

For Office Use Only:

File Number	_____	Application Fee	_____
Related File Number	_____	Conservation Authority Fee	_____
Pre-consultation Meeting	_____	Well & Septic Info Provided	_____
Application Submitted	_____	Planner	_____
Complete Application	_____	Public Notice Sign	_____

Check the type of planning application(s) you are submitting.

- ☐ Consent/Severance/Boundary Adjustment
☐ Surplus Farm Dwelling Severance and Zoning By-law Amendment
☒ Minor Variance
☐ Easement/Right-of-Way

Property Assessment Roll Number: 33502019100**A. Applicant Information****Name of Owner** David and Kim Deelen

It is the responsibility of the owner or applicant to notify the planner of any changes in ownership within 30 days of such a change.

Address 156 Main St S
Town and Postal Code Waterford, N0E 1Y0
Phone Number _____
Cell Number Kim - 519-427-6666
Email k.deelen@hotmail.ca

Name of Applicant Kim Dziegiel c/o The Permit Shoppe
Address 48 Windham East Quarter Line Road
Town and Postal Code Simcoe, N3Y 4K6
Phone Number 226-931-2262
Cell Number _____
Email kim@thepermitshoppe.com

Name of Agent

Address

Town and Postal Code

Phone Number

Cell Number

Email

Please specify to whom all communications should be sent. Unless otherwise directed, all correspondence and notices in respect of this application will be forwarded to the owner and agent noted above.

☒ Owner

☐ Agent

☒ Applicant

Names and addresses of any holder of any mortgagees, charges or other encumbrances on the subject lands:

B. Location, Legal Description and Property Information

1. Legal Description (include Geographic Township, Concession Number, Lot Number, Block Number and Urban Area or Hamlet):

WAT PLAN 19B BLK P LOT 16 PT LOT 17

Municipal Civic Address: 156 Main St South, Waterford

Present Official Plan Designation(s): Urban Residential

Present Zoning: R2

2. Is there a special provision or site specific zone on the subject lands?

☐ Yes ☒ No If yes, please specify:

3. Present use of the subject lands:

Residential

4. Please describe **all existing** buildings or structures on the subject lands and whether they are to be retained, demolished or removed. If retaining the buildings or structures, please describe the type of buildings or structures, and illustrate the setback, in metric units, from front, rear and side lot lines, ground floor area, gross floor area, lot coverage, number of storeys, width, length, and height on your attached sketch which must be included with your application:

Refer to attached site plan

5. If an addition to an existing building is being proposed, please explain what it will be used for (for example a bedroom, kitchen, or bathroom). If new fixtures are proposed, please describe.

6. Please describe **all proposed** buildings or structures/additions on the subject lands. Describe the type of buildings or structures/additions, and illustrate the setback, in metric units, from front, rear and side lot lines, ground floor area, gross floor area, lot coverage, number of storeys, width, length, and height on your attached sketch which must be included with your application:

Refer to attached site plan

7. Are any existing buildings on the subject lands designated under the *Ontario Heritage Act* as being architecturally and/or historically significant? Yes ☐ No ☒

If yes, identify and provide details of the building:

8. If known, the length of time the existing uses have continued on the subject lands:

60+ YEARS

9. Existing use of abutting properties:

Residential

10. Are there any easements or restrictive covenants affecting the subject lands?

☐ Yes ☒ No If yes, describe the easement or restrictive covenant and its effect:

C. Purpose of Development Application

Note: Please complete all that apply. **Failure to complete this section will result in an incomplete application.**

1. Site Information (Please refer to Zoning By-law to confirm permitted dimensions)

	Existing	Permitted	Provision	Proposed	Deficiency
Lot frontage					
Lot depth					
Lot width					
Lot area					
Lot coverage					
Front yard					
Rear yard					
Height		5m	3.2.1.(a)	5.57m	0.57m
Left Interior side yard		1.2m	3.2.1.(d)	1.83m	
Right Interior side yard					
Exterior side yard (corner lot)					
Parking Spaces (number)					
Aisle width					
Stall size					
Loading Spaces					
Usable Floor Area	shed-9.85 sq m garage-37.46 sq m Total = 47.31 sq m	55 sq m	3.2.1.(g)	existing - 47.31 sq m garage - 57.27 sq m Total = 104.58 sq m	49.58 sq m

Note existing carport
to be demolished

2. Please explain why it is not possible to comply with the provision(s) of the Zoning By-law:

Proposed building does not comply with height and usable floor area permitted

3. **Consent/Severance/Boundary Adjustment:** Description of land intended to be severed in metric units:

Frontage: _____

Depth: _____

Width: _____

Lot Area: _____

Present Use: _____

Proposed Use: _____

Proposed final lot size (if boundary adjustment): _____

If a boundary adjustment, identify the assessment roll number and property owner of the lands to which the parcel will be added: _____

Description of land intended to be retained in metric units:

Frontage: _____

Depth: _____

Width: _____

Lot Area: _____

Present Use: _____

Proposed Use: _____

Buildings on retained land: _____

4. **Easement/Right-of-Way:** Description of proposed right-of-way/easement in metric units:

Frontage: _____

Depth: _____

Width: _____
Area: _____
Proposed Use: _____

5. Surplus Farm Dwelling Severances Only: List all properties in Norfolk County, which are owned and farmed by the applicant and involved in the farm operation

Owners Name: _____
Roll Number: _____
Total Acreage: _____
Workable Acreage: _____
Existing Farm Type: (for example: corn, orchard, livestock) _____
Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built _____
Date of Land Purchase: _____

Owners Name: _____
Roll Number: _____
Total Acreage: _____
Workable Acreage: _____
Existing Farm Type: (for example: corn, orchard, livestock) _____
Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built _____
Date of Land Purchase: _____

Owners Name: _____
Roll Number: _____
Total Acreage: _____
Workable Acreage: _____
Existing Farm Type: (for example: corn, orchard, livestock) _____
Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built _____
Date of Land Purchase: _____

Owners Name: _____
Roll Number: _____
Total Acreage: _____
Workable Acreage: _____
Existing Farm Type: (for example: corn, orchard, livestock) _____
Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built _____
Date of Land Purchase: _____

Owners Name: _____
Roll Number: _____
Total Acreage: _____
Workable Acreage: _____
Existing Farm Type: (for example: corn, orchard, livestock) _____
Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built _____
Date of Land Purchase: _____

Note: If additional space is needed please attach a separate sheet.

D. All Applications: Previous Use of the Property

1. Has there been an industrial or commercial use on the subject lands or adjacent lands? ☐ Yes ☒ No ☐ Unknown

If yes, specify the uses (for example: gas station, or petroleum storage):

2. Is there reason to believe the subject lands may have been contaminated by former uses on the site or adjacent sites? ☐ Yes ☒ No ☐ Unknown

3. Provide the information you used to determine the answers to the above questions:

Local knowledge

4. If you answered yes to any of the above questions in Section D, a previous use inventory showing all known former uses of the subject lands, or if appropriate, the adjacent lands, is needed. Is the previous use inventory attached? ☐ Yes ☐ No

E. All Applications: Provincial Policy

1. Is the requested amendment consistent with the provincial policy statements issued under subsection 3(1) of the *Planning Act, R.S.O. 1990, c. P. 13*? ☒ Yes ☐ No

If no, please explain:

2. It is owner's responsibility to be aware of and comply with all relevant federal or provincial legislation, municipal by-laws or other agency approvals, including the Endangered Species Act, 2007. Have the subject lands been screened to ensure that development or site alteration will not have any impact on the habitat for endangered or threatened species further to the provincial policy statement subsection 2.1.7? ☒ Yes ☐ No

If no, please explain:

3. Have the subject lands been screened to ensure that development or site alteration will not have any impact on source water protection? ☒ Yes ☐ No

If no, please explain:

Note: If in an area of source water Wellhead Protection Area (WHPA) A, B or C please attach relevant information and approved mitigation measures from the Risk Manager Official.

4. All Applications: Are any of the following uses or features on the subject lands or within 500 metres of the subject lands, unless otherwise specified? Please check boxes, if applicable.

Livestock facility or stockyard (submit MDS Calculation with application)

☐ On the subject lands or ☐ within 500 meters – distance _____

Wooded area

☐ On the subject lands or ☐ within 500 meters – distance _____

Municipal Landfill

☐ On the subject lands or ☐ within 500 meters – distance _____

Sewage treatment plant or waste stabilization plant

☐ On the subject lands or ☐ within 500 meters – distance _____

Provincially significant wetland (class 1, 2 or 3) or other environmental feature

☐ On the subject lands or ☐ within 500 meters – distance _____

Floodplain

☐ On the subject lands or ☐ within 500 meters – distance _____

Rehabilitated mine site

☐ On the subject lands or ☐ within 500 meters – distance _____

Non-operating mine site within one kilometre

☐ On the subject lands or ☐ within 500 meters – distance _____

Active mine site within one kilometre

☐ On the subject lands or ☐ within 500 meters – distance _____

Industrial or commercial use (specify the use(s))

☐ On the subject lands or ☒ within 500 meters – distance 360m

Active railway line

☐ On the subject lands or ☐ within 500 meters – distance _____

Seasonal wetness of lands

☐ On the subject lands or ☐ within 500 meters – distance _____

Erosion

☐ On the subject lands or ☐ within 500 meters – distance _____

Abandoned gas wells

☐ On the subject lands or ☐ within 500 meters – distance _____

F. All Applications: Servicing and Access

1. Indicate what services are available or proposed:

Water Supply

☒ Municipal piped water

☐ Communal wells

☐ Individual wells

☐ Other (describe below)

Sewage Treatment

☒ Municipal sewers

☐ Communal system

☐ Septic tank and tile bed in good working order

☐ Other (describe below)

Storm Drainage

☒ Storm sewers

☐ Open ditches

☐ Other (describe below)

2. Existing or proposed access to subject lands:

☒ Municipal road

☐ Provincial highway

☐ Unopened road

☐ Other (describe below)

Name of road/street:

Main St South

G. All Applications: Other Information

1. Does the application involve a local business? ☐ Yes ☒ No

If yes, how many people are employed on the subject lands?

