



For Office Use Only:

File Number _____
Related File Number _____
Application Submitted _____
Complete Application _____

Application Fee _____
Conservation Authority Fee _____
Well & Septic Info Provided _____
Planner _____
Public Notice Sign _____

Check the type of planning application(s) you are submitting.

- ☒ Standard Minor Variance
☐ Complex Minor Variance (After the fact)
☐ Routine Minor Variance

Property Assessment Roll Number: 3310 3370 3026 7000000

A. Applicant Information

Name of Owner Cole Campbell

It is the responsibility of the owner or applicant to notify the planner of any changes in ownership within 30 days of such a change.

Address 57 Tisdale Road, Port Dover
Town and Postal Code Port Dover NOA 1N2
Phone Number 226-387-4343
Cell Number _____
Email coledunconcampbell@gmail.com

Name of Authorized Applicant _____
Address _____
Town and Postal Code _____
Phone Number _____
Cell Number _____
Email _____

Name of Authorized Agent _____
Address _____
Town and Postal Code _____
Phone Number _____
Cell Number _____
Email _____

Please specify to whom all communications should be sent. Unless otherwise directed, all correspondence and notices in respect of this application will be forwarded to the owner and agent noted above.

☒ Owner ☐ Agent ☐ Applicant

Names and addresses of any holder of any mortgagees, charges or other encumbrances on the subject lands:

B. Location, Legal Description and Property Information

1. Legal Description (include Geographic Township, Concession Number, Lot Number, Block Number and Urban Area or Hamlet):

Woodhouse - WDH con 1 PT Lot 6 RD, 37R3999 Part 3
Reg 1.43 AC 154.68 FA

Municipal Civic Address: 428 Highway 6, Simcoe, N3Y 4K2

Land acquisition date (if known): _____

Present Official Plan Designation(s): _____

Present Zoning: AC - Agriculture

2. Is there a special provision or site specific zone on the subject lands?

☐ Yes ☒ No

If yes, please specify:

3. Present use of the subject lands:

Residential

C. Zoning Review (chart must be completed in metric units)

Please fill out the required information for the main and accessory buildings and structures

	Zoning By-law Requirement	Proposed	Deficiency
Lot area (m ²)			
Lot frontage (m)			
Lot depth (m)			
Front Yard Setback (m)			
Left Side Yard Setback (m)			
Right Side Yard Setback (m)			
Rear Yard Setback (m)			
Exterior side yard (if applicable) (m)			
Height (m)			
Lot coverage (%)			
Buildings/structures separation (m)			
Detached Additional Dwelling Unit (ADU) or Accessory Building			
i) Usable floor area (m ²)	200 sq m	310 sq m	110 sq m
ii) Height (m)			
iii) Building separation (m)			
Number of parking spaces			

D. Previous Use of the Property

1. Has there been an industrial or commercial use on the subject lands or adjacent lands?

☐ Yes ☒ No ☐ Unknown

If yes, specify the uses (for example: gas station, or petroleum storage):

2. Is there reason to believe the subject lands may have been contaminated by former uses on the site or adjacent sites?

☐ Yes ☒ No ☐ Unknown

3. Provide the information you used to determine the answers to the above questions:

4. If you answered yes to any of the above questions in Section D, a previous use inventory showing all known former uses of the subject lands, or if appropriate, the adjacent lands, is needed. Is the previous use inventory attached?

☐ Yes ☐ No

E. Provincial Policy

1. Is the requested amendment consistent with the Provincial Planning Statements issued under subsection 3(1) of the *Planning Act, R.S.O. 1990, c. P. 13*?

☒ Yes ☒ No

If you answered no, please explain:

2. It is the owner's responsibility to be aware of and comply with all relevant federal or provincial legislation, municipal by-laws or other agency approvals, including the Endangered Species Act, 2007. Have the subject lands been screened to ensure that development or site alteration will not have any impact on the habitat for endangered or threatened species further to the Provincial Planning Statement ?

☐ Yes ☒ No

If no, please explain:

N/A

3. Have the subject lands been screened to ensure that development or site alteration will not have any impact on source water protection?

☐ Yes ☒ No

If no, please explain:

N/A

Note: If the subject lands are in an area of source water Wellhead Protection Area (WHPA) A, B or C, Issue Contributing Area, Intake Protection zone, please attach relevant information and approved mitigation measures from the Risk Manager Official.

4. Does the property have any significant environmental features on the subject land or within 500 metres:

☐ Yes ☒ No

If yes, indicate: ☐ Significant Woodland ☐ Provincially Significant Wetland ☐ Floodplain ☐ Other _____

5. Does the property have any livestock facility or stockyard on the subject land or within 1000 metres:

☐ Yes ☒ No

If yes, the submission of Minimum Distance Separation (MDS) calculations may apply.

F. Servicing and Access

1. Indicate what services are available or proposed:

Water Supply

☒ Municipal piped water

☐ Individual wells

☐ Communal wells

☐ Other (describe below)

Sewage Treatment

- ☐ Municipal sewers ☐ Communal system
☐ Septic tank and tile bed in good working order ☒ Other (describe below)

Septic to be installed - PASEP20251381

Storm Drainage

- ☐ Storm sewers ☐ Open ditches
☐ Other (describe below)

2. Existing or proposed access to subject lands:

- ☐ Municipal road ☒ Provincial highway
☐ Unopened road ☐ Other (describe below)

Name of road/street:

G. Other Information

Is there any other information that you think may be useful in the review of this application? If so, explain below or attach on a separate page.

Currently building a house on the property - PARB070251372

I. Transfers, Easements and Postponement of Interest

The owner acknowledges and agrees that if required it is their solicitor's responsibility on behalf of the owner to undertake the registration of all transfer(s) of land to the County, and/or transfer(s) of easement in favour of the County and/or utilities. The owner further acknowledges and agrees that it is their solicitor's responsibility on behalf of the owner to undertake the registration of postponements of any charges in favour of the County.

Permission to Enter Subject Lands

Permission is hereby granted to Norfolk County officers, employees or agents, to enter the premises subject to this application for the purpose of making inspections associated with this application, during normal and reasonable working hours.

Freedom of Information

For the purposes of the *Municipal Freedom of Information and Protection of Privacy Act*, I authorize and consent to the use by or the disclosure to any person or public body any information that is collected under the authority of the *Planning Act, R.S.O. 1990, c. P. 13* for the purpose of processing this application.

Colin Campbell

Owner/Applicant/Agent Signature

10/30/2025

Date

J. Owner's Authorization

If the authorized applicant/agent is not the registered owner of the lands that is the subject of this application, the owner must complete the authorization set out below.

I/We _____ am/are the registered owner(s) of the lands that is the subject of this application.

I/We authorize _____ to make this application on my/our behalf and to provide any of my/our personal information necessary for the processing of this application. Moreover, this shall be your good and sufficient authorization for so doing.

Owner

Date

Owner

Date

***Note:** If property is owned by an Ontario Ltd. Corporation, Articles of Incorporation are required to be attached to the application.

K. Declaration


I, Cole Campbell of Norfolk County

solemnly declare that:

all of the above statements and the statements contained in all of the exhibits transmitted herewith are true and I make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath and by virtue of *The Canada Evidence Act*.

Declared before me at:

57 Tisdale


Owner/Applicant/Agent Signature

In Norfolk County

This 30 day of October

A.D., 2025

A Commissioner, etc.

NORFOLK COUNTY

HIGHWAY 6

PROPOSED LOT GRADING AND DRAINAGE SITE PLAN

FOR:

**PROMINENT HOMES
#428 HIGHWAY 6
PORT DOVER**

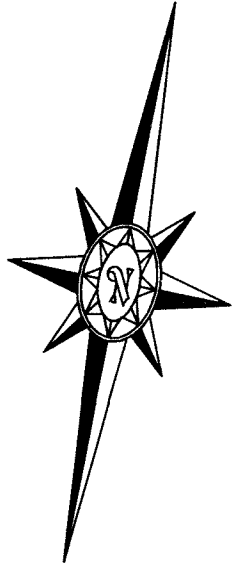
PIN 50209 - 0338 (LT)

SITE B.M.#1
SPIKE IN FACE OF
WOOD HYDRO POLE
ELEV = 216.38
(GEODETIC)

REGISTERED

PLAN HP

328



U.S.S. =
216.13
2 STOREY
VINYL SIDED
DWELLING

SCALE 1 : 300

3 0 12 METRES

JEWITT AND DIXON LTD.

METRIC NOTE:

DISTANCES AND COORDINATES ARE METRIC AND CAN BE CONVERTED TO IMPERIAL BY DIVIDING BY 0.3048

UTILITY NOTE:

THE VARIOUS UTILITY LOCATIONS SHOWN ON THIS PLAN ARE BASED ON PHYSICAL LOCATES OF ABOVE GROUND SERVICES.

PRIOR TO ANY ON SITE CONSTRUCTION ACTIVITY A VERIFICATION LOCATE OF UNDERGROUND SERVICES IS BOTH RECOMMENDED AND ADVISED.

