



For Office Use Only:

File Number _____
Related File Number _____
Application Submitted _____
Complete Application _____

Application Fee _____
Conservation Authority Fee _____
Well & Septic Info Provided _____
Planner _____
Public Notice Sign _____

Check the type of planning application(s) you are submitting.

- Standard Minor Variance
- Complex Minor Variance (After the fact)
- Routine Minor Variance

Property Assessment Roll Number: 33605062799

A. Applicant Information

Name of Owner Margaret Gurney

It is the responsibility of the owner or applicant to notify the planner of any changes in ownership within 30 days of such a change.

Address 15 Jong Street

Town and Postal Code Waterford, N0E 1Y0

Phone Number (519)754-6237

Cell Number _____

Email marggurney@hotmail.com

Name of Authorized Applicant _____

Address _____

Town and Postal Code _____

Phone Number _____

Cell Number _____

Email _____



Name of Authorized Agent Cody Dyck--Four Seasons Sunrooms

Address 775 Wharncliffe Rd. S.

Town and Postal Code London, N6J 2N8

Phone Number (519)680-3330

Cell Number _____

Email cody@sunroomdesign.com

Please specify to whom all communications should be sent. Unless otherwise directed, all correspondence and notices in respect of this application will be forwarded to the owner and agent noted above.

Owner Agent Applicant

Names and addresses of any holder of any mortgagees, charges or other encumbrances on the subject lands:

Margaret Gurney-- 15 Jong Street, Waterford,ON

B. Location, Legal Description and Property Information

1. Legal Description (include Geographic Township, Concession Number, Lot Number, Block Number and Urban Area or Hamlet):

Lot 49, Plan 37M-57, Block 62, Norfolk County

Municipal Civic Address: 45 Jong Street, Waterford, Ontario, N0E 1Y0

Land acquisition date (if known): January 12,2021

Present Official Plan Designation(s): Residential

Present Zoning: R1-A

2. Is there a special provision or site specific zone on the subject lands?

Yes No

If yes, please specify:

3. Present use of the subject lands:

Residential



4. Please describe all existing and proposed buildings and structures on the subject lands and whether they are to be retained, demolished or removed.

Type of Building	Existing	Proposed
	Detached Single Family Dwelling	Sunroom Addition
Number of Storey(s)	1	1
Number of Dwelling Units per lot	1	1
Buildings/Structures/ARDU Width (m)	15.55	6.41m
Building/ Structures /ARDU Length (m)	16.41	3.96m
Building/ Structures /ARDU Height (m)	7.01	3.94m
Usable Floor Area (sq.m)	223.9	23.88 sq.m.
Lot coverage	41.4%	45.8

5. If an addition to an existing building is being proposed, please explain what it will be used for (for example a bedroom, kitchen, or bathroom). If new fixtures are proposed, please describe.

Sunroom

6. Are any existing buildings on the subject lands designated under the *Ontario Heritage Act* as being architecturally and/or historically significant?

Yes No

If yes, identify and provide details of the building:

7. If known, the length of time the existing uses have continued on the subject lands:

8. Existing use of abutting properties:

Residential/Parks

9. Are there any easements or restrictive covenants affecting the subject lands?

Yes No If yes, describe the easement or restrictive covenant and its effect:



C. Zoning Review (chart must be completed in metric units)

Please fill out the required information for the main and accessory buildings and structures

	Zoning By-law Requirement	Proposed	Deficiency
Lot area (m ²)	540		
Lot frontage (m)	18		
Lot depth (m)	30		
Front Yard Setback (m)	6		
Left Side Yard Setback (m)	1.2		
Right Side Yard Setback (m)	1.2		
Rear Yard Setback (m)	7.5	3.56m	3.94m
Exterior side yard (if applicable) (m)			
Height (m)	11	3.11m	
Lot coverage (%)		45.8%	
Buildings/structures separation (m)			
Detached Additional Dwelling Unit (ADU) or Accessory Building			
i) Usable floor area (m ²)			
ii) Height (m)			
iii) Building separation (m)			
Number of parking spaces			



D. Previous Use of the Property

1. Has there been an industrial or commercial use on the subject lands or adjacent lands?

Yes No Unknown

If yes, specify the uses (for example: gas station, or petroleum storage):

2. Is there reason to believe the subject lands may have been contaminated by former uses on the site or adjacent sites?

Yes No Unknown

3. Provide the information you used to determine the answers to the above questions:

4. If you answered yes to any of the above questions in Section D, a previous use inventory showing all known former uses of the subject lands, or if appropriate, the adjacent lands, is needed. Is the previous use inventory attached?

Yes No

E. Provincial Policy

1. Is the requested amendment consistent with the Provincial Planning Statements issued under subsection 3(1) of the *Planning Act, R.S.O. 1990, c. P. 13*?

Yes No

If you answered no, please explain:

2. It is the owner's responsibility to be aware of and comply with all relevant federal or provincial legislation, municipal by-laws or other agency approvals, including the Endangered Species Act, 2007. Have the subject lands been screened to ensure that development or site alteration will not have any impact on the habitat for endangered or threatened species further to the Provincial Planning Statement ?



Yes No

If no, please explain:

3. Have the subject lands been screened to ensure that development or site alteration will not have any impact on source water protection?

Yes No

If no, please explain:

Note: If the subject lands are in an area of source water Wellhead Protection Area (WHPA) A, B or C, Issue Contributing Area, Intake Protection zone, please attach relevant information and approved mitigation measures from the Risk Manager Official.

4. Does the property have any significant environmental features on the subject land or within 500 metres:

Yes No

If yes, indicate: Significant Woodland Provincially Significant Wetland Floodplain Other _____

5. Does the property have any livestock facility or stockyard on the subject land or within 1000 metres:

Yes No

If yes, the submission of Minimum Distance Separation (MDS) calculations may apply.

F. Servicing and Access

1. Indicate what services are available or proposed:

Water Supply

Municipal piped water

Communal wells

Individual wells

Other (describe below)



Sewage Treatment

- Municipal sewers Communal system
 - Septic tank and tile bed in good working order Other (describe below)
-

Storm Drainage

- Storm sewers Open ditches
 - Other (describe below)
-

2. Existing or proposed access to subject lands:

- Municipal road Provincial highway
- Unopened road Other (describe below)

Name of road/street:

G. Other Information

Is there any other information that you think may be useful in the review of this application? If so, explain below or attach on a separate page.



H. Supporting Material to be submitted by Applicant

In order for your application to be considered complete, folded hard copies and an electronic version of the site plan drawings, additional plans, studies and reports will be required in addition to a sketch plan in accordance with Ontario Regulation 200/96.

i. Sketch in Metric Units

A sketch showing the following, in metric units:

- a) The boundaries and dimensions of the subject land.
- b) The location, size, dimensions, and type of all existing and proposed buildings and structures on the subject land, indicating the distance of the buildings or structures from the front yard lot line, rear yard lot line and the side yard lot lines.
- c) The approximate location of all natural and artificial features on the subject land and on land that is adjacent to the subject land that, in the opinion of the applicant, may affect the application. Examples include buildings, railways, roads, watercourses, drainage ditches, river or stream banks, wetlands, wooded areas, wells and septic tanks.
- d) The current uses on land that is adjacent to the subject land.
- e) The location, width and name of any roads within or abutting the subject land, indicating whether it is an unopened road allowance, a public travelled road, a private road or a right of way.
- f) If access to the subject land is by water only, the location of the parking and docking facilities to be used.
- g) The location and nature of any easement affecting the subject land.
- h) Location and setbacks of septic system and well from all existing and proposed lot lines, and all existing and proposed structures.



I. Transfers, Easements and Postponement of Interest

The owner acknowledges and agrees that if required it is their solicitor's responsibility on behalf of the owner to undertake the registration of all transfer(s) of land to the County, and/or transfer(s) of easement in favour of the County and/or utilities. The owner further acknowledges and agrees that it is their solicitor's responsibility on behalf of the owner to undertake the registration of postponements of any charges in favour of the County.

Permission to Enter Subject Lands

Permission is hereby granted to Norfolk County officers, employees or agents, to enter the premises subject to this application for the purpose of making inspections associated with this application, during normal and reasonable working hours.

Freedom of Information

For the purposes of the *Municipal Freedom of Information and Protection of Privacy Act*, I authorize and consent to the use by or the disclosure to any person or public body any information that is collected under the authority of the *Planning Act, R.S.O. 1990, c. P. 13* for the purpose of processing this application.

Margaret Gurney
Owner/Applicant/Agent Signature

Feb. 12 / 2026
Date

J. Owner's Authorization

If the authorized applicant/agent is not the registered owner of the lands that is the subject of this application, the owner must complete the authorization set out below.

I/We Margaret Gurney am/are the registered owner(s) of the lands that is the subject of this application.

I/We authorize Cody Dyck--Four Seasons Sunrooms to make this application on my/our behalf and to provide any of my/our personal information necessary for the processing of this application. Moreover, this shall be your good and sufficient authorization for so doing.

Margaret Gurney
Owner

Feb 12 / 2026
Date

Owner

Date

***Note:** If property is owned by an Ontario Ltd. Corporation, Articles of Incorporation are required to be attached to the application.



K. Declaration

I, Margaret Gurney of Town of Watford, Norfolk County,
solemnly declare that:

all of the above statements and the statements contained in all of the exhibits
transmitted herewith are true and I make this solemn declaration conscientiously
believing it to be true and knowing that it is of the same force and effect as if made
under oath and by virtue of *The Canada Evidence Act*.

Declared before me at:

NORFOLK COUNTY

Margaret Gurney
Owner/Applicant/Agent Signature

In SIMCOE, ONT.

