

Committee of Adjustment Application to Planning Department

Complete Application

A complete Committee of Adjustment application consists of the following:

1. A properly completed and signed application form (signature must on original version);
2. Supporting information adequate to illustrate your proposal as listed in **Section H** of this application form (plans are required in paper copy and digital PDF format);
3. Written authorization from all registered owners of the subject lands where the applicant is not the owner as per Section N; and,
4. Cash, debit or cheque payable to Norfolk County in the amount set out in the Norfolk County User Fees By-Law.

Planning application development fees are not required with the submission of your completed and signed development application. Your planning application fee will be determined by the planner when your application has been verified and deemed complete. Prepayments will not be accepted.

5. Completed applications are to be mailed to the attention of **Secretary Treasurer – Committee of Adjustment**: 185 Robinson Street, Suite 200, Simcoe, ON N3Y 5L6 or email your application committee.of.adjustment@norfolkcounty.ca. Make sure submissions are clearly labelled including address, name, and application type. Failure to do so may impact the timing of your application.

The above listed items are required to ensure that your application is given full consideration. An incomplete or improperly prepared application will not be accepted and may result in delays during the processing of the application. This application must be typed or printed in ink and completed in full.

Please review all of the important information summarised below.

Before your Application is Submitted

A pre-consultation meeting is not usually required for Committee of Adjustment applications; however, discussion with Planning Department staff prior to the submission of an application is **strongly encouraged**. The purpose of communicating with a planner **before** you submit your application is: to review your proposal / application, to discuss potential issues; and to determine the required supporting information and materials to be submitted with your application before it can be considered complete by staff. You might find it helpful to retain the services of an independent professional (such as a registered professional planner) to help you with your application. Information about the Official Plan and Zoning By-law can be found on the County website: www.norfolkcounty.ca/planning

After Your Application is Submitted

Once your payment has been received and the application submitted, in order for your application to be deemed complete all of the components noted above are required.

Incomplete applications will be identified and returned to the applicant. The *Planning Act* permits up to 30 days to review and deem an application complete.

Once your application has been deemed complete by the Planning Department, it is then circulated to public agencies and County departments for review and comment. A sign is also provided that is required to be posted on the subject lands that summarizes the application and identifies the committee meeting date. The comments received from members of the community will be included in the planning report and will inform any recommendations in relation to the application.

If the subject lands are located in an area that is regulated by either the Long Point Region Conservation Authority or by the Grand River Conservation Authority an additional fee will be required if review by the applicable agency is deemed necessary. A separate cheque payable to the Long Point Region Conservation Authority or the Grand River Conservation Authority is required in accordance with their fee schedule at the same time your application is submitted.

Additional studies required as part of the complete application shall be at the sole expense of the applicant. In some instances peer reviews may be necessary to review particular studies and that the cost shall be at the expense of the applicant. The company to complete the peer review shall be selected by the County.

If the application is withdrawn prior to the circulation to commenting agencies, the entire original fee will be refunded. If withdrawn after the circulation to agencies, half the original fee will be refunded. No refund is available after the public meeting and/or approval of application.

Notification Sign Requirements

Planning Department staff may post a notification sign on your property in advance of the public meeting on your behalf. Please keep this sign posted until you have received a notice in the mail indicating that the Secretary Treasurer received no appeals. However, it is the applicant's responsibility to ensure that the sign is correctly posted within the statutory timeframes, according to the *Planning Act*. Failure to post a sign in advance of the public meeting in accordance with statutory requirements will impact the timing of your application at the Committee of Adjustment meeting. Applicants are responsible for removal of the sign following the appeal period. The signs are recyclable and can be placed in your blue box.

Contact Us

For additional information or assistance in completing this application, please contact a planner at 519-426-5870 ext. 1842 or Committee.of.Adjustment@NorfolkCounty.ca



For Office Use Only:

File Number	_____	Application Fee	_____
Related File Number	_____	Conservation Authority Fee	_____
Pre-consultation Meeting	_____	Well & Septic Info Provided	_____
Application Submitted	_____	Planner	_____
Complete Application	_____	Public Notice Sign	_____

Check the type of planning application(s) you are submitting.

- ☐ Consent/Severance/Boundary Adjustment
☐ Surplus Farm Dwelling Severance and Zoning By-law Amendment
☒ Minor Variance
☐ Easement/Right-of-Way

Property Assessment Roll Number: 49200107300

A. Applicant Information

Name of Owner Shawn Tramble

It is the responsibility of the owner or applicant to notify the planner of any changes in ownership within 30 days of such a change.

Address 118 Talbot Road
Town and Postal Code Delhi, N4B 1Z7
Phone Number _____
Cell Number 519-878-7769
Email shawnmtramble@gmail.com

Name of Applicant Kim Dziegiel c/o The Permit Shoppe
Address 48 Windham East Quarter Line Road
Town and Postal Code Simcoe, N3Y 4K6
Phone Number 226-931-2262
Cell Number _____
Email kim@thepermitshoppe.com

Name of Agent

Address

Town and Postal Code

Phone Number

Cell Number

Email

Please specify to whom all communications should be sent. Unless otherwise directed, all correspondence and notices in respect of this application will be forwarded to the owner and agent noted above.

☐ Owner

☐ Agent

☒ Applicant

Names and addresses of any holder of any mortgagees, charges or other encumbrances on the subject lands:

B. Location, Legal Description and Property Information

1. Legal Description (include Geographic Township, Concession Number, Lot Number, Block Number and Urban Area or Hamlet):

PLAN 189 BLK 12 PT LOT 7 RP 37R7600 PART 1

Municipal Civic Address: 118 Talbot Road

Present Official Plan Designation(s): Downtown

Present Zoning: R3

2. Is there a special provision or site specific zone on the subject lands?

☐ Yes ☒ No If yes, please specify:

3. Present use of the subject lands:

Residential

4. Please describe **all existing** buildings or structures on the subject lands and whether they are to be retained, demolished or removed. If retaining the buildings or structures, please describe the type of buildings or structures, and illustrate the setback, in metric units, from front, rear and side lot lines, ground floor area, gross floor area, lot coverage, number of storeys, width, length, and height on your attached sketch which must be included with your application:

Refer to attached drawing

5. If an addition to an existing building is being proposed, please explain what it will be used for (for example a bedroom, kitchen, or bathroom). If new fixtures are proposed, please describe.

N/A

6. Please describe **all proposed** buildings or structures/additions on the subject lands. Describe the type of buildings or structures/additions, and illustrate the setback, in metric units, from front, rear and side lot lines, ground floor area, gross floor area, lot coverage, number of storeys, width, length, and height on your attached sketch which must be included with your application:

Refer to attached drawing

7. Are any existing buildings on the subject lands designated under the *Ontario Heritage Act* as being architecturally and/or historically significant? Yes ☐ No ☒

If yes, identify and provide details of the building:

8. If known, the length of time the existing uses have continued on the subject lands:
50+ years
-

9. Existing use of abutting properties:

Residential

10. Are there any easements or restrictive covenants affecting the subject lands?

☐ Yes ☒ No If yes, describe the easement or restrictive covenant and its effect:

C. Purpose of Development Application

Note: Please complete all that apply. **Failure to complete this section will result in an incomplete application.**

1. Site Information (Please refer to Zoning By-law to confirm permitted dimensions)

	Existing	Permitted	Provision	Proposed	Deficiency
Lot frontage					
Lot depth					
Lot width					
Lot area					
Lot coverage					
Front yard		6m	3.2.1.(b)	19.32m	
Rear yard		1.2m	3.2.1.(e)	8.32m	
Height		5m	3.2.1.(a)	5.83m	0.83m
Left Interior side yard		1.2m	3.2.1.(d)	1.2m	
Right Interior side yard		1.2m	3.2.1.(d)	14.63m	
Exterior side yard (corner lot)					
Parking Spaces (number)					
Aisle width					
Stall size					
Loading Spaces					
Usable Floor Area		55 sq m	3.2.1.(g)	9.18 sq m (existing) + 47.58 sq m (main floor) + 25.52 sq m (attic) = 82.28 sq m	27.28 sq m

2. Please explain why it is not possible to comply with the provision(s) of the Zoning By-law:

Proposed building does not comply with height and usable floor area permitted

3. **Consent/Severance/Boundary Adjustment:** Description of land intended to be severed in metric units:

Frontage: _____

Depth: _____

Width: _____

Lot Area: _____

Present Use: _____

Proposed Use: _____

Proposed final lot size (if boundary adjustment): _____

If a boundary adjustment, identify the assessment roll number and property owner of the lands to which the parcel will be added: _____

Description of land intended to be retained in metric units:

Frontage: _____

Depth: _____

Width: _____

Lot Area: _____

Present Use: _____

Proposed Use: _____

Buildings on retained land: _____

4. **Easement/Right-of-Way:** Description of proposed right-of-way/easement in metric units:

Frontage: _____

Depth: _____

Width: _____
Area: _____
Proposed Use: _____

5. Surplus Farm Dwelling Severances Only: List all properties in Norfolk County, which are owned and farmed by the applicant and involved in the farm operation

Owners Name: _____
Roll Number: _____
Total Acreage: _____
Workable Acreage: _____
Existing Farm Type: (for example: corn, orchard, livestock) _____
Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built _____
Date of Land Purchase: _____

Owners Name: _____
Roll Number: _____
Total Acreage: _____
Workable Acreage: _____
Existing Farm Type: (for example: corn, orchard, livestock) _____
Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built _____
Date of Land Purchase: _____

Owners Name: _____
Roll Number: _____
Total Acreage: _____
Workable Acreage: _____
Existing Farm Type: (for example: corn, orchard, livestock) _____
Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built _____
Date of Land Purchase: _____

Owners Name: _____
Roll Number: _____
Total Acreage: _____
Workable Acreage: _____
Existing Farm Type: (for example: corn, orchard, livestock) _____
Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built _____
Date of Land Purchase: _____

Owners Name: _____
Roll Number: _____
Total Acreage: _____
Workable Acreage: _____
Existing Farm Type: (for example: corn, orchard, livestock) _____
Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built _____
Date of Land Purchase: _____

Note: If additional space is needed please attach a separate sheet.

D. All Applications: Previous Use of the Property

1. Has there been an industrial or commercial use on the subject lands or adjacent lands? ☐ Yes ☒ No ☐ Unknown

If yes, specify the uses (for example: gas station, or petroleum storage):

2. Is there reason to believe the subject lands may have been contaminated by former uses on the site or adjacent sites? ☐ Yes ☒ No ☐ Unknown

3. Provide the information you used to determine the answers to the above questions:
Local knowledge

4. If you answered yes to any of the above questions in Section D, a previous use inventory showing all known former uses of the subject lands, or if appropriate, the adjacent lands, is needed. Is the previous use inventory attached? ☐ Yes ☐ No

E. All Applications: Provincial Policy

1. Is the requested amendment consistent with the provincial policy statements issued under subsection 3(1) of the *Planning Act, R.S.O. 1990, c. P. 13*? ☒ Yes ☐ No

If no, please explain:

2. It is owner's responsibility to be aware of and comply with all relevant federal or provincial legislation, municipal by-laws or other agency approvals, including the Endangered Species Act, 2007. Have the subject lands been screened to ensure that development or site alteration will not have any impact on the habitat for endangered or threatened species further to the provincial policy statement subsection 2.1.7? ☒ Yes ☐ No

If no, please explain:

3. Have the subject lands been screened to ensure that development or site alteration will not have any impact on source water protection? ☒ Yes ☐ No

If no, please explain:

Note: If in an area of source water Wellhead Protection Area (WHPA) A, B or C please attach relevant information and approved mitigation measures from the Risk Manager Official.

4. All Applications: Are any of the following uses or features on the subject lands or within 500 metres of the subject lands, unless otherwise specified? Please check boxes, if applicable.

Livestock facility or stockyard (submit MDS Calculation with application)

☐ On the subject lands or ☐ within 500 meters – distance _____

Wooded area

☐ On the subject lands or ☒ within 500 meters – distance 30m

Municipal Landfill

☐ On the subject lands or ☐ within 500 meters – distance _____

Sewage treatment plant or waste stabilization plant

☐ On the subject lands or ☐ within 500 meters – distance _____

Provincially significant wetland (class 1, 2 or 3) or other environmental feature

☐ On the subject lands or ☐ within 500 meters – distance _____

Floodplain

☐ On the subject lands or ☒ within 500 meters – distance 71m

Rehabilitated mine site

☐ On the subject lands or ☐ within 500 meters – distance _____

Non-operating mine site within one kilometre

☐ On the subject lands or ☐ within 500 meters – distance _____

Active mine site within one kilometre

☐ On the subject lands or ☐ within 500 meters – distance _____

Industrial or commercial use (specify the use(s))

☐ On the subject lands or ☒ within 500 meters – distance 20m - Commercial Strip Mall

Active railway line

☐ On the subject lands or ☐ within 500 meters – distance _____

Seasonal wetness of lands

☐ On the subject lands or ☐ within 500 meters – distance _____

Erosion

☐ On the subject lands or ☐ within 500 meters – distance _____

Abandoned gas wells

☐ On the subject lands or ☐ within 500 meters – distance _____

F. All Applications: Servicing and Access

1. Indicate what services are available or proposed:

Water Supply

☒ Municipal piped water

☐ Communal wells

☐ Individual wells

☐ Other (describe below)

Sewage Treatment

☒ Municipal sewers

☐ Communal system

☐ Septic tank and tile bed in good working order

☐ Other (describe below)

Storm Drainage

☐ Storm sewers

☒ Open ditches

☐ Other (describe below)

2. Existing or proposed access to subject lands:

☒ Municipal road

☐ Provincial highway

☐ Unopened road

☐ Other (describe below)

Name of road/street:

Talbot Road

G. All Applications: Other Information

1. Does the application involve a local business? ☐ Yes ☒ No

If yes, how many people are employed on the subject lands?