SITE B.M.#1
SPIKE IN FACE OF
WOOD HYDRO POLE
ELEV = 216.38
(GEODETIC)

LEGEND

BELL BOX	SHOWN	BBX	□
BENCH MARK	SHOWN	BM	⊙
CATCH BASIN	SHOWN	CB	■
TOP OF FOUNDATION	SHOWN	TOF	—
OVERHEAD HYDRO LINE	SHOWN	O/H	—
WATER VALVE	SHOWN	WV	⊕
HYDRO POLE	SHOWN	HP	⊙
GAS METER	SHOWN	GM	⊕
TOP OF RETAINING WALL	SHOWN	T.R.W.	—

NOTES

- (1) - PROPERTY DIMENSIONS ARE AS SHOWN ON PART 3 OF PLAN 37R-3999
- (2) - PROPOSED BUILDING POSITIONED BY CALCULATIONS, NOT BY ACTUAL SURVEY
- (3) - PROPOSED FINAL GRADES ARE SHOWN (176.50) AND ARE IN METRES
- (4) - T.F.W. DENOTES TOP OF FOUNDATION WALL
- (5) - U.S.F. DENOTES UNDERSIDE OF FOOTING
- (6) - F.F. DENOTES FINISHED FLOOR
- (7) - THE UNDERSIDE OF FOOTING ELEVATIONS IS BASED ON A 7'10" WALL AND 6" FOOTING (2.54m) TO BE VERIFIED BY THE CONTRACTOR PRIOR TO EXCAVATION.
- (8) - IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE ELEVATION OF THE UPPER LIMIT OF THE GROUND WATER TABLE, SOIL BEARING CAPACITY AND THE ELEVATION OF THE UNDER SIDE OF FOOTING PRIOR TO EXCAVATION.
- (9) - IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE SITE BENCH MARK PRIOR TO EXCAVATION
- (10) - ELEVATIONS ARE REFERRED TO CANADIAN GEODETIC DATUM, NAD83 (CSRS) HTV2.0 (2010) (CGVD28)
- (11) - THIS SITE PLAN WAS COMPLETED FROM FIELD WORK COMPLETED ON THE 29TH DAY OF SEPTEMBER, 2025

PROPERTY DESCRIPTION:

PART OF LOT 6, CONCESSION 1
GEOGRAPHIC TOWNSHIP OF WOODHOUSE
PART 3 ON REGISTERED PLAN 37R-3999
NORFOLK COUNTY

CAUTION

THIS IS NOT A PLAN OF SURVEY OR SURVEYOR'S REPORT AND SHALL NOT BE USED FOR TRANSACTION OR FINANCING PURPOSES

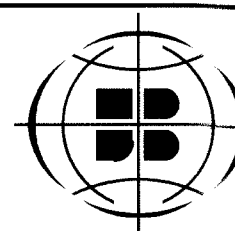
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DATE: SEPTEMBER 30, 2025

[Signature]
KIM HUSTED, O.L.S.

THIS COPY IS NOT VALID UNLESS EMBOSSED WITH THE SURVEYOR'S SEAL.



JEWITT AND DIXON
ONTARIO LAND SURVEYORS
A Division of Kim Husted Surveying Ltd.

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MAPPING
GIS

650 Ireland Rd., Simcoe, ON N3Y 4K2
T: (519) 426-0842 www.jdbarnes.com

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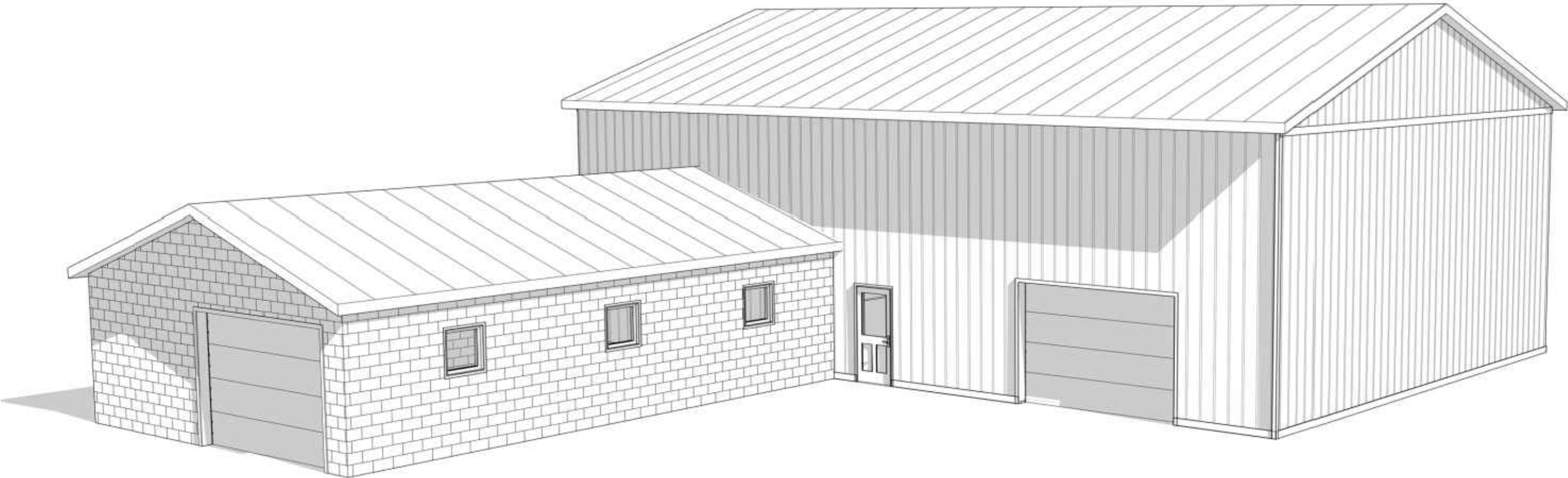
CHECKED BY:
KH

REFERENCE NO.:
25-54-407-00

DATED: SEPTEMBER 19, 2025

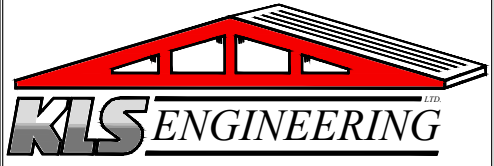
COLE CAMPBELL STORAGE BUILDING ADDITION

428 HIGHWAY #6
PORT DOVER, ON
NOA 1N2



DRAWING LIST	
Sheet Title	Drawing Number
ELEVATIONS & NOTES	S-1
FOUNDATION PLAN	S-2
FLOOR PLANS	S-3
DETAILS	S-4
DETAILS 2	S-5

REQUIRED INSPECTIONS BY KLS ENGINEERING LTD.	
<input checked="" type="checkbox"/>	FOOTINGS (PRIOR TO POUR)
<input checked="" type="checkbox"/>	REBAR (PRIOR TO POUR)
<input checked="" type="checkbox"/>	FRAMING / FINAL
TO BOOK INSPECTIONS, CALL (905) 774-4307	
MUNICIPALITY APPROVED DRAWINGS TO BE CONFIRMED BY KLS ENGINEERING PRIOR TO CONSTRUCTION.	
PLEASE NOTIFY KLS ENGINEERING MINIMUM 48 HOURS IN ADVANCE FOR AN INSPECTION REQUEST.	
MUNICIPALITY INSPECTIONS ARE STILL REQUIRED	



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COLE CAMPBELL
STORAGE BUILDING ADDITION
428 HIGHWAY #6 PORT DOVER, ON NOA 1N2

