



## Committee of Adjustment Application for Minor Variance

### Complete Application

The application must be completed by the owner or authorized agent. If the application is being submitted by an agent, the owner's written authorization is required. If the lands subject to this application are owned by more than one owner, the authorization of all owners is required. Submission of this application constitutes consent for authorized municipal staff to inspect the subject lands.

It is the responsibility of the applicant to research and evaluate the site and the proposal to ensure that the development will conform to the interests of the health, safety and welfare of future residents. Sufficient studies for the completion of the application should be carried out prior to submission and should be reflected in the application form.

### Before the Application is submitted

A pre-consultation meeting is not required for Committee of Adjustment applications; however, further information can be provided by Planning Department staff prior to the submission of an application. The purpose of communicating with a planner before you submit your application is: to review the proposal / application, to discuss potential issues; and to determine the required supporting information and materials to be submitted with your application before it can be considered complete by staff.

### Online Application Process

All applications must be submitted online via the County's CityView Portal. The portal can be accessed here: [Welcome - CityView Portal](#). The applicant will submit the materials required as part of a complete application. Once the County confirms receipt of a complete submission, the applicant will be contacted and provided further directions for payment options.

### User Fees

The planning application fee will be determined when the application can be deemed complete according to Norfolk County Community Planning user fees: [User Fees | Norfolk County](#)

Cash, debit, credit or cheque payable to Norfolk County in the amount set out in the user fees By-Law that will be accepted and deposited once the application has been deemed complete.

If the subject lands are located in an area that is regulated by either the Long Point Region Conservation Authority or by the Grand River Conservation Authority an additional fee will be required if review by the applicable agency is deemed necessary. A separate cheque



payable to the Long Point Region Conservation Authority or the Grand River Conservation Authority is required in accordance with their fee schedule at the time of submission.

**Grand River Conservation Authority**

Plan Review fees | Grand River Conservation Authority

**Long Point Region Conservation Authority**

Planning Fees - Long Point Region Conservation Authority

**After the application is submitted**

In order for the application to be deemed complete, all of the components noted above are required. The *Planning Act* permits up to 30 days to review and deem an application complete.

Once the application has been deemed complete by the Planning Department, it is then circulated to public agencies and County departments for review and comment. A sign is provided that is required to be posted on the subject lands summarizing the application and specifying the committee meeting date. The comments received from members of the community will be included in the planning report and given consideration.

**Additional studies** required as part of the complete application shall be at the sole expense of the applicant. Any required peer reviews shall be at the expense of the applicant. The peer reviewer shall be selected by the County.

If the application is withdrawn prior to the circulation to commenting agencies, the entire original fee will be refunded. If withdrawn after the circulation to agencies, half the original fee will be refunded. No refund is available after the public meeting and/or approval of application.

**Notification Sign Requirements**

Planning Department staff may post a notification sign on your property in advance of the public meeting on your behalf. Please keep this sign posted until you have received a notice in the mail indicating that the Secretary Treasurer received no appeals.

It is the applicant's responsibility to ensure that the sign is correctly posted within the statutory timeframes, according to the *Planning Act*. Failure to post a sign in advance of the public meeting in accordance with statutory requirements will impact the timing of the Committee of Adjustment meeting. Applicants are responsible for removing the sign following the appeal period. The signs are recyclable and can be placed in your blue box.

**Contact Us**

For additional information or assistance in completing this application, please contact a planner at 519-426-5870 ext. 8159 or [coa@norfolkcounty.ca](mailto:coa@norfolkcounty.ca)



**For Office Use Only:**

File Number	_____	Application Fee	_____
Related File Number	_____	Conservation Authority Fee	_____
Application Submitted	_____	Well & Septic Info Provided	_____
Complete Application	_____	Planner	_____
		Public Notice Sign	_____

**Check the type of planning application(s) you are submitting.**

- Standard Minor Variance
- Complex Minor Variance (After the fact)
- Routine Minor Variance

**Property Assessment Roll Number:** 33607080400

**A. Applicant Information**

**Name of Owner** Harold Ruckpaul

It is the responsibility of the owner or applicant to notify the planner of any changes in ownership within 30 days of such a change.

**Address** 4683 Highway 3

**Town and Postal Code** Simcoe, Ontario, N3Y4K4

**Phone Number** 289-659-7925

**Cell Number** \_\_\_\_\_

**Email** ruckpaul555@gmail.com

**Name of Authorized Applicant** Darren Draaistra

**Address** 74066 Wellandport Road

**Town and Postal Code** Wellandport, Ontario L0R 2J0

**Phone Number** 289-455-8310

**Cell Number** 289-455-8310

**Email** darren@adraaistracontracting.ca



**Name of Authorized Agent** Darren Draaistra

Address 74066 Wellandport Road

Town and Postal Code Wellandport, Ontario L0R 2A0

Phone Number 289-455-8310

Cell Number \_\_\_\_\_

Email darren@adraaistracontracting.ca

Please specify to whom all communications should be sent. Unless otherwise directed, all correspondence and notices in respect of this application will be forwarded to the owner and agent noted above.

Owner                       Agent                       Applicant

Names and addresses of any holder of any mortgagees, charges or other encumbrances on the subject lands:

Harold Ruckpaul

**B. Location, Legal Description and Property Information**

1. Legal Description (include Geographic Township, Concession Number, Lot Number, Block Number and Urban Area or Hamlet):  
33607080400, Zone Agricultural, TWN CON 14 PT LOT 12, Township Renton (Simcoe)

Municipal Civic Address: 4683 Highway 3

Land acquisition date (if known): House & Land purchased May 10, 2023

Present Official Plan Designation(s): Hamlet

Present Zoning: A - Agricultural

2. Is there a special provision or site specific zone on the subject lands?

Yes     No

If yes, please specify:

\_\_\_\_\_

3. Present use of the subject lands:

Single Family dwelling with Accessory Buildings

\_\_\_\_\_



4. Please describe **all existing and proposed** buildings and structures on the subject lands and whether they are to be retained, demolished or removed.

Type of Building	Existing	Proposed
	Single Family Dwelling	Accessory Building
Number of Storey(s)	2	1
Number of Dwelling Units per lot	1	0
Buildings/Structures/ARDU Width (m)	12.19m	7.315m
Building/ Structures /ARDU Length (m)	13.34m	10.97m
Building/ Structures /ARDU Height (m)		6.7m
Usable Floor Area (sq.m)	162.5m <sup>2</sup>	74.787m <sup>2</sup>
Lot coverage	0.71%	0.35%

5. If an addition to an existing building is being proposed, please explain what it will be used for (for example a bedroom, kitchen, or bathroom). If new fixtures are proposed, please describe.

N/A

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6. Are any existing buildings on the subject lands designated under the *Ontario Heritage Act* as being architecturally and/or historically significant?

Yes  No

If yes, identify and provide details of the building:

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7. If known, the length of time the existing uses have continued on the subject lands:

Original Construction of the house is 2009/2010

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8. Existing use of abutting properties:

Hamlet Residential

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9. Are there any easements or restrictive covenants affecting the subject lands?

Yes  No If yes, describe the easement or restrictive covenant and its effect:

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**C. Zoning Review (chart must be completed in metric units)**

Please fill out the required information for the main and accessory buildings and structures

	Zoning By-law Requirement	Proposed	Deficiency
Lot area (m <sup>2</sup> )	40 hec	n/a	n/a
Lot frontage (m)	30m	n/a	n/a
Lot depth (m)	322.83	n/a	n/a
Front Yard Setback (m)	13m	28.76m	No deficiency
Left Side Yard Setback (m)	1.2m	28.15m	No deficiency
Right Side Yard Setback (m)	1.2m	31.84m	No deficiency
Rear Yard Setback (m)	9m	281.26m	No deficiency
Exterior side yard (if applicable) (m)	n/a	n/a	No deficiency
Height (m)	8m	6.7m	No deficiency
Lot coverage (%)	10% or 200m <sup>2</sup>	0.99% or 221.2m <sup>2</sup>	21.2m <sup>2</sup> total over lot coverage
Buildings/structures separation (m)	n/a	n/a	No deficiency
Detached Additional Dwelling Unit (ADU) or Accessory Building i) Usable floor area (m <sup>2</sup> ) ii) Height (m) iii) Building separation (m)	i) 200m <sup>2</sup> ii) 8m iii) n/a	i) 74.8m <sup>2</sup> Interior measurements ii) 6.7m iii) n/a	No deficiency
Number of parking spaces	n/a	n/a	No deficiency



**D. Previous Use of the Property**

1. Has there been an industrial or commercial use on the subject lands or adjacent lands?

Yes  No  Unknown

If yes, specify the uses (for example: gas station, or petroleum storage):

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2. Is there reason to believe the subject lands may have been contaminated by former uses on the site or adjacent sites?

Yes  No  Unknown

3. Provide the information you used to determine the answers to the above questions:

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4. If you answered yes to any of the above questions in Section D, a previous use inventory showing all known former uses of the subject lands, or if appropriate, the adjacent lands, is needed. Is the previous use inventory attached?

Yes  No

**E. Provincial Policy**

1. Is the requested amendment consistent with the Provincial Planning Statements issued under subsection 3(1) of the *Planning Act, R.S.O. 1990, c. P. 13*?

Yes  No

If you answered no, please explain:

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2. It is the owner's responsibility to be aware of and comply with all relevant federal or provincial legislation, municipal by-laws or other agency approvals, including the Endangered Species Act, 2007. Have the subject lands been screened to ensure that development or site alteration will not have any impact on the habitat for endangered or threatened species further to the Provincial Planning Statement ?



Yes  No

If no, please explain:

The placement of the proposed Accessory building will not interfere with the existing bush on the property.

3. Have the subject lands been screened to ensure that development or site alteration will not have any impact on source water protection?

Yes  No

If no, please explain:

No negative affect will come to the property due to the Accessory building, we are not near any bodies of water, and no contamination will come from this.

Note: If the subject lands are in an area of source water Wellhead Protection Area (WHPA) A, B or C, Issue Contributing Area, Intake Protection zone, please attach relevant information and approved mitigation measures from the Risk Manager Official.

4. Does the property have any significant environmental features on the subject land or within 500 metres:

Yes  No

If yes, indicate:  Significant Woodland  Provincially Significant Wetland  Floodplain  Other \_\_\_\_\_

5. Does the property have any livestock facility or stockyard on the subject land or within 1000 metres:

Yes  No

If yes, the submission of Minimum Distance Separation (MDS) calculations may apply.

**F. Servicing and Access**

1. Indicate what services are available or proposed:

Water Supply

- Municipal piped water
- Individual wells

- Communal wells
- Other (describe below)

Cistern \_\_\_\_\_



Sewage Treatment

- Municipal sewers  Communal system  
 Septic tank and tile bed in good working order  Other (describe below)
- 

Storm Drainage

- Storm sewers  Open ditches  
 Other (describe below)
- 

Property drainage

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2. Existing or proposed access to subject lands:

- Municipal road  Provincial highway  
 Unopened road  Other (describe below)

Name of road/street:

Highway 3

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**G. Other Information**

Is there any other information that you think may be useful in the review of this application? If so, explain below or attach on a separate page.

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## **H. Supporting Material to be submitted by Applicant**

In order for your application to be considered complete, folded hard copies and an electronic version of the site plan drawings, additional plans, studies and reports will be required in addition to a sketch plan in accordance with Ontario Regulation 200/96.

### **i. Sketch in Metric Units**

A sketch showing the following, in metric units:

- a) The boundaries and dimensions of the subject land.
- b) The location, size, dimensions, and type of all existing and proposed buildings and structures on the subject land, indicating the distance of the buildings or structures from the front yard lot line, rear yard lot line and the side yard lot lines.
- c) The approximate location of all natural and artificial features on the subject land and on land that is adjacent to the subject land that, in the opinion of the applicant, may affect the application. Examples include buildings, railways, roads, watercourses, drainage ditches, river or stream banks, wetlands, wooded areas, wells and septic tanks.
- d) The current uses on land that is adjacent to the subject land.
- e) The location, width and name of any roads within or abutting the subject land, indicating whether it is an unopened road allowance, a public travelled road, a private road or a right of way.
- f) If access to the subject land is by water only, the location of the parking and docking facilities to be used.
- g) The location and nature of any easement affecting the subject land.
- h) Location and setbacks of septic system and well from all existing and proposed lot lines, and all existing and proposed structures.



**I. Transfers, Easements and Postponement of Interest**


The owner acknowledges and agrees that if required it is their solicitor's responsibility on behalf of the owner to undertake the registration of all transfer(s) of land to the County, and/or transfer(s) of easement in favour of the County and/or utilities. The owner further acknowledges and agrees that it is their solicitor's responsibility on behalf of the owner to undertake the registration of postponements of any charges in favour of the County.

**Permission to Enter Subject Lands**

Permission is hereby granted to Norfolk County officers, employees or agents, to enter the premises subject to this application for the purpose of making inspections associated with this application, during normal and reasonable working hours.

**Freedom of Information**

For the purposes of the *Municipal Freedom of Information and Protection of Privacy Act*, I authorize and consent to the use by or the disclosure to any person or public body any information that is collected under the authority of the *Planning Act, R.S.O. 1990, c. P. 13* for the purpose of processing this application.

  
\_\_\_\_\_  
Owner/Applicant/Agent Signature


01/22/2026  
\_\_\_\_\_  
Date

**J. Owner's Authorization**

If the authorized applicant/agent is not the registered owner of the lands that is the subject of this application, the owner must complete the authorization set out below.

I/We Harold Ruckpaul am/are the registered owner(s) of the lands that is the subject of this application.

I/We authorize Darren Draaistra to make this application on my/our behalf and to provide any of my/our personal information necessary for the processing of this application. Moreover, this shall be your good and sufficient authorization for so doing.