This 12th day of February 2026.

A.D., 2026

[Signature]

Sherry Ann Mott, a
Commissioner, etc., Province of Ontario.
for the Corporation of Norfolk County.
Expires March 16, 2026.

A Commissioner, etc.

OBC INFORMATION:

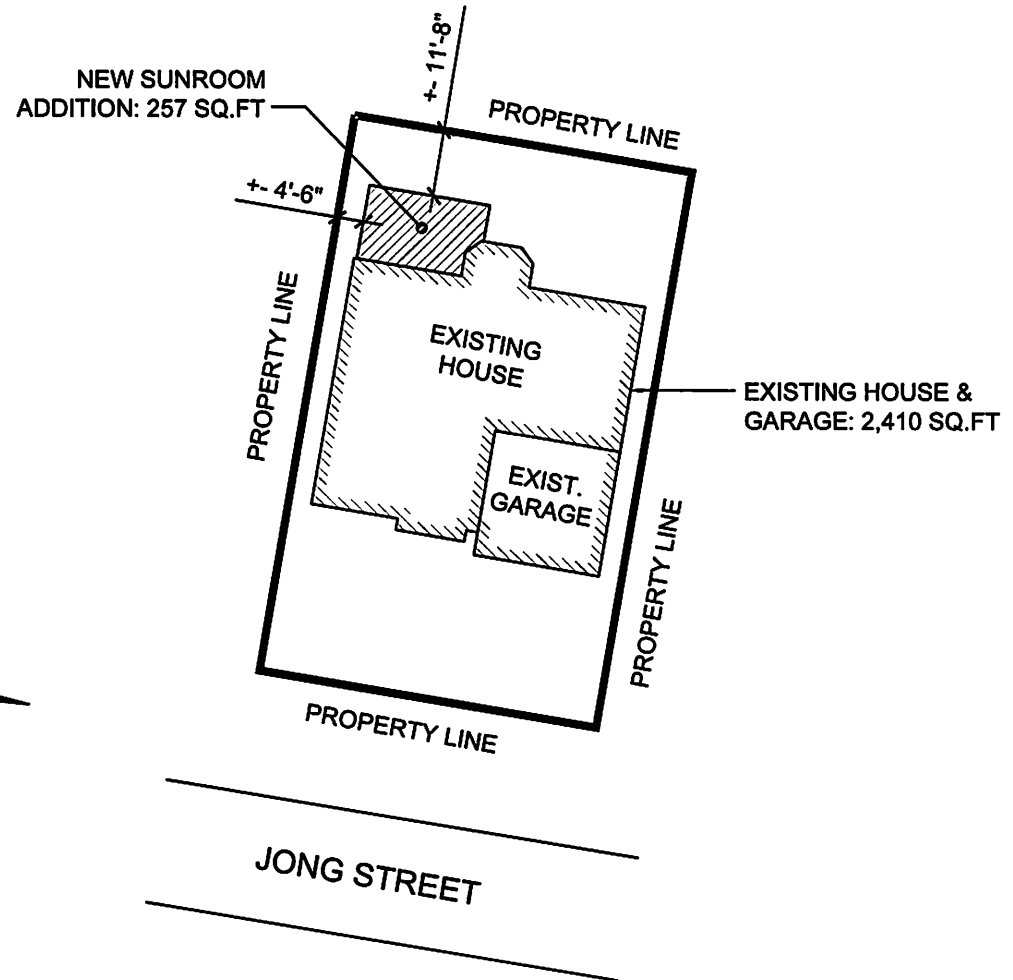
CLASSIFICATION: RESID. FT. 9

DESIGN DATA

ASSUMED SOIL BEARING: 120 kPa (2500 PSF)
 MAIN FLOOR L. + D. LOAD: 2.49 kPa (52 PSF)
 ROOF LIVE LOAD: 1.34 kPa (27.9 PSF)
 NEAREST LOCATION: WATERFORD, ON
 DEGREE DAYS BELOW 18 C 3,740 (ZONE 1)

15 JONG STREET, WATERFORD, ON, N0E 1Y0

LOT AREA: 5,812 SQ.FT.
 EXIST. BUILDING AREA: 2,410 SQ.FT.
 EXIST. LOT COVERAGE: 41.4%
 PROPOSED SUNROOM AREA: 257 SQ.FT.
 PROPOSED LOT COVERAGE: 45.8%



SITE PLAN

SCALE: 1/32" = 1'-0"

GENERAL NOTES:

- VERIFY ALL DIMENSIONS ON SITE DURING CONSTRUCTION AND ADJUST TO FIT
- SLOPE GRADE AWAY (TYPICAL)
- ANY ELECTRICAL WORK BY: _____ OTHERS
- FINISHED FLOOR BY: _____ OTHERS
- H/C UNIT BY: _____ FSS
- ANY GAS LINE, PLUMBING, VENT RELOCATION AND LANDSCAPING WORK BY OTHERS

DRAWINGS ACCEPTED: _____

DATE: _____

BY: _____
 SIGNATURE

SIGNATURE APPROVES FINAL COPY



FOUR SEASONS
 SUNROOMS & WINDOWS.

775 WHARNCLIFFE RD. S.
 LONDON, ON. N6J 2N8
 (519) 680-3330

PROJECT:

MARGARET GURNEY
 15 JONG STREET
 WATERFORD, ON, N0E 1Y0

TITLE:
SUNROOM ADDITION

DATE:
 DEC.11.2025

SCALE:
 AS NOTED

DWG. NO.

1 OF 10

230 SHADE STRAIGHT ROOM W/ CONVENTIONAL ROOF

COLOUR: BRONZE

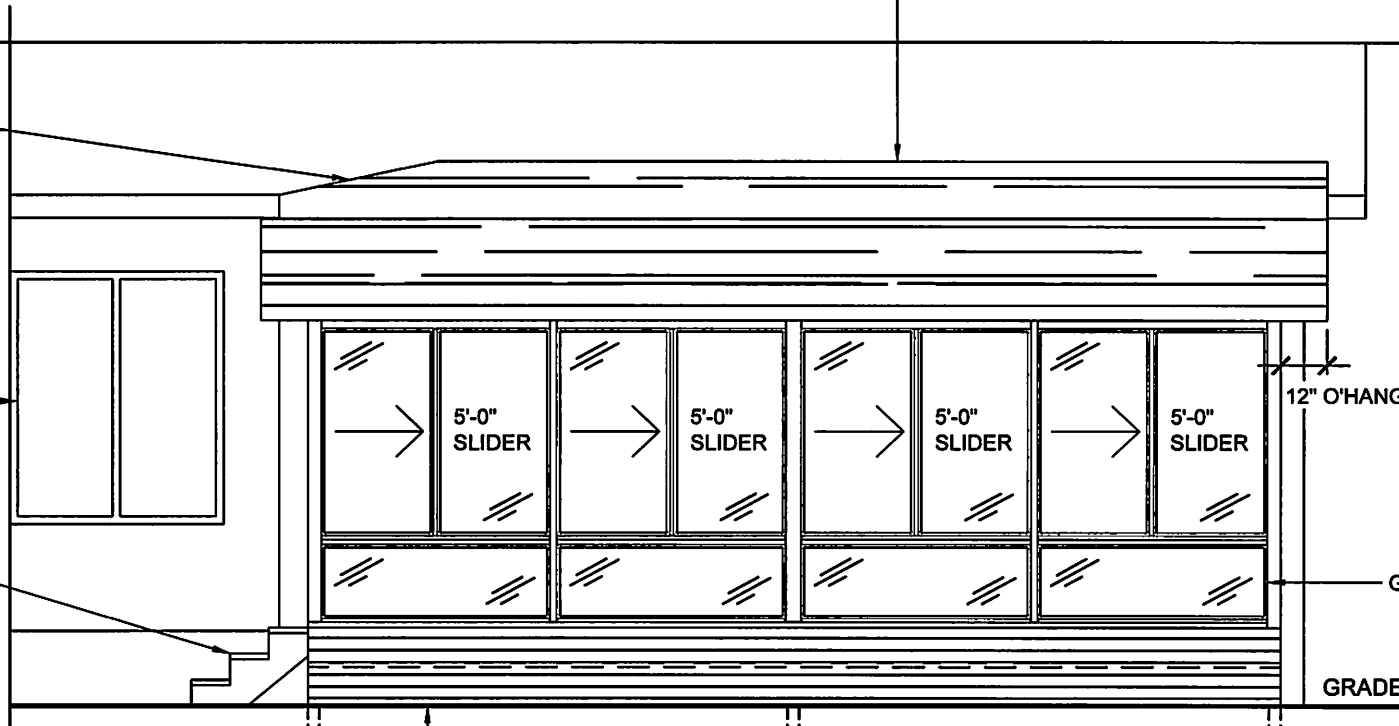
REMOVE EXISTING DECK SURFACES, ALONG WITH DECK FRAMING OUTSIDE OF SUNROOM FOOTPRINT

NEW 2x10 FRAMED ROOF W/ ASPHALT SHINGLES TO MATCH HOUSE ROOF; 1/2" DRYWALL INTERIOR

CUT-BACK SOFFIT AS REQUIRED FOR SUNROOM INSTALL

EX. WINDOW

STEPS TO GRADE BY OTHERS



12" O'HANG

GLASS KICKS

GRADE

ALLOW MIN. 2" GAP FROM SKIRT TO GRADE W/ RODENT WIRE TO 8" BELOW GRADE

NEW HELICAL PIERS (DESIGN BY HELICAL PIER SUPPLIER)

