



**For Office Use Only:**

File Number \_\_\_\_\_  
Related File Number \_\_\_\_\_  
Application Submitted \_\_\_\_\_  
Complete Application \_\_\_\_\_

Application Fee \_\_\_\_\_  
Conservation Authority Fee \_\_\_\_\_  
Well & Septic Info Provided \_\_\_\_\_  
Planner \_\_\_\_\_  
Public Notice Sign \_\_\_\_\_

**Check the type of planning application(s) you are submitting.**

- Standard Minor Variance
- Complex Minor Variance (After the fact)
- Routine Minor Variance

**Property Assessment Roll Number:** 331054107000145000

**A. Applicant Information**

**Name of Owner** Cartmel Curtis

It is the responsibility of the owner or applicant to notify the planner of any changes in ownership within 30 days of such a change.

**Address** 1954 Concession Rd STR

**Town and Postal Code** Norfolk County N4B 2W4

**Phone Number** 519 717 3931

**Cell Number** \_\_\_\_\_

**Email** Cartmel08@gmail.com

**Name of Authorized Applicant** Martin Harder

**Address** 656 Regenal Rd 38 Eden ON

**Town and Postal Code** N4G 4G9

**Phone Number** 226-376-3968

**Cell Number** martinharder7@gmail.com

**Email** \_\_\_\_\_



Name of Authorized Agent

Martin Harder

Address

656 Regenal Rd 38 Eden on

Town and Postal Code

N4G2 ~~9G~~ 4G9

Phone Number

martinharder7@gmail.com

Cell Number

Email

Please specify to whom all communications should be sent. Unless otherwise directed, all correspondence and notices in respect of this application will be forwarded to the owner and agent noted above.

Owner

Agent

Applicant

Names and addresses of any holder of any mortgagees, charges or other encumbrances on the subject lands:

**B. Location, Legal Description and Property Information**

1. Legal Description (include Geographic Township, Concession Number, Lot Number, Block Number and Urban Area or Hamlet):

1454 1st Concession Rd Norfolk County  
DEAL NO N4R 2W4

Municipal Civic Address:

Land acquisition date (if known):

Present Official Plan Designation(s): Agricultural

Present Zoning: Agricultural

2. Is there a special provision or site specific zone on the subject lands?

Yes  No

If yes, please specify:

3. Present use of the subject lands:

Residential

4. Please describe **all existing and proposed** buildings and structures on the subject lands and whether they are to be retained, demolished or removed.

	Existing	Proposed
Type of Building		
Number of Storey(s)	House 203 sqm	Addition granny sweet
Number of Dwelling Units per lot	1	of 92 sqm
Buildings/Structures/ARDU Width (m)		
Building/ Structures /ARDU Length (m)		
Building/ Structures /ARDU Height (m)		295
Usable Floor Area (sq.m)	Existing is 203 sqm	What Addition it will be 92 sqm
Lot coverage	Existing is 5%	What Addition Then it will be 9.8%

5. If an addition to an existing building is being proposed, please explain what it will be used for (for example a bedroom, kitchen, or bathroom). If new fixtures are proposed, please describe.

Proposed addition granny sweet of 92 sqm w/ Bath Room & Kitchen

6. Are any existing buildings on the subject lands designated under the *Ontario Heritage Act* as being architecturally and/or historically significant?

Yes  No

If yes, identify and provide details of the building:

\_\_\_\_\_

7. If known, the length of time the existing uses have continued on the subject lands:

\_\_\_\_\_

8. Existing use of abutting properties:

Residential on L side & on Right side Agricultural across The Street

9. Are there any easements or restrictive covenants affecting the subject lands?

Yes  No If yes, describe the easement or restrictive covenant and its effect:

\_\_\_\_\_

**C. Zoning Review (chart must be completed in metric units)**

Please fill out the required information for the main and accessory buildings and structures

	Zoning By-law Requirement	Proposed	Deficiency
Lot area (m <sup>2</sup> )		Addition of 90 sqm	Deficiency of 20 sqm
Lot frontage (m)		1.8 m from N/w side	Deficiency of 1.0 m
Lot depth (m)			
Front Yard Setback (m)			
Left Side Yard Setback (m)		1.8 metres	1.2 metres
Right Side Yard Setback (m)			
Rear Yard Setback (m)			
Exterior side yard (if applicable) (m)			
Height (m)			
Lot coverage (%)			
Buildings/structures separation (m)			
Detached Additional Dwelling Unit (ADU) or Accessory Building		92 sq metres	20 square metres
i) Usable floor area (m <sup>2</sup> )			
ii) Height (m)			
iii) Building separation (m)			
Number of parking spaces			

**D. Previous Use of the Property**

1. Has there been an industrial or commercial use on the subject lands or adjacent lands?

Yes  No  Unknown

If yes, specify the uses (for example: gas station, or petroleum storage):

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2. Is there reason to believe the subject lands may have been contaminated by former uses on the site or adjacent sites?

Yes  No  Unknown

3. Provide the information you used to determine the answers to the above questions:

~~owner~~ owner of House at 1150  
land developer The did The House 08 Years Ago

4. If you answered yes to any of the above questions in Section D, a previous use inventory showing all known former uses of the subject lands, or if appropriate, the adjacent lands, is needed. Is the previous use inventory attached?

Yes  No

**E. Provincial Policy**

1. Is the requested amendment consistent with the Provincial Planning Statements issued under subsection 3(1) of the *Planning Act, R.S.O. 1990, c. P. 13*?

Yes  No

If you answered no, please explain:

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2. It is the owner's responsibility to be aware of and comply with all relevant federal or provincial legislation, municipal by-laws or other agency approvals, including the Endangered Species Act, 2007. Have the subject lands been screened to ensure that development or site alteration will not have any impact on the habitat for endangered or threatened species further to the Provincial Planning Statement?

Yes  No

If no, please explain:

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3. Have the subject lands been screened to ensure that development or site alteration will not have any impact on source water protection?

Yes  No

If no, please explain:

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Note: If the subject lands are in an area of source water Wellhead Protection Area (WHPA) A, B or C, Issue Contributing Area, Intake Protection zone, please attach relevant information and approved mitigation measures from the Risk Manager Official.

4. Does the property have any significant environmental features on the subject land or within 500 metres:

Yes  No

If yes, indicate:  Significant Woodland  Provincially Significant Wetland  Floodplain  Other \_\_\_\_\_

5. Does the property have any livestock facility or stockyard on the subject land or within 1000 metres:

Yes  No

If yes, the submission of Minimum Distance Separation (MDS) calculations may apply.

**F. Servicing and Access**

1. Indicate what services are available or proposed:

Water Supply

Municipal piped water

Communal wells

Individual wells

Other (describe below)

Sand Pont

Sewage Treatment

- Municipal sewers  Communal system  
 Septic tank and tile bed in good working order  Other (describe below)
- 

Storm Drainage

- Storm sewers  Open ditches  
 Other (describe below)
- 

2. Existing or proposed access to subject lands:

- Municipal road  Provincial highway  
 Unopened road  Other (describe below)

Name of road/street: 1954 1st Concession Rd  
Norfolk County N4B 2W4

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**G. Other Information**

Is there any other information that you think may be useful in the review of this application? If so, explain below or attach on a separate page.

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## **H. Supporting Material to be submitted by Applicant**

In order for your application to be considered complete, folded hard copies and an electronic version of the site plan drawings, additional plans, studies and reports will be required in addition to a sketch plan in accordance with Ontario Regulation 200/96.

### **i. Sketch in Metric Units**


A sketch showing the following, in metric units:

- a) The boundaries and dimensions of the subject land.
- b) The location, size, dimensions, and type of all existing and proposed buildings and structures on the subject land, indicating the distance of the buildings or structures from the front yard lot line, rear yard lot line and the side yard lot lines.
- c) The approximate location of all natural and artificial features on the subject land and on land that is adjacent to the subject land that, in the opinion of the applicant, may affect the application. Examples include buildings, railways, roads, watercourses, drainage ditches, river or stream banks, wetlands, wooded areas, wells and septic tanks.
- d) The current uses on land that is adjacent to the subject land.
- e) The location, width and name of any roads within or abutting the subject land, indicating whether it is an unopened road allowance, a public travelled road, a private road or a right of way.
- f) If access to the subject land is by water only, the location of the parking and docking facilities to be used.
- g) The location and nature of any easement affecting the subject land.
- h) Location and setbacks of septic system and well from all existing and proposed lot lines, and all existing and proposed structures.

**From:** Martin Harder  
**To:** DCS Committee of Adjustment  
**Date:** February 5, 2026 9:51:38 AM

You don't often get email from martinharder7@gmail.com. [Learn why this is important](#)

**CAUTION:** This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.



**I. Transfers, Easements and Postponement of Interest**  
The owner acknowledges and agrees that if required it is their solicitor's responsibility on behalf of the owner to undertake the registration of all transfer(s) of land to the County, and/or transfer(s) of easement in favour of the County and/or utilities. The owner further acknowledges and agrees that it is their solicitor's responsibility on behalf of the owner to undertake the registration of postponements of any charges in favour of the County.

**Permission to Enter Subject Lands**  
Permission is hereby granted to Norfolk County officers, employees or agents, to enter the premises subject to this application for the purpose of making inspections associated with this application, during normal and reasonable working hours.

**Freedom of Information**  
For the purposes of the *Municipal Freedom of Information and Protection of Privacy Act*, I authorize and consent to the use by or the disclosure to any person or public body any information that is collected under the authority of the *Planning Act, R.S.O. 1990, c. P. 13* for the purpose of processing this application.

[Signature] \_\_\_\_\_  
Owner/Applicant/Agent Signature      01/19/2026 \_\_\_\_\_  
Date

**J. Owner's Authorization**  
If the authorized applicant/agent is not the registered owner of the lands that is the subject of this application, the owner must complete the authorization set out below.

I/We Curtis Castine am/are the registered owner(s) of the lands that is the subject of this application.

I/We authorize Martin Harder to make this application on my/our behalf and to provide any of my/our personal information necessary for the processing of this application. Moreover, this shall be your good and sufficient authorization for so doing.

Curtis Castine \_\_\_\_\_  
Owner      01/19/2026 \_\_\_\_\_  
Date

Kenneth Castine \_\_\_\_\_  
Owner      01/19/2026 \_\_\_\_\_  
Date

**Note:** If property is owned by an Ontario Ltd. Corporation, Articles of Incorporation are required to be attached to the application.

Page 11 of 12



**I. Transfers, Easements and Postponement of Interest**

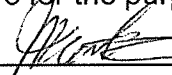
The owner acknowledges and agrees that if required it is their solicitor's responsibility on behalf of the owner to undertake the registration of all transfer(s) of land to the County, and/or transfer(s) of easement in favour of the County and/or utilities. The owner further acknowledges and agrees that it is their solicitor's responsibility on behalf of the owner to undertake the registration of postponements of any charges in favour of the County.

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X 

Owner/Applicant/Agent Signature

+ 02/05/2026

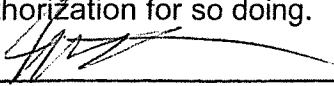
Date

**J. Owner's Authorization**

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I/We Martin Harder am/are the registered owner(s) of the lands that is the subject of this application.

I/We authorize \_\_\_\_\_ to make this application on my/our behalf and to provide any of my/our personal information necessary for the processing of this application. Moreover, this shall be your good and sufficient authorization for so doing.

X 

Owner

+ 02/05/2026

Date

\_\_\_\_\_

Owner

\_\_\_\_\_

Date

**\*Note: If property is owned by an Ontario Ltd. Corporation, Articles of Incorporation are required to be attached to the application.**



**K. Declaration**

I, Martin Harder of Norfolk County

solemnly declare that:

all of the above statements and the statements contained in all of the exhibits transmitted herewith are true and I make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath and by virtue of *The Canada Evidence Act*.

Declared before me at:

Simcoe, Ont.

+ [Signature]

Owner/Applicant/Agent Signature

In Norfolk County

This 5<sup>th</sup> day of February 2024

A.D., 20 26

Sherry Ann Mott, a  
Commissioner, etc., Province of Ontario.  
for the Corporation of Norfolk County.  
Expires March 16, 2023.

[Signature]  
A Commissioner, etc.



**I. Transfers, Easements and Postponement of Interest**

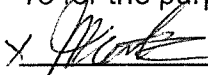
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X  \_\_\_\_\_  
Owner/Applicant/Agent Signature

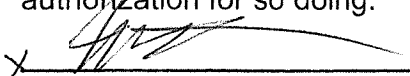
+ 02/05/2026 \_\_\_\_\_  
Date

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I/We authorize \_\_\_\_\_ to make this application on my/our behalf and to provide any of my/our personal information necessary for the processing of this application. Moreover, this shall be your good and sufficient authorization for so doing.