Harold Ruckpaul   
\_\_\_\_\_  
Owner

01/22/2026  
\_\_\_\_\_  
Date

\_\_\_\_\_  
Owner

\_\_\_\_\_  
Date

**\*Note: If property is owned by an Ontario Ltd. Corporation, Articles of Incorporation are required to be attached to the application.**



**K. Declaration**

I, Darren Draaistra of Township of West Lincoln

solemnly declare that:

all of the above statements and the statements contained in all of the exhibits transmitted herewith are true and I make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath and by virtue of *The Canada Evidence Act*.

Declared before me at:

Township of West Lincoln

Owner/Applicant/Agent Signature

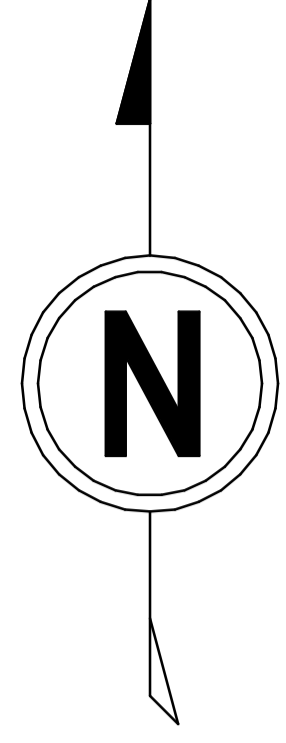
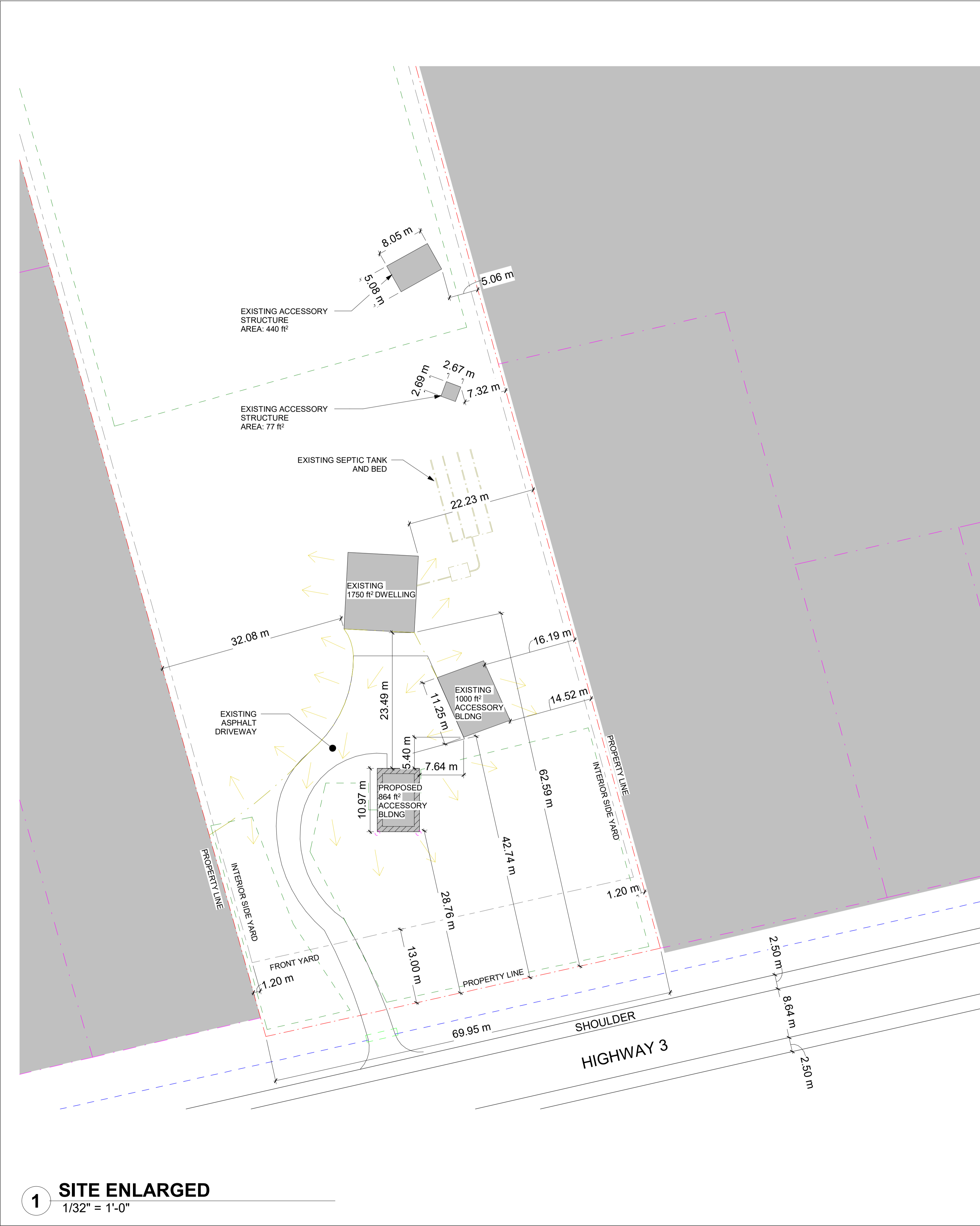
In Region of Niagara

This 23rd day of January

A.D., 2020

Jeni Lynn Fisher,  
a Commissioner, etc.,  
Province of Ontario, for the Corporation  
of the Township of West Lincoln.

A Commissioner Expires April 5, 2028



**SITE INFORMATION:**

ROLL NUMBER: 33607080400  
 TOWNSHIP: RENTON(SIMCOE)  
 LEGAL DESCRIPTION: TWN CON 14 PT LOT 12  
 ZONING DESCRIPTION: AGRICULTURAL (A)  
 LOT SIZE: 22,684 m<sup>2</sup> (2.268 Hectares)  
 EXISTING ACCESSORY COVERAGE: 0.64% (1484ft<sup>2</sup> OR 137.9m<sup>2</sup>)  
 PROPOSED ACCESSORY COVERAGE: 0.35% (864 ft<sup>2</sup> OR 80.3m<sup>2</sup>)  
 TOTAL ACCESSORY COVERAGE: 0.99% ( 2384 ft<sup>2</sup> OR 221.5m<sup>2</sup>)  
 ADJACENT LAND USES: HAMLET RESIDENTIAL (RH)

**NOTE:**  
 ALL DIMENSIONS ARE TAKEN FROM THE NORFOLK COUNTY GIS MAPPING SYSTEM AND HAVE NOT BEEN VERIFIED IN ANY WAY. BY ACCEPTING THESE DRAWINGS THE HOMEOWNER AGREES WITH THEIR ACCURACY. BY CONSTRUCTING WITH THESE DRAWINGS THE CONTRACTOR AGREES WITH THEIR ACCURACY

**NOTE:**  
 - PROPOSED DOWNSPOUT LOCATIONS TO DRAIN AS PER EXISTING SITE CONDITION  
 - CONSTRUCTION OF THE PROPOSED ACCESSORY BUILDING IS NOT TO ADVERSELY AFFECT THE EXISTING DRAINAGE PATTERNS

LEGEND	
	SEPTIC BED
	e/o DENSE WOODED AREA
	CULVERT
	FLOW ARROWS
	DITCH
	HIGH POINT
	PROPERTY LINES - SITE
	PROPERTY LINES - OTHER
	DOWNSPOUTS
	WOODED AREAS



8378 ON-3 | DUNNVILLE | ON  
 WWW.ONTARIOOUTBUILDING.COM  
 JESSE@ONTARIOOUTBUILDING.COM | 905-746-8874

**NEW ACCESSORY BUILDING**  
 HAROLD RUCKPAUL  
 4683 Highway 3  
 Simcoe, ON.  
 N3Y 4K4

**SITPLAN ENLARGED**

PROJECT NO: Project Number  
 LATEST REVISION: 2025-10-02  
 DRAWN BY: KV  
 CHECKED BY: Checker

**A0**

**1 SITE ENLARGED**  
 1/32" = 1'-0"

THESE DRAWINGS ARE THE PROPERTY OF ONTARIO OUTBUILDING INC. AND ARE TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. ANY REUSE OR REPRODUCTION OF ANY INFORMATION CONTAINED HEREIN WITHOUT THE WRITTEN PERMISSION OF ONTARIO OUTBUILDING INC. IS STRICTLY PROHIBITED. ALL DIMENSIONS TO BE CONFORMED TO THE LATEST AMENDMENT OF THE BUILDING REGULATIONS, REGARDLESS OF DRAWING DETAILS.

2025-12-29 4:01:04 PM



# Zoning Review Comments

## 4683 HIGHWAY 3, Nanticoke, ON

### PRBD20251329

This letter is issued pursuant to Norfolk County By-Law 1-Z-2014 as amended.  
**Issued date: December 19, 2025**

Keegan Vis  
 8376 Highway 3, estimator@ontoutbuilding.com  
 Dunnville, ON N1A 2W4

As a part of the Building Permit application process, zoning review and compliance to our zoning Bylaw 1-Z-2014 is required prior to the issuance of a permit. Your application is currently under zoning review and the following comments below must be addressed in order to achieve zoning compliance.

Review Item	Comments
<b>Applicable Law Review</b> Completed By: Julia Post  December 17, 2025	<b>Status: Complete</b>
<b>Lot Grading Approval</b> Completed By: Josh Evans  October 06, 2025	<b>Status: Lot Grading Exemption Request</b>
<b>Lot Grading Exemption Review</b> Completed By: Annette Blazeiko	<b>Status: County Exemption Approved</b>
December 18, 2025 <b>Zoning Review</b> Completed By: Troy Scriven	<b>Status: Waiting for Planning App.</b>  <b>Deficiencies:</b>
December 19, 2025	1) The proposed useable floor area for accessory structures on the property combined is greater than the permitted maximum of 200 square meters. The proposal is 221.19 square meters (this area includes all accessory structures on the property). Please submit a revised design meeting the useable floor area requirement or you can seek zoning approval through the minor variance application process with the planning department. You can contact the planning department by email at <a href="mailto:planning@norfolkcounty.ca">planning@norfolkcounty.ca</a> or by phone at 519-426-5870 ext. 1842.  Existing shed size: 7.15 sq. m Existing quonset hut size: 40.88 sq. m Existing detached garage size: 92.90 sq. m Proposed accessory structure size: 80.26 sq.m Total Accessory Structure Useable floor area: 221.19 sq. m

**Planning Review Status: Pending**

Completed By:

If you have any questions or concerns regarding this review, or need clarification on an item, please feel free to contact the undersigned, so we can help you through this process.

Once all items are address, please resubmit to [zoning@norfolkcounty.ca](mailto:zoning@norfolkcounty.ca) or our [online portal](#).

Thank you;

**Troy Scriven**

Zoning Administrator

Building and Bylaw Services

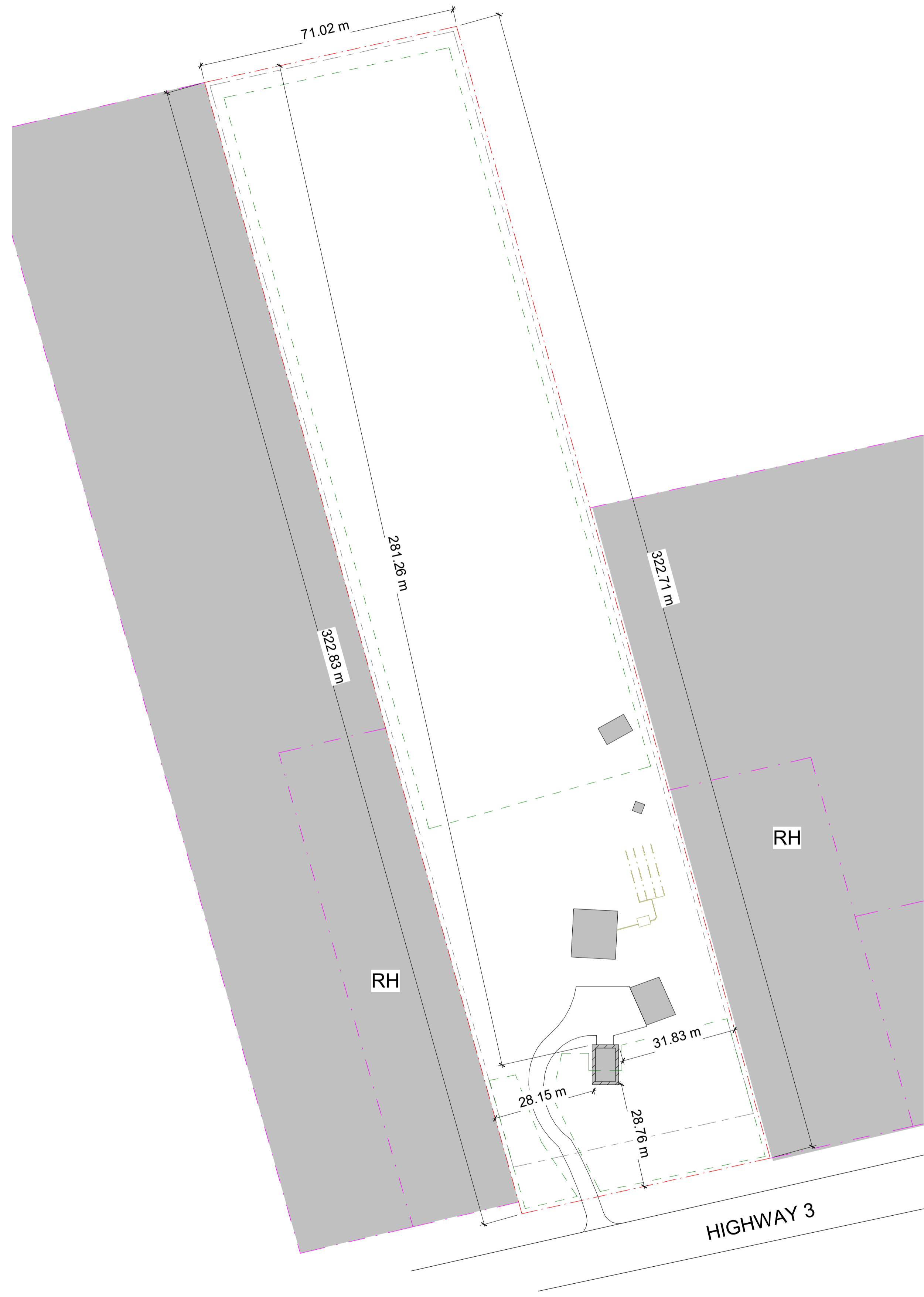
Community and Development Services

12 Gilbertson Dr., Simcoe, Ontario, N3Y 2N5

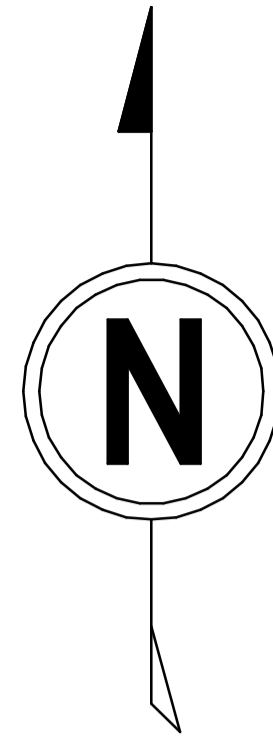
519-426-5870 x5019

**Community and Development Services- Building Department**

12 Gilbertson Drive, Simcoe, Ontario, Canada, N3Y 4N5 - 519-426-5870 | 226-NORFOLK Extension 6016



**1 FULL SITE**  
1/64" = 1'-0"



**SITE INFORMATION:**

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LEGEND	
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**NEW ACCESSORY BUILDING**

