drawings, additional plans, studies and reports** will be required, including but not limited to the following details:

1. Concept/Layout Plan
2. All measurements in metric
3. Existing and proposed easements and right of ways
4. Parking space totals – required and proposed
5. All dimensions of the subject lands
6. Dimensions and setbacks of all buildings and structures
7. Location and setbacks of septic system and well from all existing and proposed lot lines, and all existing and proposed structures
8. Names of adjacent streets
9. Natural features, watercourses and trees

In addition, the following additional plans, studies and reports, including but not limited to, **may** also be required as part of the complete application submission:

- ☐ On-Site Sewage Disposal System Evaluation Form (to verify location and condition)
- ☐ Environmental Impact Study
- ☐ Geotechnical Study / Hydrogeological Review
- ☐ Minimum Distance Separation Schedule
- ☐ Record of Site Condition

Your development approval might also be dependent on Ministry of Environment Conservation and Parks, Ministry of Transportation or other relevant federal or provincial legislation, municipal by-laws or other agency approvals.

All final plans must include the owner's signature as well as the engineer's signature and seal.

I. Transfers, Easements and Postponement of Interest

The owner acknowledges and agrees that if required it is their solicitor's responsibility on behalf of the owner for the registration of all transfer(s) of land to the County, and/or transfer(s) of easement in favour of the County and/or utilities. Also, the owner further acknowledges and agrees that it is their solicitor's responsibility on behalf of the owner for the registration of postponements of any charges in favour of the County.

Permission to Enter Subject Lands

Permission is hereby granted to Norfolk County officers, employees or agents, to enter the premises subject to this application for the purposes of making inspections associated with this application, during normal and reasonable working hours.

Freedom of Information

For the purposes of the *Municipal Freedom of Information and Protection of Privacy Act*, I authorize and consent to the use by or the disclosure to any person or public body any information that is collected under the authority of the *Planning Act, R.S.O. 1990, c. P. 13* for the purposes of processing this application.

Andrew Reaney

08-12-2025

Owner/Applicant/Agent Signature

Date

J. Owner's Authorization

If the applicant/agent is not the registered owner of the lands that is the subject of this application, the owner must complete the authorization set out below.

I/We Andrew Reaney am/are the registered owner(s) of the lands that is the subject of this application.

I/We authorize RJ ERNST to make this application on my/our behalf and to provide any of my/our personal information necessary for the processing of this application. Moreover, this shall be your good and sufficient authorization for so doing.

Andrew Reaney

08-12-2025

Owner

Date

Shirley Reaney

Owner

08-12-2025

Date

***Note:** If property is owned by an Ontario Ltd. Corporation, Articles of Incorporation are required to be attached to the application.

K. Declaration

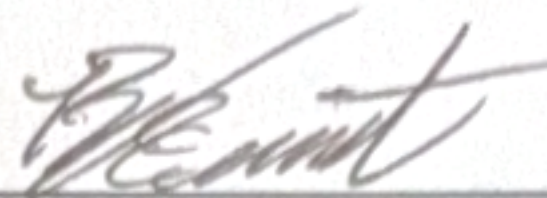
I, RJ ERNST of ERNST CONS. & DESIGN

solemnly declare that:

all of the above statements and the statements contained in all of the exhibits transmitted herewith are true and I make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath and by virtue of *The Canada Evidence Act*.

Declared before me at:

Town of Simcoe

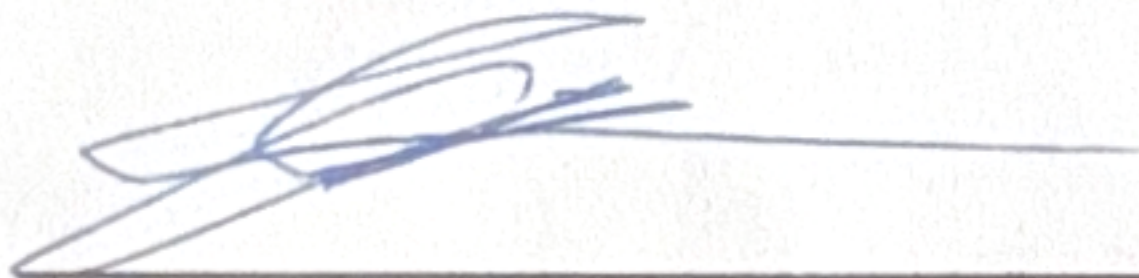


Owner/Applicant/Agent Signature

In Province of Ontario

This 14th day of August

A.D., 2025



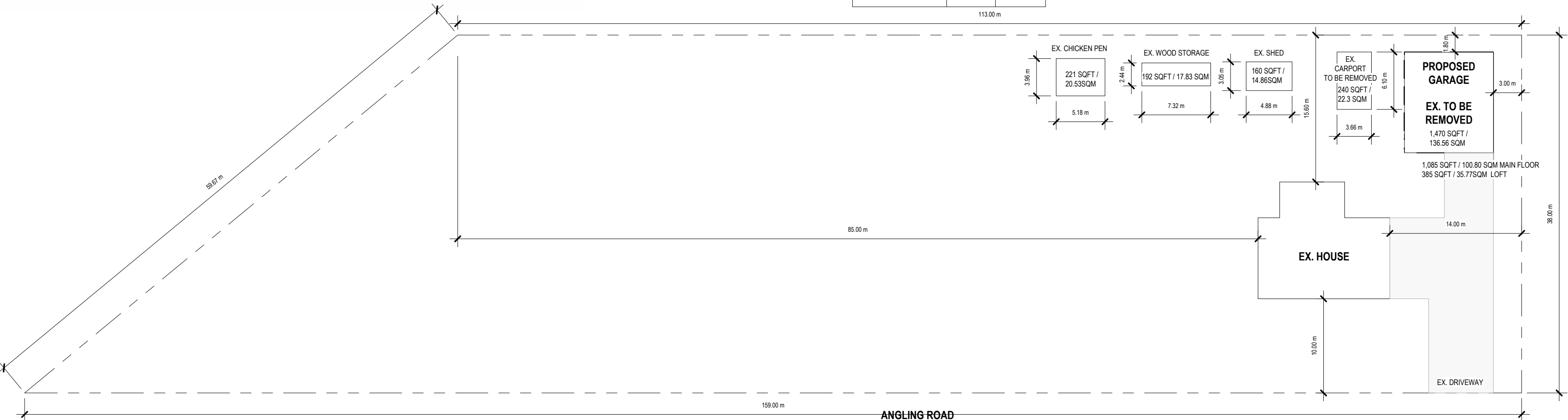
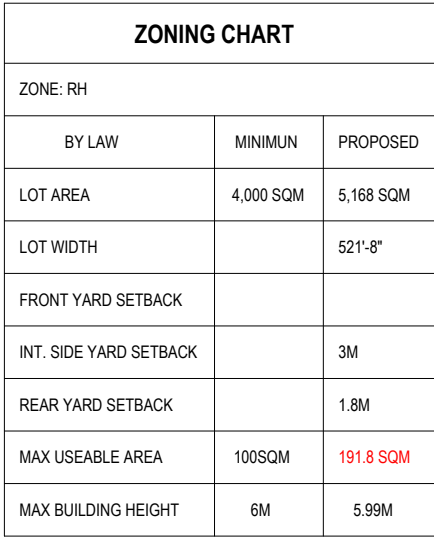
A Commissioner, etc.

Conor Thornevell
LGO # 820375
Cobb & Jones

[illegible]

DOOR SCHEDULE						
DOOR TYPE	Dimensions		Level	COMMENTS	Phase Created	COUNT
	WIDTH	HEIGHT				
D1	3'-0"	6'-8"	T/O Main Floor / GRADE		03 - New Construction	1
D2	8'-0"	8'-0"	T/O Main Floor / GRADE		03 - New Construction	1
D3	10'-0"	10'-0"	T/O Main Floor / GRADE		03 - New Construction	1

Window Schedule							
Window Type	Dimensions		Comments	Glass Area	UPO	Phase Created	Count
	Width	Height					
W1	6'-0"	2'-0"		8 SF	12 SF	03 - New Construction	3
W2	8'-0"	2'-0"		11 SF	16 SF	03 - New Construction	1
W3	10'-0"	2'-0"		14 SF	20 SF	03 - New Construction	1
Total Windows: 5							



Sheet Number	Sheet Name
A0.01	COVER SHEET & SCHEDULES
A0.02	TYPICAL NOTES
A1.01	FOUNDATION PLAN
A1.02	MAIN FLOOR PLAN
A1.05	ROOF PLAN
A2.01	FRONT & REAR ELEVATION
A2.02	LEFT & RIGHT ELEVATION
A3.01	TYPICAL DETAILS
A4.01	BUILDING SECTIONS

These drawings are the property of Ernst Construction & Design Inc.'s and are not to be reproduced without written consent. These drawings are not to be used for construction, under any circumstances without the explicit signature of the designer and the approval of the appropriate building permits. Any use of these drawings without the designer's signature and the necessary building permit approval is strictly prohibited.