2. Is there any other information that you think may be useful in the review of this application? If so, explain below or attach on a separate page.

I. Transfers, Easements and Postponement of Interest

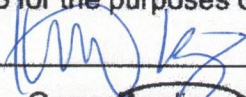
The owner acknowledges and agrees that if required it is their solicitor's responsibility on behalf of the owner for the registration of all transfer(s) of land to the County, and/or transfer(s) of easement in favour of the County and/or utilities. Also, the owner further acknowledges and agrees that it is their solicitor's responsibility on behalf of the owner for the registration of postponements of any charges in favour of the County.

Permission to Enter Subject Lands

Permission is hereby granted to Norfolk County officers, employees or agents, to enter the premises subject to this application for the purposes of making inspections associated with this application, during normal and reasonable working hours.

Freedom of Information

For the purposes of the *Municipal Freedom of Information and Protection of Privacy Act*, I authorize and consent to the use by or the disclosure to any person or public body any information that is collected under the authority of the *Planning Act, R.S.O. 1990, c. P. 13* for the purposes of processing this application.



Owner/Applicant/Agent Signature

Oct 31 / 25

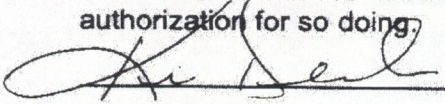
Date

J. Owner's Authorization


If the applicant/agent is not the registered owner of the lands that is the subject of this application, the owner must complete the authorization set out below.

I/We Kim & Dave Deelen am/are the registered owner(s) of the lands that is the subject of this application.

I/We authorize Kim Dziegiel to make this application on my/our behalf and to provide any of my/our personal information necessary for the processing of this application. Moreover, this shall be your good and sufficient authorization for so doing.



Owner



Owner

Oct 31 2025

Date

Oct 31 2025

Date

***Note:** If property is owned by an Ontario Ltd. Corporation, Articles of Incorporation are required to be attached to the application.

K. Declaration

I, Kim Dziogiel of Simcoe
solemnly declare that:

all of the above statements and the statements contained in all of the exhibits
transmitted herewith are true and I make this solemn declaration conscientiously
believing it to be true and knowing that it is of the same force and effect as if made
under oath and by virtue of *The Canada Evidence Act*.

Declared before me at:

Norfolk County

[Signature]
Owner/Applicant/Agent Signature

In Simcoe

This 31st day of OCTOBER 2025

A.D., 20 25

[Signature]
A Commissioner, etc.

Sherry Ann Mott, a
Commissioner, etc., Province of Ontario,
for the Corporation of Norfolk County.
Expires March 16, 2026.

UTILITY NOTE:

THE VARIOUS UTILITY LOCATIONS SHOWN ON THIS PLAN ARE BASED ON PHYSICAL LOCATES OF ABOVE GROUND SERVICES.

PRIOR TO ANY ON SITE CONSTRUCTION ACTIVITY A VERIFICATION LOCATE OF UNDERGROUND SERVICES IS BOTH RECOMMENDED AND ADVISED.

LEGEND

BELL BOX	SHOWN	BBX	□
BENCH MARK	SHOWN	BM	●
CATCH BASIN	SHOWN	CB	■
TOP OF FOUNDATION	SHOWN	TOF	—
OVERHEAD HYDRO LINE	SHOWN	O/H	—
WATER VALVE	SHOWN	WV	⚙
HYDRO POLE	SHOWN	HP	⚙
GAS METER	SHOWN	GM	⚙
MANHOLE	SHOWN	MH	⚙

NOTES

- (1) - DIMENSIONS SHOWN ON THIS PLAN CONFORM WITH THE SURVEYOR'S REAL PROPERTY REPORT PREPARED BY JEWITT & DIXON LTD. AND DATED JULY 20, 1999 (PA6850)
- (2) - PROPOSED BUILDING POSITIONED BY CALCULATIONS, NOT BY ACTUAL SURVEY
- (3) - PROPOSED FINAL GRADES ARE SHOWN (252.50) AND ARE IN METERS
- (4) - T.F.W. DENOTES TOP OF FOUNDATION WALL
- (5) - U.S.F. DENOTES UNDERSIDE OF FOOTING
- (6) - SITE BENCHMARK - SPIKE IN FACE OF WOOD HYDRO POLE HAVING A GEODETIC ELEVATION OF 251.18 meters
- (7) - IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE ELEVATION OF THE UPPER LIMIT OF THE GROUND WATER TABLE, SOIL BEARING CAPACITY AND THE ELEVATION OF THE UNDER SIDE OF FOOTING PRIOR TO EXCAVATION.
- (8) - IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE SITE BENCH MARK PRIOR TO EXCAVATION
- (9) - ELEVATIONS ARE REFERRED TO CANADIAN GEODETIC DATUM, CGVD 1928 VERTICAL DATUM
- (10) - THIS SKETCH WAS COMPLETED FROM FIELD WORK COMPLETED ON THE 14TH DAY OF JULY, 2021

PROPOSED LOT GRADING AND DRAINAGE SITE PLAN

FOR:

DAVID GILBERT DEELEN
KIM YVONNE DEELEN
156 MAIN STREET SOUTH
WATERFORD

PIN 50280-0221 (LT)

SCALE 1 : 200

2 0 8 METRES

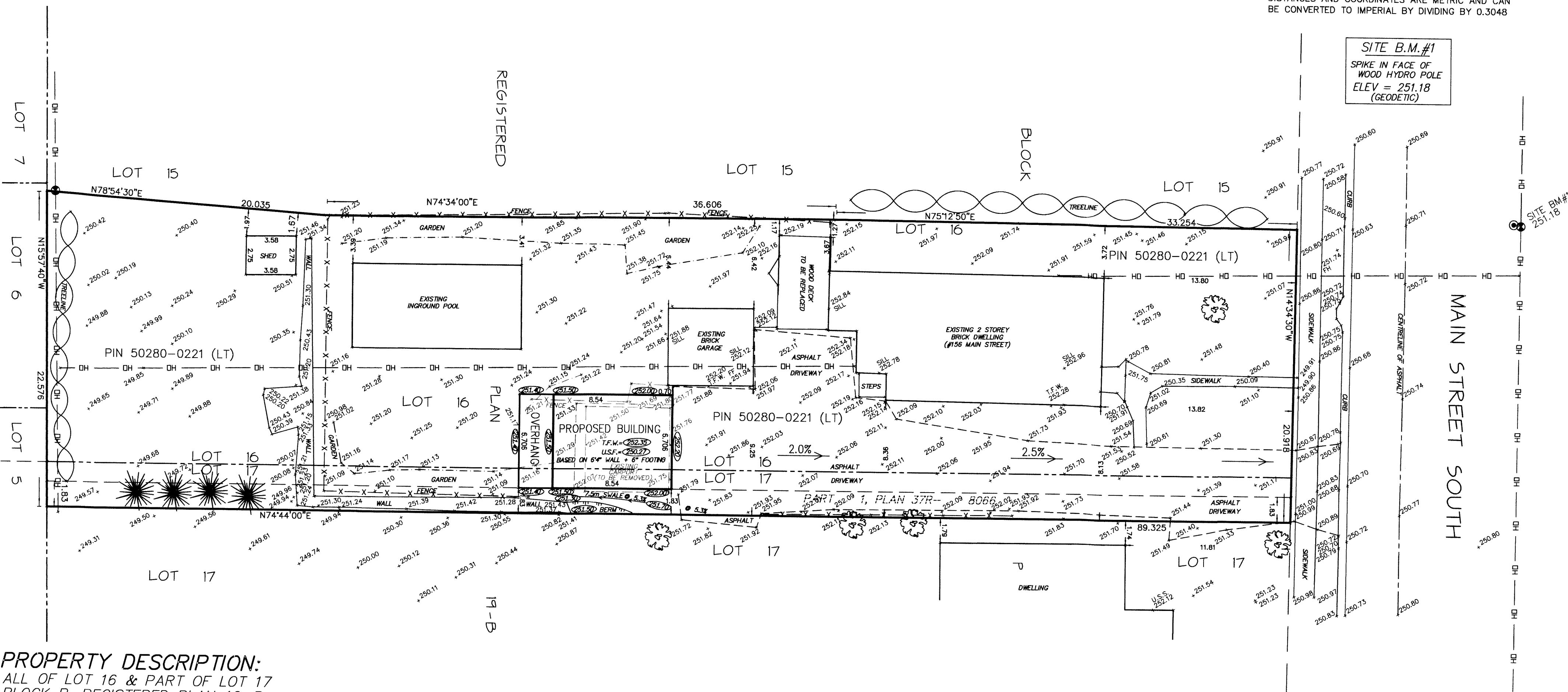
JEWITT AND DIXON LTD.