2. Is there any other information that you think may be useful in the review of this application? If so, explain below or attach on a separate page.

H. Supporting Material to be submitted by Applicant

In order for your application to be considered complete, folded hard copies (number of paper copies as directed by the planner) and an **electronic version (PDF) of the site plan drawings, additional plans, studies and reports** will be required, including but not limited to the following details:

1. Concept/Layout Plan
2. All measurements in metric
3. Existing and proposed easements and right of ways
4. Parking space totals – required and proposed
5. All dimensions of the subject lands
6. Dimensions and setbacks of all buildings and structures
7. Location and setbacks of septic system and well from all existing and proposed lot lines, and all existing and proposed structures
8. Names of adjacent streets
9. Natural features, watercourses and trees

In addition, the following additional plans, studies and reports, including but not limited to, **may** also be required as part of the complete application submission:

- ☐ On-Site Sewage Disposal System Evaluation Form (to verify location and condition)
- ☐ Environmental Impact Study
- ☐ Geotechnical Study / Hydrogeological Review
- ☐ Minimum Distance Separation Schedule
- ☐ Record of Site Condition

Your development approval might also be dependent on Ministry of Environment Conservation and Parks, Ministry of Transportation or other relevant federal or provincial legislation, municipal by-laws or other agency approvals.

All final plans must include the owner's signature as well as the engineer's signature and seal.

September 18th 2025

Shawn Tramble

Kim Dziegiel

Shawn tramble

September 18th 2025

September 18th 2025

K. Declaration

I, Kim Dziegiel of Simco

solemnly declare that:

all of the above statements and the statements contained in all of the exhibits transmitted herewith are true and I make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath and by virtue of *The Canada Evidence Act*.

Declared before me at:


Owner/Applicant/Agent Signature

In _____

This _____ day of _____

A.D., 20____

A Commissioner, etc.

GENERAL NOTES

1. GENERAL NOTES:

- 1.1.

CONSTRUCTION AND DESIGNS SHALL CONFORM TO THE REQUIREMENT OF THE ONTARIO BUILDING CODE, AS AMENDED, AND ANY APPLICABLE ACTS OF AUTHORITY HAVING JURISDICTION. IN CASE OF CONFLICT OR DISCREPANCY, THE MORE STRINGENT REQUIREMENTS SHALL APPLY.
- 1.2.

READ ALL STRUCTURAL DRAWINGS IN CONJUNCTION WITH THE ARCHITECTURAL DRAWINGS, ALL OTHER PROJECT DRAWINGS, CONTRACT DOCUMENTS AND SPECIFICATIONS.
- 1.3.

REFER TO ARCHITECTURAL, MECHANICAL AND ELECTRICAL DRAWINGS FOR EXACT LOCATIONS OF PITS, SLEEVES, DEPRESSIONS, TRENCHES, ROOF MOUNTED OR SUSPENDED UNITS, OPENINGS AND OTHER.
- 1.4.

DO NO IMPOSE CONSTRUCTION LOADS ON THE STRUCTURE IN EXCESS OF THE DESIGN LOADS
- 1.5.

DO NOT CUT ANY HOLES N BEARING WALLS, BEAMS OR OTHER STRUCTURAL ELEMENTS WITHOUT THE CONSULTANT'S APPROVAL
- 1.6.

PROTECT EXISTING BUILDINGS, TREES, FENCING, UTILITY POLES, CABLES, ACTIVE UNDERGROUND SERVICES AND FENCING ON THE SITE OR ANY ADJOINING PROPERTIES FROM DAMAGE. ANY DAMAGE RESULTED FROM THIS CONSTRUCTION WORK SHALL BE MADE GOOD TO THE APPROVAL OF THE CONSULTANT AT NO COST TO THE OWNER
- 1.7.

ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS OF THE CONSTRUCTION SAFETY ACT (INCLUDING LATEST AMENDMENTS) AND OTHER LOCAL AUTHORITIES HAVING JURISDICTION
- 1.8.

BEFORE PROCEEDING WITH THE WORK, THE CONTRACTOR SHALL CHECK ALL DIMENSIONS SHOW ON THE STRUCTURAL DRAWINGS WITH THE ARCHITECTURAL, MECHANICAL AND ELECTRICAL DRAWINGS AND AGAINST SITE CONDITIONS. ANY DISCREPANCIES ARE TO REPORTED TO THE CONSULTANT (S) PRIOR TO PROCEEDING WITH ANY WORK.
- 1.9.

NO SUBSTITUTIONS ARE ALLOWED UNLESS:

A)

WRITTEN PERMISSION IS OBTAINED FROM THE CONSULTANT

B)

THE CONTRACTOR ENSURE THAT THE SUBSTITUTIONS CAN BE BOTH PHYSICALLY AND DIMENSIONALLY INCORPORATED IN THE WORK WITH NO LOSS OF INTENDED FUNCTION OR CONSTRUCTION TIME AND AT NO ADDITIONAL COST TO THE OWNER.

C)

THE CONTRACTOR REIMBURSES ALL CONSULTANTS FOR ADDITIONAL COSTS INVOLVED

- 1.1.

ALL DIMENSIONS TO BE FIELD VERIFIED PRIOR TO FABRICATION
- 1.2.

NO SUBSTITUTIONS ARE ALLOWED UNLESS THE FOLLOWING ARRANGEMENTS ARE MADE:
- 1.3.

STRUCTURAL DRAWINGS MUST NOTE BE SCALE.

2. SOIL CONDITIONS, EXCAVATION, FOUNDATION AND RELATED WORK

- 2.1.

REFER TO THE GEOTECHNICAL REPORTS AS NOTED ON THE FOUNDATION PLAN. SOIL BEARING IS TO BE VERIFIED BY A GEOTECHNICAL ENGINEER PRIOR TO PLACEMENT OF FOUNDATIONS.
- 2.2.

EARTH BOTTOMS OF EXCAVATIONS TO BE DRY UNDISTURBED SOIL, LEVEL AND FREE FROM ANY LOOSE OR ORGANIC MATERIALS.
- 2.3.

PROTECT BOTTOMS OF EXCAVATIONS FROM SOFTENING. SHOULD SOFTENING OCCUR, REMOVE SOFTENED SOIL AND REPLACE WITH CONCRETE
- 2.4.

BACKFILL SIMULTANEOUSLY EACH SIDE OF WALL TO EQUALIZE SOIL PRESSURES. DO NOT EXCEED A GRADE DIFFERENCE OF 24" (600mm)
- 2.5.

ALL FOUNDATIONS ARE TO BE INSTALLED ON UNDISTURBED SOIL CAPABLE OF WITHSTANDING THE FORCES SHOWN ON THE FOUNDATION PLAN.
- 2.6.

EXTEND EXTERIOR FOUNDATIONS BELOW THE FROST LINE AS NOTED ON THE FOUNDATION PLAN. CARRY EXTERIOR FOOTINGS DOWN A MINIMUM OF 4'-0" (1200mm) BELOW FINISHED GRADE
- 2.7.

PROTECT FOUNDATION, INCLUDING ANY SLAB ON GRADE, FROM FROST ACTION DURING CONSTRUCTION.
- 2.8.

BEFORE PLACING CONCRETE FOR FOOTINGS, OBTAIN APPROVAL FROM THE GEOTECHNICAL CONSULTANT. NOTIFY THE CONSULTANT IF ANY MODIFICATIONS ARE REQUIRED

- 2.9.

LOCATE ALL FOOTING CENTRALLY UNDER COLUMNS AND WALL UNLESS NOTED OTHERWISE.
- 2.10.

STEP FOOTING DOWN OR LOWER FOOTING WHERE NECESSARY TO SUIT EXISTING AND/OR ADJACENT FOOTINGS, MECHANICAL & ELECTRICAL INSTALLATIONS, AND POOR SOIL CONDITIONS. THE LINE OF SLOPE ALONG STEPPED FOOTINGS AND BETWEEN ADJACENT FOOTINGS AND/OR EXCAVATIONS SHALL NOT EXCEEDED THE ANGLE OF REPOSE OF THE SITE SOIL CONDITIONS. STEP FOOTINGS 2'-0" (600mm) MAXIMUM AT A TIME.
- 2.11.

AT LOCATIONS WHERE MECHANICAL SERVICES INTERFERE WITH FOOTINGS, ESTABLISH TOP OF FOOTING A MINIMUM OF 8" (200mm) BELOW INVERT ELEVATION. REFER TO MECHANICAL DRAWINGS FOR LOCATION OF SERVICES

3. TEMPORARY WORK

- 3.1.

PROVIDE ALL ADEQUATE SHORING FOR THE SAFE COMPLETION OF THE WORK. ASSUME RESPONSIBILITY TO DESIGN AS WELL AS TO ERECT, MAINTAIN AND EVENTUALLY REMOVE ALL THE TEMPORARY WORKS NECESSARY FOR CARRYING OUT OF THIS CONTRACT.
- 3.2.

MAKE ADEQUATE PROVISIONS FOR CONSTRUCTION STRESSES AND FOR SUFFICIENT TEMPORARY BRACING TO KEEP THE STRUCTURE PLUMB AND IN THE TRUE ALIGNMENT AT ALL PHASES OF WORK UNTIL COMPLETION (INCLUDING MASONRY WALLS, FLOOR AND ROOF DECKS, ETC.). ANY BRACING MEMBERS SHOWN ON PLANS ARE THOSE REQUIRED FOR THE FINISHED STRUCTURE AND MAY NOT BE SUFFICIENT FOR ERECTION PURPOSES.
- 3.3.

TRUCKS, CRANES, HOISTS OR ANY HEAVY EQUIPMENT OR MATERIALS ARE NOT ALLOWED TO ENTER ANY STRUCTURAL FLOOR OR ROOF AREA UNLESS SPECIFICALLY DESIGNED AND DESIGNATED FOR THIS PURPOSE.
- 3.4.

THE CONTRACTOR SHALL HAVE THE SOLE RESPONSIBILITY FOR THE DESIGN, ERECTION, OPERATION, MAINTENANCE AND REMOVAL OF TEMPORARY SUPPORTS, TEMPORARY BRACINGS, SHORING SYSTEM, AND FACILITIES AND THE DESIGN AND EXECUTION OF CONSTRUCTION METHODS REQUIRED IN THEIR USE.
- 3.5.

THE CONTRACTOR SHALL ENGAGE AND PAY FOR REGISTERED PROFESSIONAL ENGINEERING PERSONNEL SKILLED IN THE APPROPRIATE DISCIPLINES TO PERFORM THOSE FUNCTIONS REFERRED TO IN PARAGRAPH ABOVE OR AND IN ALL CASES WHERE SUCH TEMPORARY SUPPORTS, STRUCTURES, AND FACILITIES AND THEIR METHOD OF CONSTRUCTION ARE OF SUCH A NATURE THAT PROFESSIONAL ENGINEERING SKILL IS REQUIRED TO PRODUCE SAFE AND SATISFACTORY RESULTS.

4. ROUGH CARPENTRY

- 4.1.

ALL WOOD DESIGN AND CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH CAN/CSA 086.1, LATEST EDITION.
- 4.2.

UNLESS OTHERWISE NOTED ON THE DRAWINGS, ALL WOOD SHALL BE SPF NO 2 GRADE OF GREATER.
- 4.3.

EXTERIOR WALL SHEATHING SHALL BE A MINIMUM OF 7⁄16" (11mm) OSB OR FIR PLYWOOD UNLESS NOTED OTHERWISE ON THE DRAWINGS.
- 4.4.

CUT FRAMING MEMBERS ACCURATELY TO SIZE, FIT CLOSE AND TIGHT, SECURELY ANCHOR BY NAILING OR SPIKING AND LEAVE PLUMB AND LEVEL.
- 4.5.

ALL WOOD IN CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESSURE TREATED IN ACCORDANCE WITH CSA080 SERIES-15 (R2020), OR BE PROTECT BY VAPOUR BARRIER.
- 4.6.

INSTALL PLYWOOD SHEATHING WITH SURFACE GRAIN AT RIGHT ANGLES TO THE ROOF FRAMING AND WITH JOINT LIGHTED BUTTED, USING H CLIPS.
- 4.7.

ALL JOINTS SHALL HAVE BRIDGING OVER INTERIOR BEARING WALLS AND BEAMS.
- 4.8.

ROOF TRUSSES SHALL BE DESIGN AND STAMPED BY A P.ENG. SHOP DRAWINGS SHALL BE SUBMITTED AND APPROVED PRIOR TO CONSTRUCTION.
- 4.9.

ALL INSTALLS, INCLUDING OF THE ROOF TRUSSES AND ANY TEMPORARY SHORING IS BY THE GENERAL CONTRACTOR.
- 4.10.

HOLES DRILLED IN ROOF, FLOOR OR CEILING FRAMING MEMBERS SHALL NOT BE LARGER THAN ¼ DEPTH OF THE MEMBER AND SHALL NOTE BE LOCATED LESS THAN 2" (50mm) FROM ANY EDGE.

- 4.11.

WALL STUDS SHALL NOT BE NOTCHED, DRILLED, OR OTHERWISE DAMAGED TO THAN THE UNDAMAGED PORTION OF THE STUD IS LESS THAN 2⁄3 THE DEPTH OF THE STUD IF THE STUD IS LOAD BEARING OR 1 ½" (40mm) IF THE STUD IS NON LOAD BEARING, UNLESS THE WEAKENED STUDS ARE SUITABLY REINFORCED.
- 4.12.

TOP PLATES IN WALLS SHALL NOT BE NOTCHED, DRILLED MORE THAN 2" (50mm) OR OTHERWISE WEAKENED UNLESS SUITABLE REINFORCING IS INSTALLED.
- 4.13.

BEAMS SHALL HAVE AN EVEN AND LEVEL BEARING AND SHALL NOT HAVE LESS THAN 3 ½" (89mm) BEARING AT END SUPPORTS UNLESS NOTED OTHERWISE ON THE PLANS.
- 4.14.