SIGNATURE

[illegible]

A0.01

Scale: As indicated

<p align="center"><u>GENERAL NOTES</u></p> <p>**THIS PAGE ONLY COVERS SOME BUILDING ELEMENTS. ALL WORK SHALL CONFORM TO THE 2024 ONTARIO BUILDING CODE AND/OR PROFESSIONAL ENGINEER- PRIOR TO CONSTRUCTION, THE CONTRACTOR MUST VERIFY ALL INFORMATION, DIMENSIONS AND SPECIFICATIONS ON THIS PLAN.</p> <p align="center"><u>DIMENSIONS</u></p> <p>MAIN FLOOR EXTERIOR WALL DIMENSIONS ARE TAKEN FROM THE EXTERIOR EDGE OF FOUNDATION BELOW</p> <p>*ALL INTERIOR DIMENSIONS ARE TAKEN FROM STUD EDGES*</p> <p align="center"><u>9.3. MATERIALS SYSTEMS & EQUIPMENT</u></p> <p>9.3.1 CONCRETE</p> <p>9.3.1.6. COMPRESSIVE STRENGTH</p> <p>(1) THE COMPRESSIVE STRENGTH OF UNREINFORCED CONCRETE AFTER 28 DAYS SHALL BE NOT LESS THAN</p> <p>(a) 32 MPa FOR GARAGE FLOOR, CARPORT FLOORS, AND ALL EXTERIOR FLATWORK</p> <p>(b) 20 MPa FOR INTERIOR FLOORS OTHER THAN THOSE FOR GARAGES & CARPORTS</p> <p>(c) 15 MPa FOR ALL OTHER APPLICATIONS</p> <p>9.3.1.9. COLD WEATHER REQUIREMENTS</p> <p>(1) WHEN THE AIR TEMPERATURE IS BELOW 5°C, CONCRETE SHALL BE</p> <p>(a) KEPT AT A TEMPERATURE OF NOT LESS THAN 10°C OR MORE THAN 25°C WHILE BEING MIXED & PLACED AND</p> <p>(b) MAINTAINED AT A TEMPERATURE OF NOT LESS THAN 10°C FOR 72h AFTER PLACING</p> <p align="center"><u>9.12 EXCAVATION</u></p> <p>9.12.1.1 REMOVAL OF TOPSOIL AND ORGANIC MATTER</p> <p>(3) THE BOTTOM OF EVERY EXCAVATION SHALL BE FREE OF ALL ORGANIC MATERIAL</p> <p>9.12.1.2. STANDING WATER</p> <p>(1) EXCAVATIONS SHALL BE KEPT FREE OF STANDING WATER</p> <p>9.12.1.3. PROTECTION FROM FREEZING</p> <p>(1) THE BOTTOM OF EXCAVATIONS SHALL BE KEPT FROM FREEZING THROUGHOUT THE ENTIRE CONSTRUCTION PERIOD</p> <p>9.12.2.1 EXCAVATION TO UNDISTURBED SOIL</p> <p>(1) EXCAVATIONS FOR FOUNDATIONS SHALL EXTEND TO UNDISTURBED SOIL</p> <p align="center"><u>9.13 DAMPPROOFING, WATERPROOFING AND SOIL GAS CONTROL</u></p> <p>9.13.2.1 DAMPPROOFING</p> <p>(1) WHERE THE EXTERIOR FINISHED GROUND LEVEL IS AT A HIGHER ELEVATION THAN THE GROUND LEVEL INSIDE THE FOUNDATION WALLS, EXTERIOR SURFACES OF FOUNDATION WALLS BELOW GROUND LEVEL SHALL BE DAMPPROOFED</p> <p>(4) DAMPPROOFING IN SENTENCE (1) IS NOT REQUIRED WHERE THE EXTERIOR SURFACES OF FOUNDATION WALLS BELOW GROUND LEVEL ARE WATERPROOFED</p> <p align="center"><u>9.15.3 FOOTINGS</u></p> <p>9.15.3.2. SUPPORT OF FOOTING</p> <p>(1) FOOTINGS SHALL BEAR ON UNDISTURBED SOIL, ROCK, OR COMPACTED GRANULAR FILL</p> <p>9.15.3.9. STEP FOOTINGS</p> <p>(a) THE VERTICAL RISE BETWEEN HORIZONTAL PORTIONS SHALL NOT EXCEED 600mm (24")</p> <p>(b) THE HORIZONTAL DISTANCE BETWEEN RISERS SHALL NOT BE LESS THAN 24"</p> <p align="center"><u>9.7 WINDOWS, DOORS & SKYLIGHTS</u></p> <p>9.7.2.1.(2) - MAIN ENTRANCE DOORS TO DWELLING UNITS SHALL BE PROVIDED WITH,</p> <p>(a) A DOOR VIEWER OR TRANSPARENT GLAZING IN THE DOOR, OR</p> <p>(b) A SIDELIGHT</p> <p align="center">TABLE 9.7.2.3.(1)</p> <p align="center">GLASS AREAS FOR ROOMS OF RESIDENTIAL OCCUPANCY</p> <table> <tr> <th>LOCATION</th><th>MIN UNOBSTRUCTED GLASS AREA WITH NO ELECTRIC LIGHTING</th><th>MIN UNOBSTRUCTED GLASS AREA WITH ELECTRIC LIGHTING</th></tr> <tr> <td>LAUNDRY, BASEMENT RECREATION ROOM, UNFINISHED BASEMENT</td><td>4% OF AREA SERVED</td><td>WINDOWS NOT REQUIRED</td></tr> <tr> <td>WATER CLOSET ROOM</td><td>0.37M² / 4 FT²</td><td>WINDOWS NOT REQUIRED</td></tr> <tr> <td>KITCHEN, KITCHEN SPACE OR KITCHEN ALCOVE</td><td>10% OF AREA SERVED</td><td>WINDOWS NOT REQUIRED</td></tr> <tr> <td>LIVING ROOMS & DINING ROOMS</td><td>10% OF AREA SERVED</td><td>10% OF AREA SERVED</td></tr> <tr> <td>BEDROOMS AND OTHER FINISHED ROOMS NOT MENTIONED ABOVE</td><td>5% OF AREA SERVED</td><td>5% OF AREA SERVED</td></tr> </table> <p>(1) AREA OF THE SPACE SHALL BE MEASURED AT FLOOR LEVEL</p> <p>9.7.5.2 RESISTANCE TO FORCED ENTRY</p> <p>(1) THIS ARTICLE APPLIES TO</p> <p>(a) SWINGING ENTRANCE DOOR TO DWELLING UNITS</p> <p>(b) SWINGING DOORS BETWEEN DWELLING UNITS AND ATTACHED GARAGES AND OTHER ANCILLARY SPACED, AND</p> <p>(c) SWINGING DOORS THAT PROVIDE ACCESS DIRECTLY OR INDIRECTLY FROM A STORAGE GARAGE TO A DWELLING UNIT</p> <p>(4) DOORS DESCRIBED IN SENTENCE 1 SHALL BE PROVIDED WITH,</p> <p>(a) A DEADBOLT LOCK WITH A CYLINDER HAVING NO FEWER THAN 5 PINS AND</p> <p>(b) A BOLT THROW NOT LOSS THAN 25MM (1") LONG, PROTECTED WITH A SOLID OR HARDENED FREE TURNING RING OR BEVELED CYLINDER HOUSING</p> <p>9.7.6.1 INSTALLATION OF WINDOWS DOORS & SKYLIGHTS</p> <p>(1)(a) SHIMS USED TO SUPPORT WINDOWS, DOORS AND SKYLIGHTS ARE PERMITTED TO BE OF TREATED PLYWOOD</p> <p>(3)WINDOWS, DOORS AND SKYLIGHTS SHALL BE SEALED TO AIR BARRIERS AND VAPOUR BARRIERS</p>			LOCATION	MIN UNOBSTRUCTED GLASS AREA WITH NO ELECTRIC LIGHTING	MIN UNOBSTRUCTED GLASS AREA WITH ELECTRIC LIGHTING	LAUNDRY, BASEMENT RECREATION ROOM, UNFINISHED BASEMENT	4% OF AREA SERVED	WINDOWS NOT REQUIRED	WATER CLOSET ROOM	0.37M ² / 4 FT ²	WINDOWS NOT REQUIRED	KITCHEN, KITCHEN SPACE OR KITCHEN ALCOVE	10% OF AREA SERVED	WINDOWS NOT REQUIRED	LIVING ROOMS & DINING ROOMS	10% OF AREA SERVED	10% OF AREA SERVED	BEDROOMS AND OTHER FINISHED ROOMS NOT MENTIONED ABOVE	5% OF AREA SERVED	5% OF AREA SERVED
LOCATION	MIN UNOBSTRUCTED GLASS AREA WITH NO ELECTRIC LIGHTING	MIN UNOBSTRUCTED GLASS AREA WITH ELECTRIC LIGHTING																		
LAUNDRY, BASEMENT RECREATION ROOM, UNFINISHED BASEMENT	4% OF AREA SERVED	WINDOWS NOT REQUIRED																		
WATER CLOSET ROOM	0.37M ² / 4 FT ²	WINDOWS NOT REQUIRED																		
KITCHEN, KITCHEN SPACE OR KITCHEN ALCOVE	10% OF AREA SERVED	WINDOWS NOT REQUIRED																		
LIVING ROOMS & DINING ROOMS	10% OF AREA SERVED	10% OF AREA SERVED																		
BEDROOMS AND OTHER FINISHED ROOMS NOT MENTIONED ABOVE	5% OF AREA SERVED	5% OF AREA SERVED																		

9.8 STAIRS, STEPS, RAMPS, LANDINGS, HANDRAILS AND GUARDS

9.8.2.1 STAIR WIDTH

(4) AT LEAST ONE STAIR BETWEEN EACH FLOOR LEVEL WITHIN A DWELLING UNIT AND EXTERIOR STAIRS SERVING A HOUSE OR AN INDIVIDUAL DWELLING UNIT SHALL HAVE A WIDTH OF NOT LESS THAN 860mm (2'-10")

9.8.2.2 HEIGHT OVER STAIRS

(3) THE CLEAR HEIGHT OVER STAIRS SERVING A HOUSE OR INDIVIDUAL DWELLING UNIT SHALL NOT BE LESS THAN 1950mm (6'-4 3/4")