FRONT ELEVATION

SCALE: 1/4" = 1'-0"



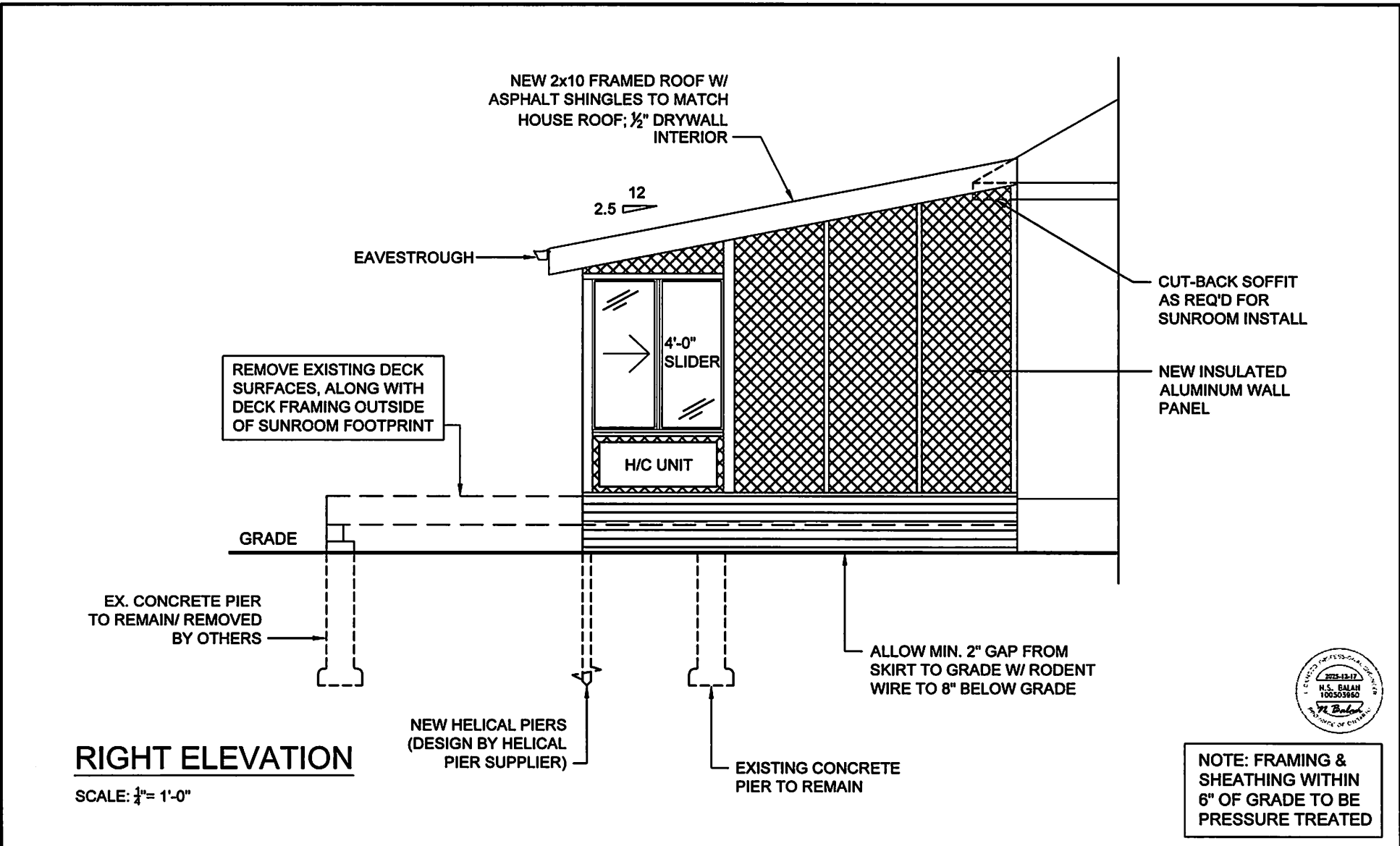
NOTE: FRAMING & SHEATHING WITHIN 6" OF GRADE TO BE PRESSURE TREATED

GENERAL NOTES:
 -VERIFY ALL DIMENSIONS ON SITE DURING CONSTRUCTION AND ADJUST TO FIT
 -SLOPE GRADE AWAY (TYPICAL)
 - ANY ELECTRICAL WORK BY: _____ OTHERS
 - FINISHED FLOOR BY: _____ OTHERS
 - H/C UNIT BY: _____ FSS
 -ANY GAS LINE, PLUMBING, VENT RELOCATION AND LANDSCAPING WORK BY OTHERS

DRAWINGS ACCEPTED: _____
 DATE: _____
 BY: _____
 SIGNATURE
 SIGNATURE APPROVES FINAL COPY

FOUR SEASONS
 SUNROOMS & WINDOWS.
 775 WHARNCLIFFE RD. S.
 LONDON, ON. N6J 2N8
 (519) 680-3330

PROJECT: MARGARET GURNEY
 15 JONG STREET
 WATERFORD, ON. N0E 1Y0
 TITLE: SUNROOM ADDITION
 DATE: DEC.11.2025
 SCALE: AS NOTED
 DWG. NO. 2 OF 10



RIGHT ELEVATION

SCALE: 1/4" = 1'-0"

NOTE: FRAMING & SHEATHING WITHIN 6" OF GRADE TO BE PRESSURE TREATED

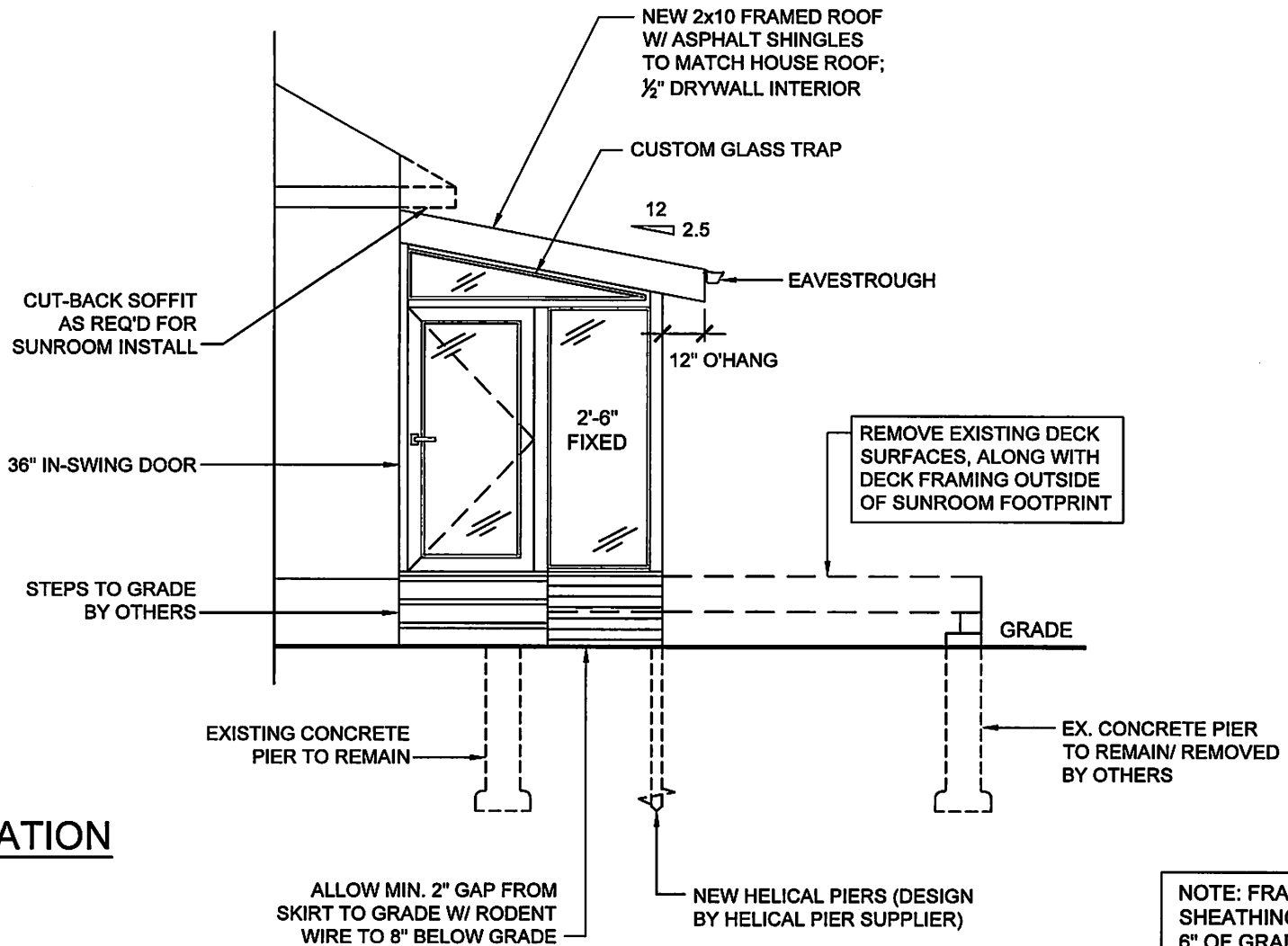


GENERAL NOTES:
 -VERIFY ALL DIMENSIONS ON SITE DURING CONSTRUCTION AND ADJUST TO FIT
 - SLOPE GRADE AWAY (TYPICAL)
 - ANY ELECTRICAL WORK BY: _____ OTHERS
 - FINISHED FLOOR BY: _____ OTHERS
 - H/C UNIT BY: _____ FSS
 -ANY GAS LINE, PLUMBING, VENT RELOCATION AND LANDSCAPING WORK BY OTHERS