X  \_\_\_\_\_  
Owner

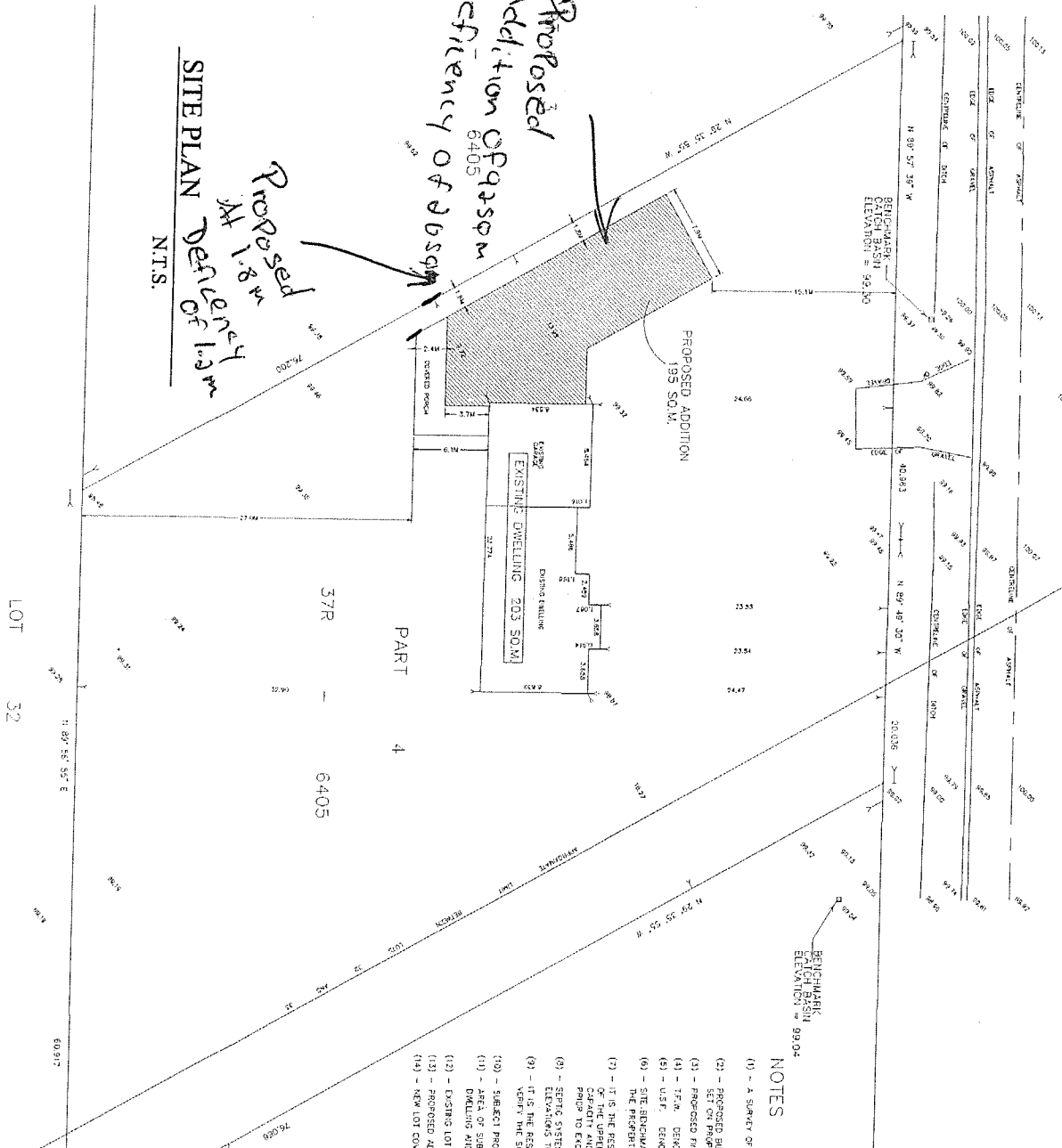
+ 02/05/2026 \_\_\_\_\_  
Date

\_\_\_\_\_  
Owner

\_\_\_\_\_  
Date

**\*Note:** If property is owned by an Ontario Ltd. Corporation, Articles of Incorporation are required to be attached to the application.

ALLOWANCE BETWEEN CONCESSIONS 1 S.T.R. AND 2 S.T.R.



NOTES

- (1) - A SURVEY OF THE SUBJECT PROPERTY HAS NOT BEEN MADE AVAILABLE.
- (2) - PROPOSED BUILDING POSITIONED BY CALCULATIONS AND PHYSICAL MEASURES SET ON PROPERTY BY CLIENT.
- (3) - PROPOSED FINAL GRADES ARE SHOWN - ~~SEE~~ AND ARE IN METERS.
- (4) - T.F.M. DENOTES TOP OF FOUNDATION WALL.
- (5) - U.S.T. DENOTES UNDERSE OF FOOTING.
- (6) - SITE BENCHMARK SPINE SET IN THE METRO POLE TO THE EAST OF THE PROPERTY HAVING AN ASSUMED ELEVATION OF 99.59 METERS.
- (7) - IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE ELEVATION OF THE UPPER LIMIT OF THE PROPOSED FLOOR, SILL BEARING CAPACITY AND THE ELEVATION OF THE VISIBLE SIDE OF FOUNDING PILING TO EXCAVATION.
- (8) - SEPTIC SYSTEM TO BE DESIGNED BY OWNER.
- (9) - IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE SITE BENCH MARK PRIOR TO EXCAVATION.
- (10) - SUBJECT PROPERTY AREA = 600.3 SQUARE METERS.
- (11) - AREA OF SUBJECT PROPERTY COVERED BY PROPOSED DWELLING AND GARAGE = 393.3 SQUARE METERS.
- (12) - EXISTING LOT COVERAGE = 5.0%
- (13) - PROPOSED ADDITION = 195 SQUARE METERS.
- (14) - NEW LOT COVERAGE = 9.6%

GENERAL NOTES:

NO. OF SHEETS	7/1 SHEET
SQUARE FOOTAGE	400 SQ FT
GARAGE	7/1 SHEET
MANUFACTURING	7/1 SHEET
DATE	1993
DESCRIPTION	PROPOSED RESIDE

**VIEW-IT DESIGN**  
 1954 1ST CONCESSION ROAD  
 DELHI, ON

**CARTMEL RESIDENCE**  
 1954 1ST CONCESSION ROAD  
 DELHI, ON

PROPOSED HOUSE ADDITION PLANS  
 SITE PLAN

DRAWN BY: TONY WALL SCALE: 3/8" = 1'-0"  
 ENGINEER: FOR 3241  
 DATE: DECEMBER 2003  
 SHEET NO. 107-5

**AS**

PROPOSED ADDITION OF 195 SQ.M.  
 AT 1.8M  
 DEFICIENCY OF 1.3M

SITE PLAN  
 N.T.S.



# Zoning Review Comments

## 1950 1ST CONCESSION ROAD STR

### PRBD20251695

This letter is issued pursuant to Norfolk County By-Law 1-Z-2014 as amended.  
**Issued date: January 14, 2026**

Martin Harder  
 656 COLONEL TALBOT ROAD, 656, Colonel Talbot  
 Tillsonburg, ON N4G 4G9

As a part of the Building Permit application process, zoning review and compliance to our zoning Bylaw 1-Z-2014 is required prior to the issuance of a permit. Your application is currently under zoning review and the following comments below must be addressed in order to achieve zoning compliance.

Review Item	Comments
<b>Applicable Law Review</b> Completed By: Julia Post  January 12, 2026	<b>Status: Complete</b>
<b>Lot Grading Approval</b> Completed By: Julia Post  January 12, 2026	<b>Status: OLS/P.ENG Exemption Received</b>
<b>Zoning Review</b> Completed By: Troy Scriven  January 12, 2026	<b>Status: Waiting for Planning App.</b>  Deficiencies:
January 14, 2026	1) The proposed useable floor area of the accessory dwelling unit is deficient. The maximum useable floor area for an ADU is 75 square meters and the proposed is 92 square meters. 2) The proposed interior side yard setback is deficient. The minimum required interior side yard setback is 3 meters and the proposed is 1.80 meters.  A planning application is required to permit the proposal. Please contact the planning department by phone: 519-426-5870 ext. 1842 or by email: <a href="mailto:planning@norfolkcounty.ca">planning@norfolkcounty.ca</a> to start the planning application process. Alternatively you can submit revised drawings that meet the minimum useable floor area and interior side yard setback requirements in the zoning by-law.
<b>Planning Review</b> Completed By:	<b>Status: Pending</b>

If you have any questions or concerns regarding this review, or need clarification on an item, please feel free to contact the undersigned, so we can help you through this process.

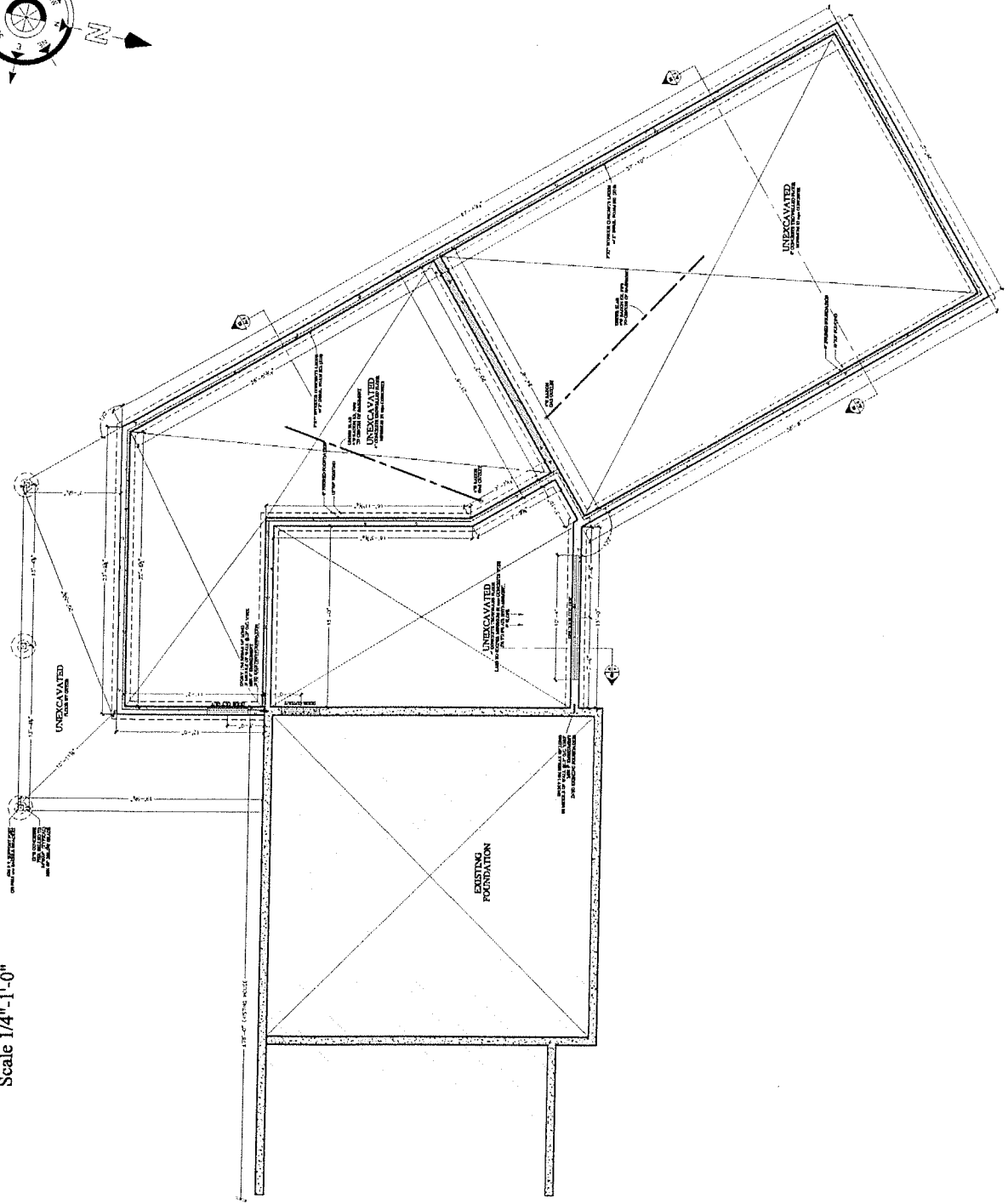
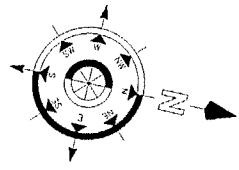
Once all items are address, please resubmit to [zoning@norfolkcounty.ca](mailto:zoning@norfolkcounty.ca) or our [online portal](#).

**Troy Scriven**  
 Zoning Administrator  
 Building and Bylaw Services  
 Community and Development Services

**Community and Development Services- Building Department**  
 12 Gilbertson Drive, Simcoe, Ontario, Canada, N3Y 4N5 - 519-426-5870 | 226-NORFOLK Extension 6016

# FOUNDATION PLAN

Scale 1/4"=1'-0"



## GENERAL NOTES:

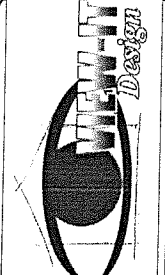
1. ALL DIMENSIONS TO EXTERIOR FOUNDATION WALLS UNLESS NOTED OTHERWISE.
2. ALL FOOTINGS SHALL BEAR DIRECTLY ON UNDISTURBED SOIL (AS SHOWN ON SOIL BORING REPORT - 2017-2018).
3. ALL EXTERIOR FOUNDATION WALLS SHALL BE CONCRETE ON 6" LAYERS OF 3" SAND AND PROTECTIVE MAXIMUM DRY DENSITY.
4. ALL EXTERIOR FOOTINGS SHALL BE A MINIMUM 12" FROM FINISH GRADE TO PROTECT FROM FROST ACTION.
5. CONCRETE FOR FLOOR SLABS SHALL HAVE A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 4000 PSI AND A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 4000 PSI UNLESS OTHERWISE SPECIFIED. (SCALE 1/4"=1'-0")
6. REINFORCING STEEL TO HAVE MINIMUM 1/2" COVER, MAXIMUM 7" COVER AT BOTTOM OF SLAB.

