

**For Office Use Only:**

File Number \_\_\_\_\_  
Related File Number \_\_\_\_\_  
Pre-consultation Meeting \_\_\_\_\_  
Application Submitted \_\_\_\_\_  
Complete Application \_\_\_\_\_

Application Fee \_\_\_\_\_  
Conservation Authority Fee \_\_\_\_\_  
Well & Septic Info Provided \_\_\_\_\_  
Planner \_\_\_\_\_  
Public Notice Sign \_\_\_\_\_

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**Check the type of planning application(s) you are submitting.**

- ☐ Consent/Severance/Boundary Adjustment  
☐ Surplus Farm Dwelling Severance and Zoning By-law Amendment  
☒ Minor Variance  
☐ Easement/Right-of-Way

**Property Assessment Roll Number:** 3310-493-110-44900 \_\_\_\_\_

**A. Applicant Information**

**Name of Owner** Peter Overgaauw

It is the responsibility of the owner or applicant to notify the planner of any changes in ownership within 30 days of such a change.

Address 23 Scarfe Gardens  
Town and Postal Code Brantford, ON N3T 6B2  
Phone Number \_\_\_\_\_  
Cell Number 519-861-0684  
Email pwovergaauw@gmail.com

**Name of Applicant** Agent  
Address \_\_\_\_\_  
Town and Postal Code \_\_\_\_\_  
Phone Number \_\_\_\_\_  
Cell Number \_\_\_\_\_  
Email \_\_\_\_\_

**Name of Agent** David McPherson  
**Address** 8 Culver Lane  
**Town and Postal Code** Simcoe, ON N3Y 5C8  
**Phone Number** \_\_\_\_\_  
**Cell Number** 519-427-6483  
**Email** david-a-mcpherson@hotmail.com

Please specify to whom all communications should be sent. Unless otherwise directed, all correspondence and notices in respect of this application will be forwarded to the owner and agent noted above.

☐ Owner ☒ Agent ☐ Applicant

Names and addresses of any holder of any mortgagees, charges or other encumbrances on the subject lands:

n/a

## **B. Location, Legal Description and Property Information**

1. Legal Description (include Geographic Township, Concession Number, Lot Number, Block Number and Urban Area or Hamlet):

Lots H & I Plan 135

**Municipal Civic Address:** 15 Cedar Drive, Turkey Point

**Present Official Plan Designation(s):** Resort Residential

**Present Zoning:** Resort Residential

2. Is there a special provision or site specific zone on the subject lands?

☐ Yes ☒ No If yes, please specify:

3. Present use of the subject lands:

Residential

4. Please describe **all existing** buildings or structures on the subject lands and whether they are to be retained, demolished or removed. If retaining the buildings or structures, please describe the type of buildings or structures, and illustrate the setback, in metric units, from front, rear and side lot lines, ground floor area, gross floor area, lot coverage, number of storeys, width, length, and height on your attached sketch which must be included with your application:

All existing buildings shown on the attached survey are to be demolished.

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5. If an addition to an existing building is being proposed, please explain what it will be used for (for example a bedroom, kitchen, or bathroom). If new fixtures are proposed, please describe.

n/a

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6. Please describe **all proposed** buildings or structures/additions on the subject lands. Describe the type of buildings or structures/additions, and illustrate the setback, in metric units, from front, rear and side lot lines, ground floor area, gross floor area, lot coverage, number of storeys, width, length, and height on your attached sketch which must be included with your application:

Proposed is a 1 1/2 storey cottage of some 166 sqm c/w attached garage. Architectural plans are attached. Proposed site plan is also attached.

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7. Are any existing buildings on the subject lands designated under the *Ontario Heritage Act* as being architecturally and/or historically significant? Yes ☐ No ☒

If yes, identify and provide details of the building:

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8. If known, the length of time the existing uses have continued on the subject lands:

75 years

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9. Existing use of abutting properties:

residential

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10. Are there any easements or restrictive covenants affecting the subject lands?

☐ Yes ☒ No If yes, describe the easement or restrictive covenant and its effect:

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### C. Purpose of Development Application

Note: Please complete all that apply. **Failure to complete this section will result in an incomplete application.**

#### 1. Site Information (Please refer to Zoning By-law to confirm permitted dimensions)

	Existing	Permitted	Provision	Proposed	Deficiency
Lot frontage	23.29m	15m		23.29m	
Lot depth	43.96m			43.96m	
Lot width	23.29m			23.29m	
Lot area	944sqm			944sqm	
Lot coverage	12%	15%		31%	16%
Front yard		6m		10.4m	
Rear yard		9m		9m	
Height		9.1m		7m	
Left Interior side yard		1.2m		4.1m	
Right Interior side yard		1.2m		1.26m	
Exterior side yard (corner lot)					
Parking Spaces (number)					
Aisle width					
Stall size					
Loading Spaces					
Other					



2. Please explain why it is not possible to comply with the provision(s) of the Zoning By-law:

Design of the proposed cottage exceeds the maximum permitted lot coverage. Existing lot is undersized.

3. **Consent/Severance/Boundary Adjustment:** Description of land intended to be severed in metric units:

Frontage: n/a

Depth:

Width:

Lot Area:

Present Use:

Proposed Use:

Proposed final lot size (if boundary adjustment):

If a boundary adjustment, identify the assessment roll number and property owner of the lands to which the parcel will be added:

Description of land intended to be retained in metric units:

Frontage:

Depth:

Width:

Lot Area:

Present Use:

Proposed Use:

Buildings on retained land:

4. **Easement/Right-of-Way:** Description of proposed right-of-way/easement in metric units:

Frontage: n/a

Depth:

Width: \_\_\_\_\_  
Area: \_\_\_\_\_  
Proposed Use: \_\_\_\_\_

**5. Surplus Farm Dwelling Severances Only:** List all properties in Norfolk County, which are owned and farmed by the applicant and involved in the farm operation

Owners Name: n/a  
Roll Number: \_\_\_\_\_  
Total Acreage: \_\_\_\_\_  
Workable Acreage: \_\_\_\_\_  
Existing Farm Type: (for example: corn, orchard, livestock) \_\_\_\_\_  
Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built \_\_\_\_\_  
Date of Land Purchase: \_\_\_\_\_

Owners Name: \_\_\_\_\_  
Roll Number: \_\_\_\_\_  
Total Acreage: \_\_\_\_\_  
Workable Acreage: \_\_\_\_\_  
Existing Farm Type: (for example: corn, orchard, livestock) \_\_\_\_\_  
Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built \_\_\_\_\_  
Date of Land Purchase: \_\_\_\_\_

Owners Name: \_\_\_\_\_  
Roll Number: \_\_\_\_\_  
Total Acreage: \_\_\_\_\_  
Workable Acreage: \_\_\_\_\_  
Existing Farm Type: (for example: corn, orchard, livestock) \_\_\_\_\_  
Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built \_\_\_\_\_  
Date of Land Purchase: \_\_\_\_\_

Owners Name: \_\_\_\_\_  
Roll Number: \_\_\_\_\_  
Total Acreage: \_\_\_\_\_  
Workable Acreage: \_\_\_\_\_  
Existing Farm Type: (for example: corn, orchard, livestock) \_\_\_\_\_  
Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built \_\_\_\_\_  
Date of Land Purchase: \_\_\_\_\_

Owners Name: \_\_\_\_\_  
Roll Number: \_\_\_\_\_  
Total Acreage: \_\_\_\_\_  
Workable Acreage: \_\_\_\_\_  
Existing Farm Type: (for example: corn, orchard, livestock) \_\_\_\_\_  
Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built \_\_\_\_\_  
Date of Land Purchase: \_\_\_\_\_

**Note: If additional space is needed please attach a separate sheet.**

**D. All Applications: Previous Use of the Property**

1. Has there been an industrial or commercial use on the subject lands or adjacent lands? ☐ Yes ☒ No ☐ Unknown

If yes, specify the uses (for example: gas station, or petroleum storage):

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

2. Is there reason to believe the subject lands may have been contaminated by former uses on the site or adjacent sites? ☐ Yes ☒ No ☐ Unknown

3. Provide the information you used to determine the answers to the above questions:  
Information provided by owner.

\_\_\_\_\_  
\_\_\_\_\_

4. If you answered yes to any of the above questions in Section D, a previous use inventory showing all known former uses of the subject lands, or if appropriate, the adjacent lands, is needed. Is the previous use inventory attached? ☐ Yes ☐ No

**E. All Applications: Provincial Policy**

1. Is the requested amendment consistent with the provincial policy statements issued under subsection 3(1) of the *Planning Act, R.S.O. 1990, c. P. 13*? ☒ Yes ☐ No

If no, please explain:

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2. It is owner's responsibility to be aware of and comply with all relevant federal or provincial legislation, municipal by-laws or other agency approvals, including the Endangered Species Act, 2007. Have the subject lands been screened to ensure that development or site alteration will not have any impact on the habitat for endangered or threatened species further to the provincial policy statement subsection 2.1.7? ☒ Yes ☐ No

If no, please explain:

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3. Have the subject lands been screened to ensure that development or site alteration will not have any impact on source water protection? ☐ Yes ☒ No

If no, please explain:

Property is not within a WHPA

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Note: If in an area of source water Wellhead Protection Area (WHPA) A, B or C please attach relevant information and approved mitigation measures from the Risk Manager Official.



4. All Applications: Are any of the following uses or features on the subject lands or within 500 metres of the subject lands, unless otherwise specified? Please check boxes, if applicable.

**Livestock facility or stockyard** (submit MDS Calculation with application)

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Wooded area**

☐ On the subject lands or ☒ within 500 meters – distance 2m

**Municipal Landfill**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Sewage treatment plant or waste stabilization plant**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Provincially significant wetland (class 1, 2 or 3) or other environmental feature**

☐ On the subject lands or ☒ within 500 meters – distance \_\_\_\_\_

**Floodplain**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Rehabilitated mine site**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Non-operating mine site within one kilometre**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Active mine site within one kilometre**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Industrial or commercial use (specify the use(s))**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Active railway line**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Seasonal wetness of lands**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Erosion**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Abandoned gas wells**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

## F. All Applications: Servicing and Access

1. Indicate what services are available or proposed:

### Water Supply

- ☐ Municipal piped water  
☒ Individual wells

- ☐ Communal wells  
☐ Other (describe below)

### Sewage Treatment

- ☐ Municipal sewers  
☒ Septic tank and tile bed in good working order
- ☐ Communal system  
☐ Other (describe below)

### Storm Drainage

- ☐ Storm sewers  
☐ Other (describe below)
- ☒ Open ditches

2. Existing or proposed access to subject lands:

- ☒ Municipal road  
☐ Unopened road
- ☐ Provincial highway  
☐ Other (describe below)

Name of road/street:

Cedar Drive

## G. All Applications: Other Information

1. Does the application involve a local business? ☐ Yes ☒ No

If yes, how many people are employed on the subject lands?