DRAWINGS ACCEPTED: _____
 DATE: _____
 BY: _____
 SIGNATURE
 SIGNATURE APPROVES FINAL COPY

FOUR SEASONS[®]
 SUNROOMS & WINDOWS.
 775 WHARNCLIFFE RD. S.
 LONDON, ON. N6J 2N8
 (519) 680-3330

PROJECT:
 MARGARET GURNEY
 15 JONG STREET
 WATERFORD, ON. N0E 1Y0
 TITLE:
SUNROOM ADDITION
 DATE: DEC.11.2025 SCALE: AS NOTED
 DWG. NO.
3 OF 10



NOTE: FRAMING & SHEATHING WITHIN 6" OF GRADE TO BE PRESSURE TREATED

LEFT ELEVATION

SCALE: 1/4" = 1'-0"

GENERAL NOTES:

- VERIFY ALL DIMENSIONS ON SITE DURING CONSTRUCTION AND ADJUST TO FIT
- SLOPE GRADE AWAY (TYPICAL)
- ANY ELECTRICAL WORK BY: _____ OTHERS
- FINISHED FLOOR BY: _____ OTHERS
- H/C UNIT BY: _____ FSS
- ANY GAS LINE, PLUMBING, VENT RELOCATION AND LANDSCAPING WORK BY OTHERS

DRAWINGS ACCEPTED: _____

DATE: _____

BY: _____ SIGNATURE

SIGNATURE APPROVES FINAL COPY

FOUR SEASONS
SUNROOMS & WINDOWS.

775 WHARNCLIFFE RD. S.
LONDON, ON. N6J 2N8
(519) 680-3330

PROJECT: MARGARET GURNEY
15 JONG STREET
WATERFORD, ON. N0E 1Y0

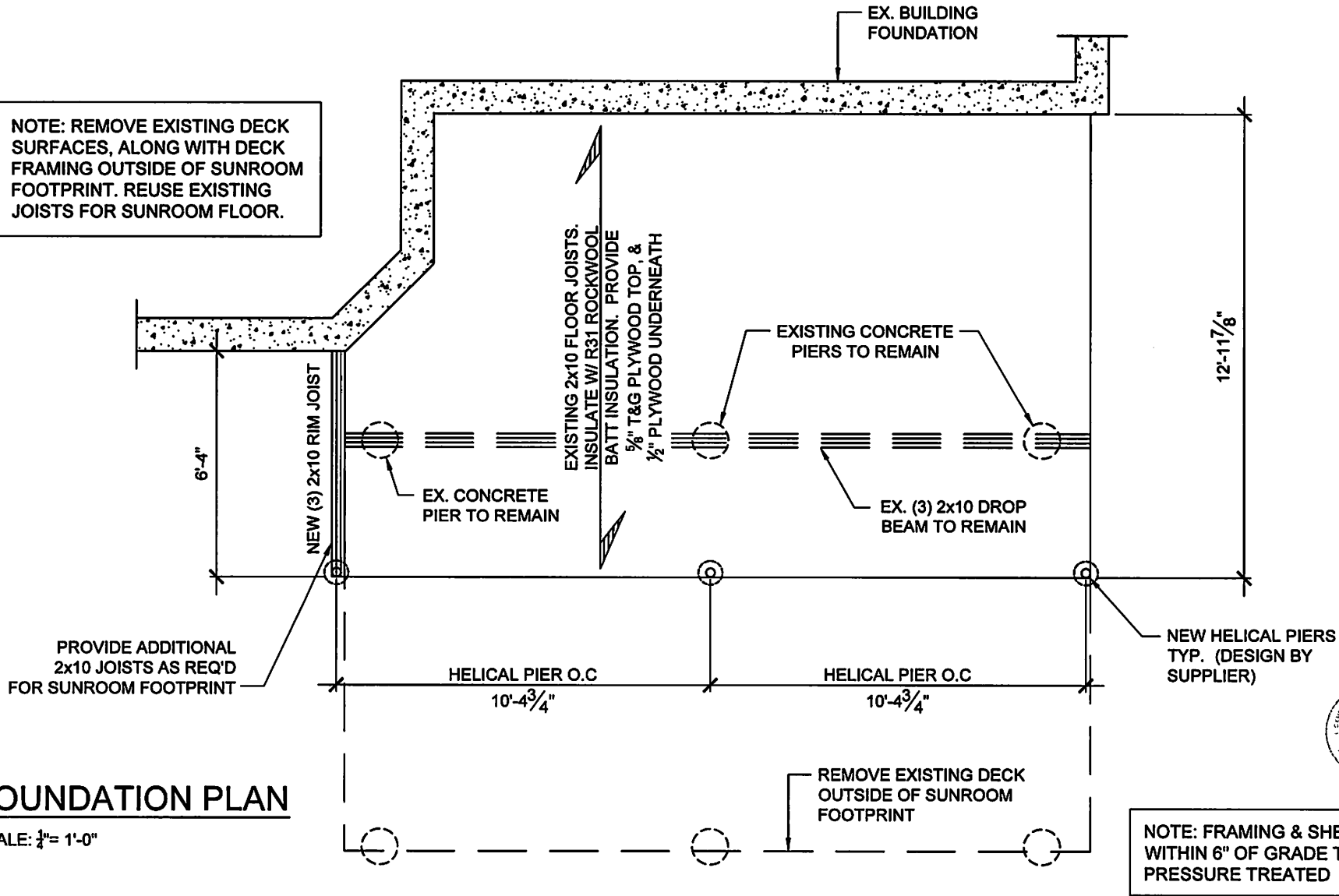
TITLE: SUNROOM ADDITION

DATE: DEC.11.2025

SCALE: AS NOTED

DWG. NO. 4 OF 10

NOTE: REMOVE EXISTING DECK SURFACES, ALONG WITH DECK FRAMING OUTSIDE OF SUNROOM FOOTPRINT. REUSE EXISTING JOISTS FOR SUNROOM FLOOR.



FOUNDATION PLAN

SCALE: 1/4" = 1'-0"