HAROLD RUCKPAUL  
 4683 Highway 3  
 Simcoe, ON.  
 N3Y 4K4

**FULL SITE**

PROJECT NO: Project Number  
 LATEST REVISION: 2025-10-02  
 DRAWN BY: KV  
 CHECKED BY: Checker

SCALE: As indicated

**A01**



- General**
- All work shall conform to the latest edition of the Ontario Building Code (OBC) and all local municipal bylaws and regulations.
  - Verify all dimensions, grades, and conditions on site prior to construction. Notify designer of any discrepancies.
  - All dimensions are in feet and fractional inches unless otherwise noted.
  - All structural members shall be installed per engineer's specifications and shop drawings (if applicable).
  - The contractor shall maintain a clean and safe job site in compliance with OHSA.
- Foundations**
- Concrete to have a minimum 28 MPa compressive strength at 28 days.
  - Footings shall be placed on undisturbed soil or engineered fill with a minimum bearing capacity of 75 kPa, unless otherwise specified.
  - All reinforcing steel shall conform to CSA G30.18, minimum 10M bars unless noted.
  - Provide 6 mil poly vapour barrier and 2" rigid insulation under concrete slab (if heated slab or per energy code compliance).
  - Anchor bolts to be 12.7mm (1/2") dia. x 300mm long at 1200mm o.c. max. unless noted otherwise.
  - Slope exterior grade away from building at min. 2% for 2m.
- Framing**
- Wall framing to be 38x140mm (2x6) studs at 24" o.c., unless otherwise noted.
  - Use spruce-pine-fir No. 2 or better for all framing.
  - Double top plates, single bottom plate on all walls.
  - Exterior walls to be sheathed with 7/16" OSB or plywood, nailed per code.
  - Provide blocking for all wall-mounted equipment, cabinetry, and cladding transitions.
  - Roof framing as per engineered trusses or rafters – install per truss shop drawings and manufacturer's instructions.
  - Provide hurricane ties or approved framing connectors at all truss-to-top-plate connections.
  - Floor framing (if applicable) to be 38x286mm (2x10) joists @ 400mm o.c. or as specified by engineer.
- Envelope**
- Provide building wrap (e.g., Tyvek) over all exterior sheathing, lapped at joints.
  - Install flashings, sealants, and membranes at all penetrations and transitions.
  - Cladding to be installed as per manufacturer's instructions and code.
  - All penetrations through exterior walls shall be sealed for air and water tightness.
  - Provide weep holes at bottom course of masonry veneer @ 24" o.c.
  - Brick veneer to be supported on foundation ledge or engineered shelf angle.
- Roofing**
- 2"x4" purlins @ 24" o.c. to be installed on all roof surface, unless otherwise noted.
  - If roofing to be metal panels, minimum 29 gauge, fastened per manufacturer's spec.
  - All roof penetrations to be sealed with rubber boots or flashing kits.
  - Provide drip edge, valley flashing, ridge cap, and gable trims as required.

ALL RENDERINGS ARE FOR CONCEPTUAL PURPOSES ONLY. THE FINISH PRODUCT WILL DEPEND ON THE CONTRACTOR'S WORK AND THE HOMEOWNER'S SELECTIONS.

PLAN PROTECTION:  
1. THESE PLANS ARE PROTECTED BY COPYRIGHT LAW. REPRODUCTION OF THESE PLANS IN WHOLE OR IN PART, OR PREPARATION OF DERIVATIVE WORKS THEREOF, WITHOUT PRIOR WRITTEN PERMISSION IS STRICTLY PROHIBITED.  
2. PLANS ARE TO BE USED FOR CONSTRUCTION OF ONE DWELLING. THE PURCHASE OF THESE PLANS IN NO WAY TRANSFERS COPYRIGHT OR OTHER OWNERSHIP INTEREST TO THE CLIENT OR BUYER. BUILDING ANOTHER DWELLING IN ANY LOCATION OTHER THAN THE ADDRESS OF THIS PLAN SET CONSTITUTES COPYRIGHT INFRINGEMENT.

DISCLAIMER: BUILDING CONTRACTOR TO VERIFY ALL DIMENSIONS BEFORE PROCEEDING. DIMENSIONS ALWAYS TAKE PRECEDENCE OVER SCALED DIMENSIONS. ALL CONSTRUCTION SHALL COMPLY WITH PART 9 OF THE ONTARIO BUILDING CODE (OBC).  
THE ENTIRETY OF THE CONSTRUCTION DRAWINGS SET MUST BE SIGNED TO BE VALID FOR PERMIT. THE DRAWINGS ARE VALID ONLY FOR THE ORIGINAL ADDRESS NOTED IN THE TITLE BLOCK.

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION  
required unless design is exempt under Division C, subsection 3.2.5. of the O.B.C.

ROCHELLE BLOKKER  
DESIGNER NAME SIGN 106412 BCIN

REGISTRATION INFORMATION  
required unless design is exempt under Division C, subsection 3.2.4. of the O.B.C.

BLOKKER DESIGN 122672 BCIN

DESIGN VERIFIED BY:

ROCHELLE BLOKKER  
rochelleblokker@gmail.com | 519-216-4542

8376 ON-3 | DUNNVILLE | ON  
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**NEW ACCESSORY BUILDING**

**HAROLD RUCKPAUL**

4683 Highway 3  
Simcoe, ON.  
N3Y 4K4

**EXTERIOR CONCEPTS**

P.O.: Project Number  
LATEST REVISION: 2025-09-25  
DRAWN BY: KV  
CHECKED BY: Checker

SCALE:

**A1**

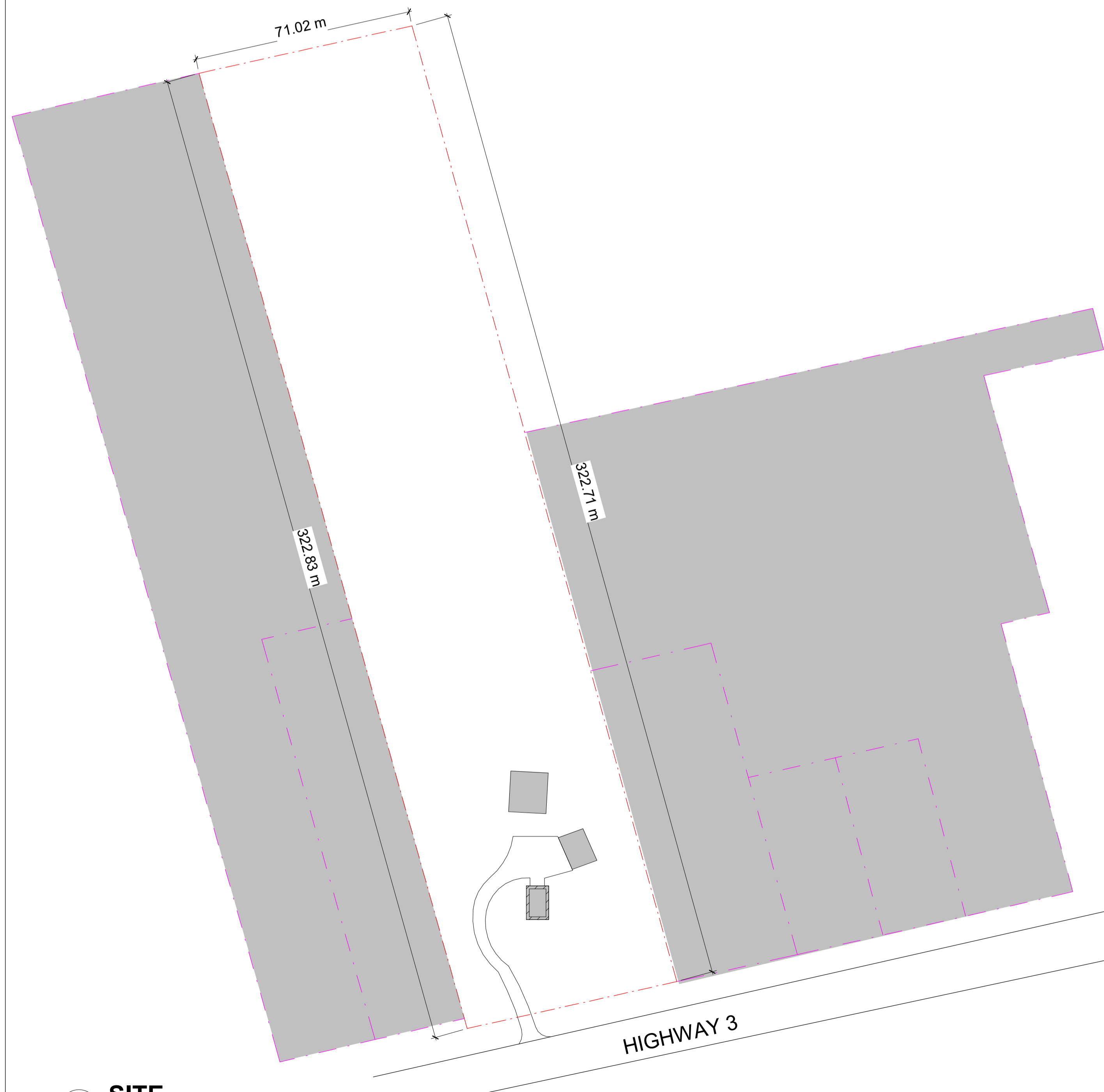
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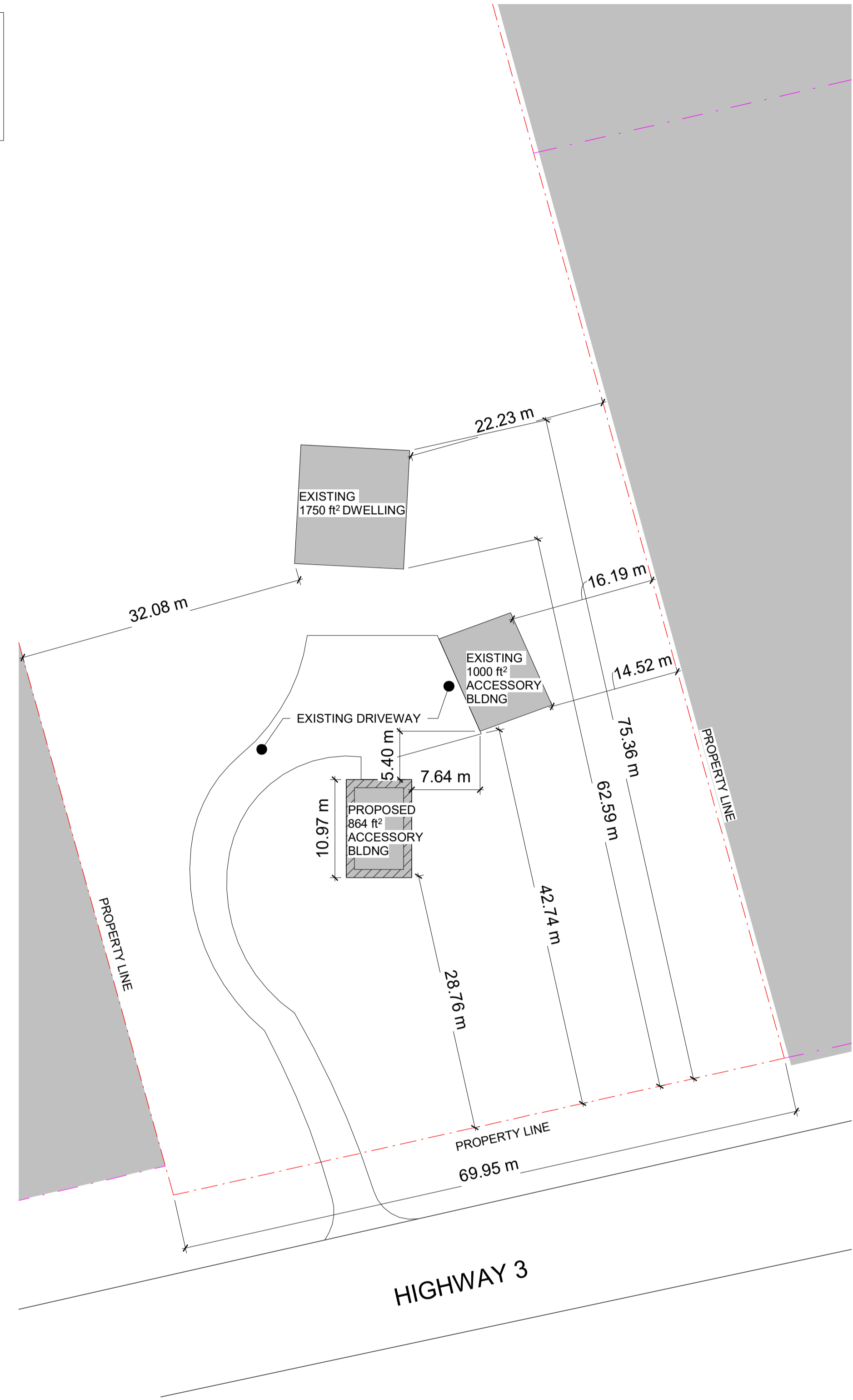
**SITE INFORMATION:**