2. Is there any other information that you think may be useful in the review of this application? If so, explain below or attach on a separate page.

Premise and Justification report is attached

#### **H. Supporting Material to be submitted by Applicant**

In order for your application to be considered complete, folded hard copies (number of paper copies as directed by the planner) and an **electronic version (PDF) of the site plan drawings, additional plans, studies and reports** will be required, including but not limited to the following details:

1. Concept/Layout Plan
2. All measurements in metric
3. Existing and proposed easements and right of ways
4. Parking space totals – required and proposed
5. All dimensions of the subject lands
6. Dimensions and setbacks of all buildings and structures
7. Location and setbacks of septic system and well from all existing and proposed lot lines, and all existing and proposed structures
8. Names of adjacent streets
9. Natural features, watercourses and trees

In addition, the following additional plans, studies and reports, including but not limited to, **may** also be required as part of the complete application submission:

- ☐ On-Site Sewage Disposal System Evaluation Form (to verify location and condition)
- ☐ Environmental Impact Study
- ☐ Geotechnical Study / Hydrogeological Review
- ☐ Minimum Distance Separation Schedule
- ☐ Record of Site Condition

Your development approval might also be dependent on Ministry of Environment Conservation and Parks, Ministry of Transportation or other relevant federal or provincial legislation, municipal by-laws or other agency approvals.

**All final plans must include the owner's signature as well as the engineer's signature and seal.**



## I. Transfers, Easements and Postponement of Interest

The owner acknowledges and agrees that if required it is their solicitor's responsibility on behalf of the owner for the registration of all transfer(s) of land to the County, and/or transfer(s) of easement in favour of the County and/or utilities. Also, the owner further acknowledges and agrees that it is their solicitor's responsibility on behalf of the owner for the registration of postponements of any charges in favour of the County.

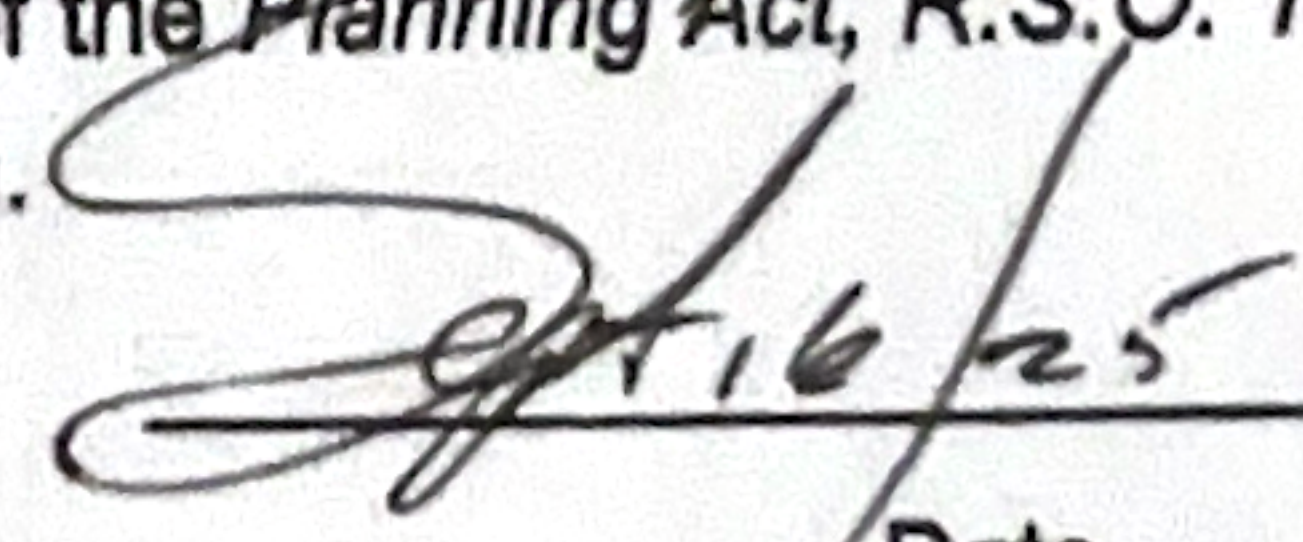
### Permission to Enter Subject Lands

Permission is hereby granted to Norfolk County officers, employees or agents, to enter the premises subject to this application for the purposes of making inspections associated with this application, during normal and reasonable working hours.

### Freedom of Information

For the purposes of the *Municipal Freedom of Information and Protection of Privacy Act*, I authorize and consent to the use by or the disclosure to any person or public body any information that is collected under the authority of the *Planning Act*, R.S.O. 1990, c. P. 13 for the purposes of processing this application.

  
\_\_\_\_\_  
Owner/Applicant/Agent Signature

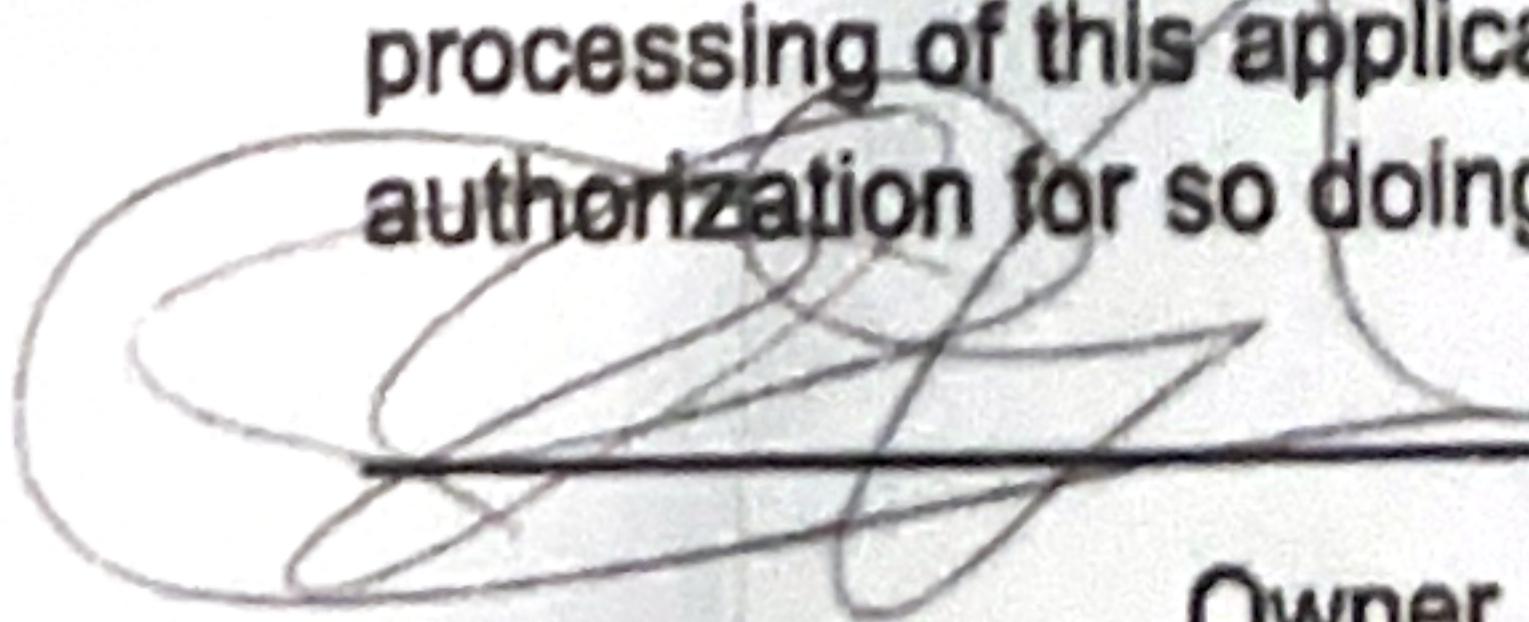
  
\_\_\_\_\_  
Date

## J. Owner's Authorization

If the applicant/agent is not the registered owner of the lands that is the subject of this application, the owner must complete the authorization set out below.

I/We Peter Overgaauw and Wilma Overgaauw am/are the registered owner(s) of the lands that is the subject of this application.

I/We authorize David McPherson to make this application on my/our behalf and to provide any of my/our personal information necessary for the processing of this application. Moreover, this shall be your good and sufficient authorization for so doing.

  
\_\_\_\_\_  
Owner

09/16/25  
\_\_\_\_\_  
Date

W Overgaauw  
\_\_\_\_\_  
Owner

10/30/25  
\_\_\_\_\_  
Date

**\*Note:** If property is owned by an Ontario Ltd. Corporation, Articles of Incorporation are required to be attached to the application.



**K. Declaration**

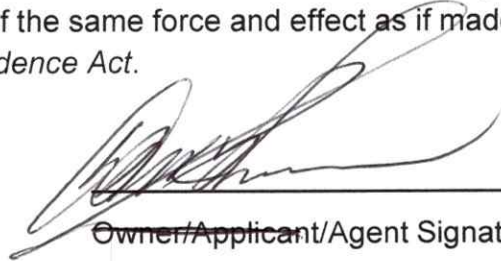
I, David McPherson of Simcoe

solemnly declare that:

all of the above statements and the statements contained in all of the exhibits transmitted herewith are true and I make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath and by virtue of *The Canada Evidence Act*.

Declared before me at:

NORFOLK County



Owner/Applicant/Agent Signature

In Simcoe Ont.

This 20<sup>th</sup> day of October 2025

A.D., 20 25



Sherry Ann Mott, a  
Commissioner, etc., Province of Ontario.  
for the Corporation of Norfolk County.  
Expires March 16, 2026.