This document is prepared for the use of the client and is not to be used for any other purpose without the express written consent of the engineer. The engineer is not responsible for any errors or omissions in this document.

DATE: 12/15/2023  
BY: [Signature]

NO.	AREA	DESCRIPTION
1	MAIN FLOOR	711 S.F.
2	GAZONIC	400 S.F.
3	APRIL MAIN FLOOR	811 S.F.

NO.	AREA	DESCRIPTION
1	1311	PERMANENT



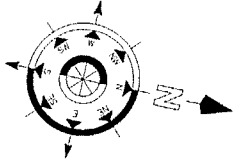
"PROPERTY OF VIEW-IT DESIGN"  
**VIEW-IT DESIGN**  
 8881 PORT CHARLOTTE  
 OFFICE: 318-543-1111  
 FAX: 318-543-1112

**CARTMEL RESIDENCE**  
 1954 1ST CONCESSION ROAD  
 DELHI, ON

PROPOSED HOUSE ADDITION PLANS  
 FOUNDATION PLAN

DRAWN BY: TORY WALL	SCALE: SEE DWG
SCR: 2020	POP: 12/11
DATE: DECEMBER 2023	
SHEET NO. 1 OF 5	<b>A1</b>

GENERAL NOTES:

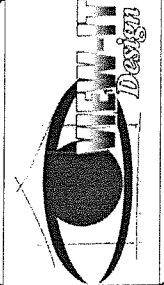


Project of this nature shall be the property of the architect and shall not be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of the architect.

Tom Wall  
12/18/2005

FLOOR	AREA	FOOTAGE
MAIN FLOOR	717 SQ. FT.	
2 CAR GARAGE	403 SQ. FT.	
1ST FLOOR	91 SQ. FT.	

REV.	DATE	DESCRIPTION
4		
3		
2		
1		PROJECT ISSUE



\*PROPERTY OF VIEW-IT DESIGN\*

VIEW-IT DESIGN  
6881 PORT BURWELL  
DELHI, OH 43015  
TEL: 614-891-1887  
FAX: 614-891-1887

CARTMEL RESIDENCE  
1954 1ST CONCESSION ROAD  
DELHI, OH

PROPOSED HOUSE ADDITION PLANS

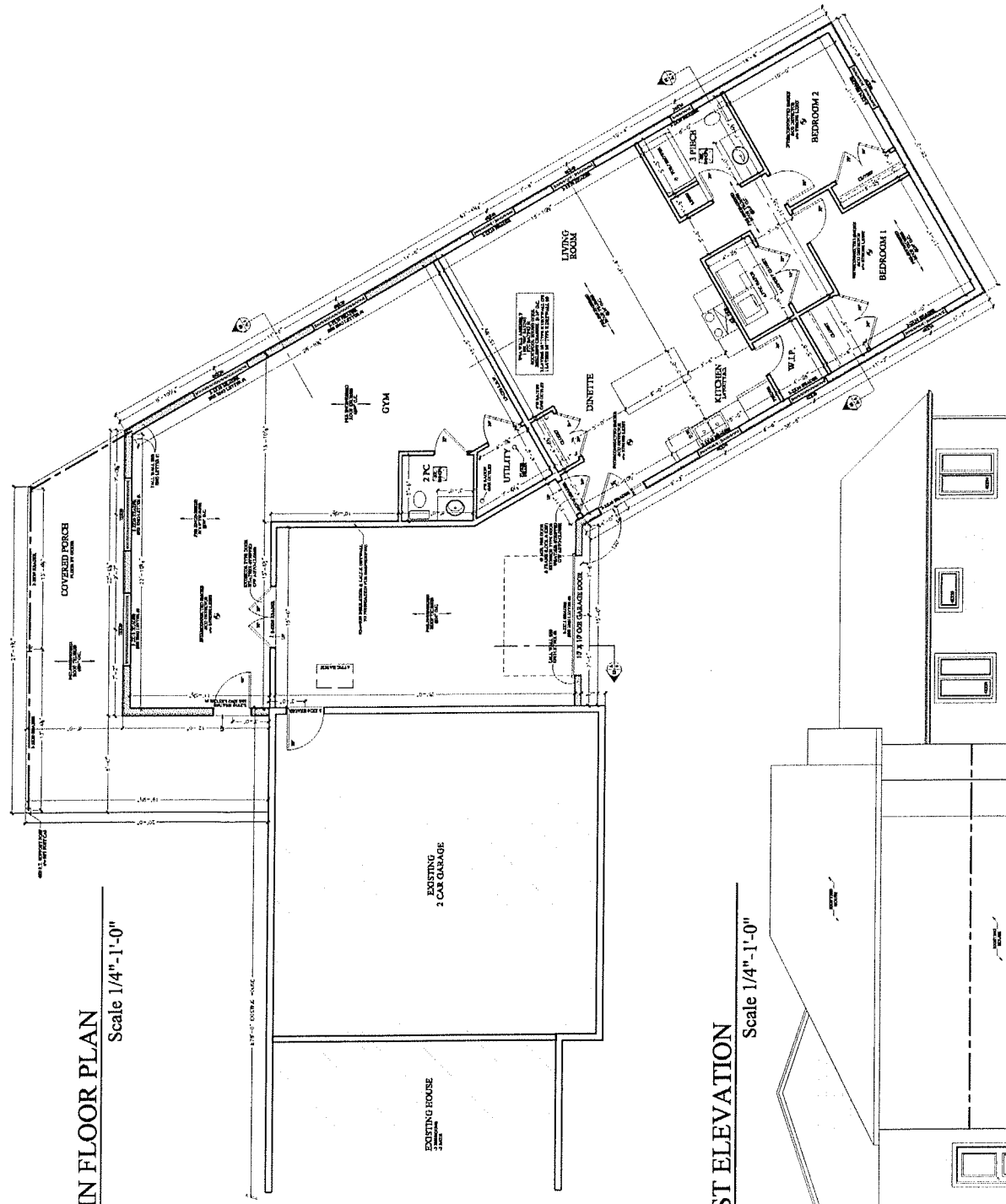
MAIN FLOOR PLAN

DRWNS BY:	TONY WALL	SCALE:	SEE DWG
DATE:	DECEMBER 2005		
SHEET NO.	1 OF 5		

A2

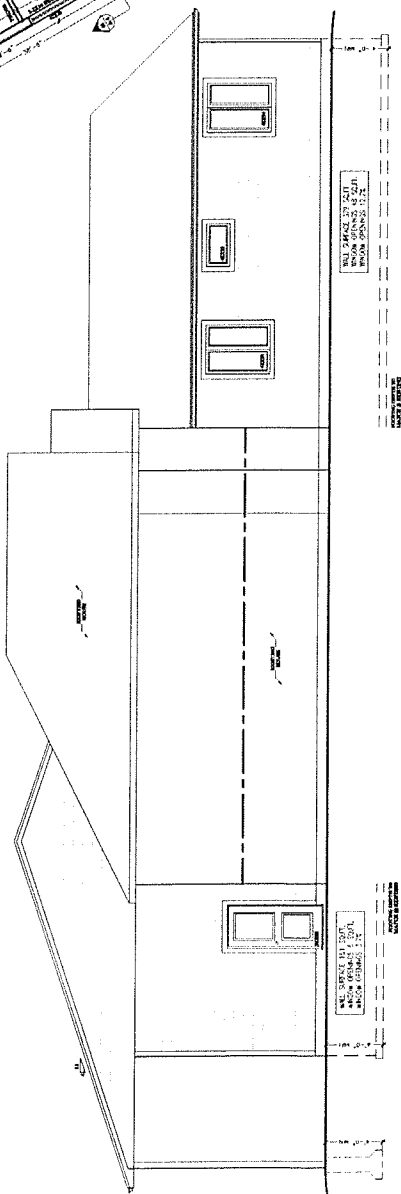
# MAIN FLOOR PLAN

Scale 1/4" = 1'-0"

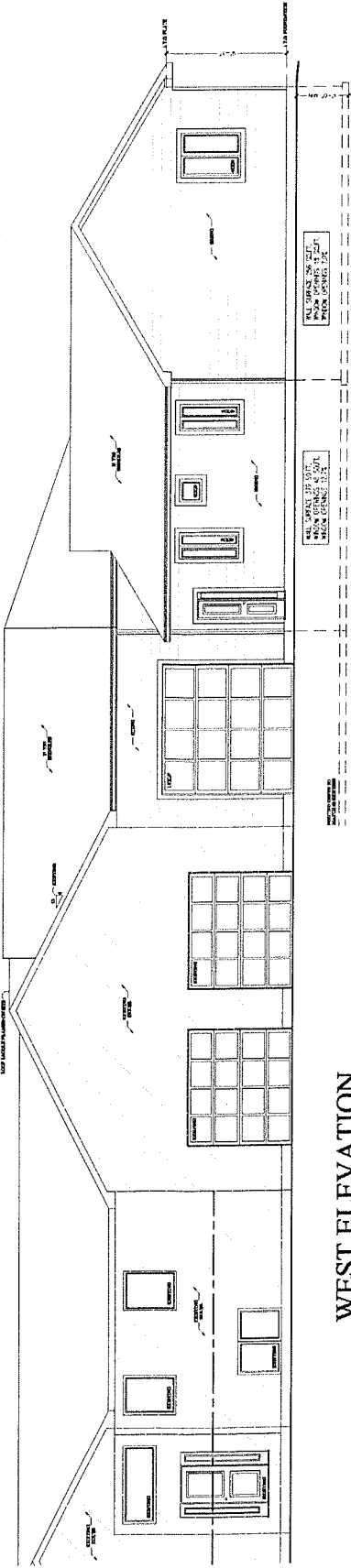


# EAST ELEVATION

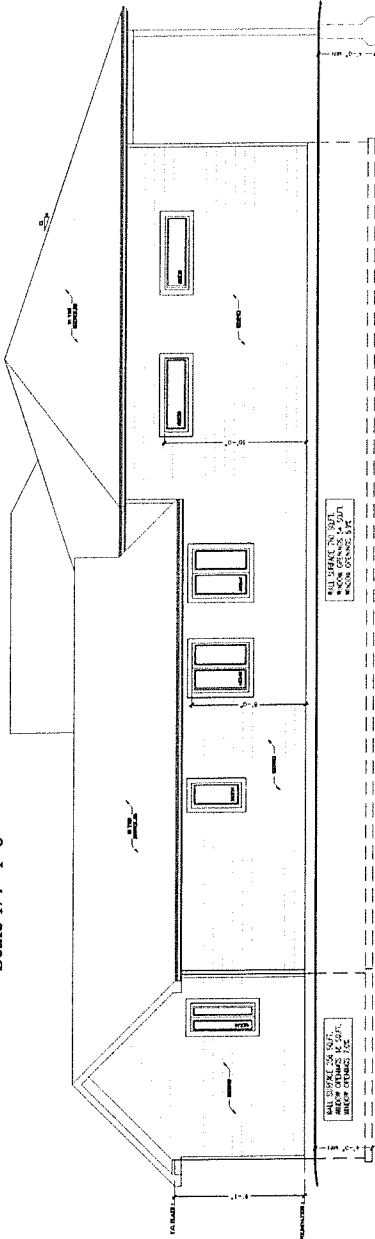
Scale 1/4" = 1'-0"



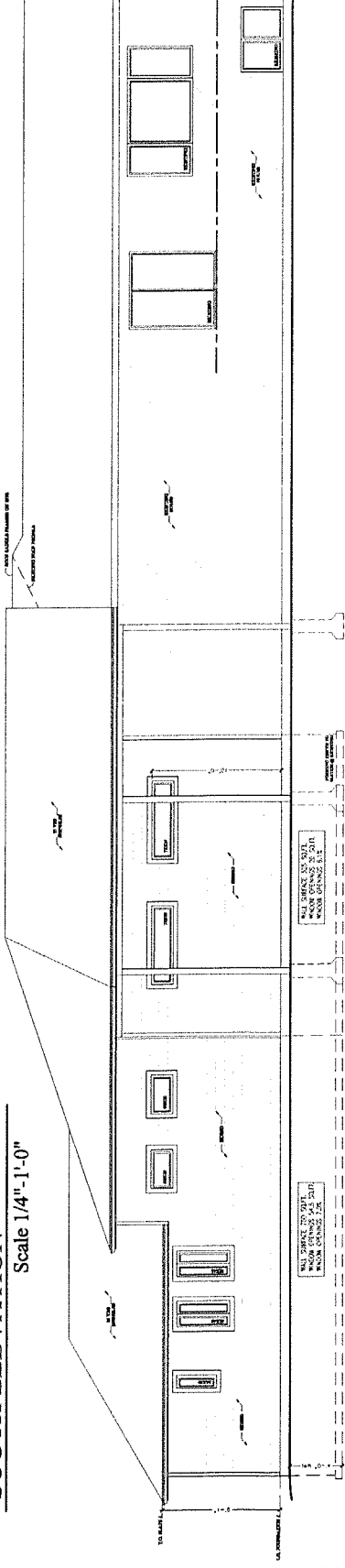
**NORTH ELEVATION**  
Scale 1/4"=1'-0"



**WEST ELEVATION**  
Scale 1/4"=1'-0"



**SOUTH ELEVATION**  
Scale 1/4"=1'-0"

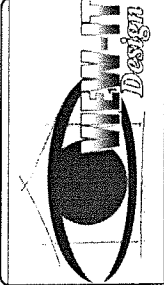


GENERAL NOTES:

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODES AND ALL APPLICABLE LOCAL ORDINANCES.  
2. ALL MATERIALS SHALL BE OF THE HIGHEST QUALITY AND SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.  
3. ALL WORK SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE LOCAL BUILDING DEPARTMENT.  
4. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.  
5. ALL WORK SHALL BE SUBJECT TO THE ARCHITECT'S GENERAL SUPERVISION AND CONTROL.