DRAWING
TITLE PAGE

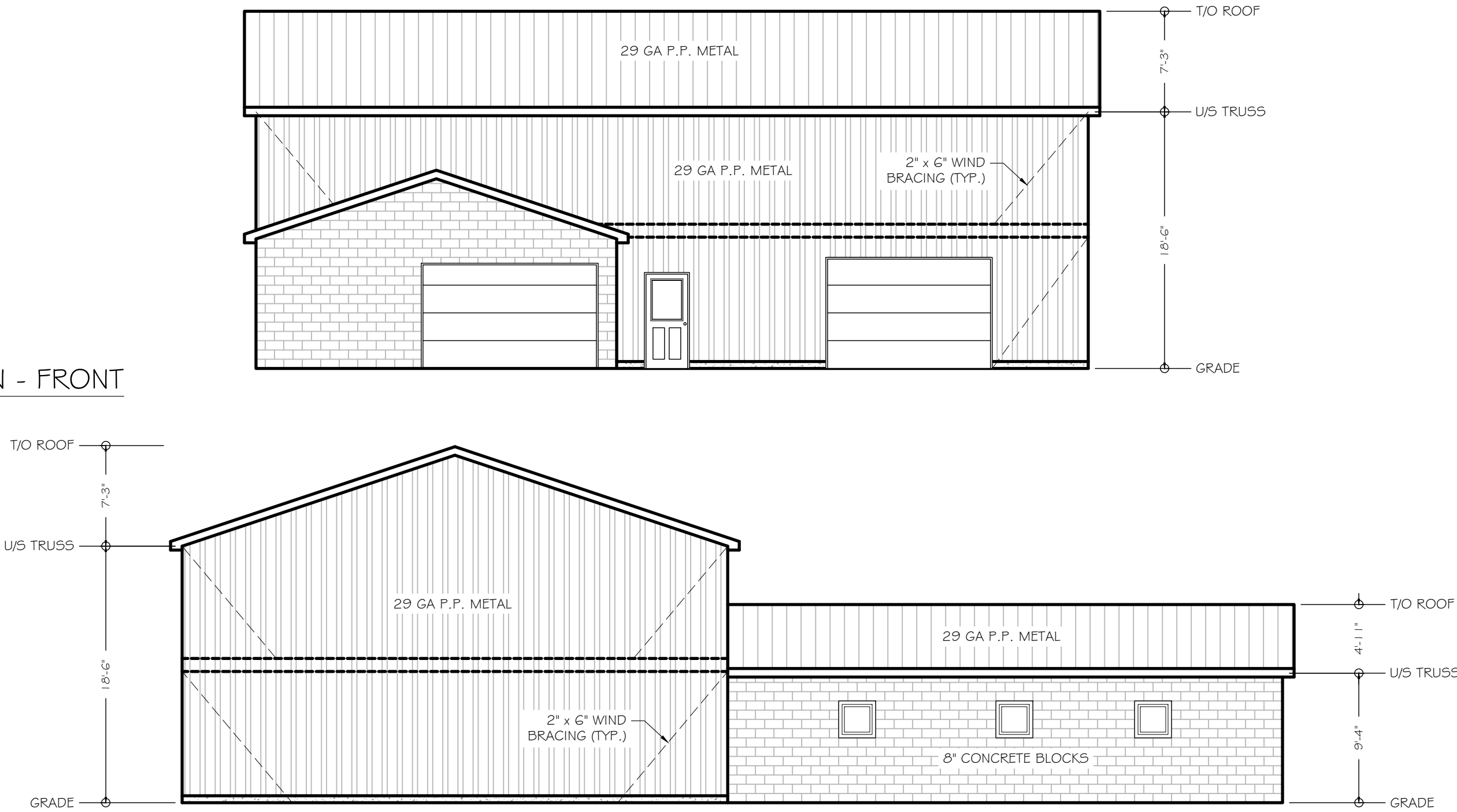
SCALE	FILE NUMBER
AS NOTED	C12-25-240

DWGS:2025/CAMPBELL, COLE - STORAGE BUILDING ADDITION - C12-25-240

DRAWN BY E. BALT	DRAWING NUMBER
DATE AUGUST 27, 2025	TITLE
SHEET NUMBER TITLE	

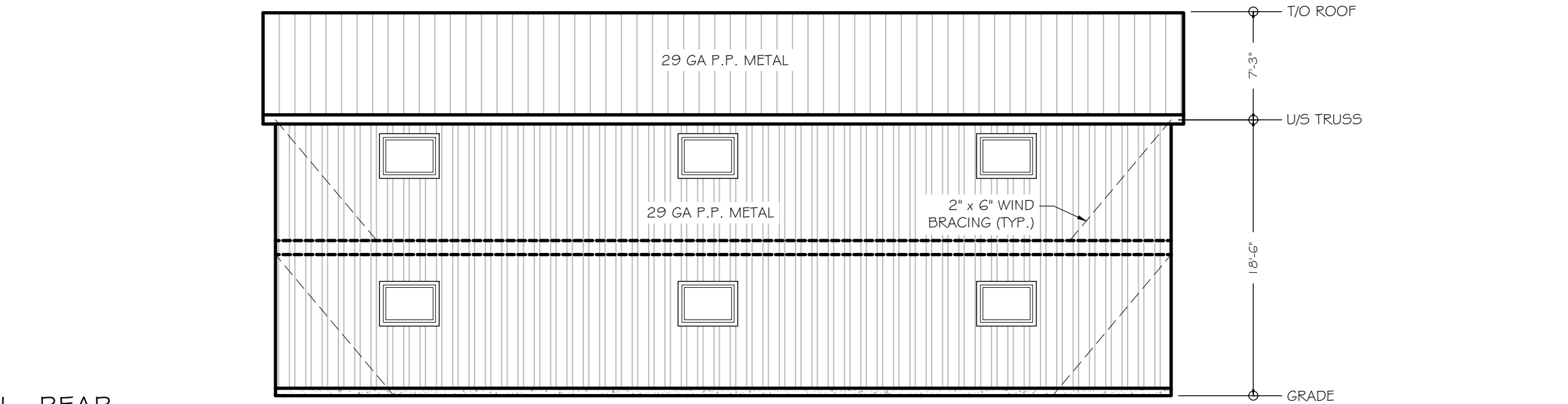
ELEVATION - FRONT

SCALE: 1/8" = 1'-0"



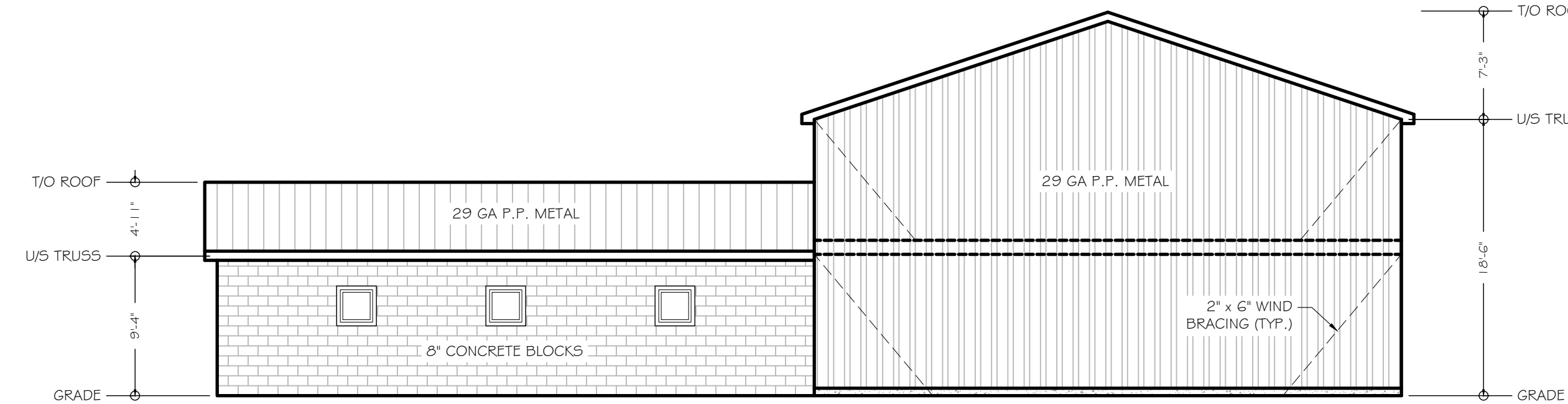
ELEVATION - SIDE

SCALE: 1/8" = 1'-0"



ELEVATION - REAR

SCALE: 1/8" = 1'-0"



ELEVATION - SIDE

SCALE: 1/8" = 1'-0"



GENERAL NOTES:

- DO NOT SCALE DRAWINGS.
- ALL DIMENSIONS TO BE VERIFIED BY CONTRACTOR
- ANY ERRORS / OMISSIONS TO BE REPORTED TO ENGINEER PRIOR TO CONSTRUCTION
- ALL WORK TO CONFORM TO O.B.C. 2024
- NOTIFY ENGINEER 48 HRS. IN ADVANCE FOR INSPECTION OF FOOTING EXCAVATION AND FRAMING.
- REMOVE ALL TOP-SOIL AND ORGANIC MATERIAL.
- ALL FOOTINGS TO BE ON UNDISTURBED SOIL AND MIN. OF 4'-0" BELOW LINE OF FINISHED GRADE
- SOIL BRG. CAPACITY TO SUSTAIN A MIN. 3000 P.S.F.

CONCRETE NOTES:

- ULTIMATE COMPRESSIVE STRENGTH @ 28 DAYS
- 32 MPA FOR SLAB ON GRADE
- 25 MPA FOR WALLS AND FOOTINGS
- SLUMP 3" +/- 1"
- MAX WATER CEMENT RATIO .45 (USE WATER REDUCING AGENT TO IMPROVE WORKABILITY NO WATER TO BE ADDED ON SITE) USE VIBRATORY EQUIPMENT TO ACHIEVE UNIFORM DENSITY
- AIR ENTRAINMENT 5% - 8%
- REINFORCING STEEL TO HAVE MIN. YIELD STRENGTH OF 400 MPA WITH MIN. 3" COVER
- MINIMUM SPLICE LENGTH (10M - 18") (15M - 24")

STRUCTURAL STEEL NOTES:

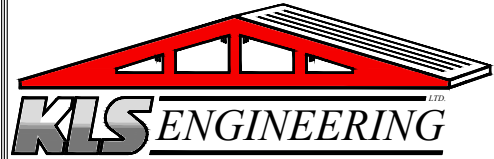
- STRUCTURAL STEEL TO BE INSPECTED BY THE ENGINEER PRIOR TO COVERING.
- ANCHORS BOLTS TO BE GRADE 55 (44W) CSA G40.21
- CONNECTION BOLTS TO BE HIGH STRENGTH ASTM A325
- WELDING TO CONFORM TO CSA W59.
- STRUCTURAL STEEL TO CONFORM TO G40.21 350W.
- REINFORCING STEEL TO HAVE YIELD STRENGTH OF 400 MPA. CSA G30.18
- MINIMUM SPLICE LENGTH (10M - 18") (15M - 24")

LUMBER NOTES:

- ALL LUMBER TO BE SPF GRADE #2 OR BETTER UNLESS OTHERWISE SPECIFIED.
- LUMBER EXPOSED TO MOISTURE TO BE PRESSURE TREATED
- ALL LUMBER SET IN THE GROUND TO BE RATED FOR
- "GROUND CONTACT"
- ALL FASTENERS IN CONTACT WITH PRESSURE TREATED MATERIAL TO BE COMPATIBLE WITH PRESSURE TREATED CHEMICALS
- ALL STEEL SIDING IN CONTACT WITH PRESSURE TREATED WOOD TO BE ISOLATED WITH A LAYER OF ICE & WATER SHIELD OR EQUAL.
- SUBMIT ENGINEERED TRUSS DRAWINGS
- TRUSS BRACING AND STRAPPING AS SPECIFIED BY ENGINEERED TRUSS DRAWING
- TRUSS TIE DOWN TO SUSTAIN UPLIFT SHOWN ON TRUSS DESIGN AND TO BE CONTINUOUS ON FOUNDATION WALL
- ALL LINELS TO BE 2 - 2" x 10" UNLESS OTHERWISE SPECIFIED