A Commissioner, etc.

**Premise and Justification of  
Minor Variance Application  
At 15 Cedar Drive, Turkey Point**

This application seeks relief of 16% lot coverage to permit a new cottage having 31% lot coverage.

The attached survey shows 2 existing cottages of 75 sq. m, and 46 sq. m, and a detached garage of 67 sq. m. The front cottage was demolished in 2021. The balance of all structures, garage, rear cottage, and assorted decks are all slated for demolition. The site will be cleared of all structures and debris, and made clean.

The sum of all existing structures totals 279 sq. m, with an existing coverage of 29.5%.

This application is for construction of a new cottage of 280 sq. m, with a proposed lot coverage of 31%. We therefore seek relief of 16% lot coverage from the maximum permitted lot coverage of 15%, to permit a lot coverage of 31%. This is very similar to the existing site coverage conditions shown on the survey.

The following documents are attached:

- Survey of existing conditions
- Proposed Site Plan
- Conceptual Architectural Plan of proposed cottage

This proposal has regard for Section 2 of the Planning Act.

This proposal conforms to the 2024 Provincial Planning Statement.

Under Section 45(1) of the Planning Act there are four tests a minor variance must meet. In order to be considered the application must meet all four tests:

- Does the application conform to the general intent and purpose of the Official Plan.
- Does the application conform to the general intent and purpose of the Zoning Bylaw.
- Is the application desirable for the appropriate development of the lands in question.
- Is the application minor.

### **Norfolk County Official Plan**

The subject property is designated as Resort Residential in the Norfolk County Official Plan. Permitted uses within this designation include cottages. The Official Plan allows for the improvement and extension of existing properties within the Resort Residential designation. This application enables the continued use and better use of a cottage property within the Resort Residential designation and therefore conforms to the general intent and purpose of the Official Plan, including the Lakeshore Special Policy Area Secondary Plan.

### **Norfolk County Zoning By-law 1-Z-2014**

Zoning By-law 1-Z-2014 zones the property Resort Residential. Article 5.8.1a) permits a vacation home, complete with an attached garage within the Resort Residential Zone.

The general intent and purpose of the Norfolk County Zoning By-law is to maintain the character of the neighborhood. Cedar Drive is lined with updated cottages. The proposed cottage maintains the general character of large scale cottages on Cedar Drive and is compatible with the existing streetscape. The requested variance will maintain the general intent and purpose of the Zoning By-law and will promote the continued and better use of the vacation home property.

### **Is the Variance Desirable and Appropriate**

The continued use of this property, with a modern up-to-date vacation home is compatible with and fits within the existing neighborhood. Small, old, out-dated cottages in Turkey Point have been demolished and rebuilt over the past 40 years. This proposal is an improvement of the property in that the proposed new cottage is desirable and an appropriate reflection of the Cedar Drive streetscape.

### **Is the Variance Minor in Nature**

The application is minor in nature because it proposes a modest increase in lot coverage over the existing lot condition. The construction of the proposed new cottage is minor and impacts no other cottages. Cedar Drive sports updated and large vacation homes.

### **Conclusion**

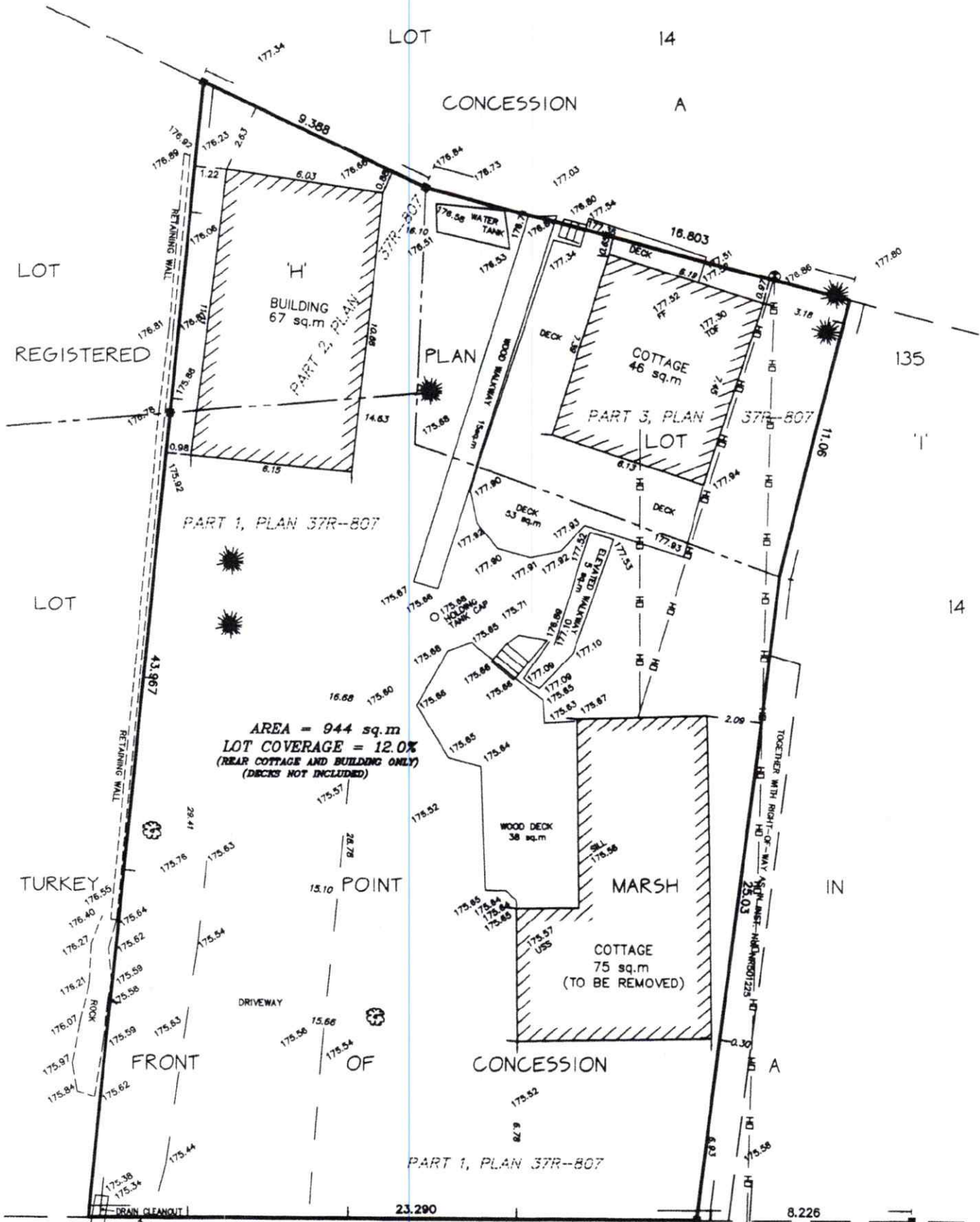
This proposed development meets the overall intent and purpose of the Planning Act, the Provincial Planning Statement, the Norfolk County Official Plan, and the Norfolk County Zoning By-law. The application is minor and desirable for the appropriate development of the lands.