METRIC NOTE:

DISTANCES AND COORDINATES ARE METRIC AND CAN BE CONVERTED TO IMPERIAL BY DIVIDING BY 0.3048

SITE B.M.#1

SPIKE IN FACE OF
WOOD HYDRO POLE
ELEV = 251.18
(GEODETIC)



PROPERTY DESCRIPTION:

ALL OF LOT 16 & PART OF LOT 17
BLOCK P, REGISTERED PLAN 19-B
TOWN OF WATERFORD
NORFOLK COUNTY

CAUTION

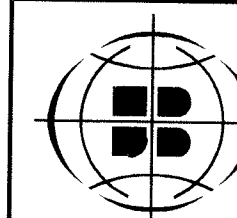
THIS IS NOT A PLAN OF SURVEY OR SURVEYOR'S REPORT AND SHALL NOT BE USED FOR TRANSACTION OR FINANCING PURPOSES

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OCTOBER 15, 2025

KIM HUSTED, O.L.S.
THIS COPY IS NOT VALID UNLESS
EMBOSSSED WITH THE SURVEYOR'S SEAL.



JEWITT AND DIXON
ONTARIO LAND SURVEYORS
A Division of Kim Husted Surveying Ltd.

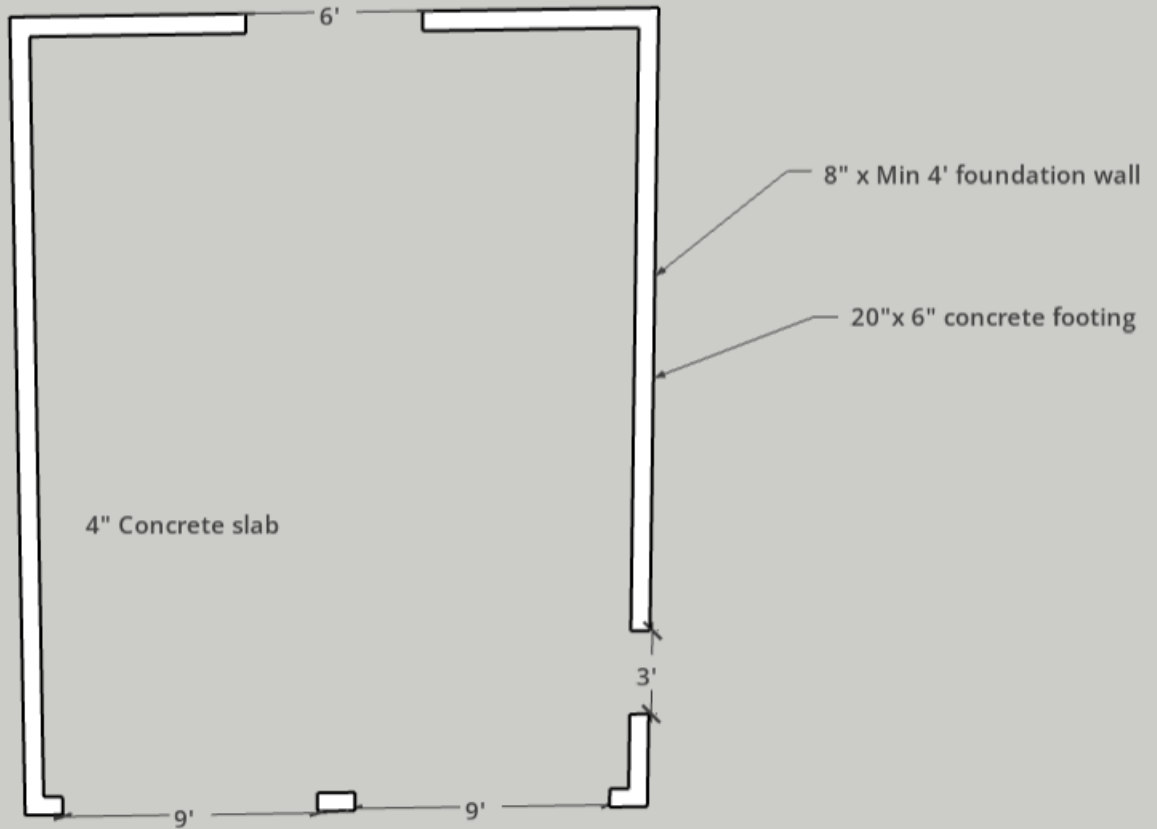
SURVEYING
MAPPING
GIS

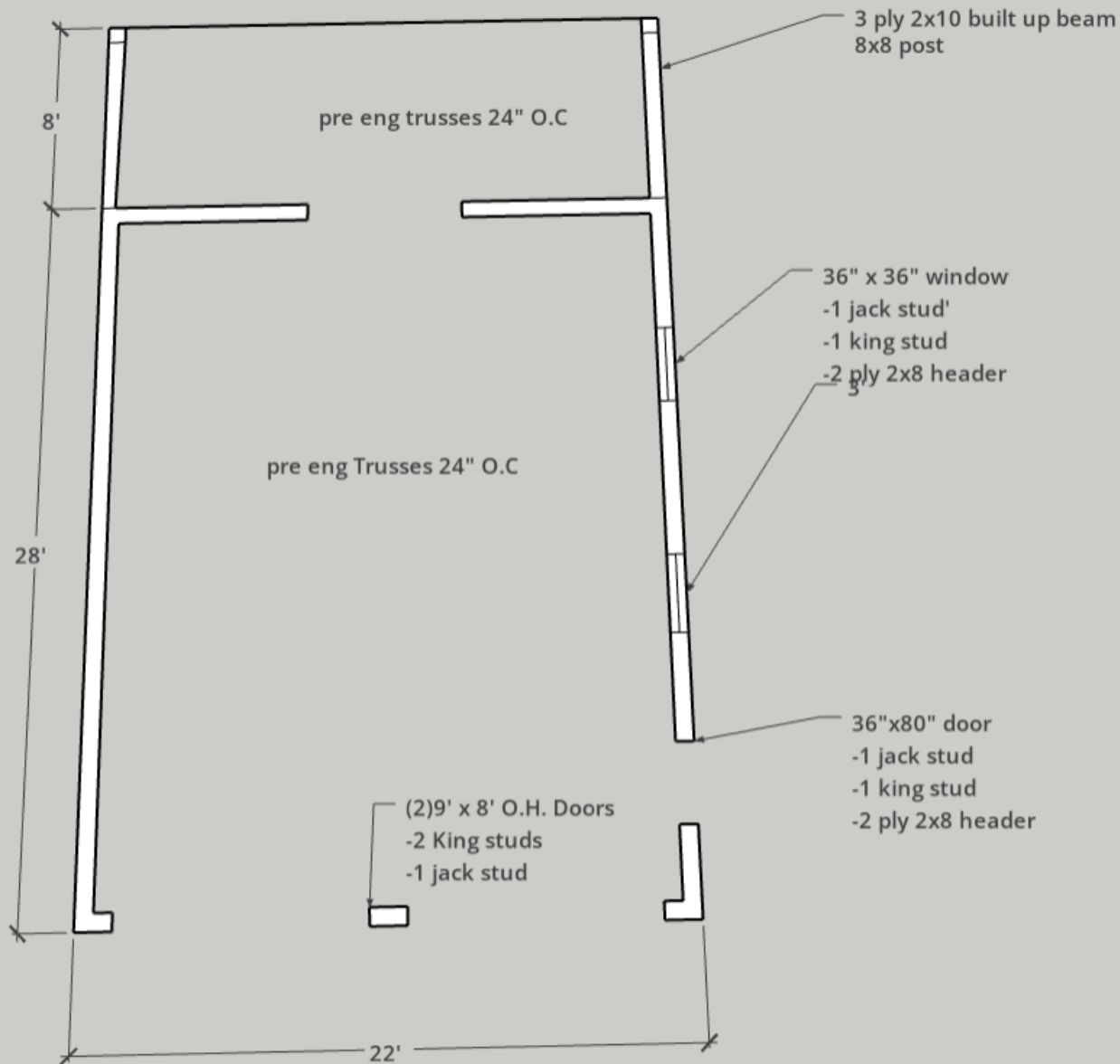
650 Ireland Rd., Simcoe, ON N3Y 4K2
T: (519) 426-0842 www.jdbarnes.com