TABLE 9.8.4.1

RISE FOR RECTANGULAR TREADS, TAPERED TREADS AND WINDERS AND RUN FOR RECTANGULAR TREADS

STAIR TYPE	MAX RISE FOR ALL STEPS	MIN RISE FOR ALL STEPS	MAX RUN FOR RECTANGULAR TREADS	MAX RUN FOR RECTANGULAR TREADS
PRIVATE STAIRS (HOUSES)	200mm / 7 7/8"	125mm / 5"	355mm / 14"	255mm / 10"
STAIRS TO UNOCCUPIED ATTIC SPACE	NO LIMIT	125mm / 5"	355mm / 14"	NO LIMIT
STAIRS TO CRAWL SPACES	NO LIMIT	125mm / 5"	355mm / 14"	NO LIMIT

9.8.4.4.UNIFORMITY AND TOLERANCES FOR RISERS, RUNS, TREADS

(1) RISERS SHALL BE OF UNIFORM HEIGHT IN ANY ONE FLIGHT

9.8.6.3. DIMENSIONS OF LANDINGS

(1)(a) LANDINGS SHALL BE AT LEAST AS WIDE AS THE WIDTH OF THE STAIR OR RAMP IN WHICH THEY OCCUR, AND
(b) AT LEAST AS LONG AS THE WIDTH OF THE STAIR OR RAMP IN WHICH THEY OCCUR

9.8.7.1 REQUIRED HANDRAILS

(3) A HANDRAIL IS NOT REQUIRED FOR STAIRS AND RAMPS SERVING A HOUSE OR AN INDIVIDUAL DWELLING UNIT, WHERE
(a) INTERIOR STAIRS HAVE NOT MORE THAN 2 RISERS
(b) EXTERIOR STAIRS HAVING NOT MORE THAN 3 RISERS
(c) RAMPS RISE NOT MORE THAN 400mm (1'-3 3/4")

9.8.7.2 CONTINUITY OF HANDRAILS

(2) FOR STAIRS SERVING A HOUSE OR AN INDIVIDUAL DWELLING UNIT, AT LEAST ONE REQUIRED HANDRAIL SHALL BE CONTINUOUS THROUGHOUT THE LENGTH OF THE STAIR OR RAMP, EXCEPT WHERE INTERRUPTED BY,
(a) DOORWAYS,
(b) LANDINGS, OR
(c) NEWEL POSTS AT CHANGES IN DIRECTION

9.8.7.4. HEIGHT OF HANDRAILS

(2) HANDRAILS SHALL BE 865mm (34") TO 1070mm (42") HIGH

9.8.7.5. ERGONOMIC DESIGN

(2) ALL HANDRAILS SHALL BE CONSTRUCTED SO AS TO BE CONTINUALLY GRASPABLE ALONG THEIR LENGTH WITH NO OBSTRUCTION ON OR ABOVE THEM TO BREAK A HANDHOLD

9.8.7.7. PROJECTIONS INTO STAIRS OR RAMPS

(1) HANDRAILS AND PROJECTIONS BELOW HANDRAILS INCLUDING HANDRAIL SUPPORTS AND STAIR STRINGERS SHALL NOT PROJECT MORE THEN 100mm (4") INTO THE REQUIRED WIDTH OF THE STAIR

9.8.8.1. REQUIRED GUARDS

(1)EVERY SURFACE TO WHICH ACCESS ID PROVIDED, INCLUDING BUT NOT LIMITED TO FLIGHTS, RAMPS, EXTERIOR LANDINGS, PORCHES, BALCONIES, MEZZANINES, GALLERIES AND RAISED WALKWAYS, SHALL BE PROTECTED BY A GUARD ON EACH SIDE THAT IS NOT PROTECTED BY A WALL FOR THE LENGTH WHERE,
(a) THERE IS A DIFFERENCE IN ELEVATION OR MORE THAN 600mm (1'-11 5/8") BETWEEN THE WALKING SURFACE AND THE ADJACENT SURFACE

9.8.8.3. HEIGHT OF GUARDS

(1) EXCEPT AS PROVIDED BY SENTENCES (2) AND (3), ALL GUARDS SHALL BE NOT LESS THAN 1070mm (42") HIGH
(2) ALL GUARDS WITHIN DWELLING UNITS SHALL NOT BE LESS THAN 900mm (35 1/2") HIGH
(3) EXTERIOR GUARDS SERVING A HOUSE OR DWELLING UNIT SHALL BE NOT LESS THAN 900mm (35 1/2") WHERE THE WALKING SURFACE SERVED BY THE GUARD IS NOT MORE THAN 1 800mm (5'-11") ABOVE FINISHED GROUND LEVEL

9.8.8.5 OPENINGS IN GUARDS

(1) OPENINGS IN GUARDS SHALL BE OF A SIZE THAT PREVENTS THE PASSAGE OF A SPHERICAL OBJECT HAVING A DIAMETER OF 400mm (4")

9.8.8.6. GUARDS DESIGNED NOT TO FACILITATE CLIMBING

(1) GUARDS SHALL BE DESIGNED SO THAT NO MEMBER, ATTACHMENT OR OPENING LOCATED BETWEEN 140mm (5 1/2") AND 900mm35 1/2" ABOVE THE FLOOR OR WALKING SURFACE PROTECTED BY THE GUARD WILL FACILITATE CLIMBING

9.31. PLUMBING FACILITIES

9.31.4.1 REQUIRED FACILITIES

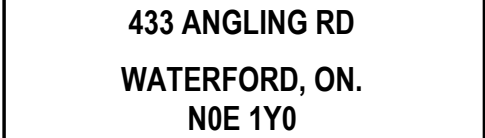
(a) A KITCHEN SINK
(b) A LAVATORY
(c) A BATHTUB OR SHOWER STALL AND
(d) A WATER CLOSET OR A DRAIN-LESS COMPOSTING TOILET

9.31.4.2. LAUNDRY FACILITIES

(1) LAUNDRY FACILITIES OR A SPACE FOR LAUNDRY FACILITIES SHALL BE PROVIDED IN EVERY DWELLING UNIT OR GROUPED ELSEWHERE IN THE BUILDING IN A LOCATION CONVENIENTLY ACCESSIBLY TO OCCUPANTS OF EVERY DWELLING UNIT

9.31.4.4. FLOOR DRAINS

(1) FLOOR DRAINS SHALL BE INSTALLED IN A BASEMENT FORMING PART OF A DWELLING UNIT

[illegible]


I, REILLY ERNST
TAKE RESPONSIBILITY FOR THE DESIGN AND I AM QUALIFIED AS
AN "OTHER DESIGNER" UNDER THE 2024
ONTARIO BUILDING CODE
BCIN# 110349
FIRM BCIN# 127349



SIGNATURE

TYPICAL NOTES	
PROJECT NUMBER	24-034
Date:	2025-08-21 9:33:55 AM
Drawn By:	REILLY ERNST

Scale: $1/4" = 1'-0"$

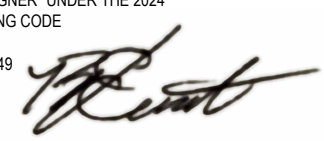


433 ANGLING RD
WATERFORD, ON.
N0E 1Y0

ALL WOOD LINTELS SHALL BE
2-2x8 W/ 1J 1K EA. END U.N.O

ALL STEEL LINTELS SHALL BE
L4"x31/2"x1/4" U.N.O.

* DENOTES ITEMS DESIGNED BY
A PROFESSIONAL ENGINEER

I, REILLY ERNST
TAKE RESPONSIBILITY FOR THE DESIGN AND I AM QUALIFIED AS
AN "OTHER DESIGNER" UNDER THE 2024
ONTARIO BUILDING CODE
BCIN# 110349
FIRM BCIN# 127349

SIGNATURE

REVISIONS		
NO.	DESCRIPTION	DATE

FOUNDATION PLAN

PROJECT NUMBER24-034

Date:2025-08-21 9:33:55 AM

Drawn By:REILLY ERNST

A1.01

Scale:1/4" = 1'-0"

These drawings are the property of Ernst Construction & Design Inc.'s and are not to be reproduced without written consent. These drawings are not to be used for construction under any circumstances without the explicit signature of the designer and the approval of the appropriate building permits. Any use of these drawings without the designer's signature and the necessary building permit approval is strictly prohibited.

Prices, plans, elevations, gradings, steps, dimensions, specifications, information and square footage are subject to change without any notice. Some features shown may be optional and available at an extra cost. Drawings are artist & designer's concept only and are subject to change as per offer. Final selections and any adjustment required by OBC & City building / zoning departments. E. & O.E. 2021 Ernst Construction & Design. All rights reserved. 01 Jan 2024.

The diagram shows a foundation plan for a 4'-0" wide foundation wall. The overall dimensions are 43'-0" wide by 43'-0" deep. The foundation is divided into sections with various dimensions. A central 12" DIA SONOTUBE is located on a 24"x24"x12" FTG. The plan is labeled 'UNEXCAVATED'. A north arrow is located at the top center, pointing towards the top right. A section line '1 A4.01' is shown at the top, and another '3 A4.01' is shown on the right side.

1 FOUNDATION PLAN
A1.01 1/4" = 1'-0"

4'-0" FOUNDATION WALL

**WATERFORD, ON.**

NOE 1Y0

**ALL WOOD LINTELS SHALL BE
2-2x8 W/ 1J 1K EA. END U.N.O**

**ALL STEEL LINTELS SHALL BE
L4"x31/2"x1/4" U.N.O.**

* DENOTES ITEMS DESIGNED BY
A PROFESSIONAL ENGINEER

WINDOW SILLS ABOVE A STAIR/LANDING SHALL BE MIN 2'-11" OR BE PROTECTED WITH A GUARD, OR BE DESIGNED TO WITHSTAND THE LOADS

instances without the explicit signature of the designer and the approval of the appropriate building permits. Any use of these drawings without the designer's signature and the necessary building permit approval is strictly prohibited.