David McPherson

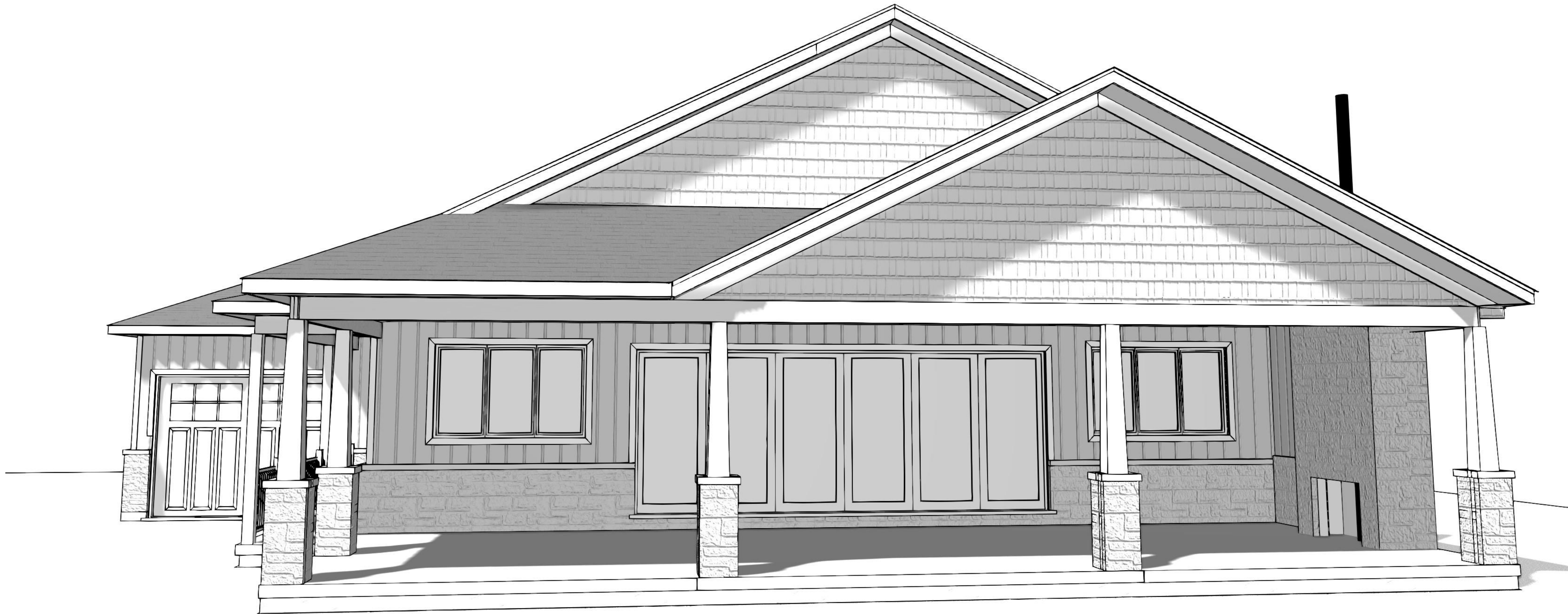




AUGUST 17, 2020







DRAFT PLAN  
NOT FOR  
CONSTRUCTION

### GENERAL NOTES

- CONTRACTOR TO CHECK & VERIFY ANY DISCREPANCIES BEFORE CONSTRUCTION BEGINS.
- DRAWINGS ARE TO BE READ AND NOT TO BE SCALED
- ALL CONSTRUCTION MATERIALS & EQUIP. TO ADHERE TO LATEST EDITION OF O.B.C. & LOCAL BY-LAWS.
- ALL FOOTINGS TO BEAR ON UNDISTURBED SOIL TO LOCAL FROST LEVELS (4'-0" MIN. BELOW GRADE)
- REFER TO PLANS, X-SECTIONS & DETAILS FOR ALL TYP. CONSTRUCTION DETAILS AND NOTES.
- 1 1/2" MIN. CONC. REBAR COVERAGE
- MIN. CONC. STRENGTH (28 DAYS) - 20 MPa (3000 psi)
- STEEL STRENGTH - 400 MPa (60 ksi)
- ASSUMED SOIL BEARING CAPACITY - 1510 psf
- CONSTRUCTION SEQUENCING:
  - BACKFILL INTERIOR OF BUILDING W/COMPACTED SAND BACKFILL TO BE PLACED IN 1' (300mm) LIFTS
  - EVENLY AROUND STRUCTURE.
  - COMPACT BACKFILL TO 98% STANDARD PROCTOR.
  - ROOF TRUSSES & GIRDERS DESIGNED BY TRUSS MANUF.
  - PROVIDE TEMPORARY BRACING FOR ALL COLUMNS UNTIL FINAL BRACING INSTALLATION COMPLETE.

### DESIGN NOTES

1/2" PERIMETER EXPANSION JOINT FOR POURED CONC. SLABS  
1/4" CONTROL JOINTS @ 20' O.C. E.W. IN POURED CONC. SLABS  
ALL WOOD NO. 2 SPRUCE OR BETTER  
ALL BOLTS GALVANIZED STEEL

MAX. BRICK LINTEL SPANS  
4" BRICK/STONE O.B.C. 9,20,5,2

BL-1 4" V x 3 1/2" H x 1/4" T 8'-2"  
BL-2 5" V x 3 1/2" H x 5/16" T 10'-1"  
BL-3 6" V x 3 1/2" H x 7/16" T 11'-1"  
BL-4 6" V x 3 1/2" H x 1/2" T 12'-4"

### STAIR INFO.

RISE: MAX. 7 1/8"  
RUN: MIN. 10 1/16"  
TREAD: MIN. 11"  
NOSING: MAX. 1"  
HEADROOM: MIN. 6'-5"  
UNIFORM RISE/RUN

### LEGEND

SOLID BEARING  
SB FOR GIRDER  
POINT LOAD  
S.J. SINGLE JOIST  
D.J. DOUBLE JOIST  
T.J. TRIPLE JOIST  
D.C.J. DOUBLE CEILING JOIST

### STRUCTURAL NOTES

- ALL EXTERIOR & INTERIOR LINTELS TO BE MIN. (2) FLY 2x10 C/W 2x4 DRYWALL, NAILER & PLYWOOD FILLERS BETWEEN EACH FLY, UNLESS NOTED OTHERWISE.
- ALL NOTCHING & DRILLING OF FRAMING MEMBERS TO CONFORM TO NATIONAL & LOCAL BUILDING CODES.
- PROVIDE APPROPRIATE SOLID BLOCKING WITHIN FLOOR SYSTEM FOR LOADS ABOVE.

### DESIGNER DISCLAIMER

- THESE PLANS WERE PRODUCED WITH INFORMATION PROVIDED ON OR BEFORE THE PRINTED DATE.
- IF ANY ERRORS OR OMISSIONS ARE FOUND ON THE DRAWINGS, THE DESIGNER IS TO BE INFORMED IMMEDIATELY TO HELP RESOLVE ANY ISSUES PRIOR TO THE WORK PROCEEDING.
- HVAC STRUCTURAL REQUIREMENTS TO BE VERIFIED AND MET ON SITE WITH THE HVAC INSTALLER.

### PLAN AREAS

MAIN FLOOR PLAN	1792 sq. ft.
UPPER FLOOR PLAN	425 sq. ft.
TOTAL FINISHED AREA	2218 sq. ft.
GARAGE	368 sq. ft.
COVERED PORCH	835 sq. ft.
LOT COVERAGE	2938 sq. ft.

### PROPOSED RESIDENCE FOR

PETER & WILMA OVERGAUW  
15 CEDAR AVE., TURKEY POINT

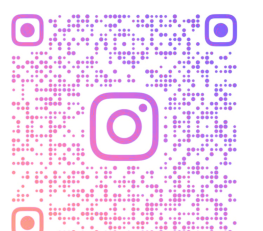
### PROJECT NUMBER

1320-25-01



Phone: (519) 539-9987  
E-mail: planed@design.ca  
Website: www.djdesign.ca

318 Hunter Street  
Woodstock, ON  
N4S 4G2



THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO DESIGN THE WORK SHOWN

### QUALIFICATION INFORMATION

REQUIRED UNLESS DESIGN IS EXEMPT UNDER 3.1.1.1. OF THE BUILDING CODE

DEREK JUKEMA	21759
NAME	BCIN

SIGNATURE

### FRONT & REAR ELEVATION

scale:

AS NOTED

date:

2025-08-06

drawn by:

JVB

designed by:

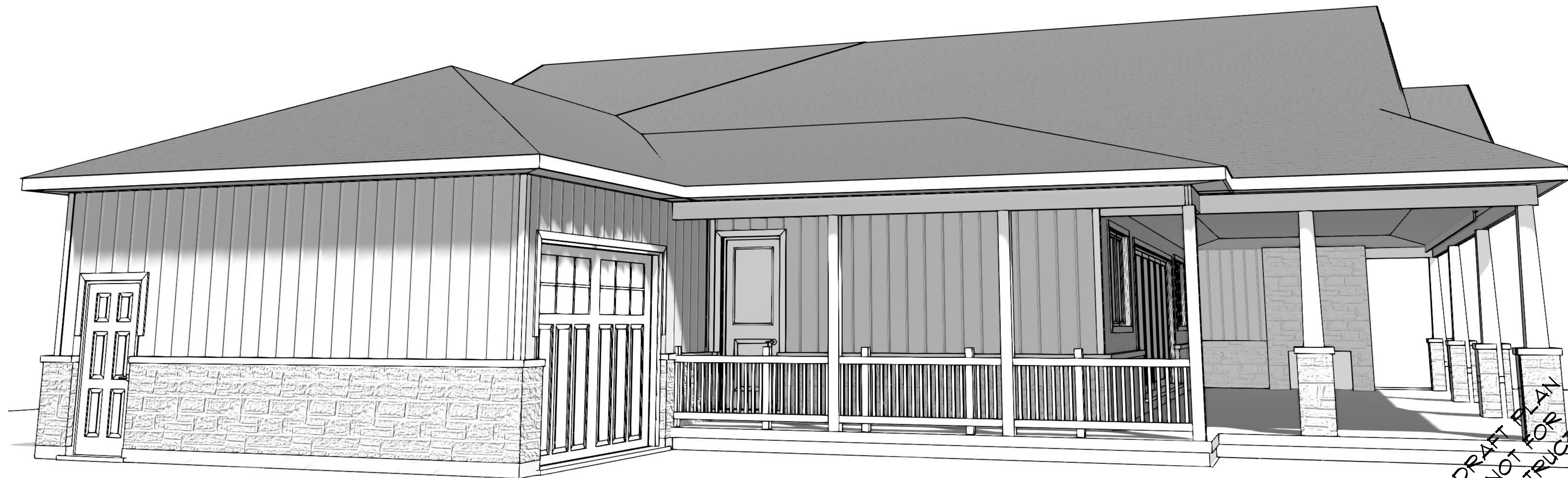
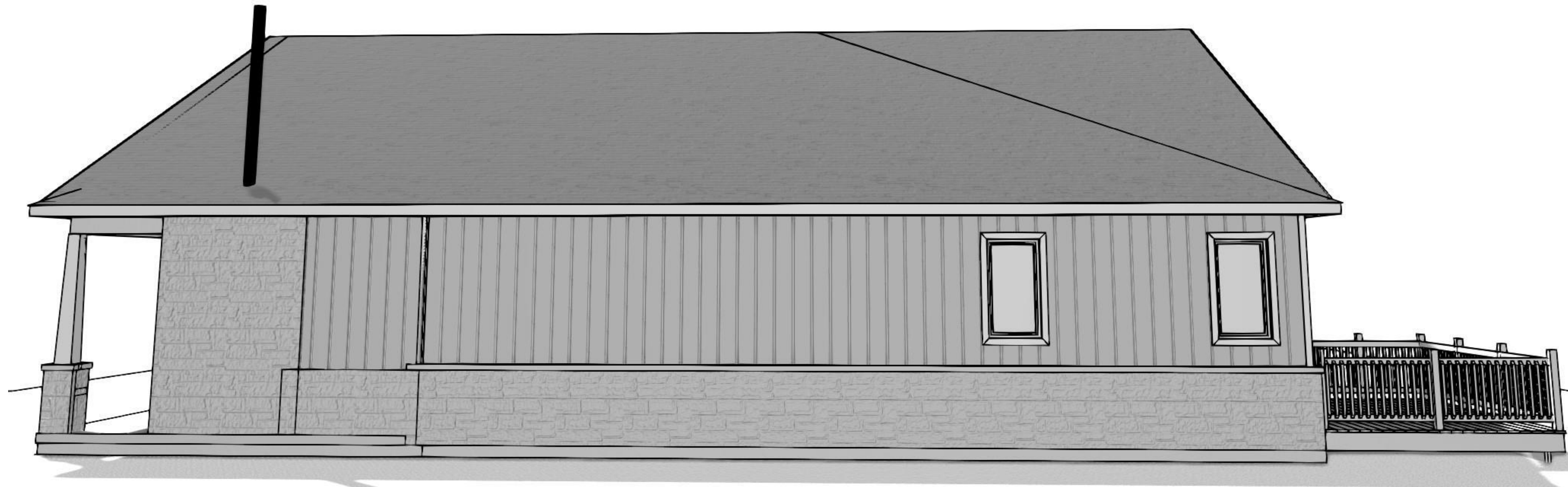
JENSEN@DJDESIGN.CA

checked by:

ATU

A-1





GENERAL NOTES

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- ALL CONSTRUCTION MATERIALS & EQUIP. TO ADHERE TO LATEST EDITION OF O.B.C. & LOCAL BY-LAWS.
- ALL FOOTINGS TO BEAR ON UNDISTURBED SOIL TO LOCAL FROST LEVELS (4'-0" MIN. BELOW GRADE)
- REFER TO PLANS, X-SECTIONS & DETAILS FOR ALL TYP. CONSTRUCTION DETAILS AND NOTES.
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ALL BOLTS GALVANIZED STEEL

MAX. BRICK LINTEL SPANS  
4" BRICK/STONE O.B.C. 8,20,5,2

BL-1 4" V x 3 1/2" H x 1/4" T 8'-2"  
BL-2 5" V x 3 1/2" H x 5/8" T 10'-1"  
BL-3 6" V x 3 1/2" H x 7/8" T 11'-1"  
BL-4 6" V x 3 1/2" H x 1" T 12'-4"

STAIR INFO.

