

For Office Use Only:

File Number	_____	Application Fee	_____
Related File Number	_____	Conservation Authority Fee	_____
Pre-consultation Meeting	_____	Well & Septic Info Provided	_____
Application Submitted	_____	Planner	_____
Complete Application	_____	Public Notice Sign	_____

Check the type of planning application(s) you are submitting.

- Consent/Severance/Boundary Adjustment
- Surplus Farm Dwelling Severance and Zoning By-law Amendment
- Minor Variance
- Easement/Right-of-Way

Property Assessment Roll Number: 3310-493-110-01900

A. Applicant Information

Name of Owner Carey Mudford

It is the responsibility of the owner or applicant to notify the planner of any changes in ownership within 30 days of such a change.

Address 33 Nesbitt Drive

Town and Postal Code East York, ON M4W 2G2

Phone Number _____

Cell Number 416-561-1933

Email carey@cmidesign.ca

Name of Applicant Agent

Address _____

Town and Postal Code _____

Phone Number _____

Cell Number _____

Email _____



Name of Agent David McPherson

Address 8 Culver Lane

Town and Postal Code Simcoe, ON N3Y 5C8

Phone Number _____

Cell Number 519-427-6483

Email david-a-mcpherson@hotmail.com

Please specify to whom all communications should be sent. Unless otherwise directed, all correspondence and notices in respect of this application will be forwarded to the owner and agent noted above.

Owner Agent Applicant

Names and addresses of any holder of any mortgages, charges or other encumbrances on the subject lands:

n/a

B. Location, Legal Description and Property Information

1. Legal Description (include Geographic Township, Concession Number, Lot Number, Block Number and Urban Area or Hamlet):

Lot 22 Plan 128 Charlotteville

Municipal Civic Address: 172 Cedar Drive, Turkey Point

Present Official Plan Designation(s): Resort Residential

Present Zoning: Resort Residential

2. Is there a special provision or site specific zone on the subject lands?

Yes No If yes, please specify:

3. Present use of the subject lands:

Residential



4. Please describe **all existing** buildings or structures on the subject lands and whether they are to be retained, demolished or removed. If retaining the buildings or structures, please describe the type of buildings or structures, and illustrate the setback, in metric units, from front, rear and side lot lines, ground floor area, gross floor area, lot coverage, number of storeys, width, length, and height on your attached sketch which must be included with your application:

The existing house is to be retained but the existing detached garage is to be demolished to make way for the new detached garage proposed. All as shown on the attached site plan.

5. If an addition to an existing building is being proposed, please explain what it will be used for (for example a bedroom, kitchen, or bathroom). If new fixtures are proposed, please describe.

n/a

6. Please describe **all proposed** buildings or structures/additions on the subject lands. Describe the type of buildings or structures/additions, and illustrate the setback, in metric units, from front, rear and side lot lines, ground floor area, gross floor area, lot coverage, number of storeys, width, length, and height on your attached sketch which must be included with your application:

Proposed is a new detached garage of some 75.8 sqm. in footprint and 151.6 sqm of usable floor area on account of the building proposed as two storeys.

7. Are any existing buildings on the subject lands designated under the *Ontario Heritage Act* as being architecturally and/or historically significant? Yes No

If yes, identify and provide details of the building:

8. If known, the length of time the existing uses have continued on the subject lands:

75+ years

9. Existing use of abutting properties:

residential

10. Are there any easements or restrictive covenants affecting the subject lands?

Yes No If yes, describe the easement or restrictive covenant and its effect:

C. Purpose of Development Application

Note: Please complete all that apply. **Failure to complete this section will result in an incomplete application.**

1. Site Information (Please refer to Zoning By-law to confirm permitted dimensions)

	Existing	Permitted	Provision	Proposed	Deficiency
Lot frontage	12.217m			12.217m	
Lot depth	57.788m			57.788m	
Lot width	12.217m			12.217m	
Lot area	706sqm			706sqm	
Lot coverage	5.47%		3.2.1 (g)	10.74%	0.74%
Front yard	0.25m	6m		0.25m	5.75m
Rear yard	50.54m	1.2m		47.175m	
Height	5m	7m	3.2.1 (a)	8.2m	1.2m
Left Interior side yard	5.2m	1.2m		3.63m	
Right Interior side yard	1.25m	1.2m		1.25m	
Exterior side yard (corner lot)					
Parking Spaces (number)					
Aisle width					
Stall size					
Loading Spaces	accessory buildings	not in front yard	3.2.1 (b)		in front yard
Other	usable floor area	100 sqm	3.2.1 (g)	151.6sqm	51.6sqm

2. Please explain why it is not possible to comply with the provision(s) of the Zoning By-law:

The owner is a building contractor who just moved from a farm property in Alymer to Turkey Point. To storage his tools and construction equipment he needs storage space. This necessated the design of a 2 storey garage.

3. **Consent/Severance/Boundary Adjustment:** Description of land intended to be severed in metric units:

Frontage: n/a
Depth:
Width:
Lot Area:
Present Use:
Proposed Use:

Proposed final lot size (if boundary adjustment):
If a boundary adjustment, identify the assessment roll number and property owner of the lands to which the parcel will be added:

Description of land intended to be retained in metric units:

Frontage:
Depth:
Width:
Lot Area:
Present Use:
Proposed Use:
Buildings on retained land:

4. **Easement/Right-of-Way:** Description of proposed right-of-way/easement in metric units:

Frontage: n/a
Depth:

Width: _____
Area: _____
Proposed Use: _____

5. Surplus Farm Dwelling Severances Only: List all properties in Norfolk County, which are owned and farmed by the applicant and involved in the farm operation

Owners Name: n/a
Roll Number: _____
Total Acreage: _____
Workable Acreage: _____
Existing Farm Type: (for example: corn, orchard, livestock) _____
Dwelling Present?: Yes No If yes, year dwelling built _____
Date of Land Purchase: _____

Owners Name: _____
Roll Number: _____
Total Acreage: _____
Workable Acreage: _____
Existing Farm Type: (for example: corn, orchard, livestock) _____
Dwelling Present?: Yes No If yes, year dwelling built _____
Date of Land Purchase: _____

Owners Name: _____
Roll Number: _____
Total Acreage: _____
Workable Acreage: _____
Existing Farm Type: (for example: corn, orchard, livestock) _____
Dwelling Present?: Yes No If yes, year dwelling built _____
Date of Land Purchase: _____

Owners Name: _____
Roll Number: _____
Total Acreage: _____
Workable Acreage: _____
Existing Farm Type: (for example: corn, orchard, livestock) _____
Dwelling Present?: Yes No If yes, year dwelling built _____
Date of Land Purchase: _____

Owners Name: _____
Roll Number: _____
Total Acreage: _____
Workable Acreage: _____
Existing Farm Type: (for example: corn, orchard, livestock) _____
Dwelling Present?: Yes No If yes, year dwelling built _____
Date of Land Purchase: _____

Note: If additional space is needed please attach a separate sheet.

D. All Applications: Previous Use of the Property

1. Has there been an industrial or commercial use on the subject lands or adjacent lands? Yes No Unknown

If yes, specify the uses (for example: gas station, or petroleum storage):

2. Is there reason to believe the subject lands may have been contaminated by former uses on the site or adjacent sites? Yes No Unknown

3. Provide the information you used to determine the answers to the above questions:
Information provided by owner.

4. If you answered yes to any of the above questions in Section D, a previous use inventory showing all known former uses of the subject lands, or if appropriate, the adjacent lands, is needed. Is the previous use inventory attached? Yes No

E. All Applications: Provincial Policy

1. Is the requested amendment consistent with the provincial policy statements issued under subsection 3(1) of the *Planning Act, R.S.O. 1990, c. P. 13*? Yes No

If no, please explain:

2. It is owner's responsibility to be aware of and comply with all relevant federal or provincial legislation, municipal by-laws or other agency approvals, including the Endangered Species Act, 2007. Have the subject lands been screened to ensure that development or site alteration will not have any impact on the habitat for endangered or threatened species further to the provincial policy statement subsection 2.1.7? Yes No

If no, please explain:

3. Have the subject lands been screened to ensure that development or site alteration will not have any impact on source water protection? Yes No

If no, please explain:

Property is not within a WHPA

Note: If in an area of source water Wellhead Protection Area (WHPA) A, B or C please attach relevant information and approved mitigation measures from the Risk Manager Official.

4. All Applications: Are any of the following uses or features on the subject lands or within 500 metres of the subject lands, unless otherwise specified? Please check boxes, if applicable.

Livestock facility or stockyard (submit MDS Calculation with application)

On the subject lands or within 500 meters – distance _____

Wooded area

On the subject lands or within 500 meters – distance 500m

Municipal Landfill

On the subject lands or within 500 meters – distance _____

Sewage treatment plant or waste stabilization plant

On the subject lands or within 500 meters – distance _____

Provincially significant wetland (class 1, 2 or 3) or other environmental feature

On the subject lands or within 500 meters – distance 500m

Floodplain

On the subject lands or within 500 meters – distance 50m

Rehabilitated mine site

On the subject lands or within 500 meters – distance _____

Non-operating mine site within one kilometre

On the subject lands or within 500 meters – distance _____

Active mine site within one kilometre

On the subject lands or within 500 meters – distance _____

Industrial or commercial use (specify the use(s))

On the subject lands or within 500 meters – distance _____

Active railway line

On the subject lands or within 500 meters – distance _____

Seasonal wetness of lands

On the subject lands or within 500 meters – distance _____

Erosion

On the subject lands or within 500 meters – distance _____

Abandoned gas wells

On the subject lands or within 500 meters – distance _____

F. All Applications: Servicing and Access

1. Indicate what services are available or proposed:

Water Supply

- Municipal piped water
- Individual wells

- Communal wells
- Other (describe below)

Bowen water system

Sewage Treatment

- Municipal sewers
- Septic tank and tile bed in good working order
- Communal system
- Other (describe below)

Existing holding tank

Storm Drainage

- Storm sewers
 - Other (describe below)
 - Open ditches
-

2. Existing or proposed access to subject lands:

- Municipal road
- Unopened road
- Provincial highway
- Other (describe below)

Name of road/street:

Cedar Drive

G. All Applications: Other Information

1. Does the application involve a local business? Yes No

If yes, how many people are employed on the subject lands?

2. Is there any other information that you think may be useful in the review of this application? If so, explain below or attach on a separate page.

Premise and Justification report is attached

H. Supporting Material to be submitted by Applicant

In order for your application to be considered complete, folded hard copies (number of paper copies as directed by the planner) and an **electronic version (PDF) of the site plan drawings, additional plans, studies and reports** will be required, including but not limited to the following details:

1. Concept/Layout Plan
2. All measurements in metric
3. Existing and proposed easements and right of ways
4. Parking space totals – required and proposed
5. All dimensions of the subject lands
6. Dimensions and setbacks of all buildings and structures
7. Location and setbacks of septic system and well from all existing and proposed lot lines, and all existing and proposed structures
8. Names of adjacent streets
9. Natural features, watercourses and trees

In addition, the following additional plans, studies and reports, including but not limited to, **may** also be required as part of the complete application submission:

- On-Site Sewage Disposal System Evaluation Form (to verify location and condition)
- Environmental Impact Study
- Geotechnical Study / Hydrogeological Review
- Minimum Distance Separation Schedule
- Record of Site Condition

Your development approval might also be dependent on Ministry of Environment Conservation and Parks, Ministry of Transportation or other relevant federal or provincial legislation, municipal by-laws or other agency approvals.

All final plans must include the owner's signature as well as the engineer's signature and seal.

I. Transfers, Easements and Postponement of Interest

The owner acknowledges and agrees that if required it is their solicitor's responsibility on behalf of the owner for the registration of all transfer(s) of land to the County, and/or transfer(s) of easement in favour of the County and/or utilities. Also, the owner further acknowledges and agrees that it is their solicitor's responsibility on behalf of the owner for the registration of postponements of any charges in favour of the County.

Permission to Enter Subject Lands

Permission is hereby granted to Norfolk County officers, employees or agents, to enter the premises subject to this application for the purposes of making inspections associated with this application, during normal and reasonable working hours.

Freedom of Information

For the purposes of the *Municipal Freedom of Information and Protection of Privacy Act*, I authorize and consent to the use by or the disclosure to any person or public body any information that is collected under the authority of the *Planning Act, R.S.O. 1990, c. P. 13* for the purposes of processing this application.

C. Mudford 01/29/26
Owner/Applicant/Agent Signature Date

J. Owner's Authorization

If the applicant/agent is not the registered owner of the lands that is the subject of this application, the owner must complete the authorization set out below.

I/We Carey Mudford am/are the registered owner(s) of the lands that is the subject of this application.

I/We authorize David McPherson to make this application on my/our behalf and to provide any of my/our personal information necessary for the processing of this application. Moreover, this shall be your good and sufficient authorization for so doing.

C. Mudford 01/29/26
Owner Date

Owner Date

***Note:** If property is owned by an Ontario Ltd. Corporation, Articles of Incorporation are required to be attached to the application.



K. Declaration

I, David McPherson of Simcoe

solemnly declare that:

all of the above statements and the statements contained in all of the exhibits transmitted herewith are true and I make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath and by virtue of *The Canada Evidence Act*.

Declared before me at:

Simcoe


Owner/Applicant/Agent Signature

In Norfolk County

This 29 day of January

A.D., 2026

Olivia Davies

A Commissioner, etc.

Olivia Catherine Davies, a
Commissioner, etc., Province of Ontario,
for the Corporation of Norfolk County.
Expires May 23, 2027.