SPECIFIED ROOF TOP CHORD LOADS: NANTICOKE (PORT DOVER)

- SNOW LOAD = 1.2 kPa (25.03 psf)
- RAIN LOAD = 0.4 kPa (8.4 psf)
- HOURLY WIND PRESSURE (1/50) = 0.44 kPa
- DEAD LOAD = 0.20 kPa (4.2 psf)



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COLE CAMPBELL

STORAGE BUILDING ADDITION

428 HIGHWAY #6
PORT DOVER, ON
NOA 1N2

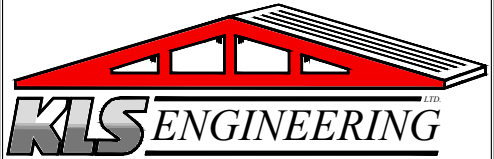
DRAWING

ELEVATIONS

SCALE AS NOTED	FILE NUMBER C12-25-240
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DWG:2025/CAMPBELL, COLE - STORAGE BUILDING ADDITION -
C12-25-240

DRAWN BY E. BALT	DRAWING NUMBER S-1
DATE AUGUST 27, 2025	
SHEET NUMBER 1 OF 5	



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COLE CAMPBELL

STORAGE BUILDING
ADDITION

428 HIGHWAY #6
PORT DOVER, ON
NOA 1N2

DRAWING

FOUNDATION
PLAN

SCALE
AS NOTED

FILE NUMBER
C12-25-240

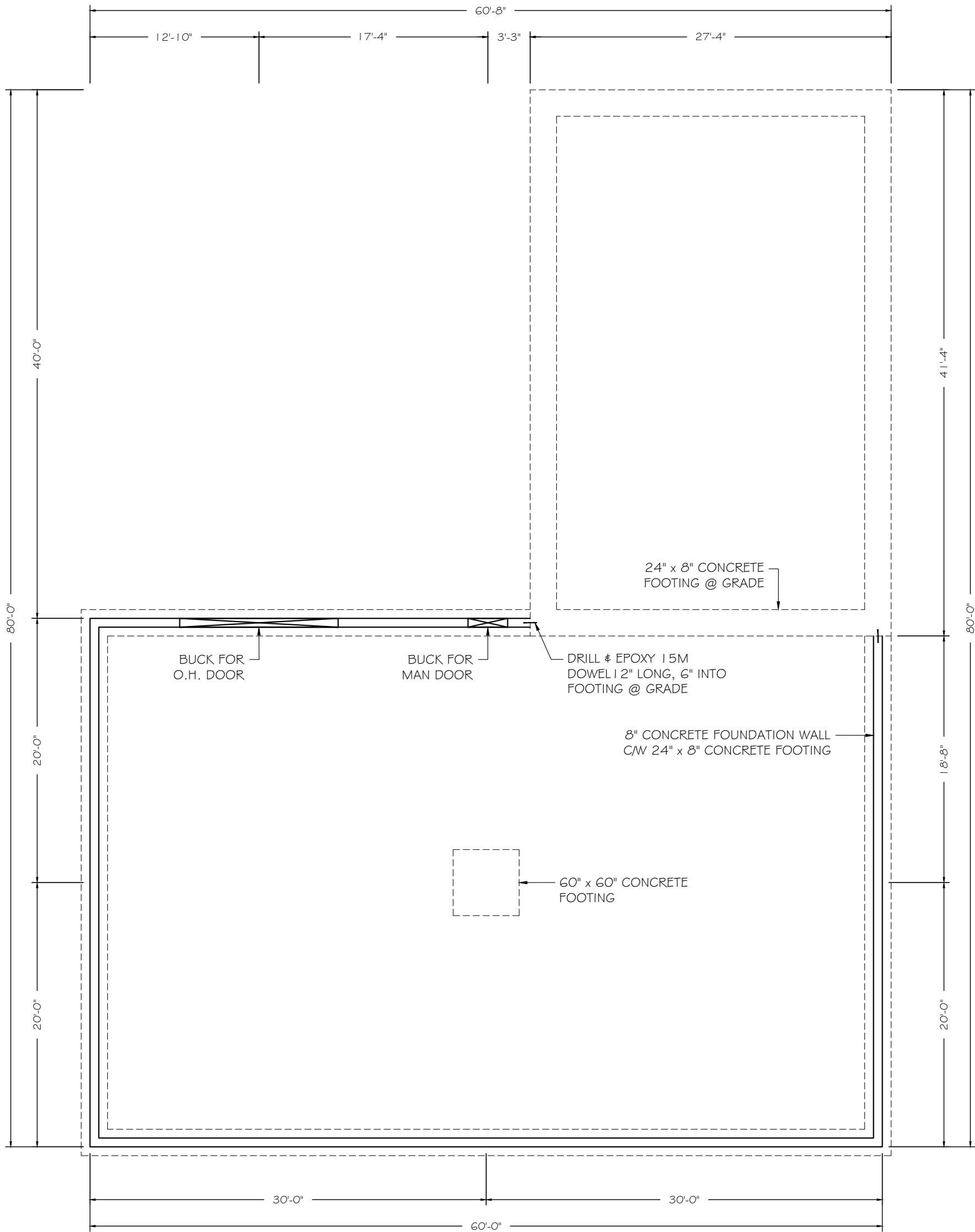
DWGS:2025/CAMPBELL, COLE - STORAGE BUILDING ADDITION -
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E. BALT

DATE
AUGUST 27, 2025

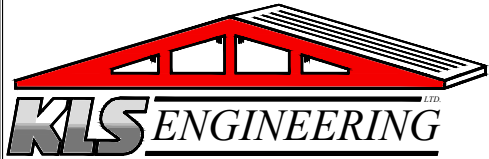
SHEET NUMBER
2 OF 5

DRAWING NUMBER
S-2



FOUNDATION PLAN

SCALE: 1/8" = 1'-0"



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**STORAGE BUILDING
ADDITION**

428 HIGHWAY #6
PORT DOVER, ON
NOA 1N2

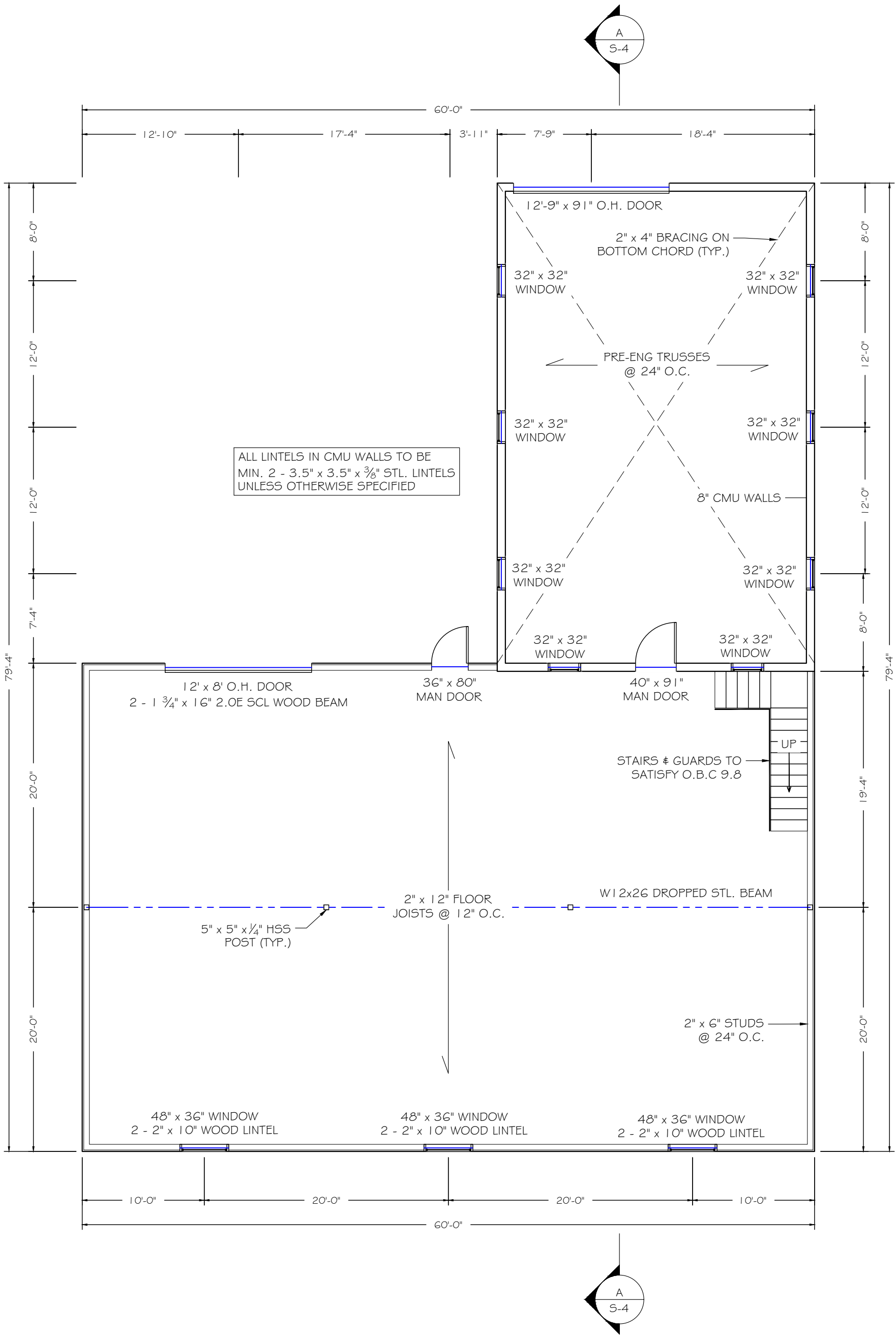
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FLOOR PLANS