ROLL NUMBER: 33607080400  
 TOWNSHIP: RENTON(SIMCOE)  
 LEGAL DESCRIPTION: TWN CON 14 PT LOT 12  
 ZONING DESCRIPTION: AGRICULTURAL (A)  
 LOT SIZE: 22,684 m<sup>2</sup> (2.268 Hectares)  
 EXISTING ACCESSORY COVERAGE: 0.42%  
 PROPOSED ACCESSORY COVERAGE: 0.35%  
 TOTAL ACCESSORY COVERAGE: 0.77%

**NOTE:**  
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**2 SITE**  
 1" = 80'-0"




**1 SITE ENLARGED**  
 1/32" = 1'-0"

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 DESIGNER NAME SIGN. BCGN

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**NEW ACCESSORY BUILDING**

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 N3Y 4K4

**SITEPLAN**

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 LATEST REVISION: 2025-09-25  
 DRAWN BY: KV  
 CHECKED BY: Checker

SCALE: As indicated

**A2**

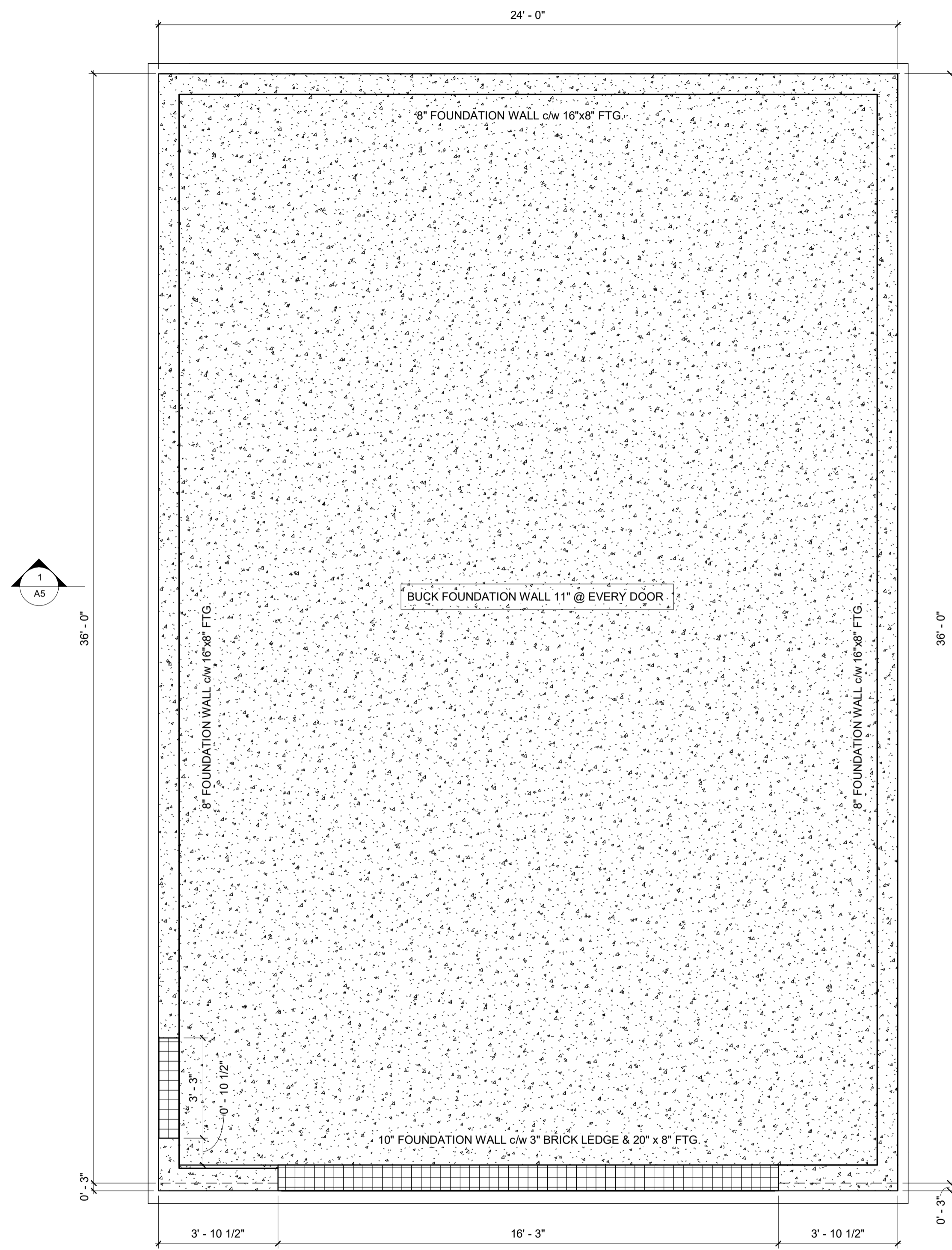
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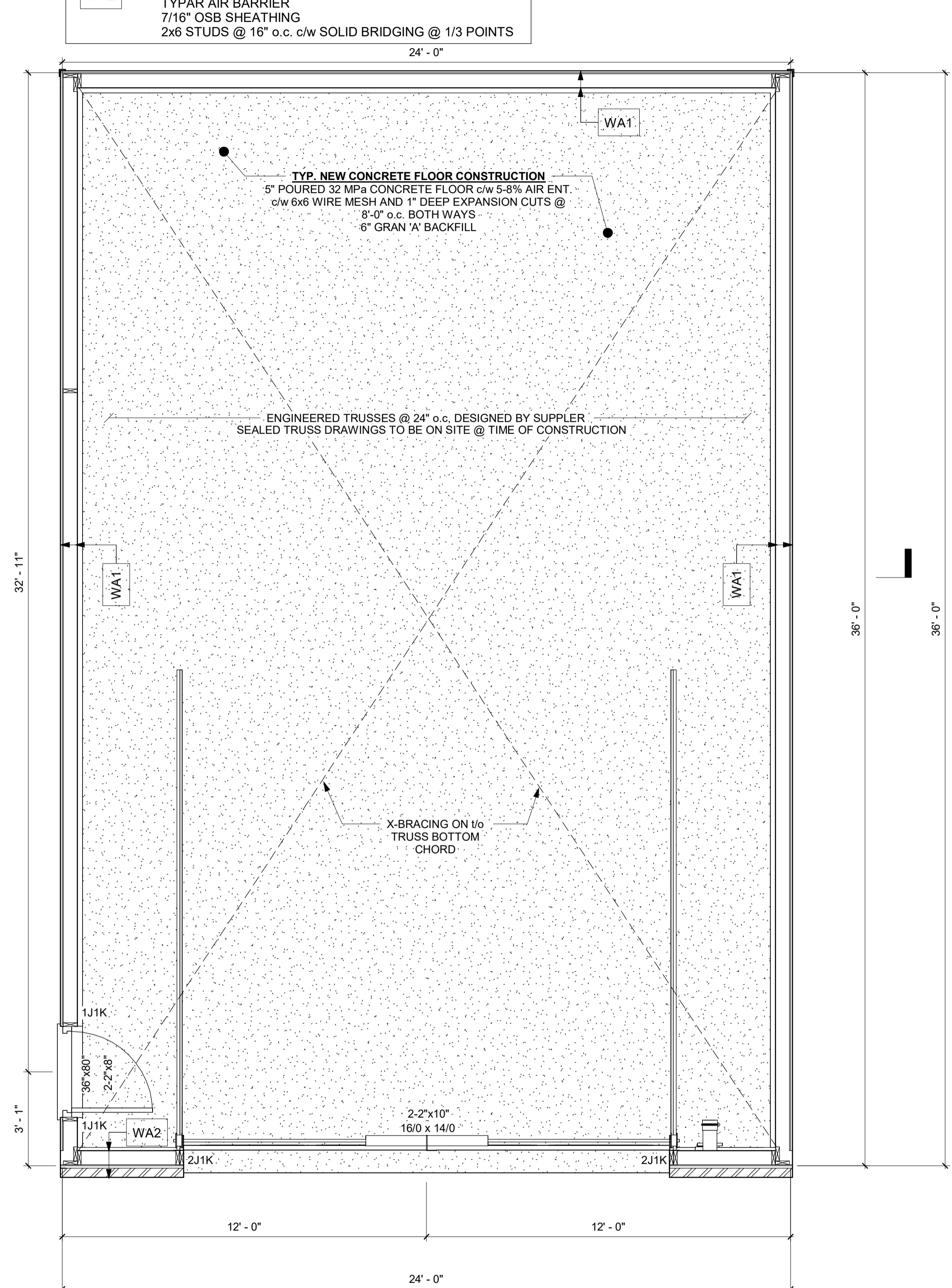
Door Schedule				
Family	Type	Height	Width	Count
Doors_ExtSgl_w-Glazing_Bars_3	36"x80"	6' - 8"	3' - 0"	1
Richard Wilcox L138 Residential	Insulated Door c/w Thermoglass Inserts	16' - 0"	14' - 0"	1

Window Schedule				
Family	Type	Width	Height	Count

Wall Schedule	
WA1	HORIZONTAL VINYL SIDING TYPAR AIR BARRIER 7/16" OSB SHEATHING 2x6 STUDS @ 16" o.c. c/w SOLID BRIDGING @ 1/3 POINTS
WA2	3 5/8" STONE VENEER c/w WEEP HOLES @ 24" o.c. 1" AIR GAP TYPAR AIR BARRIER 7/16" OSB SHEATHING 2x6 STUDS @ 16" o.c. c/w SOLID BRIDGING @ 1/3 POINTS



**1 FOUNDATION PLAN**  
3/8" = 1'-0"




**2 MAIN FLOOR**  
3/8" = 1'-0"

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**NEW ACCESSORY BUILDING**

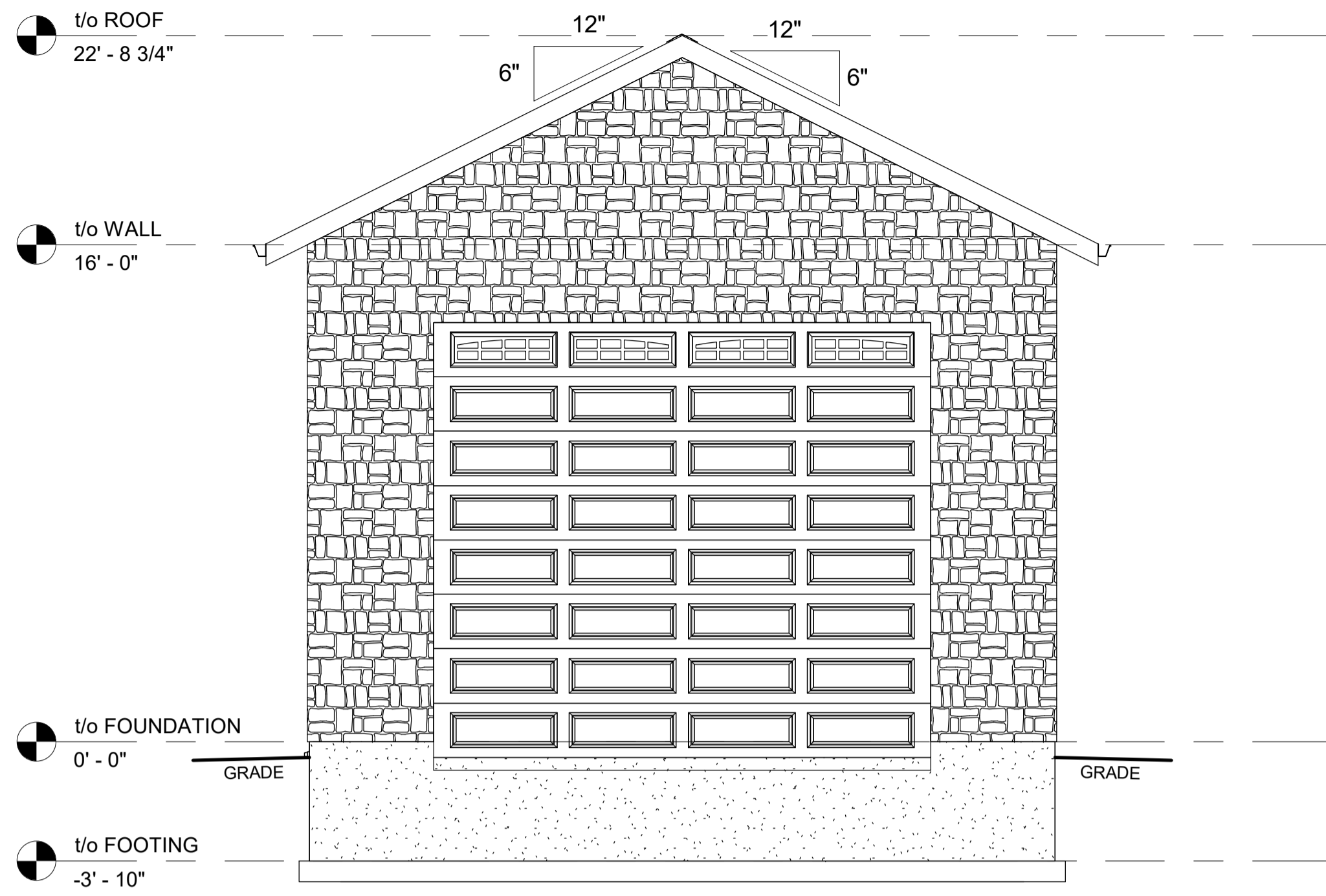
**HAROLD RUCKPAUL**  
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Simcoe, ON.  
N3Y 4K4