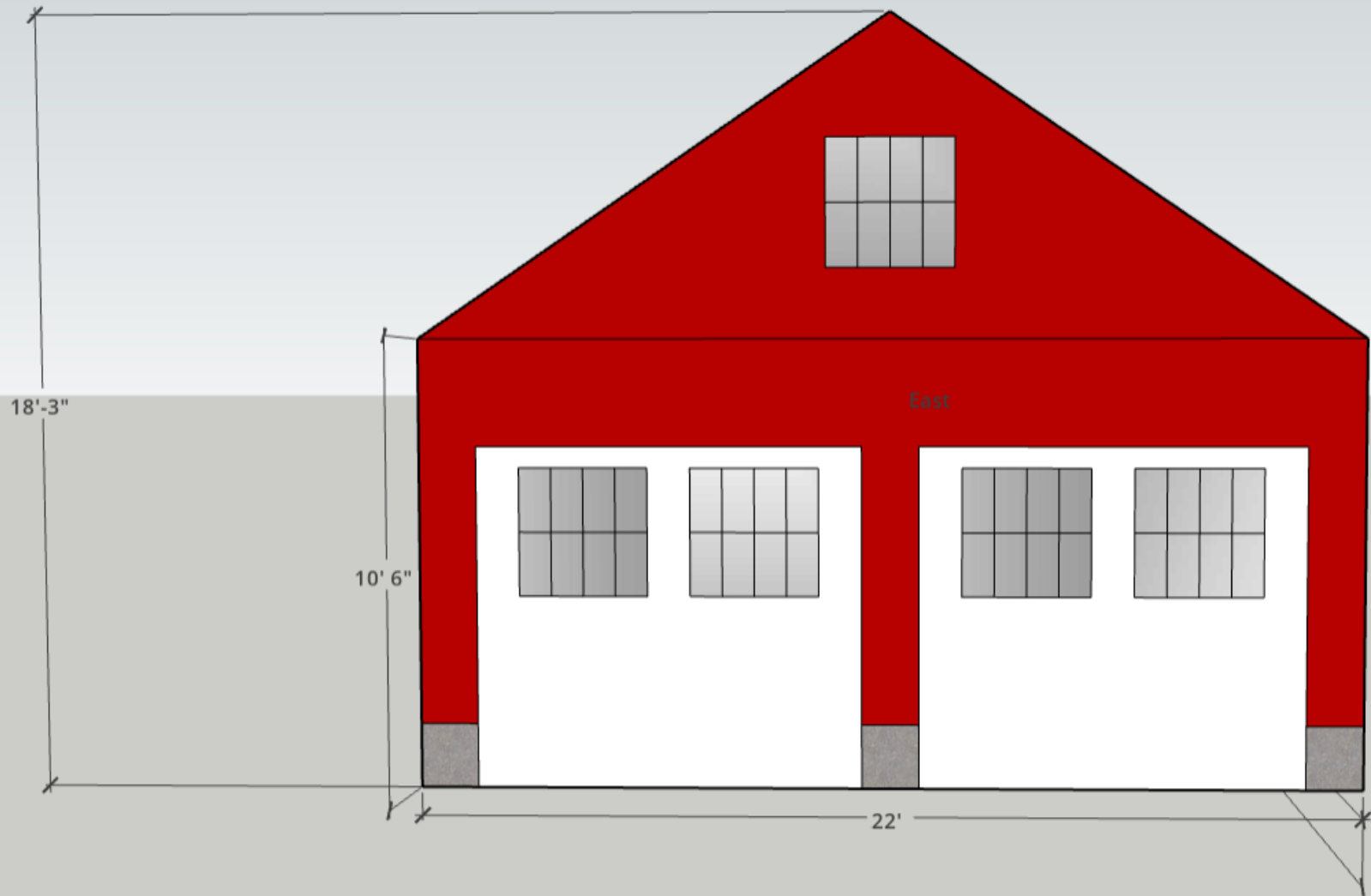
DRAWN BY:	JLM	CHECKED BY:	KH	REFERENCE NO.:	CASIER
					25-54-437-00
				DATED:	OCTOBER 19, 2025