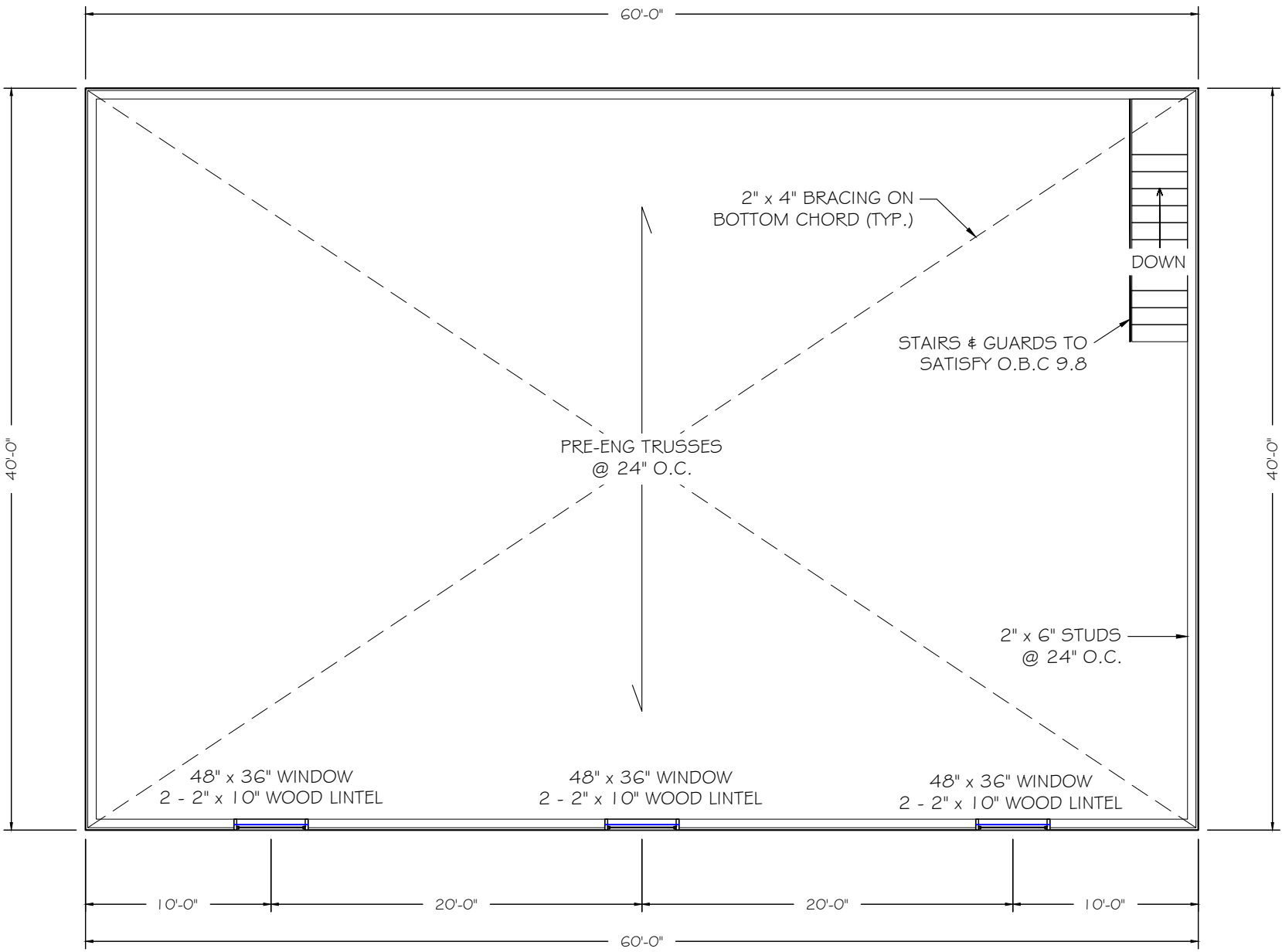
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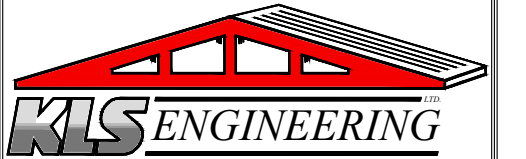
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E. BALT	S-3
DATE	
SHEET NUMBER	
3 OF 5	



FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"



SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0"