**FLOOR PLANS**

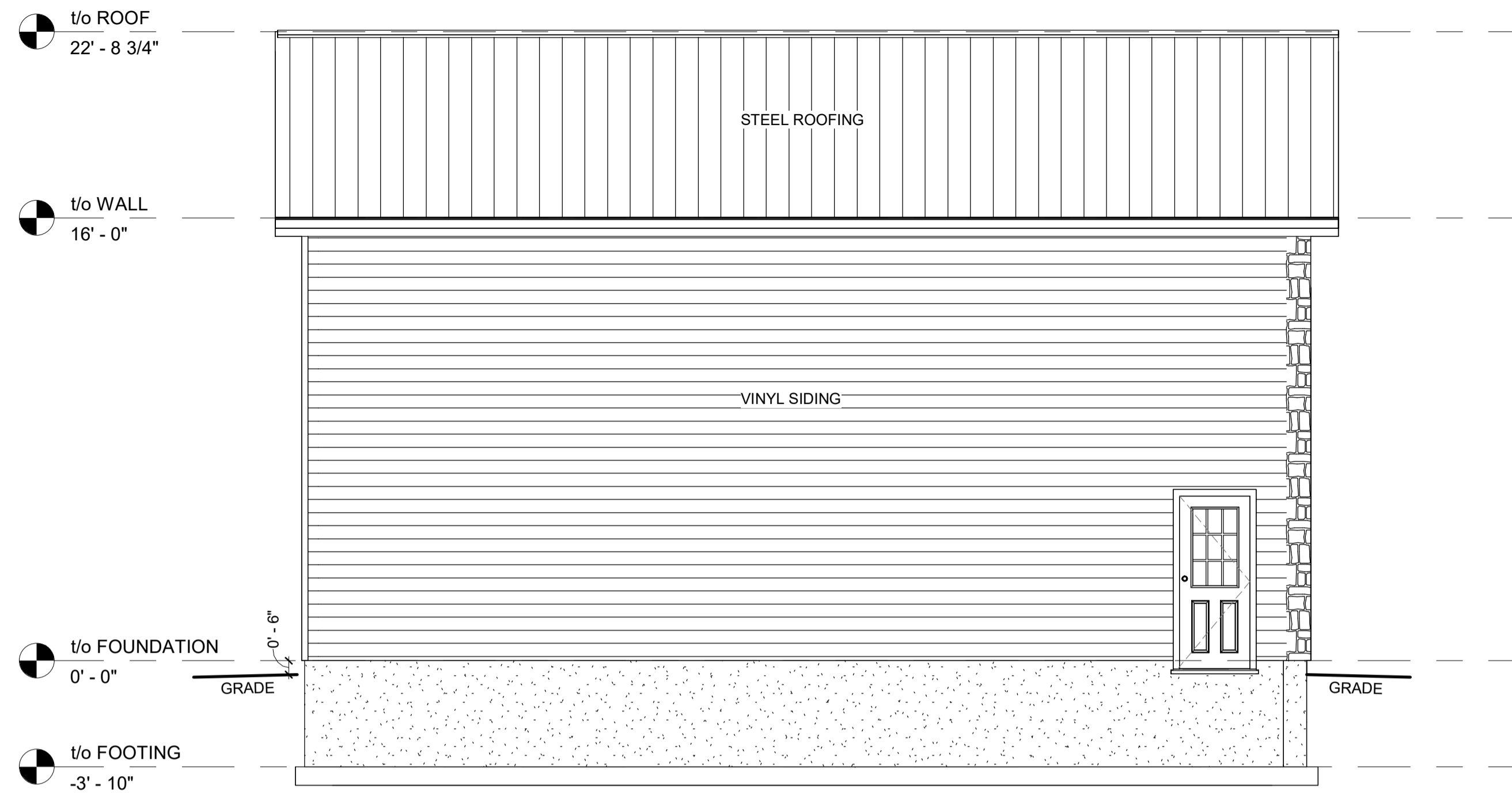
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LATEST REVISION:	2025-09-25	
DRAWN BY:	KV	
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SCALE:	3/8" = 1'-0"	

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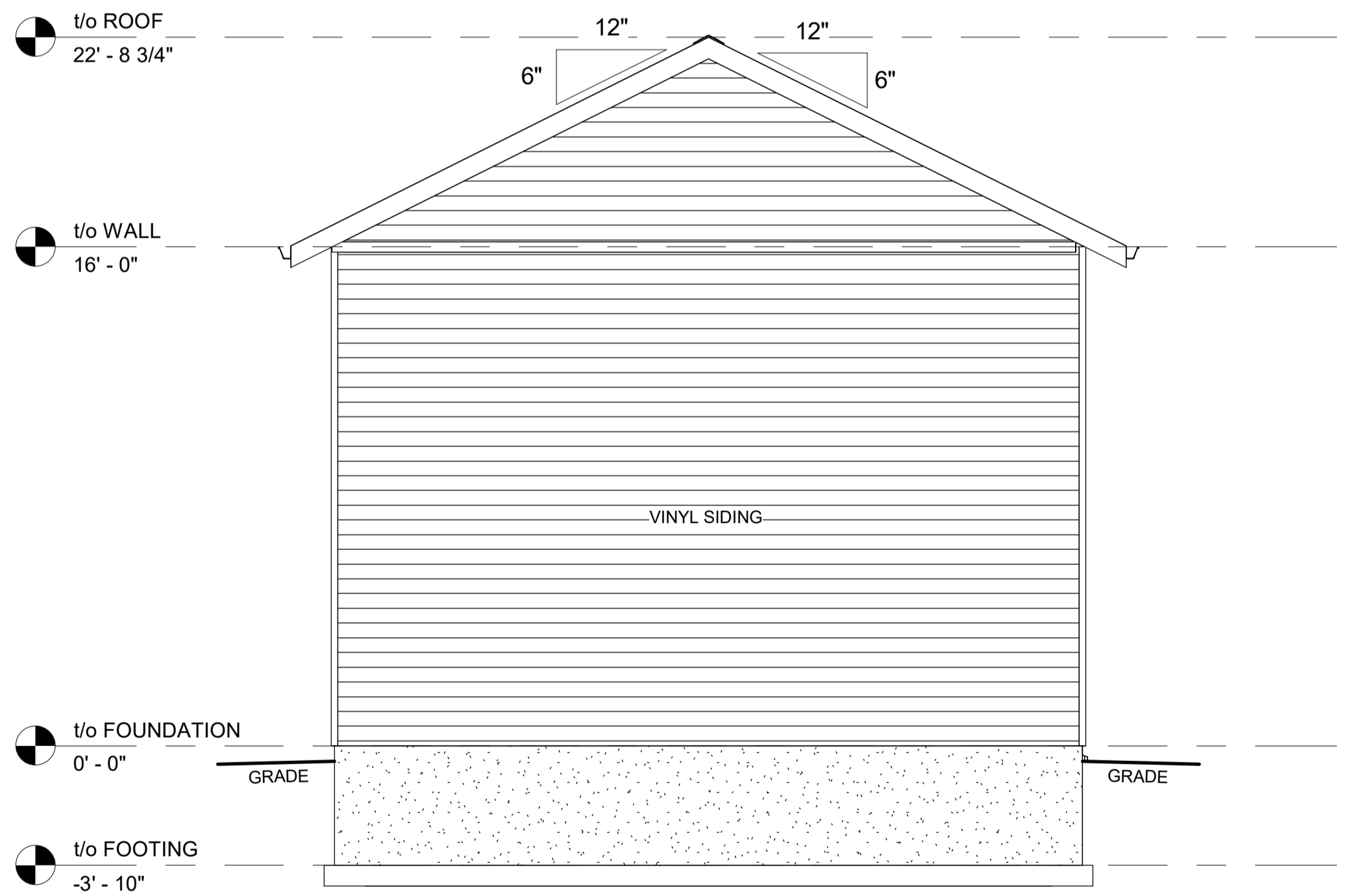
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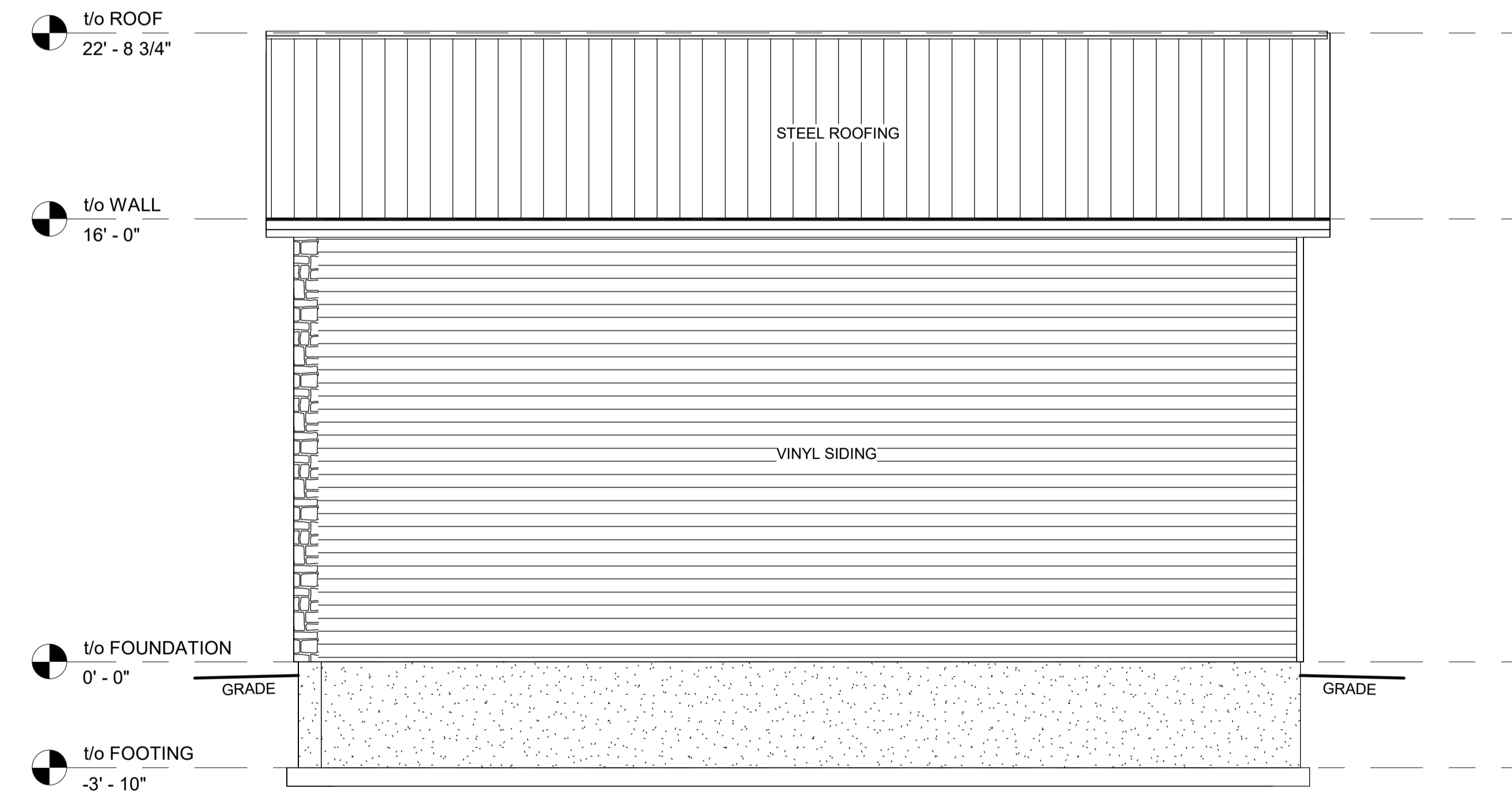
**1 FRONT ELEVATION**  
1/4" = 1'-0"