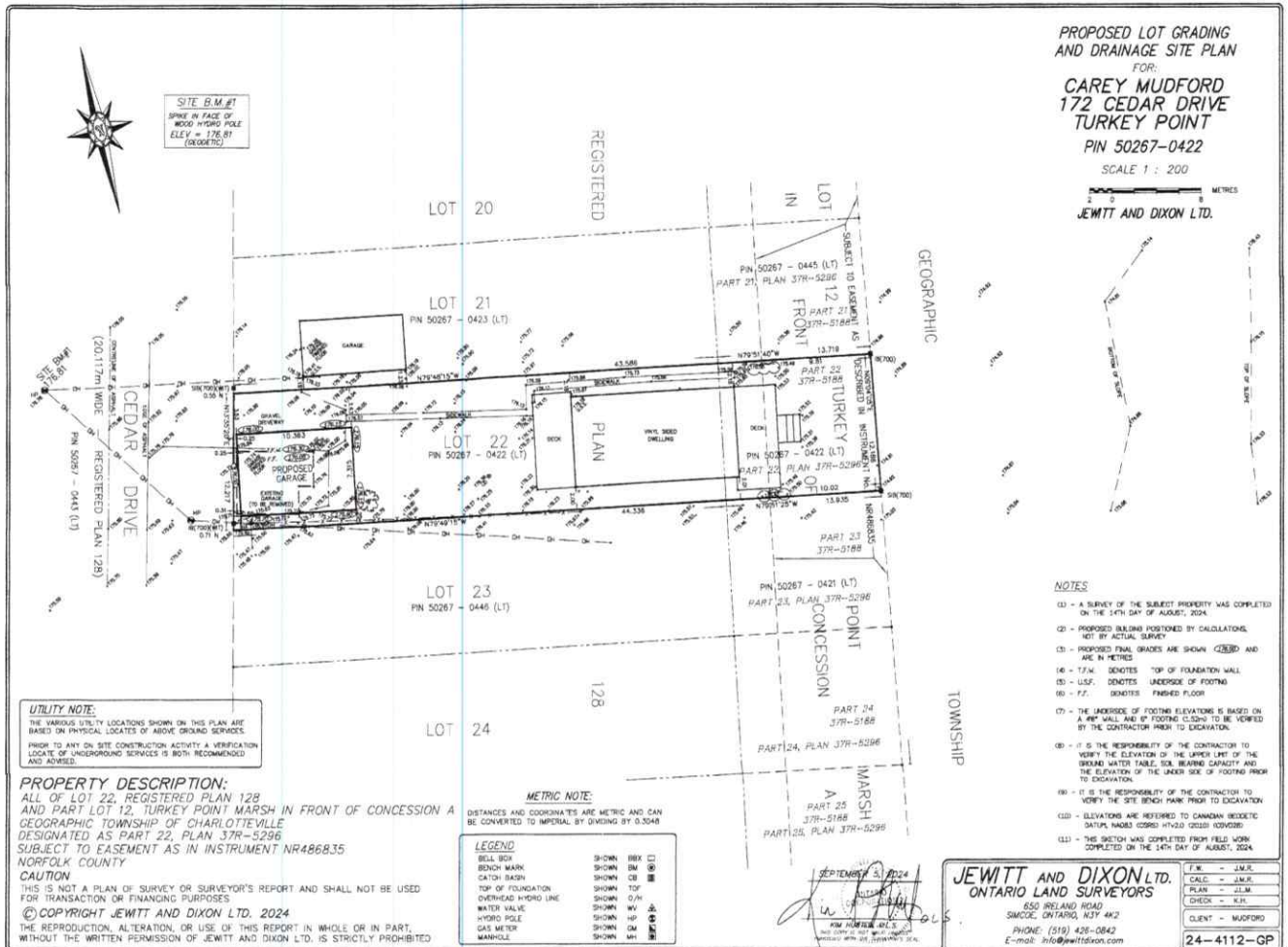
**Premise and Justification of
Minor Variance Application
for 172 Cedar Drive, Turkey Point**

This application seeks relief of section 3.2.1(b) to permit construction of a detached garage in the front yard. We also seek relief of 5.75 m. from the required front yard setback of 6 m, to permit a front yard setback of 0.25 m. We also seek relief of 3.2 m. from the maximum permitted height of 5 m., to permit a height of 8.2 m. We also seek relief of 0.74% from the maximum permitted lot coverage for accessory buildings, to permit a lot coverage of 10.74%. Finally, we seek relief of 51.6 sq. m. from the maximum permitted usable floor area of 100 sq. m., to permit an accessory building of 151.6 sq. m. in usable floor area.

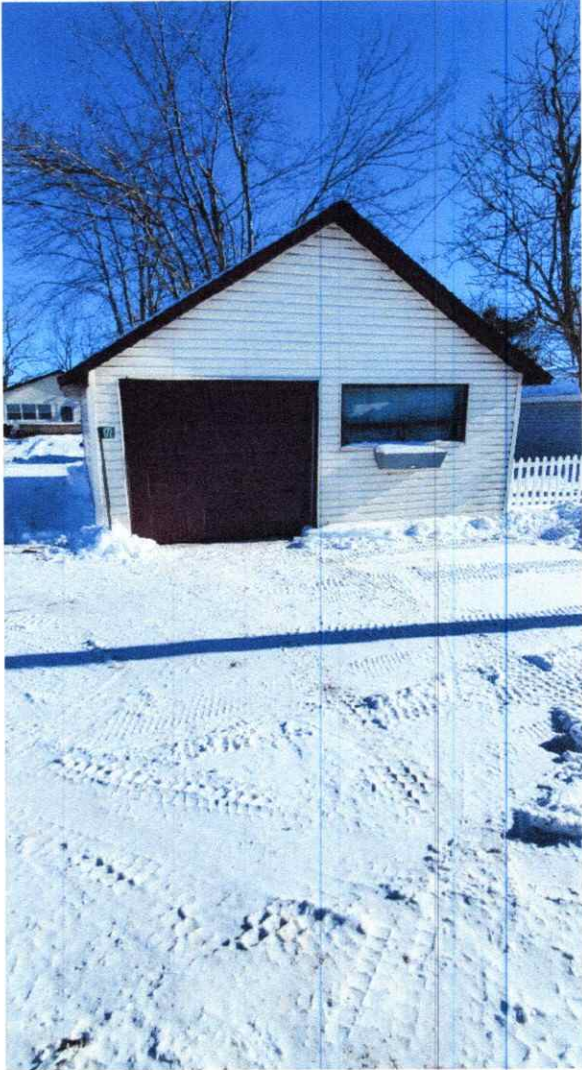
The premise is to demolish the existing single storey detached garage, and to erect in its place a new two-storey detached garage.

The existing single storey garage has a footprint of 38.64 sq. m. and the proposed replacement garage will have a footprint of 75.8 sq. m. However, because of the definition of usable floor area, both floors have to be summed together, hence the total usable floor area becomes 151.6 sq. m.

The proposed garage will sit in the same footprint area as the existing garage. See the site plan below:



This is a photo of the existing garage at 172 Cedar Drive:

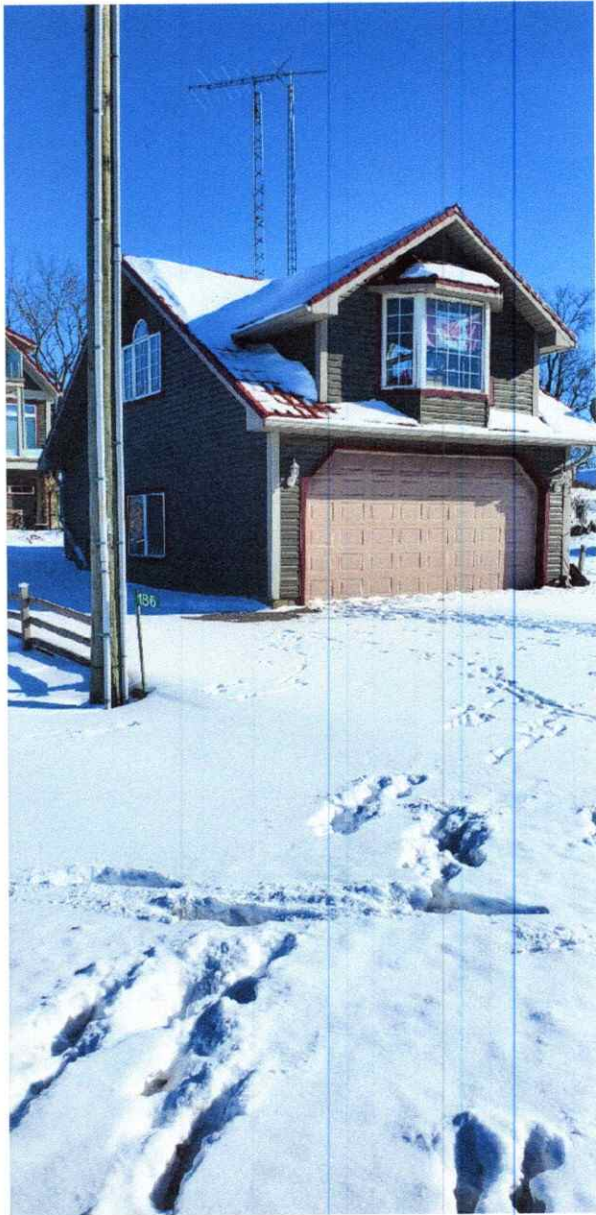


In a 12 lot stretch of Cedar Drive, adjacent the garage proposed at 172 Cedar Drive, there are 5 other 2-storey detached garages in close proximity to the streetline.

This is the garage next door, at 174 Cedar Drive:



This is the garage at 186 Cedar Drive:



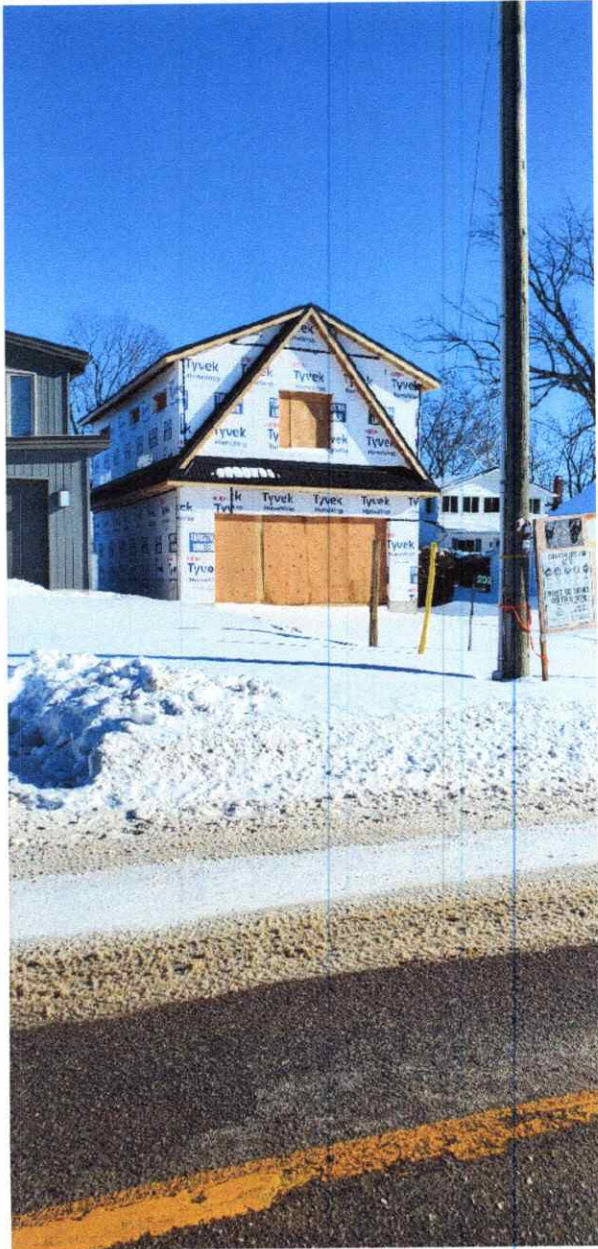
This is the garage at 192 Cedar Drive:



This is the garage at 200 Cedar Drive:



This is the garage at 202 Cedar Drive:



All of these garages are of similar scale, height, footprint, and setback as the garage proposed at 172 Cedar Drive.

All of these detached garages are in the front yard. All are in similar proximity to the front property line. All are of similar footprint size and in total usable floor area size.

The existing garage has a 0.25 m. front yard setback and the new garage is proposed to be sited on this same setback line. Moving it further back would impact the existing septic system, so is not feasible.

Attached are copies of the following documents:

- Architectural plans of the proposed garage.
- Site Plan/Lot Grading Plan showing both the existing garage location and the proposed garage location.
- LPRCA Permit 220/26 issued for the construction of this garage.

No habitable space is contemplated on the second floor. Because there are no basements in Turkey Point, storage space is problematic. Hence, seasonal storage of lawn or patio furniture, canoes, kayaks, paddle boards, water toys, and fishing tackle are typically stored on the second floor of detached garages. From the pictures shown previously, this garage blends right in with the existing streetscape.

This proposed garage has regard for Section 2 of the Planning Act.

This proposed garage conforms to the 2024 Provincial Planning Statement.

Under Section 45(1) of the Planning Act there are four tests a minor variance must meet. In order to be considered the application must meet all four tests:

- Does the application conform to the general intent and purpose of the Official Plan.
- Does the application conform to the general intent and purpose of the Zoning Bylaw.
- Is the application desirable for the appropriate development of the lands in question.
- Is the application minor.

Norfolk County Official Plan

The subject property is designated as Resort Residential in the Norfolk County Official Plan. Permitted uses within this designation include cottages and boathouses. The Official Plan allows for the improvement and extension of existing properties with the Resort Residential designation. This application enables the continued use and better use of a cottage property within the Resort Residential designation and therefore conforms to the general intent and purpose of the Official Plan, including the Lakeshore Special Policy Area Secondary Plan.

Norfolk County Zoning By-law 1-Z-2014

Zoning By-law 1-Z-2014 zones the property Resort Residential. Article 5.8.1a) permits a vacation home, complete with a detached garage, within the Resort Residential Zone.

The general intent and purpose of the Norfolk County Zoning By-law is to maintain the character of the neighborhood. Cedar Drive is lined with updated cottages with complementary accessory buildings of similar size, shape, and style. The proposed garage is compatible with the existing streetscape. The requested variances will maintain the general intent and purpose of the Zoning By-law and will promote continued and better use of the vacation home property.

Is the Variance Desirable and Appropriate

The continued use of this property, along with the proposed detached garage, is compatible with and fits within the existing neighborhood. This proposal is an improvement of the property in that the proposed garage is desirable and an appropriate reflection of the Cedar Drive streetscape. In a 12 lot stretch of Cedar Drive, adjacent to this lot, we have shown photographs of 6 similar garages.