RISE: MAX. 7 7/8"  
RUN: MIN. 10 1/16"  
TREAD: MIN. 11"  
NOSING: MAX. 1"  
HEADROOM: MIN. 6'-5"  
UNIFORM RISE/RUN

LEGEND

SB SOLID BEARING  
SB FOR GIRDER  
FL FRONT LOAD  
S.J. SINGLE JOIST  
D.J. DOUBLE JOIST  
T.J. TRIPLE JOIST  
D.C.J. DOUBLE CEILING JOIST

STRUCTURAL NOTES

- ALL EXTERIOR & INTERIOR LINTELS TO BE MIN. (2) FLY 2x10 C/W 2x4 DRYWALL, NAILER & PLYWOOD FILLERS BETWEEN EACH FLY, UNLESS NOTED OTHERWISE.
- ALL NOTCHING & DRILLING OF FRAMING MEMBERS TO CONFORM TO NATIONAL & LOCAL BUILDING CODES.
- PROVIDE APPROPRIATE SOLID BLOCKING WITHIN FLOOR SYSTEM FOR LOADS ABOVE.

DESIGNER DISCLAIMER

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- HVAC STRUCTURAL REQUIREMENTS TO BE VERIFIED AND MET ON SITE WITH THE HVAC INSTALLER.

PLAN AREAS

MAIN FLOOR PLAN	1792 sq. ft.
UPPER FLOOR PLAN	425 sq. ft.
TOTAL FINISHED AREA	2218 sq. ft.
GARAGE	368 sq. ft.
COVERED PORCH	835 sq. ft.
LOT COVERAGE	2938 sq. ft.

PROPOSED RESIDENCE FOR

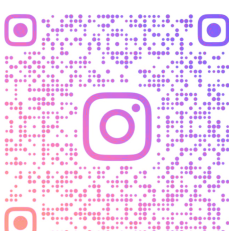
PETER & WILMA OVERGAUW  
15 CEDAR AVE., TURKEY POINT

PROJECT NUMBER

1320-25-01



Phone: (519) 533-9987 318 Hunter Street  
E-mail: planed@design.ca Woodstock, ON  
Website: www.djdesign.ca N4S 4G2



THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO DESIGN THE WORK SHOWN

QUALIFICATION INFORMATION  
REQUIRED UNLESS DESIGN IS EXEMPT UNDER  
3.1.1.1. OF THE BUILDING CODE

DEREK JUKEMA	21759
NAME	BCIN

SIGNATURE

RIGHT & LEFT ELEVATION

scale:  
AS NOTED

date:  
2025-08-06

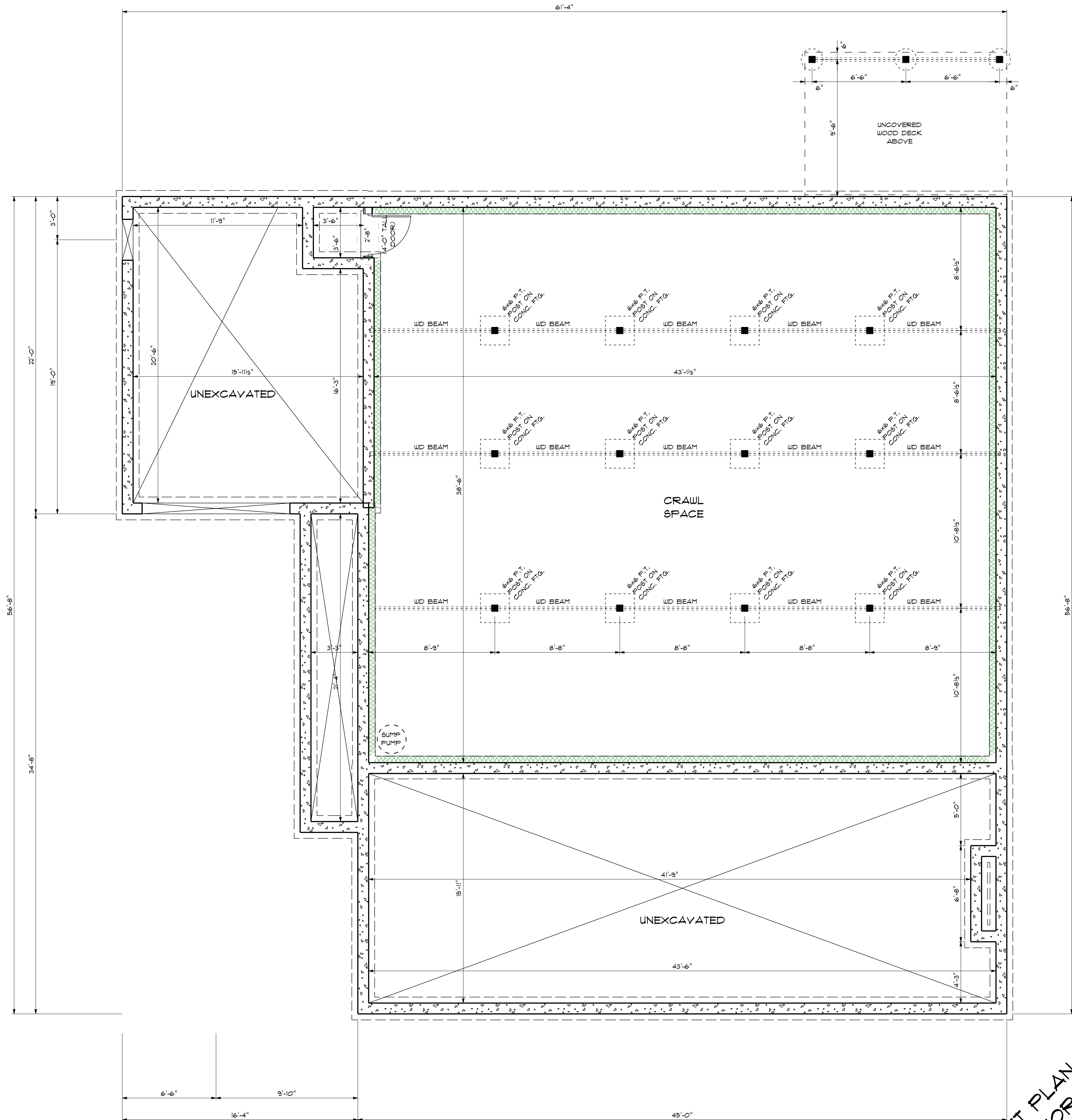
drawn by:  
JVB

designed by:  
JENSEN@DJDESIGN.CA

checked by:  
ATW

A-2





FOUNDATION PLAN - DRAFT 3  
SCALE: 1/4" = 1'-0"

DRAFT PLAN  
NOT FOR  
CONSTRUCTION

## GENERAL NOTES

- CONTRACTOR TO CHECK & VERIFY ANY DISCREPANCIES BEFORE CONSTRUCTION BEGINS.
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- REFER TO PLANS, X-SECTIONS & DETAILS FOR ALL TYP. CONSTRUCTION DETAILS AND NOTES.
- 1 1/2" MIN. CONC. REBAR COVERAGE
- MIN. CONC. STRENGTH (28 DAYS) - 20 MPa (3000 psi)
- STEEL STRENGTH - 400 MPa (60 ksi)
- ASSUMED SOIL BEARING CAPACITY - 1510 psf
- CONSTRUCTION SEQUENCING:
  - BACKFILL INTERIOR OF BUILDING W/COMPACTED SAND BACKFILL TO BE PLACED IN 1' (300mm) LIFTS
  - EVENLY AROUND STRUCTURE.
  - COMPACT BACKFILL TO 98% STANDARD PROCTOR.
  - ROOF TRUSSES & GIRDERS DESIGNED BY TRUSS MANUF.
  - PROVIDE TEMPORARY BRACING FOR ALL COLUMNS UNTIL FINAL BRACING INSTALLATION COMPLETE.

## DESIGN NOTES

1/2" PERIMETER EXPANSION JOINT FOR POURED CONC. SLABS  
1/4" CONTROL JOINTS @ 20' O.C. E.W. IN POURED CONC. SLABS  
ALL BOLTS GALVANIZED STEEL

MAX. BRICK LINTEL SPANS  
4" BRICK/STONE O.B.C. 8, 20, 5, 2

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BL-2 5" V x 3 1/2" H x 5/16" T 10'-1"  
BL-3 6" V x 3 1/2" H x 7/16" T 11'-1"  
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## STAIR INFO.

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RUN: MIN. 10 1/16"  
TREAD: MIN. 11"  
NOSING: MAX. 1"  
HEADROOM: MIN. 6'-5"  
UNIFORM RISE/RUN

## LEGEND

SOLID BEARING  
SB FOR GIRDER  
POINT LOAD  
S.J. SINGLE JOIST  
D.J. DOUBLE JOIST  
T.J. TRIPLE JOIST  
D.C.J. DOUBLE CEILING JOIST

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LOT COVERAGE	2938 sq. ft.