BUILT UP WOOD BEAMS.
- 4.15.

FLOOR JOISTS SHALL HAVE A MINIMUM OF 1 ½" (38mm) BEARING

DESIGN NOTES

1. GENERAL NOTES:

- 1.1.



EXAMINE ALL DRAWINGS, SPECIFICATIONS AND CONTRACT DOCUMENTS TO OBTAIN ALL APPLICABLE LOADS. REPORT AND DISCREPANCIES TO THE CONSULTANT.
- 1.2.

UNLESS NOTED OTHERWISE, THE UNIT LOADS INDICATED ARE UNFACTORED. MEMBER FORCES GIVEN ON DRAWINGS ARE FACTORED.
- 1.3.

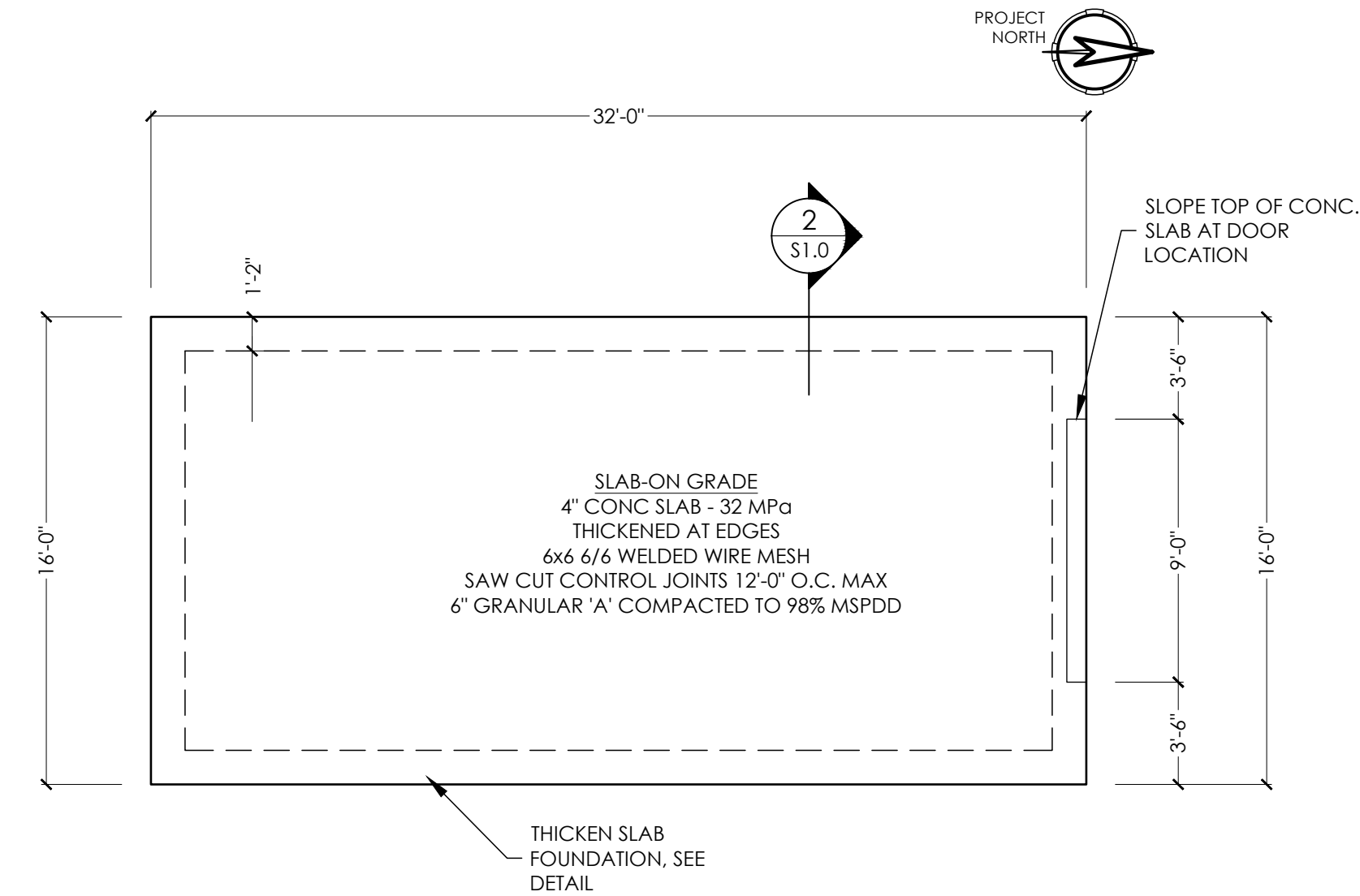
THE STRUCTURE HAS BEEN DESIGN FOR WIND AND SEISMIC FORCES IN ACCORDANCE WITH THE REQUIREMENT OF THE LATEST EDITION OF THE ONTARIO BUILDING CODE.

2. CLIMATIC DESIGN LOADS

2.1.	LOCATION:	DELHI, ONTARIO
2.2.	BUILDING IMPORTANCE CATEGORY	NORMAL
2.3.	SNOW LOADING (OBC 4.1.5.3)	
	IMPORTANCE FACTOR FOR ULS	Is 1.0
	IMPORTANCE FACTOR FOR SLS	Is 0.9
	GROUND SNOW LOAD	Ss 1.3 KPA
	½0 ASSOCIATED REAIN LOAD	Sr 0.4 KPA
	BASIC ROOF SNOW LOAD FACTOR	Cb 0.55
2.4.	WIND LOADS	
	WIND EXPOSURE	OPEN
	WIND CATEGORY	2
	IMPORTANCE FACTOR FOR ULS	Iw 1.0
	IMPORTANCE FACTOR FOR SLS	Iw 0.75
	REFERENCE WIND PRESSURE	Q⁄50 0.45 KPA
	WIND EXPOSURE COEFFICIENT	Ce 0.9

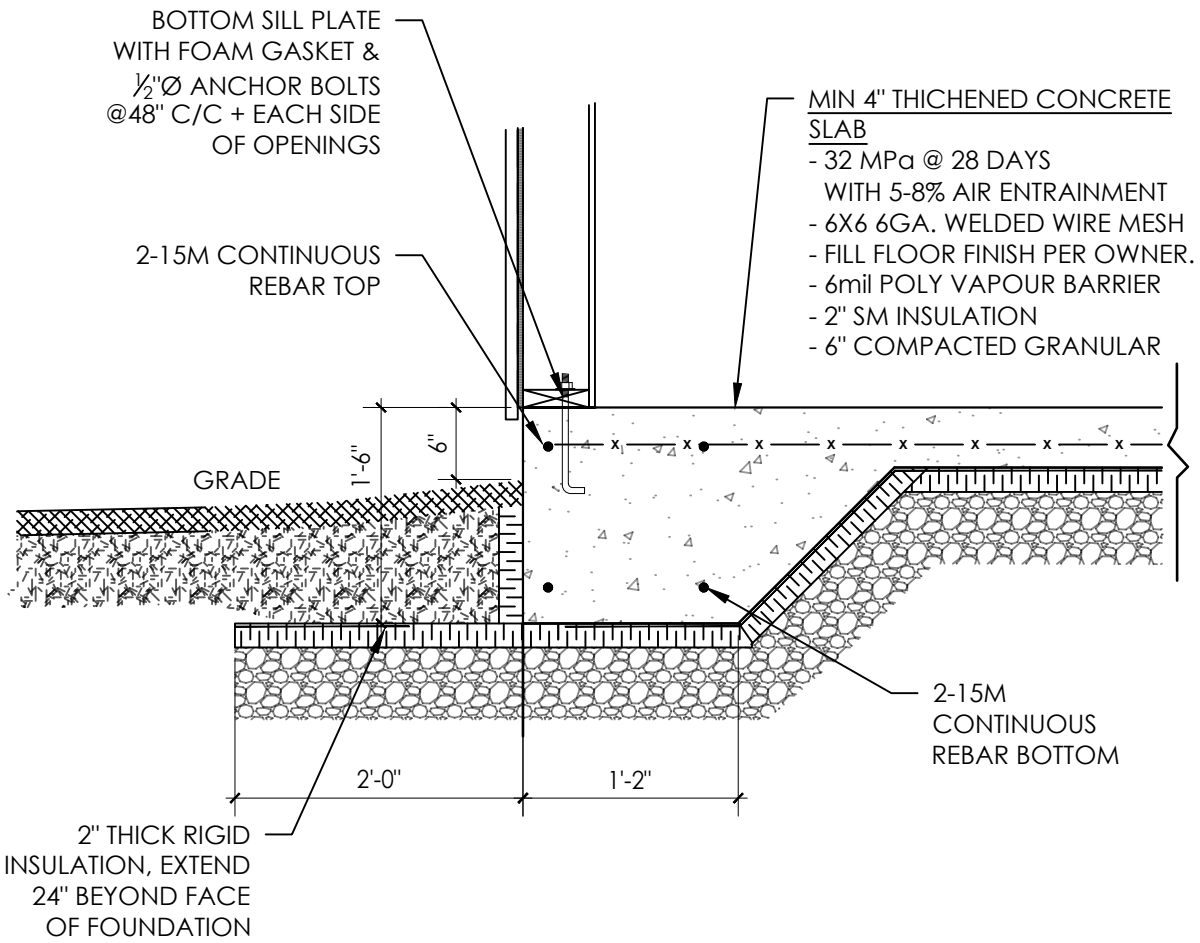
				<div>General Note:</div> <div>THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, DRAWINGS, DETAILS AND SPECIFICATIONS, INCLUDING WITH ARCHITECTURAL DRAWINGS AND MUST REPORT ANY DISCREPANCIES TO THE ARCHITECT AND ENGINEER BEFORE PROCEEDING WITH THE WORK.</div> <div>THE CONTENTS OF THESE DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY OF BALAN ENGINEERING CORP. THE DRAWINGS AND SPECIFICATIONS ARE FOR THE NOTED PROJECT ONLY. ANY UNAUTHORIZED USE OF THESE DRAWINGS IN WHOLE OR IN PART WITHOUT EXPRESSED WRITTEN PERMISSION OF BALAN ENGINEERING CORP IS STRICTLY PROHIBITED.</div> <div>THESE DRAWINGS, DETAILS AND SPECIFICATIONS SHALL NOT BE USED FOR CONSTRUCTION UNTIL THEY HAVE BEEN SIGNED AND SEALED BY THE ENGINEER AND A BUILDING PERMIT HAS BEEN ISSUED.</div> <div>DO NOT SCALE DRAWINGS</div>	<div>STAMP:</div> <div></div>	<div><div><div>49 North Street East, Tillsonburg, ON</div><div>Web: balanengineering.com</div><div>Office: 519.688.2525</div></div></div>	Project Name: DETACHED GARAGE - CASIER CONTRACTING 118 TALBOT ROAD, DELHI, ONTARIO		
							Drawing: GENERAL NOTES		
							Designed: N. Balan	Scale: As Noted	Sheet No.: <div>S0.0</div>
							Date: Sept 2025	Job Number: 25-0456	
Rev.:	Date: dd/mm/yyyy	Description:	Drawn By:				DO NOT SCALE DRAWINGS		
2	25/09/2025	REVISED PER COMMENTS	N.B.						
1	16/09/2025	ISSUED FOR MINOR VARIANCE	N.B.						

- NOTES:
- ASSUME BEARING CAPACITY OF SOIL = 1500 psf
 - SLOPE FLOOR SLAB TOWARDS OVERHEAD DOORS FOR DRAINAGE



1 FOUNDATION PLAN
S1.0

SCALE: 3/16" = 1'-0"



2 FOUNDATION DETAIL
S1.0

SCALE: 3/4" = 1'-0"

2	25/09/2025	REVISED PER COMMENTS	NB
1	16/09/2025	ISSUED FOR MINOR VARIANCE	NB
Rev.:	Date: dd/mm/yyyy	Description:	Drawn By:

General Note:

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DO NOT SCALE DRAWINGS

STAMP:

LICENSED PROFESSIONAL ENGINEER
2025-09-25
N.S. BALAN
100503960
N. Balan
PROVINCE OF ONTARIO

BALAN
ENGINEERING CORP.

