

For Office Use Only:

| | | | |
|--------------------------|-------|-----------------------------|-------|
| File Number | _____ | Application Fee | _____ |
| Related File Number | _____ | Conservation Authority Fee | _____ |
| Pre-consultation Meeting | _____ | Well & Septic Info Provided | _____ |
| Application Submitted | _____ | Planner | _____ |
| Complete Application | _____ | Public Notice Sign | _____ |

Check the type of planning application(s) you are submitting.

- Consent/Severance/Boundary Adjustment
- Surplus Farm Dwelling Severance and Zoning By-law Amendment
- Minor Variance
- Easement/Right-of-Way

Property Assessment Roll Number: 3310-542-010-10200

A. Applicant Information

Name of Owner Johan and Lisa Friesen

It is the responsibility of the owner or applicant to notify the planner of any changes in ownership within 30 days of such a change.

Address 347 Glen Meyer Road

Town and Postal Code Langton, ON N0E 1G0

Phone Number 519-550-6782

Cell Number 519-550-6782

Email yellowjackets@outlook.com

Name of Applicant Agent

Address _____

Town and Postal Code _____

Phone Number _____

Cell Number _____

Email _____



Name of Agent David McPherson

Address 8 Culver Lane

Town and Postal Code Simcoe, ON N3Y 5C8

Phone Number _____

Cell Number 519-427-6483

Email david-a-mcpherson@hotmail.com

Please specify to whom all communications should be sent. Unless otherwise directed, all correspondence and notices in respect of this application will be forwarded to the owner and agent noted above.

Owner Agent Applicant

Names and addresses of any holder of any mortgages, charges or other encumbrances on the subject lands:

n/a

B. Location, Legal Description and Property Information

1. Legal Description (include Geographic Township, Concession Number, Lot Number, Block Number and Urban Area or Hamlet):

Lot 1 Concession 13 North Walsingham

Municipal Civic Address: 8 Norfolk County Road 21 Glen Meyer

Present Official Plan Designation(s): Hamlet

Present Zoning: CHA

2. Is there a special provision or site specific zone on the subject lands?

Yes No If yes, please specify:

3. Present use of the subject lands:

Commercial Grocery Store

4. Please describe **all existing** buildings or structures on the subject lands and whether they are to be retained, demolished or removed. If retaining the buildings or structures, please describe the type of buildings or structures, and illustrate the setback, in metric units, from front, rear and side lot lines, ground floor area, gross floor area, lot coverage, number of storeys, width, length, and height on your attached sketch which must be included with your application:

Existing building is a single storey grocery store of 218.32 sqm. and is to retained. Setbacks are shown on attached site plan.

5. If an addition to an existing building is being proposed, please explain what it will be used for (for example a bedroom, kitchen, or bathroom). If new fixtures are proposed, please describe.

Proposed is an unconditioned addition of 148.65 sqm. for storage of drygoods.

6. Please describe **all proposed** buildings or structures/additions on the subject lands. Describe the type of buildings or structures/additions, and illustrate the setback, in metric units, from front, rear and side lot lines, ground floor area, gross floor area, lot coverage, number of storeys, width, length, and height on your attached sketch which must be included with your application:

The addition will be on the back of the existing store and used as a drygoods warehouse in support of the existing grocery store. Shown on attached site plan.

7. Are any existing buildings on the subject lands designated under the *Ontario Heritage Act* as being architecturally and/or historically significant? Yes No

If yes, identify and provide details of the building:

8. If known, the length of time the existing uses have continued on the subject lands:

Property was converted to grocery store in 2014, previous to that it was known as Open Door Fellowship Church.

9. Existing use of abutting properties:

commercial and residential

10. Are there any easements or restrictive covenants affecting the subject lands?

Yes No If yes, describe the easement or restrictive covenant and its effect:

C. Purpose of Development Application

Note: Please complete all that apply. **Failure to complete this section will result in an incomplete application.**

1. Site Information (Please refer to Zoning By-law to confirm permitted dimensions)

| | Existing | Permitted | Provision | Proposed | Deficiency |
|---------------------------------|-----------------------|-----------|-----------|-----------|------------|
| Lot frontage | 30.17m | 30m | | 30.17m | |
| Lot depth | 64m | | | 64m | |
| Lot width | 30.17m | | | 30.17m | |
| Lot area | 1,930sqm | 1,860sqm | | 1,930sqm | |
| Lot coverage | | | | | |
| Front yard | 30.5m | 6m | | 48.5m | |
| Rear yard | 15m | 9m | | 1.52m | 7.48m |
| Height | 4.5m | 11m | | 4.5m | |
| Left Interior side yard | | | | | |
| Right Interior side yard | 8.5m | 3m | | 8.5m | |
| Exterior side yard (corner lot) | 9m | 6m | | 9m | |
| Parking Spaces (number) | | | | | |
| Aisle width | | | | | |
| Stall size | | | | | |
| Loading Spaces | | | | | |
| Other | max usable floor area | 280 sqm | 6.6.4 | 366.97sqm | 86.97sqm |

2. Please explain why it is not possible to comply with the provision(s) of the Zoning By-law:

The existing store plus the warehouse addition exceed the maximum permitted size of a country store.

3. **Consent/Severance/Boundary Adjustment:** Description of land intended to be severed in metric units:

Frontage: n/a _____

Depth: _____

Width: _____

Lot Area: _____

Present Use: _____

Proposed Use: _____

Proposed final lot size (if boundary adjustment): _____

If a boundary adjustment, identify the assessment roll number and property owner of the lands to which the parcel will be added: _____

Description of land intended to be retained in metric units:

Frontage: _____

Depth: _____

Width: _____

Lot Area: _____

Present Use: _____

Proposed Use: _____

Buildings on retained land: _____

4. **Easement/Right-of-Way:** Description of proposed right-of-way/easement in metric units:

Frontage: n/a _____

Depth: _____

Width: _____
Area: _____
Proposed Use: _____

5. Surplus Farm Dwelling Severances Only: List all properties in Norfolk County, which are owned and farmed by the applicant and involved in the farm operation

Owners Name: n/a
Roll Number: _____
Total Acreage: _____
Workable Acreage: _____
Existing Farm Type: (for example: corn, orchard, livestock) _____
Dwelling Present?: Yes No If yes, year dwelling built _____
Date of Land Purchase: _____

Owners Name: _____
Roll Number: _____
Total Acreage: _____
Workable Acreage: _____
Existing Farm Type: (for example: corn, orchard, livestock) _____
Dwelling Present?: Yes No If yes, year dwelling built _____
Date of Land Purchase: _____

Owners Name: _____
Roll Number: _____
Total Acreage: _____
Workable Acreage: _____
Existing Farm Type: (for example: corn, orchard, livestock) _____
Dwelling Present?: Yes No If yes, year dwelling built _____
Date of Land Purchase: _____

Owners Name: _____
Roll Number: _____
Total Acreage: _____
Workable Acreage: _____
Existing Farm Type: (for example: corn, orchard, livestock) _____
Dwelling Present?: Yes No If yes, year dwelling built _____
Date of Land Purchase: _____

Owners Name: _____
Roll Number: _____
Total Acreage: _____
Workable Acreage: _____
Existing Farm Type: (for example: corn, orchard, livestock) _____
Dwelling Present?: Yes No If yes, year dwelling built _____
Date of Land Purchase: _____

Note: If additional space is needed please attach a separate sheet.

D. All Applications: Previous Use of the Property

1. Has there been an industrial or commercial use on the subject lands or adjacent lands? Yes No Unknown

If yes, specify the uses (for example: gas station, or petroleum storage):

Previous to the grocery store, the existing building was a church.

2. Is there reason to believe the subject lands may have been contaminated by former uses on the site or adjacent sites? Yes No Unknown

3. Provide the information you used to determine the answers to the above questions:

Information provided by owner.

4. If you answered yes to any of the above questions in Section D, a previous use inventory showing all known former uses of the subject lands, or if appropriate, the adjacent lands, is needed. Is the previous use inventory attached? Yes No

E. All Applications: Provincial Policy

1. Is the requested amendment consistent with the provincial policy statements issued under subsection 3(1) of the *Planning Act, R.S.O. 1990, c. P. 13*? Yes No

If no, please explain:

2. It is owner's responsibility to be aware of and comply with all relevant federal or provincial legislation, municipal by-laws or other agency approvals, including the Endangered Species Act, 2007. Have the subject lands been screened to ensure that development or site alteration will not have any impact on the habitat for endangered or threatened species further to the provincial policy statement subsection 2.1.7? Yes No

If no, please explain:

3. Have the subject lands been screened to ensure that development or site alteration will not have any impact on source water protection? Yes No

If no, please explain:

Property is not within a WHPA

Note: If in an area of source water Wellhead Protection Area (WHPA) A, B or C please attach relevant information and approved mitigation measures from the Risk Manager Official.