SQUARE FOOTAGE	
ADDITON	773 SQ. FT.
GARAGE	409 SQ. FT.
AUX. MAIN FLOOR	981 SQ. FT.

REV.	DATE	DESCRIPTION
4		
3		
2		
1	10/11	PROJECT BIDS



\*PROPERTY OF VIEW-IT DESIGN\*

VIEW-IT DESIGN  
8881 FORT BURWELL  
FAIRFAX, VA 22031-5887

CARTMEL RESIDENCE  
1934 1ST CROSSING ROAD  
DELER, ON

PROPOSED HOUSE ADDITION PLANS

ELEVATIONS	
DRAWN BY: TONY WALL	SCALE: SEE DWG
BOOK: 2000	FOR: 2011
DATE: DECEMBER 2015	
SHEET NO. 3 OF 3	

**A3**

**GENERAL NOTES:**

CONTRACTOR SHALL REVIEW THE DESIGN DRAWINGS AND REPORT ANY ERRORS OR OMISSIONS TO THE DESIGNER PRIOR TO PROCEEDING WITH THE WORK. THE DESIGNER SHALL BE RESPONSIBLE FOR ANY CHANGES MADE WITHOUT THE APPROVAL OF THE DESIGNER, WHO WILL HOLD ALL RESPONSIBILITY AND LIABILITY OF THE DESIGNER.

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ALL REQUIRED APPLICABLE SITE INSPECTIONS DURING CONSTRUCTION TO BE THE RESPONSIBILITY OF THE LOCAL AUTHORITY BUILDING INSPECTORS TO ENSURE CODE COMPLIANCE IS ACHIEVED.

**STAIR DIMENSIONS (UNLESS OTHERWISE SHOWN ON DRAWINGS)**

- EXTERIOR
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- MAX TREAD 270mm (11")
- NOSING 25mm (1")
- UNIFORM RISE & RUN ON ANY FLIGHT OF STAIRS
- GUARD HEIGHT 1067mm (42 3/8")
- GUARD HEIGHT MIN. 1067mm (42 3/8")
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- CONCRETE STAIRS OVER 2 RISERS OVER 3 RISERS INSTALLED BETWEEN WARDEN (24") & 30m (98')

**CONCRETE**

AS PER OBC SECTION 9.1.5 & 9.1.6

ALL CONCRETE FOOTINGS SHALL BEAR ON UNDISTURBED SOIL WITH A MIN. SOIL BEARING PRESSURE OF 2000 PSF. CONCRETE FOR FOOTINGS & FOUNDATIONS TO HAVE MIN. COMPRESSIVE STRENGTH OF 20 MPa (2900 PSI) AT 28 DAYS.

**WOOD FRAME CONSTRUCTION**

AS PER OBC SECTION 9.2

ALL STRUCTURAL LUMBER TO BE SPF OR CONSTRUCTION OR BIRTER UNLESS NOTED OTHERWISE. LUMBER SIZES TO BE AS SHOWN IN DRAWINGS. ALL LUMBER SHALL BE ANCHORED TO THE FOUNDATION WITH 1/2" ANCHOR BOLTS 7'-UP MAX ON SPACING WITH 4" MIN. JOIST END BEARING TO BE 1 1/2 MIN.

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**HEAT TRANSFER, AIR LEAKAGE & CONDENSATION CONTROL**

AS PER OBC SECTION 9.2.5

PROVIDE AN AIR BARRIER IN STRICT ACCORDANCE WITH OBC SECTION 9.2.3

INSULATION REQUIREMENTS:

- MIN. R-22 IN ALL EXTERIOR WALLS
- MIN. R-19 IN CEILING
- MIN. R-19 IN FLOOR
- MIN. R-19 IN ROOF
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**EXTERIOR DOORS & WINDOWS**

AS PER OBC SECTION 9.7

DOORS TO DWELLINGS SHALL BE OPERABLE FROM THE INSIDE WITHOUT THE USE OF KEYS

ALL EXTERIOR DOORS IF WOOD SHALL CONFORM TO CANCOSA-BE 34

WINDOW GLASS SIZE TO COMPLY WITH CURRENT OBC REQUIREMENTS

ALL DOORS & WINDOWS SHALL COMPLY WITH OBC SECTION 9.7.6 RESISTANCE TO FORCED ENTRY

DOOR & WINDOW FRAME SHALL BE INSTALLED ON THE WARM SIDE OF THE INSULATION. ALL PENETRATION OF THE VAPOUR BARRIER TO BE SEALED TO MAINTAIN THE INTEGRITY OF THE BARRIER SYSTEM.

**VENTILATION**

AS PER OBC SECTION 9.22.1.4

PROVIDE VENTILATION FOR ROOF SPACES AT A RATIO OF 1:50 FT. MIN OF UNOBSTRUCTED VENTILATION FOR EACH 300 SQ. FT. OF INSULATED CEILING AREA WITH NOT MORE THAN HALF THE REQUIRED VENTILATION LOCATED AT THE GABLES.

PROVIDE MECHANICAL VENTILATION SYSTEM TO THE REQUIREMENTS OF OBC 9.22.3 WITH CLEARLY LABELED PRINCIPAL EXHAUST FAN MANUAL SWITCH.

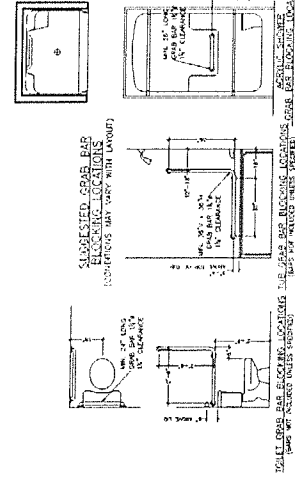
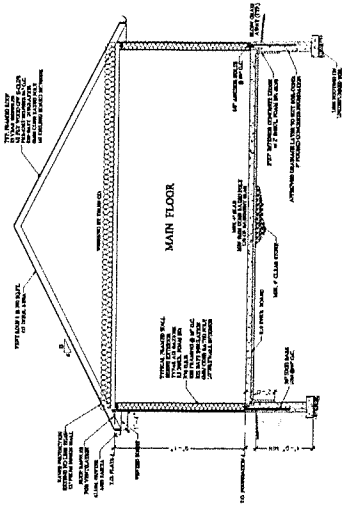
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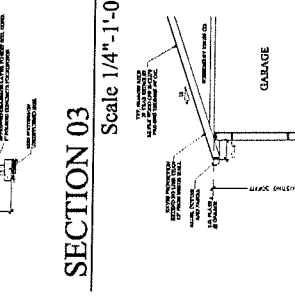
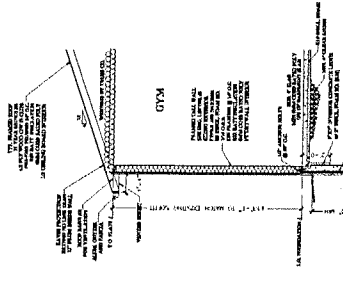
**SECTION 01:01**

Scale 1/4" = 1'-0"



**SECTION 02**

Scale 1/4" = 1'-0"



**GRID POST SUPPORTS**

**BUILT-UP COLUMN SELECTION TABLE**

**NAILED BUILT-UP**

2 x 4

S-P-F No. 1 / No. 2	1 PLY	2 PLY	3 PLY	4 PLY	5 PLY
WALL RT 2	3,442 lbf	6,657 lbf	15,372 lbf	33,951 lbf	19,177 lbf
9	2,645 lbf	5,390 lbf	12,250 lbf	15,563 lbf	15,563 lbf
10	2,063 lbf	4,096 lbf	9,800 lbf	12,272 lbf	12,272 lbf
11	1,628 lbf	3,255 lbf	7,914 lbf	18,808 lbf	18,808 lbf
12	1,299 lbf	2,591 lbf	6,286 lbf	7,911 lbf	7,911 lbf

**BUILT-UP COLUMN SELECTION TABLE**

**NAILED BUILT-UP**

2 x 6

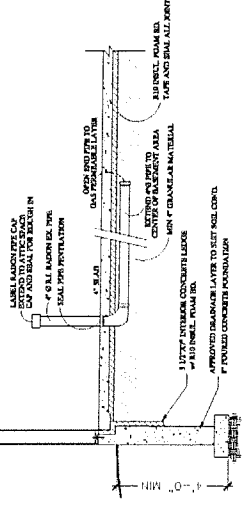
S-P-F No. 1 / No. 2	3 PLY	4 PLY	5 PLY
WALL RT 2	14,932 lbf	25,382 lbf	33,951 lbf
9	4,098 lbf	12,973 lbf	12,973 lbf
10	3,207 lbf	10,668 lbf	10,668 lbf
11	N/A	3,215 lbf	9,014 lbf
17	N/A	3,013 lbf	7,957 lbf

**NOTES:**

- \* PROVIDE SOLID BRACING BELOW ALL BEAMS AND GRID TRUSSES (i.e. 7 PLY TRUSS REQUIRES MINIMUM 2 STUDS FOR BRACING).
- \* NUMBER IN THE DESIGNS ABOVE ARE REF #2 OR BETTER.
- \* PER ONTARIO BUILDING CODE AND CSA-A86.1:94 REQUIREMENTS.
- \* GUIDE LINES ONLY. ALL ITEMS NOT TO BE USED AS A DESIGN AND CERTIFIED BY A STRUCTURAL ENGINEER.

**RADON GAS R.I. DETAIL**

N.T.S.



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**WOOD FRAME CONSTRUCTION**

AS PER OBC SECTION 9.2

ALL STRUCTURAL LUMBER TO BE SPF OR CONSTRUCTION OR BIRTER UNLESS NOTED OTHERWISE. LUMBER SIZES TO BE AS SHOWN IN DRAWINGS. ALL LUMBER SHALL BE ANCHORED TO THE FOUNDATION WITH 1/2" ANCHOR BOLTS 7'-UP MAX ON SPACING WITH 4" MIN. JOIST END BEARING TO BE 1 1/2 MIN.

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**HEAT TRANSFER, AIR LEAKAGE & CONDENSATION CONTROL**

AS PER OBC SECTION 9.2.5

PROVIDE AN AIR BARRIER IN STRICT ACCORDANCE WITH OBC SECTION 9.2.3

INSULATION REQUIREMENTS:

- MIN. R-22 IN ALL EXTERIOR WALLS
- MIN. R-19 IN CEILING
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**EXTERIOR DOORS & WINDOWS**

AS PER OBC SECTION 9.7

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ALL EXTERIOR DOORS IF WOOD SHALL CONFORM TO CANCOSA-BE 34

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**VENTILATION**

AS PER OBC SECTION 9.22.1.4

PROVIDE VENTILATION FOR ROOF SPACES AT A RATIO OF 1:50 FT. MIN OF UNOBSTRUCTED VENTILATION FOR EACH 300 SQ. FT. OF INSULATED CEILING AREA WITH NOT MORE THAN HALF THE REQUIRED VENTILATION LOCATED AT THE GABLES.

PROVIDE MECHANICAL VENTILATION SYSTEM TO THE REQUIREMENTS OF OBC 9.22.3 WITH CLEARLY LABELED PRINCIPAL EXHAUST FAN MANUAL SWITCH.

**ELECTRICAL**

ALL LIGHTING AND ELECTRICAL TO COMPLY WITH OBC 9.4

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**CONCRETE**

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**WOOD FRAME CONSTRUCTION**

AS PER OBC SECTION 9.2

ALL STRUCTURAL LUMBER TO BE SPF OR CONSTRUCTION OR BIRTER UNLESS NOTED OTHERWISE. LUMBER SIZES TO BE AS SHOWN IN DRAWINGS. ALL LUMBER SHALL BE ANCHORED TO THE FOUNDATION WITH 1/2" ANCHOR BOLTS 7'-UP MAX ON SPACING WITH 4" MIN. JOIST END BEARING TO BE 1 1/2 MIN.