## PROPOSED RESIDENCE FOR

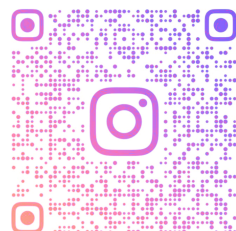
PETER & WILMA OVERGAUW  
15 CEDAR AVE., TURKEY POINT

## PROJECT NUMBER

1320-25-01



Architectural • Energy • HVAC  
Phone: (519) 533-9987 378 Hunter Street  
E-mail: planed@design.ca Woodstock, ON  
Website: www.djdesign.ca N4S 4G2



THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO DESIGN THE WORK SHOWN

## QUALIFICATION INFORMATION

REQUIRED UNLESS DESIGN IS EXEMPT UNDER 3.1.3.1. OF THE BUILDING CODE

DEREK JUKEMA	21759
NAME	BCIN

SIGNATURE

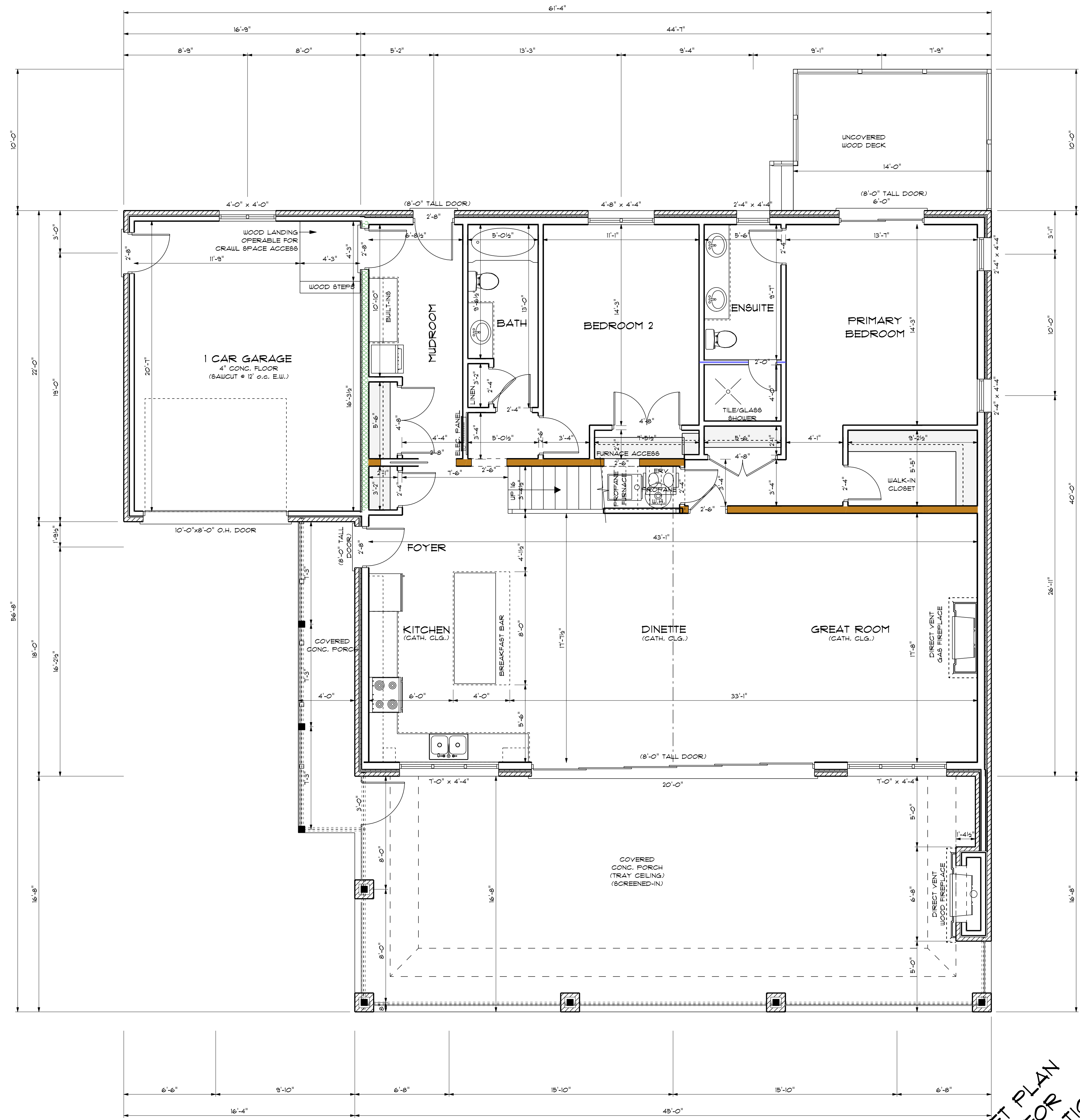
## FOUNDATION PLAN

scale:	1/4" = 1'-0"
date:	2025-08-06
drawn by:	JVB
designed by:	JENSEN@DJDESIGN.CA
checked by:	ATU

A-3

WE SHARE IN YOUR EXCITEMENT!! PLEASE LIKE US ON FACEBOOK AND TAG US ON INSTAGRAM SO WE CAN SEE YOUR PROJECT





STANDARD CEILING

CATHEDRAL CEILING

ENTIRE ROOM or PORTION OF ROOM TO CLEAR RAISED WINDOW  
CEILING PITCH TO MATCH ROOF SLOPE  
UNLESS NOTED OTHERWISE

STANDARD CEILING

TRAY CEILING

CREATES BULKHEAD ALL AROUND THE ROOM  
CENTER OF CEILING IS RAISED WITH ANGLED SIDES  
2'-6" WIDE BULKHEAD + 45 DEG. ANGLE

MAIN FLOOR PLAN - DRAFT 3  
SCALE: 1/4" = 1'-0"

DRAFT PLAN  
NOT FOR  
CONSTRUCTION

### GENERAL NOTES

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- ASSUMED SOIL BEARING CAPACITY - 1510 psf
- CONSTRUCTION SEQUENCING:
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1/4" CONTROL JOINTS @ 20' O.C. E.W. IN POURED CONC. SLABS  
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**MAX. BRICK LINTEL SPANS**  
**4" BRICK/STONE O.B.C. 8,20,5,2**

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**STAIR INFO.**  
RISE: MAX. 7 7/8"  
RUN: MIN. 10 1/16"  
TREAD: MIN. 11"  
NOSING: MAX. 1"  
HEADROOM: MIN. 6'-5"  
UNIFORM RISE/RUN

**LEGEND**  
SOLID BEARING  
SB FOR GIRDER  
POINT LOAD  
SINGLE JOIST  
DOUBLE JOIST  
TRIPLE JOIST  
DOUBLE CEILING JOIST

### STRUCTURAL NOTES

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LOT COVERAGE	2938 sq. ft.

### PROPOSED RESIDENCE FOR

PETER & WILMA OVERGAUW  
15 CEDAR AVE., TURKEY POINT

### PROJECT NUMBER

1320-25-01

Architectural • Energy • HVAC

Phone: (519) 533-9387 318 Hunter Street  
E-mail: plans@djdesign.ca Woodstock, ON.  
Website: www.djdesign.ca N4S 4G2

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### QUALIFICATION INFORMATION

REQUIRED UNLESS DESIGN IS EXEMPT UNDER 3.1.13.1. OF THE BUILDING CODE

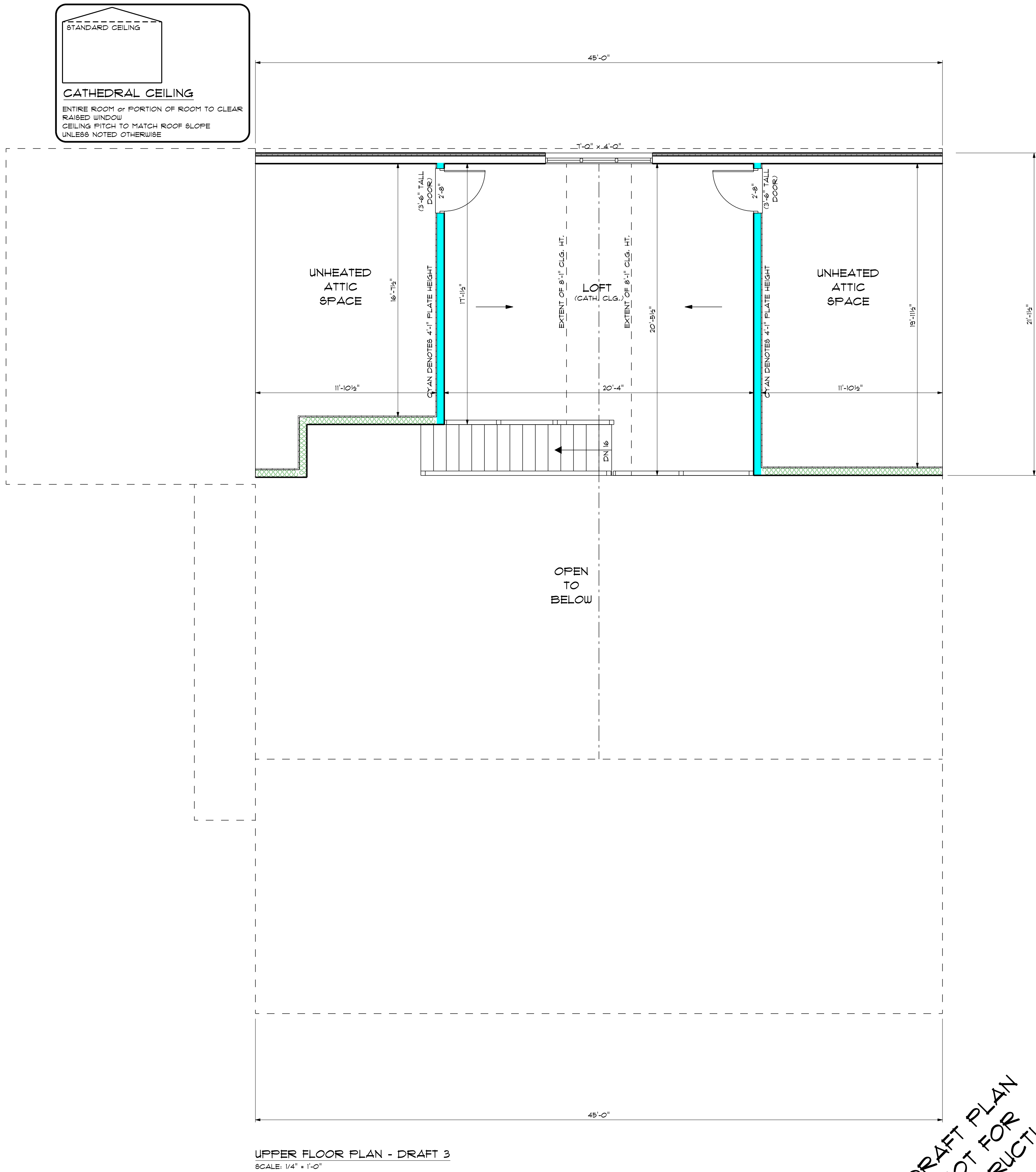
DEREK JUKEMA	21759
NAME	BCIN
SIGNATURE	

### MAIN FLOOR PLAN

scale: 1/4" = 1'-0"	<h1>A-4</h1>
date: 2025-08-06	
drawn by: JVB	
designed by: JENSEN@DJDESIGN.CA	
checked by: ATW	