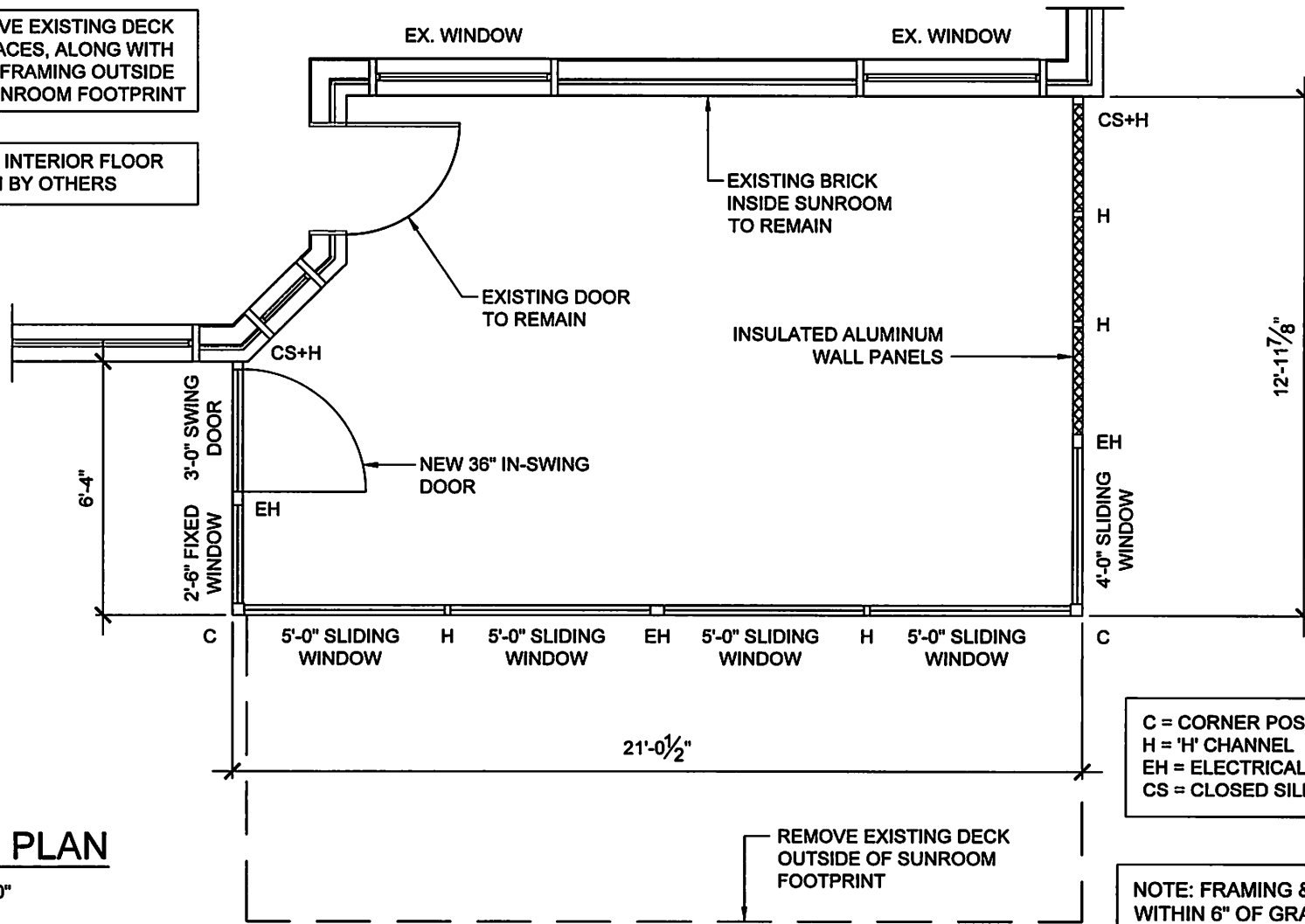


NOTE: FRAMING & SHEATHING WITHIN 6" OF GRADE TO BE PRESSURE TREATED

<p>GENERAL NOTES:</p> <ul style="list-style-type: none"> -VERIFY ALL DIMENSIONS ON SITE DURING CONSTRUCTION AND ADJUST TO FIT SLOPE GRADE AWAY (TYPICAL) - ANY ELECTRICAL WORK BY: _____ OTHERS - FINISHED FLOOR BY: _____ OTHERS - H/C UNIT BY: _____ FSS -ANY GAS LINE, PLUMBING, VENT RELOCATION AND LANDSCAPING WORK BY OTHERS 	<p>DRAWINGS ACCEPTED: _____</p> <p>DATE: _____</p> <p>BY: _____ SIGNATURE</p> <p>SIGNATURE APPROVES FINAL COPY</p>	<div data-bbox="1000 1323 1383 1412" data-label="Image"> </div> <p>FOUR SEASONS[®] SUNROOMS & WINDOWS.</p> <p>775 WHARNCLIFFE RD. S. LONDON, ON. N6J 2N8 (519) 680-3330</p>	<p>PROJECT: MARGARET GURNEY 15 JONG STREET WATERFORD, ON, N0E 1Y0</p> <table border="1"> <tr> <td data-bbox="1478 1404 1830 1518"> <p>TITLE: SUNROOM ADDITION</p> <p>DATE: DEC.11.2025</p> </td> <td data-bbox="1830 1404 2010 1518"> <p>DWG. NO. 5 OF 10</p> <p>SCALE: AS NOTED</p> </td> </tr> </table>	<p>TITLE: SUNROOM ADDITION</p> <p>DATE: DEC.11.2025</p>	<p>DWG. NO. 5 OF 10</p> <p>SCALE: AS NOTED</p>
<p>TITLE: SUNROOM ADDITION</p> <p>DATE: DEC.11.2025</p>	<p>DWG. NO. 5 OF 10</p> <p>SCALE: AS NOTED</p>				

REMOVE EXISTING DECK SURFACES, ALONG WITH DECK FRAMING OUTSIDE OF SUNROOM FOOTPRINT

NOTE: INTERIOR FLOOR FINISH BY OTHERS



C = CORNER POST
 H = 'H' CHANNEL
 EH = ELECTRICAL 'H' CHANNEL
 CS = CLOSED SILL



NOTE: FRAMING & SHEATHING WITHIN 6" OF GRADE TO BE PRESSURE TREATED

FLOOR PLAN

SCALE: 1/4" = 1'-0"

GENERAL NOTES:

- VERIFY ALL DIMENSIONS ON SITE DURING CONSTRUCTION AND ADJUST TO FIT SLOPE GRADE AWAY (TYPICAL)
- ANY ELECTRICAL WORK BY: _____ OTHERS
- FINISHED FLOOR BY: _____ OTHERS
- H/C UNIT BY: _____ FSS
- ANY GAS LINE, PLUMBING, VENT RELOCATION AND LANDSCAPING WORK BY OTHERS

DRAWINGS ACCEPTED: _____
 DATE: _____
 BY: _____
 SIGNATURE APPROVES FINAL COPY

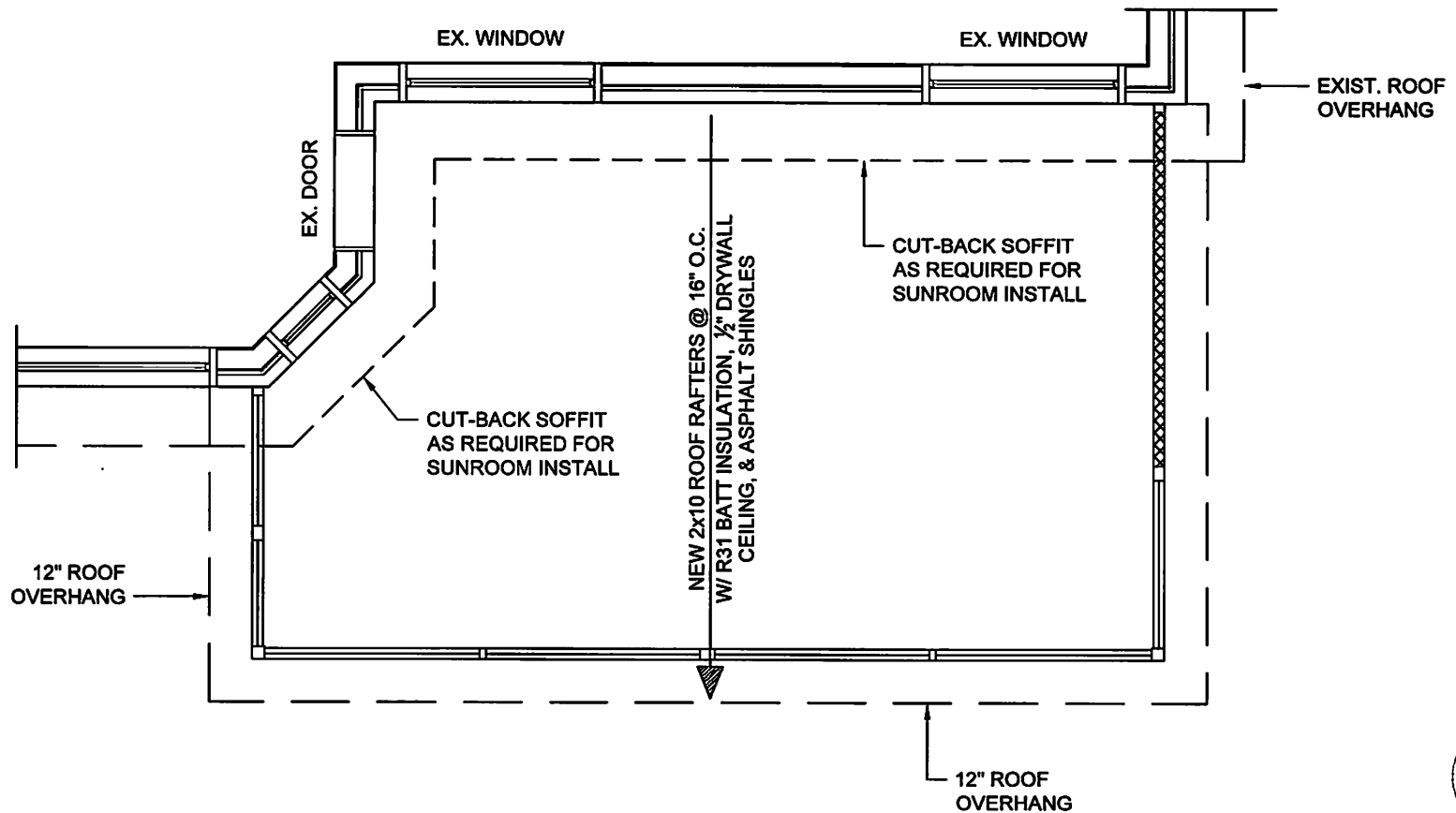


775 WHARNCLIFFE RD. S.
 LONDON, ON. N6J 2N8
 (519) 680-3330

PROJECT:
 MARGARET GURNEY
 15 JONG STREET
 WATERFORD, ON. N0E 1Y0

TITLE:
SUNROOM ADDITION
 DATE: DEC.11.2025
 SCALE: AS NOTED

DWG. NO.
6 OF 10



ROOF PLAN

SCALE: 1/4" = 1'-0"



GENERAL NOTES:

- VERIFY ALL DIMENSIONS ON SITE DURING CONSTRUCTION AND ADJUST TO FIT
- SLOPE GRADE AWAY (TYPICAL)
- ANY ELECTRICAL WORK BY: _____ OTHERS
- FINISHED FLOOR BY: _____ OTHERS
- H/C UNIT BY: _____ FSS
- ANY GAS LINE, PLUMBING, VENT RELOCATION AND LANDSCAPING WORK BY OTHERS

DRAWINGS ACCEPTED: _____

DATE: _____

BY: _____
SIGNATURE

SIGNATURE APPROVES FINAL COPY



775 WHARNCLIFFE RD. S.
LONDON, ON. N6J 2N8
(519) 680-3330

PROJECT:

MARGARET GURNEY
15 JONG STREET
WATERFORD, ON, N0E 1Y0

TITLE:
SUNROOM ADDITION

DATE:
DEC.11.2025

SCALE:
AS NOTED

DWG. NO.