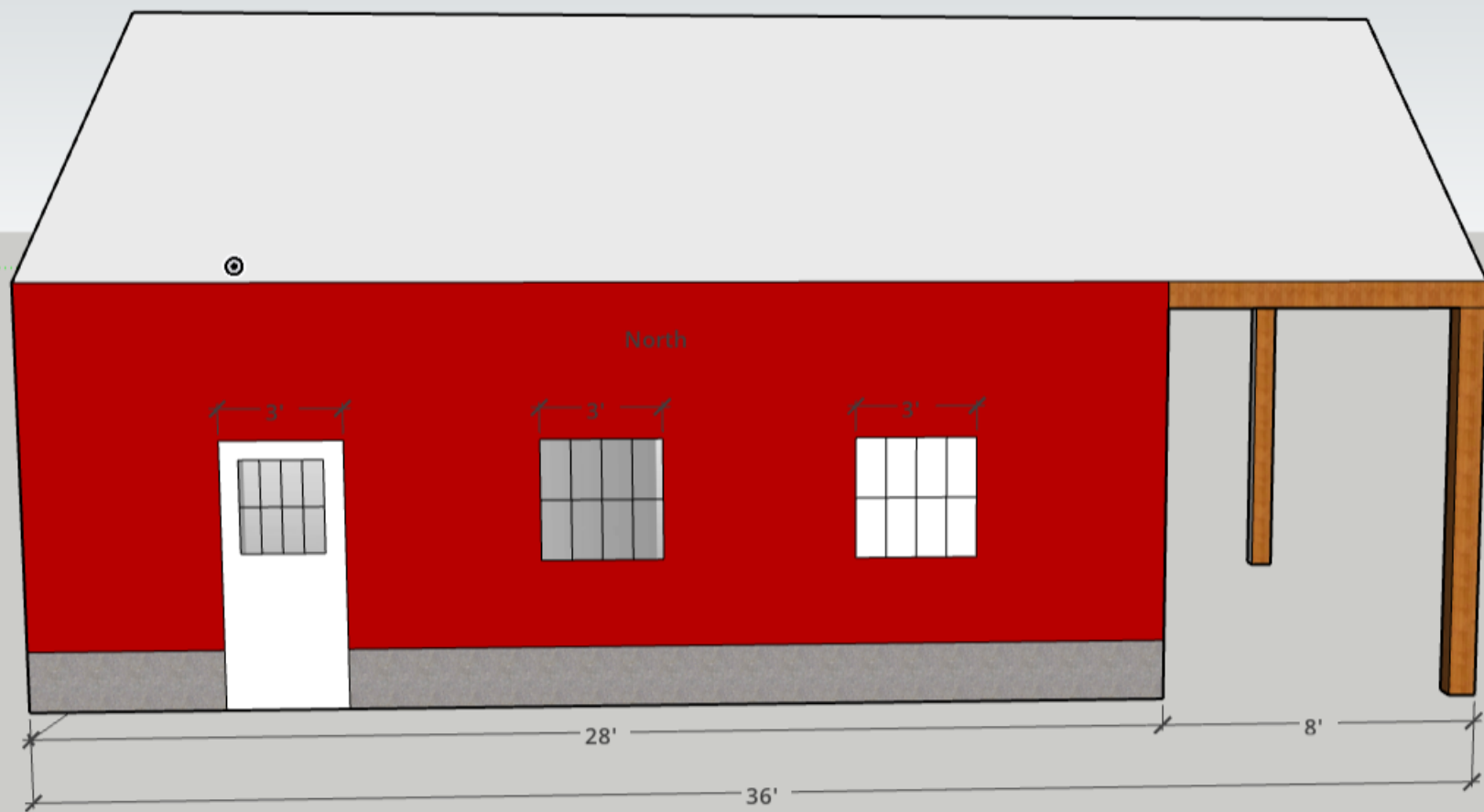
24" x 6" footing
14" concrete pier

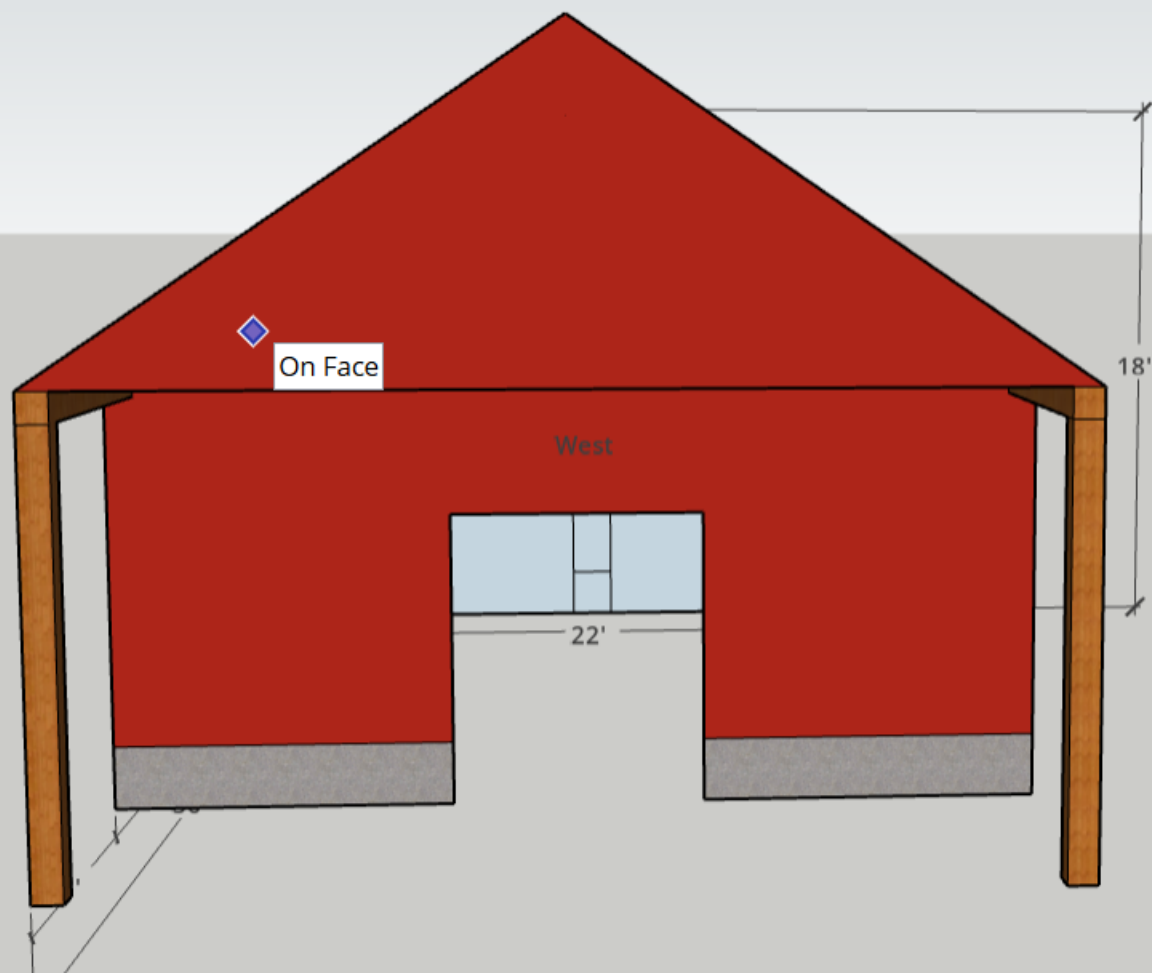


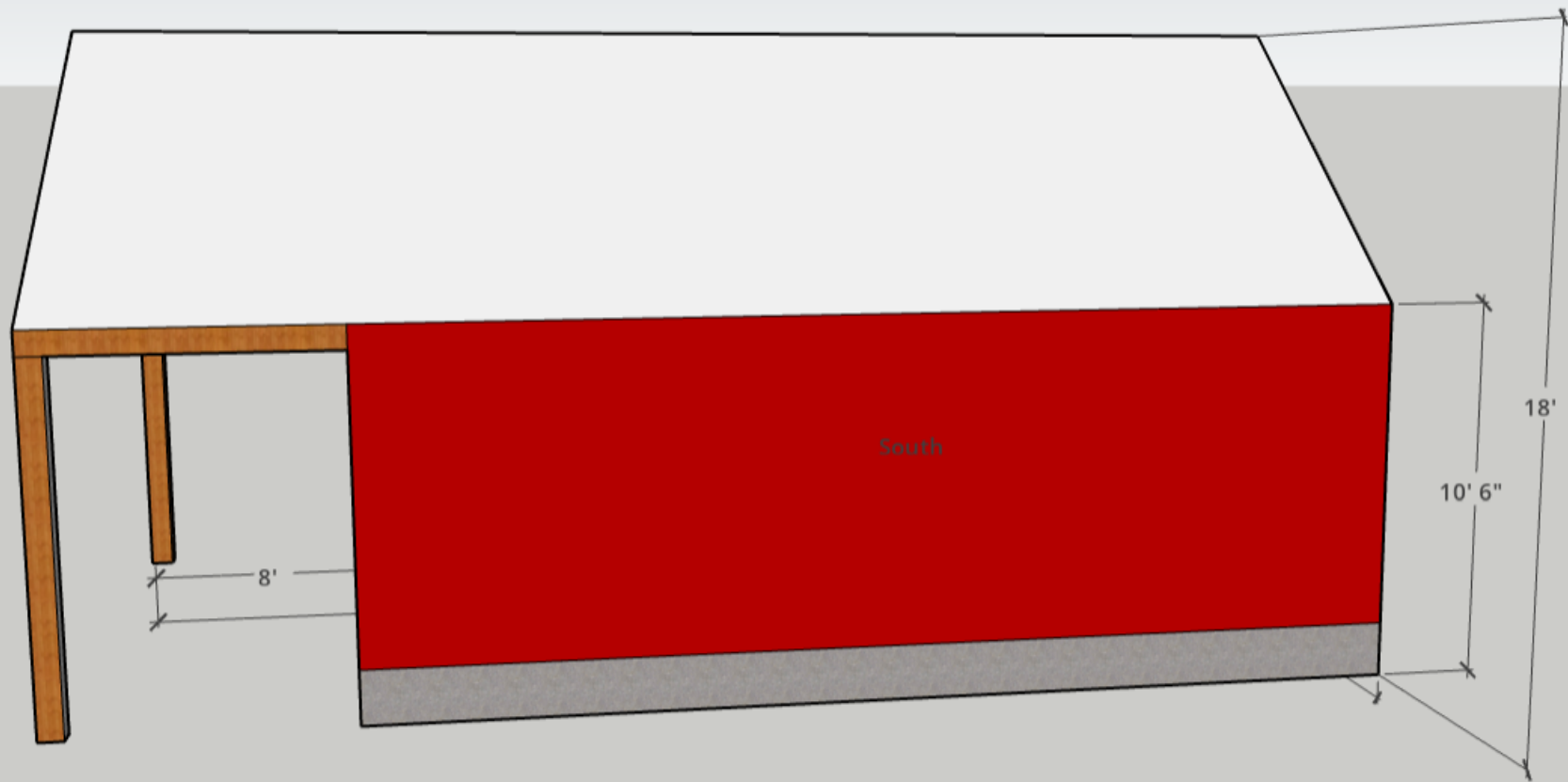


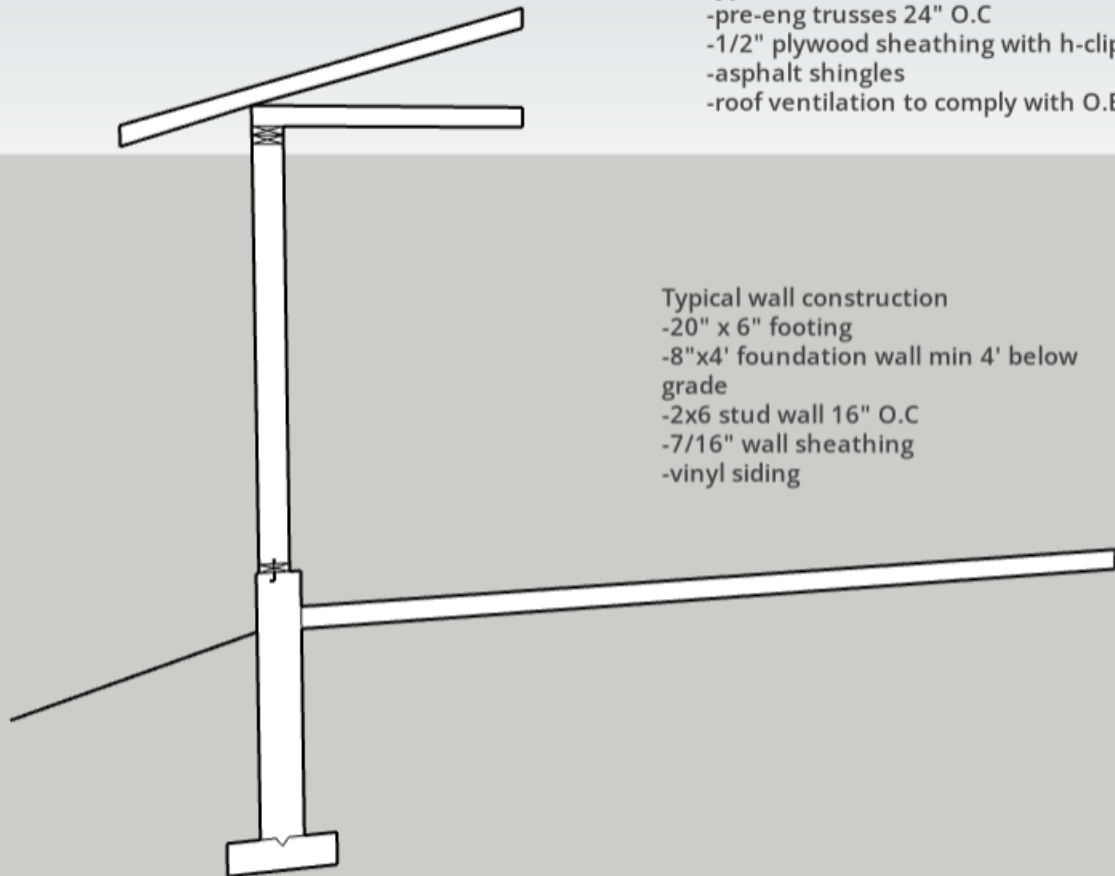


oint







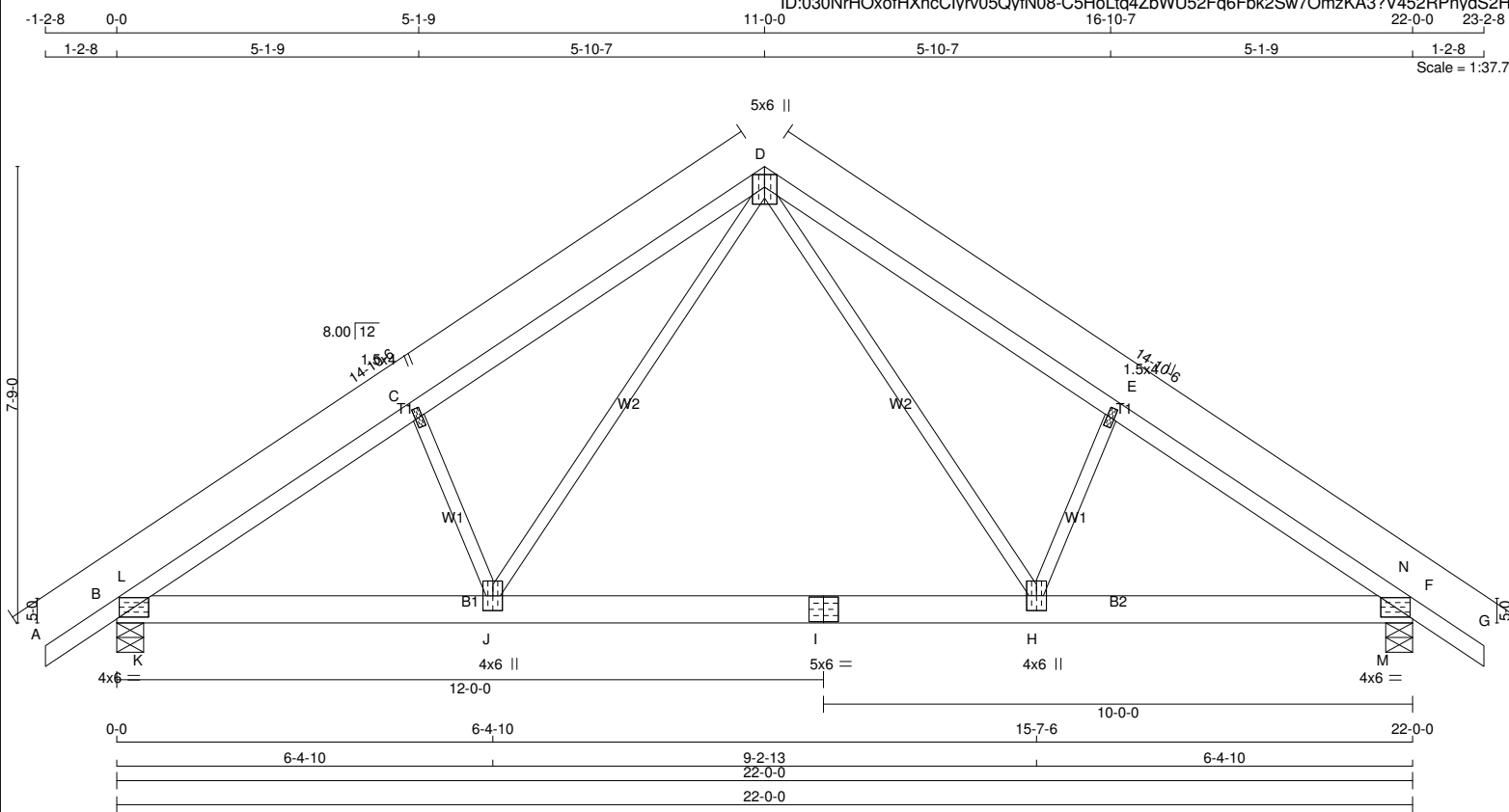


typical roof construction

- pre-eng trusses 24" O.C
- 1/2" plywood sheathing with h-clips
- asphalt shingles
- roof ventilation to comply with O.B.C

Typical wall construction

- 20" x 6" footing
- 8"x4' foundation wall min 4' below grade
- 2x6 stud wall 16" O.C
- 7/16" wall sheathing
- vinyl siding



TOTAL WEIGHT = 17 X 92 = 1569 lb

[M][F]

LUMBER			
N. L. G. A. RULES			
CHORDS	SIZE	LUMBER	DESCR.
A - D	2x4	DRY No.2	SPF
D - G	2x4	DRY No.2	SPF
B - I	2x6	DRY 1650F 1.5E	SPF
I - F	2x6	DRY 1650F 1.5E	SPF
ALL WEBS	2x3	DRY No.2	SPF
DRY: SEASONED LUMBER.			

PLATES (table is in inches)					
JT	TYPE	PLATES	W	LEN	Y X
B	TMB1-I	MT20	4.0	6.0	
C	TMW+w	MT20	1.5	4.0	
D	TTWW+p	MT20	5.0	6.0	Edge
E	TMW+w	MT20	1.5	4.0	
F	TMB1-I	MT20	4.0	6.0	
H	BMWW+t	MT20	4.0	6.0	
I	BS-t	MT20	5.0	6.0	
J	BMWW+t	MT20	4.0	6.0	

Edge - INDICATES REFERENCE CORNER OF PLATE TOUCHES EDGE OF CHORD.

DIMENSIONS, SUPPORTS AND LOADINGS SPECIFIED BY FABRICATOR TO BE VERIFIED BY BUILDING DESIGNER

JT	FACTORED GROSS REACTION		MAXIMUM FACTORED GROSS REACTION		INPUT BRG		REQRD BRG	
	VERT	HORZ	DOWN	HORZ	UPLIFT	IN-SX	IN-SX	
B	1730	0	1730	0	0	5-8	5-8	
F	1730	0	1730	0	0	5-8	5-8	

JT	1ST LCASE COMBINED		MAX./MIN. COMPONENT REACTIONS				WIND	DEAD	SOIL
	SNOW	LIVE	PERM.	LIVE					
B	1270	572 / 0	0 / 0	0 / 0	0 / 0	0 / 0	697 / 0	0 / 0	0 / 0
F	1270	572 / 0	0 / 0	0 / 0	0 / 0	0 / 0	697 / 0	0 / 0	0 / 0

BEARING MATERIAL TO BE SPF NO.2 OR BETTER AT JOINT(S) B, F

BRACING
TOP CHORD TO BE SHEATHED OR MAX. PURLIN SPACING = 4.10 FT.
MAX. UNBRACED BOTTOM CHORD LENGTH = 10.00 FT. OR RIGID CEILING DIRECTLY APPLIED.