Is the Variance Minor in Nature

The application is minor in nature because it proposes only a modest increase in usable floor area and building height. The construction of the proposed garage is minor and impacts no other cottages. Cedar Drive hosts larger 2-storey garages in the immediate neighbourhood. This project is a reflection of the existing streetscape and LPRCA has already issued a permit for its construction.

Conclusion

This proposed development meets the overall intent and purpose of the Planning Act, the Provincial Planning Statement, the Norfolk County Official Plan, and the Norfolk County Zoning By-law. The application is minor and desirable for the appropriate development of the lands.

David McPherson



Long Point Region Conservation Authority

PERMIT No. LPRCA-220/26
PROHIBITED ACTIVITIES, EXEMPTIONS AND PERMITS
(CONSERVATION AUTHORITIES ACT - ONTARIO REGULATION 41/24)

4 Elm Street
Tillsonburg, ON
N4G 0C4
Phone (519) 842-4242
Fax (519) 842-7123
www.lprca.on.ca

Permission has been granted to:			
Applicant:	<u>Carey Mudford</u>	Telephone:	<u>416-561-1933</u>
Address:	<u>33 Nesbitt Drive, East York</u>	Email:	<u>carey@cmidesign.ca</u>
	<u>M4W 2G2</u>		
Agent:	<u>David McPherson</u>	Telephone:	<u>519-427-6483</u>
Address:	<u>8 Culver Lane, Simcoe</u>	Email:	<u>david-a-mcpherson@hotmail.com</u>
	<u>N3Y 5C8</u>		
Location/Address of works: <u>172 Cedar Drive. 331049311002000</u>			
Lot:	<u>23</u>	Plan:	<u>128</u>
		Municipality:	<u>Norfolk County</u>
Description of Works:	<u>To construct a two-storey detached garage with an enclosed useable floor area of 142m² (1,528.5ft²).</u>		
Type of fill:	<u>Clear stone</u>		

This permit is valid on the above location only for the period of:

DATE: February 4, 2026 to February 4, 2028

This permit shall be subject to the following conditions:

The Applicant and owner, by acceptance of and in consideration of the issuance of this permit, agrees to the following conditions:

GENERAL CONDITIONS: (SEE REVERSE SIDE OF PERMIT)

<u>SPECIFIC CONDITIONS:</u>
1. Locations and dimensions of proposed works must be as indicated on the enclosed copy of the work permit application signed March 19, 2025 and the associated information.

GENERAL CONDITIONS:

1. This permit does not preclude any approvals required by any other laws or regulations.
2. Temporary sediment & erosion control measures shall be installed around any disturbed and/or exposed ground or excavated material stockpiles, remain in place until the site has been suitably stabilized, and must be monitored regularly to ensure effectiveness. Remedial/Emergency measures must be taken at any sign of failure. This step is considered necessary to prevent the undesirable migration of silt.
3. The Conservation Authority should be contacted within 48 hours prior to the commencement of construction.
4. Authorized representatives of the Long Point Region Conservation Authority may at any time enter onto the lands which are described herein in order to make any surveys, examinations or inspections which are required for the purpose of insuring that the work(s) authorized by this permit are being carried out according to the terms of this permit.
5. It is the responsibility of the permittee to ensure the development is located within the extent of the property boundaries owned by the proponent.
6. This permit is not assignable.
7. The project shall be carried out generally as per the plans submitted in support of the application as they may be amended by conditions of this permit.
8. This approval does not guarantee the soundness of the proposed work and it is the responsibility of the permittee to monitor and maintain the construction activity to ensure the integrity of the work.
9. The applicant agrees to maintain all existing drainage patterns.
10. Any activity or development other than that identified in this permit application must be reviewed by the LPRCA; at which time, staff will determine if additional approvals or an amended permit will be required.
11. Permits are valid for two years. No notice will be issued on expiration of the permit and it is the responsibility of the permittee to ensure a valid permit is in effect at the time work is occurring.



Long Point Region Conservation Authority

4 Elm Street, Tillsonburg, ON N4G 0C4

Tel: (519) 842-4242 Fax: (519) 842-7123

Email: planning@lprca.on.ca Website: www.lprca.on.ca

Permit Application – Schedule A

PROHIBITED ACTIVITIES, EXEMPTIONS AND PERMITS (O. Reg. 41/24)

Owner's Contact Information:	
Name: Carey Mudford	E-mail: carey@cmidesign.ca
Mailing Address: 33 Nesbitt Drive	Postal Code: M4W 2G2
City/Town: East York	Primary Phone: 416-561-1933
Agent/Consultant/Contractor's Contact Information:	
Name: David McPherson	E-mail: david-a-mcpherson@hotmail.com
Mailing Address: 8 Culver Lane	Postal Code: N3Y 5C8
City/Town: Simcoe	Primary Phone: 519-427-6483
Location of Proposed Work:	
Municipal Address: 172 Cedar Drive	
Tax Assessment Roll Number: 3310-493-110-01900	
City/Town: Turkey Point	Township:
Lot: Lot 22	Concession/Plan: Plan 128

Proposed Work: (Check all appropriate boxes)

- Place, dump, remove fill
- Site grading
- Construct a new building or structure
- Alter or renovate an existing building or structure
- Construct or replace a septic system
- Construct erosion control or shoreline protection
- Construction of new, or replacement of an existing watercourse crossing
- Other: _____

Description of Proposed Works:

This application is to demolish an existing detached garage of 38.64 sqm and to replace it with a new detached garage of 75.8 sqm in same location.

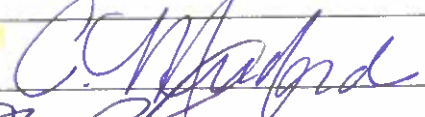

Lot grading plan and architectural plans are attached.

Pre-consultation Completed: Yes No

Proposed Start Date:	March 2025
Proposed Completion Date:	March 2026

Existing square footage:	38.64 sqm
Proposed square footage:	75.8 sqm
Quantity of fill (m ³) if applicable:	

I understand that the information contained in this application form is accurate to the best of my knowledge, and that the staff of the Long Point Region Conservation Authority (LPRCA) will undertake a detailed inspection of the subject lands as part of the application process.

Signature of Owner: 	Date: 3/19/25
Signature of Agent: 	Date: 3/19/25

Prohibited Activities, Exemptions and Permits
Ontario Regulation 41/24

PROPERTY OWNER AUTHORIZATION

Subject Property:	
Municipal Address:	172 Cedar Drive
Municipality:	Turkey Point
I/We:	Carey Mudford
Hereby Authorize:	David McPherson

To submit the enclosed application to the Long Point Region Conservation Authority, to appear on my behalf at any hearing(s) of the application, and to provide any information or materials required by the Board relevant to the application for the purposes of obtaining permission to develop, interfere with a wetland, or alter a shoreline or watercourse in accordance with the requirements of Ontario Regulated 41/24 as amended.

Signature of Owner: 	Date: 3/19/25
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Please copy the Owner on correspondence between the Conservation Authority and Agent.

APPLICATION FORM INSTRUCTIONS

- Owner** The legal owner(s) of the property where the proposed development or alteration will be carried out
- Agent** If the owner has assigned another party as an agent to act on the owner's behalf for the project, written authorization from the owner is required
- Quantity of Fill** Approximate quantity expressed in cubic metres, cubic yards, trucks loads (12 yards) or tandem truck loads (18 yards)
- Floor Area** For residential development, area of living space including full height basement and additional storeys, but not including attached garage, non-habitable crawl space, open breezeways, decks, or porches

Roll #:		Date:	
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APPLICATION CHECKLIST

Submission: LPRCA permit applications along with supporting information may be submitted in person to our office, by email, or mail.

Pre-consultation: Please contact LPRCA staff regarding the requirements specific to your proposal. Also, please make sure your contractors and consultants contact LPRCA staff before completing detailed drawings or technical studies.

Complete application: A complete application package includes (check all applicable):

1. A plan of the area showing the property boundary, type and location of the proposed development activity, or a plan of the area showing the plan view and cross-section details of an activity to straighten, change, divert, or interfere with the existing channel of a river, creek, stream or watercourse, including a change or interference with a wetland.
2. The elevations of existing buildings, if any, as well as grades and the proposed elevations of any buildings and grades after the development activity or other activity.
3. The proposed use of any buildings and structures following completion of the development activity or a statement of the purpose of an activity to straighten, change, divert, or interfere with the existing channel of a river, creek, stream or watercourse, including changes or interference with a wetland.
4. A description of the methods to be used in carrying out an activity to straighten, change, divert, or interfere with the existing channel of a river, creek, stream, or watercourse, including changes or interference with a wetland.
5. Drainage details before and after the development activity or other activity.
6. A complete description of any type of fill proposed to be placed or dumped.
7. The start and completion dates of the development activity or other activity.
8. A confirmation of authorization for the proposed development activity or other activity given by the owner of the subject property, if the applicant is not the owner
9. Any other technical information, studies, or plans that the authority requests, including information requested during pre-submission consultations between the authority and the applicant.

Technical Reports: One or more of the following technical reports may be required (advised by LPRCA staff)

1. Design drawings and description of the design elements for flood-proofing measures, stamped and certified by a qualified professional engineer (for development in floodplains and flood hazard areas).
2. Slope stability study and erosion analysis, prepared by a qualified professional with expertise in geotechnical engineering, to determine the stable top-of-bank, the minimum development setback to address the potential erosion hazards, and associated foundation, construction, grading, and drainage recommendations, in accordance with the Provincial Technical Guidelines (for development in erosion hazard areas).
3. Geotechnical investigation, by a qualified professional geotechnical engineer, of site soil and groundwater conditions related to building foundation type and design requirements, in accordance with the *Ontario Building Code* to facilitate subsequent building permit (for development in area with organic soils).
4. Coastal engineering assessment prepared by a qualified professional with expertise in coastal engineering in accordance with LPRCA's Shoreline Management Plan and the Provincial Technical Guidelines addressing hydrodynamic forces affecting the design and indicating how the aggravation of erosion on neighbouring properties is avoided (for shoreline alterations).
5. Environmental Impact Study (EIS) clearly indicating that there will be no negative impact to the form or function of the wetland to the satisfaction of LPRCA (for development near wetlands).
6. Hydraulic analysis by a qualified professional with expertise in water resource engineering addressing flood conveyance, storage-discharge, and changes in flood levels on-site and on adjacent properties (for development in floodplains, watercourse alterations).
7. Complex and large-scale proposals may require additional technical studies and plans.

GENERAL CONDITIONS OF PERMIT

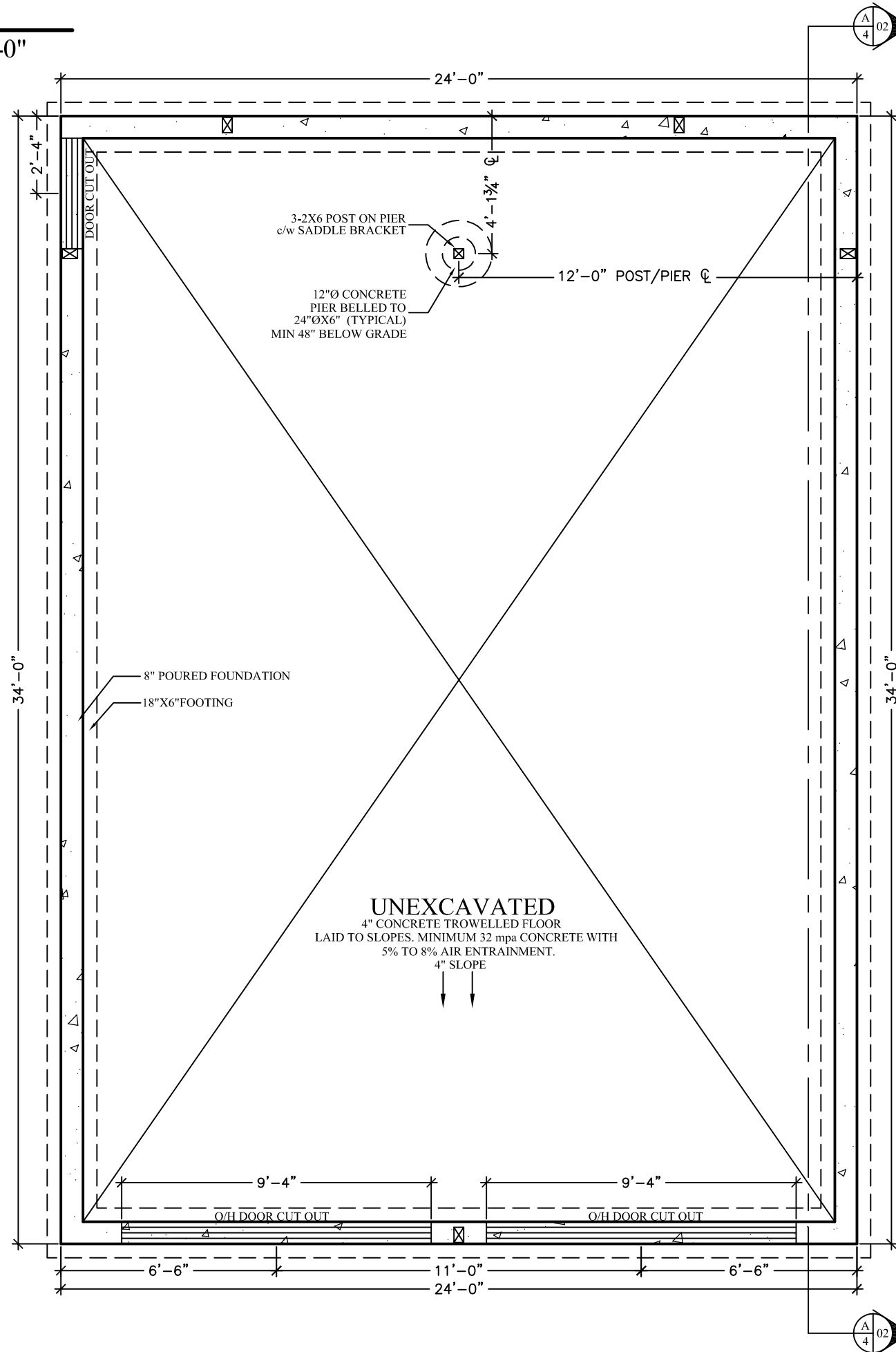
1. This permit does not absolve the permittee of the responsibility of obtaining necessary permission from applicable federal and provincial agencies or local municipalities.
2. The permittee agrees by acceptance of the permit:
 - a. To indemnify and save harmless, the Long Point Region Conservation Authority and its officers, employees, or agents from against all damage, injury, loss, costs, claims, demands, actions, and proceedings, arising out of or resulting from any act or omission of the permittee or of any of this agents, employees or contractors relating to any of the particular terms or conditions of this permit.
 - b. That this permit shall not release the permittee from any legal liability or obligation, and remains in force subject to all limitations, requirements, and liabilities imposed by law.
 - c. To provide certification of conformance to ensure compliance with the intent of the permit. This certification must be provided by an accredited professional and is to be submitted as may be specified in the permit.
3. Authorized representatives of the Long Point Region Conservation Authority will be granted entry at any time into lands which are the subject of this permit application in order to make such surveys, examinations, investigations, inspections, or other arrangements which such representatives deem necessary.
4. The project shall be carried out generally as per the plans submitted in support of the application as they may be amended by conditions of this permit.
5. Any activity or development other than that identified in this permit application must be reviewed by the LPRCA; at which time, staff will determine if additional approvals or an amended permit will be required.
6. The Long Point Region Conservation Authority may, with notice, cancel the permit or may change any of the conditions at any time if it is determined that the conditions of the permit have not been met.
7. Temporary sediment and erosion control measures shall be installed around any disturbed and/or exposed ground or excavated material stockpiles and remain in place until the site has been suitably stabilized, with regular monitoring to ensure effectiveness. Remedial/emergency measures must be taken at any sign of failure.
8. The applicant agrees to maintain all existing drainage patterns except as expressly identified in the permit.
9. It is the responsibility of the permittee to ensure the development is located within the extent of the property boundaries owned by the proponent.
10. This approval does not guarantee the soundness of the proposed work and it is the responsibility of the permittee to monitor and maintain the construction activity to ensure the integrity of the work.
11. The permit shall not be assigned (non-transferrable).
12. Permits are valid for the period of time indicated on the permit. No notice will be issued on expiration of the permit and it is the responsibility of the permittee to ensure a valid permit is in effect at the time of work occurring.
13. The Conservation Authority should be contacted within 48 hours prior to the commencement of construction.
14. The Long Point Region Conservation Authority may make copies of Schedule A, as required, for the purpose of assessing the proposal and, when approved, to form part of the permit issued.