**3 LEFT ELEVATION**  
1/4" = 1'-0"



**2 REAR ELEVATION**  
1/4" = 1'-0"



**4 RIGHT ELEVATION**  
1/4" = 1'-0"


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**NEW ACCESSORY BUILDING**

HAROLD RUCKPAUL  
4683 Highway 3  
Simcoe, ON.  
N3Y 4K4

**ELEVATIONS**

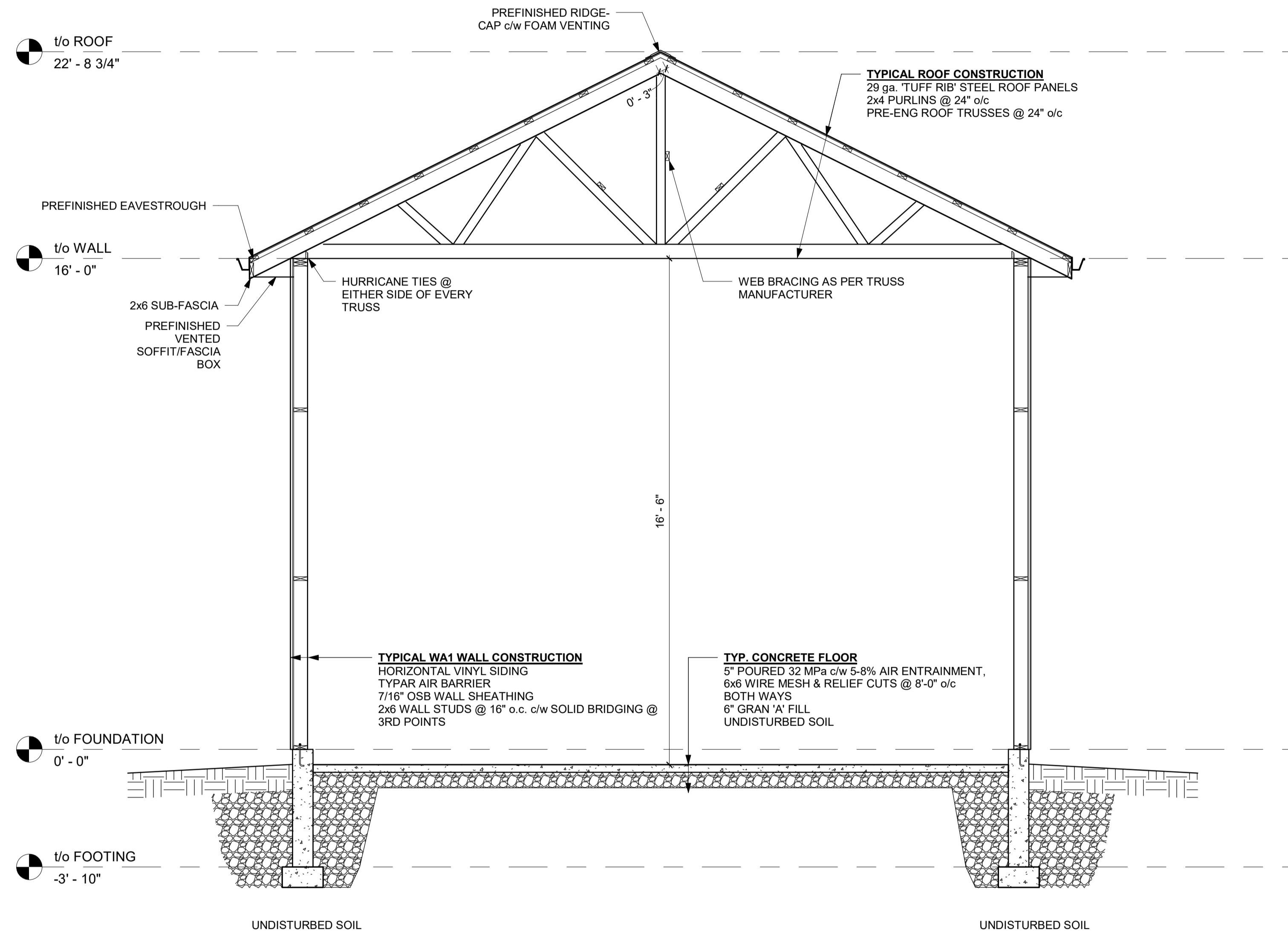
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SCALE: 1/4" = 1'-0"

**A4**

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**1 CROSS SECTION 1**  
3/8" = 1'-0"

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ROCHELLE BLOKKER  100412  
DESIGNER NAME SIGN BCIN

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BCIN

DESIGN VERIFIED BY:

**BLOKK**  
DESIGN

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rochelleblokker@gmail.com | 519-216-4542



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**NEW ACCESSORY BUILDING**

HAROLD RUCKPAUL  
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Simcoe, ON.  
N3Y 4K4

**SECTIONS**

P.O.: Project Number  
LATEST REVISION: 2025-09-25  
DRAWN BY: KV  
CHECKED BY: Checker

SCALE: 3/8" = 1'-0"

**A5**

# CONCRETE

## 9.3.1 Concrete

- 9.3.1.1. General
  - (1) Except as provided in Sentence (2), unreinforced and nominally reinforced concrete shall be designed, placed, cured and tested in accordance with the requirements for "C" class concrete stated in Clause 8.13 of CSA A23.1, "Concrete Materials and Methods of Concrete Construction".
  - (2) Unreinforced and nominally reinforced site-batched concrete shall be designed, mixed, placed and cured in accordance with Articles 9.3.1.2. to 9.3.1.9.
  - (3) Except as provided in Sentence (4), Subsection 9.15.4. and Section 9.39., reinforced concrete shall be designed to conform to the requirements of Part 4.

- 9.3.1.2. Cement
  - (1) cement shall meet the requirements of CAN/CSA-A3001, "Cementitious Materials for Use in Concrete".
  - 9.3.1.3. Concrete in Contact with Sulfate Soil
    - (1) Concrete in contact with sulfate soil, which is deleterious to normal cement, shall conform to the requirements in Clause 4.1.1.6. of CSA A23.1, "Concrete Materials and Methods of Concrete Construction".

- 9.3.1.4. Aggregates
  - (1) Aggregates shall,
    - (a) consist of sand, gravel, crushed rock, crushed air-cooled blast furnace slag, expanded shale or expanded clay conforming to CSA A23.1, "Concrete Materials and Methods of Concrete Construction", and
    - (b) be clean, well-graded and free of injurious amounts of organic and other deleterious material.

- 9.3.1.6. Compressive Strength
  - (1) Except as provided elsewhere in this Part, the compressive strength of unreinforced concrete after 28 days shall be not less than,
    - (a) 20 MPa for garage floors, carport floors and all exterior flooring,
    - (b) 20 MPa for interior floors other than those for garages and carports, and
    - (c) 15 MPa for all other applications.
  - (2) Concrete used for garage and carport floors and exterior steps shall have air entrainment of 5 to 8%.

- 9.3.1.7. Concrete Mixes
  - (1) For site-batched concrete, the concrete mixes described in Table 9.3.1.7. shall be considered acceptable if the ratio of water to cementing materials does not exceed,
    - (a) 0.45 for garage floors, carport floors and all exterior flooring,
    - (b) 0.65 for interior floors other than those for garages and carports, and
    - (c) 0.70 for all other applications.
  - (2) The size of aggregate in unreinforced concrete mixes referred to in Sentence (1) shall not exceed,
    - (a) 1/5 the distance between the sides of vertical forms, or
    - (b) 1/3 the thickness of flatwork.

- 9.3.1.8. Admixtures
  - (1) Admixtures shall conform to ASTM C260 / C260M, "Air-Entraining Admixtures for Concrete", or ASTM C494 / C494M, "Chemical Admixtures for Concrete", as applicable.

- 9.3.1.9. Cold Weather Requirements
  - (1) When the air temperature is below 5°C, concrete shall be,
    - (a) kept at a temperature of not less than 10°C or more than 25°C while being mixed and placed, and
    - (b) maintained at a temperature of not less than 10°C for 72 h after placing.
  - (2) No frozen material or ice shall be used in concrete described in Sentence (1).

- 9.15.4 Foundation Walls
  - 9.15.4.1. Foundation Wall Thickness and Required Lateral Support
    - (1) Except as required in Sentence (2), the foundation walls made of unreinforced concrete block or solid concrete and subject to lateral earth pressure shall conform to Table 9.15.4.2.A. for walls not exceeding 3.0 m in unsupported height.

- 9.15.4.3. Foundation Walls Considered to be Laterally Supported at the Top
  - (1) Sentences (2) to (4) apply to lateral support for walls described in Sentence 9.15.4.1.(2).
  - (2) foundation walls shall be considered to be laterally supported at the top if,
    - (a) such walls support solid masonry superstructure,
    - (b) the floor joists are embedded in the top of the foundation walls, or
    - (c) the floor system is anchored to the top of the foundation walls with anchor bolts, in which case the joists may run either parallel or perpendicular to the foundation walls.
  - (3) Unless the wall around an opening is reinforced to withstand earth pressure, the portion of the foundation wall beneath an opening shall be considered laterally unsupported, if,
    - (a) the opening is more than 1.2 m wide, or
    - (b) the total width of the openings in the foundation wall constitutes more than 25% of the length of the wall.
  - (4) For the purposes of Sentence (2), the combined width of the openings shall be considered as a single opening if the average width is greater than the width of solid wall between them.
  - (5) Flat insulating concrete form foundation walls shall be considered to be laterally supported at the top if the floor joists are installed according to Article 9.20.17.5.

- 9.15.4.4. Foundation Walls Considered to be Laterally Supported at the Bottom
  - (1) Flat insulating concrete form foundation walls shall be considered to be laterally supported at the bottom where the foundation wall,
    - (a) supports backfill not more than 1.2 m in height,
    - (b) is supported at the footing by a shear key and is supported at the top by the ground floor framing, or
    - (c) is dowelled to the footing with not less than 15M bars spaced not more than 1.2 m o.c.

- 9.15.4.5. Reinforcement for Flat Insulating Concrete Form Foundation Walls
  - (1) Horizontal reinforcement in flat insulating concrete form foundation walls shall,
    - (a) consist of,
      - (i) one 10M bar placed not more than 300 mm from the top of the wall, and
      - (ii) 10M bars spaced not more than 600 mm o.c., and
    - (b) be located,
      - (i) in the inside half of the wall section, and
      - (ii) with a minimum cover of 30 mm from the inside face of the concrete.
  - (2) Vertical wall reinforcement in flat insulating concrete form foundation walls shall,
    - (a) conform to,
      - (i) Table 9.15.4.5.A. for 140 mm walls,
      - (ii) Table 9.15.4.5.B. for 190 mm walls, and
      - (iii) Table 9.15.4.5.C. for 240 mm walls,
    - (b) be located in the inside half of the wall section with a minimum cover of 30 mm from the inside face of the concrete wall, and
    - (c) where interrupted by wall openings, be placed not more than 600 mm from each side of the openings.
  - (3) Cold joints in flat insulating concrete form foundation walls shall be reinforced with at least one 15M bar spaced not more than 600 mm o.c. and embedded not less than 300 mm on both sides of the joint.
  - (4) Reinforcing around openings in flat insulating concrete form foundation walls shall comply with Article 9.20.17.3. or 9.20.17.4.

- 9.16.2. Material Beneath Floors
  - 9.16.2.1. Structural Floor Slabs
    - (1) floors-on-ground that support loads from the superstructure shall be designed in conformance with Part 4.

- 9.16.1.3. Required Floors-on-Ground
  - (1) All spaces within dwelling units, except crawl spaces, shall be provided with a floor-on-ground, where,
    - (a) access is provided to the space, and
    - (b) a floor supported by the structure is not provided.

- 9.16.2.1. Required Installation of Granular Fill
  - (1) Except as provided in Sentence (2), not less than 100 mm of coarse clean granular material containing not more than 10% of material that will pass a 4.75 mm sieve shall be placed beneath floors-on-ground.
  - (2) Granular material need not be installed under,
    - (a) slabs in garages, carports or accessory buildings, or
    - (b) buildings of industrial occupancy where the nature of the process contained in the occupancy permits or requires the use of large openings in the building envelope even during the winter.

- 9.16.4.1. Surface Finish
  - (1) The finished surface of concrete floor slabs shall be trowled smooth and even.
  - (2) Dry cement shall not be added to the floor surfaces to abraded surplus water.

- 9.16.4.3. Thickness
  - (1) Concrete slabs shall be not less than 75 mm thick exclusive of concrete topping. (See Note A-9.16.4.3.(1))

Table 9.15.4.2-A  
Thickness of Solid Concrete, Concrete Core in Flat Wall Insulating Concrete Form and Unreinforced Concrete Block Foundation Walls  
Forming Part of Sentence 9.15.4.2.(1)

Type of Foundation Wall	Minimum Thickness of Concrete or Concrete Block, mm	Maximum Height of Finish Ground Above Basement Floor or Crawl Space Ground Cover, m			
		Wall Laterally Unsupported at the Top <sup>(1)</sup>	Height of Foundation Wall Laterally Supported at the Top <sup>(2)</sup>	> 2.5 m and ≤ 2.75 m	> 2.75 m and ≤ 3.0 m
Solid concrete and concrete core in flat wall insulating concrete forms, <sup>(3)</sup> 15 MPa min. strength	150	0.8	1.5	1.5	1.4
	200	1.2	2.15	2.15	2.1
	250	1.4	2.3	2.6	2.5
	300	1.5	2.3	2.6	2.85
Solid concrete and concrete core in flat wall insulating concrete forms, <sup>(3)</sup> 20 MPa min. strength	150	0.8	1.8	1.6	1.6
	200	1.2	2.3	2.3	2.2
	250	1.4	2.3	2.6	2.85
	300	1.5	2.3	2.6	2.85
Unreinforced concrete block	140	0.6	0.8	—	—
	190	0.9	1.2	—	—
	240	1.2	1.8	—	—
	290	1.4	2.2	—	—

Table 9.15.3.4  
Minimum Footing Sizes  
Forming Part of Sentence 9.15.3.4.(1)

Number of Floors Supported	Minimum Width of Strip Footings, mm		Minimum Footing Area for Columns Spaced 3 m o.c. <sup>(1)</sup> , m <sup>2</sup>
	Supporting Exterior Walls <sup>(2)</sup>	Supporting Interior Walls <sup>(3)</sup>	
1	250	200	0.40
2	350	300	0.75
3	450	500	1.0

# FRAMING

## 9.23.2 Wood Frame Construction

- 9.23.2.1. Strength and Rigidity
  - (1) All members shall be so framed, anchored, fastened, tied and braced to provide the necessary strength and rigidity.

- 9.23.2.4. Lumber
  - (1) Lumber shall conform to the appropriate requirements in Subsection 9.3.2.2.
  - 9.23.2.1. Standards for Nails and Screws
    - (1) Except as provided in Sentence (2) and elsewhere in this Part, nails specified in this Section shall be common steel wire nails or common spiral nails, conforming to,
      - (a) ASTM F1667, "Driven Fasteners: Nails, Spikes and Staples", or
      - (b) CSA B1111, "Wire Nails, Spikes and Staples", or
    - (2) Nails used to comply with Table 9.23.2.4.3. shall have a diameter not less than that required by Table 9.23.3.1.
    - (3) Wood screws specified in this Section shall conform to ANSI/ASME B18.6.1, "Wood Screws (Inch Series)". (See Note A-9.23.3.1.(3))

- 9.23.2.3. Protection from Dampness
  - (1) Except as permitted in Sentence (2), wood framing members that are not pressure-treated with a wood preservative and that are supported on concrete in contact with the ground or fill shall be separated from the concrete by not less than 0.05 mm polyethylene film or Type S roof roofing.
  - (2) Dampproofing material referred to in Sentence (1) is not required where the wood member is at least 150 mm above the ground.