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**HEAT TRANSFER, AIR LEAKAGE & CONDENSATION CONTROL**

AS PER OBC SECTION 9.2.5

PROVIDE AN AIR BARRIER IN STRICT ACCORDANCE WITH OBC SECTION 9.2.3

INSULATION REQUIREMENTS:

- MIN. R-22 IN ALL EXTERIOR WALLS
- MIN. R-19 IN CEILING
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- MIN. R-19 IN UNFINISHED PERGOLA

**EXTERIOR DOORS & WINDOWS**

AS PER OBC SECTION 9.7

DOORS TO DWELLINGS SHALL BE OPERABLE FROM THE INSIDE WITHOUT THE USE OF KEYS

ALL EXTERIOR DOORS IF WOOD SHALL CONFORM TO CANCOSA-BE 34

WINDOW GLASS SIZE TO COMPLY WITH CURRENT OBC REQUIREMENTS

ALL DOORS & WINDOWS SHALL COMPLY WITH OBC SECTION 9.7.6 RESISTANCE TO FORCED ENTRY

DOOR & WINDOW FRAME SHALL BE INSTALLED ON THE WARM SIDE OF THE INSULATION. ALL PENETRATION OF THE VAPOUR BARRIER TO BE SEALED TO MAINTAIN THE INTEGRITY OF THE BARRIER SYSTEM.

**VENTILATION**

AS PER OBC SECTION 9.22.1.4

PROVIDE VENTILATION FOR ROOF SPACES AT A RATIO OF 1:50 FT. MIN OF UNOBSTRUCTED VENTILATION FOR EACH 300 SQ. FT. OF INSULATED CEILING AREA WITH NOT MORE THAN HALF THE REQUIRED VENTILATION LOCATED AT THE GABLES.

PROVIDE MECHANICAL VENTILATION SYSTEM TO THE REQUIREMENTS OF OBC 9.22.3 WITH CLEARLY LABELED PRINCIPAL EXHAUST FAN MANUAL SWITCH.

**ELECTRICAL**

ALL LIGHTING AND ELECTRICAL TO COMPLY WITH OBC 9.4

ALL FLOOR LEVELS SHALL BE EQUIPPED WITH INTERCONNECTED SMOKE DETECTORS (TYPICAL ALL UNITS)

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**HEAT TRANSFER, AIR LEAKAGE & CONDENSATION CONTROL**

AS PER OBC SECTION 9.2.5

PROVIDE AN AIR BARRIER IN STRICT ACCORDANCE WITH OBC SECTION 9.2.3

INSULATION REQUIREMENTS:

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AS PER OBC SECTION 9.1.5 & 9.1.6

ALL CONCRETE FOOTINGS SHALL BEAR ON UNDISTURBED SOIL WITH A MIN. SOIL BEARING PRESSURE OF 2000 PSF. CONCRETE FOR FOOTINGS & FOUNDATIONS TO HAVE MIN. COMPRESSIVE STRENGTH OF 20 MPa (2900 PSI) AT 28 DAYS.

**WOOD FRAME CONSTRUCTION**

AS PER OBC SECTION 9.2

ALL STRUCTURAL LUMBER TO BE SPF OR CONSTRUCTION OR BIRTER UNLESS NOTED OTHERWISE. LUMBER SIZES TO BE AS SHOWN IN DRAWINGS. ALL LUMBER SHALL BE ANCHORED TO THE FOUNDATION WITH 1/2" ANCHOR BOLTS 7'-UP MAX ON SPACING WITH 4" MIN. JOIST END BEARING TO BE 1 1/2 MIN.

**WOOD FRAME CONSTRUCTION**

AS PER OBC SECTION 9.2

ALL STRUCTURAL LUMBER TO BE SPF OR CONSTRUCTION OR BIRTER UNLESS NOTED OTHERWISE. LUMBER SIZES TO BE AS SHOWN IN DRAWINGS. ALL LUMBER SHALL BE ANCHORED TO THE FOUNDATION WITH 1/2" ANCHOR BOLTS 7'-UP MAX ON SPACING WITH 4" MIN. JOIST END BEARING TO BE 1 1/2 MIN.

**HEAT TRANSFER, AIR LEAKAGE & CONDENSATION CONTROL**

GENERAL NOTES:

1. This site plan is prepared in accordance with the requirements of the City of Portland, Oregon, and the State of Oregon, and is subject to the approval of the City of Portland, Oregon, and the State of Oregon.

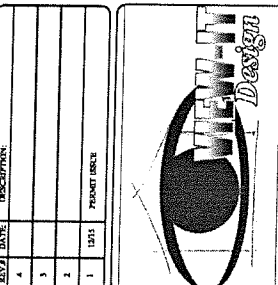
2. The site plan is prepared based on the information provided by the client and is not to be used for any other purpose without the written consent of the engineer.

3. The engineer is not responsible for the accuracy of the information provided by the client.

4. The engineer is not responsible for the accuracy of the information provided by the client.

5. The engineer is not responsible for the accuracy of the information provided by the client.

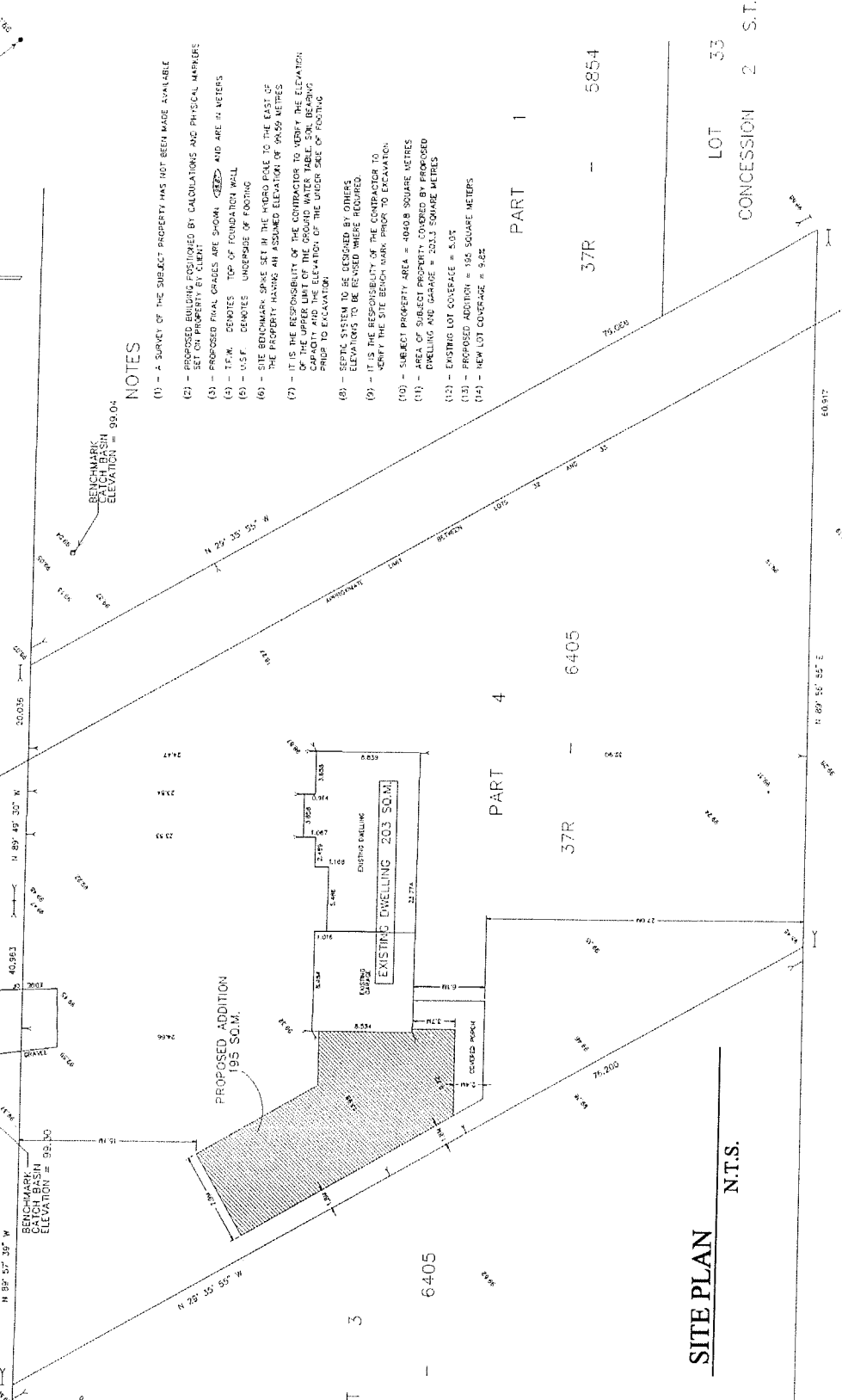
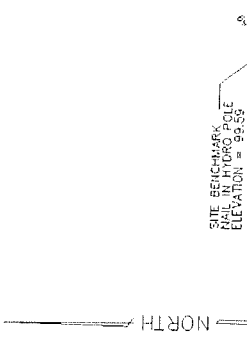
NO.	DATE	DESCRIPTION
1	05/11	PROJECT BEGIN
2		
3		
4		



PROPERTY OF VIEW-IT DESIGN®

VIEW-IT DESIGN  
RFP 1 PORT BIRWELL  
1534 1ST CONCESSION ROAD  
PORTLAND, OREGON 97202

CARTMEL RESIDENCE 1534 1ST CONCESSION ROAD PORTLAND, OREGON	
PROPOSED HOUSE ADDITION PLANS	
SITE PLAN	SCALE: SEE DWG
DRAWN BY: TONY WALL	DATE: DECEMBER 2007
DATE: DECEMBER 2007	PROJECT NO: 1087
A5	



NOTES

- (1) - A SURVEY OF THE SUBJECT PROPERTY HAS NOT BEEN MADE AVAILABLE
- (2) - PROPOSED BUILDING POSITIONED BY CALCULATIONS AND PHYSICAL MARKERS SET ON THE PROPERTY BY CLIENT
- (3) - PROPOSED FOUNDATION WALLS ARE SHOWN WITH DIMENSIONS AND ARE IN METERS
- (4) - T.O.F. DENOTES TOP OF FOUNDATION WALL
- (5) - U.S.F. DENOTES UNDERPINNING OF FOOTING
- (6) - SITE BENCHMARK SPINE SET IN THE HYDRO POLE TO THE EAST OF THE PROPERTY HAVING AN ASSIGNED ELEVATION OF 99.59 METRES
- (7) - IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE ELEVATION OF THE UPPER LIMIT OF THE GROUND WATER TABLE, SOIL BEARING CAPACITY AND THE ELEVATION OF THE UNDER SIDE OF FOOTING PRIOR TO EXCAVATION
- (8) - SEPTIC SYSTEM TO BE DESIGNED BY OTHERS ELEVATIONS TO BE REVISED WHERE REQUIRED
- (9) - IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE SITE BENCHMARK PRIOR TO EXCAVATION
- (10) - SUBJECT PROPERTY AREA = 4060.8 SQUARE METRES
- (11) - AREA OF SUBJECT PROPERTY COVERED BY PROPOSED DWELLING AND GARAGE = 203 SQUARE METRES
- (12) - EXISTING LOT COVERAGE = 5.0%
- (13) - PROPOSED ADDITION = 195 SQUARE METERS
- (14) - NEW LOT COVERAGE = 9.2%


SITE PLAN

N.T.S.

# Application for a Permit to Construct or Demolish

This form is authorized under subsection 8(1.1) of the *Building Code Act, 1992*


<b>For use by Principal Authority</b>			
Application number:		Permit number (if different):	
Date received:		Roll number:	
Application submitted to: <u>Norfolk County</u> <small>(Name of municipality, upper-tier municipality, board of health or conservation authority)</small>			
<b>A. Project information</b>			
Building number, street name		Unit number	Lot/con.
1954 1st Concession Rd STR			
Municipality	Postal code	Plan number/other description	
Norfolk	N4B 2W4		
Project value est. \$	Area of work (m <sup>2</sup> )		
\$15,000.00	365		
<b>B. Purpose of application</b>			
<input checked="" type="checkbox"/> New construction	<input type="checkbox"/> Addition to an existing building	<input type="checkbox"/> Alteration/repair	<input type="checkbox"/> Demolition <input type="checkbox"/> Conditional Permit
Proposed use of building		Current use of building	
Additional Granny Suite		Residential home	
Description of proposed work			
New septic bed for proposed additional granny suite			
<b>C. Applicant</b>			
Applicant is:		<input type="checkbox"/> Owner or <input checked="" type="checkbox"/> Authorized agent of owner	
Last name	First name	Corporation or partnership	
Bergen	John	CustomEx Inc	
Street address		Unit number	Lot/con.
9377 Garner Rd			
Municipality	Postal code	Province	E-mail
Bayham	N0J 1Y0	Ontario	customex21@gmail.com
Telephone number	Fax		Cell number
519-318-1741			519-318-1741
<b>D. Owner (if different from applicant)</b>			
Last name	First name	Corporation or partnership	
Cartmel	Curtis		
Street address		Unit number	Lot/con.
1954 1st Concession Rd STR			
Municipality	Postal code	Province	E-mail
Norfolk	N4B 2W4	Ontario	
Telephone number	Fax		Cell number