49 North Street East, Tillsonburg, ON

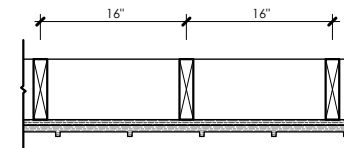
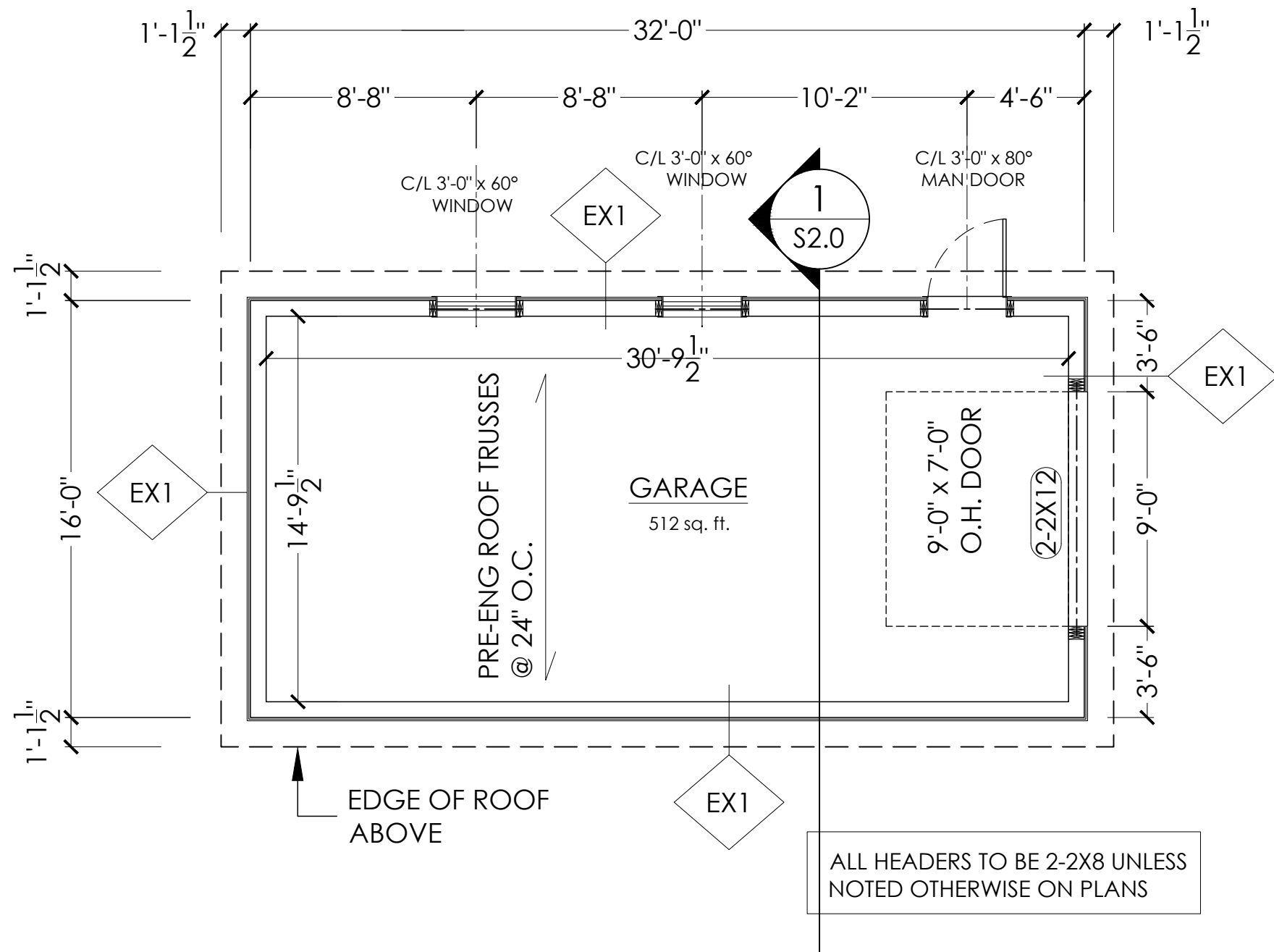
Web: balanengineering.com

Office: 519.688.2525

Project Name:
DETACHED GARAGE - CASIER CONTRACTING
118 TALBOT ROAD, DELHI, ONTARIO

Drawing:
FOUNDATION PLAN

Designed: N. BALAN	Scale: As Noted	Sheet No.: S1.0
Date: Sept 2025	Job Number: 25-0456	



EX1 - EXTERIOR WALL CONSTRUCTION

- 2"x6" STUDS @16" C/C
- 1/2" PLYWOOD
- 29GA METAL CLADDING

1
S1.1 FLOOR PLAN

SCALE: 3/16" = 1'-0"

2	25/09/2025	REVISED PER COMMENTS	NB
1	16/09/2025	ISSUED FOR MINOR VARIANCE	N.B.
Rev.:	Date: dd/mm/yyyy	Description:	Drawn By:

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DO NOT SCALE DRAWINGS

STAMP:



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ENGINEERING CORP.

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Web: balanengineering.com
Office: 519.688.2525

Project Name:
DETACHED GARAGE - CASIER CONTRACTING
118 TALBOT ROAD, DELHI, ONTARIO

Drawing:
FLOOR PLAN

Designed:
N. BALAN

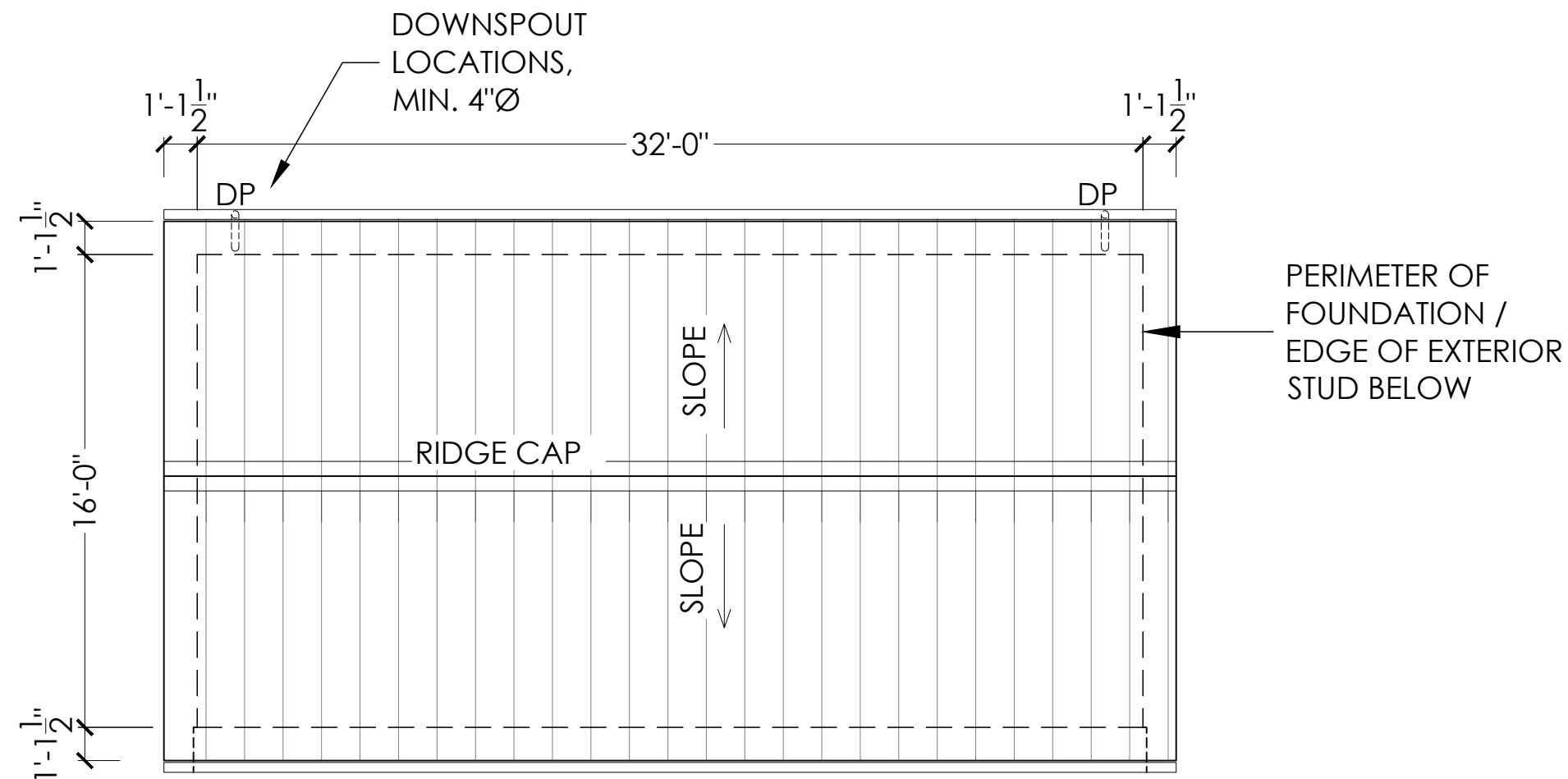
Date:
Sept 2025

Scale:
As Noted

Job Number:
25-0456

Sheet No.:

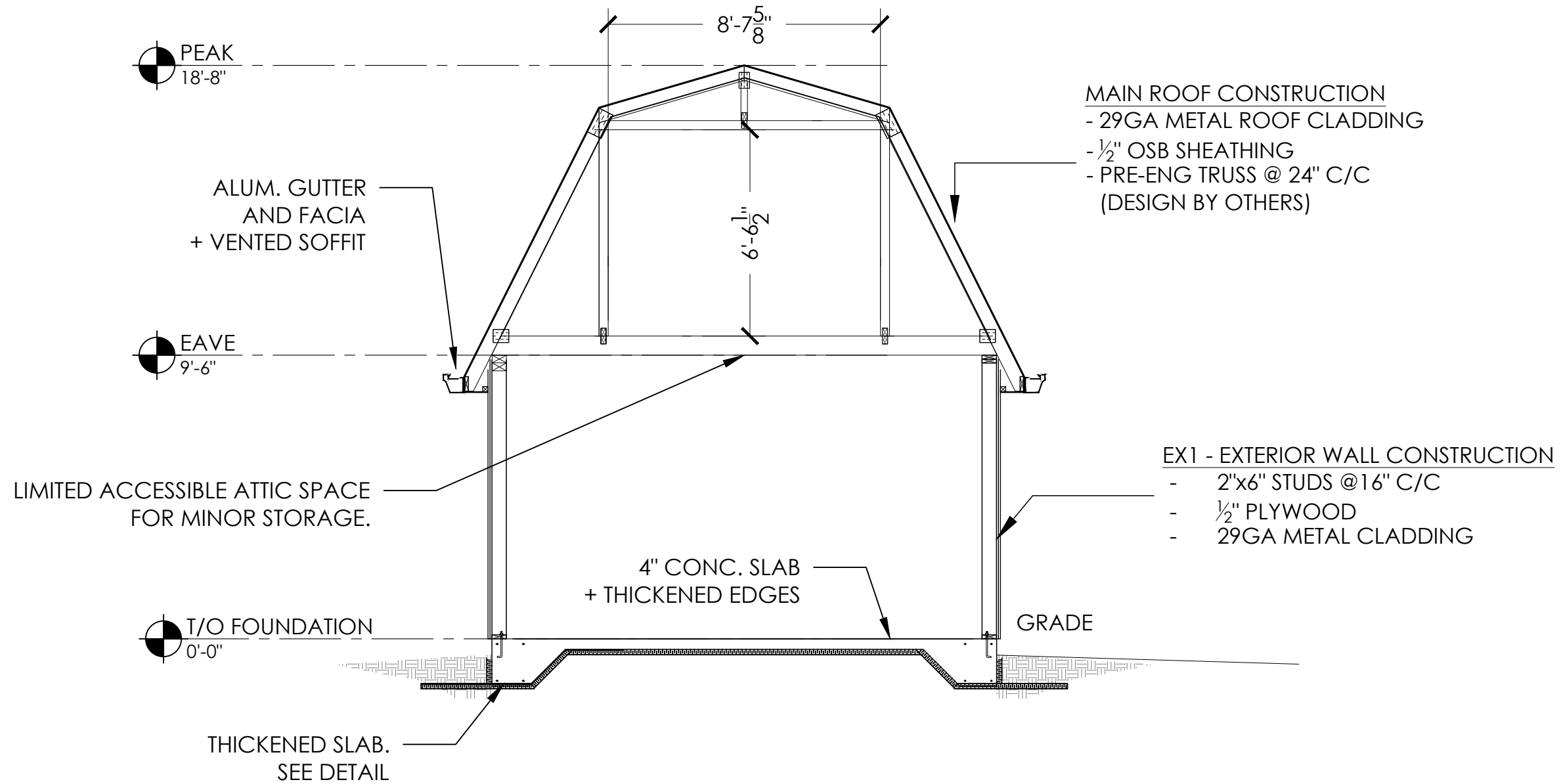
S1.1



1 ROOF PLAN
S1.2

SCALE: 3/16" = 1'-0"

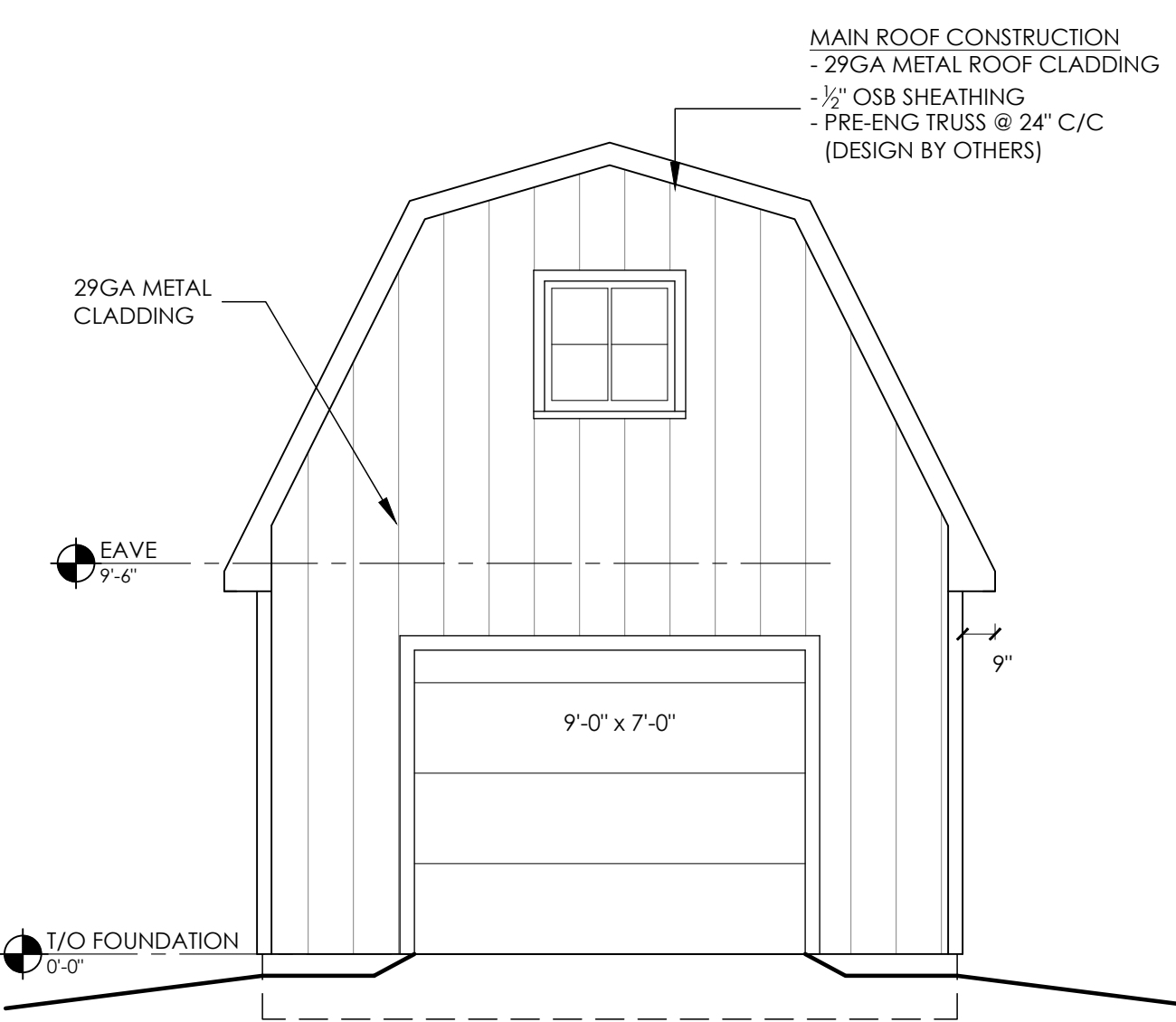
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							Drawing: ROOF PLAN		
2	25/09/2025	REVISED PER COMMENTS	NB				Designed: N. BALAN	Scale: As Noted	Sheet No.: S1.2
1	19/06/2025	ISSUED FOR MINOR VARIANCE	N.B.				Date: Sept 2025	Job Number: 25-0456	
Rev.:	Date: dd/mm/yyyy	Description:	Drawn By:						