I, REILLY ERNST
TAKE RESPONSIBILITY FOR THE DESIGN AND I AM QUALIFIED AS
AN "OTHER DESIGNER" UNDER THE 2024
ONTARIO BUILDING CODE
BCIN# 110349
FIRM BCIN# 127349

SIGNATURE

[illegible]

MAIN FLOOR PLAN

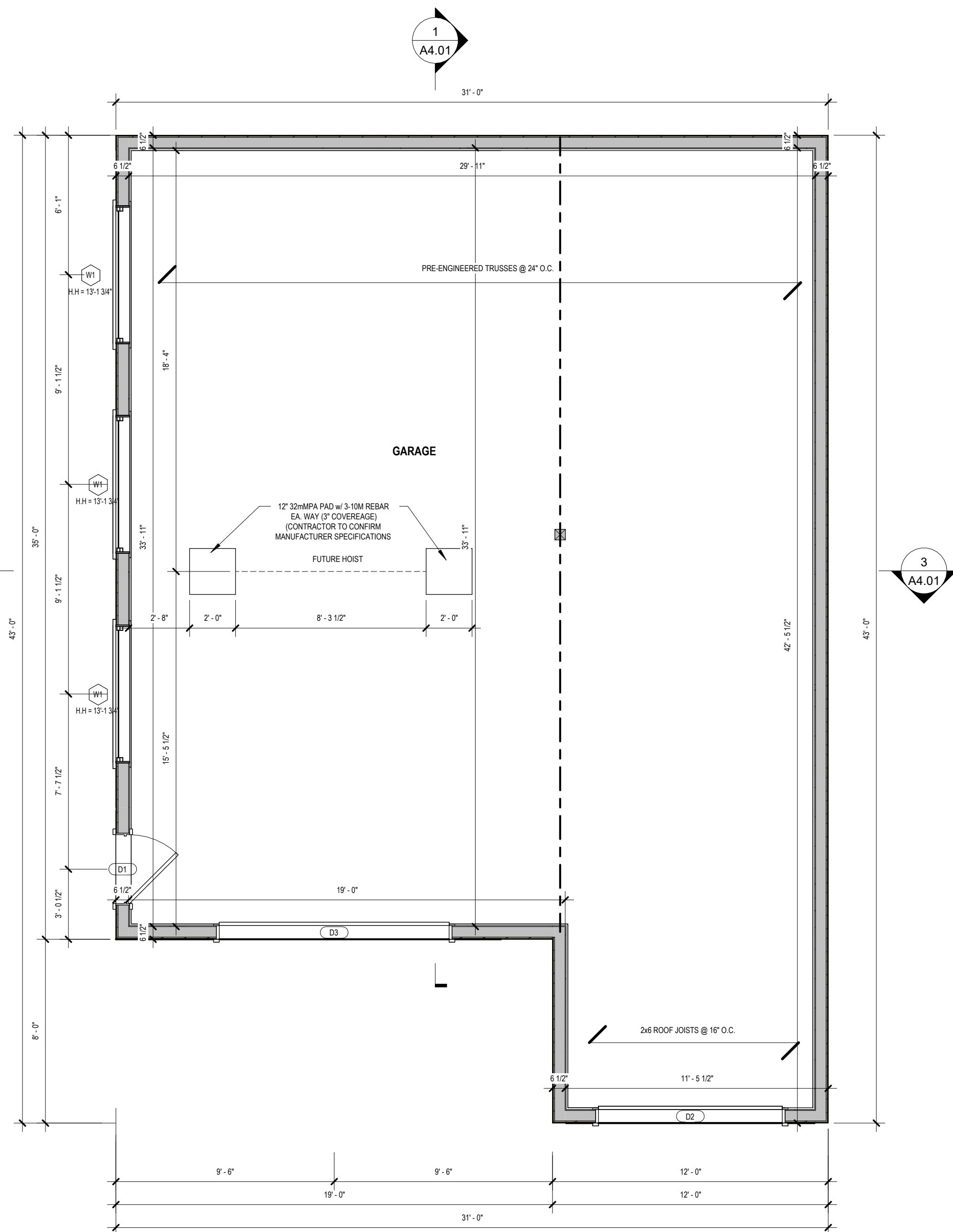
PROJECT NUMBER	24-034
----------------	--------

Date: 2025-08-21 9:33:55 AM

Drawn By: REILLY ERNST

A1.02

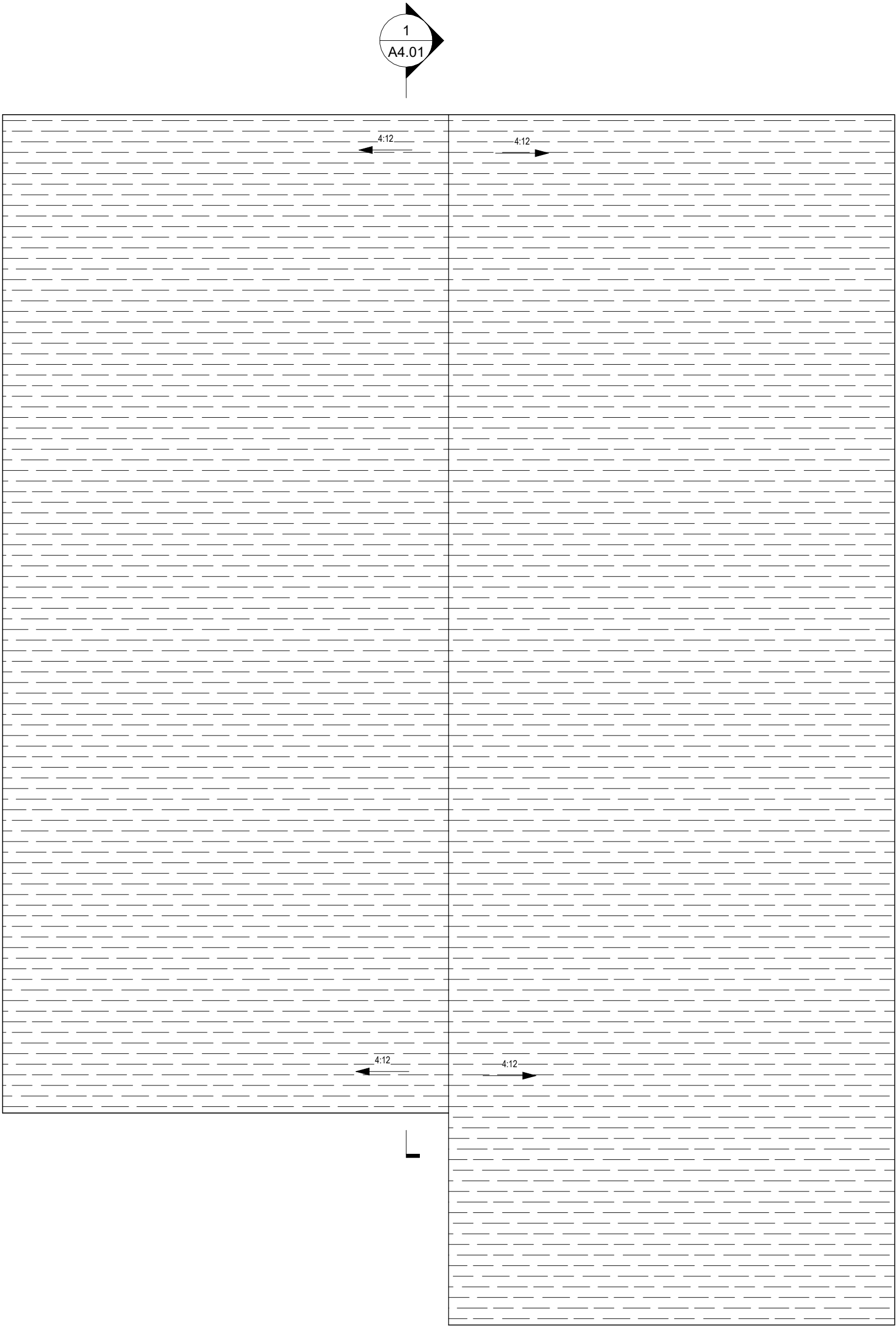
Scale: $1/4" = 1'-0"$



1 MAIN FLOOR PLAN

A1.02 $1/4" = 1'-0"$

1 ROOF PLAN
A1.05 1/4" = 1'-0"



433 ANGLING RD
WATERFORD, ON.
N0E 1Y0

PROVIDE P. ENG APPROVED TRUSS DRAWINGS AND SPECIFICATIONS TO BUILDING INSPECTOR AT FRAMING INSPECTION

I, REILLY ERNST
TAKE RESPONSIBILITY FOR THE DESIGN AND I AM QUALIFIED AS
AN "OTHER DESIGNER" UNDER THE 2024
ONTARIO BUILDING CODE
BCIN# 110349
FIRM BCIN# 127349