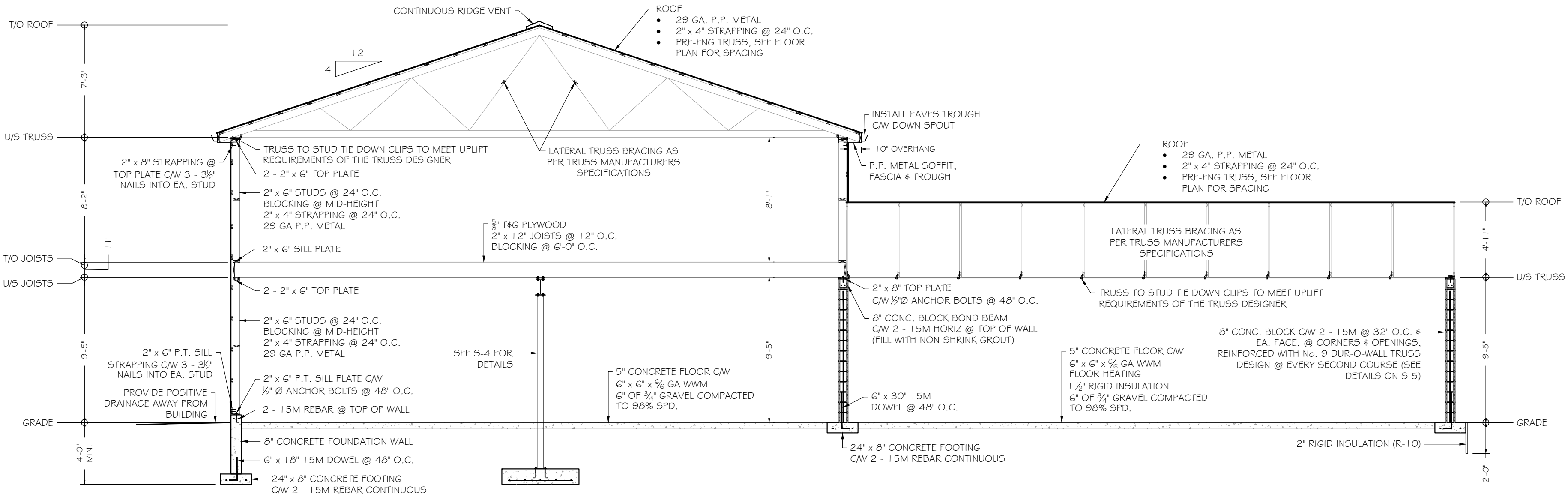


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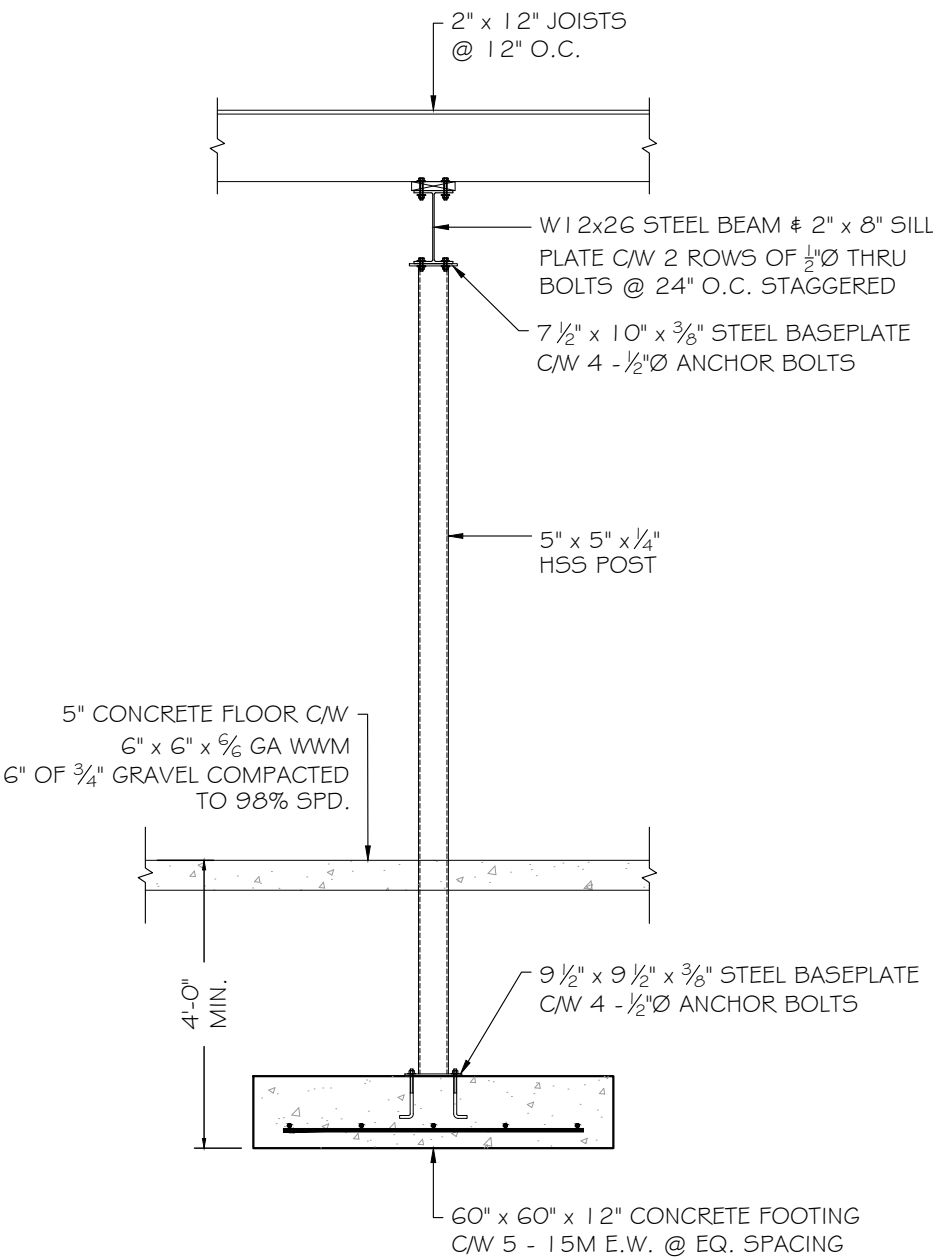
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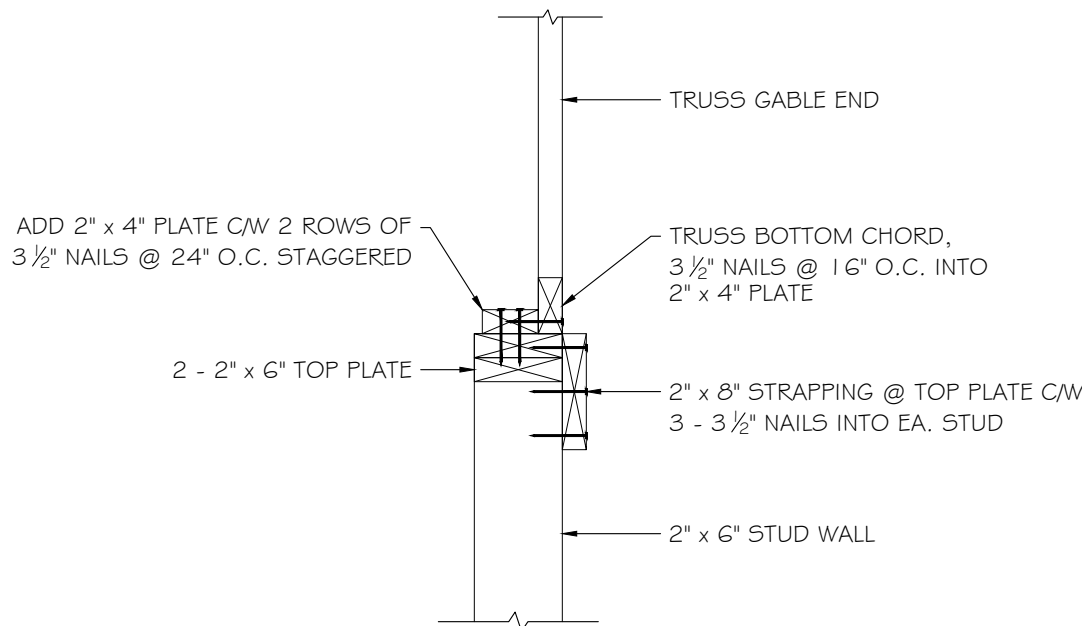
SECTION A - A

SCALE: 3/16" = 1'-0"



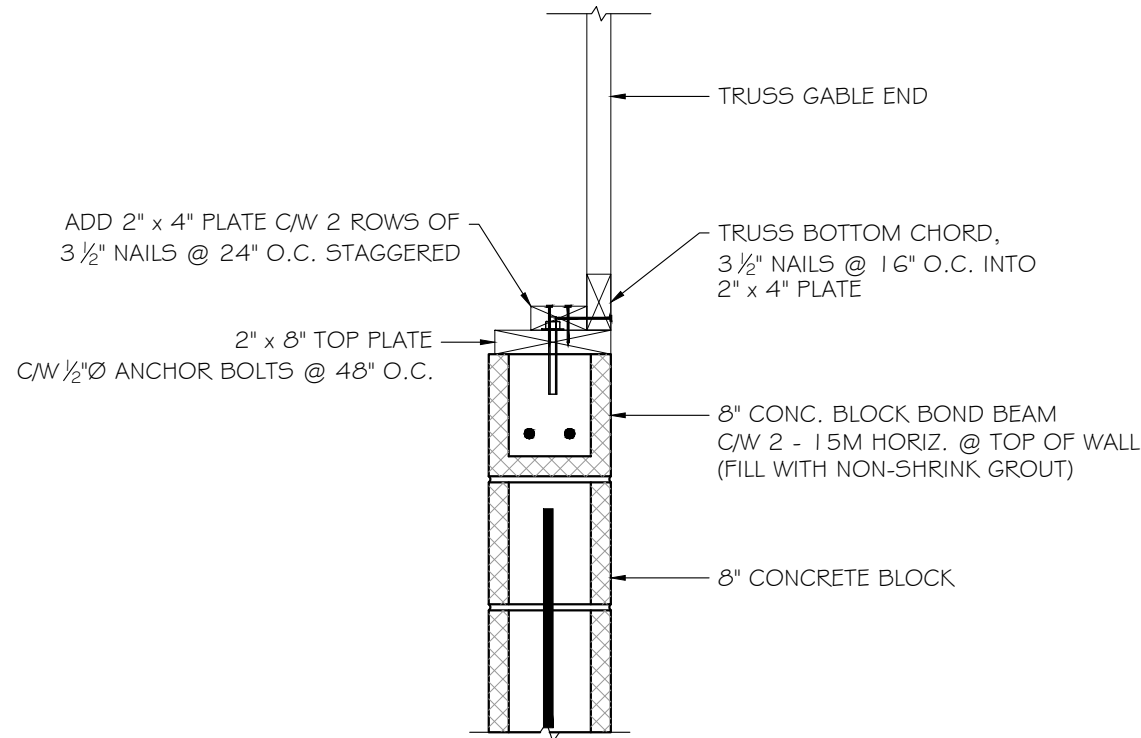
STEEL BEAM SUPPORT

SCALE: 3/8" = 1'-0"



TRUSS GABLE END ATTACHMENT (STUD WALL)

SCALE: 1" = 1'-0"



TRUSS GABLE END ATTACHMENT (CMU WALL)

SCALE: 1" = 1'-0"

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COLE CAMPBELL

STORAGE BUILDING ADDITION

428 HIGHWAY #6
PORT DOVER, ON
NOA 1N2

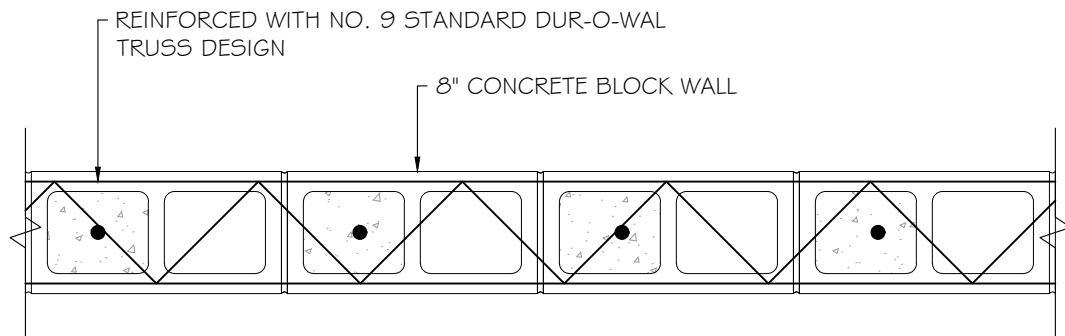
DRAWING

DETAILS

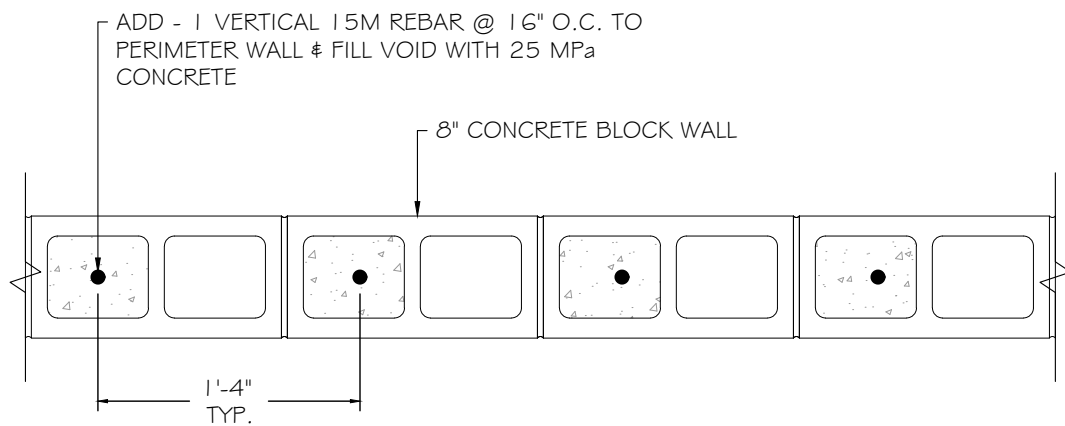
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E. BALT	S-4
DATE	
AUGUST 27, 2025	
SHEET NUMBER	
4 OF 5	