4. All Applications: Are any of the following uses or features on the subject lands or within 500 metres of the subject lands, unless otherwise specified? Please check boxes, if applicable.

Livestock facility or stockyard (submit MDS Calculation with application)

On the subject lands or within 500 meters – distance _____

Wooded area

On the subject lands or within 500 meters – distance _____

Municipal Landfill

On the subject lands or within 500 meters – distance _____

Sewage treatment plant or waste stabilization plant

On the subject lands or within 500 meters – distance _____

Provincially significant wetland (class 1, 2 or 3) or other environmental feature

On the subject lands or within 500 meters – distance _____

Floodplain

On the subject lands or within 500 meters – distance _____

Rehabilitated mine site

On the subject lands or within 500 meters – distance _____

Non-operating mine site within one kilometre

On the subject lands or within 500 meters – distance _____

Active mine site within one kilometre

On the subject lands or within 500 meters – distance _____

Industrial or commercial use (specify the use(s))

On the subject lands or within 500 meters – distance 30m

Active railway line

On the subject lands or within 500 meters – distance _____

Seasonal wetness of lands

On the subject lands or within 500 meters – distance _____

Erosion

On the subject lands or within 500 meters – distance _____

Abandoned gas wells

On the subject lands or within 500 meters – distance _____

F. All Applications: Servicing and Access

1. Indicate what services are available or proposed:

Water Supply

- Municipal piped water
- Individual wells
- Communal wells
- Other (describe below)

Sewage Treatment

- Municipal sewers
- Septic tank and tile bed in good working order
- Communal system
- Other (describe below)

Storm Drainage

- Storm sewers
- Open ditches
- Other (describe below)

Existing catch basins connect to municipal Cultus Drain B and Cultus Drain D

2. Existing or proposed access to subject lands:

- Municipal road
- Unopened road
- Provincial highway
- Other (describe below)

Name of road/street:

Norfolk County Roads 21 and 23

G. All Applications: Other Information

1. Does the application involve a local business? Yes No

If yes, how many people are employed on the subject lands?

CanaMex Groceries employes 2 people in addition to the 2 owners.

2. Is there any other information that you think may be useful in the review of this application? If so, explain below or attach on a separate page.

Premise and Justification report is attached

H. Supporting Material to be submitted by Applicant

In order for your application to be considered complete, folded hard copies (number of paper copies as directed by the planner) and an **electronic version (PDF) of the site plan drawings, additional plans, studies and reports** will be required, including but not limited to the following details:

1. Concept/Layout Plan
2. All measurements in metric
3. Existing and proposed easements and right of ways
4. Parking space totals – required and proposed
5. All dimensions of the subject lands
6. Dimensions and setbacks of all buildings and structures
7. Location and setbacks of septic system and well from all existing and proposed lot lines, and all existing and proposed structures
8. Names of adjacent streets
9. Natural features, watercourses and trees

In addition, the following additional plans, studies and reports, including but not limited to, **may** also be required as part of the complete application submission:

- On-Site Sewage Disposal System Evaluation Form (to verify location and condition)
- Environmental Impact Study
- Geotechnical Study / Hydrogeological Review
- Minimum Distance Separation Schedule
- Record of Site Condition

Your development approval might also be dependent on Ministry of Environment Conservation and Parks, Ministry of Transportation or other relevant federal or provincial legislation, municipal by-laws or other agency approvals.

All final plans must include the owner's signature as well as the engineer's signature and seal.

I. Transfers, Easements and Postponement of Interest

The owner acknowledges and agrees that if required it is their solicitor's responsibility on behalf of the owner for the registration of all transfer(s) of land to the County, and/or transfer(s) of easement in favour of the County and/or utilities. Also, the owner further acknowledges and agrees that it is their solicitor's responsibility on behalf of the owner for the registration of postponements of any charges in favour of the County.

Permission to Enter Subject Lands

Permission is hereby granted to Norfolk County officers, employees or agents, to enter the premises subject to this application for the purposes of making inspections associated with this application, during normal and reasonable working hours.

Freedom of Information

For the purposes of the *Municipal Freedom of Information and Protection of Privacy Act*, I authorize and consent to the use by or the disclosure to any person or public body any information that is collected under the authority of the *Planning Act, R.S.O. 1990, c. P. 13* for the purposes of processing this application.

Lisa Friesen

Feb-11-2026

Owner/Applicant/Agent Signature

Date

J. Owner's Authorization

If the applicant/agent is not the registered owner of the lands that is the subject of this application, the owner must complete the authorization set out below.

I/We LISA & JOHAN FRIESEN am/are the registered owner(s) of the lands that is the subject of this application.

I/We authorize David McPherson to make this application on my/our behalf and to provide any of my/our personal information necessary for the processing of this application. Moreover, this shall be your good and sufficient authorization for so doing

Johan Friesen

Feb-11-2026

Owner

Date

Lisa Friesen Lisa Friesen

Feb-11-2026

Owner

Date

***Note:** If property is owned by an Ontario Ltd. Corporation, Articles of Incorporation are required to be attached to the application.



K. Declaration

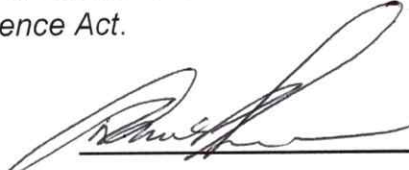
I, David McPherson of Simcoe

solemnly declare that:

all of the above statements and the statements contained in all of the exhibits transmitted herewith are true and I make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath and by virtue of *The Canada Evidence Act*.

Declared before me at:

Norfolk County



~~Owner/Applicant~~ Agent Signature

In Simcoe

This 12 day of February

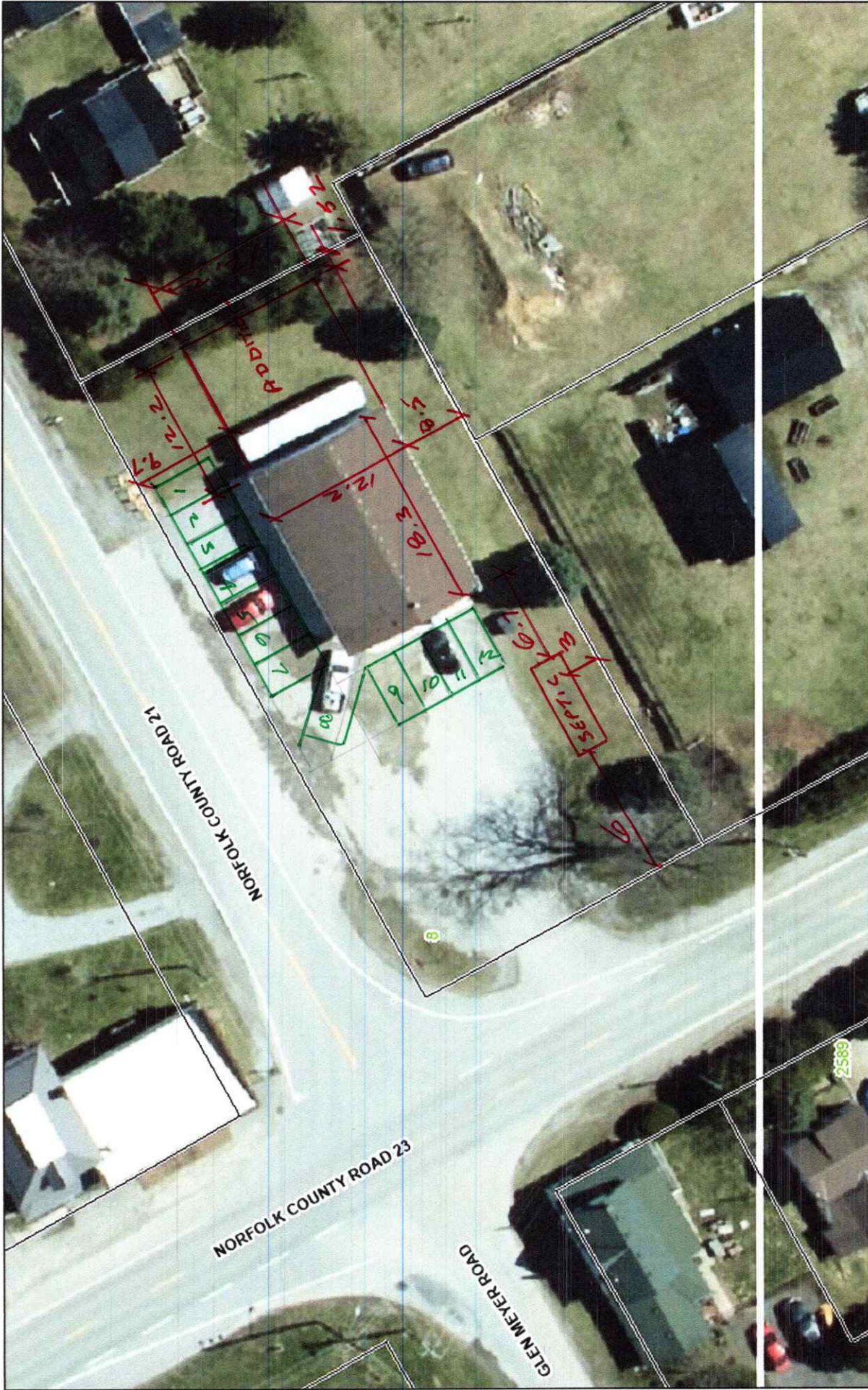
A.D., 2026



Fabian Fidalgo Serra, a
Commissioner, etc., Province of Ontario
for the Corporation of Norfolk County
Expires October 3, 2023

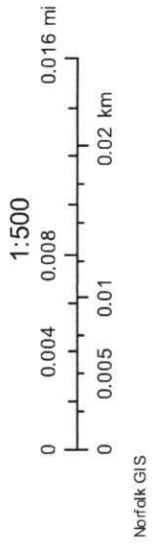
A Commissioner, etc.

MAP NORFOLK - Community Web Map



2/16/2026, 5:24:40 PM

- Land Parcels
- Civic Address
- Plan Lines
- Reg Plan Lot Numbers
- Road Labels
- DraftPlan



**Premise and Justification of
Minor Variance Application
for 8 Norfolk County Road 21**

This application seeks relief of 7.48 m from the required 9 m rear yard setback, to permit a rear yard setback of 1.52 m. The application further seeks relief of 86.97 sq. m from the maximum permitted usable floor area of a country store, to permit a country store to have a usable floor area of 366.97 sq. m.

Situate on this property, at the intersection of Norfolk County Roads 21 and 23, in Glen Meyer, is a “country store” known as CanaMax Groceries. This rural country store is a permitted use on the property, according to article 6.6.1(p) of Norfolk County Zoning By-law 1-Z-2014.

CanaMax Groceries was established on the site of the former Open Door Fellowship Church in 2014 and serves the grocery needs in the immediate hamlet of Glen Meyer, as well as the larger Mexican Mennonite community populating the west end of Norfolk County. In a day when rural convenience stores are in decline and closing, the fact that CanaMax proposes an expansion of the store is laudable.

CanaMax proposes an addition of 148 sq. m on the rear of the existing 218 sq. m store. The addition is to be unheated storage of dry goods for the store, so the owner can take advantage of bulk pricing. This application is required because section 6.6.4 of the Zoning By-law only permits country stores to enjoy a maximum usable floor area of 280 sq. m. The addition CanaMax proposes puts the store over the maximum permitted usable floor area by 87 sq. m.

Norfolk County Road 23 Façade:



Norfolk County Road 21 Façade:



Canamax Groceries has 2 full-time employees in addition to the 2 working owners. The owners' children are also employed part-time in the store.

Provincial Planning Statement 2024

The Vision Statement is supported with “growth and development will be prioritized within urban and rural settlements that will, in turn, support and protect the long-term viability of rural areas.”

2.5 Rural Areas in Municipalities

2.5.1 h) Healthy, integrated, and viable rural areas should be supported by providing opportunities for economic activities.

2.8.1. 1(b) Planning authorities shall promote economic development and competitiveness by providing opportunities for a diversified economic base and take into account the needs of existing businesses.

Norfolk County Official Plan

The Official Plan supports the expansion of CanaMax through policy to,

2.2.1.1 “encourage investment in employment opportunities, recognizing community needs” and,

2.2.1.2 d) “to support business employment and small business development”. Further,

7.5.1 d) “small scale commercial uses are permitted within the Hamlet Designation”.

Attached please find Architectural Plans of the proposed addition, along with a Site Plan showing the proposed addition on the property.

Under Section 45(1) of the Planning Act there are four tests a minor variance must meet. In order to be considered the application must meet all four tests:

- Does the application conform to the general intent and purpose of the Official Plan.
- Does the application conform to the general intent and purpose of the Zoning Bylaw.
- Is the application desirable for the appropriate development of the lands in question.
- Is the application minor.

Norfolk County Official Plan

The subject property is designated as Hamlet in the Norfolk County Official Plan. The country store is a permitted commercial use within this designation. This application enables the continued use and better use of the existing country store and therefore conforms to the general intent and purpose of the Official Plan.

Norfolk County Zoning By-law

Zoning By-law 1-Z-2014 zones the property Hamlet Commercial. Article 6.6.1(p) permits a “country store” within the CHA Zone.

The general intent and purpose of the Norfolk County Zoning By-law is to maintain the character of the neighborhood. The intersection of Norfolk County Roads 21 and 23, in Glen Meyer, hosts existing commercial uses. The proposed storage addition to the rear of the CanaMax building is complementary with the existing streetscape. The requested variances will maintain the general intent and purpose of the Zoning By-law and will promote the continuation of the CanaMax business.

Is the Variance Desirable and Appropriate

The improved viability of the existing store, by increasing its dry goods storage, is an improvement of the property and business. The proposed addition is compatible with and fits within the existing neighbourhood. The proposed addition to CanaMax is both desirable and appropriate and supports an existing rural hamlet business.

Is the Variance Minor in Nature

The application is minor in nature because it proposes only a modest increase in usable floor area and a minor reduction in rear yard setback that, from the County Road 21 streetside, appears as a “normal” side yard setback.

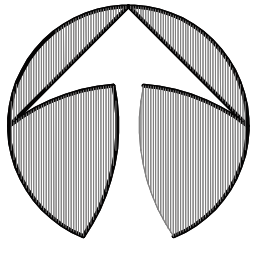
Conclusion

This proposed development meets the overall intent and purpose of the Planning Act, the 2024 Provincial Planning Statement, the Norfolk County Official Plan, and the Norfolk County Zoning By-law. The application is minor and desirable for the appropriate development of the lands.

David McPherson

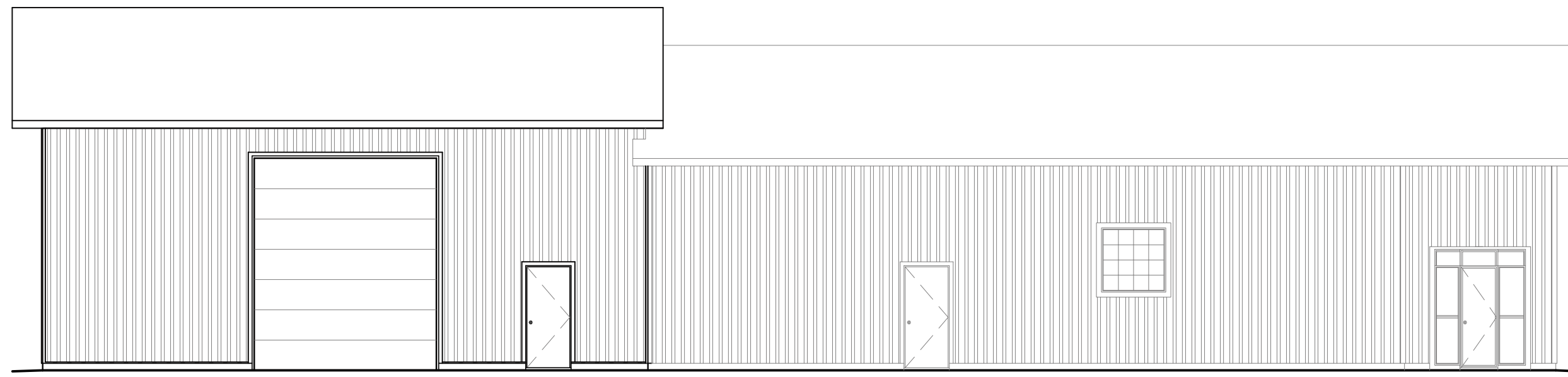
CANAMEX GROCERIES UNHEATED STORAGE ADDITION

- S0 - COVER SHEET
- S1 - GENERAL NOTES & SECTIONS
- S2 - DETAILS
- S3 - FOUNDATION PLAN
- S4 - FRAMING PLAN
- S5 - ELEVATIONS