NOTICE OF COLLECTION

Pursuant to section 29(2) of the Municipal Freedom of Information and Protection of Individual Privacy Act, 1989, the personal information contained on this form is collected under the legal authority of the Conservation Authorities Act, R.S.O. 1980, c85, as amended. This information is used to assess applications for and, where approved, issue comment. The name of the applicant, location of the work and a description of the project may be published in LPRCA documents, including agendas, reports and meeting minutes which are posted on the LPRCA website. Questions about the collection of personal information should be directed to the Freedom of Information Coordinator, Long Point Region Conservation Authority, 4 Elm Street, Tillsonburg, Ontario, N4G 0C4, (519) 842-4242.

FOUNDATION PLAN

Scale 1/4"-1'-0"



GENERAL NOTES:

FOUNDATION PLAN NOTES:

- ALL DIMENSIONS TO EXTERIOR FOUNDATION WALLS
- ALL FOOTINGS SHALL BEAR DIRECTLY ON UNDISTURBED SOIL. (ASSUMED SOIL BEARING CAPACITY- 2500 P.S.F.)
- APPROVED GRANULAR FILL SHALL BE COMPACTED IN 6" LAYERS TO 95% STANDARD PROCTOR MAXIMUM DRY DENSITY.
- ALL EXTERIOR FOOTINGS SHALL BE A MINIMUM 4'-0" BELOW FINISHED GRADE TO PROTECT FROM FROST ACTION.
- CONCRETE FOR FLOOR SLABS SHALL HAVE A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 25 MPa. ALL OTHER CONCRETE SHALL HAVE A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 25 MPa UNLESS OTHERWISE SPECIFIED. (6% AIR / 4" SLUMP)
- REINFORCING STEEL TO HAVE MINIMUM 1 1/2" COVER, MAXIMUM 2" COVER AT BOTTOM OF SLAB.

I review and take responsibility for the design work on behalf of a firm registered under subsection 2.17.4. of the O.B.C. I am qualified, and the firm is registered, in the appropriate classes/categories

Tony Wall
BCIN : 22052

	SQUARE FOOTAGE
MAIN FLOOR	816 SQ.FT.
UPPER FLOOR	770 SQ.FT.

REV. #	DATE	DESCRIPTION
4		
3		
2		
1	12/06	PERMIT ISSUE



PROPERTY OF VIEW-IT DESIGN

VIEW-IT DESIGN
RR# 1 PORT BURWELL
OFFICE: 519-851-1173
FAX: 519-874-4087

2232510 ONTARIO INC.
172 CEDAR DRIVE
TURKEY POINT, ONT

PROPOSED GARAGE PLANS

FOUNDATION PLAN

DRAWN BY: TONY WALL SCALE: SEE DWG

BCIN: 29620 PO# 23251

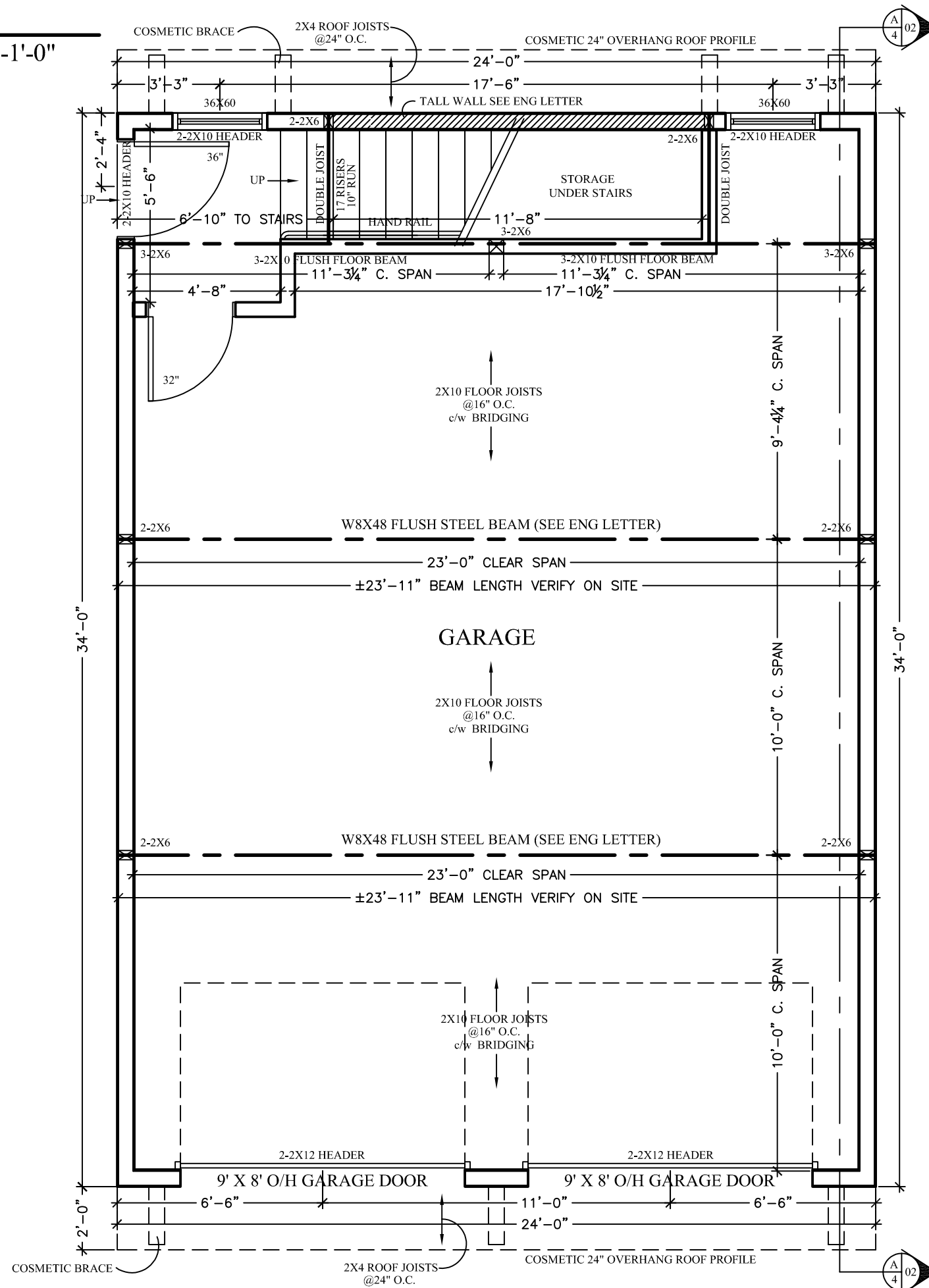
DATE: DECEMBER 2023

SHEET NO. 1 OF 9

A1

MAIN FLOOR PLAN

Scale 1/4"-1'-0"



GENERAL NOTES:

I review and take responsibility for the design work on behalf of a firm registered under subsection 2.17.4. of the O.B.C. I am qualified, and the firm is registered, in the appropriate classes/categories

Tony Wall
 Tony Wall
 BCIN : 22052

	SQUARE FOOTAGE
MAIN FLOOR	816 SQ.FT.
UPPER FLOOR	770 SQ.FT.

REV.	DATE	DESCRIPTION
4		
3		
2		
1	12/06	PERMIT ISSUE



PROPERTY OF VIEW-IT DESIGN

VIEW-IT DESIGN
 RR# 1 PORT BURWELL
 OFFICE: 519-851-1173
 FAX: 519-874-4087

2232510 ONTARIO INC.
 172 CEDAR DRIVE
 TURKEY POINT, ONT

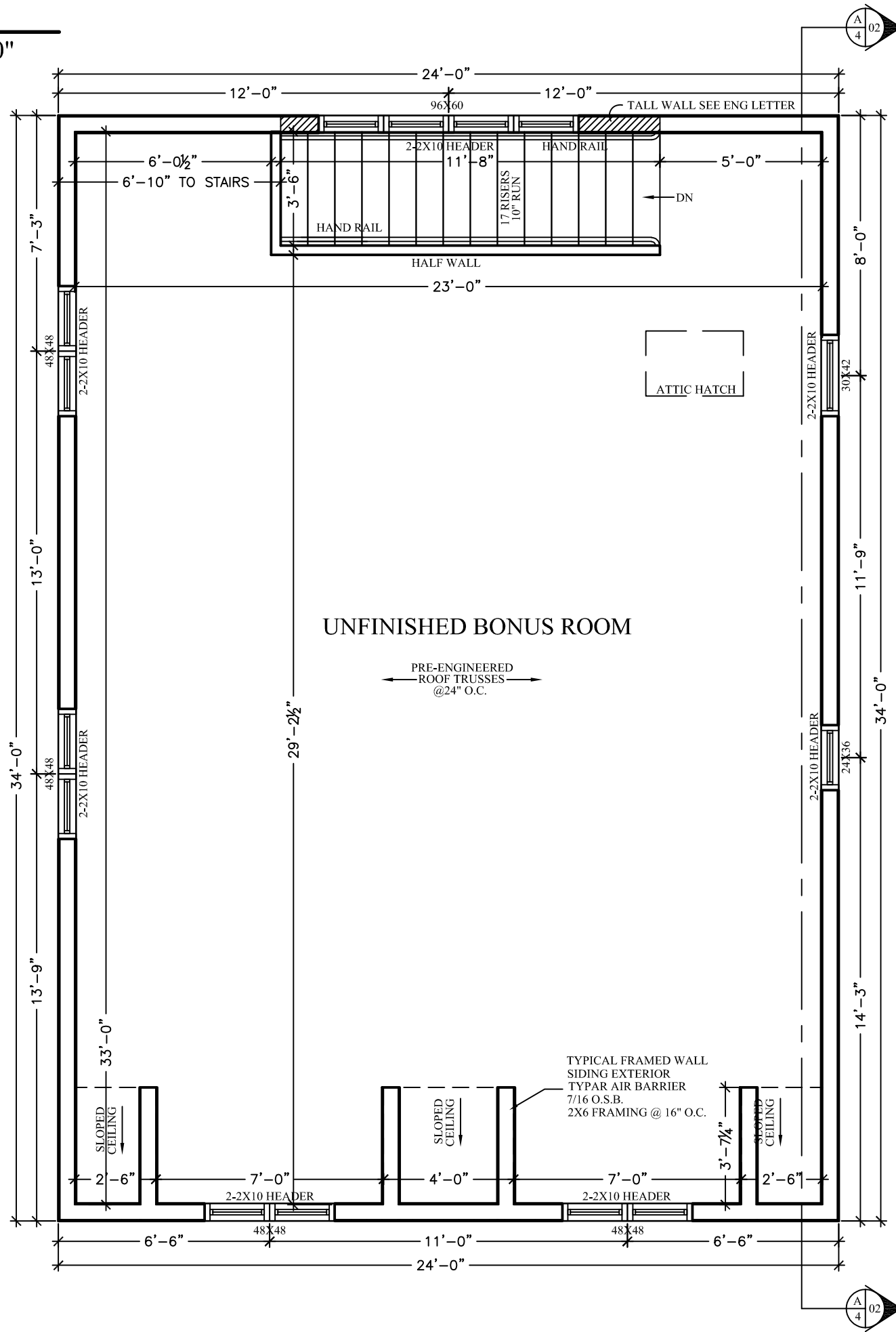
PROPOSED GARAGE PLANS
 MAIN FLOOR PLAN

DRAWN BY: TONY WALL	SCALE: SEE DWG
BCIN: 29620	PO#: 23251
DATE: DECEMBER 2023	
SHEET NO. 2 OF 9	

A2

UPPER FLOOR PLAN

Scale 1/4"-1'-0"



GENERAL NOTES:

I review and take responsibility for the design work on behalf of a firm registered under subsection 2.17.4. of the O.B.C. I am qualified, and the firm is registered, in the appropriate classes/categories

(Signature)
 Tony Wall
 BCIN : 22052

	SQUARE FOOTAGE
MAIN FLOOR	816 SQ.FT.
UPPER FLOOR	770 SQ.FT.