WE SHARE IN YOUR EXCITEMENT!! PLEASE LIKE US ON FACEBOOK AND TAG US ON INSTAGRAM SO WE CAN SEE YOUR PROJECT





UPPER FLOOR PLAN - DRAFT 3  
SCALE: 1/4" = 1'-0"

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- 1 1/2" MIN. CONC. REBAR COVERAGE
- MIN. CONC. STRENGTH (28 DAYS) - 20 MPa (3000 psi)
- STEEL STRENGTH - 400 MPa (60 ksi)
- ASSUMED SOIL BEARING CAPACITY - 15'0 psf
- CONSTRUCTION SEQUENCING:
  - BACKFILL INTERIOR OF BUILDING w/COMPACTED SAND BACKFILL TO BE PLACED IN 1' (30cm) LIFTS EVENLY AROUND STRUCTURE.
  - COMPACT BACKFILL TO 95% STANDARD PROCTOR.
  - ROOF TRUSSES & GIRDERS DESIGNED BY TRUSS MANUF.
  - PROVIDE TEMPORARY BRACING FOR ALL COLUMNS UNTIL FINAL BRACING INSTALLATION COMPLETE.

### DESIGN NOTES

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1/4" CONTROL JOINTS @ 20' O.C. E.W. IN POURED CONC. SLABS  
ALL WOOD No. 2 SPRUCE OR BETTER  
ALL BOLTS GALVANIZED STEEL

#### MAX. BRICK LINTEL SPANS 4" BRICK/STONE O.B.C. 9.20.5.2.

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BL-3 6" V x 3 1/2" H x 7/16" T 11'-1"  
BL-4 6" V x 3 1/2" H x 1/2" T 12'-4"

#### STAIR INFO.

RISE	MAX. T 7/8"	LEGEND
RUN	MIN. 10 1/16"	SOLID BEARING
TREAD	MIN. 11"	SB FOR GIRDER
NOSING	MAX. 1"	POINT LOAD
HEADROOM MIN.	6'-5"	S.J. SINGLE JOIST
UNIFORM RISE/RUN		D.J. DOUBLE JOIST
		T.J. TRIPLE JOIST
		D.C.J. DOUBLE CEILING JOIST

### STRUCTURAL NOTES

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### PLAN AREAS

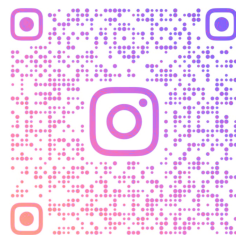
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GARAGE	368 sq ft.
COVERED PORCH	835 sq ft.
LOT COVERAGE	2998 sq ft.

PROPOSED RESIDENCE FOR  
PETER & WILMA OVERGAALW  
15 CEDAR AVE., TURKEY POINT

### PROJECT NUMBER

1320-25-01

**djDESIGN**  
Architectural • Energy • HVAC  
Phone: (519) 539-9381 378 Hunter Street  
Email: plans@djdsgn.ca Woodstock, ON  
Website: www.djdsgn.ca N4S 4G2



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#### QUALIFICATION INFORMATION REQUIRED UNLESS DESIGN IS EXEMPT UNDER 21.8.1. OF THE BUILDING CODE

DEREK JUKEMA 21759  
NAME SIGN

SIGNATURE

### UPPER FLOOR PLAN

scale:

1/4" = 1'-0"

date:

2025-08-06

drawn by:

JVB

designed by:

JENSEN@DJDESIGN.CA

checked by:

ATW

A-5

DRAFT PLAN  
NOT FOR  
CONSTRUCTION





ZONING CHART			MUNICIPALITY: NORFOLK
			PROPERTY ZONING: RR
DESCRIPTION	PROVIDED	REQUIRED	
LOT AREA	9,448.2	4,000m <sup>2</sup>	
LOT DEPTH (MIN.)	43.361m	-	
LOT FRONTAGE (MIN.)	23.290m	15.0m	
LOT COVERAGE	270.3m <sup>2</sup> (28.6%)	141.6m <sup>2</sup> (15%)	
FRONT YARD	10.4m	6.0m	
REAR YARD	9.05m	3.0m	
INT. SIDE (LEFT)	4.1m	1.2m	
INT. SIDE (RIGHT)	1.24m	1.2m	
EXTERIOR SIDE	-	6.0m	
BUILDING HEIGHT (MAX.)	7.36m	9.1m	
MAX. BUILDING WIDTH	18.69m	20.89m	
MAX. BUILDING DEPTH	17.21m	28.961m	
PARKING	2	2	

NOTE: RESIDENCE MUST BE USED AS A VACATION HOME AND NOT A PERMANENT RESIDENCE.  
STRUCTURE TO BE FLOODPROOFED TO STANDARD 16.8m. ALL MECHANICAL EQUIPMENT TO BE ABOVE 16.8m FLOODPLAIN.

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STAIR INFO.      LEGEND

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RUN:	MIN. 10 1/16"		SB FOR GIRDER
TREAD:	MIN. 11"		POINT LOAD
NOSSING:	MAX. 1"		S.J. SINGLE JOIST
HEADROOM:	MIN. 6'-5"		D.J. DOUBLE JOIST
UNIFORM RISE/RUN			T.J. TRIPLE JOIST
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PETER & WILMA OVERGAUW  
15 CEDAR AVE., TURKEY POINT

PROJECT NUMBER

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djdesign

Architectural • Energy • HVAC

Phone: (519) 533-9987      378 Hunter Street  
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QUALIFICATION INFORMATION  
REQUIRED UNLESS DESIGN IS EXEMPT UNDER 3.1.1.1. OF THE BUILDING CODE

DEREK JUKEMA      21759  
NAME      BCIN

SIGNATURE

SITE PLAN

scale: AS NOTED	S-1
date: 2025-08-06	
drawn by: JVB	
designed by: JENSEN@DJDESIGN.CA	

checked by:  
ATU

DRAFT PLAN  
NOT FOR  
CONSTRUCTION

WE SHARE IN YOUR EXCITEMENT!! PLEASE LIKE US ON FACEBOOK AND TAG US ON INSTAGRAM SO WE CAN SEE YOUR PROJECT







Outlook

---

**Fwd: Your receipt from LONG POINT REGION CONS**

---

**From** Peter Overgaauw <pwovergaauw@gmail.com>

**Date** Fri 2025-10-24 11:16 AM

**To** David McPherson <david-a-mcpherson@hotmail.com>

This is the receipt I received from LPRCA. They took payment but said they had not received anything as yet regarding that application number.