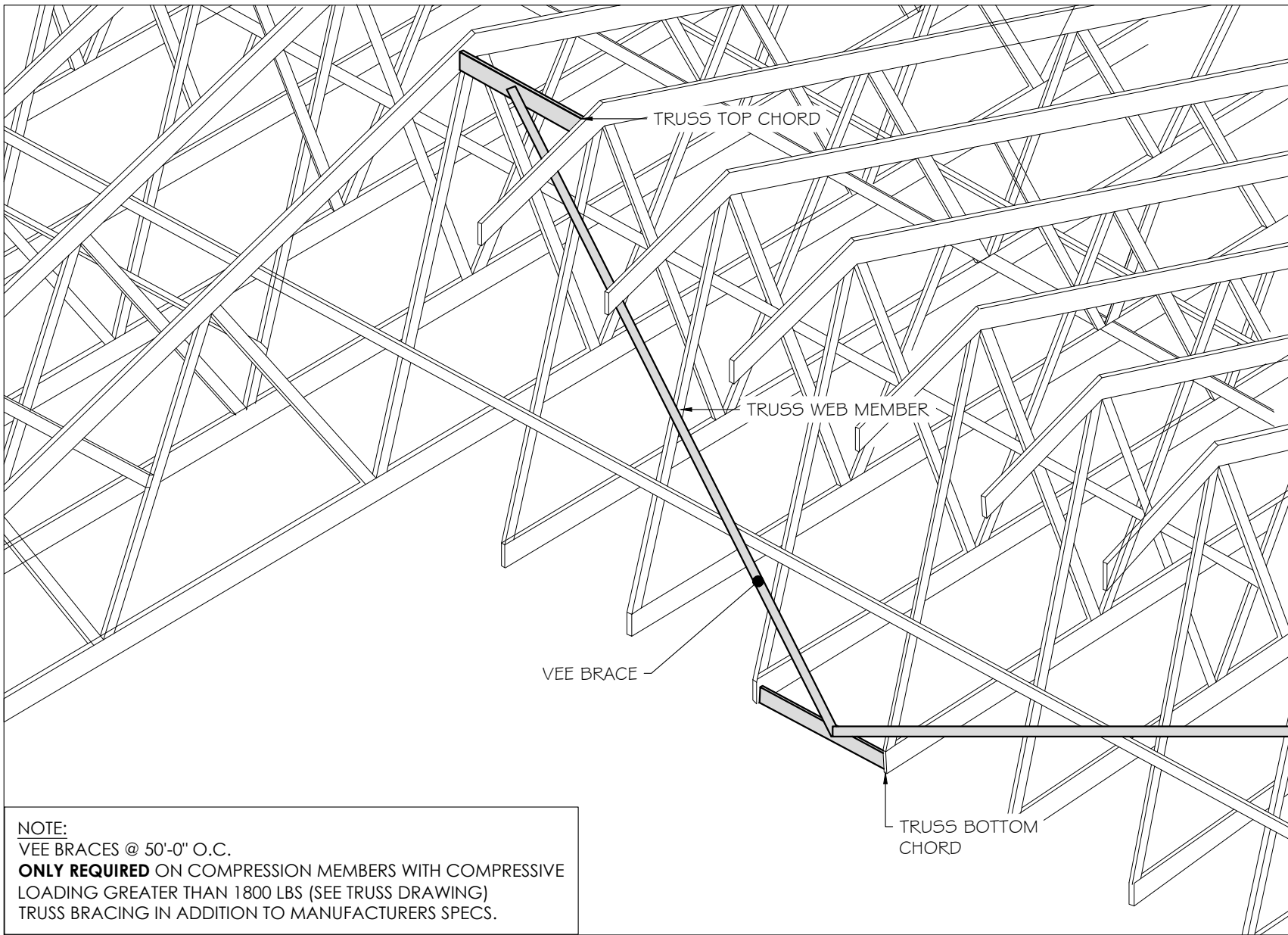
TOP VIEW



SIDE VIEW

LOAD BEARING CMU WALL REINFORCEMENT

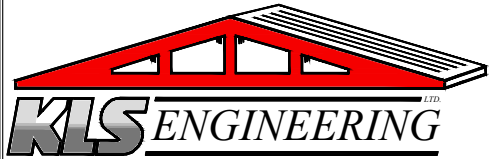
SCALE: 1" = 1'-0"



NOTE:
VEE BRACES @ 50'-0" O.C.
ONLY REQUIRED ON COMPRESSION MEMBERS WITH COMPRESSIVE
LOADING GREATER THAN 1800 LBS (SEE TRUSS DRAWING)
TRUSS BRACING IN ADDITION TO MANUFACTURERS SPECS.

LOAD BEARING CMU WALL REINFORCEMENT

SCALE: 1/4" = 1'-0"



1333 HIGHWAY #3
DUNNVILLE, ONTARIO
N1A 2W7
phone: (905) 774-4307

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WHICH THEY WERE ISSUED.