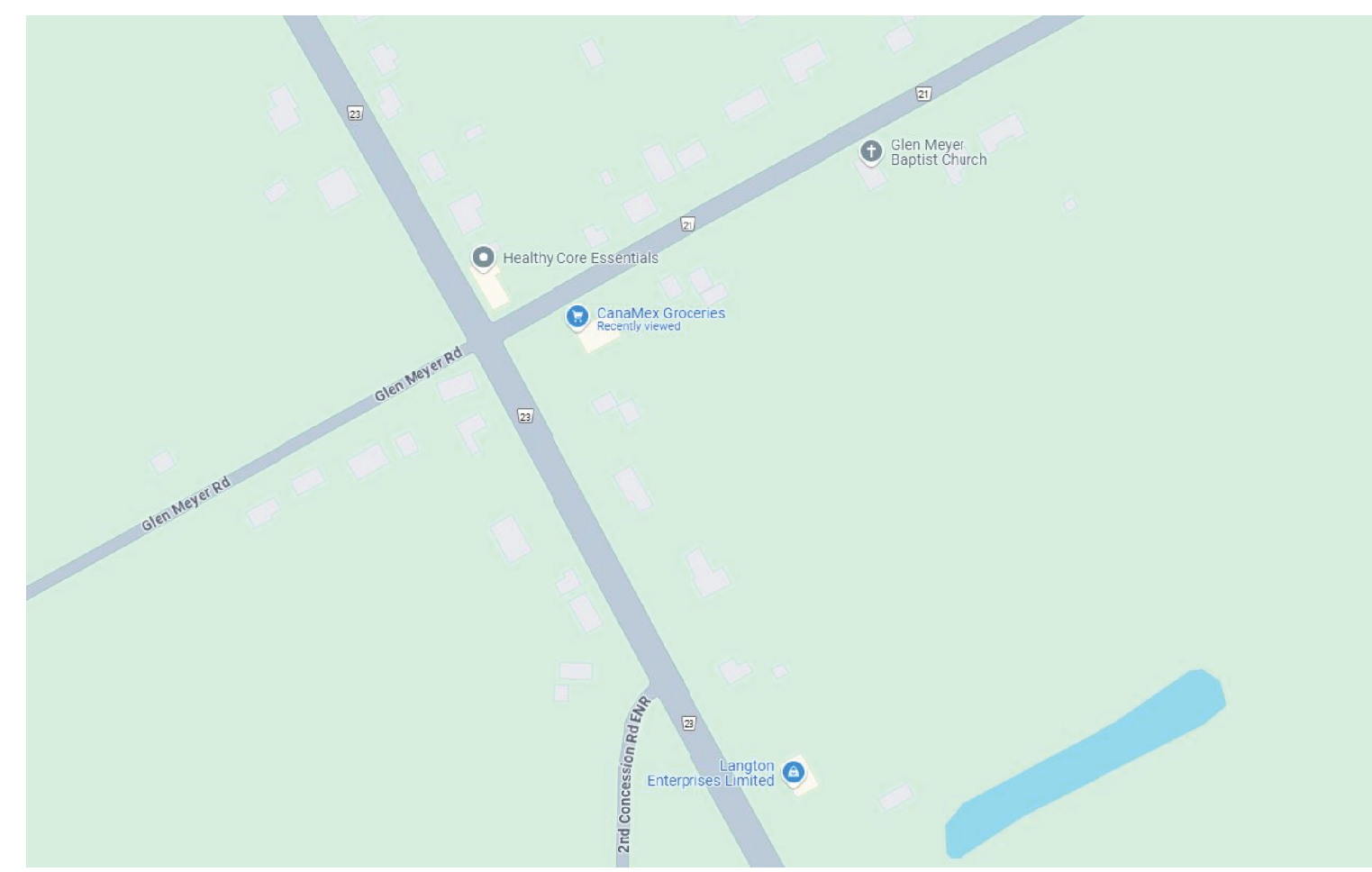


CONSTRUCTION NORTH

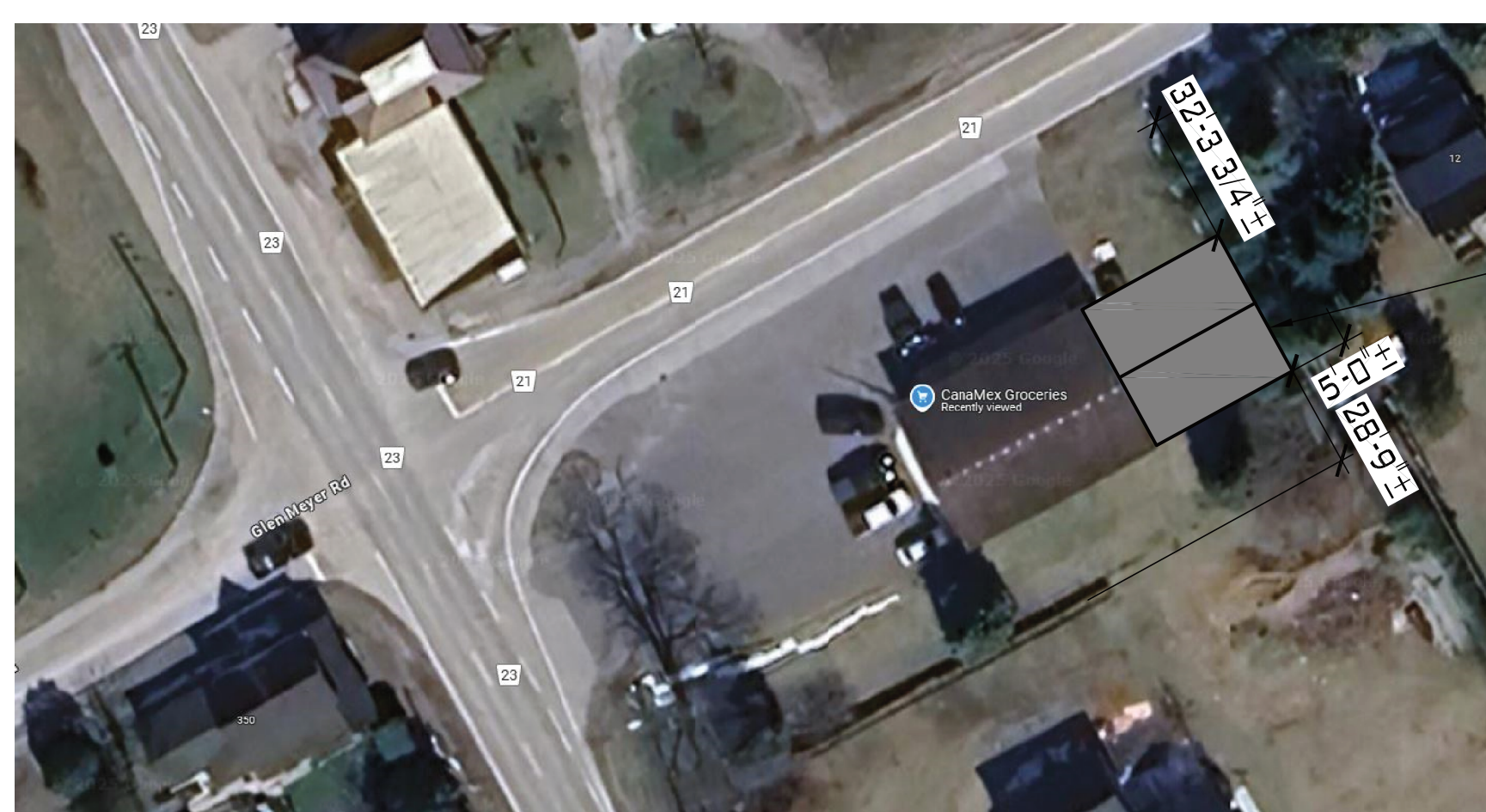
| No. | REVISION: | By: | DATE: |
|-----|----------------------------------|-----|--------------|
| 1 | ISSUED FOR PRELIMINARY REVIEW | TS | MAY 28, 2025 |
| 2 | ISSUED FOR PERMIT & CONSTRUCTION | TS | MAY 29, 2025 |
| 3 | ISSUED FOR PERMIT & CONSTRUCTION | TS | JUNE 9, 2025 |