Thanks,

Peter

----- Forwarded message -----

**From:** **LONG POINT REGION CONS (via Clover)** <[app@clover.com](mailto:app@clover.com)>

**Date:** Fri, Oct 24, 2025 at 2:13 PM

**Subject:** Your receipt from LONG POINT REGION CONS

**To:** <[pwovergaauw@gmail.com](mailto:pwovergaauw@gmail.com)>



## LONG POINT REGION CONS

4 ELM STREET, TILLSON BURGE, ON N4G 0C4

[tel://+1%20519-842-4242]+1 519-842-4242

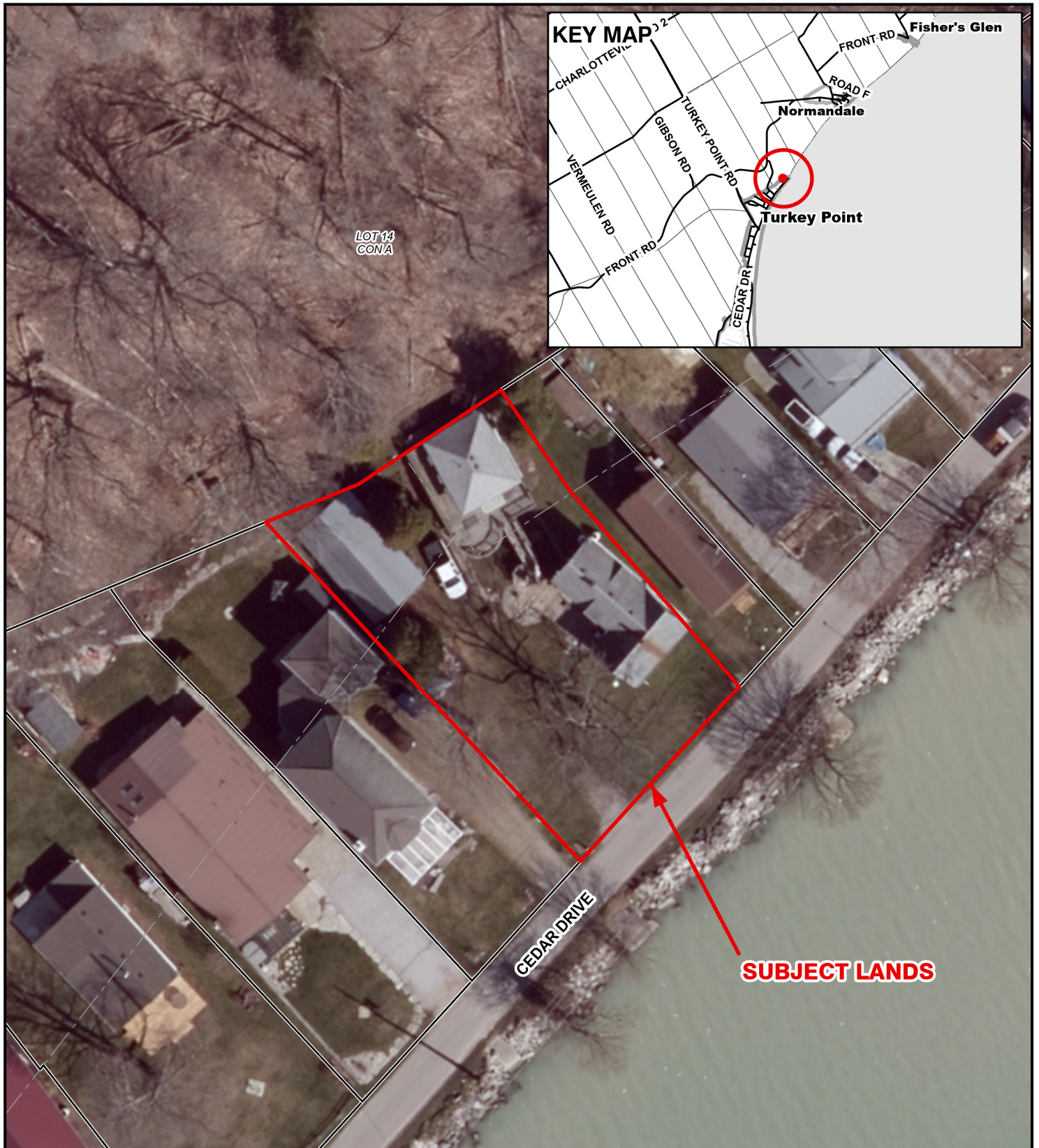
October 24, 2025 • 9:16 AM

# \$514.15


full transaction receipt

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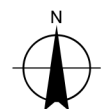


**Legend**

 Subject Lands

2020 Air Photo

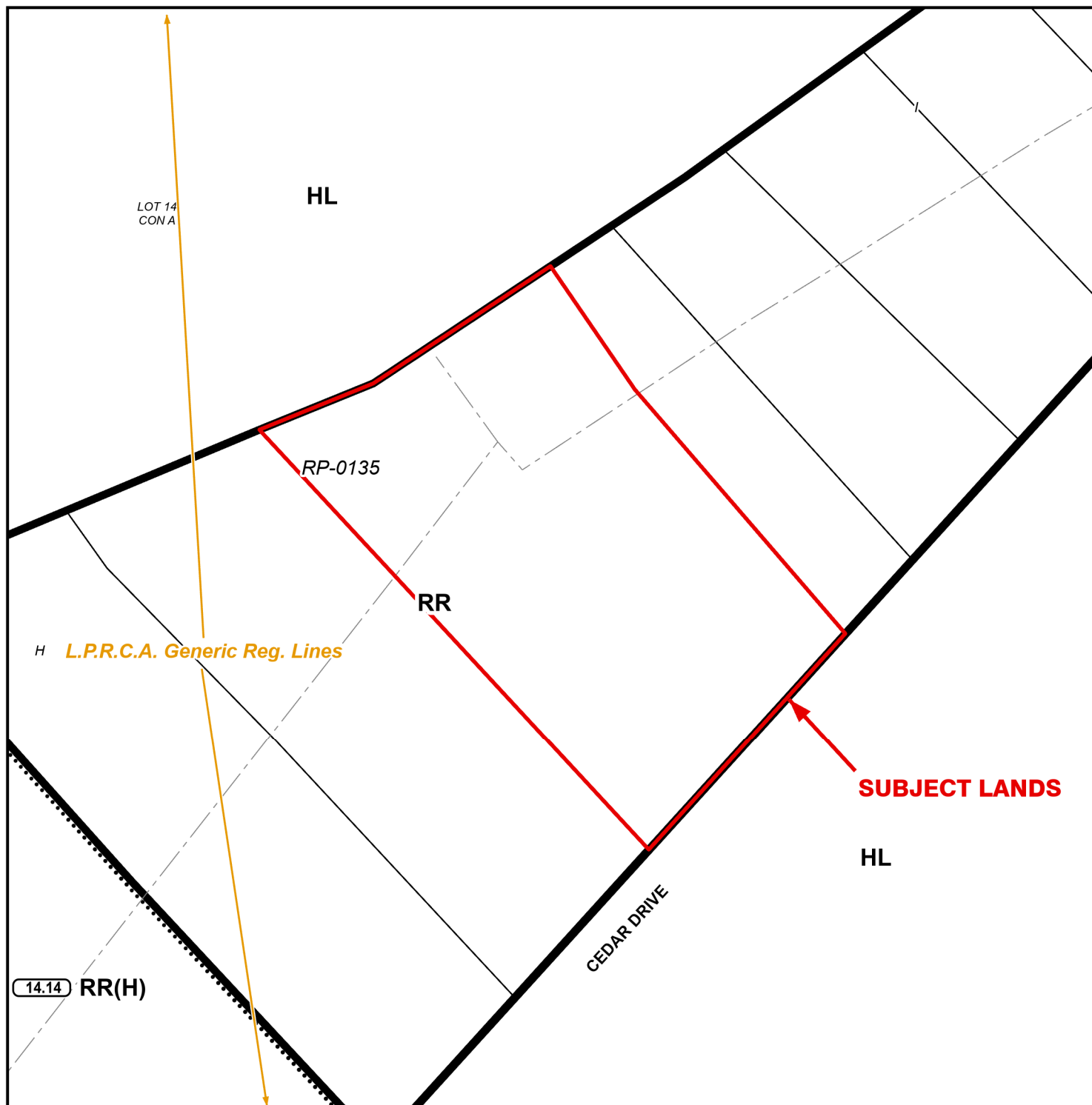
11/5/2025



4 2 0 4 8 12 16 Meters

**MAP B**  
**ZONING BY-LAW MAP**  
 Geographic Township of CHARLOTTEVILLE

ANPL2025341



**LEGEND**

- Subject Lands
- LPRCA Generic RegLines

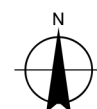
ZONING BY-LAW 1-Z-2014

11/5/2025

(H) - Holding

HL - Hazard Land Zone

RR - Resort Residential Zone

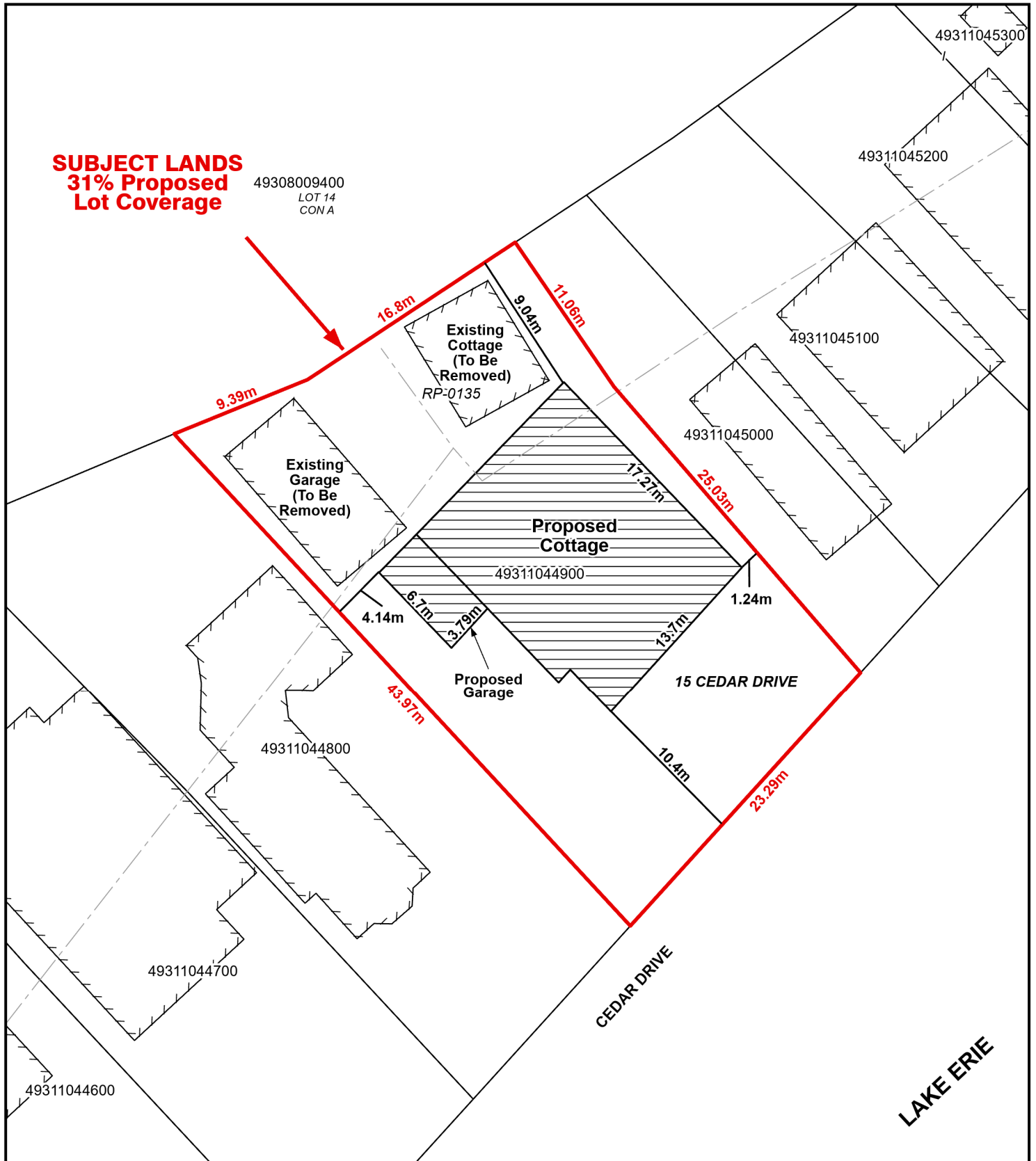


3 1.5 0 3 6 9 12 Meters



CONCEPTUAL PLAN

Geographic Township of CHARLOTTEVILLE



Legend

Subject Lands

11/5/2025