SIGNATURE

REVISIONS		
NO.	DESCRIPTION	DATE

ROOF PLAN

PROJECT NUMBER 24-034

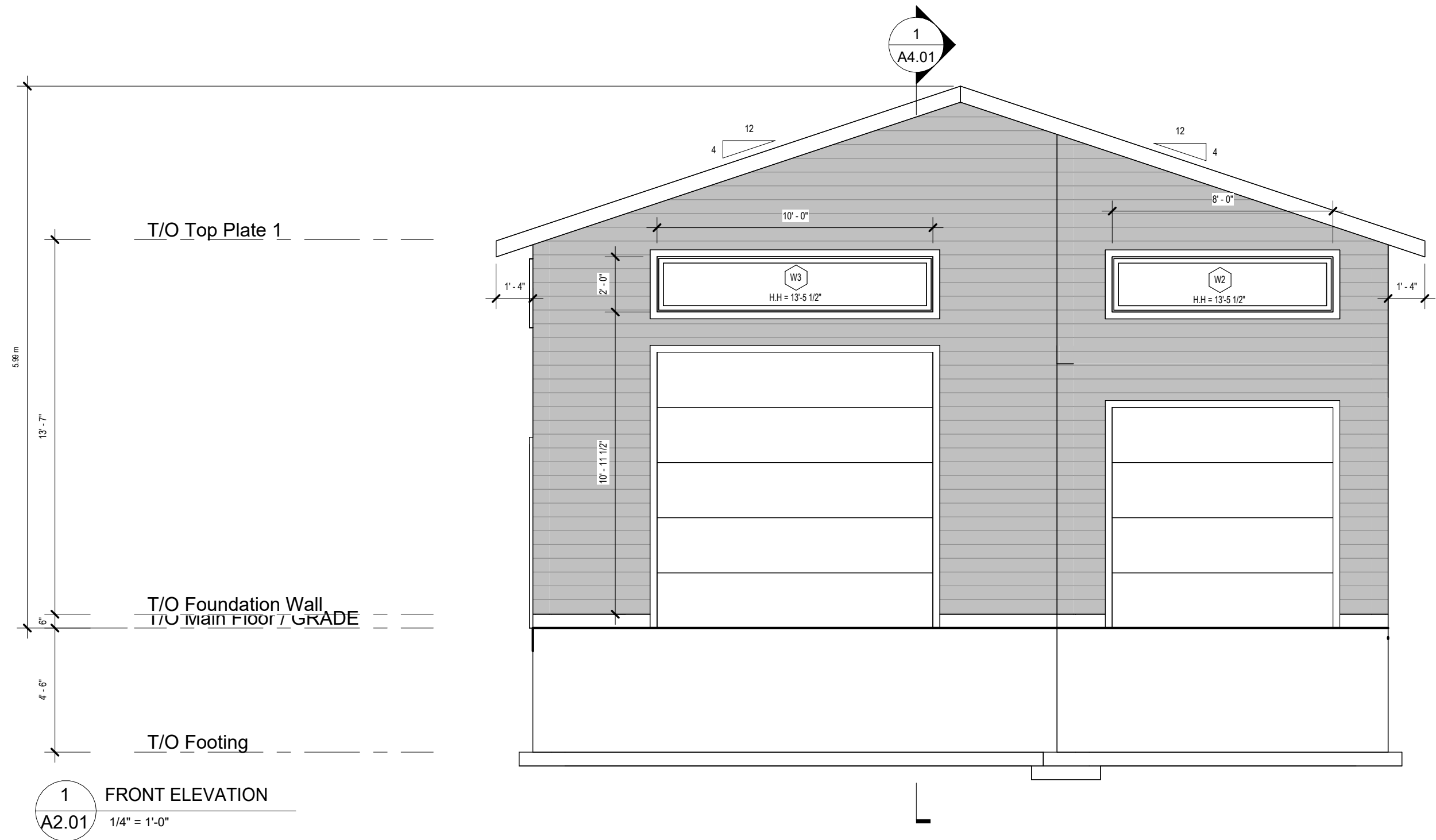
Date: 2025-08-21 9:33:56 AM

Drawn By: REILLY ERNST

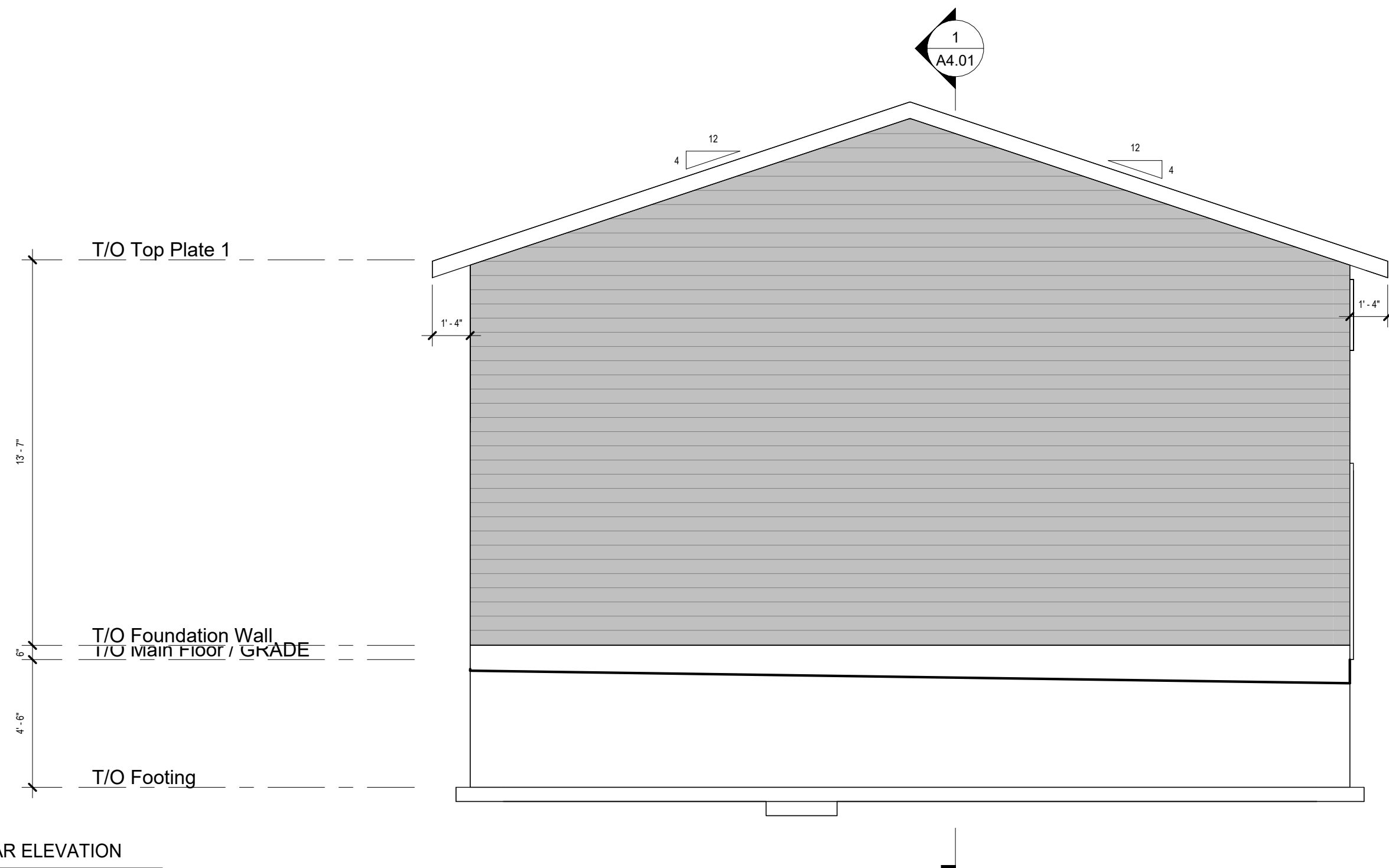
A1.05

Scale: 1/4" = 1'-0"

These drawings are the property of Ernst Construction & Design Inc.'s and are not to be reproduced without written consent. These drawings are not to be used for construction under any circumstances without the explicit signature of the designer and the approval of the appropriate building permits. Any use of these drawings without the designer's signature and the necessary building permit approval is strictly prohibited. Prices, plans, elevations, gradings, slopes, dimensions, specifications, information and square footage are subject to change without any notice. Some features shown may be optional and available at an extra cost. Drawings are artist & designer's concept only and are subject to change as per offer. Final selections and any adjustment required by OBC & City building / zoning departments. E. & O.E. 2021 Ernst Construction & Design. All rights reserved. 01-Jan-2024.



1 FRONT ELEVATION
1/4" = 1'-0"



2 REAR ELEVATION
1/4" = 1'-0"

4'-0" FOUNDATION WALL



433 ANGLING RD
WATERFORD, ON.
N0E 1Y0

AREA CHART

	SQ. FT.
GARAGE USEABLE AREA	1,085
LOFT AREA	445

NON OPEN TERRAIN

PROVIDE STAIR, GUARD AND LANDING
OR INSTALL PERMANENT BLOCKING
TO RESIST DOOR OPENING TO MAX 4"
WHEN DOOR SILL EXCEEDS 24" ABOVE
GRADE

THE ONTARIO BUILDING CODE REQUIRES THAT A COPY
OF THE DRAWINGS AND SPECIFICATIONS THAT HAVE
BEEN REVIEWED BY THE BUILDING DIVISION BE
KEPT AT THE CONSTRUCTION SITE AT ALL TIMES

I, REILLY ERNST
TAKE RESPONSIBILITY FOR THE DESIGN AND I AM QUALIFIED AS
AN "OTHER DESIGNER" UNDER THE 2024
ONTARIO BUILDING CODE
BCIN# 110349
FIRM BCIN# 127349
SIGNATURE

REVISIONS

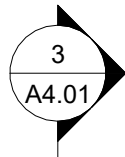
NO.	DESCRIPTION	DATE

FRONT & REAR
ELEVATION

PROJECT NUMBER 24-034
Date: 2025-08-21 9:33:56 AM
Drawn By: REILLY ERNST

A2.01

Scale: 1/4" = 1'-0"



T/O Top Plate 1

13'-7"