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PRELIMINARY

5			
4			
3			
2			
1			
0	ISSUED FOR REVIEW	SEP 2/25	EB
#	PURPOSE OF ISSUE	DATE OF ISSUE	BY

COLE CAMPBELL

STORAGE BUILDING
ADDITION

428 HIGHWAY #6
PORT DOVER, ON
NOA 1N2

DRAWING

DETAILS 2

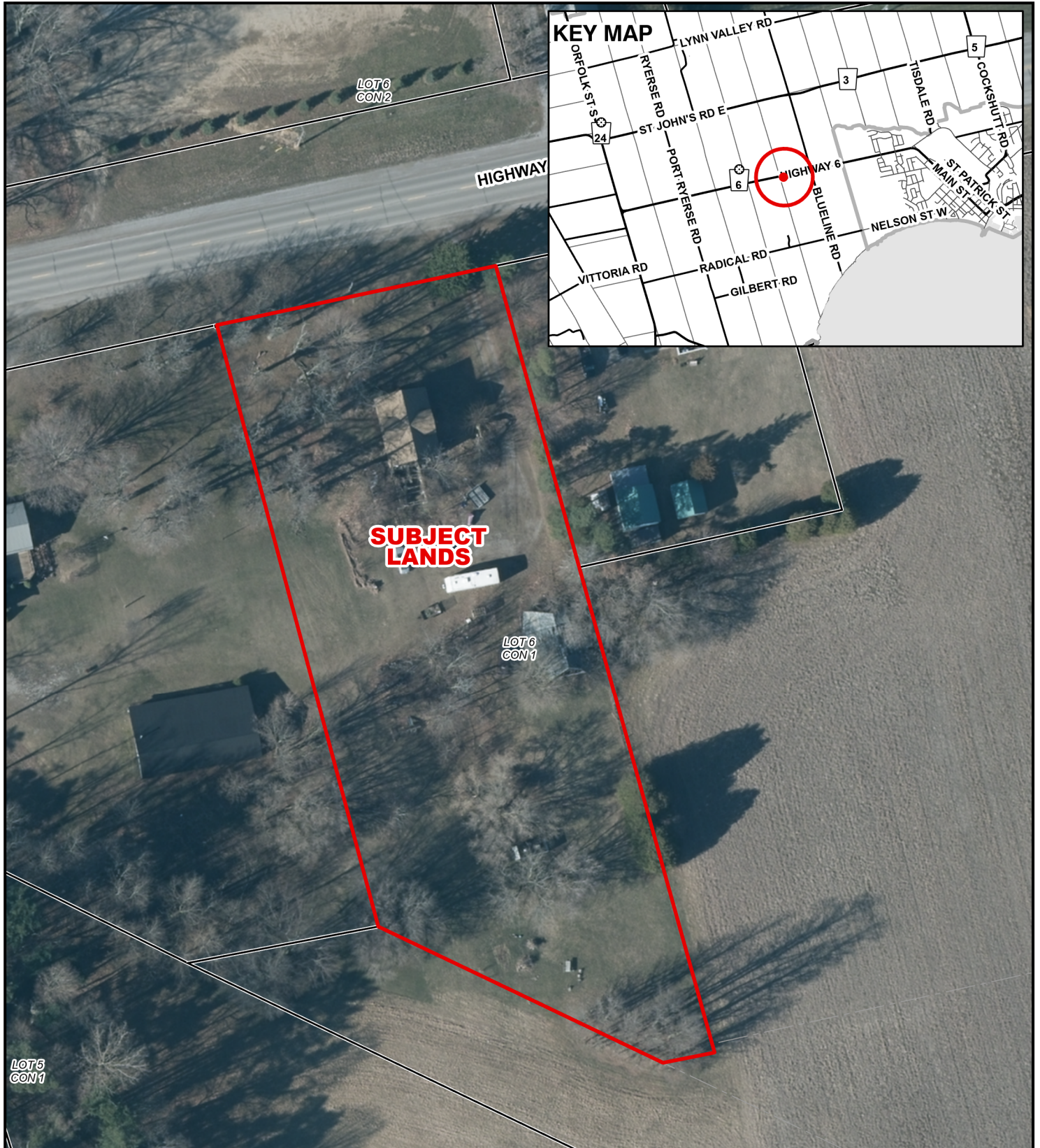
SCALE	FILE NUMBER
AS NOTED	C12-25-240

DWG:2025/CAMPBELL, COLE - STORAGE BUILDING ADDITION -
C12-25-240


DRAWN BY E. BALT	DRAWING NUMBER
DATE AUGUST 27, 2025	S-5
SHEET NUMBER: 5 OF 5	

CONTEXT MAP

Geographic Township of WOODHOUSE

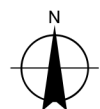


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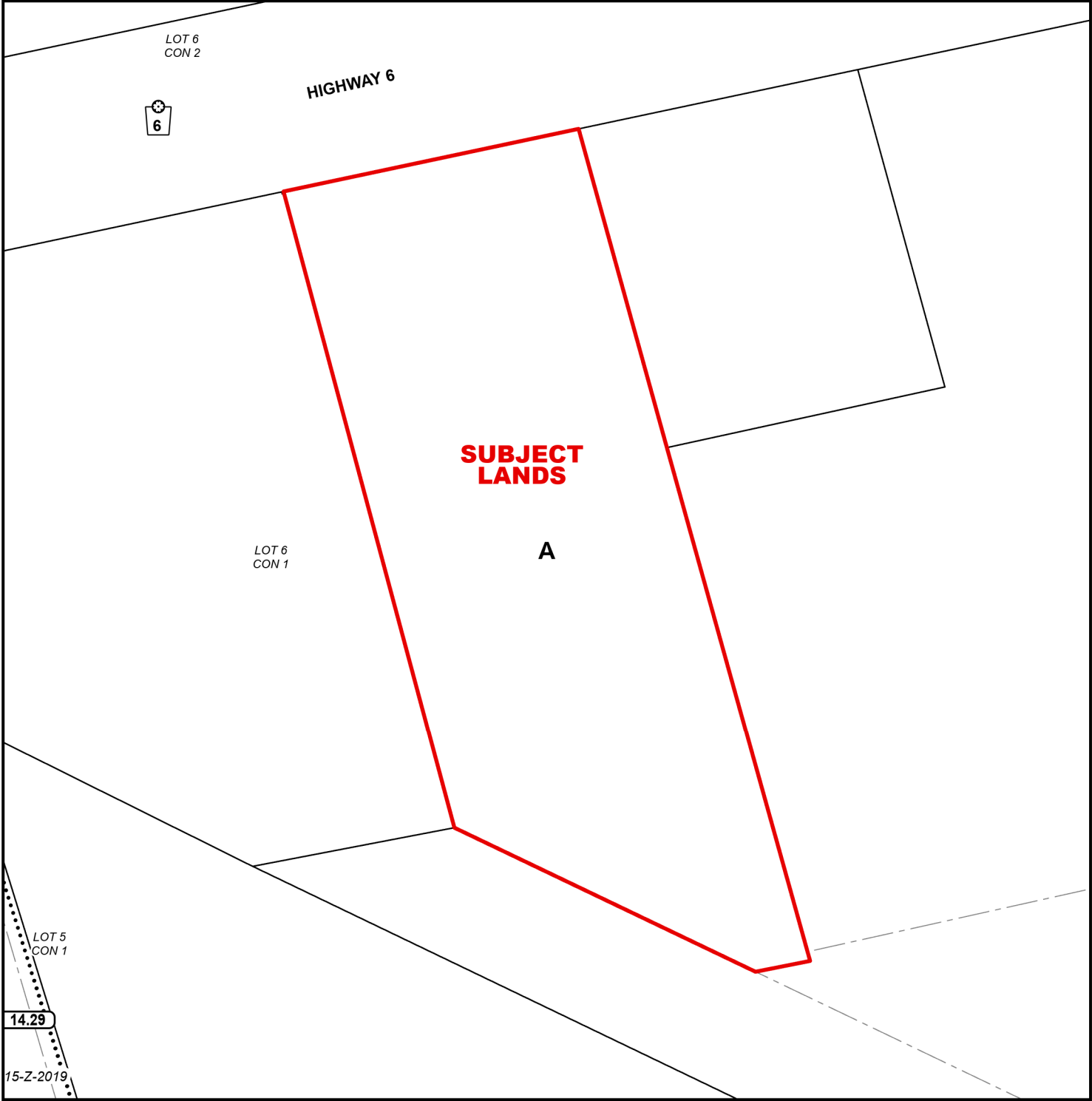
 Subject Lands

2020 Air Photo

11/7/2025



7 3.5 0 7 14 21 28 Meters



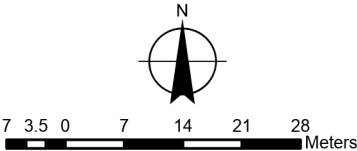
LEGEND

 Subject Lands

ZONING BY-LAW 1-Z-2014

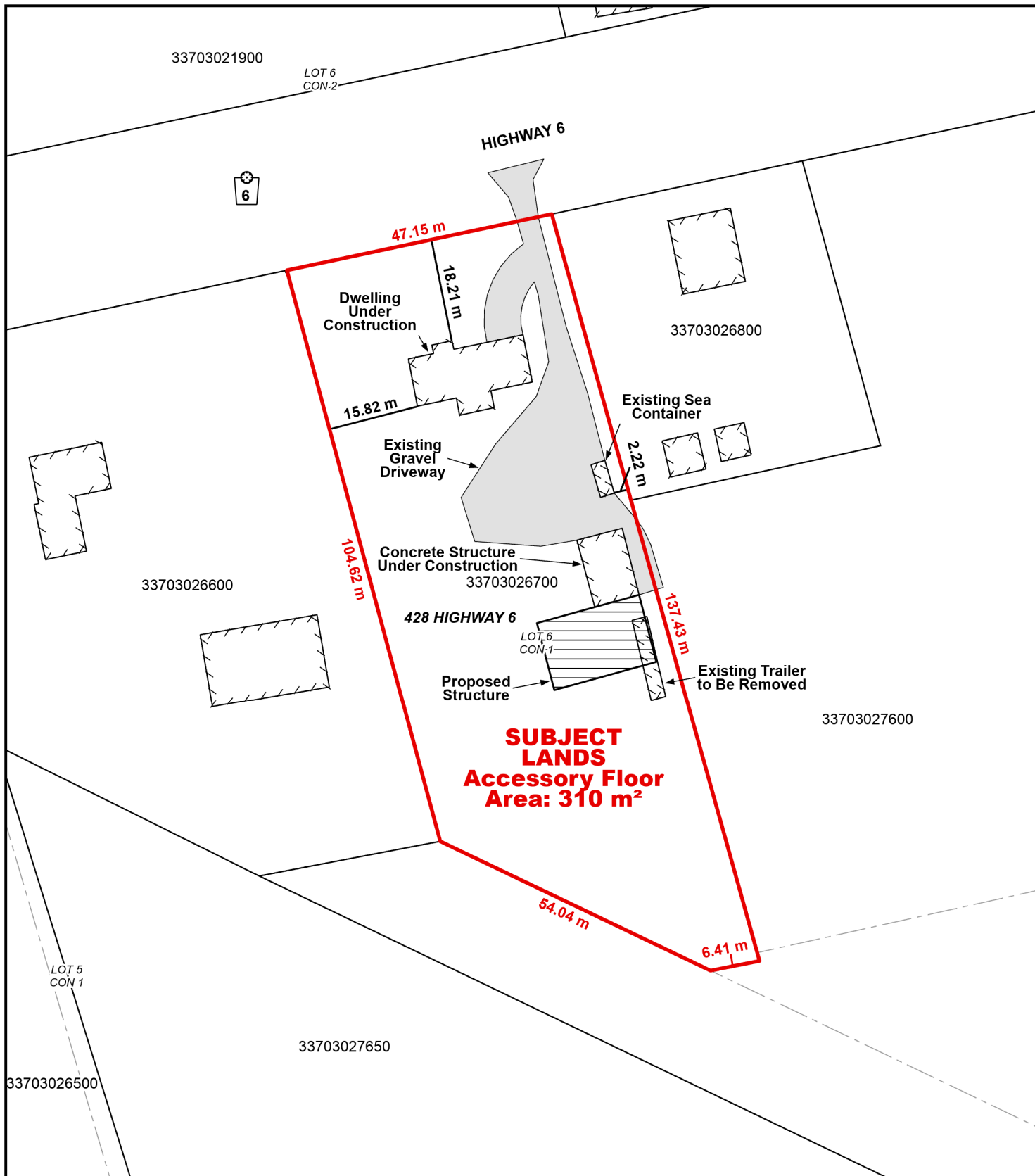
11/7/2025

(H) - Holding
A - Agricultural Zone



CONCEPTUAL PLAN

Geographic Township of WOODHOUSE



Legend

Subject Lands

11/7/2025



7.5 3.75 0 7.5 15 22.5 30 Meters