ELEVATION:



KEY MAP 1:



KEY MAP 2 OR SCHEMATIC SITE PLAN:

2024 ONTARIO BUILDING CODE MATRIX - PARTS 3 & 9

| PROJECT DESCRIPTION: | <input type="checkbox"/> NEW CONSTRUCTION <input checked="" type="checkbox"/> ADDITION <input type="checkbox"/> RENOVATION | PART 3 (DIVISION) | PART 9 (DIVISION) |
|--|--|---|---|
| MAJOR OCCUPANCY(S): | E - MERCANTILE OCCUPANCY | 3.1.2.1.(1)(B) | 9.10.2.(B) |
| SUPERIMPOSED MAJOR OCCUPANCY(S): | <input type="checkbox"/> YES <input type="checkbox"/> NO <input checked="" type="checkbox"/> N/A | 3.2.2.7. (B) | 9.10.2.(B) |
| BUILDING AREA (M ²): | EXISTING: 218.32± NEW: 148.65 TOTAL: 366.97± | 1.4.1.2.(A) | 1.4.1.2.(A) |
| GROSS AREA (M ²): | EXISTING: 218.32± NEW: 148.65 TOTAL: 366.97± | 1.4.1.2.(A) | 1.4.1.2.(A) |
| MEZZANINE AREA (M ²): | EXISTING: 0.00 NEW: 0.00 TOTAL: 0.00 | 3.2.1.1.(B) | 9.10.4.1.(B) |
| BUILDING HEIGHT: | ABOVE GRADE: 1 BELOW GRADE: 0 ABOVE GRADE (M): 7.315M | 1.4.1.2.(A) / 3.2.1.1.(B) | 1.4.1.2.(A) / 9.10.4.(B) |
| HIGH BUILDING: | <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO | 3.2.6.(B) | |
| NUMBER OF STREETS (FIRE ROUTES): | 2 | 3.2.2.10.(B) / 3.2.5.(B) | 9.10.20.(B) |
| BUILDING CLASSIFICATION: | E - MERCANTILE OCCUPANCY | 3.2.2.20-93.(B) | 9.10.2.(B) |
| SPRINKLERED BUILDING: | <input checked="" type="checkbox"/> NOT REQUIRED <input type="checkbox"/> REQUIRED | 3.2.2.20-93.(B) | 9.10.8.2-4.(B) |
| PROVIDE: | <input type="checkbox"/> ENTIRE BUILDING <input type="checkbox"/> SELECTED COMPARTMENTS <input type="checkbox"/> SELECTED FLOOR AREAS <input type="checkbox"/> BASEMENT <input type="checkbox"/> IN LIEU OF ROOF RATING <input type="checkbox"/> NONE | 3.2.2.18., 21., 22., 29.(B) 3.2.4.1- 3.2.4.9- 3.2.4.15.(B) 3.2.5.12-14.(B) | 3.2.4.7.(14)(B) |
| STANDPIPE REQUIRED: | <input checked="" type="checkbox"/> NOT REQUIRED <input type="checkbox"/> REQUIRED | 3.2.5.8-11.(B) | |
| FIRE ALARM SYSTEM REQUIRED: | <input checked="" type="checkbox"/> NOT REQUIRED <input type="checkbox"/> REQUIRED | 3.2.4.(B) | 9.10.18.(B) |
| TYPE PROVIDED: | <input type="checkbox"/> SINGLE STAGE <input type="checkbox"/> TWO STAGE <input checked="" type="checkbox"/> NONE | | |
| ADQUATE FIRE FIGHTING WATER SUPPLY: | <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO | 3.2.5.7.(B) | 9.31.3.(B) |
| PERMITTED CONSTRUCTION: | <input checked="" type="checkbox"/> COMBUSTIBLE <input checked="" type="checkbox"/> NON-COMBUSTIBLE <input type="checkbox"/> ENCAPSULATED MASS TIMBER | 3.2.2.20-93.(B) | 9.10.6.(B), 3.1.5.(B), AND 3.1.4.7.(B) |
| ACTUAL CONSTRUCTION: | <input checked="" type="checkbox"/> COMBUSTIBLE <input checked="" type="checkbox"/> NON-COMBUSTIBLE <input type="checkbox"/> ENCAPSULATED MASS TIMBER <input type="checkbox"/> COMBINATION ENCAPSULATED MASS TIMBER AND NON-COMBUSTIBLE | 3.1.6.(B) | |
| HEAVY TIMBER CONSTRUCTION: | <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES | 3.1.4.6-7.(B), 3.2.2.16.(B) | |
| IMPORTANCE CATEGORY: | <input type="checkbox"/> LOW <input type="checkbox"/> LOW HUMAN OCCUPANCY <input type="checkbox"/> POST-DISASTER SHELTER <input checked="" type="checkbox"/> NORMAL <input type="checkbox"/> HIGH <input type="checkbox"/> MINOR STORAGE BUILDING <input type="checkbox"/> EXPLOSIVE OR HAZARDOUS SUBSTANCE <input type="checkbox"/> POST-DISASTER | 4.1.2.1.(3)(B) 14.1.2.1.(B) | 1.3.3.2.(A) AND PART 4 |
| SEISMIC CATEGORY: | SEISMIC CATEGORY: SITE CLASS: SEISMIC DESIGN FOR TABLE 4.1.8.18, ITEMS 6 TO 22: REASON: <input type="checkbox"/> REQUIRED <input checked="" type="checkbox"/> NOT REQUIRED | 4.1.8.4.(1)(B) 14.1.8.5.-8.(B) | |
| OCCUPANT LOAD BASED ON: | OCCUPANT TYPE: BASED ON: OCCUPANT LOAD (PERSONS): | 4.1.8.18.(B) | 9.9.1.3.(B) |
| EXISTING MAIN FLOOR: UNHEATED STORAGE: | | 3.1.17.(B) | |
| BARRIER FREE DESIGN: | <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO EXPLANATION: STORAGE ONLY NO PUBLIC ACCESS | 3.8.(B) | 9.5.2.(B) AND 3.8.(B) |
| HAZARDOUS SUBSTANCES: (SPECIAL PROTECTION): | <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO EXPLANATION: | 3.8.1.2.(B) | 9.10.1.3.(B) |
| FIRE RESISTANCE RATINGS: | HORIZONTAL ASSEMBLY: FIRE RESISTANCE RATING (H) SUPPORTING ASSEMBLY (H) NON-COMBUSTIBLE IN LIEU OF RATINGS: FLOORS: <input type="checkbox"/> YES <input type="checkbox"/> NO <input checked="" type="checkbox"/> N/A MEZZANINE: <input type="checkbox"/> YES <input type="checkbox"/> NO <input checked="" type="checkbox"/> N/A ROOF: <input type="checkbox"/> YES <input type="checkbox"/> NO <input checked="" type="checkbox"/> N/A | 3.2.2.20-93.(B) 3.2.1.2.(B) 3.2.1.4.(B) 3.2.2.15.(B) 3.3.2.1.(B) | 9.10.8.(B) AND 9.10.11.(B) |
| SPATIAL SEPARATION: (CONSTRUCTION OF EXTERIOR WALLS) - OF NEW CONSTRUCTION ONLY | | 3.2.3.(B) | 9.10.14.(B) OR 9.10.15.(B) |
| WALL (PROPOSED BUILDING): | AREA OF EBF (M ²): L.D. (M): L/H OR H/L PERMITTED MAX. % OF OPENINGS PROPOSED % OF OPENINGS F.R.R. (HOURS) | LISTED DESIGN OR DESCRIPTION | WALL CONST. CLADDING COMB. NON-COMB. ENCAPSULATED MASS TIMBER NON-COMB. |
| NORTHWEST (FRONT): | 59.46 9.85± 100.00 0.00 | | |
| NORTHEAST (LEFT): | 59.46 1.524± 8.0 0.00 2 HR | 2HR FFR WALL CONSTRUCTION (SB-2 2.1.1.): 8" CONC. BLOCK WALL (TYPE S OR N CONC.) | COMB. NON-COMB. |
| SOUTHEAST (REAR): | 59.46 8.76± 100.00 0.00 | | |
| PLUMBING FIXTURE REQUIREMENTS: -OF NEW CONSTRUCTION ONLY RATIO: MALE:FEMALE = 50:50 EXCEPT AS NOTED OTHERWISE | | 3.7.4.(B) 3.8.2.3.(B) | 9.10.14.(B) OR 9.10.15.(B) |
| FLOOR LEVEL AREA: | OCCUPANT GBC LOAD REFERENCE W/S REQ'D PROVIDED W/S PROVIDED BF W/S PROVIDED SF W/S PROVIDED UNIVERSAL WASHROOM REQ'D UNIVERSAL WASHROOM PROVIDED UNIVERSAL DRESSING & SHOWERROOM REQ'D | | |
| UNHEATED STORAGE: | N/A N/A N/A N/A N/A N/A N/A N/A | | |
| ENERGY EFFICIENCY: N/A - ADDITION IS UNHEATED STORAGE | NON-RESIDENTIAL COMPLIANCE OPTION: <input type="checkbox"/> SB-10 PRESCRIPTIVE (DIV. 4) <input type="checkbox"/> SB-10 PERFORMANCE (DIV. 2) <input type="checkbox"/> SB-10 PRESCRIPTIVE (DIV. 2) | RESIDENTIAL COMPLIANCE OPTION: <input type="checkbox"/> SB-12 PRESCRIPTIVE COMPLIANCE PKG <input type="checkbox"/> SB-12 PERFORMANCE COMPLIANCE <input type="checkbox"/> SB-12 OTHER: ENERGY STAR FOR NEW HOMES <input type="checkbox"/> ENERGYGUIDE FOR NEW HOUSES | 12.2.1.2.(B) 12.2.(B) |
| CLIMATIC ZONE: 1 | DEGREE DAYS BELOW 18 C: 3840 | SB-1 TABLE 2 | SB-1 TABLE 2 |
| FENESTRATION: GROSS WALL AREA (M ²): VERTICAL (W+D) SKYLIGHTS | GROSS WINDOW AREA (M ²): RATIO (%): | | |
| SOUND TRANSMISSION DESIGN: MIN. STC RATING OF: | IS THERE MORE THAN 1 DWELLING UNIT PER BUILDING? <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO | SB-3 5.8.1.2.(2), 5.8.1.4.(B) & 5.8.1.5.(B) | 9.11.1.4.(B) 5.8.1.4.(B) & 5.8.1.5.(B) |
| ALTERNATIVE SOLUTIONS: | | 1.2.1.1.(A) AND 2.1.1.(C) | 1.2.1.1.(A) AND 2.1.1.(C) |