<b>E. Builder (optional)</b>				
Last name <b>Bergen</b>		First name <b>John</b>	Corporation or partnership (if applicable) <b>CustomEx Inc</b>	
Street address <b>9377 Garner</b>			Unit number	Lot/con.
Municipality	Postal code <b>NOJ 1Y0</b>	Province <b>Ontario</b>	E-mail <b>customex21@gmail.com</b>	
Telephone number <b>519-318-1741</b>	Fax	Cell number <b>519-318-1741</b>		
<b>F. Tarion Warranty Corporation (Ontario New Home Warranty Program)</b>				
i. Is proposed construction for a new home as defined in the <i>Ontario New Home Warranties Plan Act</i> ? If no, go to section G.			<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No
ii. Is registration required under the <i>Ontario New Home Warranties Plan Act</i> ?			<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No
iii. If yes to (ii) provide registration number(s): _____				
<b>G. Required Schedules</b>				
i) Attach Schedule 1 for each individual who reviews and takes responsibility for design activities.				
ii) Attach Schedule 2 where application is to construct on-site, install or repair a sewage system.				
<b>H. Completeness and compliance with applicable law</b>				
i) This application meets all the requirements of clauses 1.3.1.3 (5) (a) to (d) of Division C of the Building Code (the application is made in the correct form and by the owner or authorized agent, all applicable fields have been completed on the application and required schedules, and all required schedules are submitted). Payment has been made of all fees that are required, under the applicable by-law, resolution or regulation made under clause 7(1)(c) of the <i>Building Code Act, 1992</i> , to be paid when the application is made.			<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No
ii) This application is accompanied by the plans and specifications prescribed by the applicable by-law, resolution or regulation made under clause 7(1)(b) of the <i>Building Code Act, 1992</i> .			<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No
iii) This application is accompanied by the information and documents prescribed by the applicable by-law, resolution or regulation made under clause 7(1)(b) of the <i>Building Code Act, 1992</i> which enable the chief building official to determine whether the proposed building, construction or demolition will contravene any applicable law.			<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No
iv) The proposed building, construction or demolition will not contravene any applicable law.			<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No
<b>I. Declaration of applicant</b>				
I, <u>John Bergen</u> declare that: (print name)				
1. The information contained in this application, attached schedules, attached plans and specifications, and other attached documentation is true to the best of my knowledge.				
2. If the owner is a corporation or partnership, I have the authority to bind the corporation or partnership.				
January 12, 2026				
Date		Signature of applicant		

Personal information contained in this form and schedules is collected under the authority of subsection 8(1.1) of the *Building Code Act, 1992*, and will be used in the administration and enforcement of the *Building Code Act, 1992*. Questions about the collection of personal information may be addressed to: a) the Chief Building Official of the municipality or upper-tier municipality to which this application is being made, or, b) the inspector having the powers and duties of a chief building official in relation to sewage systems or plumbing for an upper-tier municipality, board of health or conservation authority to whom this application is made, or, c) Director, Building and Development Branch, Ministry of Municipal Affairs and Housing 777 Bay St., 2nd Floor. Toronto, M5G 2E5 (416) 585-6666.

# Schedule 1: Designer Information

Use one form for each individual who reviews and takes responsibility for design activities with respect to the project.

<b>A. Project Information</b>		
Building number, street name 1954 1st Concession rd STR		Unit no.
Municipality Norfolk	Postal code N4B 2W4	Plan number/ other description
<b>B. Individual who reviews and takes responsibility for design activities</b>		
Name <b>JohnBergen</b>		Firm <b>121022</b>
Street address <b>9377 Garner Rd</b>		Unit no.
Municipality <b>Bayham</b>	Postal code NOJ 1Y0	Province <b>Ontario</b>
Telephone number 519-318-1741		E-mail <b>customex21@gmail.com</b>
Fax number		Cell number <b>519-318-1741</b>
<b>C. Design activities undertaken by individual identified in Section B. [Building Code Table 3.5.2.1. of Division C]</b>		
<input type="checkbox"/> House	<input type="checkbox"/> HVAC – House	<input type="checkbox"/> Building Structural
<input type="checkbox"/> Small Buildings	<input type="checkbox"/> Building Services	<input type="checkbox"/> Plumbing – House
<input type="checkbox"/> Large Buildings	<input type="checkbox"/> Detection, Lighting and Power	<input type="checkbox"/> Plumbing – All Buildings
<input type="checkbox"/> Complex Buildings	<input type="checkbox"/> Fire Protection	<input checked="" type="checkbox"/> On-site Sewage Systems
Description of designer's work <b>New Septic System for proposed additional granny suite</b>		
<b>D. Declaration of Designer</b>		
I <u>John Bergen</u> declare that (choose one as appropriate): (print name)		
I review and take responsibility for the design work on behalf of a firm registered under subsection 3.2.4. of Division C, of the Building Code. I am qualified, and the firm is registered, in the appropriate classes/categories.		
Individual BCIN: <u>121022</u>		
Firm BCIN: <u>124515</u>		
I review and take responsibility for the design and am qualified in the appropriate category as an "other designer" under subsection 3.2.5. of Division C, of the Building Code.		
Individual BCIN: _____		
Basis for exemption from registration: _____		
The design work is exempt from the registration and qualification requirements of the Building Code.		
Basis for exemption from registration and qualification: _____		
I certify that:		
1. The information contained in this schedule is true to the best of my knowledge.		
2. I have submitted this application with the knowledge and consent of the firm.		
<u>January 12, 2026</u> Date	 Signature of Designer	

**NOTE:**

- For the purposes of this form, "individual" means the "person" referred to in Clause 3.2.4.7(1) (c) of Division C, Article 3.2.5.1. of Division C, and all other persons who are exempt from qualification under Subsections 3.2.4. and 3.2.5. of Division C.
- Schedule 1 is not required to be completed by a holder of a license, temporary license, or a certificate of practice, issued by the Ontario Association of Architects. Schedule 1 is also not required to be completed by a holder of a license to practise, a limited license to practise, or a certificate of authorization, issued by the Association of Professional Engineers of Ontario.



Project Address:

1954 1st Concession rd STR

**Septic Permit System Summary / Overview**

**Applicable Law Documents Attached** (check all applicable)  Conservation Authority Approval  Source Water Protection  Construction in Hazard Lands  Site Plan Approval  Minor Variance  Grading Plan (raised beds)

Total Number of Bedrooms 5 Total Number of Fixture Units 43  
 Total Finished Floor Area 203.64 m<sup>2</sup> sq.ft Daily Design Flow (Q) (litre/day) 3650

Residential (dwelling)  Camp for the Housing of Workers  Other occupancy (Identify) \_\_\_\_\_

<b>Water Supply:</b> <input type="checkbox"/> Municipal <input type="checkbox"/> Dug Well <input type="checkbox"/> Drilled well <input checked="" type="checkbox"/> Shallow Well Point <input type="checkbox"/> Other: _____	<b>Type of Native Soil:</b> <u>sand</u> <input type="checkbox"/> Soils Analysis attached Percolation rate ('T' time): <u>10</u> Depth to water table: <u>2 m</u> Slope of land in tile bed area <u>0</u> %	<b>Type of Imported Fill:</b> <input type="checkbox"/> Soils Analysis attached Percolation rate ("t" time): <u>Filter sand</u>
---	---	--

**Class of System**  Class 2 – Greywater  Class 4 – Leaching Bed System  Class 5 – Holding Tank

**System Components** (Complete all that apply)  
 Septic tank capacity (L) 9,000  
 Pump capacity (L) \_\_\_\_\_  
 Distribution Box \_\_\_\_\_  
 Other (please specify) \_\_\_\_\_  
 Advance Treatment Unit capacity: (L) \_\_\_\_\_  
 Manufacture and Model \_\_\_\_\_

**Method of Distribution Pipe Detection**  magnetic means  tracer wire (14 gauge TW solid copper light coloured plastic coated)  other means (please specify) \_\_\_\_\_

**Complete A, B, C, D, E, or F – Class 4 Systems Only**

**A. ABSORPTION TRENCH**  
 In-ground  Raised  
 Distribution pipe  
 Leaching chambers  Type I  Type II  
 Length of pipe \_\_\_\_\_ m  
 Mantel Required  
 Mantel Area \_\_\_\_\_ m<sup>2</sup>

**B. FILTER BED**  
 In-ground  Raised  
 Effective Area: 73 m<sup>2</sup>  
 Contact Area: 43 m<sup>2</sup>  
 Distribution pipe  
 Leaching chambers  Type I  Type II  
 Mantel Required  
 Mantel Area 365 m<sup>2</sup>

**C. SHALLOW BURIED TRENCH**  
 Type: \_\_\_\_\_  
 Length of chamber: \_\_\_\_\_ m

**D. ADVANCE TREATMENT SYSTEM (BMEC & CAN/BNQ)**  
 BMEC authorization provided  
 CAN/BNQ authorization provided  
 Service agreement provided  
 Mantel area: \_\_\_\_\_ m<sup>2</sup>  
 Stone layer area: \_\_\_\_\_ m<sup>2</sup>  
 Sand layer area: \_\_\_\_\_ m<sup>2</sup>  
 System specifications provided  
 Manufacturer's installation manual provided

**E. TYPE A DISPERSAL BED**  
 In-ground  Raised  
 Length of pipe \_\_\_\_\_ m  
 Mantel Area \_\_\_\_\_ m<sup>2</sup>  
 Stone layer area: \_\_\_\_\_ m<sup>2</sup>  
 Sand layer area: \_\_\_\_\_ m<sup>2</sup>

**F. TYPE B DISPERSAL BED**  
 In-ground  Raised  
 Stone layer area \_\_\_\_\_ m<sup>2</sup>  
 Linear loading rate  40 L/m  50 L/m

## Worksheet A: Dwellings - Daily Design Flow Calculations (Q)

A) Residential Occupancy		(Q) Litres	Total
Number of Bedrooms	1 Bedroom	750	
	2 Bedrooms	1100	
	3 Bedrooms	1600	
	4 Bedrooms	2000	
	5 Bedrooms	2500	2500
Subtotal (A)			2500

B) Plus Additional Flow for:				
Note: Use the largest additional flow calculation to determine Daily Design Flow (Q). If none apply Subtotal (B) is zero.				
		Quantity	(Q) Litres	Total
Either	Each bedroom over 5		500	
Or	Floor space for each 10m <sup>2</sup> over 200m <sup>2</sup> up to 400m <sup>2</sup>	1	100	100
	Floor space for each 10m <sup>2</sup> over 400m <sup>2</sup> up to 600m <sup>2</sup>		75	
	Floor space for each 10m <sup>2</sup> over 600m <sup>2</sup>		50	
Or	Each Fixture Unit over 20 fixture Units (Total of Worksheet B - 20 = Quantity)	23	50	1,150
Subtotal (B)			1,150	
Subtotal A+B=Daily Design Flow (Q)				3650

## Worksheet B: Dwellings Fixture Unit Count

Fixtures	Units		How Many?	Total
Bath group (toilet, sink, tub or shower) with flush tank	6.0	X	3	= 18
Bathtub only (with or without shower)	1.5	X		=
Shower stall	1.5	X		=
Wash basin / Lavatory (1.5 Inch trap)	1.5	X	1	= 1.5
Water closet (toilet) tank operated	4.0	X	2	= 8
Bidet	1.0	X		=
Dishwasher	1.0	X	2	= 2
Floor Drain (3 inch trap)	3.0	X	2	= 6
Sink (with/without garbage grinder, domestic and other small type single, double or 2 single with a common trap)	1.5	X	2	= 3
Domestic washing machine	1.5	X	2	= 3
Combination sink and laundry tray single or double (installed on 1.5 inch trap)	1.5	X	1	= 1.5
Other:				
Total Number of Fixture Units:				43

1. Refer to Ontario Building Code Division B Table 7.4.9.3 for a complete listing of fixture types and units.
2. Where the laundry waste is not more than 20% of the total daily design flow, it may discharge to the sewage system. OBC 8.1.3.1(2)
3. Sump pumps are not to be connected to the sewage system. Connection to sewage system may lead to a hydraulic failure of the system.

## Worksheet C: Other occupancies types

Camp for the Housing of Workers	Number of Employees	(Q) Litres	Total
Note: building size, number of bedrooms and fixture count are not required for a Camp for the Housing of Workers		250	
<b>Daily Design Flow (Q)</b>			

### Other Occupancy Daily Design Flow Calculation (Q)

To calculate the daily design flow for occupancies, please refer to Ontario Building Code Division B – Part 8 Table 8.2.1.3.B

Establishment	Operator Example: number of seats, per floor area, number of employees/students	Volume Litres	Total
<b>Daily Design Flow (Q)</b>			

## Work Sheet D: Septic Tank Size

Minimum septic tank size permitted by the Ontario Building Code is 3600 litres.