- 9.23.2.4. Connections to Preservative-Treated Wood
  - (1) Except as provided in Sentence (3), connectors in contact with preservative-treated wood shall be made of,
    - (a) hot-dipped, zinc-coated galvanized steel with a coating weight not less than 2550 conforming to ASTM A653/A653M, "Standard Specification for Steel Sheet, Zinc-Coated (Galvanized) or Zinc-Iron Alloy-Coated (Galvannealed) by the Hot-Dip Process", or
    - (b) a material that provides an equivalent level of corrosion protection to that provided by the material described in Clause (a), or
    - (c) Fasteners used to attach the connectors referred to in Sentence (1) shall be made of,
      - (i) steel with zinc coating in accordance with ASTM A153/A153M, "Standard Specification for Zinc Coating (Hot-Dip) on Iron and Steel Hardware", or
      - (ii) a material that provides an equivalent level of performance and is compatible with the connector.
  - (2) Connectors and fasteners that are in contact with wood that has been treated with a disodium octaborate tetrahydrate (SOBT) or zinc borate preservative and is installed in a dry interior environment are permitted to be made of uncoated carbon steel.

- 9.23.4.3. Steel Beams
  - (1) The spans for steel beams with laterally supported top flanges shall conform to Table 9.23.4.3. for floors and Tables 9.23.4.3.-A to 9.23.4.3.-J for roofs and floors.
  - (2) Beams described in Sentence (1) shall at least meet the requirements for Grade 350 W steel in CSA G40.21, "Structural Quality Steel".
  - (3) A beam may be considered to be laterally supported if,
    - (a) the wood joists bear on its top flange at intervals of 600 mm or less over its entire length,
    - (b) the load being applied to this beam is transmitted through the joists, and
    - (c) 19 mm by 38 mm wood strips in contact with the top flange are nailed on both sides of the beam to the bottom of the joist supported.

- 9.23.4.1. Holes Drilled in Framing Members
  - (1) Holes drilled in roof, floor, or ceiling framing members shall be not larger than one-quarter the depth of the member and shall be located not less than 50 mm from the edges, unless the depth of the member is increased by the size of the hole.

- 9.23.5.2. Notching of Framing Members
  - (1) Members in roof, floor, or ceiling framing members are permitted to be notched provided the notch is located on the top of the member within half the joist depth from the edge of bearing and is not deeper than one-third the joist depth, unless the depth of the member is increased by the size of the notch.

- 9.23.5.3. Wall Studs
  - (1) Wall studs shall not be notched, drilled, or otherwise damaged so that the undamaged portion of the stud is less than two-thirds the depth of the stud if the stud is loadbearing, or 40 mm if the stud is non-loadbearing, unless the weakened studs are suitably reinforced.

- 9.23.5.4. Top Plates
  - (1) Top plates in walls shall not be notched, drilled, or otherwise weakened to reduce the undamaged width to less than 50 mm unless the weakened portions are suitably reinforced.
  - (2) Building Code Online

- 9.23.5.5. Roof Trusses
  - (1) Roof truss members shall not be notched, drilled, or otherwise weakened unless such notching or drilling is allowed for in the design of the truss.
  - (2) The total width of the openings in the foundation wall constitutes more than 25% of the length of the wall.
  - (3) For the purposes of Sentence (2), the combined width of the openings shall be considered as a single opening if the average width is greater than the width of solid wall between them.
  - (4) Flat insulating concrete form foundation walls shall be considered to be laterally supported at the top if the floor joists are installed according to Article 9.20.17.5.

- 9.23.5.6. Anchorage of Building Frames
  - (1) Building frames shall be anchored to the foundation unless a structural analysis of wind and earth pressures shows anchorage is not required.
  - (2) Except as provided in Article 9.23.6.3., anchorage shall be provided by embedding the ends of the first floor joists in concrete, or fastening the end plate to the foundation with not less than 12 mm diam anchor bolts spaced not more than 2.4 m o.c.

- 9.23.9.1. End Bearing for Joists
  - (1) Floor joists must have a minimum end bearing length of 38 mm, except when supported on ribbon raods.
  - (2) Ribbon boards used for support should be at least 19 mm by 89 mm and properly integrated into the studs.
- 9.23.9.2. Joists Supported by Beams
  - (1) Floor joists can be supported on top of beams or framed into their sides.
  - (2) When framed into the side of a wood beam, joists must be supported by,
    - (a) Joist hangers or other acceptable mechanical connectors, or
    - (b) Ledger strips not less than 38 mm by 64 mm, or 38 mm by 38 mm if each joist is nailed to the beam with at least four 89 mm nails, in addition to the required nailing for the ledger strip.
    - (3) For joists framed into the side of a steel beam, support must be provided by,
      - (a) The bottom flange of the beam, or
      - (b) Lumber not less than 38 mm by 38 mm bolted to the web with bolts of at least 6.3 mm diameter, spaced no more than 600 mm apart.
    - (4) Joists must be applied above the beam with lumber at least 38 mm by 38 mm and 600 mm long to support the flooring.
    - (5) A minimum 12 mm space should be provided between the splice and the beam to allow for wood shrinkage.

- 9.23.9.3. Restraint of Joist Bottoms
  - Bottoms of floor joists must be restrained from twisting at each end by:
    - (a) Toe-nailing to supports,
    - (b) End-nailing to header joists, or
    - (c) Providing continuous strapping, blocking, or cross-bridging near the supports.

- 9.23.9.4. Strapping, Bridging, Furring, and Ceilings
  - (1) Where strapping is specified, it should be,
    - (a) 19 mm by 64 mm,
    - (b) Nailed to the underside of floor joists.
  - (2) Located no more than 2,100 mm from each support or other rows of strapping, and
  - (3) Fastened at each end to a sill or header.
  - (4) Bridging, where specified, must consist of:
    - (a) At least 19 mm by 64 mm or 38 mm by 38 mm cross-bridging, located no more than 2,100 mm from each support or other rows of bridging.
    - (b) Where both bridging and strapping are specified: Bridging should comply with the above or consist of 38 mm solid blocking located no more than 2,100 mm from each support or other rows of bridging and securely fastened between the joists.

- 9.23.9.8. Support of Walls
  - (1) Non-loadbearing walls parallel to floor joists must be supported by joists beneath the wall or on blocking between the joists.
  - (2) Be applied to the studs at an angle of approximately 45° to the horizontal, and
  - (3) Non-loadbearing interior walls at right angles to floor joists are not restricted in location.

- 9.23.10.1. Stud Size and Spacing
  - (1) Except as provided in Sentence (2), the size and spacing of studs shall conform to Table 9.23.10.1.
  - (2) Studs for walls not listed in Table 9.23.10.1 and supporting roof loads shall conform to Tables A-30 to A-33, provided:
    - (a) The studs are clad with not less than 9.5 mm thick plywood, OSB, or waferboard sheathing on the exterior face, and not less than 12.5 mm gypsum board on the interior face.
    - (b) Solid bridging is provided at not more than 1.2 m o.c.

- 9.23.10.2. Bracing and Lateral Support
  - General Requirement: Except as provided in Sentence (2), each exterior wall in each storey shall be braced with at least one diagonal brace conforming to Sentence (3).
  - Exceptions: Bracing is not required where the walls,
    - (a) Have an interior finish conforming to the requirements of Section 9.29., or
    - (b) Are:
      - i) Clad with panel-type siding,
      - ii) Dignally sheathed with lumber, or
      - iii) Sheathed with plywood, OSB, waferboard, gypsum, or fibreboard sheathing.
  - Bracing Specifications: Where bracing is required, it shall:
    - (a) Consist of not less than 19 mm by 89 mm wood members,
    - (b) Be applied to the studs at an angle of approximately 45° to the horizontal, and
    - (c) Extend the full height of the wall on each storey.
  - Fasting: Bracing described in Sentence (3) shall be nailed to each stud and wall plate by at least two 63 mm nails.
  - Interior Loadbearing Walls: Where loadbearing interior walls are not finished in accordance with Sentence (2), blocking or strapping shall be fastened to the studs at mid-height to prevent sideways buckling.

## 9.23.10.3. Orientation of studs

- (1) Except as permitted in Sentences (2) and (3), all studs shall be placed at right angles to the wall face.
- (2) studs on the flat are permitted to be used in gable ends of roofs that contain only unfinished space or in non-loadbearing interior walls within the limits described in Article 9.23.10.1.
- (3) Wall studs that support only a load from an attic not accessible by a stairway are permitted to be parallel to the flat within the limits permitted in Article 9.23.10.1, provided,

- (a) the studs are clad on at least one side with plywood, OSB or waferboard sheathing fastened to the face of the studs with a structural adhesive, and,
- (b) the portion of the roof supported by the studs does not exceed 2.1 m in width.

- 9.23.10.4. Continuity of studs
  - (1) Wall studs shall be continuous for the full storey height except at openings and shall not be spliced except by finger-jointing with a structural adhesive.

- 9.23.10.5. Support for Cladding Materials
  - (1) Corners and intersections shall be designed to provide adequate support for the vertical edges of interior finishes, sheathing and cladding materials, and in no instance shall exterior corners be framed with less than the equivalent of two studs.
  - (2) Where the vertical edges of interior finishes at wall intersections are supported at vertical intervals by blocking or furring, the vertical distance between such supports shall not exceed the maximum distance between supports specified in Section 9.29.

- 9.23.10.6. Studs at Sides of Openings
  - (1) Except as provided in Sentence (2), studs shall be doubled on each side of openings so that the inner studs extend from the lintel to the bottom wall plate and the outer studs extend from the top wall plates to the bottom wall plate.
  - (2) Single studs are permitted to be used on either side of openings,
    - (a) in non-loadbearing exterior walls not required to have fire-resistance ratings, provided the studs extend from the top wall plate to the bottom wall plate, or
    - (b) in loadbearing non-loadbearing interior or exterior walls, provided,
  - (3) The opening is less than that specified in Sentence (1) and the opening is supported by,
    - (i) one or two such openings of full stud width are located in adjacent stud spaces.

- 9.23.10.7. Stud Posts Built into Walls
  - (1) Except as provided in Sentences (2) and (3), stud posts shall be designed in accordance with Part 4.
  - (2) The number of studs in a wall directly below a girder truss or roof beam shall conform to Tables 9.23.10.7.-A to 9.23.10.7.-D, provided,
  - (3) in non-loadbearing exterior walls not required to have fire-resistance ratings, provided the studs extend from the top wall plate to the bottom wall plate, or
  - (4) the opening is less than that specified in Sentence (1) and the opening is supported by,
    - (i) one or two such openings of full stud width are located in adjacent stud spaces.

- 9.23.10.8. Stud Posts Built into Walls
  - (1) Except as provided in Sentences (2) and (3), stud posts shall be designed in accordance with Part 4.
  - (2) The number of studs in a wall directly below a girder truss or roof beam shall conform to Tables 9.23.10.7.-A to 9.23.10.7.-D, provided,
  - (3) in non-loadbearing exterior walls not required to have fire-resistance ratings, provided the studs extend from the top wall plate to the bottom wall plate, or
  - (4) the opening is less than that specified in Sentence (1) and the opening is supported by,
    - (i) one or two such openings of full stud width are located in adjacent stud spaces.

- 9.23.11. Wall Plates
  - 9.23.11.2. Bottom Wall Plates
    - (1) Bottom wall plates shall be provided in all cases.
    - (2) The bottom plate in exterior walls shall not project more than one-third the plate width over the support.

- 9.23.11.3. Top Plates
  - (1) Except as permitted in Sentences (2) to (4), no fewer than two top plates shall be provided in loadbearing walls.
  - (2) A single top plate is permitted to be used in a section of a loadbearing wall containing a lintel or opening if the top plate forms a tie across the lintel or opening.
  - (3) A single top plate is permitted to be used in a section of a loadbearing wall where the concentrated loads from ceilings, floors and roofs are not more than 50 mm on one side of the supporting studs and
  - (4) The top plates need not be provided in a section of loadbearing wall containing a lintel provided the lintel is tied to the adjacent wall section with,
    - (a) not less than 75 mm by 150 mm by 0.91 mm thick galvanized steel, or
    - (b) 19 mm by 89 mm by 300 mm wood splice nailed to each wall section with at least three 63 mm nails.

- 9.23.11.4. Joints in Top Plates
  - (1) Joints in the top plates of loadbearing walls shall be staggered not less than one stud spacing.
  - (2) The top plates in loadbearing walls shall be lapped or otherwise suitably tied at corners and
  - (3) in non-loadbearing exterior walls not required to have fire-resistance ratings, provided the joints in single top plates used with loadbearing walls shall be tied in accordance with Sentence (4).
  - (4) Ties referred to in Sentences (2) and (3) shall be the equivalent of not less than 75 mm by 150 mm by 0.91 mm thick galvanized steel nailed to each wall with at least three 63 mm nails.

- 9.23.14. Roof and Ceiling Framing
  - (1) Ceiling joists shall be provided in accordance with Sentence 9.23.10.1.
  - (1) Roof rafters and joists and ceiling joists shall be continuous or shall be spliced over vertical supports that extend to suitable bearing.

- 9.23.14.2. Framing Around Openings
  - (1) Roof and ceiling framing members shall be doubled on each side of openings greater than two rafter or joist spacings wide.

- 9.23.14.3. End Bearing Length
  - (1) The length of end bearing of joists and rafters shall be not less than 38 mm.

- 9.23.14.4. Location and Attachment of Rafters
  - (1) Rafters shall be located directly opposite each other and tied together at the peak, or may be offset by their own thickness if nailed to a ridge board not less than 17.5 mm thick.
  - (2) Except as permitted in Sentence (3), framing members shall be connected by gusset plates or other members extending vertically from the ridge to suitable bearing.
  - (3) Where the roof framing on opposite sides of the peak is assembled separately, such as in the case of factory-built houses, the roof framing on opposite sides is permitted to be fastened together with galvanized-steel strips not less than 200 mm by 75 mm by 0.41 mm thick spaced not more than 1.2 m apart and nailed at each end to the framing by at least two 63 mm nails.