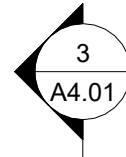
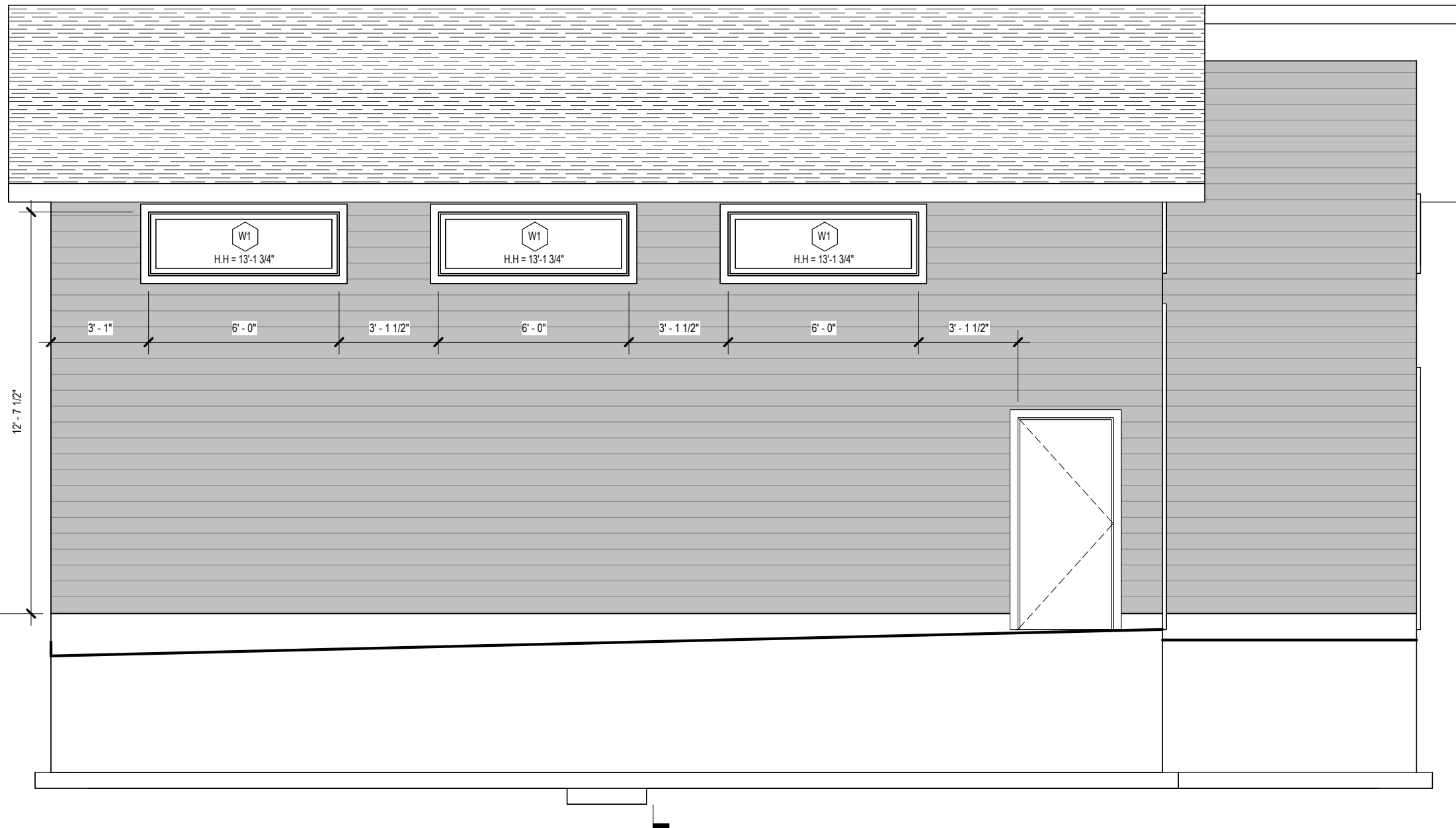
6"

T/O Foundation Wall
T/O Main Floor / GRADE

4'-5"

T/O Footing

1 LEFT ELEVATION
A2.02 1/4" = 1'-0"



T/O Top Plate 1

13'-7"

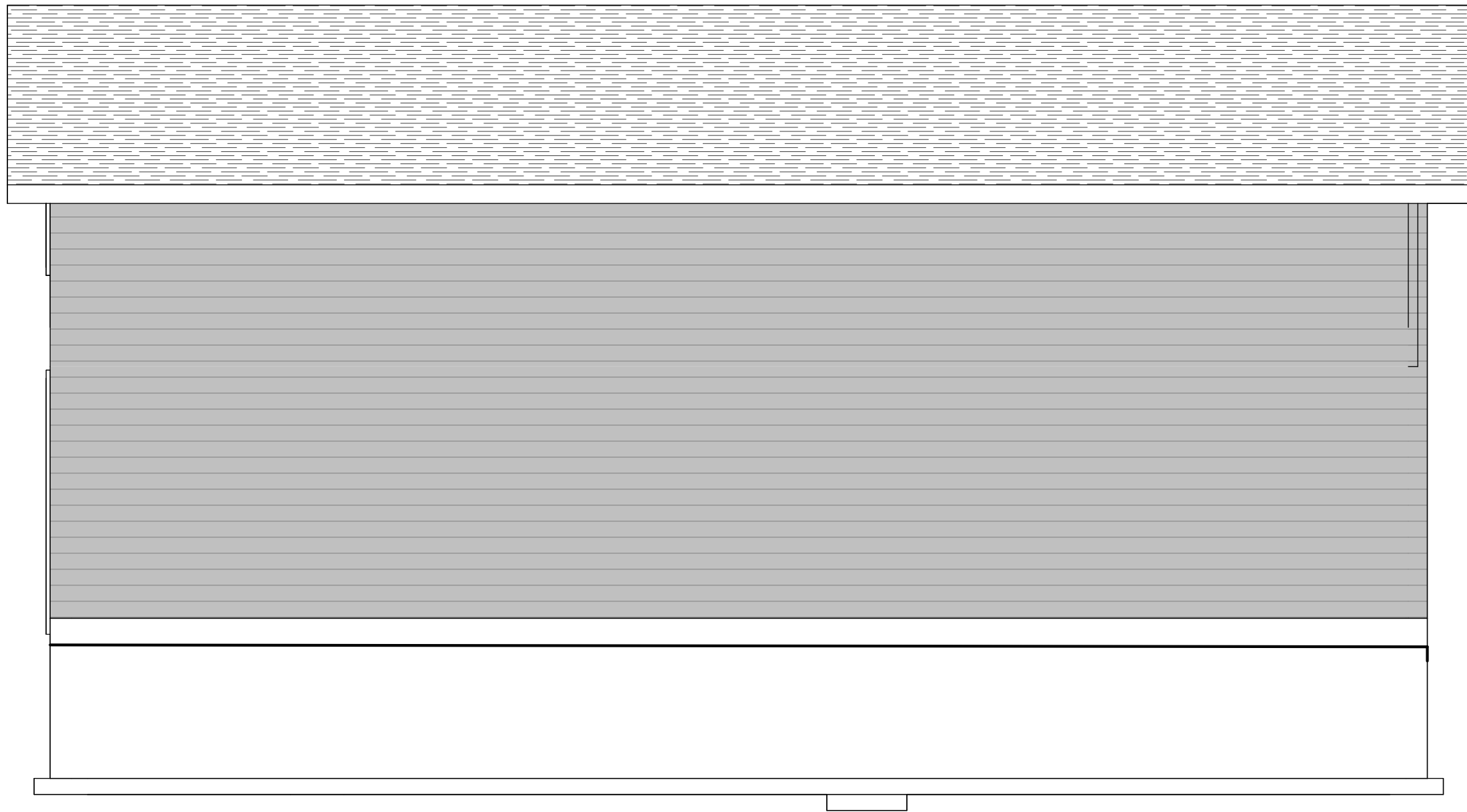
6"

T/O Foundation Wall
T/O Main Floor / GRADE

4'-5"

T/O Footing

2 RIGHT ELEVATION
A2.02 1/4" = 1'-0"



4'-0" FOUNDATION WALL



433 ANGLING RD
WATERFORD, ON.
N0E 1Y0

A SEPARATE BUILDING PERMIT IS REQUIRED
FOR ANY DECK GREATER THAN 24" ABOVE GRADE

PROVIDE STAIR, GUARD AND LANDING
OR INSTALL PERMANENT BLOCKING
TO RESIST DOOR OPENING TO MAX 4"
WHEN DOOR SILL EXCEEDS 24" ABOVE
GRADE

I, REILLY ERNST
TAKE RESPONSIBILITY FOR THE DESIGN AND I AM QUALIFIED AS
AN "OTHER DESIGNER" UNDER THE 2024
ONTARIO BUILDING CODE
BCIN# 110349
FIRM BCIN# 127349

SIGNATURE

REVISIONS		
NO.	DESCRIPTION	DATE

LEFT & RIGHT
ELEVATION

PROJECT NUMBER 24-034
Date: 2025-08-21 9:33:56 AM
Drawn By: REILLY ERNST

A2.02

Scale: 1/4" = 1'-0"

These drawings are the property of Ernst Construction & Design Inc.'s and are not to be reproduced without written consent. These drawings are not to be used for construction, under any circumstances without the explicit signature of the designer and the approval of the appropriate building permits. Any use of these drawings without the designer's signature and the necessary building permit approval is strictly prohibited. Prices, plans, elevations, gradings, sheets, dimensions, specifications, information and square footage are subject to change without any notice. Some features shown may be optional and available at an extra cost. Drawings are artist & designer's concept only and are subject to change as per offer, final selections and any adjustment required by OBC & City building / zoning departments. E. & O.E. 2021 Ernst Construction & Design. All rights reserved. 01 Jan 2024.