REV.	DATE	DESCRIPTION
4		
3		
2		
1	12/06	PERMIT ISSUE



PROPERTY OF VIEW-IT DESIGN

VIEW-IT DESIGN
 RR# 1 PORT BURWELL
 OFFICE: 519-851-1173
 FAX: 519-874-4087

2232510 ONTARIO INC.
 172 CEDAR DRIVE
 TURKEY POINT, ONT

PROPOSED GARAGE PLANS

UPPER FLOOR PLAN

DRAWN BY: TONY WALL SCALE: SEE DWG

BCIN: 29620 PO# 23251

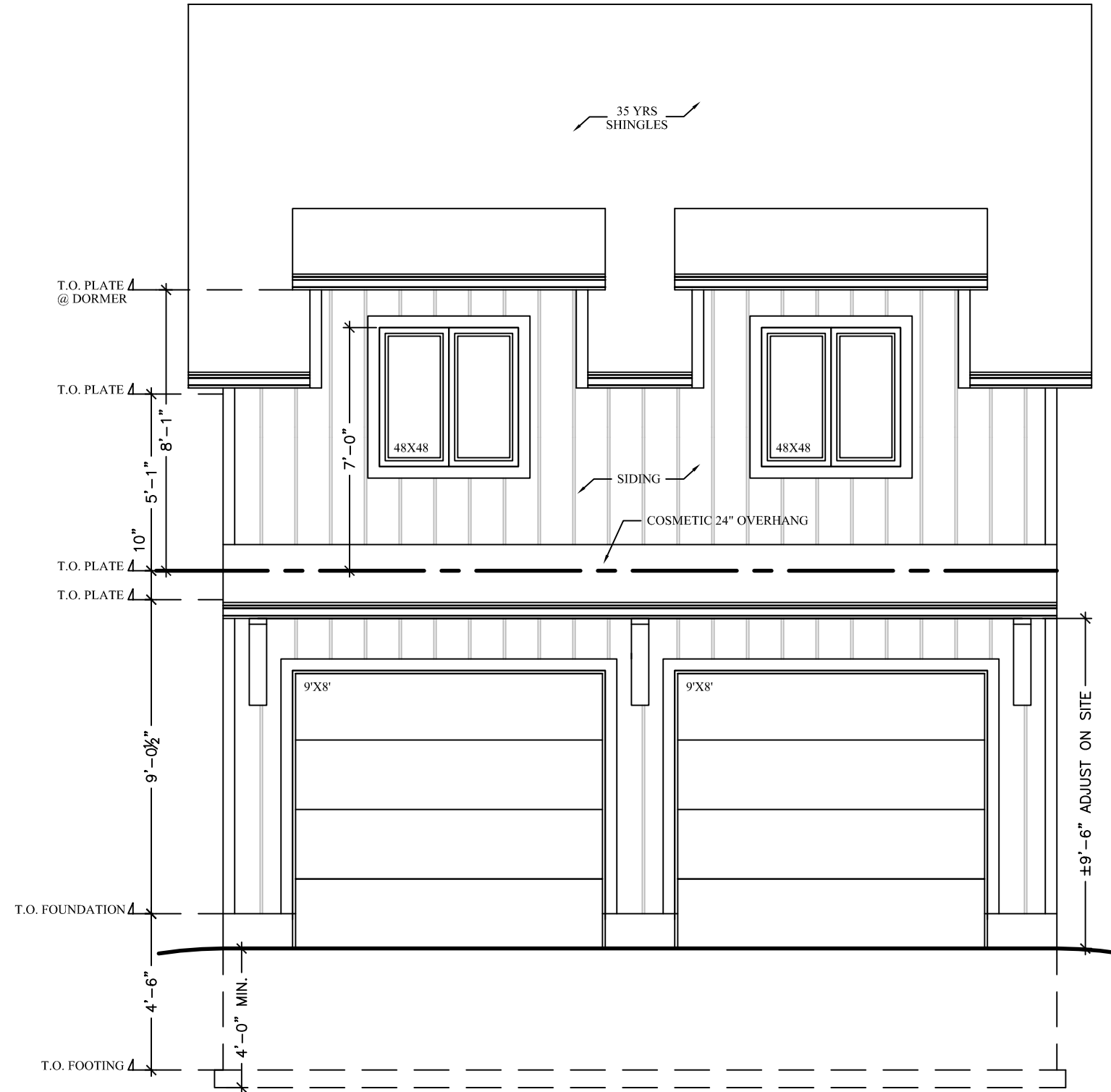
DATE: DECEMBER 2023

SHEET NO. 3 OF 9

A3

FRONT ELEVATION

Scale 1/4"-1'-0"



GENERAL NOTES:

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Tony Wall
BCIN : 22052

SQUARE FOOTAGE	
MAIN FLOOR	816 SQ.FT.
UPPER FLOOR	770 SQ.FT.

REV.	DATE	DESCRIPTION
4		
3		
2		
1	12/06	PERMIT ISSUE



PROPERTY OF VIEW-IT DESIGN

VIEW-IT DESIGN
RR# 1 PORT BURWELL
OFFICE: 519-851-1173
FAX: 519-874-4087

2232510 ONTARIO INC.
172 CEDAR DRIVE
TURKEY POINT, ONT

PROPOSED GARAGE PLANS

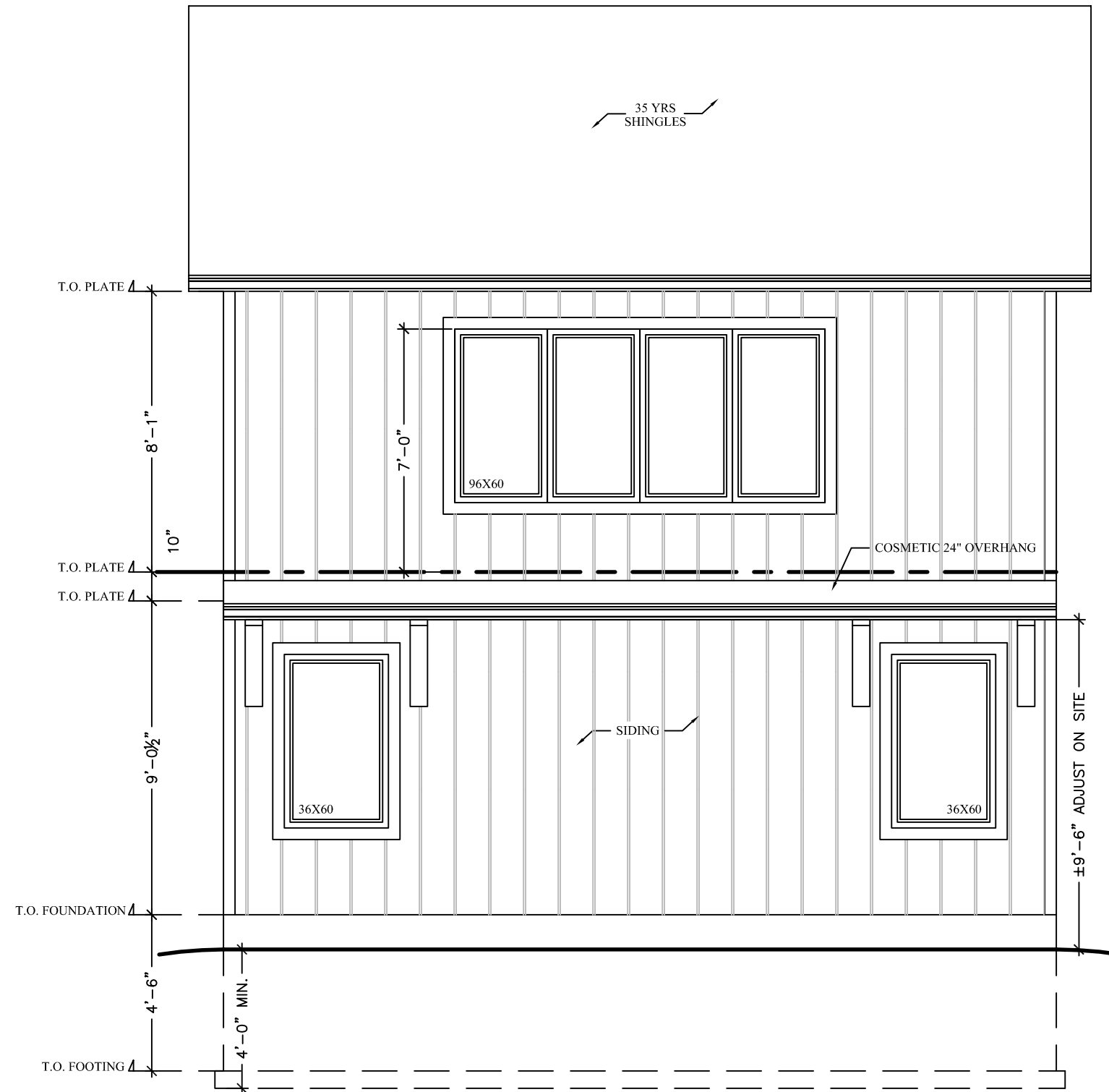
ELEVATIONS

DRAWN BY: TONY WALL	SCALE: SEE DWG
BCIN: 29620 PO# 23251	
DATE: DECEMBER 2023	
SHEET NO. 4 OF 9	

A4

REAR ELEVATION

Scale 1/4"-1'-0"



GENERAL NOTES:

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Tony Wall
BCIN : 22052

SQUARE FOOTAGE	
MAIN FLOOR	816 SQ.FT.
UPPER FLOOR	770 SQ.FT.

REV.	DATE	DESCRIPTION
4		
3		
2		
1	12/06	PERMIT ISSUE



PROPERTY OF VIEW-IT DESIGN

VIEW-IT DESIGN
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OFFICE: 519-851-1173
FAX: 519-874-4087

2232510 ONTARIO INC.
172 CEDAR DRIVE
TURKEY POINT, ONT

PROPOSED GARAGE PLANS

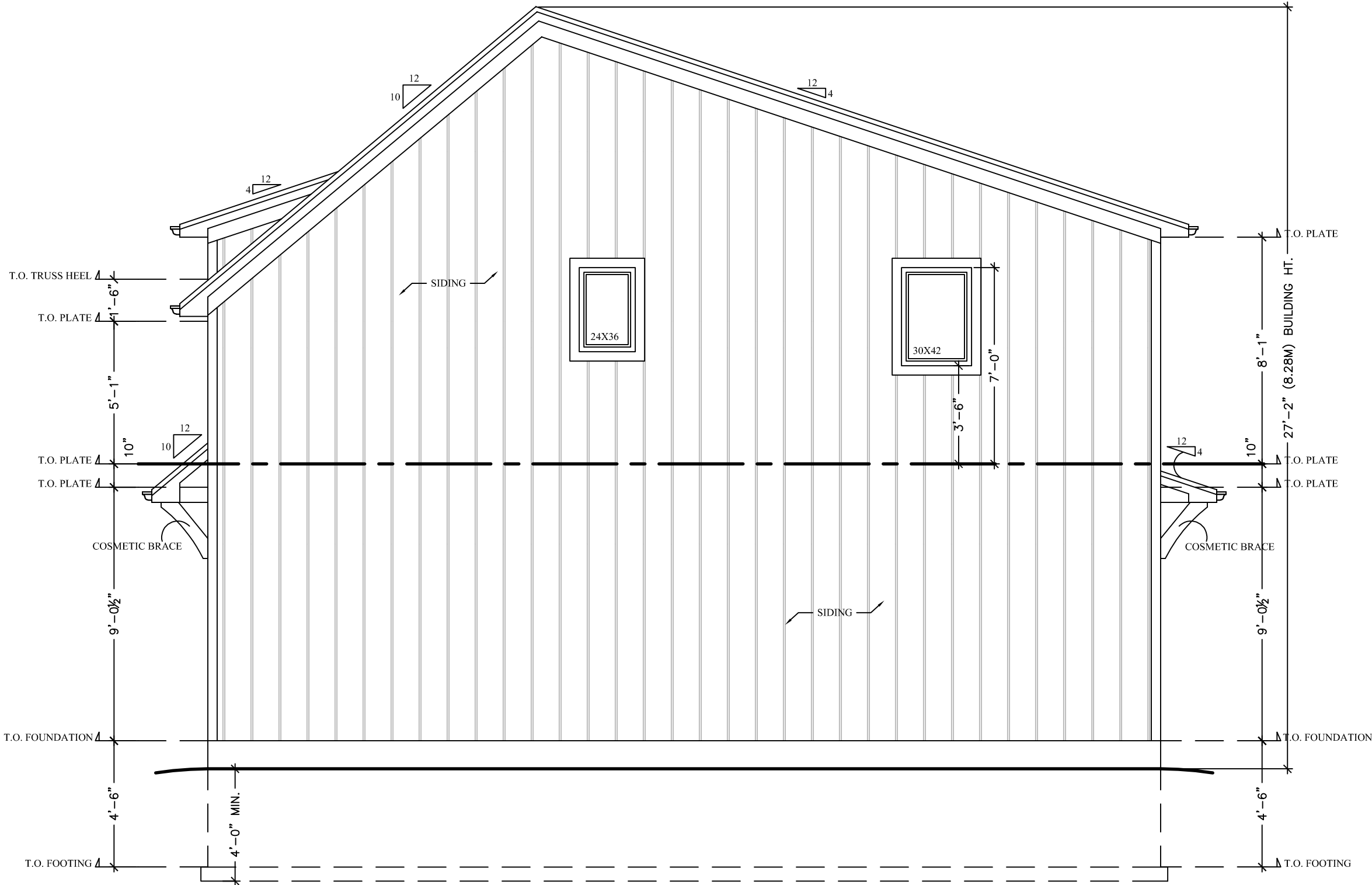
ELEVATIONS

DRAWN BY: TONY WALL	SCALE: SEE DWG
BCIN: 29620 PO# 23251	
DATE: DECEMBER 2023	
SHEET NO. 5 OF 9	

A5

RIGHT ELEVATION

Scale 1/4"=1'-0"



GENERAL NOTES:

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Tony Wall
BCIN : 22052

SQUARE FOOTAGE	
MAIN FLOOR	816 SQ.FT.
UPPER FLOOR	770 SQ.FT.