Occupancy type	Daily Design Flow (Q)	Minimum tank size (L)
<b>Residential Occupancy</b> house, apartment, camp for housing of workers	3650	x 2 = 7300
<b>All Other Occupancies</b>		x 3 =

# Worksheet E: Leaching Bed Calculations (Class 4)

<b>Part 1: Complete All</b>		
Type of leaching bed (select one)		
<input type="checkbox"/> A. Absorption trench	<input checked="" type="checkbox"/> B. Filter Bed	<input type="checkbox"/> C. Shallow Buried Trench
<input type="checkbox"/> D. Advance Treatment System	<input type="checkbox"/> E. Type A Dispersal Bed	<input type="checkbox"/> F. Type B Dispersal Bed
Percolation rate of native soil (T): <u>10</u>		
Name of licensed testing agency:		
<input type="checkbox"/> In ground system	Height raised above original grade (metres)	
<input type="checkbox"/> Raised Bed system		
Mantel (if applicable) <input type="checkbox"/> Imported <input type="checkbox"/> Native Soil		
Q/loading rate = <u>365</u> m <sup>2</sup> Configured as: <u>21</u> m X <u>17.5</u> m		

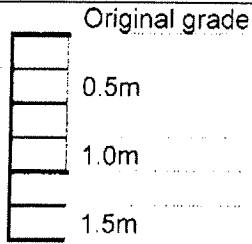
<b>Part 2: Complete One of A, B, C, D, E, F</b>		
<input type="checkbox"/> <b>A. Absorption Trench</b>		
Total length of distribution pipe	Conventional (Q x T) + 200 = _____ m Type I leaching chambers (Q x T) + 200 = _____ m Type II leaching chambers (Q x T) + 300 = _____ m Configured as: _____ runs of _____ m Total: _____ m	
<input checked="" type="checkbox"/> <b>B. Filter Bed</b>		
<b>Effective Area</b> If Q ≤ 3000 litres per day use Q + 75 If Q > 3000 litres per day use Q + 50 Level II-IV treatment units, use Q + 100 <b>Distribution Pipe</b> Contact Area = (Q x T) ÷ 850 Mantel (see Part 1)	<b>Effective area:</b> <u>3650</u> (Q) + <u>50</u> (75, 50, or 100) = <u>73</u> m <sup>2</sup> Configured as: <u>10</u> m x <u>7.5</u> m Number of beds <u>1</u>  Number of runs: <u>4</u> Spacing of runs: <u>1</u> m <b>Contact Area:</b> ( <u>3650</u> (Q) X <u>10</u> (T)) + 850 = <u>43</u> m <sup>2</sup> <u>365</u> m <sup>2</sup>	
<input type="checkbox"/> <b>C. Shallow Buried Trench</b>		
Percolation time (T) of soil in minutes:	Length of distribution pipe (metres)	(L) = _____ (Q) + _____ (75, 50, 30) = _____ m
1 < T ≤ 20	Q + 75 metres	Configured as: _____ runs of _____ m Total: _____ m
20 < T ≤ 50	Q + 50 metres	
50 < T < 125	Q + 30 metres	
<input type="checkbox"/> <b>D. Advance Treatment System</b>		
Provided BMEC or CAN/BNQ approval, and manufacturer's system design documentation.		
<input type="checkbox"/> <b>E. Type A Dispersal Bed</b>		
<b>Stone Layer</b> If Q ≤ 3000 litres per day, use Q + 75 If Q > 3000 litres per day, use Q + 50 <b>Sand Layer</b> 1 < T ≤ 15 use (Q x T) ÷ 850 T > 15 use (Q x T) + 400	Stone Layer = _____ (Q) + _____ (75 or 50) = _____ m <sup>2</sup>  Sand Layer = ( _____ (Q) x _____ (T)) + (850 or 400) = _____ m <sup>2</sup>	
<input type="checkbox"/> <b>F. Type B Dispersal Bed</b>		
Area = (Q X T) + 400 <b>Linear Loading Rate (LLR)</b> T < 24 minutes, use 50 L/min If T ≥ 24 minutes, use 40 L/min	Area = ( _____ (Q) x _____ (T)) + 400 = _____ m <sup>2</sup> <b>Pump chamber capacity</b> = _____ L <b>Length (Q + LLR)</b> = _____ m <b>Bed configuration</b> = _____ m x _____ m = _____ m <sup>2</sup> Number of Beds = _____	
<b>Distribution Pipe</b>	Configured as: _____ runs of _____ m Total: _____ m	

# Worksheet F: Cross Sectional Drawings

## Subsoil Investigation – Test pit

1. Soil sample to be taken at a depth of
2. Test pit to be a minimum 0.9m

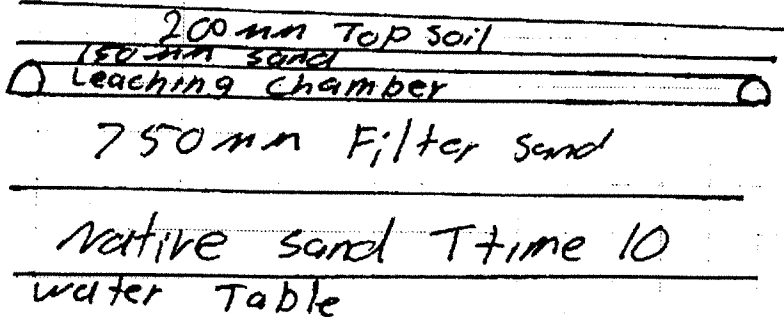
Indicate level of rock and ground water level below original grade.



Soil and subgrade investigation. Indicate soil types

## Cross sectional drawings are required for all septic systems

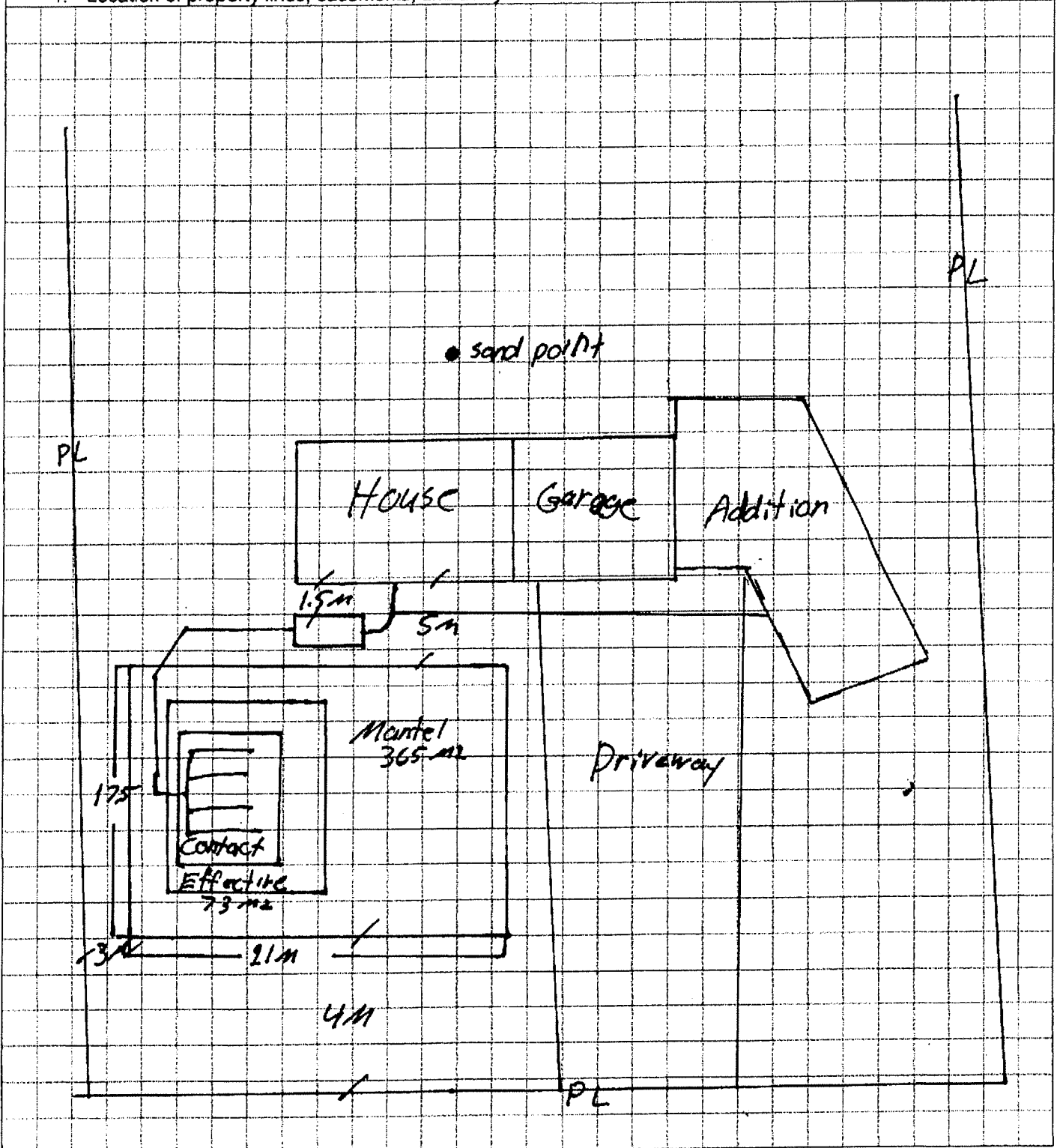
1. Location of existing grade.
2. Measurements to each component, distances to water table
3. Label each septic component.



# Worksheet G: Septic Plot Plan

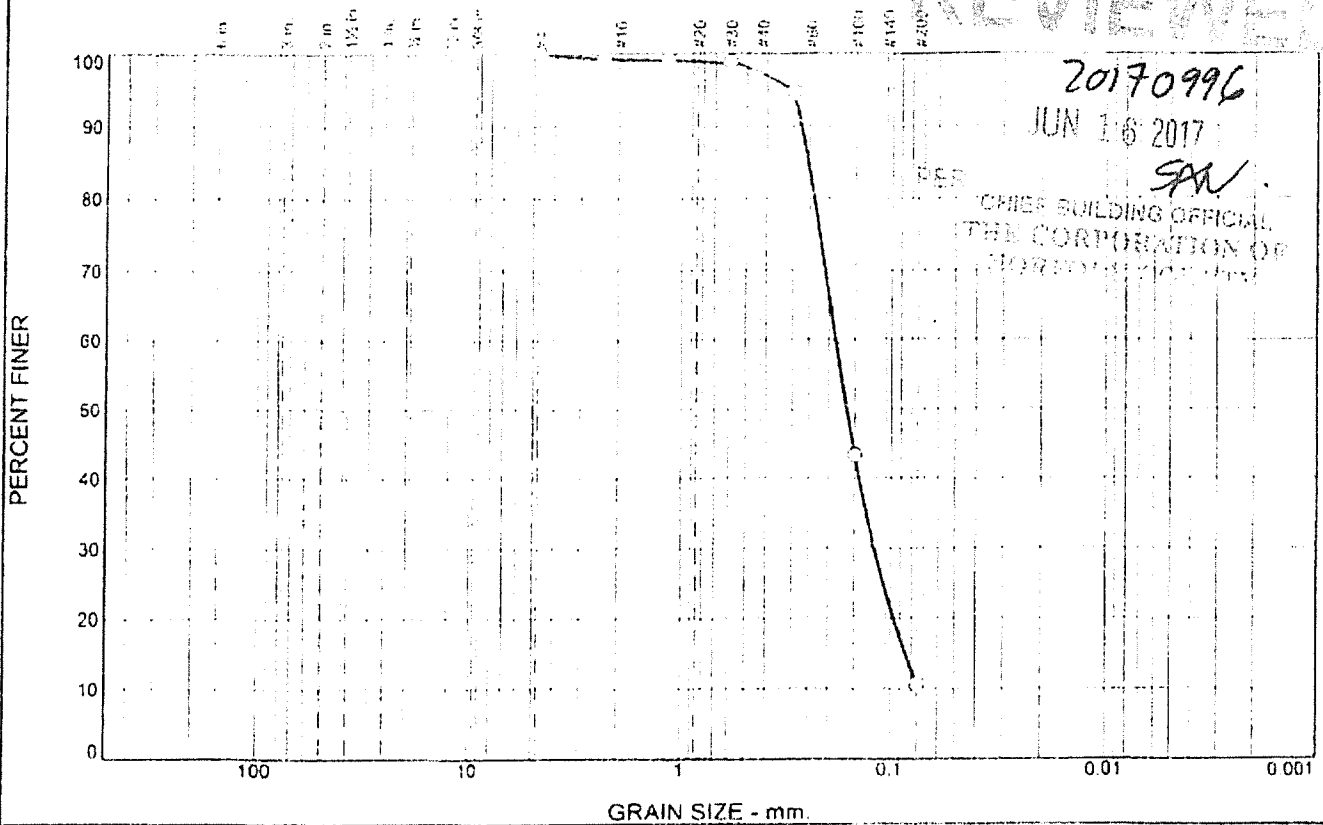
Please provide the following information on this work sheet:

1. Location of sewage system and its components (e.g. tank, leaching bed, pump chamber)
2. Location of all buildings, pools and wells on the property and neighbouring properties
3. Locate and show minimum clearances for treatment units and distribution piping of items. Ontario Building Code, Division B, Table 8.2.1.6.A. and 8.2.1.6.B.
4. Location of property lines, easements, and utility corridors.