I, REILLY ERNST
TAKE RESPONSIBILITY FOR THE DESIGN AND I AM QUALIFIED AS
AN "OTHER DESIGNER" UNDER THE 2024
ONTARIO BUILDING CODE
BCIN# 110349
FIRM BCIN# 127349

SIGNATURE

REVISIONS		
NO.	DESCRIPTION	DATE

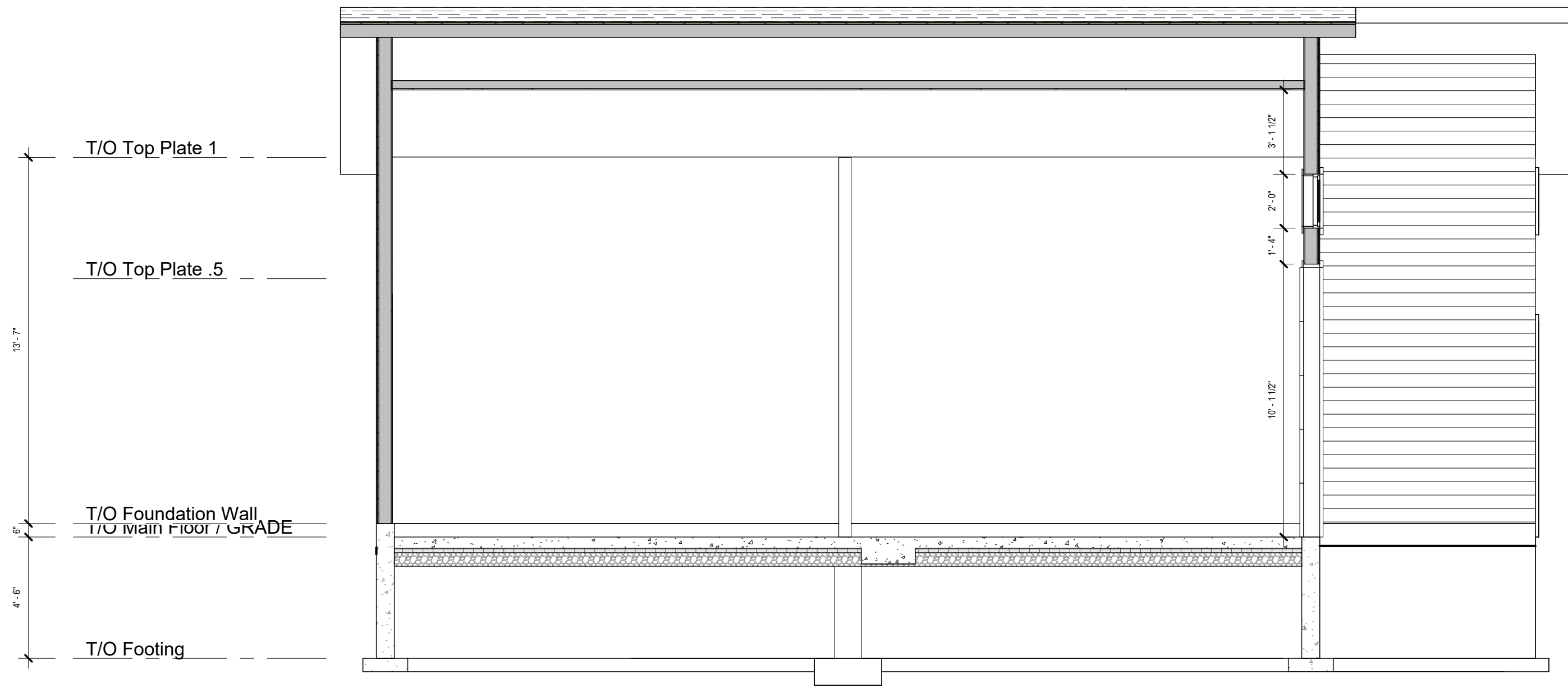
BUILDING SECTIONS

PROJECT NUMBER 24-034
Date: 2025-08-21 9:33:57 AM
Drawn By: REILLY ERNST

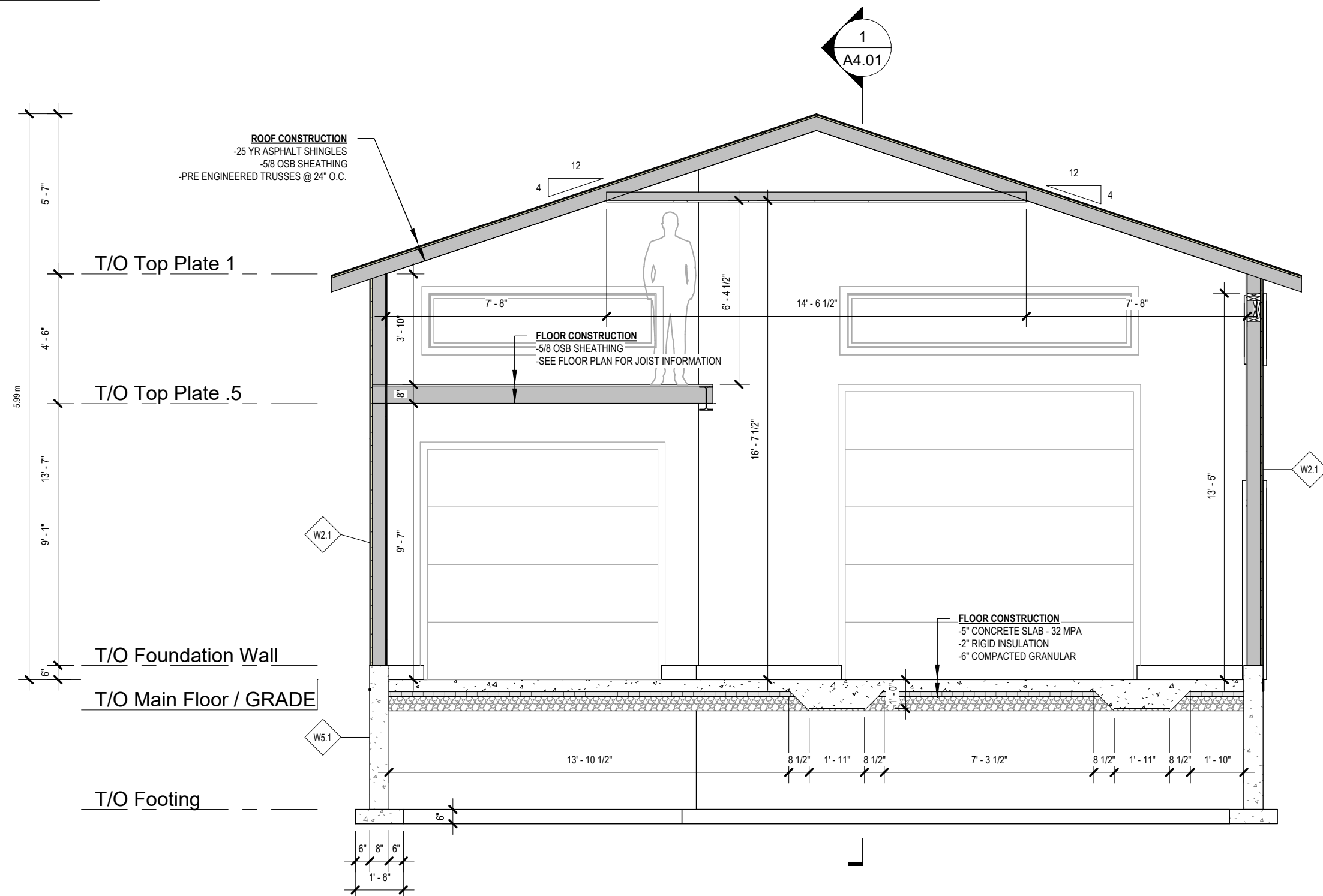
A4.01

Scale: 1/4" = 1'-0"

3
A4.01



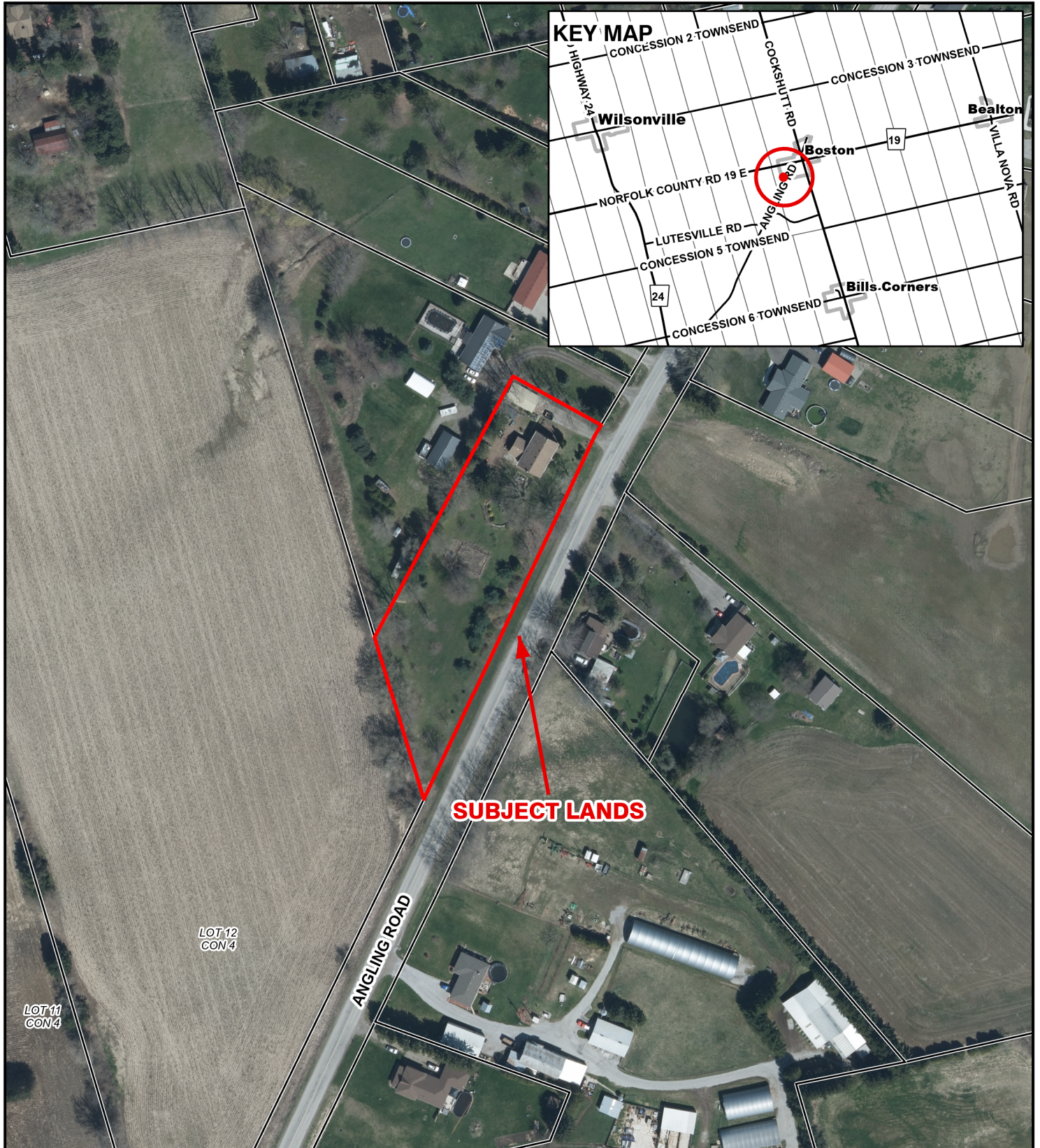
1
A4.01
BUILDING SECTION 1
1/4" = 1'-0"