REV.	DATE	DESCRIPTION
4		
3		
2		
1	12/06	PERMIT ISSUE



PROPERTY OF VIEW-IT DESIGN

VIEW-IT DESIGN
RR# 1 PORT BURWELL
OFFICE: 519-851-1173
FAX: 519-874-4087

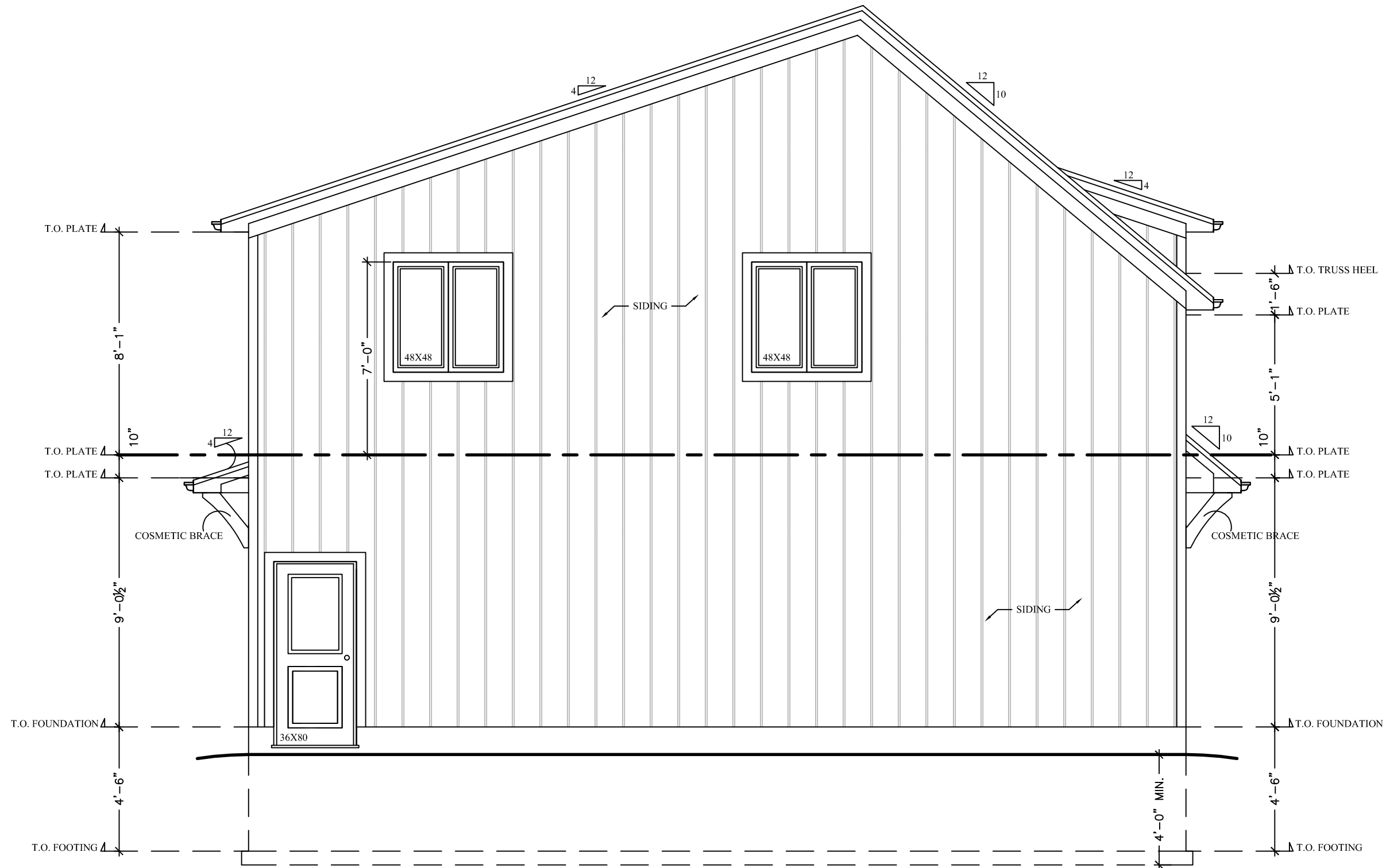
2232510 ONTARIO INC.
172 CEDAR DRIVE
TURKEY POINT, ONT

PROPOSED GARAGE PLANS
ELEVATIONS

DRAWN BY: TONY WALL	SCALE: SEE DWG
BCIN: 29620 PO# 23251	
DATE: DECEMBER 2023	
SHEET NO. 6 OF 9	A6

LEFT ELEVATION

Scale 1/4"-1'-0"



GENERAL NOTES:

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Tony Wall
BCIN : 22052

SQUARE FOOTAGE	
MAIN FLOOR	816 SQ.FT.
UPPER FLOOR	770 SQ.FT.

REV.	DATE	DESCRIPTION
4		
3		
2		
1	12/06	PERMIT ISSUE



PROPERTY OF VIEW-IT DESIGN

VIEW-IT DESIGN
RR# 1 PORT BURWELL
OFFICE: 519-851-1173
FAX: 519-874-4087

2232510 ONTARIO INC.
172 CEDAR DRIVE
TURKEY POINT, ONT

PROPOSED GARAGE PLANS

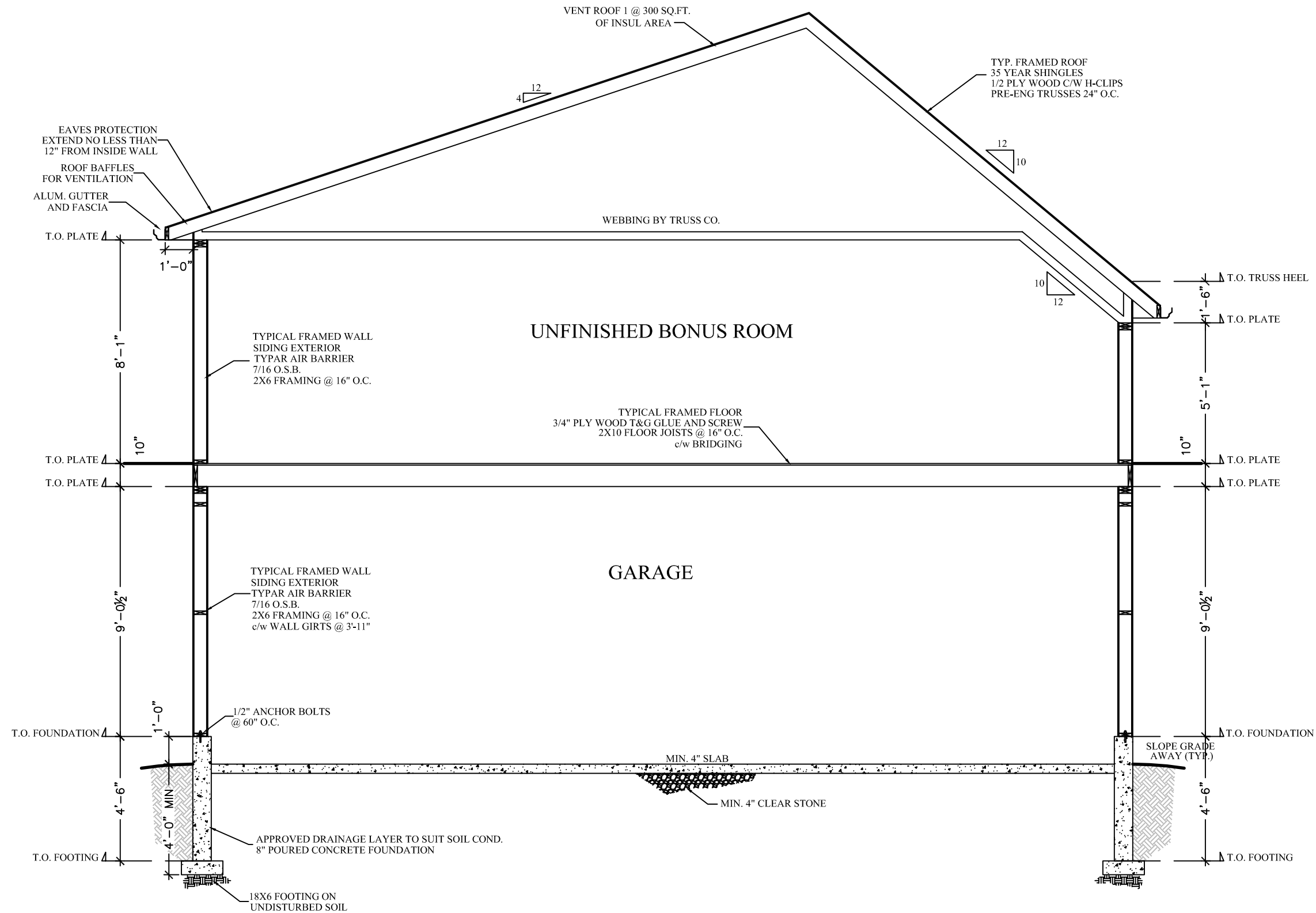
ELEVATIONS

DRAWN BY: TONY WALL	SCALE: SEE DWG
BCIN: 29620 PO# 23251	
DATE: DECEMBER 2023	
SHEET NO. 7 OF 9	

A7

SECTION 01:01

Scale 1/4"=1'-0"



GENERAL NOTES:

I review and take responsibility for the design work on behalf of a firm registered under subsection 2.17.4. of the O.B.C. I am qualified, and the firm is registered, in the appropriate classes/categories

Tony Wall
BCIN : 22052

	SQUARE FOOTAGE
MAIN FLOOR	816 SQ.FT.
UPPER FLOOR	770 SQ.FT.

REV.	DATE	DESCRIPTION
4		
3		
2		
1	12/06	PERMIT ISSUE



PROPERTY OF VIEW-IT DESIGN

VIEW-IT DESIGN
RR# 1 PORT BURWELL
OFFICE: 519-851-1173
FAX: 519-874-4087

2232510 ONTARIO INC.
172 CEDAR DRIVE
TURKEY POINT, ONT

PROPOSED GARAGE PLANS

SECTIONS

DRAWN BY: TONY WALL	SCALE: SEE DWG
BCIN: 29620 PO# 23251	
DATE: DECEMBER 2023	
SHEET NO. 8 OF 9	

A8

GENERAL NOTES:

CONTRACTOR SHALL REVIEW THE DESIGN DRAWINGS AND REPORT ANY ERRORS OR OMISSIONS TO THE DESIGNER PRIOR TO PROCEEDING WITH THE WORK OF THE CONTRACT. PROCEEDING WITHOUT NOTIFICATION, OR IF CHANGES ARE MADE WITHOUT THE APPROVAL OF THE DESIGNER, WILL VOID ALL RESPONSIBILITY AND LIABILITY OF THE DESIGNER

THE GENERAL CONTRACTOR SHALL PROVIDE MECHANICAL DRAWINGS FOR HEATING & AIR CONDITIONING SYSTEM AND HEAT LOSS & GAIN CALCULATIONS AND BALANCING REPORTS AS MAY BE REQUIRED BY AUTHORITIES HAVING JURISDICTION.

ALL CONSTRUCTION SHALL CONFORM TO THE REQUIREMENTS OF THE ONTARIO BUILDING CODE, ONTARIO REG. 403/97 AND ALL OTHER APPLICABLE CODES AND REQUIREMENTS OF THE MUNICIPALITY HAVING JURISDICTION.

IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO CONFORM WITH THESE SECTIONS OF THE CODE WHERE APPLICABLE AND BE FAMILIAR WITH PART 9 OF THE CODE.

STAIR DIMENSIONS (UNLESS OTHERWISE SHOWN ON DRAWINGS)

INTERIOR:

MAX RISE 200mm (7 7/8")
MIN. RUN 255mm (10")
MIN. TREAD 278mm (11")
NOSING 25mm (1")

UNIFORM RISE & RUN ON ANY FLIGHT OF STAIRS
MINIMUM HEADROOM 1950mm (6' 5")
GUARD HEIGHT AT LANDING 902mm (35 1/2")
AT STAIRS BETWEEN 902mm (35 1/2")
GUARD SPACING 100mm (4") NON CLIMBABLE
HANDRAILS INSTALLED BETWEEN 920mm (36")

EXTERIOR

MAX RISE 200mm (7 7/8")
MIN. RUN 255mm (10")
MIN. TREAD 278mm (11")
NOSING 25mm (1")

GUARD HEIGHT - 2' 0" ABOVE GRADE = 902mm (35 1/2")
GUARD HEIGHT - 5' 0" ABOVE GRADE = 1067mm (42")

CONCRETE STAIRS OVER 2 RISERS ARE REQUIRED TO BE SUPPORTED ON FOUNDATION
HANDRAIL REQ'D ON STAIRS OVER 3 RISERS INSTALLED BETWEEN 864mm (34") & 965mm (38")

CONCRETE

AS PER OBC SECTION 9.15 & 9.16

ALL CONCRETE FOOTINGS SHALL BEAR ON UNDISTURBED SOIL WITH A MIN SOIL BEARING PRESSURE OF 2000 PSF
CONCRETE FOR FOOTINGS & FOUNDATIONS TO HAVE MIN. COMPRESSIVE STRENGTH OF 20 MPa (2900 PSI) AT 28 DAYS

STEP FOOTINGS:

MAX RISE 600mm (23 5/8") FOR FIRM SOIL
MAX RISE 400mm (16") FOR SAND OR GRAVEL
MIN RUN BETWEEN RISERS 600mm (23 5/8")
ANGLE OF REPOSE IS 45°

CONCRETE FOUNDATION WALLS SHALL EXTEND TO 6" MIN. ABOVE FINISHED GRADE
FOOTING DESIGN MIN. 6" DEEP X 4" MIN. PROJECTION BEYOND FOUNDATION WALL AND MIN. OF 16" WIDE
CONCRETE FOUNDATIONS SHALL BE CONSTRUCTED TO SUFFICIENT DEPTH TO PROVIDE ADEQUATE FROST PROTECTION

WOOD FRAME CONSTRUCTION

AS PER OBC SECTION 9.23

ALL STRUCTURAL LUMBER TO BE SPF#2 CONSTRUCTION OR BETTER UNLESS NOTED OTHERWISE. LUMBER SIZES TO BE AS DETERMINED FROM SPAN TABLES OF THE BUILDING CODE.
SILL PLATES SHALL BE ANCHORED TO THE FOUNDATION WITH 1/2" ANCHOR BOLTS 7"-10" MAX ON SPACING WITH 4" MIN. EMBEDMENT INTO THE CONCRETE
JOIST END BEARING TO BE 1 1/2 MIN.
BEAMS & GIRDERS SHALL HAVE 3 1/2" MIN END BEARING
BEAMS & POINT LOADS SHALL BE SUPPORTED FULL WIDTH TO FOUNDATION
ALL NON LOAD BEARING PARTITIONS SHALL BE SUPPORTED BY DOUBLE FLOOR JOIST OR SOLID BLOCKING AT 3'11" O.C.
ALL WOOD IN CONTACT WITH CONCRETE SHALL BE PROTECTED FROM MOISTURE.