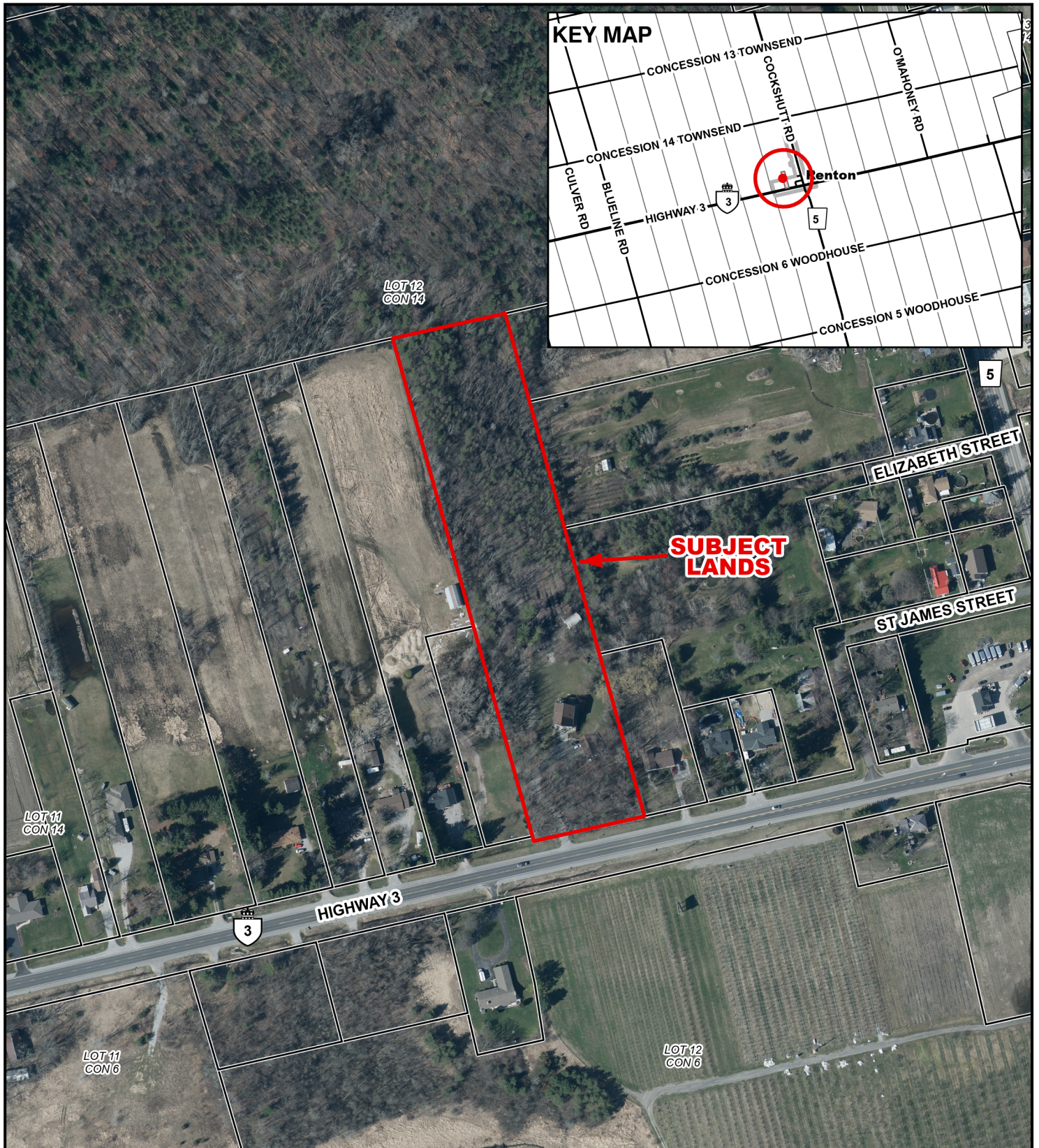
- 9.23.14.5. Shaping of Rafters
  - (1) Rafters shall be shaped at supports to provide even bearing surfaces and supported directly above the exterior walls.

- 9.23.14.7. Intermediate Support for Rafters and Joists
  - (1) Rafters shall be supported by a collar tie of not less than 38 mm by 89 mm lumber are permitted to be assumed to provide intermediate support to reduce the span for rafters and joists where the roof slope is 1 in 3 or greater.
  - (2) Collar ties referred to in Sentence (1) must be at least 2.4 m long shall be laterally supported near the centres by not less than 19 mm by 89 mm continuous members at right angles to the collar ties.
  - (3) Dwarf walls and struts may be used to provide intermediate support to reduce the span for rafters and joists where the roof slope is 1 in 3 or greater.
  - (4) When struts are used to provide intermediate support, they shall be not less than 38 mm by 89 mm material extending from each rafter to a loadbearing wall at an angle of not less than 45° to the horizontal.
  - (5) When dwarf walls are used for rafter support, they shall be framed in the same manner as loadbearing walls and securely fastened top and bottom to the roof and ceiling framing to prevent overall movement.
  - (6) Solid blocking shall be installed between floor joists beneath dwarf walls referred to in Sentence (5) that enclose finished rooms.


- 9.23.14.8. Ridge Support
  - (1) Except as provided in Sentence (4), roof rafters and joists shall be supported at the ridge of the roof by,
    - (a) a loadbearing wall extending from the ridge to suitable bearing, or
    - (b) a ridge beam supported by not less than 89 mm length of bearing
  - (2) Except as provided in Sentence (3), the ridge beam referred to in Sentence (1) shall conform to the sizes and spans shown in Table A-12, provided,
  - (3) the supported rafter or joist length does not exceed 4.9 m, and
  - (4) the roof does not support any concentrated loads.
  - (5) The ridge beam referred to in Sentence (1) need not comply with Sentence (2) where,
    - (a) the beam is of not less than 38 mm by 140 mm material, and
    - (b) the beam is supported at intervals

CONTEXT MAP

Geographic Township of TOWNSEND

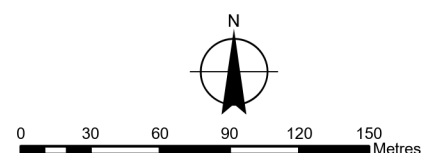


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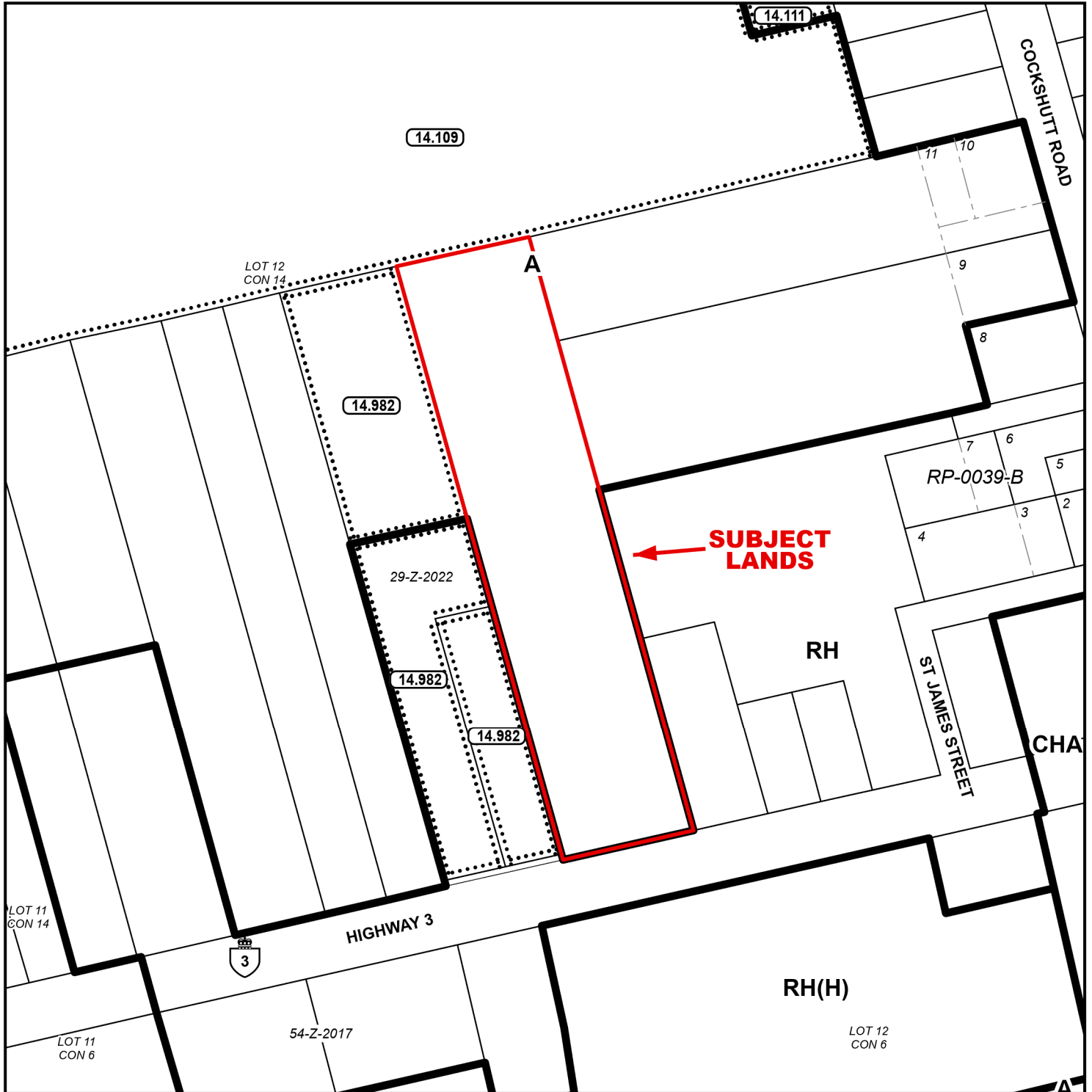
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2020 Air Photo



**MAP B**  
**ZONING BY-LAW MAP**  
 Geographic Township of TOWNSEND

ANPL2026018



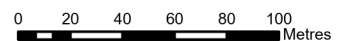
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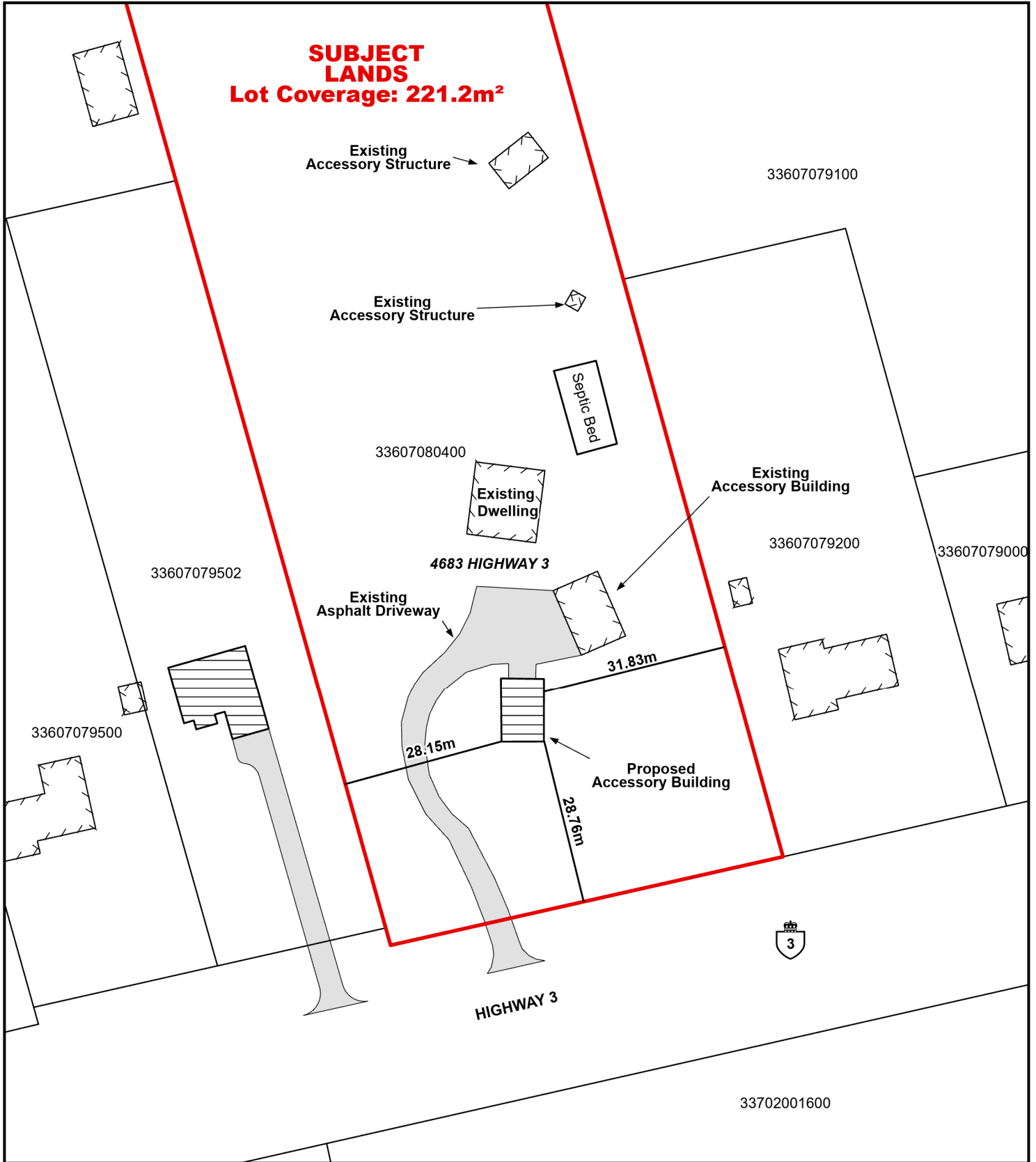
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- (H) - Holding
- A - Agricultural Zone
- CHA - Hamlet Commercial Zone
- RH - Hamlet Residential Zone




CONCEPTUAL PLAN

Geographic Township of TOWNSEND



Legend

 Subject Lands

2/9/2026