GENERAL NOTES:

- BOTH THE CLIENT AND THE CONTRACTOR, INCLUDING ALL SUB-TRADES, SHALL REVIEW ALL DRAWINGS AND VERIFY ALL DIMENSIONS. IT IS THE RESPONSIBILITY OF THE CLIENT AND THE CONTRACTOR TO REPORT ANY DISCREPANCIES TO THE ENGINEER BEFORE PROCEEDING WITH CONSTRUCTION.
- THESE DRAWINGS ARE TO BE READ AND NOT TO BE SCALED.
- THE CONTRACTOR OWNER IS RESPONSIBLE FOR NOTIFYING THE GOVERNING MUNICIPALITIES FOR ALL REQUIRED INSPECTIONS.
- IF INSPECTIONS ARE REQUIRED BY THE ENGINEER NOTIFY THE ENGINEER'S OFFICE A MINIMUM OF 24 HOURS IN ADVANCE FOR ANY OF THE FOLLOWING INSPECTIONS THAT MAY APPLY:
 - EXCAVATION - PRIOR TO POURING FOOTINGS
 - FLOOR - DURING POUR TO VERIFY CONCRETE & THICKNESS
 - ALL CONCRETE POURS IN WHICH REINFORCING STEEL IS SPECIFIED.
 - ROUGH FRAMING - PRIOR TO CLOSE-IN.
 - TRUSS FRAMING AND BRACING - PRIOR TO CLOSE-IN.
 - ERECTOR OF STRUCTURAL STEEL & WELDING - PRIOR TO CLOSE-IN.
 - FINAL INSPECTION FOR CERTIFICATION - TO BE COMPLETED WITH BOTH OWNER & CONTRACTOR PRESENT.
- ALL FOOTINGS TO BEAR DIRECTLY ONTO UNDISTURBED SOIL. THE SOIL BEARING CAPACITY HAS BEEN DESIGNED FOR 150PSF (75KPA). THE SOIL BEARING CAPACITY IS TO BE CONFIRMED ON SITE BY A QUALIFIED SOILS TECHNICIAN PRIOR TO POURING FOOTINGS IF POOR SOILS CONDITIONS ARE ENCOUNTERED WHEN EXCAVATING. THE SOILS REPORT FOR THIS IS TO BE PROVIDED TO THE ENGINEER'S OFFICE FOR REVIEW PRIOR TO POURING FOOTINGS IF REQUIRED.
- CONTRACTOR OWNER TO COMPLETE AND SUBMIT COPIES OF ALL CONCRETE TESTS AS PER C.S.A. A23.1.
 - ONE TEST REQUIRED PER 100M MINIMUM. IF PROJECT REQUIRED SUCH TEST.
- ALL TRUSS DRAWINGS AND/OR ENGINEERED FLOOR DRAWINGS SHALL BE DESIGNED AND STAMPED BY A LICENSED PROFESSIONAL ENGINEER (PROVINCE OF ONTARIO). CONTRACTOR OWNER TO SUBMIT TRUSS DRAWINGS AND/OR ENGINEERED FLOOR DRAWINGS FOR APPROVAL PRIOR TO CONSTRUCTION OF TRUSSES OR ENGINEERED FLOOR. STAMPED TRUSS DRAWINGS AND/OR ENGINEERED FLOOR DRAWINGS ARE TO BE SUBMITTED TO THE ENGINEER'S & C.B.D. OFFICES BY THE CONTRACTOR/OWNER PRIOR TO FRAMING INSPECTION.
- ALL TRUSS BRACING TO BE INSTALLED AS PER TRUSS MANUFACTURERS DESIGN & SPECIFICATIONS AND AS PER ENGINEERS DESIGN & SPECIFICATIONS.
- CONTRACTOR OWNER TO SUBMIT SHOP DRAWINGS OF ALL PRECAST AND / OR PRE-ENGINEERED ELEMENTS FOR REVIEW.
- THE DESIGN ON THESE DRAWINGS IS THE PROPERTY OF THE ENGINEER AND IS NOT TO BE USED OR COPIED WITHOUT CONSENT IN WRITING.
- CHANGES OR SUBSTITUTIONS ARE NOT TO BE MADE WITHOUT WRITTEN PERMISSION FROM THE ENGINEER.
- CONTRACTOR IS RESPONSIBLE FOR ALL ASPECTS OF TEMPORARY BRACING DURING CONSTRUCTION.

- SYMBOLS LEGEND:
- EXISTING WALLS TO BE REMAIN
 - EXISTING WALLS TO BE REMOVED
 - NEW WALLS
 - EXHAUST FAN VENTED TO EXTERIOR SEE HVAC PLAN FOR DETAILS
 - BUILDING SECTION REFERENCE
 - GRID REFERENCE
 - CONSTRUCTION ASSEMBLY REFERENCE
 - SEE 9.10.18.2 AND 9.10.19 FOR SMOKE DETECTOR REQUIREMENTS
 - SEE 9.32.3.9A FOR CARBON MONOXIDE ALARMS REQUIREMENTS

- ABBREVIATIONS:
- AFF ABOVE FINISHED FLOOR
 - BM BEAM
 - C.L. CENTRE LINE
 - CD CARBON MONOXIDE DETECTOR
 - CONC. CONCRETE
 - D.W. COMPLETE WITH DIAMETER
 - DJ DOUBLE JOIST
 - EACH ENGINEERED
 - ERV ENERGY RECOVERY UNIT
 - E.D. EACH WAY
 - F.O. FLOOR DRAIN
 - F.R. FIRE RESISTANCE RATING
 - HR HOUR
 - HVAC HEATING VENTILATION AIR CONDITIONING
 - HWT HOT WATER TANK
 - O.C. ON CENTRE
 - OTA OPEN TO ABOVE
 - OTB OPEN TO BELOW
 - PL POINT LOAD
 - RLW RAIN WATER LEADER
 - SB SOLID BEARING
 - SBG SOLID BEARING GIRDER
 - SD SMOKE DETECTOR
 - SJ SINGLE JOIST
 - ST.C. SOUND TRANSMISSION CLASS
 - TJ TRIPLE JOIST
 - T.O. TOP OF
 - TYP TYPICAL
 - U/S UNDERSIDE
 - W/ WITH
 - W/O WITHOUT
 - W.D. WOOD