EXTERIOR DOORS & WINDOWS

AS PER OBC SECTION 9.7

DOORS TO DWELLING SHALL BE OPERABLE FROM THE INSIDE WITHOUT THE USE OF KEYS
ALL EXTERIOR DOORS IF WOOD SHALL CONFORM TO CAN/CSA-O132.2-M, STEEL INSULATED CONFORM TO CAN/CGSB-82.5M
WINDOW GLASS SIZE TO COMPLY WITH CURRENT OBC REQUIREMENTS
ALL DOORS & WINDOWS SHALL COMPLY WITH OBC SECTION 9.7.6- RESISTANCE TO FORCED ENTRY

ELECTRICAL

ALL LIGHTING AND ELECTRICAL TO COMPLY WITH OBC 9.34

GIRDER POST SUPPORTS				
BUILT-UP COLUMN SELECTION TABLE				
NAILED BUILT-UP 2 x 4				
S-P-F No.1 / No.2				
WALL HT.	2 PLY	3 PLY	4 PLY	5 PLY
8'	3,442 lbf	9,652 lbf	15,342 lbf	19,177 lbf
9'	2,645 lbf	8,390 lbf	12,291 lbf	15,363 lbf
10'	2,063 lbf	6,996 lbf	9,860 lbf	12,325 lbf
11'	1,628 lbf	5,911 lbf	7,946 lbf	9,939 lbf
12'	1,299 lbf	4,810 lbf	6,366 lbf	7,911 lbf
BUILT-UP COLUMN SELECTION TABLE				
NAILED BUILT-UP 2 x 6				
S-P-F No.1 / No.2				
WALL HT.	2 PLY	3 PLY	4 PLY	5 PLY
8'	5,279 lbf	14,932 lbf	25,382 lbf	33,951 lbf
9'	4,098 lbf	12,973 lbf	22,947 lbf	32,030 lbf
10'	3,207 lbf	10,868 lbf	20,895 lbf	30,000 lbf
17'	N/A	3,215 lbf	9,014 lbf	18,808 lbf
18'	N/A	3,013 lbf	7,957 lbf	13,870 lbf

NOTES:

- * PROVIDE SOLID BEARING BELOW ALL BEAMS AND GIRDER TRUSSES (i.e.. 2 PLY TRUSS REQUIRES MINIMUM 2 STUDS FOR BEARING).
- * ALL LUMBER IN THE DESIGNS ABOVE ARE SPF #2 OR BETTER
- * BUILT-UP COLUMNS ARE TO BE MAILED OR BOLTED AS PER ONTARIO BUILDING CODE AND CSA-086.1-94 REQUIREMENTS.
- * THESE CHARTS ARE MEANT TO BE USED AS A DESIGN GUIDELINE ONLY. ALL ITEMS NOT CONFORMING TO THE ONTARIO BUILDING CODE PART 9 ARE TO BE REVIEWED AND CERTIFIED BY A STRUCTURAL ENGINEER.

GENERAL NOTES:

I review and take responsibility for the design work on behalf of a firm registered under subsection 2.17.4. of the O.B.C. I am qualified, and the firm is registered, in the appropriate classes/categories

Tony Wall
BCIN : 22052

SQUARE FOOTAGE	
MAIN FLOOR	816 SQ.FT.
UPPER FLOOR	770 SQ.FT.

REV#	DATE	DESCRIPTION
4		
3		
2		
1	12/06	PERMIT ISSUE



PROPERTY OF VIEW-IT DESIGN

VIEW-IT DESIGN
RR# 1 PORT BURWELL
OFFICE: 519-851-1173
FAX: 519-874-4087

2232510 ONTARIO INC.
172 CEDAR DRIVE
TURKEY POINT, ONT

PROPOSED GARAGE PLANS

NOTES	
DRAWN BY: TONY WALL	SCALE: SEE DWG
BCIN: 29620 PO# 23251	
DATE: DECEMBER 2023	
SHEET NO. 9 OF 9	A9

PROPOSED LOT GRADING
AND DRAINAGE SITE PLAN

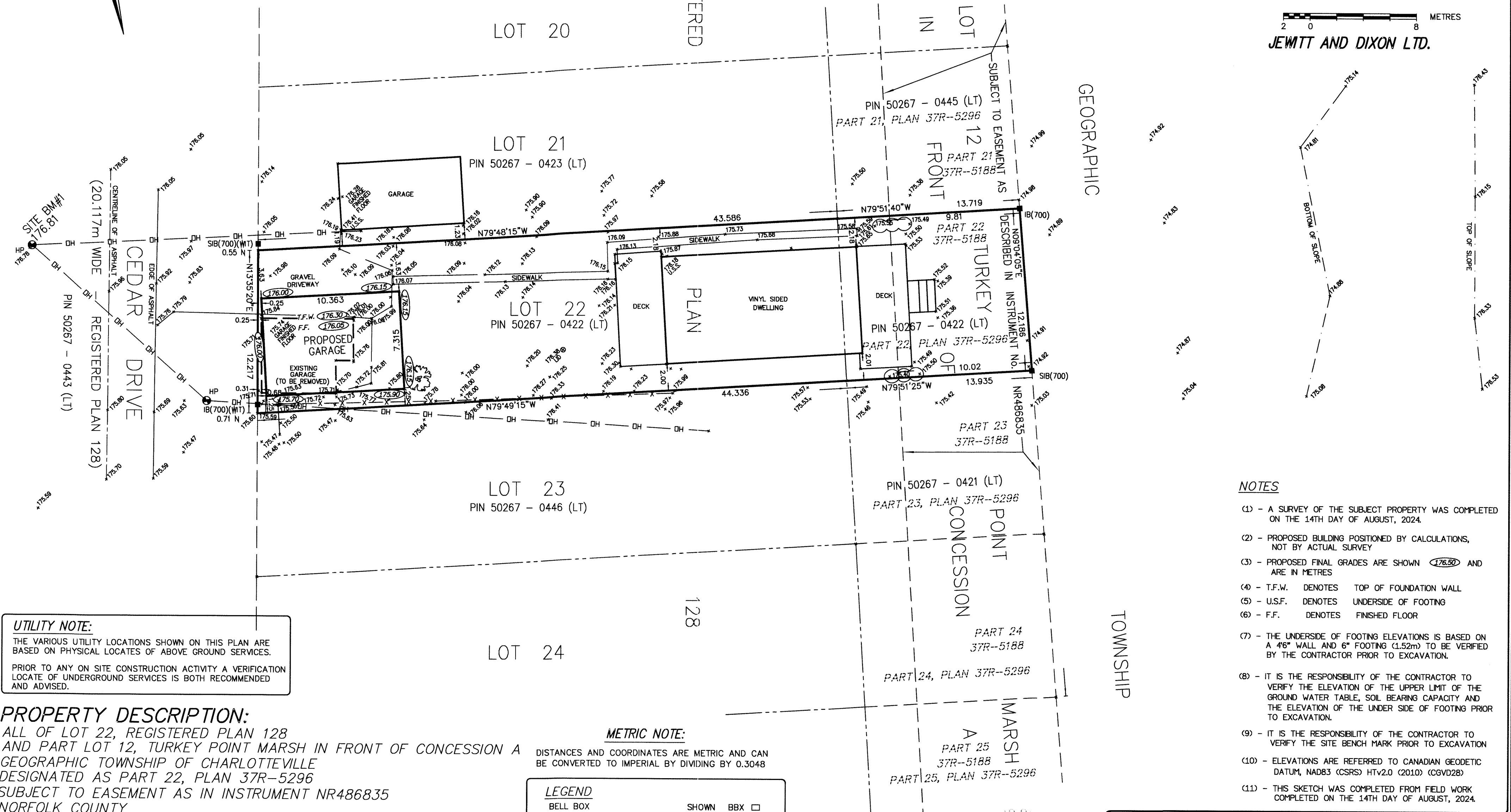
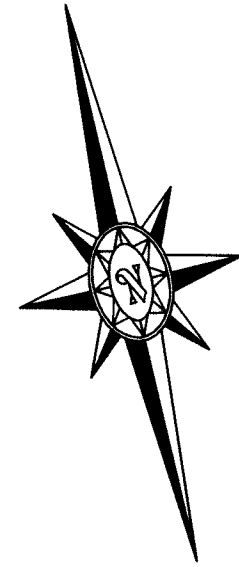
FOR:
CAREY MUDFORD
172 CEDAR DRIVE
TURKEY POINT

PIN 50267-0422

SCALE 1 : 200

2 0 8 METRES
JEWITT AND DIXON LTD.

SITE B.M.#1
SPIKE IN FACE OF
WOOD HYDRO POLE
ELEV = 176.81
(GEODETIC)



NOTES

- (1) - A SURVEY OF THE SUBJECT PROPERTY WAS COMPLETED ON THE 14TH DAY OF AUGUST, 2024.
- (2) - PROPOSED BUILDING POSITIONED BY CALCULATIONS, NOT BY ACTUAL SURVEY
- (3) - PROPOSED FINAL GRADES ARE SHOWN (176.50) AND ARE IN METRES
- (4) - T.F.W. DENOTES TOP OF FOUNDATION WALL
- (5) - U.S.F. DENOTES UNDERSIDE OF FOOTING
- (6) - F.F. DENOTES FINISHED FLOOR
- (7) - THE UNDERSIDE OF FOOTING ELEVATIONS IS BASED ON A 4" WALL AND 6" FOOTING (1.52m) TO BE VERIFIED BY THE CONTRACTOR PRIOR TO EXCAVATION.
- (8) - IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE ELEVATION OF THE UPPER LIMIT OF THE GROUND WATER TABLE, SOIL BEARING CAPACITY AND THE ELEVATION OF THE UNDER SIDE OF FOOTING PRIOR TO EXCAVATION.
- (9) - IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE SITE BENCH MARK PRIOR TO EXCAVATION
- (10) - ELEVATIONS ARE REFERRED TO CANADIAN GEODETIC DATUM, NAD83 (CSRS) HTv2.0 (2010) (CGVD28)
- (11) - THIS SKETCH WAS COMPLETED FROM FIELD WORK COMPLETED ON THE 14TH DAY OF AUGUST, 2024.

UTILITY NOTE:
THE VARIOUS UTILITY LOCATIONS SHOWN ON THIS PLAN ARE BASED ON PHYSICAL LOCATES OF ABOVE GROUND SERVICES.
PRIOR TO ANY ON SITE CONSTRUCTION ACTIVITY A VERIFICATION LOCATE OF UNDERGROUND SERVICES IS BOTH RECOMMENDED AND ADVISED.

PROPERTY DESCRIPTION:
ALL OF LOT 22, REGISTERED PLAN 128 AND PART LOT 12, TURKEY POINT MARSH IN FRONT OF CONCESSION A GEOGRAPHIC TOWNSHIP OF CHARLOTTEVILLE DESIGNATED AS PART 22, PLAN 37R-5296 SUBJECT TO EASEMENT AS IN INSTRUMENT NR486835 NORFOLK COUNTY

CAUTION
THIS IS NOT A PLAN OF SURVEY OR SURVEYOR'S REPORT AND SHALL NOT BE USED FOR TRANSACTION OR FINANCING PURPOSES

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METRIC NOTE:
DISTANCES AND COORDINATES ARE METRIC AND CAN BE CONVERTED TO IMPERIAL BY DIVIDING BY 0.3048

LEGEND

BELL BOX	SHOWN	BBX	□
BENCH MARK	SHOWN	BM	○
CATCH BASIN	SHOWN	CB	■
TOP OF FOUNDATION	SHOWN	TOF	—
OVERHEAD HYDRO LINE	SHOWN	O/H	—
WATER VALVE	SHOWN	WV	⚠
HYDRO POLE	SHOWN	HP	⚡
GAS METER	SHOWN	GM	⚙
MANHOLE	SHOWN	MH	⊗

SEPTEMBER 5, 2024
KIM HUBBARD, O.L.S.
THIS COPY IS NOT VALID UNLESS EMBOSSED WITH THE SURVEYOR'S SEAL.