1 BUILDING SECTION
S2.0

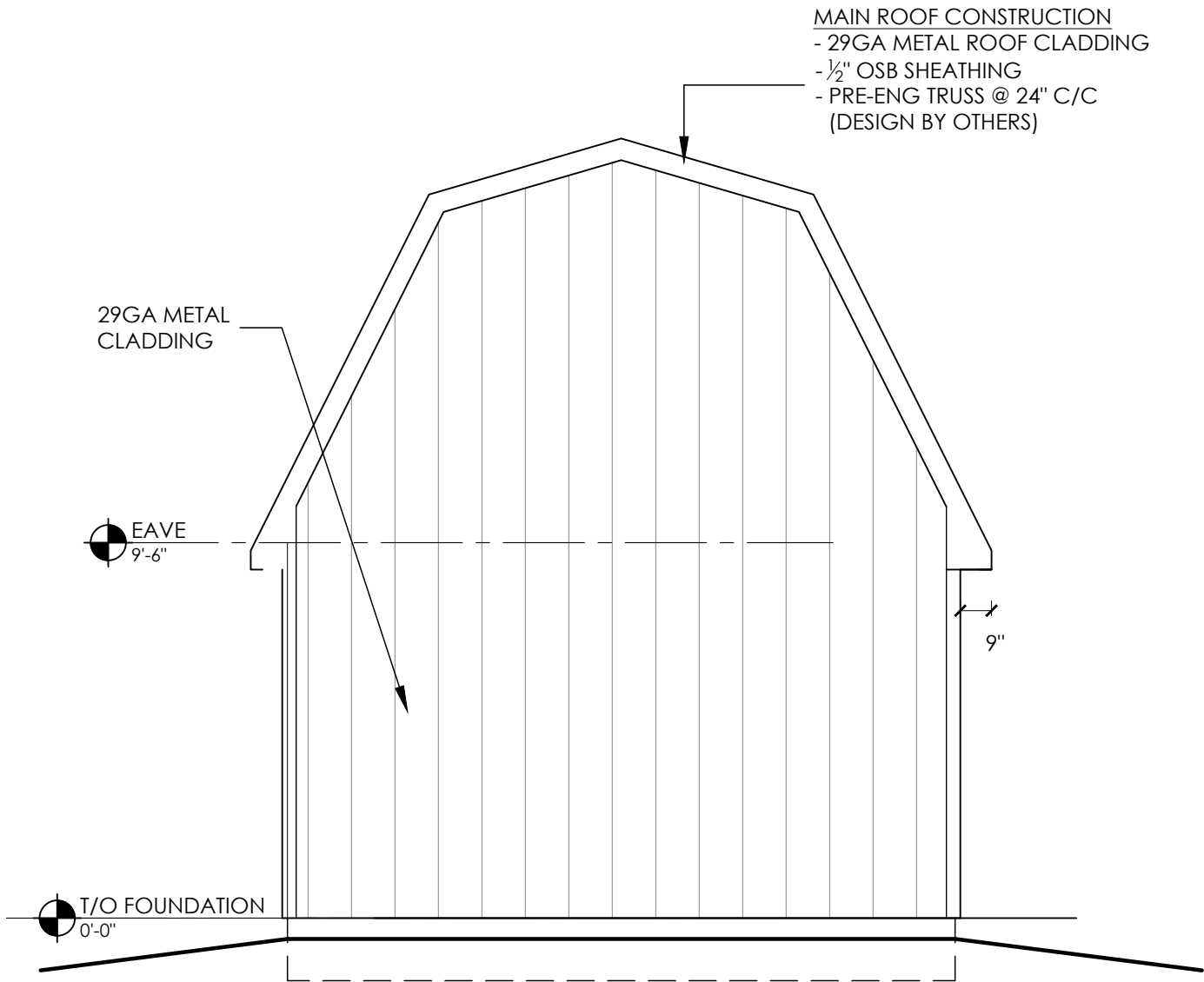
SCALE: 1/4" = 1'-0"

				<div>General Note:</div> <div>THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, DRAWINGS, DETAILS AND SPECIFICATIONS, INCLUDING WITH ARCHITECTURAL DRAWINGS AND MUST REPORT ANY DISCREPANCIES TO THE ARCHITECT AND ENGINEER BEFORE PROCEEDING WITH THE WORK.</div> <div>THE CONTENTS OF THESE DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY OF BALAN ENGINEERING CORP. THE DRAWINGS AND SPECIFICATIONS ARE FOR THE NOTED PROJECT ONLY. ANY UNAUTHORIZED USE OF THESE DRAWINGS IN WHOLE OR IN PART WITHOUT EXPRESSED WRITTEN PERMISSION OF BALAN ENGINEERING CORP IS STRICTLY PROHIBITED.</div> <div>THESE DRAWINGS, DETAILS AND SPECIFICATIONS SHALL NOT BE USED FOR CONSTRUCTION UNTIL THEY HAVE BEEN SIGNED AND SEALED BY THE ENGINEER AND A BUILDING PERMIT HAS BEEN ISSUED.</div> <div>DO NOT SCALE DRAWINGS</div>	<div>STAMP:</div> <div></div>	<div></div> <div>BALAN ENGINEERING CORP.</div> <div>49 North Street East, Tillsonburg, ON</div> <div>Web: balanengineering.com</div> <div>Office: 519.688.2525</div>	Project Name: DETACHED GARAGE - CASIER CONTRACTING 118 TALBOT ROAD, DELHI, ONTARIO		
							Drawing: BUILDING SECTION		
2	25/09/2025	REVISED PER COMMENTS	NB				Designed: N. BALAN	Scale: As Noted	S2.0
1	16/09/2025	ISSUED FOR MINOR VARIANCE	N.B.				Date: Sept 2025	Job Number: 25-0456	
Rev.:	Date: dd/mm/yyyy	Description:	Drawn By:						



1 NORTH ELEVATION

SCALE: 1/4" = 1'-0"



2 SOUTH ELEVATION

SCALE: 1/4" = 1'-0"

2	25/09/2025	REVISED PER COMMENTS	NB
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Rev.:	Date: dd/mm/yyyy	Description:	Drawn By:

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DO NOT SCALE DRAWINGS

STAMP:

LICENSED PROFESSIONAL ENGINEER

2025-09-25

N.S. BALAN

100503960

N. Balan

PROVINCE OF ONTARIO

 **BALAN**
ENGINEERING CORP.

49 North Street East, Tillsonburg, ON

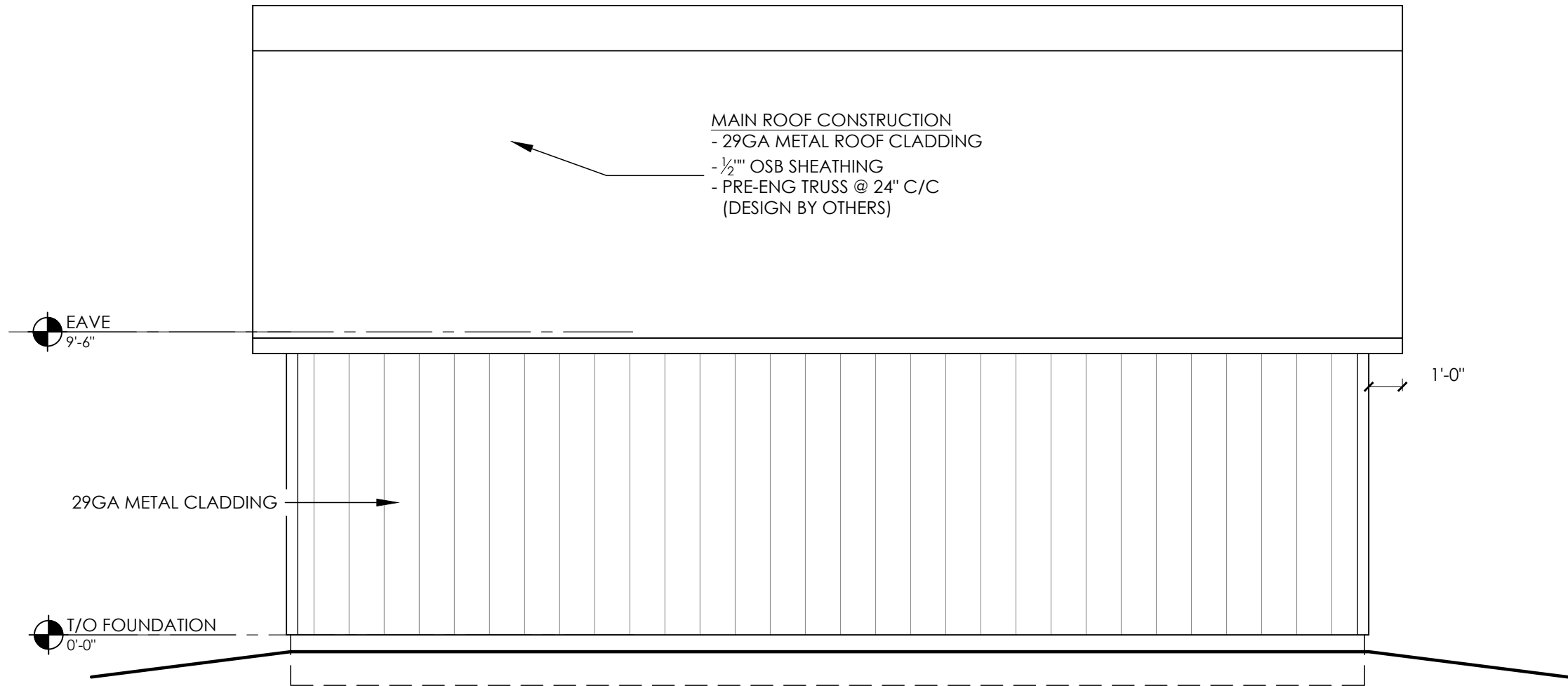
Web: balanengineering.com

Office: 519.688.2525

Project Name:
DETACHED GARAGE - CASIER CONTRACTING
118 TALBOT ROAD, DELHI, ONTARIO

Drawing:
ELEVATIONS

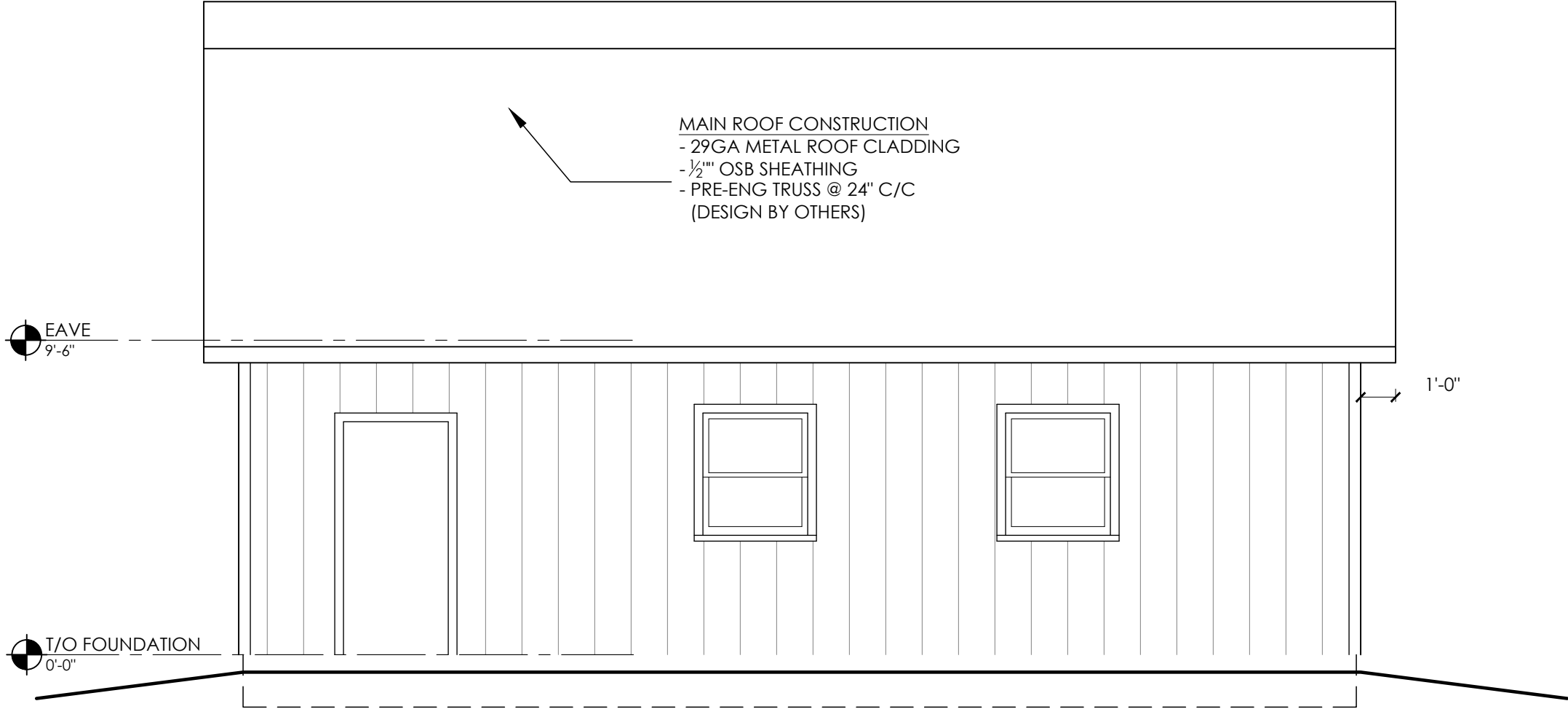
Designed: N.BALAN	Scale: As Noted	Sheet No.: S3.0
Date: Sept 2025	Job Number: 25-0456	