3
A4.01
BUILDING SECTION 2
1/4" = 1'-0"

MAP A
CONTEXT MAP
Geographic Township of TOWNSEND

ANPL2025248

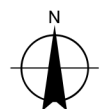


Legend

 Subject Lands

2020 Air Photo

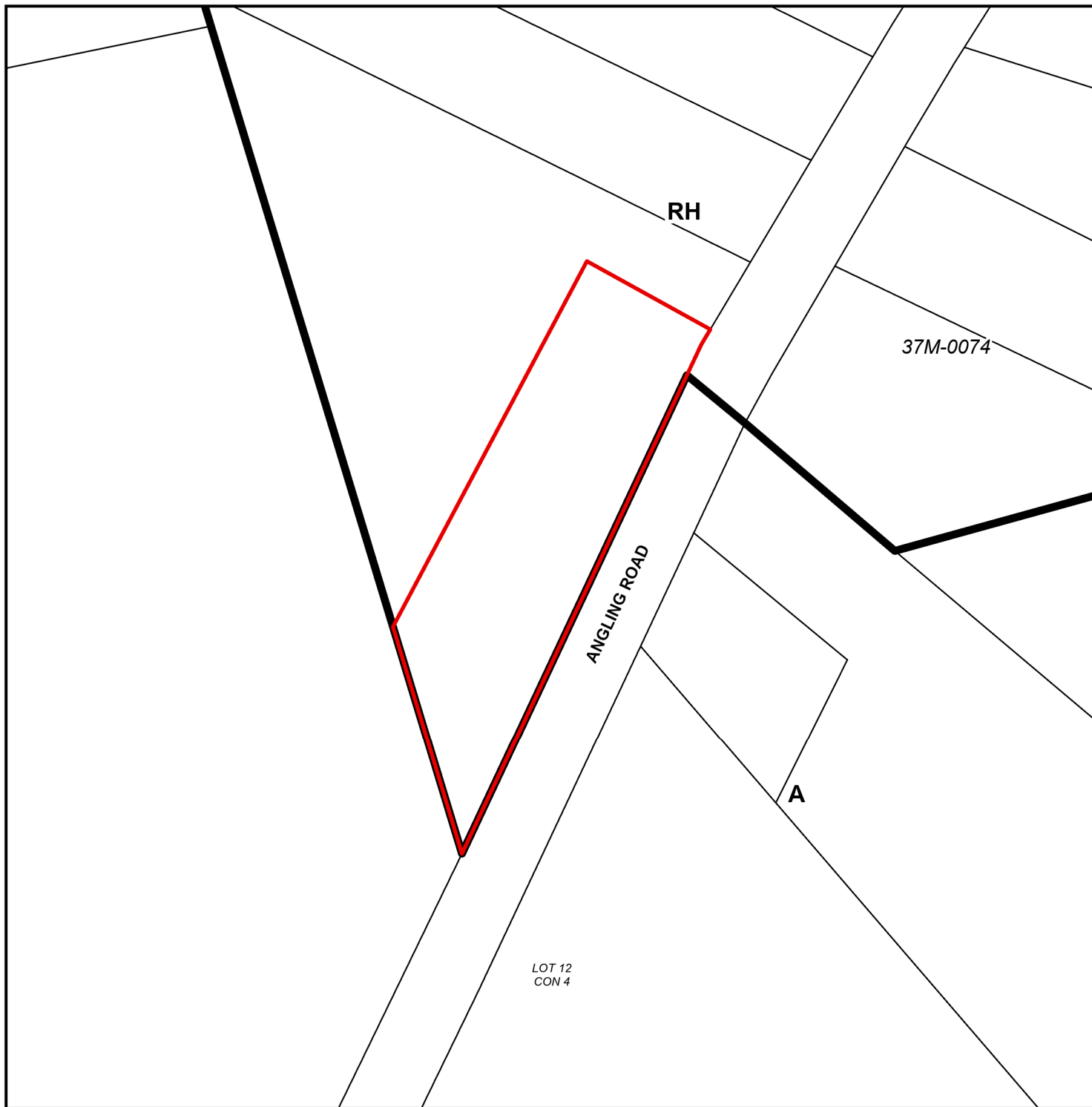
8/28/2025



105 0 10 20 30 40
Meters

MAP B
ZONING BY-LAW MAP
Geographic Township of TOWNSEND

ANPL2025248



LEGEND

 Subject Lands

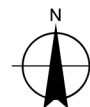
ZONING BY-LAW 1-Z-2014

8/28/2025

(H) - Holding

A - Agricultural Zone

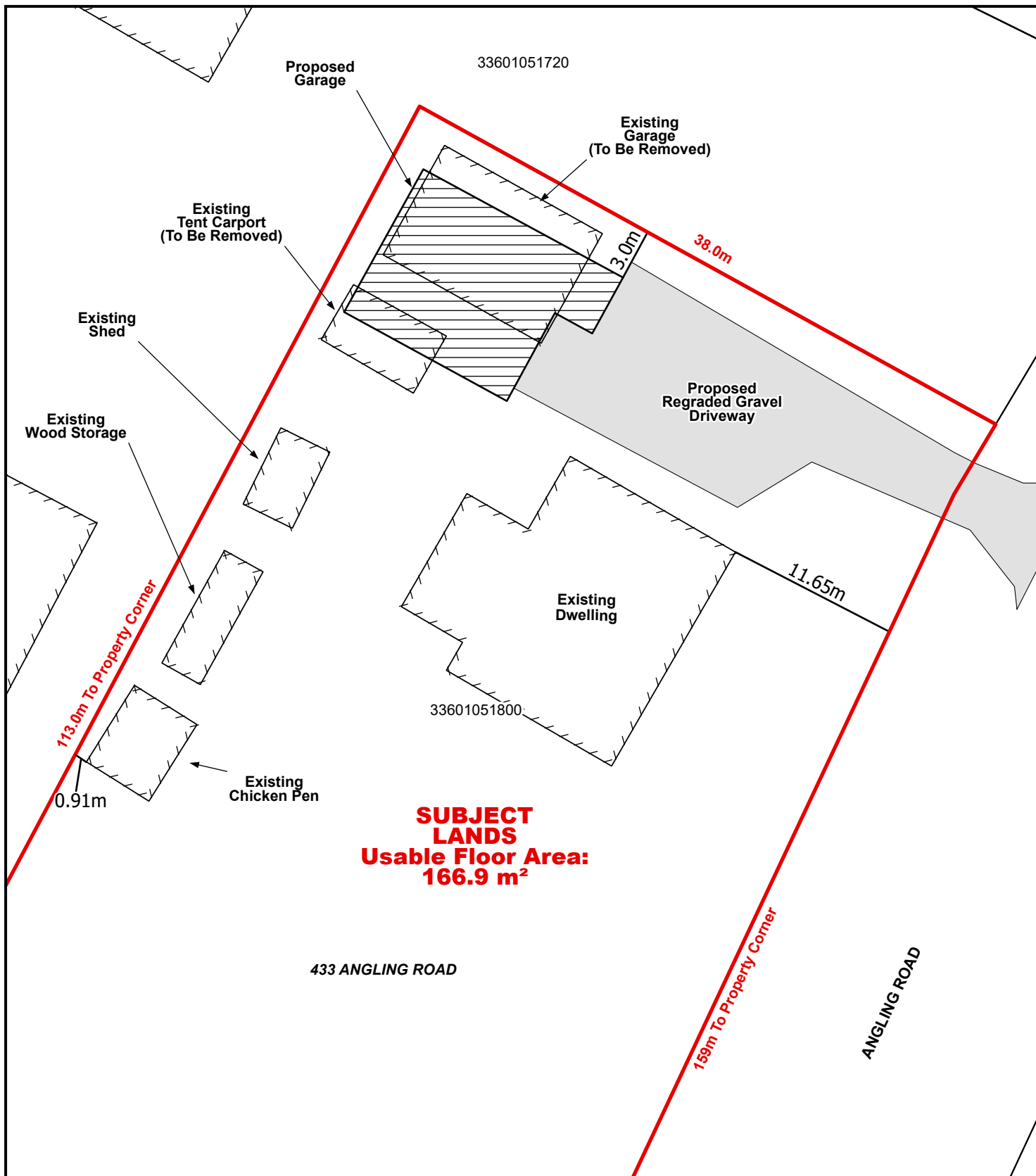
RH - Hamlet Residential Zone



10 5 0 10 20 30 40 Meters

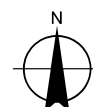
CONCEPTUAL PLAN

Geographic Township of TOWNSEND



Legend

Subject Lands



2.5 1.25 0 2.5 5 7.5 10 Meters