JEWITT AND DIXON LTD.
ONTARIO LAND SURVEYORS
650 IRELAND ROAD
SIMCOE, ONTARIO, N3Y 4K2
PHONE: (519) 426-0842
E-mail: info@jewittdixon.com

F.W.	- J.M.R.
CALC.	- J.M.R.
PLAN	- J.L.M.
CHECK	- K.H.
CLIENT	- MUDFORD
24-4112-GP	



ZONING DEFICIENCY FORM

ACCESSORY STRUCTURE - RESORT RESIDENTIAL ZONE

PROPERTY INFORMATION

PLANNING APPLICATION NUMBER: ANPL2026033

Applicant: DAVID MCPHERSON
Civic Address: 172 CEDAR DRIVE
Legal Description: CHR PLAN 128 LOT 23 CON A PT LOT 12 IN FRONT RP 37R5296 PART 23 IRREG 0.18AC 40.08FR I
Roll Number: 3310493110020000000
Current zoning: RR - RESORT RESIDENTIAL
Proposed building/use: Accessory storage garage
Existing uses on property: Vacation Home

ZONING PROVISIONS

	Proposed	Required	Deficiency	Zoning By-Law Reference
Building Height	8.2 m	7 m	1.2 m	3.2.1 a
Occupy any part of the front yard	requires relief to be permitted in front yard of property			3.2.1 b
Occupy any part of the required exterior side yard	N/A	6 m		3.2.1 c
Interior Side Yard Setback(Left)	3.63 m	1.2 m	m	3.2.1 d
Interior Side Yard Setback(Right)	1.25 m	1.2 m	m	3.2.1 d
Rear Yard Setback	>1.2m m	1.2 m	m	3.2.1 e
Useable Floor Area	151.6 m	100 m ²	51.6 m	3.2.1 g
Lot Coverage	10.74 %	10 %	0.74 %	3.2.1 g & 5.8.2 h
Other:				
Other:				

Comments: Relief is required to permit the structure in the front yard with the setback proposed by the applicant. There is no provision for required front yard setback for accessory structures in the RR zone as the use is not permitted in this location.

The "proposed" information and any supporting documentation have been submitted by the owner/applicant. The information provided above pertains solely to zoning requirements and does not exempt the owner from obtaining any required building permits or complying with applicable laws and regulations that are administered by other agencies. The owner acknowledges and accepts responsibility for the accuracy of the proposed information included in this form.

Signature: _____
 Owner / Applicant

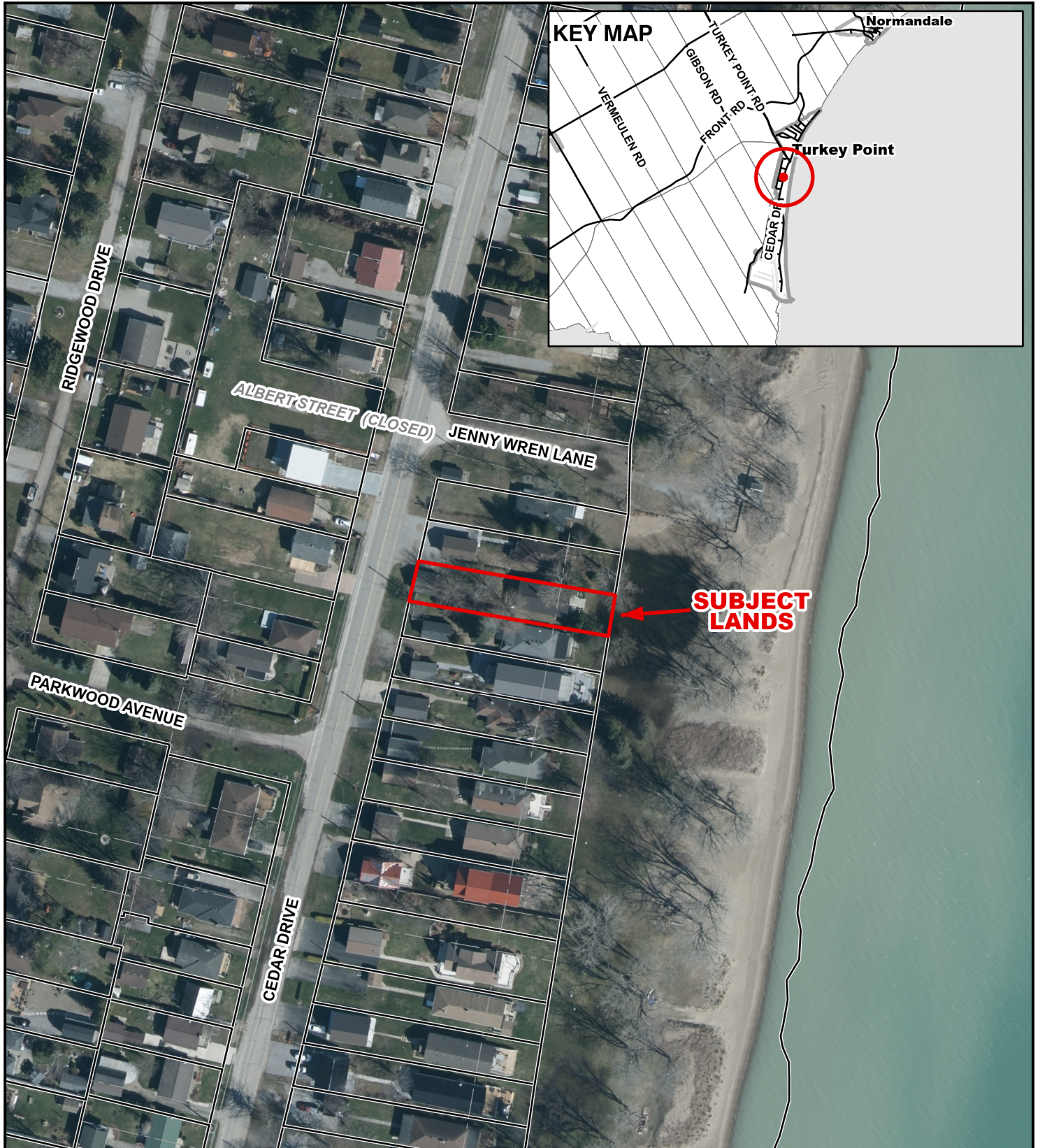


 Zoning Administrator


 Date

2/26/2026

 Date

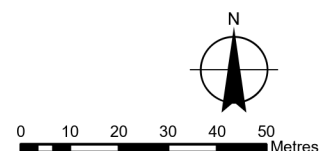


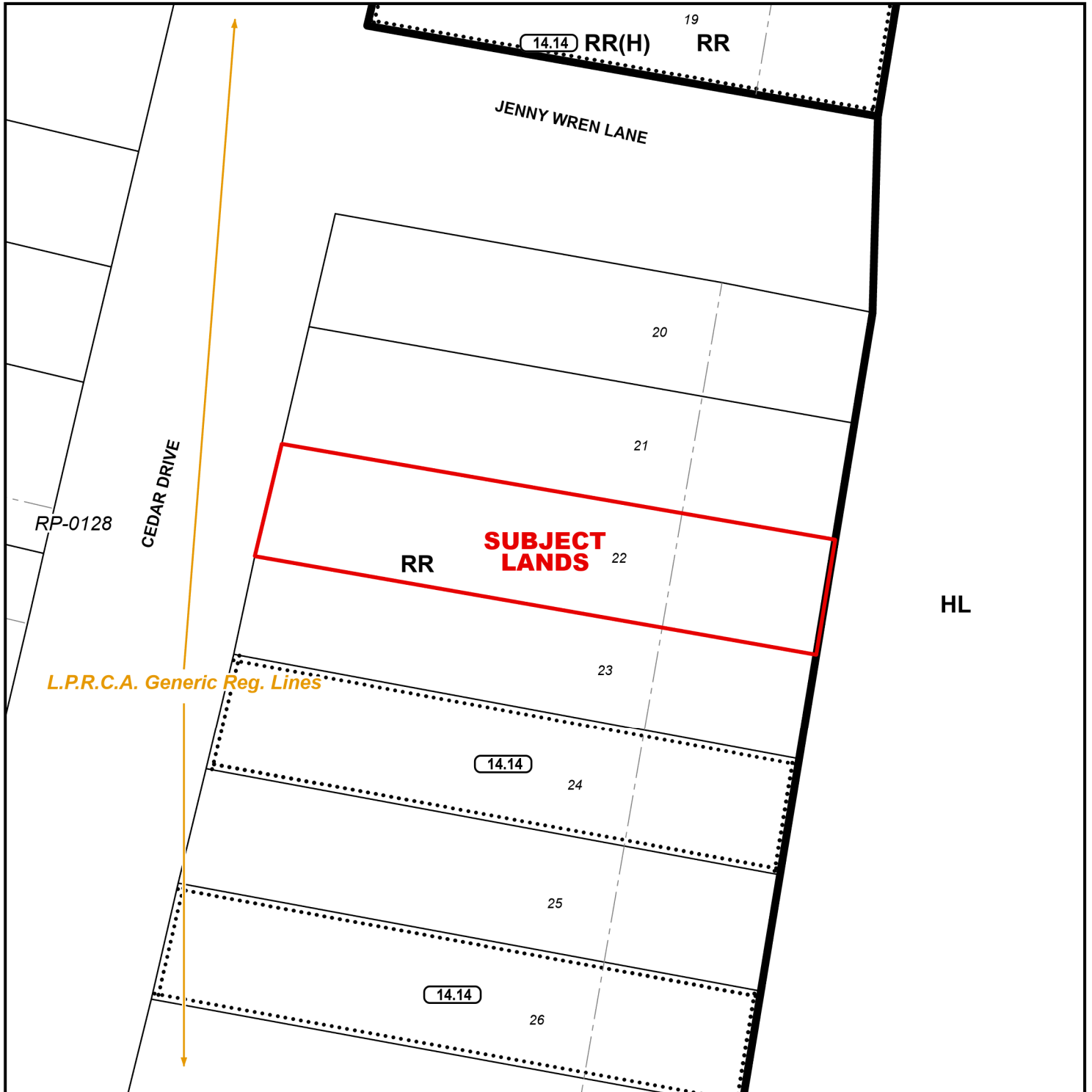
Legend

 Subject Lands

3/4/2026

2020 Air Photo





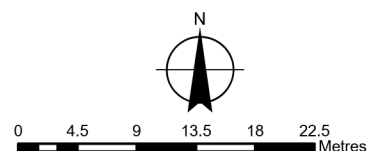
LEGEND

- Subject Lands
- LPRCA Generic RegLines

ZONING BY-LAW 1-Z-2014

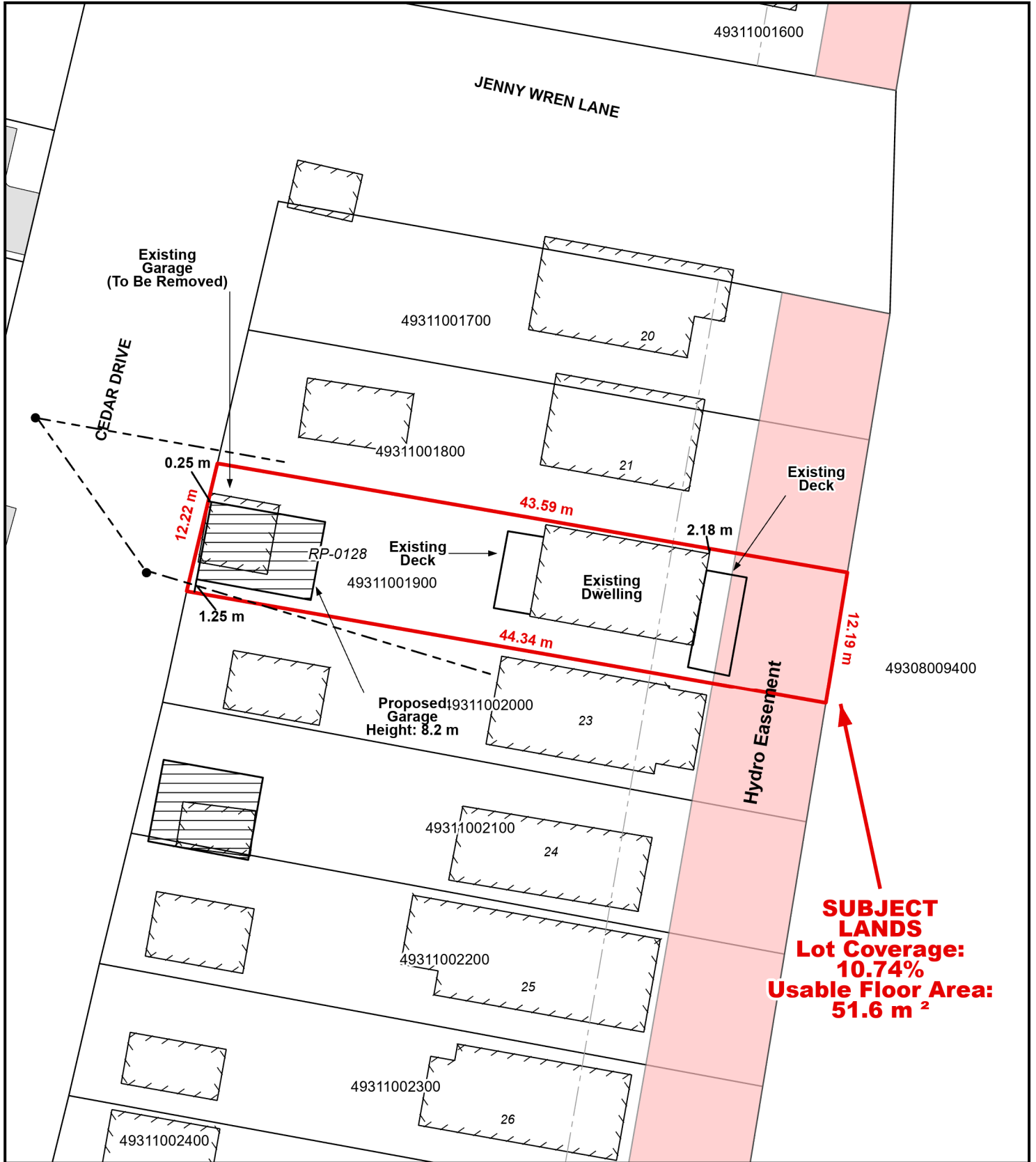
3/4/2026

- (H) - Holding
- HL - Hazard Land Zone
- RR - Resort Residential Zone




CONCEPTUAL PLAN

Geographic Township of CHARLOTTEVILLE



Legend

 Subject Lands

3/4/2026