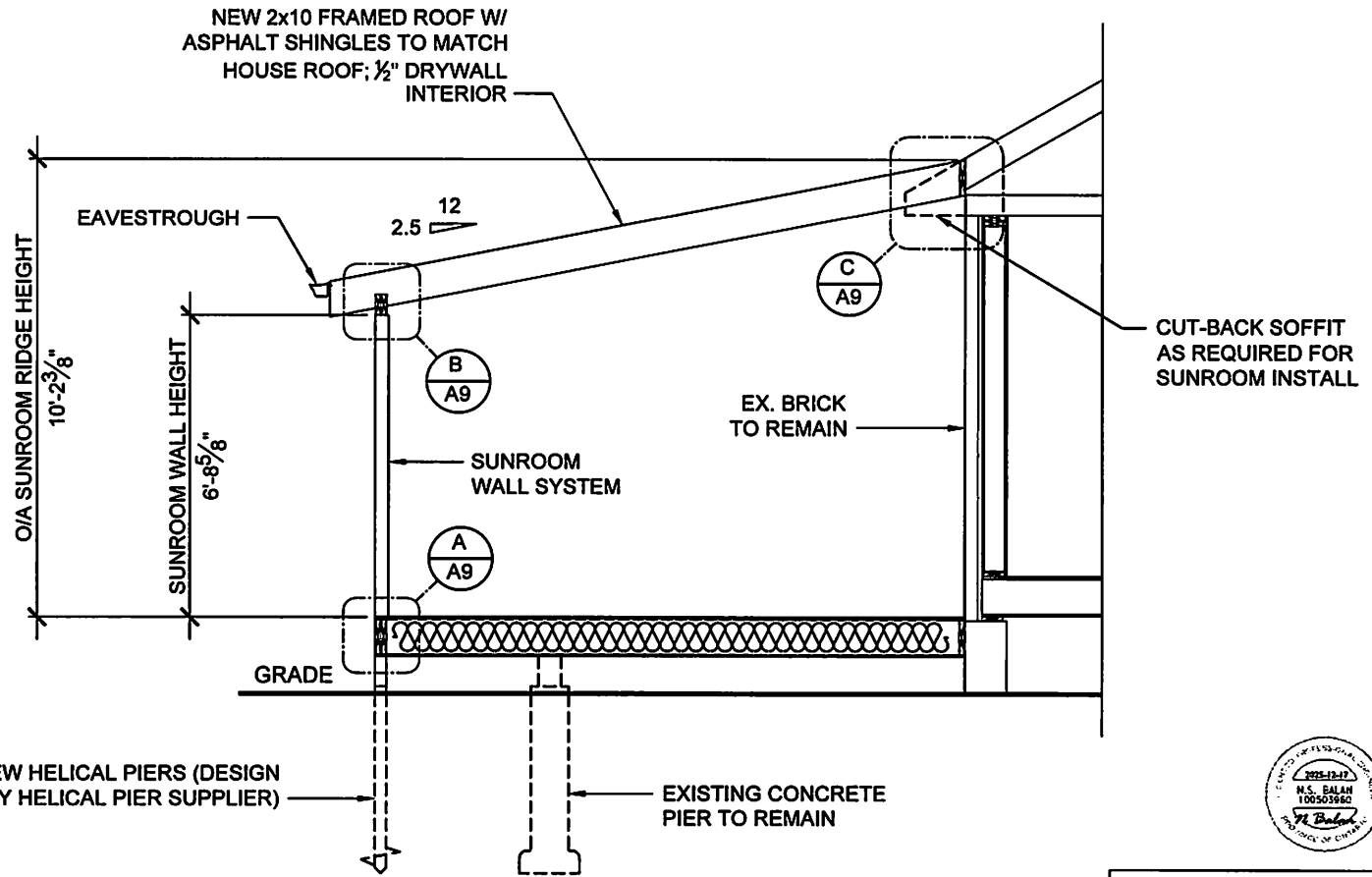
7 OF 10

R1 - ROOF CONSTRUCTION

- ASPHALT SHINGLES (TO MATCH HOUSE)
- 1/2" PLYWOOD SHEATHING
- 2x2 PURLINS @ 16" O.C
- MOR-VENTS
- 2x10 RAFTERS @ 16" O.C
- R31 BATT INSULATION
- 6 MIL VAPOUR BARRIER
- 1/2" DRYWALL

FLOOR CONSTRUCTION

- 5/8" T&G PLYWOOD (GLUED & SCREWED IN LIEU OF V.B)
- USE EX. 2x10 FLOOR JOISTS @ 16" O.C.
- BLOCKING AT MID POINTS
- R31 ROCKWOOL INSULATION
- 1/2" PLYWOOD SHEATHING OR 1" FOIL FACED FOAM



BUILDING SECTION

SCALE: 1/4" = 1'-0"

NOTE: FRAMING & SHEATHING WITHIN 6" OF GRADE TO BE PRESSURE TREATED

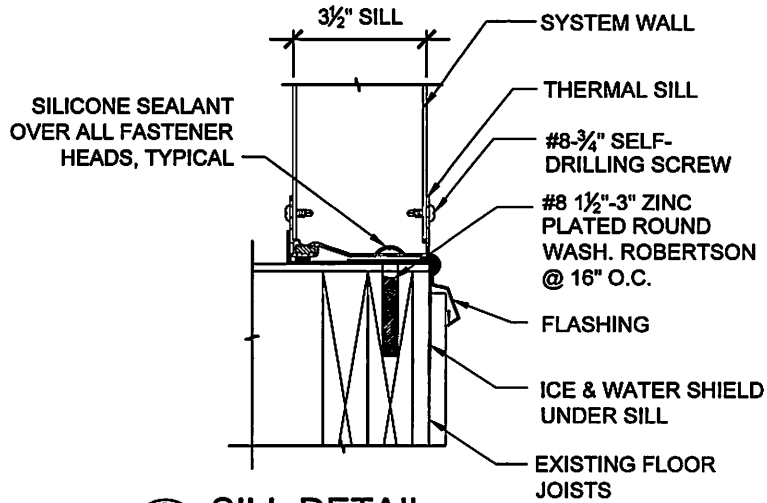


GENERAL NOTES:
 -VERIFY ALL DIMENSIONS ON SITE DURING CONSTRUCTION AND ADJUST TO FIT SLOPE GRADE AWAY (TYPICAL)
 - ANY ELECTRICAL WORK BY: _____ OTHERS
 - FINISHED FLOOR BY: _____ OTHERS
 - H/C UNIT BY: _____ FSS
 -ANY GAS LINE, PLUMBING, VENT RELOCATION AND LANDSCAPING WORK BY OTHERS

DRAWINGS ACCEPTED: _____
 DATE: _____
 BY: _____
 SIGNATURE _____
 SIGNATURE APPROVES FINAL COPY

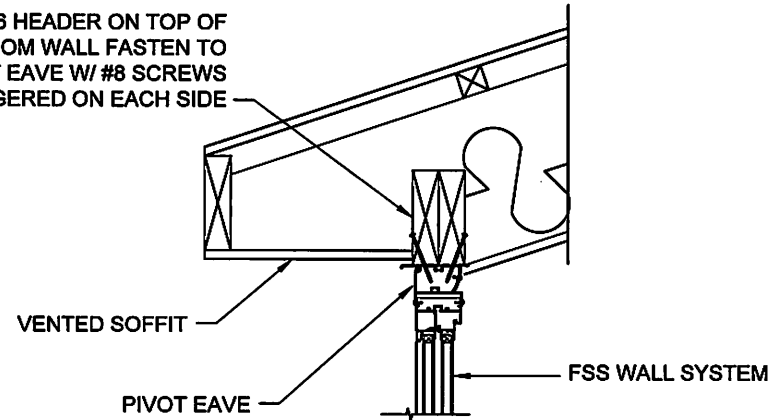
FOUR SEASONS
 SUNROOMS & WINDOWS.
 775 WHARNCLIFFE RD. S.
 LONDON, ON. N6J 2N8
 (519) 680-3330

PROJECT: MARGARET GURNEY
 15 JONG STREET
 WATERFORD, ON, N0E 1Y0
 TITLE: SUNROOM ADDITION
 DATE: DEC.11.2025
 SCALE: AS NOTED
 DWG. NO. 8 OF 10



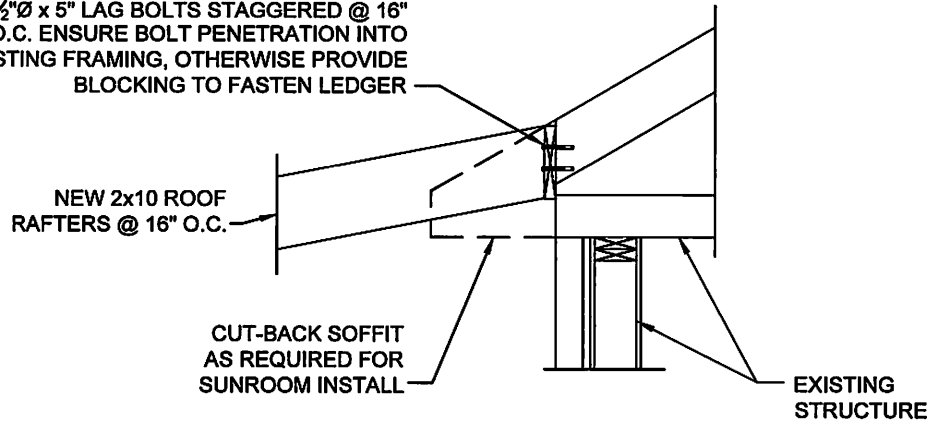
A
9 SILL DETAIL
SCALE: N.T.S.

2-2X6 HEADER ON TOP OF
SUNROOM WALL FASTEN TO
PIVOT EAVE W/ #8 SCREWS
STAGGERED ON EACH SIDE



B
9 EAVE DETAIL
SCALE: N.T.S.

FASTEN 2x10 LEDGER TO EXIST. STRUCTURE
W/ 1/2"Ø x 5" LAG BOLTS STAGGERED @ 16"
O.C. ENSURE BOLT PENETRATION INTO
EXISTING FRAMING, OTHERWISE PROVIDE
BLOCKING TO FASTEN LEDGER



C
9 ROOF CONNECTION
SCALE: N.T.S.