ALL PITCH BREAKS AND PERIMETER CORNER JOINTS MUST BE Laterally RESTRAINED.

LOADING

TOTAL LOAD CASES: (4)

CHORDS					WEBS				
MEMB.	MAX. FACTORED FORCE (LBS)	FACTORED VERT. LOAD (PLF)	LC1	MAX CSI (LC)	MAX. UNBRAC LENGTH	MEMB.	MAX. FACTORED FORCE (LBS)	MAX CSI (LC)	
FR-TO		FROM	TO			FR-TO			
A- B	0 / 30	-84.9	-84.9	0.10 (1)	10.00	D- H	0 / 1170	0.28 (4)	
B- L	-2355 / 0	-84.9	-84.9	0.09 (1)	4.40	H- E	-467 / 0	0.11 (1)	
L- C	-2333 / 0	-84.9	-84.9	0.40 (1)	4.10	J- D	0 / 1170	0.28 (4)	
C- D	-2182 / 0	-84.9	-84.9	0.48 (1)	4.15	C- J	-467 / 0	0.11 (1)	
D- E	-2182 / 0	-84.9	-84.9	0.48 (1)	4.15	K- L	-173 / 36	0.00 (1)	
E- N	-2333 / 0	-84.9	-84.9	0.40 (1)	4.10	M- N	-173 / 36	0.00 (1)	
N- F	-2355 / 0	-84.9	-84.9	0.09 (1)	4.40				
F- G	0 / 30	-84.9	-84.9	0.10 (1)	10.00				
B- K	0 / 1966	-62.5	-62.5	0.21 (1)	10.00				
K- J	0 / 1966	-62.5	-62.5	0.43 (4)	10.00				
J- I	0 / 1172	-62.5	-62.5	0.37 (4)	10.00				
I- H	0 / 1172	-62.5	-62.5	0.37 (4)	10.00				
H- M	0 / 1966	-62.5	-62.5	0.43 (4)	10.00				
M- F	0 / 1966	-62.5	-62.5	0.21 (1)	10.00				

DESIGN CRITERIA

SPECIFIED LOADS:			
TOP CH.	LL	=	23.3 PSF
	DL	=	6.0 PSF
BOT CH.	LL	=	0.0 PSF
	DL	=	25.0 PSF
TOTAL LOAD	=	54.3	PSF

SPACING = 24.0 IN.C/C

THIS TRUSS IS DESIGNED FOR RESIDENTIAL OR SMALL BUILDING REQUIREMENTS OF PART 9, NBC 2020

THIS DESIGN COMPLIES WITH:
- PART 9 OF BCBC 2024, NBC-2023AE, MBC 2024, OBC 2024
- CSA 086-19
- TPIC 2019

(55 % OF 27.2 P.S.F. G.S.L. PLUS 8.4 P.S.F. RAIN LOAD) EQUALS 23.3 P.S.F. SPECIFIED ROOF LIVE LOAD

ALLOWABLE DEFL.(LL)= L/360 (0.73")
CALCULATED VERT. DEFL.(LL) = L/ 999 (0.05")
ALLOWABLE DEFL.(TL)= L/360 (0.73")
CALCULATED VERT. DEFL.(TL) = L/ 999 (0.20")

CSI: TC=0.48/1.00 (C-D:1) , BC=0.43/1.00 (H-M:4) , WB=0.28/1.00 (D-H:4) , SSI=0.30/1.00 (H-J:4)