1 WEST ELEVATION
S3.1

SCALE: 3/16" = 1'-0"

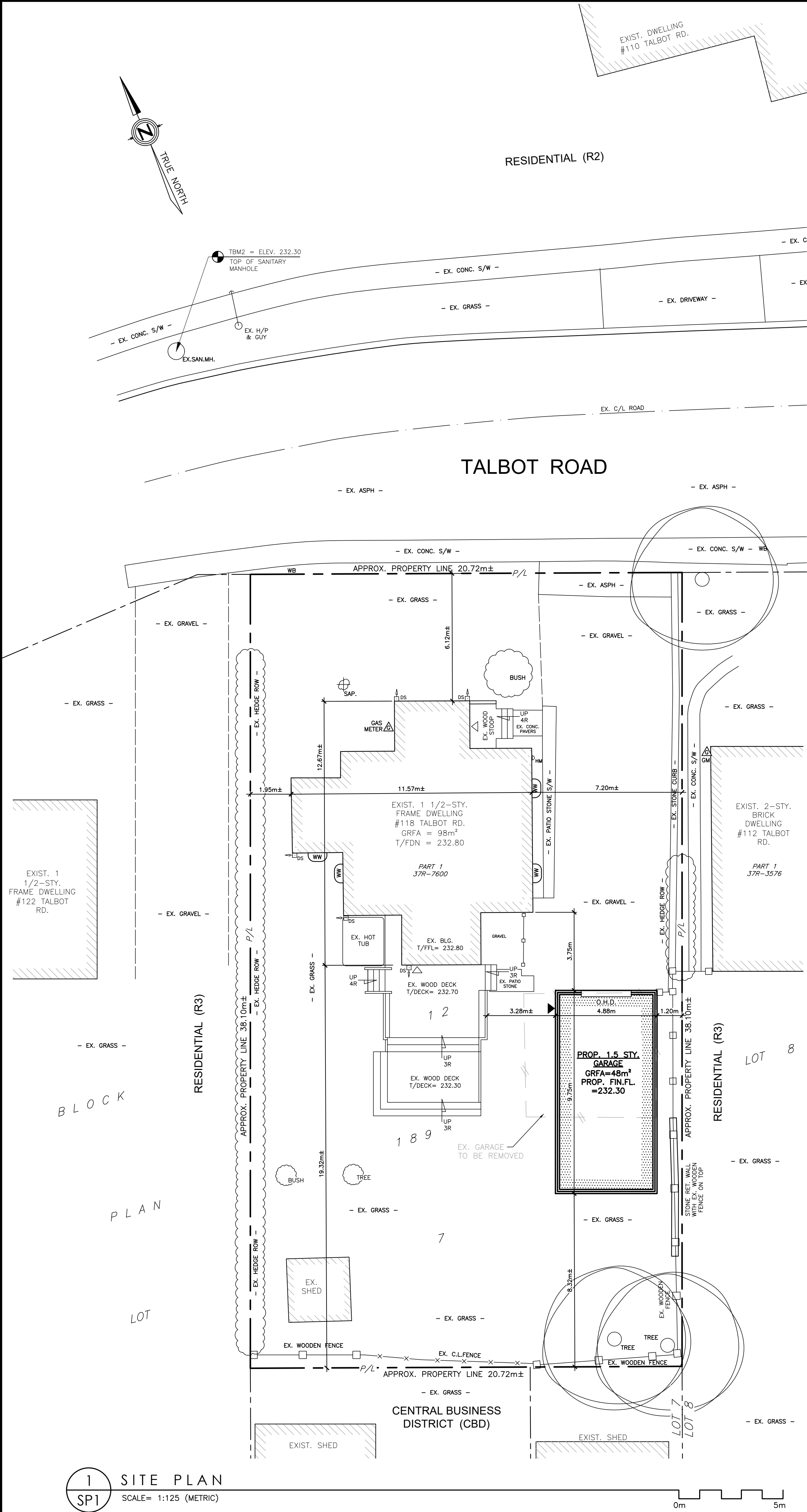
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							Drawing: ELEVATION		
2	25/09/2025	REVISED PER COMMENTS	NB				Designed: N. BALAN	Scale: As Noted	Sheet No.: <div>S3.1</div>
1	16/09/2025	ISSUED FOR MINOR VARIANCE	N.B.				Date: Sept 2025	Job Number: 25-0456	
Rev.:	Date: dd/mm/yyyy	Description:	Drawn By:						



1 EAST ELEVATION
S3.2

SCALE: 1/4" = 1'-0"

				<div>General Note:</div> <div>THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, DRAWINGS, DETAILS AND SPECIFICATIONS, INCLUDING WITH ARCHITECTURAL DRAWINGS AND MUST REPORT ANY DISCREPANCIES TO THE ARCHITECT AND ENGINEER BEFORE PROCEEDING WITH THE WORK.</div> <div>THE CONTENTS OF THESE DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY OF BALAN ENGINEERING CORP. THE DRAWINGS AND SPECIFICATIONS ARE FOR THE NOTED PROJECT ONLY. ANY UNAUTHORIZED USE OF THESE DRAWINGS IN WHOLE OR IN PART WITHOUT EXPRESSED WRITTEN PERMISSION OF BALAN ENGINEERING CORP IS STRICTLY PROHIBITED.</div> <div>THESE DRAWINGS, DETAILS AND SPECIFICATIONS SHALL NOT BE USED FOR CONSTRUCTION UNTIL THEY HAVE BEEN SIGNED AND SEALED BY THE ENGINEER AND A BUILDING PERMIT HAS BEEN ISSUED.</div> <div>DO NOT SCALE DRAWINGS</div>	<div>STAMP:</div> <div></div>	<div></div> <div>49 North Street East, Tillsonburg, ON</div> <div>Web: balanengineering.com</div> <div>Office: 519.688.2525</div>	Project Name: DETACHED GARAGE - CASIER CONTRACTING 118 TALBOT ROAD, DELHI, ONTARIO		
							Drawing: ELEVATION		
2	25/09/2025	REVISED PER COMMENTS	N.B.				Designed: N. BALAN	Scale: As Noted	S3.2
1	16/09/2025	ISSUED FOR MINOR VARIANCE	N.B.				Date: Sept 2025	Job Number: 25-0456	
Rev.:	Date: dd/mm/yyyy	Description:	Drawn By:						



BUILDING INTERIOR WALLS/ROOMS:
REFER TO ARCHITECTURAL / STRUCTURAL DRAWINGS FOR ALL INTERIOR AND EXTERIOR DIMENSIONS, INTERIOR ROOM LAYOUT AND ROOM NAMES, WALL TYPES AND CONSTRUCTION AND SPECIFICATIONS.

BUILDING / SITE LIGHTING:
ALL EXTERIOR LIGHT FIXTURES TO BE DARK-SKY COMPLIANT - NO EXTERIOR LIGHTING ARRAY TO BE DIRECTED OFF PROPERTY TO ROAD ALLOWANCE OR ADJACENT PROPERTIES. ALL LIGHTING ARRAY DIRECTIONS TO SHINE INTERNALLY TOWARD SUBJECT PROPERTY. REFER TO ELECTRICAL DRAWINGS FOR BUILDING / SITE LIGHTING FIXTURE LOCATIONS, FIXTURE TYPES AND STYLES AND SPECIFICATIONS.

REFUSE STORAGE / GARBAGE:
TO BE LOCATED AT INTERIOR OF BUILDING

ROOF RAIN WATER LEADERS:
TO DISCHARGE TO SPLASH PADS AT GRADE.

MUNICIPAL SERVICES:
THERE ARE NO PROPOSED / ADDITIONAL MUNICIPAL SERVICE CONNECTIONS FOR THIS PROJECT. EXISTING MUNICIPAL SERVICES TO REMAIN CONNECTED TO EXISTING RESIDENCE.

	EXISTING	PROPOSED	REQUIRED	PROVIDED	% LOT COVERAGE
ZONING	NORFOLK COUNTY ZONING BY-LAW 12-2014	R3 - RESIDENTIAL (R3 - RESIDENTIAL REQUIREMENTS)		R3 - RESIDENTIAL (R3 - RESIDENTIAL REQUIREMENTS)	
TOTAL LOT AREA	789.64m ²	362m ² (MIN.)	789.64m ²		
LOT FRONTAGE	20.72m	12m (MIN.)	20.72m		
PAVED AREA (HARD SURFACES)	7 m ²		7 m ²		1 %
GRAVELLED AREA	121 m ²		121 m ²		15 %
LANDSCAPED OPEN SPACE	674 m ²		664 m ²		84 %
LANDSCAPED OPEN SPACE (WITHIN FRONT YD)	67 %	50 % (MIN.) OF FRONT YARD	67 %		59 %
EXISTING RESIDENCE:					
FRONT YARD SET BACK	6.30m	6m (MIN.)	6.30m		
REAR YARD SET BACK	19.32m	7.5m (MIN.)	19.32m		
INTERIOR SIDE YARD (EAST)	7.20m	1.20m (MIN.)	7.20m (EXISTING)		
INTERIOR SIDE YARD (WEST)	1.95m	3.0 m (MIN.)	1.95m (EXISTING)		
	R3 - RESIDENTIAL (R3 - RESIDENTIAL REQUIREMENTS)		R3 - RESIDENTIAL (R3 - RESIDENTIAL REQUIREMENTS)		
ACCESSORY BUILDING:					
REAR YARD SET BACK	(EXISTING) 12.00m	3.2m (MIN.)	19.32m		
INTERIOR SIDE YARD (EAST)	(EXISTING) 1.20m	6.32m (MIN.)	7.20m (EXISTING)		
BUILDING DATA (ALL BUILDINGS):					
GROUND FLOOR AREA OF BUILDINGS (GFA):	108 m ²	48 m ²	11m (MAX.)	156 m ²	20 %
PORCHES AND DECKS	43 m ²			43 m ²	5 %
BUILDING HEIGHT				(19'-2") = 5.83 m	
BUILDING DATA (ACCESSORY BLDG):					
GROSS USABLE FLOOR AREA (GUA):	(EXISTING) 38 m ²	48 m ²	PER ZONING BY-LAW 12-2014 GENERAL PROVISIONS SECT. 3.2 (a) - 55m ² (MAX.) OR NOT MORE THAN 10% OF THE LOT (10% = 78.96m ²)	48 m ² (6% OF THE LOT AREA)	
OFF-STREET PARKING:					
PER NORFOLK COUNTY ZONING BY-LAW 12-2014, SEC. 4.9:					
RESIDENTIAL USES:	2 SPACES		2 SPACES (REQ'D)	2 SPACES	

LEGEND	
PROPERTY LINE	---
ADJACENT PROPERTY LINES	---
POST MOUNTED SIGN	---
RAIN WATER LEADER	---
MANDOOR EXIT/ENTRANCE	---
OVERHEAD DOOR LOCATION	---
REFER TO ELECTRICAL DRAWINGS FOR BUILDING/SITE LIGHTING	---
GAS METER	---
ITEM TO BE DEMOLISHED	---

GENERAL NOTES:

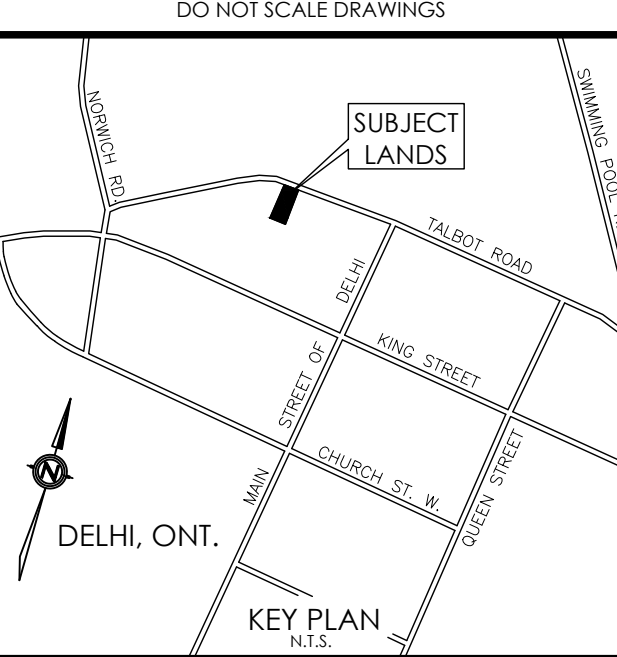
- PRIMARY UNITS ARE METRIC. DIMENSIONS ARE METERS.
- CONTRACTOR TO VERIFY ALL JOB DIMENSIONS, DRAWINGS, DETAILS AND SPECIFICATIONS, AND REPORT ANY DISCREPANCIES TO THE ENGINEER BEFORE PROCEEDING WITH THE WORK.
- ANY DISCREPANCY(S) BETWEEN INFORMATION ON THIS SITE DRAWING AND ACTUAL FIELD CONDITIONS, WHICH MAY IMPACT ON THE PROPOSED DEVELOPMENT, ARE TO BE REPORTED TO THE SENIOR CONSULTANT / P.ENG.
- THE DRAWINGS AND SPECIFICATIONS ARE TO BE USED ONLY FOR THE PROJECT SO NOTED. REPRODUCTION OF THE DOCUMENTS IN PART OR IN WHOLE FOR ANY OTHER PURPOSE, OTHER THAN THIS PROJECT, WITHOUT THE WRITTEN CONSENT OF BALAN ENGINEERING CORP., IS PROHIBITED. DRAWINGS ISSUED FOR GENERAL PURPOSE, NEGOTIATION, LEASE ETC., CARRY ALL THE ABOVE COPYRIGHT PROTECTION.
- REQUIRED SERVICES & SERVICE CONNECTIONS NOT SHOWN ON DRAWING TO BE THE RESPONSIBILITY OF THE CONTRACTOR/OWNER.
- ALL NECESSARY RELOCATIONS OR REMOVALS OF EXISTING PHYSICAL SITE FEATURES INCLUDING U/G SERVICES TO BE THE RESPONSIBILITY OF THE CONTRACTOR/OWNER.
- EXACT LOCATIONS & ELEVATIONS OF ALL EXISTING SERVICES (SANITARY SEWER, WATER, GAS, BELL, ETC.), GRADES, MATERIAL LENGTHS, ELEVATIONS, INVERTS, ETC. TO BE VERIFIED BY CONTRACTOR PRIOR TO COMMENCEMENT OF ANY SITEWORK.
- ANY FILL PLACED ON SITE MUST BE COMPACTED TO A MIN. 98% STANDARD PROCTER DENSITY.
- THE APPROVAL OF THIS PLAN DOES NOT EXEMPT THE OWNER'S BONDED CONTRACTOR FROM THE REQUIREMENTS TO OBTAIN THE VARIOUS PERMITS/APPROVALS NORMALLY REQUIRED TO COMPLETE A CONSTRUCTION PROJECT, SUCH AS, BUT NOT LIMITED TO THE FOLLOWING:
 - SEWER PERMITS
 - ROAD CUT PERMITS
 - RELOCATION OF SERVICES
- THIS DRAWING TO BE READ IN CONJUNCTION WITH ANY AND ALL OTHER DOCUMENTS SUBMITTED FOR MUNICIPAL APPROVAL(S).
- RIGID INSULATION (2 LAYERS OF 1" STYROFOAM) IS TO BE PROVIDED OVER ALL NEW STORM PIPE WHERE COVER IS LESS THEN 1.2m.
- ALL EXCESS EXCAVATED MATERIAL WILL BE REMOVED FROM THE SITE.
- THE EXISTING DRAINAGE PATTERN WILL BE MAINTAINED EXCEPT WHERE NOTED. PROPOSED ELEVATIONS SHOW GENERAL INTENT OF GRADING PLAN.
- ALL WORK WITHIN THE MUNICIPAL RIGHT-OF-WAY TO BE COMPLETED TO THE SATISFACTION OF THE MUNICIPALITY.
- PROPER SILTATION MEASURES TO TAKE PLACE. SILT CONTROLS, I.E. SILT FENCING AROUND ALL CONSTRUCTION AREAS ARE TO BE IN PLACE PRIOR TO THE START OF SITE WORKS, AND BE MAINTAINED FOR THE DURATION OF CONSTRUCTION (SILT FENCING TO BE PROPERLY SECURED C/W T BAR POSTS IN GROUND & C/W FILTER FABRIC) FENCING TO BE INSTALLED AROUND ALL CONSTRUCTION AREAS. [REFER TO OPD 219.130].

NOTE:

- GFA* DENOTES "GROSS FLOOR AREA"
- GUA* DENOTES "GROSS USABLE FLOOR AREA"
- GUA* DENOTES "GROSS FLOOR AREA" WHICH IS THE TOTAL AREA OF THE ENTIRE BUILDING FOOTPRINT.

DISCLAIMER:
THIS IS NOT A LEGAL PLAN OF SURVEY AND SHALL NOT BE USED FOR ANY PURPOSE EXCEPT FOR THE PURPOSE INDICATED IN THE TITLE BLOCK. IN ACCORDANCE WITH THE SURVEYORS ACT R.S.O. 1990, C.29, (AS AMENDED 2021) PLEASE REFER TO STAMPED C.L.S. DRAWINGS FOR ALL SURVEY DATA. PROPERTY LINE INFORMATION SHOWN ON THIS PLAN IS APPROXIMATE AND TO BE VERIFIED BY C.L.S IF REQUIRED.
BALAN ENGINEERING CORP. ASSUMES NO RESPONSIBILITY FOR THE USE OF, OR RELIANCE ON, ALL REAL PROPERTY INFORMATION SHOWN (OR NOT SHOWN) ON THIS PLAN.

NOTES:
ALL DIMENSIONS ARE METRIC UNLESS SPECIFICALLY NOTED OTHERWISE.
THE CONTENTS OF THESE DRAWINGS ARE BASED ON INFORMATION AT THE TIME OF PREPARATION. ENCLOSURE PLANS SHALL NOT REPLACE OFFICIAL STAMPED DRAWINGS. ONLY STAMPED DRAWINGS SHALL BE CONSIDERED FINAL. ANY PERSON OR ORGANIZATION THAT MAKES USE OF OR RELIES UPON THESE DRAWINGS IS RESPONSIBLE FOR CONFIRMING ACCURACY AND COMPLETENESS. BALAN ENGINEERING CORP. SHALL NOT BE RESPONSIBLE FOR ANY MODIFICATION OR REPRODUCTION THEREOF.
ANY DISCREPANCIES ARE TO BE BROUGHT TO THE ENGINEER'S ATTENTION BEFORE PROCEEDING WITH THE WORK.
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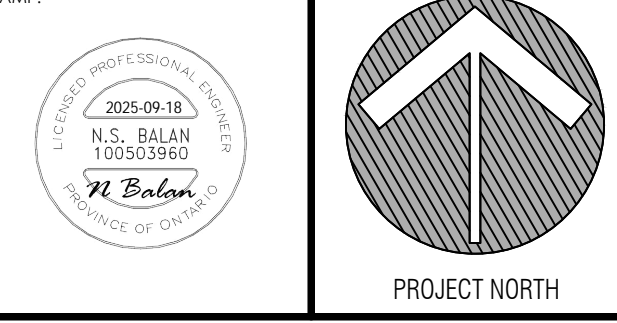
LEGAL DESCRIPTION:
PART 1 OF
OF BLOCK 12, REGD PLAN 189
PART 1 OF PLAN OF 7600
GEO. TOWNSHIP OF BRIM
NORFOLK COUNTY, ONT.

18M1, ELEV=232.30
TOP OF SANITARY MANHOLE 18 IN BOULEVARD NORTH SIDE OF TALBOT ROAD,
NORTHWEST OF SUBJECT PROPERTY.



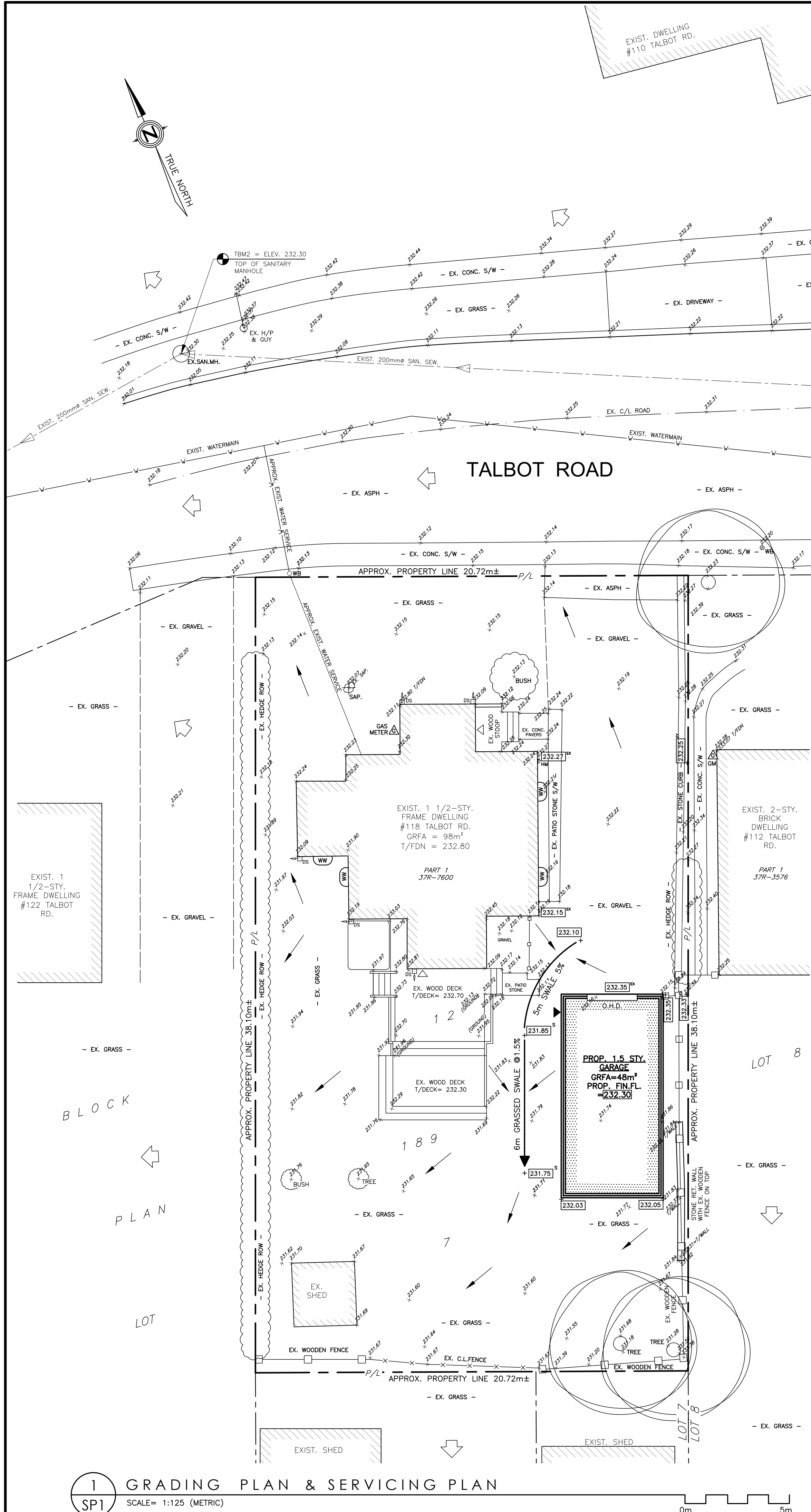
REVISIONS			
Rev.	Date	Description	By
01	2025/09/18	ISSUED FOR MINOR VARIANCE	CB

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DO NOT SCALE DRAWINGS. THESE DRAWINGS SHOW INTENT OF THE DESIGN ONLY OR EXISTING CONDITIONS AND MAY NOT REFLECT EXACT LOCATIONS.



Project Name:
PROPOSED ONE-CAR GARAGE
118 TALBOT ROAD,
DELHI, ONTARIO,
NORFOLK COUNTY

DRAWING	
Drawn By:	Job Number:
CB	25-0456
Approved By:	Sheet No.:
NB	Revision No.:
Date:	Scale:
Sept. 01, 2025	As Noted



SILT FENCE NOTES:

- 1. SILT FENCE SHALL GENERALLY BE PLACED A MINIMUM OF 1.5m BEYOND TOE OF SLOPE, 3m PREFERRED, TO PROVIDE ADEQUATE AREA FOR SEDIMENT STORAGE AND FACILITATE MAINTENANCE OF SEDIMENT CONTAINMENT AREA.
- 2. ALL ENDS SHALL BE "J" HOOKED TO TRAP SEDIMENT.
- 3. IN AREAS WITH TWO SLOPES, SILT FENCE SHALL BE USED TO ERECT A DAM AND TRAP SEDIMENT AT THE BASE OF THE STEEPER SLOPE.
- 4. THE BOTTOM EDGE OF SILT FENCE SHALL BE BURIED A MINIMUM OF 150mm BELOW GROUND, AND KEYED IN 100mm. THE FENCE SHALL BE INSTALLED WITH THE POSTS ON THE DOWNSTREAM SIDE OF THE FABRIC. MAXIMUM DRAINAGE AREA TRIBUTARY TO 30m OF SILT FENCE SHALL BE 0.1 ha.
- 5. SILT FENCE SHALL BE REMOVED WHEN THE AREA HAS BEEN STABILIZED.
- 6. AT TIME OF REMOVAL OF THE SILT FENCE, THE DISTURBED AREA SHALL BE REPAIRED AND STABILIZED.
- 7. MEASURES SHALL BE INSPECTED EVERY SEVEN (7) CALENDAR DAYS AND WITHIN 24 HOURS OF A STORM EVENT GREAT ENOUGH TO CAUSE WATER TO LEAVE THE CONSTRUCTION SITE.
- 8. MEASURES SHALL BE CLEANED AND REPAIRED AS NEEDED. SEDIMENT SHALL BE REMOVED WHEN ACCUMULATION REACHES ONE-HALF OF THE MEASURE HEIGHT. SEDIMENT SHALL BE DISPOSED OF AS UNSUITABLE MATERIAL.
- 9. SILT FENCE SHALL BE INSTALLED ON A LINE OF EQUAL ELEVATION (CONTOUR). IT MAY BE INSTALLED AT INTERMEDIATE POINTS UP SLOPES AS WELL AS AT THE BOTTOM, AS SHOWN IN THE DETAIL.
- 10. SILT FENCE SHALL NOT BE USED ACROSS CONCENTRATED FLOW.