GENERAL NOTES:

- VERIFY ALL DIMENSIONS ON SITE DURING CONSTRUCTION AND ADJUST TO FIT
- SLOPE GRADE AWAY (TYPICAL)
- ANY ELECTRICAL WORK BY: OTHERS
- FINISHED FLOOR BY: OTHERS
- H/C UNIT BY: FSS
- ANY GAS LINE, PLUMBING VENT RELOCATION AND LANDSCAPING WORK BY OTHERS

DRAWINGS ACCEPTED: _____
DATE: _____
BY: _____
SIGNATURE
SIGNATURE APPROVES FINAL COPY



775 WHARNCLIFFE RD. S.
LONDON, ON. N6J 2N8
(519) 680-3330

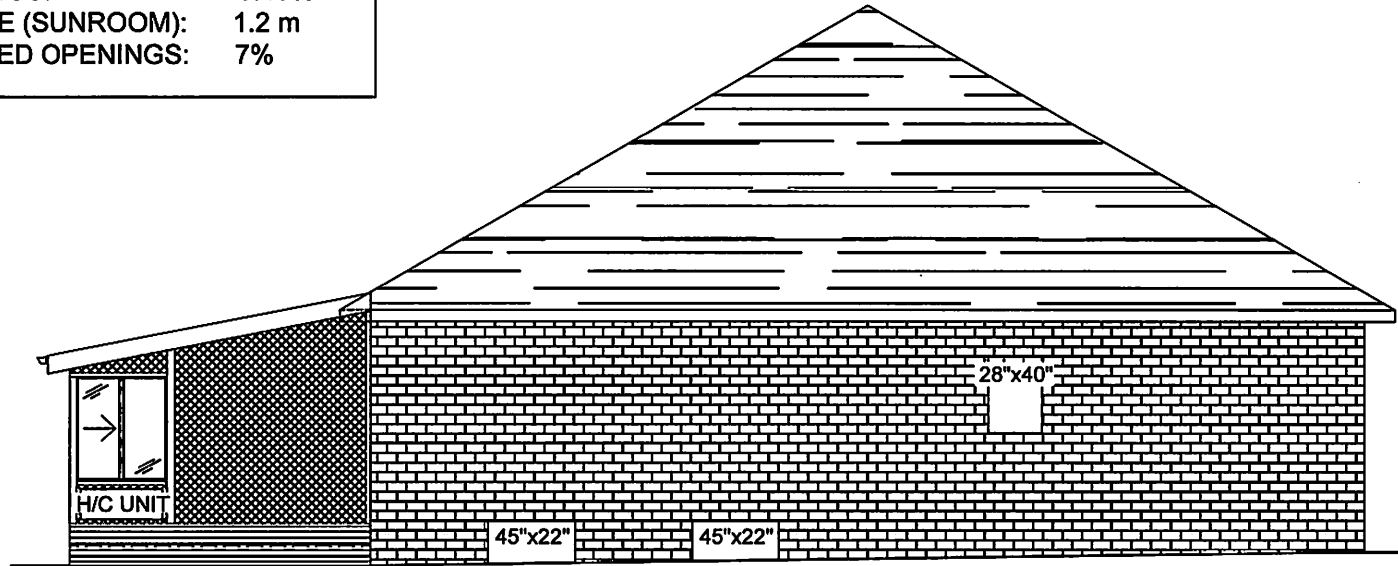
PROJECT:
MARGARET GURNEY
15 JONG STREET
WATERFORD, ON, N0E 1Y0

TITLE:
SUNROOM ADDITION
DATE: DEC.11.2025
SCALE: AS NOTED

DWG. NO.
9 OF 10

GLAZED OPENING CALCULATION:

WALL AREA: 55.18 m2
 GLAZED OPENINGS: 3.0 m2
 % GLAZED OPENINGS: 5.43%
 LIMITING DISTANCE (SUNROOM): 1.2 m
 % ALLOWED GLAZED OPENINGS: 7%



GLAZING CALCULATION - RIGHT ELEVATION

SCALE: $\frac{3}{8}'' = 1'-0''$



GENERAL NOTES:

- VERIFY ALL DIMENSIONS ON SITE DURING CONSTRUCTION AND ADJUST TO FIT
- SLOPE GRADE AWAY (TYPICAL)
- ANY ELECTRICAL WORK BY: _____ OTHERS
- FINISHED FLOOR BY: _____ OTHERS
- H/C UNIT BY: _____ FSS
- ANY GAS LINE, PLUMBING, VENT RELOCATION AND LANDSCAPING WORK BY OTHERS

DRAWINGS ACCEPTED: _____

DATE: _____

BY: _____
 SIGNATURE

SIGNATURE APPROVES FINAL COPY



775 WHARNCLIFFE RD. S.
 LONDON, ON. N6J 2N8
 (519) 680-3330

PROJECT:

MARGARET GURNEY
 15 JONG STREET
 WATERFORD, ON, N0E 1Y0

TITLE:
SUNROOM ADDITION
 DATE: DEC.11.2025

DWG. NO.
10 OF 10
 SCALE:
 AS NOTED



ZONING DEFICIENCY FORM

URBAN RESIDENTIAL ZONES

PROPERTY INFORMATION

PLANNING APPLICATION NUMBER: ANPL2026023

Owner / Applicant: Margaret Gurney
Civic Address: 15 Jong Street, Waterford, ON
Legal Description: PLAN 37M57 LOT 49 REG 5166.68SF 52.49FR 98.43D
Roll Number: 3310336050627990000
Current zoning: Urban Residential Type R1-A
Proposed use/building: Attached sunroom addition
Existing uses on property: Single family dwelling

ZONING PROVISIONS

	Proposed		Required		Deficiency		Zoning By-Law Reference
Lot Area	n/a	m2	450	m2		m2	5.1.2 a
Lot Frontage	n/a	m	15	m		m	5.1.2 b
Front Yard Setback	n/a	m	6	m		m	5.1.2 c
Exterior Side Yard Setback	n/a	m	6	m		m	5.1.2 d
Interior Side Yard Setback(Left)	1.37	m	1.2	m		m	5.1.2 e
Interior Side Yard Setback(Right)	10.2	m	1.2	m		m	5.1.2 e
Rear Yard Setback	3.56	m	7.5	m	3.94	m	5.1.2 f
Building Height	3.12	m	11	m		m	5.1.2 g
Number Of Parking Spaces	n/a		2				4.9
Parking Space Size	n/a		3m x 5.8m				4.1.3
Other:							
Other:							
Other:							

The "proposed" information and any supporting documentation have been submitted by the owner/applicant. The information provided above pertains solely to zoning requirements and does not exempt the owner from obtaining any required building permits or complying with applicable laws and regulations that are administered by other agencies. The owner acknowledges and accepts responsibility for the accuracy of the proposed information included in this form.