DOL LUMBER=0.96 NAIL=0.96 LS BEND=1.10
COMP=1.10 SHEAR=1.10 TENS= 1.10

COMPANION LIVE LOAD FACTOR = 1.00

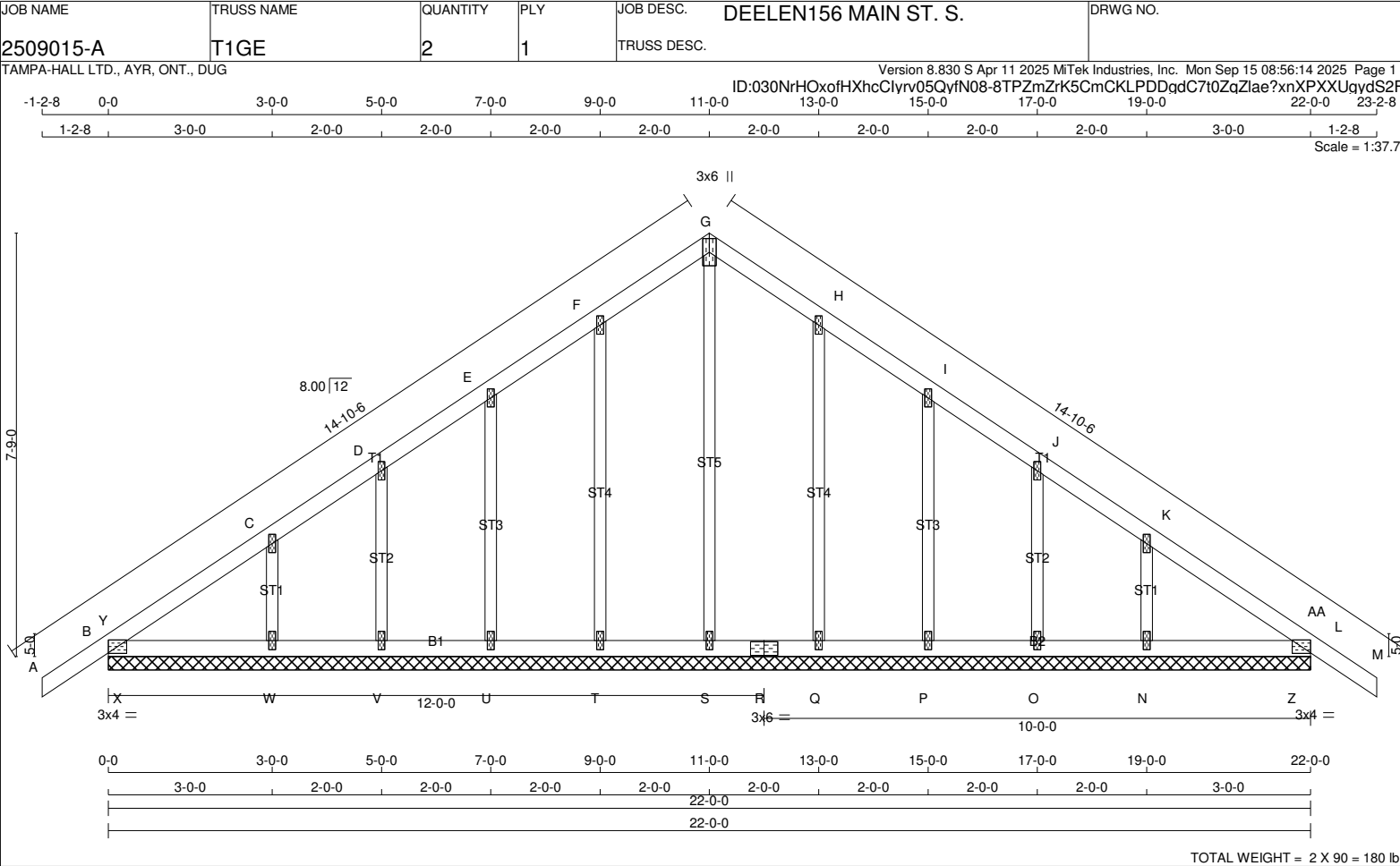
TRUSS PLATE MANUFACTURER IS NOT RESPONSIBLE FOR QUALITY CONTROL IN THE TRUSS MANUFACTURING PLANT .

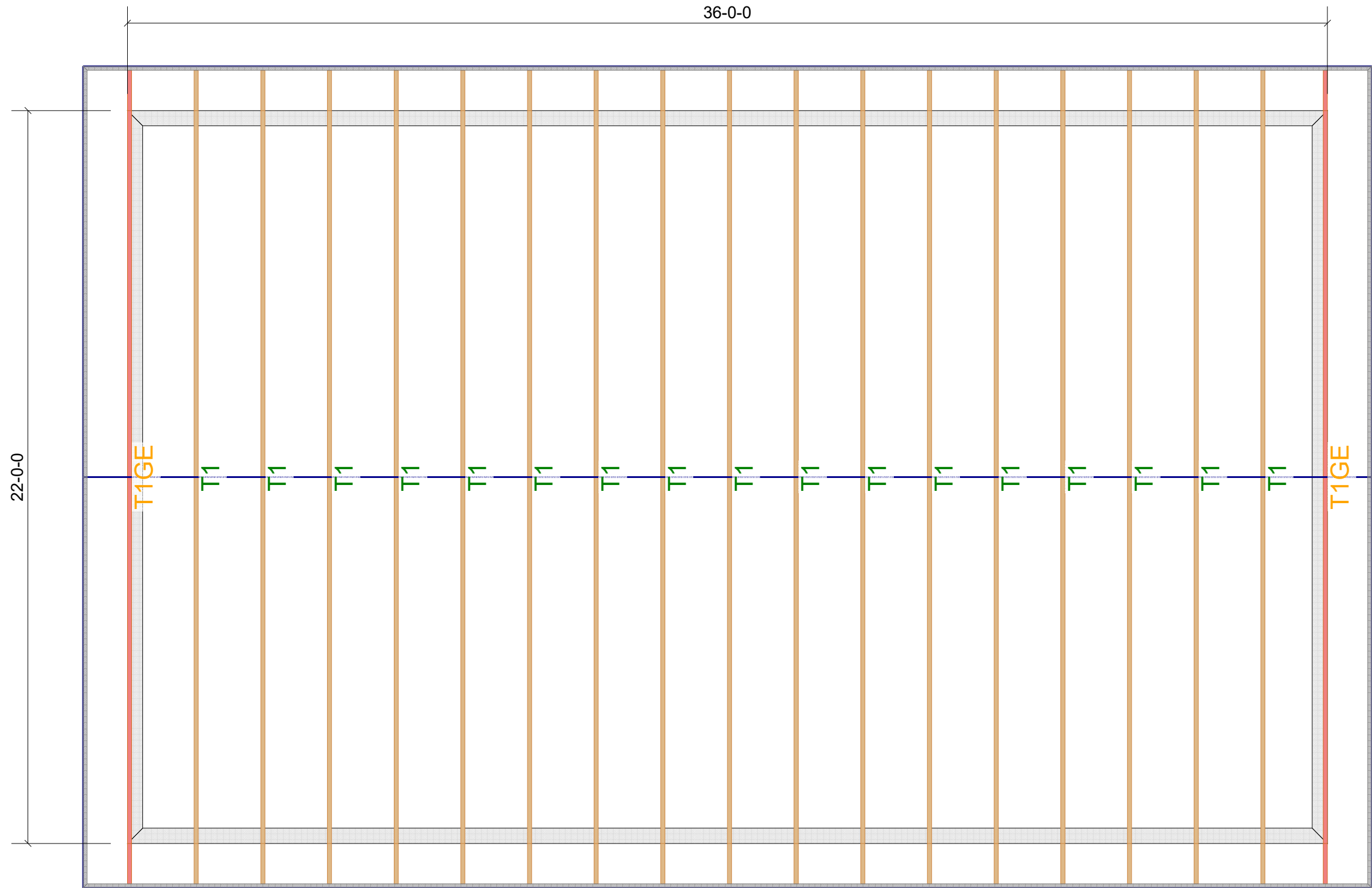
NAIL VALUES			
PLATE GRIP(DRY)	SHEAR (PSI)	SECTION (PLI)	
	MAX MIN	MAX MIN	MAX MIN
MT20	650 371	1747 788	1987 1873

PLATE PLACEMENT TOL. = 0.375 inches

PLATE ROTATION TOL. = 10.0 Deg.