# Grain Size Analysis

REVIEWED



% +3"	% Gravel		% Sand			% Fines	
	Coarse	Fine	Coarse	Medium	Fine	Silt	Clay
0.0	0.0	0.0	0.7	2.1	86.6	10.6	

SIEVE SIZE	PERCENT FINER	SPEC. PERCENT	PASS? (X=NO)
#4	100.0		
#8	99.3		
#16	99.1		
#30	98.8		
#50	94.6		
#100	43.2		
#200	10.6		

(no specification provided)

**Sample Information**

Sampled by Client  
Received May 15, 2017

PL=	<b>Atterberg Limits</b>	PI=
	LL=	
	<b>Coefficients</b>	
D <sub>90</sub> = 0.2744	D <sub>85</sub> = 0.2537	D <sub>60</sub> = 0.1854
D <sub>50</sub> = 0.1641	D <sub>30</sub> = 0.1207	D <sub>15</sub> = 0.0850
D <sub>10</sub> =	C <sub>u</sub> =	C <sub>c</sub> =
	<b>Classification</b>	
USCS=	AASHTO=	
<b>Remarks</b>		
Material: Fine Sand, some Silt		
Coefficient of Permeability: 10 <sup>-1</sup> to 10 <sup>-3</sup> cm/sec		
Estimated 'T' Time: 10 mins/cm		

Location: Proposed Tje Bed, Gold Eye Construction  
Sample Number: S-234

Date: 2017-05-23

EnGlobe

London, Ontario

Client: Froese Excavating  
Project: Miscellaneous Testing 2015

Project No: P-0002087-0-14-413-01

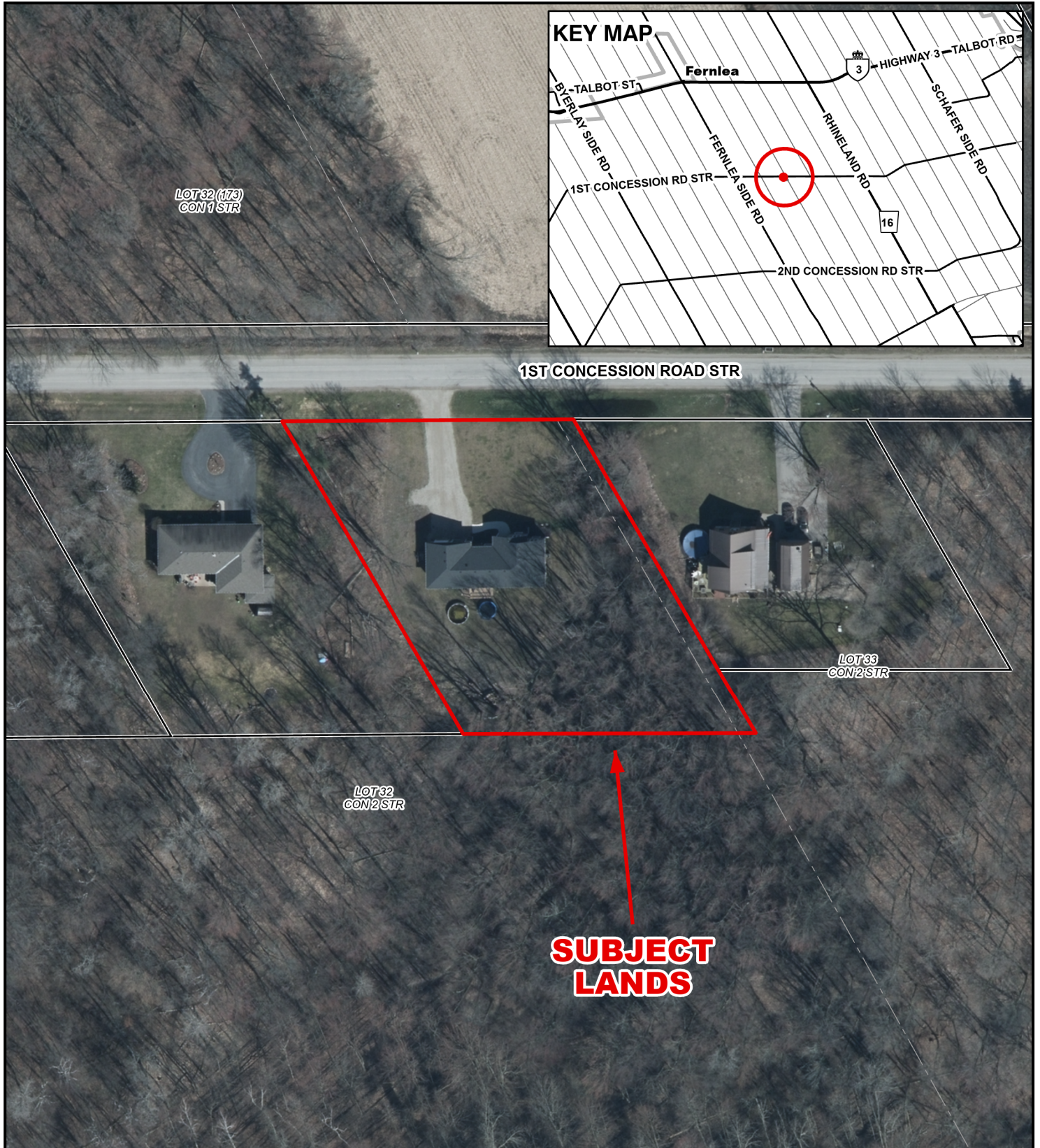
Figure 1

Tested By: D.McBay


Checked By: R.Helwig

**MAP A**  
**CONTEXT MAP**  
Geographic Township of MIDDLETON

ANPL2026012

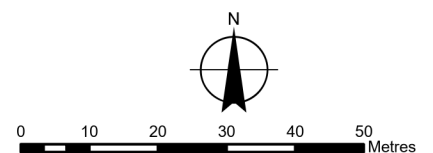


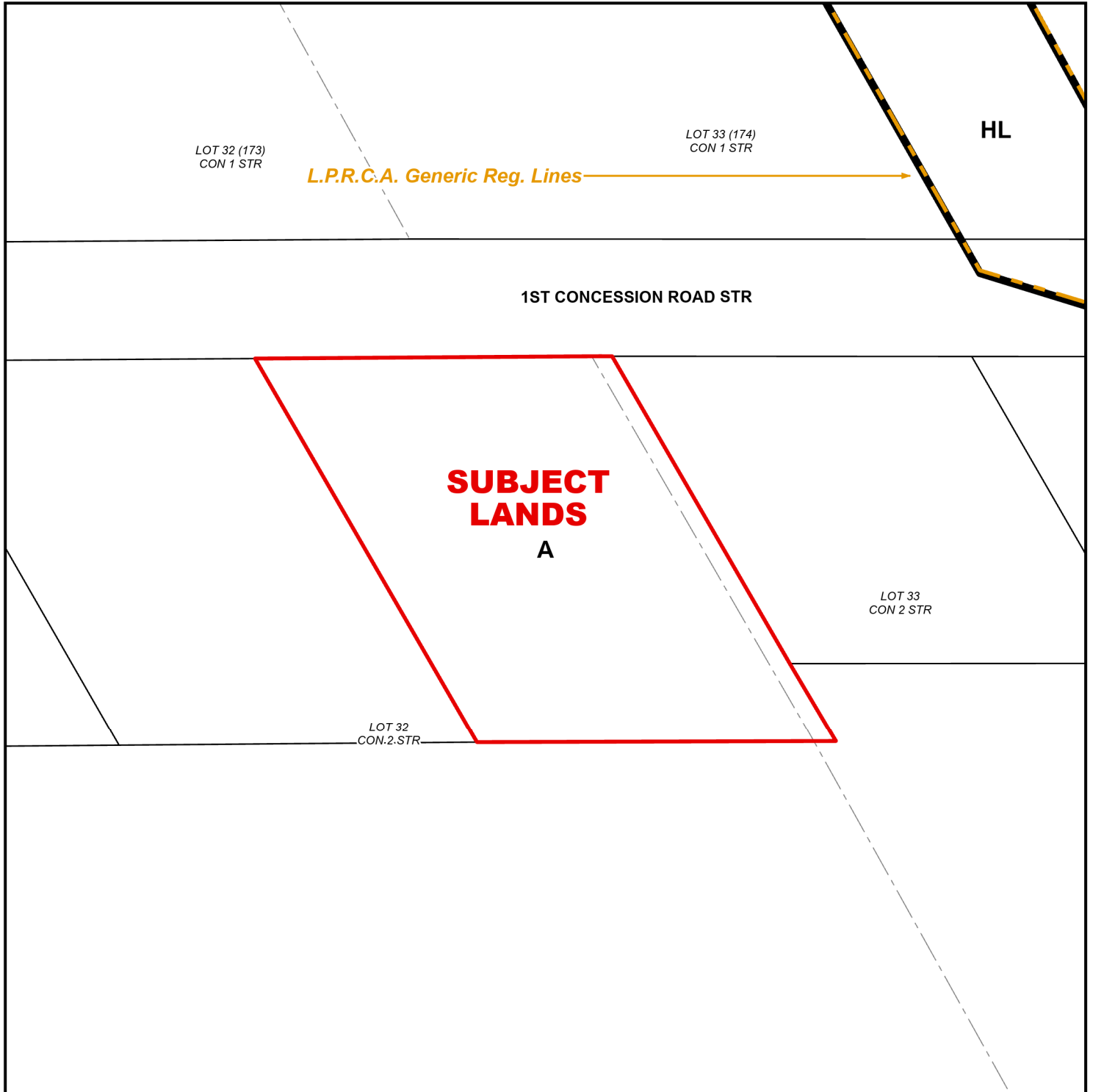
**Legend**

 Subject Lands



2/23/2026

2020 Air Photo





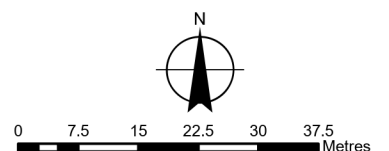
**LEGEND**

-  Subject Lands
-  LPRCA Generic RegLines

**ZONING BY-LAW 1-Z-2014**

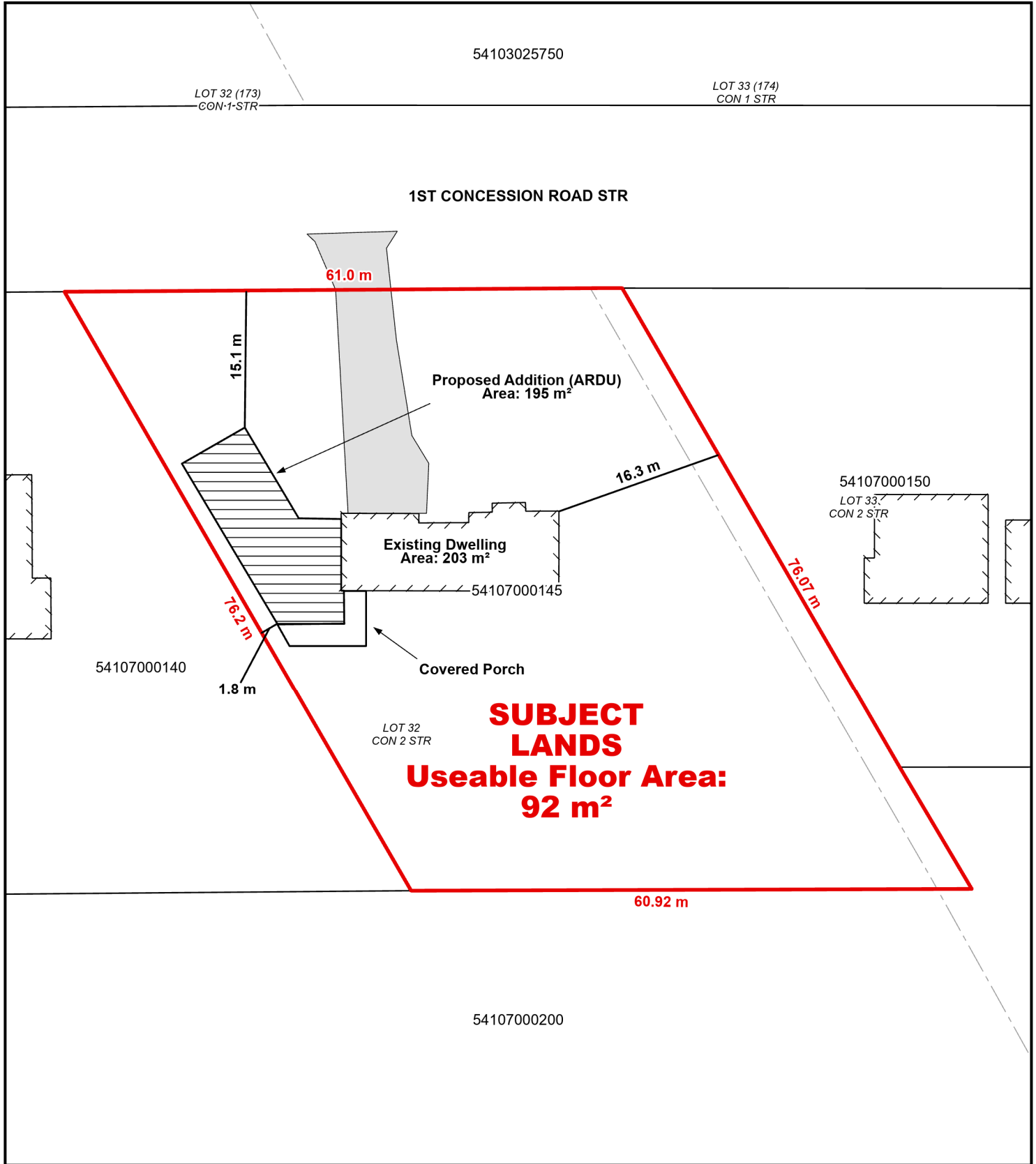
- (H) - Holding
- A - Agricultural Zone
- HL - Hazard Land Zone

2/23/2026




CONCEPTUAL PLAN

Geographic Township of MIDDLETON



Legend

 Subject Lands

2/23/2026