GENERAL EROSION AND SEDIMENT CONTROL NOTES:

- 1. UNLESS OTHERWISE INDICATED, ALL VEGETATIVE AND STRUCTURAL EROSION AND SEDIMENT CONTROL PRACTICE WILL BE CONSTRUCTED AND MAINTAINED ACCORDING TO MINIMUM STANDARDS AND SPECIFICATIONS OF NORFOLK COUNTY.
- 2. ALL EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE PLACED PRIOR TO OR AS THE FIRST STEP IN CLEARING.
- 3. A COPY OF THE APPROVED EROSION AND SEDIMENT CONTROL PLAN SHALL BE MAINTAINED ON SITE AT ALL TIMES.
- 4. THE CONTRACTOR IS RESPONSIBLE FOR INSTALLATION OF ANY ADDITIONAL EROSION CONTROL MEASURES NECESSARY TO PREVENT EROSION AND SEDIMENTATION AS DETERMINED BY THE PLAN APPROVING AUTHORITY.
- 5. ALL DISTURBED AREAS ARE TO DRAIN TO APPROVED SEDIMENT CONTROL MEASURES AT ALL TIMES DURING LAND DISTURBING ACTIVITIES AND DURING SITE DEVELOPMENT UNTIL FINAL STABILIZATION IS ACHIEVED.
- 6. ALL EROSION AND SEDIMENT CONTROLS ARE TO BE INSTALLED AND MAINTAINED TO THE SATISFACTION AND TO THE REQUIREMENTS OF NORFOLK COUNTY.
- 7. ALL AREAS OF WORK WHICH WILL REMAIN DISTURBED FOR A PERIOD OF THIRTY DAYS OR MORE MUST BE STABILIZED TO THE SATISFACTION OF NORFOLK COUNTY.
- 8. ALL MATERIAL STOCKPILES ARE TO BE LOCATED WITHIN THE BOUNDARY OF THE INDICATED SILT FENCE. ADDITIONAL SILT FENCE IS TO BE ERCTED AROUND ANY PROPOSED STOCKPILES.
- 9. CATCH BASINS TO HAVE SILT TRAPS INSTALLED FOR THE DURATION OF CONSTRUCTION, REFERENCE DETAIL ON THIS PAGE.
- 10. SILT FENCE AS PER OPSD 219.130
- 11. ALL EROSION CONTROL DEVICES ARE TO BE INSPECTED AND MAINTAINED WEEKLY AND AFTER EACH RAINFALL.
- 12. OWNER IS RESPONSIBLE FOR INSPECTIONS AND MAINTENANCE OF STORMCEPTOR AS PER MANUFACTURER'S INSTRUCTIONS. ALL EROSION AND SEDIMENTATION CONTROL DEVICES MUST BE IN PLACE PRIOR TO ANY EARTH MOVING/CONSTRUCTION ACTIVITIES AND MUST BE MAINTAINED UNTIL FINAL COVER IS ESTABLISHED.

O.P.S. DETAILS - DISCLAIMER:

O.P.S. (Ontario Provincial Standard) details are produced and issued by the Province of Ontario and are shown here to be used as guidelines only, they are not intended to be construction drawings nor shop drawings per se. It is the responsibility of the contractor to verify all aspects needed for construction, including but not limited to - Existing conditions and materials required new materials, sizes, quantities, configurations and locations, existing and new locations, levels, elevations of infrastructure and services, OBC requirements and specifications, and overall scope.

DISCLAIMER:

THIS IS NOT A LEGAL PLAN OF SURVEY AND SHALL NOT BE USED FOR ANY PURPOSE EXCEPT FOR THE PURPOSE INDICATED IN THE TITLE BLOCK. IN ACCORDANCE WITH THE SURVEYORS ACT R.S.O. 1990, C.29 (AS AMENDED 2021) PLEASE REFER TO STAMPED C.L.S. DRAWING(S) FOR ALL SURVEY DATA. PROPERTY LINE INFORMATION SHOWN ON THIS PLAN IS APPROXIMATE AND TO BE VERIFIED BY C.L.S IF REQUIRED.

BALAN ENGINEERING CORP. ASSUMES NO RESPONSIBILITY FOR THE USE OF, OR RELIANCE ON, ALL REAL PROPERTY INFORMATION SHOWN (OR NOT SHOWN) ON THIS PLAN.

Note:

ALL DIMENSIONS ARE METRIC UNLESS SPECIFICALLY NOTED OTHERWISE.

THE CONTENTS OF THESE DRAWINGS ARE BASED ON INFORMATION AT THE TIME OF PREPARATION. ENCLOSED PLANS SHALL NOT REPLACE OFFICIAL STAMPED DRAWINGS. ONLY STAMPED DRAWINGS SHALL BE CONSIDERED FINAL. ANY PERSON OR ORGANIZATION THAT MAKES USE OF OR RELIES UPON THESE DRAWINGS IS RESPONSIBLE FOR CONFIRMING ACCURACY AND COMPLETENESS. BALAN ENGINEERING CORP. SHALL NOT BE RESPONSIBLE FOR ANY MODIFICATION OR REPRODUCTION THEREOF.

ANY DISCREPANCIES ARE TO BE BROUGHT TO THE ENGINEER'S ATTENTION BEFORE PROCEEDING WITH THE WORK.

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DO NOT SCALE DRAWINGS



LEGAL DESCRIPTION:

PART 1 OF BLOCK 12, REGD PLAN 189
PART 1 OF PLAN 378-7600
GEO TOWNSHIP OF DELHI,
NORFOLK COUNTY, ONT.

TBM1 - ELEV = 232.30
TOP OF SANITARY MANHOLE IN BOULEVARD NORTH SIDE OF TALBOT ROAD,
NORTH WEST OF SUBJECT PROPERTY.

Client:



• bryce@casiercontracting.com • (519) 968-0302

REVISIONS

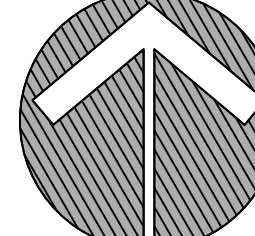
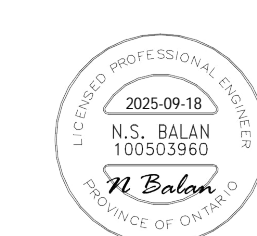
Rev.	Date	Description	By:
1	2025/09/18	ISSUED FOR MINOR VARIANCE	CB

Rev.: 2025/09/18 Date: 2025/09/18 Description: ISSUED FOR MINOR VARIANCE By: CB

THESE DRAWINGS, DETAILS AND SPECIFICATIONS SHALL NOT BE USED FOR CONSTRUCTION UNTIL THEY HAVE BEEN SIGNED AND SEALED BY THE ENGINEER AND A BUILDING PERMIT HAS BEEN ISSUED.

DO NOT SCALE DRAWINGS. THESE DRAWINGS SHOW INTENT OF THE DESIGN ONLY OR EXISTING CONDITIONS AND MAY NOT REFLECT EXACT LOCATIONS.

STAMP:



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email: info@balanengineering.com
Web: balanengineering.com
Office: 519.688.2525

Project Name:

PROPOSED ONE-CAR GARAGE

118 TALBOT ROAD,
DELHI, ONT,
NORFOLK COUNTY,

Drawing:

GRADING AND SERVICING PLAN

Drawn By:

CB

Job Number:

25-0456

Approved By:

NB

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Sept 01, 2025

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As Noted

SP2

00

MUNICIPAL SERVICES:

THERE ARE NO PROPOSED / ADDITIONAL MUNICIPAL SERVICE CONNECTIONS FOR THIS PROJECT. EXISTING MUNICIPAL SERVICES TO REMAIN CONNECTED TO EXISTING RESIDENCE.

STORM WATER MANAGEMENT:


EXISTING SITE DRAINAGE PATTERN TO REMAIN WILL NOT BE ADVERSELY AFFECTED BY DEVELOPMENT. NO STORM WATER MANAGEMENT CONTROLS ARE PROPOSED.

LEGEND

PROPERTY LINE	---
ADJACENT PROPERTY LINES	---
POST MOUNTED SIGN	PS (EXISTING) PS (PROPOSED)
RAIN WATER LEADER	RL (EXISTING) RL (PROPOSED)
MANDOOR EXIT/ENTRANCE	O.H.D. (EXISTING) O.H.D. (PROPOSED)
OVER-HEAD DOOR LOCATION	WP, SH WALL MOUNTED
REFER TO ELECTRICAL DRAWINGS FOR BUILDING/SITE LIGHTING	
GAS METER	GM
EXISTING SPOT ELEVATION	+232.02
PROPOSED DRAINAGE	→
EXISTING OVERLAND DRAINAGE	→
C/L PROPOSED SWALE	→
PROPOSED GRADES	+240.00 ^{EX} EXISTING GRADES TO REMAIN +240.00 ^S PROPOSED GRADES +240.00 ^S PROPOSED SWALE GRADES

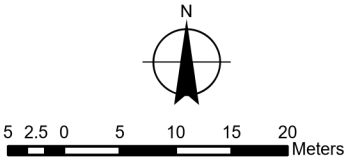


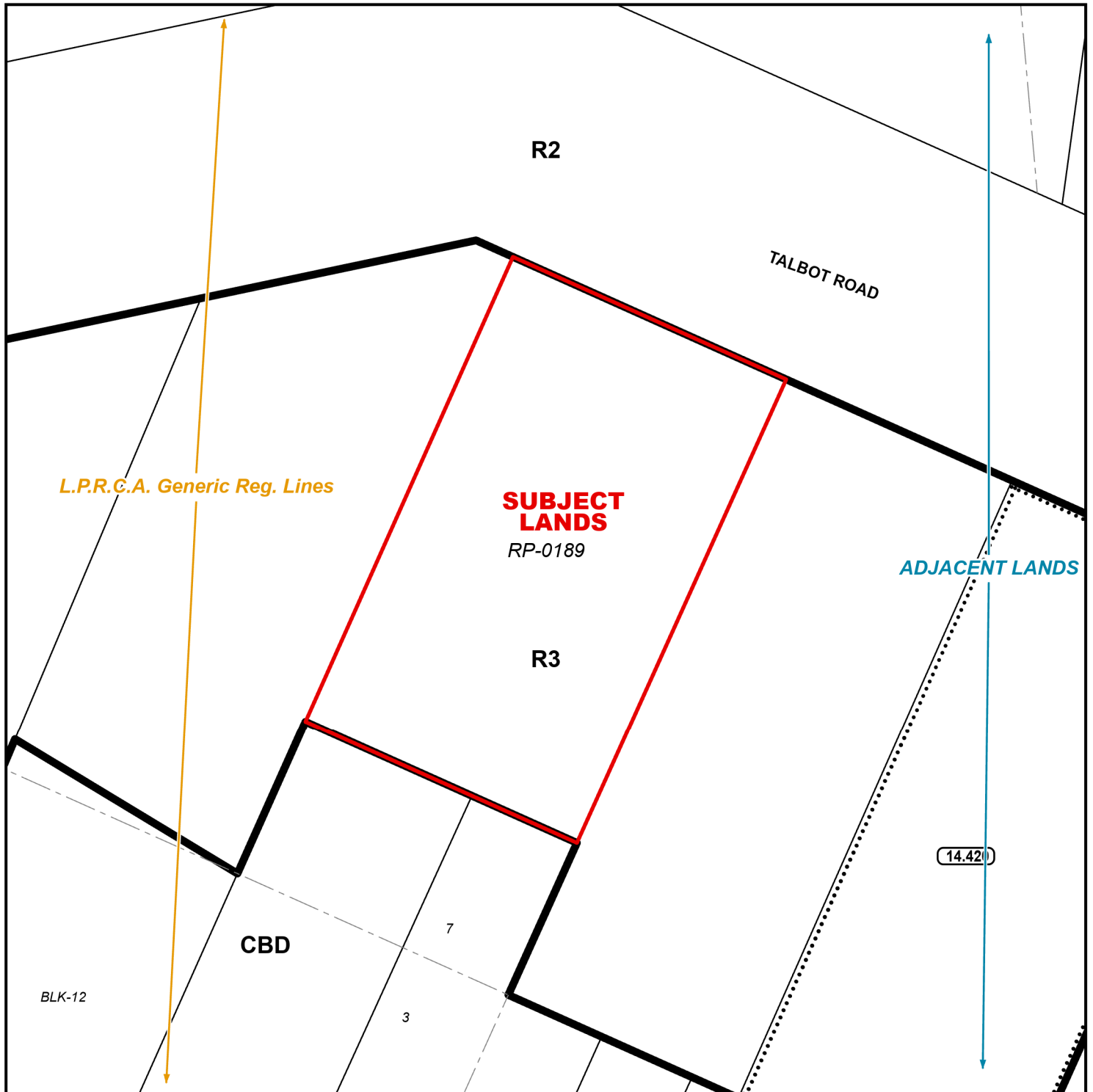
Legend

 Subject Lands

2020 Air Photo

10/8/2025





LEGEND

- Subject Lands
- Adjacent Lands
- LPRCA Generic RegLines

ZONING BY-LAW 1-Z-2014

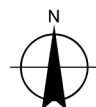
10/8/2025

(H) - Holding

CBD - Central Business District Zone

R2 - Residential R2 Zone

R3 - Residential R3 Zone



3 1.5 0 3 6 9 12 Meters