JSI GRIP= 0.88 (B) (INPUT = 0.90)
JSI METAL= 0.57 (I) (INPUT = 1.00)





1. THE PROPER TRANSFER OF LOADS THROUGH THE SUPPORTING STRUCTURE TO THE SUPPORTING SOIL IS THE RESPONSIBILITY OF OTHERS.
 2. DESIGN OF LATERAL SUPPORT SUCH AS TRUSS BRACING IS TO BE BY OTHERS.
 3. CONVENTIONALLY FRAMED AREAS AS PER O.B.C. AND WHERE TRUSS SUPPORT OVERLAY LOADS, MUST BE UNIFORMLY DISTRIBUTED.
 4. THIS LAYOUT IS BASED ON INFORMATION SUPPLIED TO TAMPA HALL LIMITED BY OTHERS, AND TAMPA HALL ASSUMES NO RESPONSIBILITY FOR INCORRECT INFORMATION SUPPLIED TO US.
- PRICE IS AS PER TRUSS LAYOUT SUBJECT TO ALL DETAILS AND DIMENSIONS
 - ALL HATCHED AREA TO BE SUPPLIED AND SITE FRAMED BY OTHERS
 - 8/12 ROOF PITCH
 - 16" FINISHED OVERHANGS
 - 5" TRUSS HEELS
 - 2X6 FASCIA BOARD
 - TRUSSES SPACED 24"O.C.
- *** REFER TO TRUSS DRAWINGS FOR SPANS, PROFILES, AND OTHER IMPORTANT INFO***

ROOF TRUSS LAYOUT
SCALE: NTS

TAMPAHALL

LIMITED

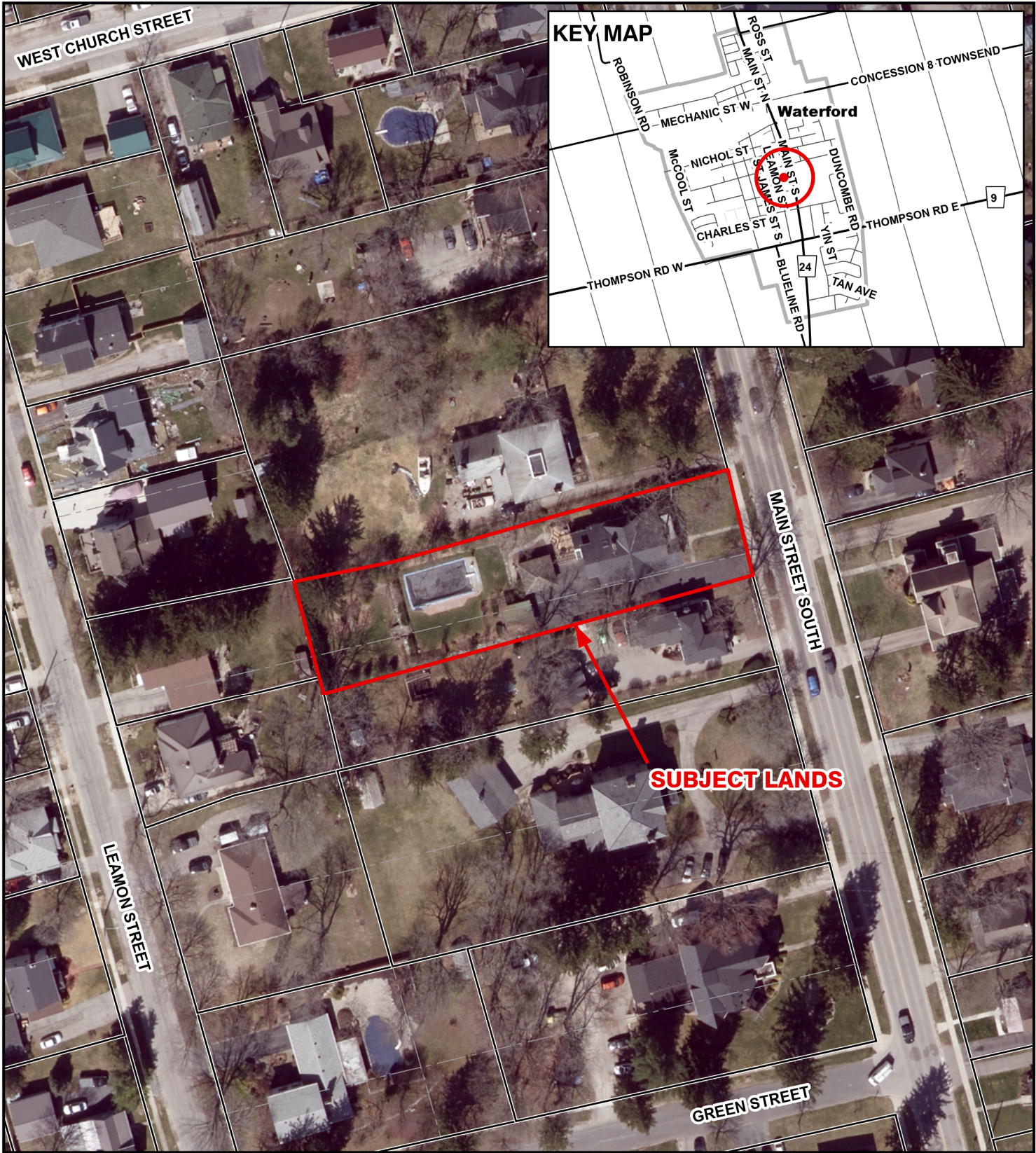
100 Guthrie Street, Ayr, Ontario, N0B 1E0
1-800-265-8737 / 519-632-7437 / Fax 519-632-7408




CLIENT : CASIER CONTRACTING	
JOB DESC. : DEELEN	
JOB LOCATION : 156 MAIN ST. S., WATERFORD	JOB # : 2509015-A
DATE : SEPT. 15, 2025	DRAWN BY : DUG

MAP A
CONTEXT MAP
Urban Area of WATERFORD

ANPL2025348

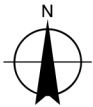


Legend

 Subject Lands

2020 Air Photo

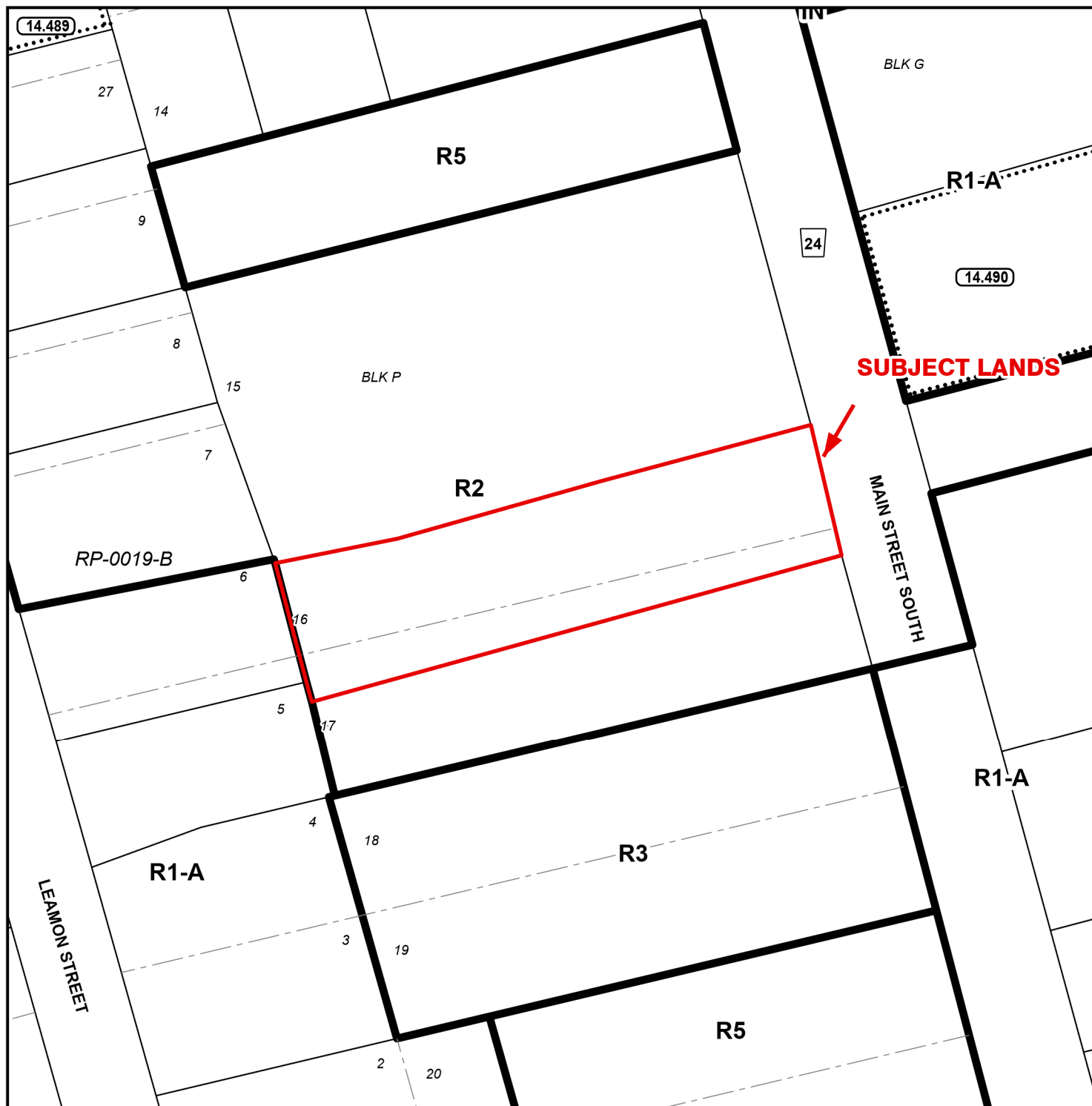
11/7/2025



8 4 0 8 16 24 32
Meters

MAP B
ZONING BY-LAW MAP
 Urban Area of WATERFORD

ANPL2025348



LEGEND

Subject Lands

ZONING BY-LAW 1-Z-2014

11/7/2025

(H) - Holding

IN - Neighbourhood Institutional Zone

R1-A - Residential R1-A Zone

R2 - Residential R2 Zone

R3 - Residential R3 Zone

R5 - Residential R5 Zone