Signature: _____
 Owner / Applicant



 Zoning Administrator

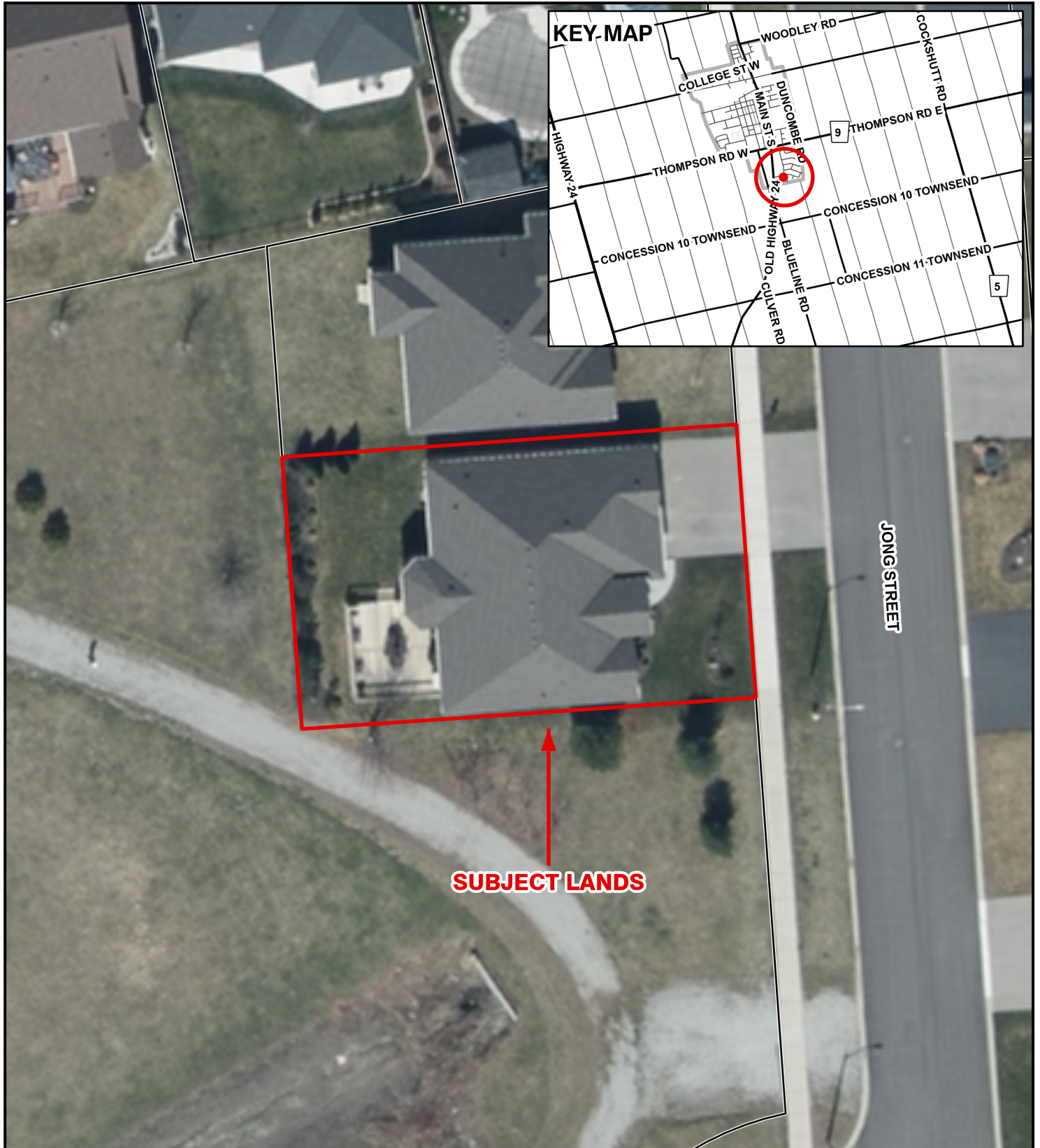
 Date

2/12/2026


 Date

MAP A
CONTEXT MAP
Geographic Township of TOWNSEND

ANPL2026023

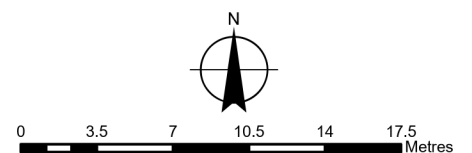


Legend

 Subject Lands

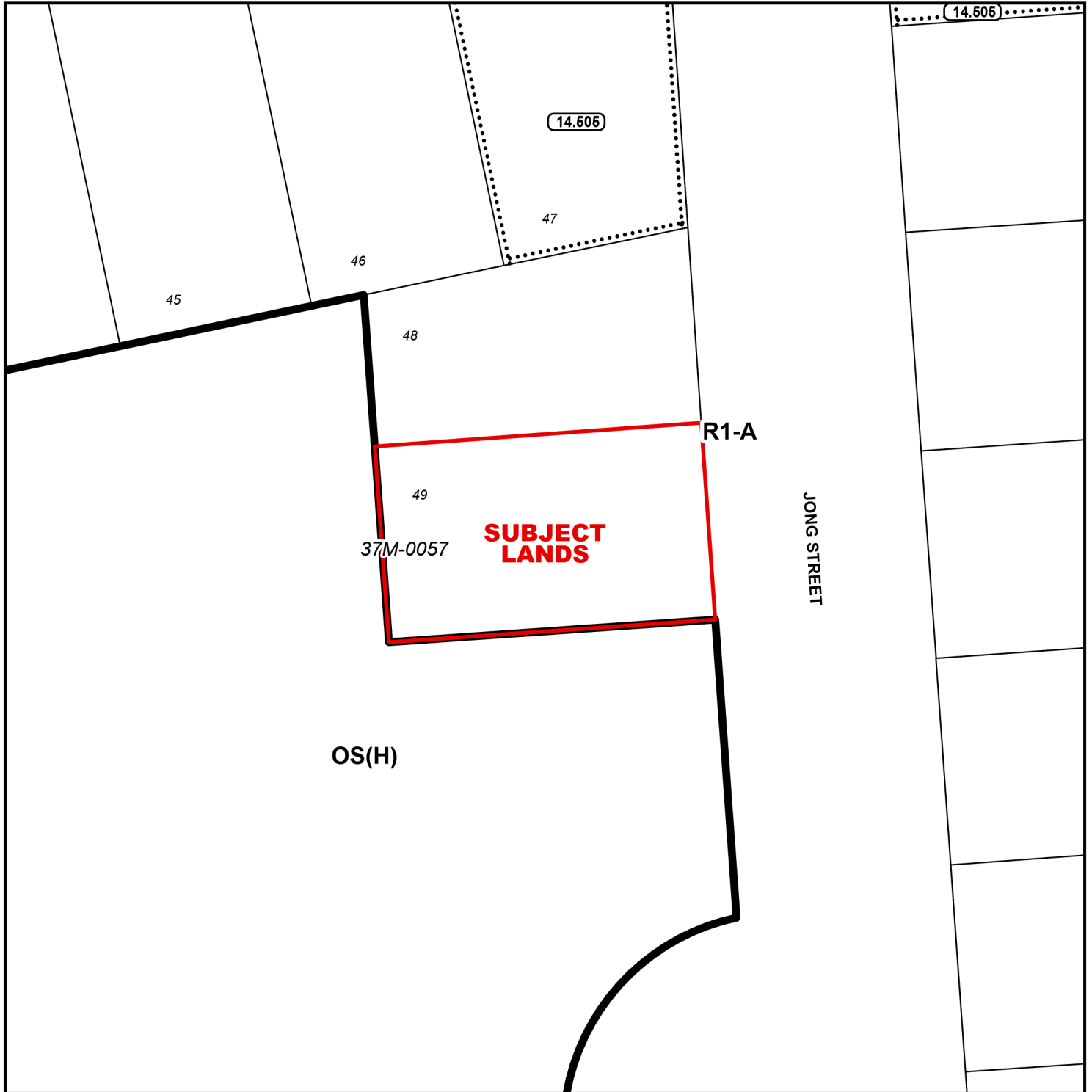
2/24/2026

2020 Air Photo



MAP B
ZONING BY-LAW MAP
Geographic Township of TOWNSEND

ANPL2026023



LEGEND

 Subject Lands

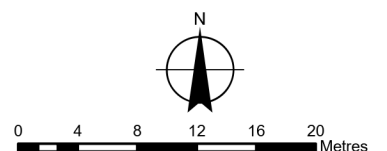
ZONING BY-LAW 1-Z-2014

2/24/2026

(H) - Holding

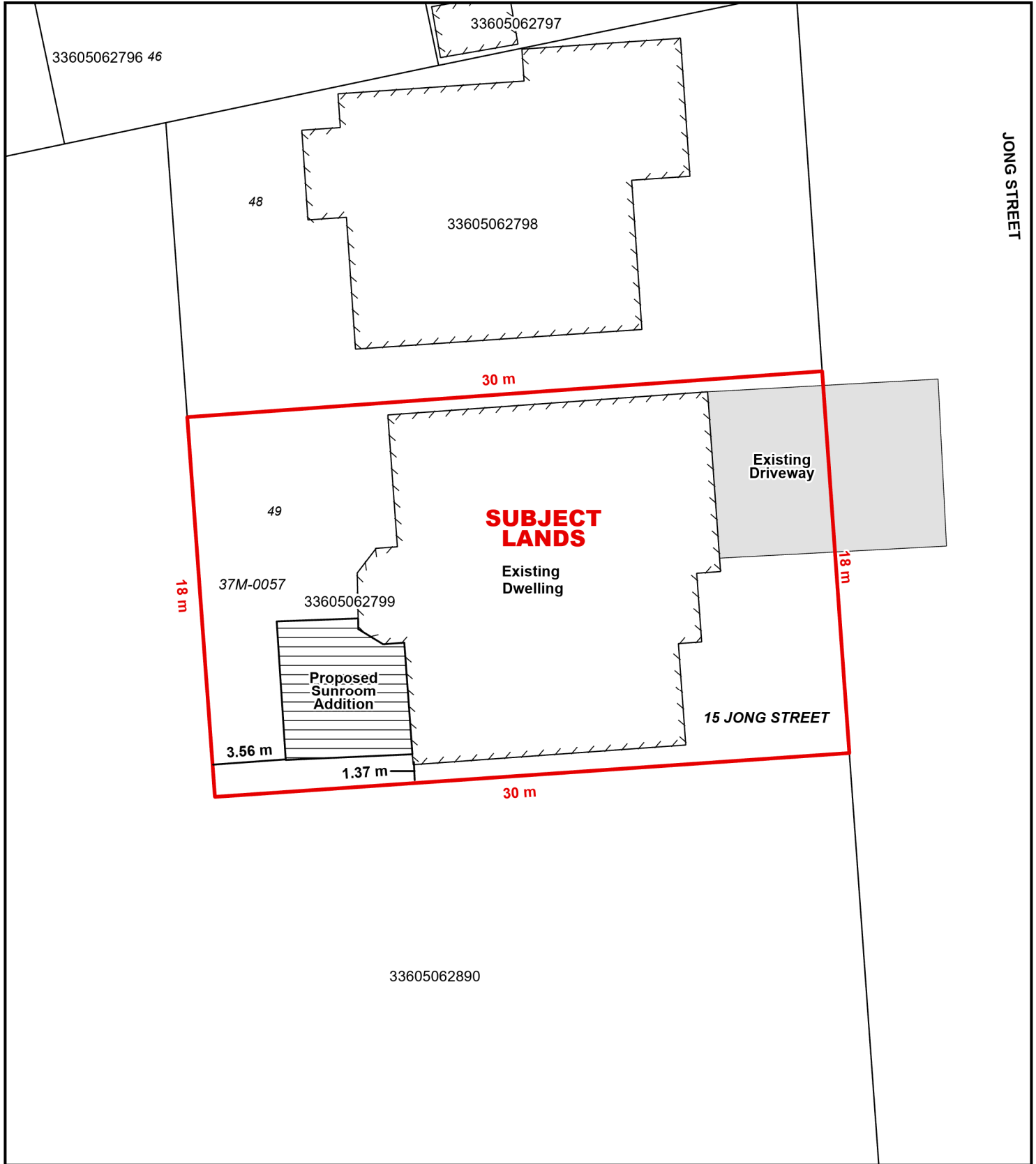
OS - Open Space Zone

R1-A - Residential R1-A Zone




CONCEPTUAL PLAN

Geographic Township of TOWNSEND



Legend

 Subject Lands

2/24/2026