MUNICIPALITY:
NORFOLK COUNTY
GILBERTSON ADMINISTRATION BUILDING
12 GILBERTSON DRIVE
SIMCOE, ONTARIO N3Y 3N3
PHONE: 519-426-5870

CONSTRUCTED BY:
WOLF HOMES INC.
415 10TH CONCESSION ROAD,
LANGTON, ONTARIO NOE 1G0
TEL: 519-403-5251
EMAIL: WOLFHOMES20@GMAIL.COM

DESIGNED BY:
girard
ENGINEERING
2478153 ONTARIO INC.
682 PEEL SREET
WOODSTOCK ON, N4S 1L3
TEL: 1-519-879-6875
EMAIL: INFO@GIRARDENGINEERING.CA

APPROVED BY:

DESIGNED FOR:
CANAMEX GROCERIES
JOHN FRIESE
8 NORFOLK COUNTY ROAD 21
LANGTON, ONTARIO, NOE 1G0

PROPOSED UNHEATED STORAGE ADDITION

COVER SHEET

SCALE: 1/4" = 1'-0"
DATE: JUNE 9, 2025
DRAWING NO: **S-0**
DRAWN BY: T. STREATH
DESIGNED/CHECKED BY: M. VASANTHA
PROJECT NO: 25-063

DESIGN LOADS - BLEEN MEYER, ONTARIO

Table with 2 columns: Load Type and Value. Includes Ground Snow Load, Wind Loads, and Seismic Data.

GENERAL NOTES:

- 1. THESE GENERAL NOTES SHALL BE READ IN CONJUNCTION WITH THE LATEST REVISION OF DESIGN DRAWINGS AND SPECIFICATIONS PREPARED BY ALL ENGINEERING AND ARCHITECTURAL DISCIPLINES.
2. ALL WORK INCLUDING DESIGN, PROJECT SITE CONDITIONS, DETAILING, SHOP DRAWINGS, CONSTRUCTION, MATERIALS, EQUIPMENT AND SHORING SHALL CONFORM TO THE LATEST EDITIONS OF THE ONTARIO BUILDING CODE, LOCAL BY-LAWS, OCCUPATIONAL HEALTH AND SAFETY ACT, AND THE MINISTRY OF LABOUR REGULATIONS FOR CONSTRUCTION PROJECTS.
3. ALL ITEMS OR SYSTEMS THAT ARE VOLUNTARILY INSTALLED MUST MEET ALL REQUIREMENTS OF THE O.B.C. 2024.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DISCREPANCIES ON THESE DRAWINGS TO THE ENGINEER AND/OR ARCHITECT PRIOR TO CONSTRUCTION.
5. ALL STRUCTURAL DRAWINGS SHALL BE READ IN CONJUNCTION WITH ALL ARCHITECTURAL, MECHANICAL, AND ELECTRICAL DRAWINGS.
6. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL SUBCONTRACTORS.
7. OPERATIONS OF THE EXISTING FACILITY ARE NOT TO BE INTERRUPTED DURING CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE OR LOSS CAUSED BY CONSTRUCTION OPERATIONS.
8. ALL SHOP DRAWINGS SHALL BE STAMPED BY A LICENSED PROFESSIONAL ENGINEER (PROVINCE OF ONTARIO).
9. THE CONTRACTOR SHALL VERIFY DIMENSIONS OF EXISTING STRUCTURES PRIOR TO THE COMMENCEMENT OF WORK.
10. ALL STRUCTURAL ELEMENTS NOT OBTAINABLE THROUGH O.B.C. CHARTS TO BE ENGINEERED APPROVED (STRUCTURAL ENGINEER TO REVIEW, CALCULATE LOADS AND SIZES, STAMP, AND APPROVE).
11. REFER TO PLANS, CROSS SECTIONS, AND DETAILS FOR ALL TYPICAL CONSTRUCTION DETAILS AND NOTES.
12. ALL UNDERPINNING OF FOUNDATIONS TO BE CONSTRUCTED BELOW THE LEVEL OF THE FOOTINGS OF AN ADJACENT BUILDING AND IS WITHIN THE ANGLE OF REPOSE OF THE SOIL, AS DRAWN FROM THE BOTTOM OF THE FOOTINGS MUST BE DESIGNED BY A PROFESSIONAL ENGINEER AND DURING CONSTRUCTION A PROFESSIONAL ENGINEER IS TO REVIEW THE CONSTRUCTION PROCESS.

SOIL & FOUNDATION NOTES:

- 1. ALLOWABLE SOIL BEARING CAPACITY FOR THIS PROJECT HAS BEEN ASSUMED AT 1750 PSF (75 KPa).
2. THE CONTRACTOR SHALL REPORT ANY UNSTABLE SOIL CONDITIONS TO THE ENGINEER. FOOTINGS SHALL NOT BE INSTALLED UNTIL THE EXCAVATION HAS BEEN INSPECTED AND APPROVED BY THE ENGINEER OR SOIL CONSULTANT.
3. THE DIRECTION OF THE SOIL CONSULTANT SHALL BE STRICTLY FOLLOWED.
4. ALL EXTERIOR FOOTINGS SHALL BE POURED ON UNDISTURBED NATIVE SOIL OR APPROVED ENGINEERED FILL AT A MINIMUM DEPTH OF 4'-0" (1.20M) BELOW FINISHED GRADE AND AT THE GRADES SHOWN ON THE DRAWINGS.
5. EXCAVATIONS SHALL CONFORM TO THE LATEST EDITIONS OF THE OCCUPATIONAL HEALTH AND SAFETY ACT AND THE MINISTRY OF LABOUR REGULATIONS FOR CONSTRUCTION PROJECTS.
6. WALLS TO BE BACKFILLED ON BOTH SIDES SHALL BE BACKFILLED EVENLY, UNLESS SHORED ON ONE SIDE TO THE SATISFACTION OF THE ENGINEER. PIT WALLS SHALL NOT BE BACKFILLED UNLESS BRACED AT THE TOP TO THE SATISFACTION OF THE ENGINEER. BACKFILL SHALL BE APPROVED MATERIAL COMPACTED TO 95% S.P.D. UNLESS OTHERWISE NOTED.
7. INSTALLATION DETAILS FOR WATERSTOPS AT WALL/FOOTING INTERFACE AND IN VERTICAL JOINTS SHALL BE PROVIDED BY THE CONTRACTOR AND APPROVED BY THE ENGINEER PRIOR TO INSTALLATION.
8. WALLS AND PIERS SHALL BE CENTERED ON FOOTINGS WITHIN THE MIDDLE THIRD OF THE FOOTING.

CONCRETE AND REINFORCED CONCRETE NOTES:

- 1. ALL CONCRETE SHALL CONFORM TO CAN/CSA-A23.1, "CONCRETE MATERIALS AND METHODS OF CONCRETE CONSTRUCTION" WITH A MAXIMUM AGGREGATE SIZE OF 3/4" (19mm), TYPE 10 NORMAL PORTLAND CEMENT (UNLESS OTHERWISE NOTED), AND A COMPRESSIVE STRENGTH AT 28 DAYS.
2. SUPPLY AND PLACE CONCRETE AS FOLLOWS: FOOTINGS - 25 MPa, MAX. W/C RATIO OF 0.50, AIR CONTENT 6% ± 1% FOUNDATION WALLS - 25 MPa, MAX. W/C RATIO OF 0.50, AIR CONTENT 6% ± 1%
PIERS - 25 MPa, MAX. W/C RATIO OF 0.45, AIR CONTENT 6% ± 1% SLABS ON GRADE - 25 MPa, MAX. W/C RATIO OF 0.50, NO. AIR CONTENT REQUIRED & FLOORS (SUBJECT TO ACID ATTACK) - 32 MPa TYPE 50 CEMENT (OR EQUIVALENT), MAX. W/C RATIO OF 0.40, AIR CONTENT 6% ± 1% SIDEWALKS, EXPOSED CURBS, AND OTHER CONCRETE - 32 MPa, MAX. W/C RATIO OF 0.45, AIR CONTENT 6% ± 1%
3. ALL REINFORCEMENT SHALL CONFORM TO CSA G30.3, G30.5 & G30.18 (LATEST EDITION) WITH A YIELD STRENGTH OF 400 MPa FOR DEFORMED BARS OR 260 MPa FOR WELDED WIRE MESH.
4. MINIMUM CORNER REINFORCING SHALL BE 24x24" (600mmx600mm) L-BARS.
5. MINIMUM COVER ON REINFORCING FOR FORMED CONCRETE EXPOSED TO EARTH OR WEATHER SHALL BE 2" (50mm) FOR 20M DR LARGER BARS, 1 1/2" (38mm) FOR 15M OR SMALLER BARS, 3" (75mm) FOR REINFORCING IN FOOTINGS AND UNFORMED CONCRETE AGAINST EARTH, 1" (25mm) FOR SLABS AND WALLS NOT EXPOSED TO EARTH OR WEATHER, 1 1/2" (38mm) FOR REINFORCING IN BEAMS, AND 2" (50mm) FOR MAIN PIER STEEL.
6. CONDUITS OR PIPES IN SLABS SHALL NOT EXCEED 1/3 OF THE SLAB THICKNESS IN DIAMETER AND SHALL HAVE A MINIMUM COVER OF 1" (25mm).
7. CONTROL JOINTS SHALL BE INSTALLED AS SHOWN OR AS NOTED ON DRAWINGS WITH A MAXIMUM SPACING OF 30' (9.00M) IN WALLS. MAXIMUM SLAB POUR LENGTH OF 100'-0" (30.00M). ALL SAW CUTS SHALL BE A MINIMUM OF 1/3 OF THE SLAB DEPTH AND SHALL BE CUT WITHIN 24 HOURS OF THE POUR.

STRUCTURAL STEEL NOTES:

- 1. STEEL SHALL CONFORM TO CAN/CSA-S16-14 "DESIGN OF STEEL STRUCTURES".
2. THE GENERAL REQUIREMENTS FOR STRUCTURAL STEEL SHALL CONFORM TO CAN/CSA G40.23-13 / G40.21-13 FDR WALLS - 25 MPa, STRUCTURAL STEEL QUALITY GRADES OF MATERIAL (UNLESS NOTED OTHERWISE):
- HOLLOW STRUCTURAL STEEL SECTIONS - 350W, CLASS C
- STRUCTURAL PIPE - ASTM A53 120MPa
- OTHER STRUCTURAL STEEL - WELDLANEXUS METAL - 350W
- BOLTS, NUTS & WASHERS (STEEL TO STEEL) - ASTM A325
- ANCHOR BOLTS - ASTM A307
WELD - E49XX (400MPa)
3. WELDING SHALL BE PERFORMED BY PERSONS CERTIFIED BY THE CANADIAN WELDING BUREAU IN CONFORMANCE WITH MINIMUM THE LATEST CSA STANDARD FOR WELDING - CLAUSE 24.3 OF S16-01.
4. SHOP DRAWINGS FOR ALL FABRICATED STEEL MEMBERS SHALL BE STAMPED BY A LICENSED PROFESSIONAL ENGINEER (PROVINCE OF ONTARIO) AND SUBMITTED TO THE ENGINEER PRIOR TO CONSTRUCTION.
5. WOOD TRUSSES SHALL BE DESIGNED AND STAMPED BY A LICENSED PROFESSIONAL ENGINEER (PROVINCE OF ONTARIO). THE CONTRACTOR SHALL SUBMIT TRUSS SHOP DRAWINGS TO ENGINEER FOR REVIEW PRIOR TO CONSTRUCTION.
6. WOOD STUDS, JOISTS, NAILERS, BLOCKING, BUILT-UP BEAMS, AND COLUMNS SHALL BE S.P.F. No. 2 (CONSTRUCTION GRADE) OR BETTER - CONFORMING TO CAN/CSA-04-1 "SOFT WOOD LUMBER". GRADING SHALL CONFORM TO THE NATIONAL LUMBER GRADES AUTHORITY "STANDARD GRADING RULES FOR CANADIAN LUMBER". WOOD FRAME CONSTRUCTION SHALL CONFORM TO THE ONTARIO BUILDING CODE 2006 - SECTION 9.23.
7. PLYWOOD SHEATHING SHALL CONFORM TO CSA STANDARD D121-M1978 "DUALS FIB SHEATHING" AND D151-M1978 "CANADIAN SOFT WOOD PLYWOOD".

OBC 2024 REFERNECES:

- 2.1. GENERAL
2.1.2.1 APPLICATION
(1) EXCEPT AS PROVIDED IN SENTENCES (2) AND (4), THIS PART APPLIES TO ALL FARM BUILDINGS
(4) THAT ARE:
(i) MORE THAN 600m2 IN BUILDING AREA OR MORE THAN 3 STOREYS IN BUILDING HEIGHT USED FOR MAJOR OCCUPANCIES CLASSIFIED AS GROUP G, DIVISION 1, 2 OR 3 AGRICULTURAL OCCUPANCIES, OR
(ii) USED FOR MAJOR OCCUPANCIES CLASSIFIED AS GROUP G, DIVISION 4, AGRICULTURAL OCCUPANCIES WITH NO HUMAN OCCUPANTS, AND
(8) DESCRIBED IN SENTENCE 2.1.2.2.11.
(C) SUBSECTIONS 2.2.6. AND 2.2.7. DO NOT APPLY TO GROUP G, DIVISION 4 MAJOR OCCUPANCIES.
(D) FARM BUILDINGS NOT DESCRIBED IN SENTENCE (1) SHALL CONFORM TO THE REQUIREMENTS OF ARTICLE 2.1.2.3.

2.1.2.2. CLASSIFICATION OF BUILDING CONTAINING AGRICULTURAL OCCUPANCIES

- (1) BUILDING OR PARTS OF BUILDINGS CONTAINING AN AGRICULTURAL OCCUPANCY THAT HAS AN OCCUPANT LOAD OF NOT MORE THAN ONE PERSON PER 430sq.ft. SHALL BE CLASSIFIED ACCORDING TO THEIR MAJOR OCCUPANCY AS BELONGING TO GROUP G, DIVISION 1, 2, 3 OR 4
(2) BUILDINGS OR PARTS OF BUILDINGS CONTAINING AN AGRICULTURAL OCCUPANCY THAT HAS AN OCCUPANT LOAD OF MORE THAN ONE PERSON PER 430sq.ft. SHALL BE CLASSIFIED ACCORDING TO THEIR MAJOR OCCUPANCY AS BELONGING TO ONE OF THE GROUPS AND DIVISIONS LISTED IN TABLE 3.1.2.1 OF DIVISION B
(3) FOR THE PURPOSES OF SENTENCES (1) AND (2), THE OCCUPANT LOAD SHALL BE DETERMINED BASED ON THE FLOOR AREA OR THE PART OF THE FLOOR AREA THAT CONTAINS THE AGRICULTURAL OCCUPANCY.
(4) A BUILDING INTENDED FOR USE BY MORE THAN ONE MAJOR OCCUPANCY SHALL BE CLASSIFIED ACCORDING TO ALL THE MAJOR OCCUPANCIES FOR WHICH IT IS USED OR INTENDED TO BE USED.

2.1.2.3. SMALL FARM BUILDINGS

- (1) EXCEPT AS PROVIDED IN SENTENCES (2) TO (6), FARM BUILDINGS NOT MORE THAN 3 STOREYS IN BUILDING HEIGHT AND NOT MORE THAN 600m2 IN BUILDING AREA USED FOR MAJOR OCCUPANCIES CLASSIFIED AS GROUP G, 1, 2, OR 3 AGRICULTURAL OCCUPANCIES SHALL CONFORM TO THE REQUIREMENT IN THE COBFC NRCC 38732 "NATIONAL FARM BUILDING CODE OF CANADA".
(2) ARTICLES 1.1.1, 2, AND 3.1.1, 1.2, AND 3.1.1.1, AND SUBSECTIONS 3.1.4 AND 4.1.4 IN THE COBFC NRCC 38732 NATIONAL FARM BUILDING CODE OF CANADA, DO NOT APPLY TO FARM BUILDINGS.
(3) EXCEPT AS PROVIDED IN SENTENCE (4) IN THE COBFC NRCC 38732 NATIONAL FARM BUILDING CODE OF CANADA, REFERENCES IN ARTICLES 1.1.1, 3, 2.2.2.1., 2.3.1.1., 2.3.2.1., 3.1.1.1., 3.1.2.1., 3.1.6.1, AND 3.1.6.1. TO THE COBFC NRCC 387226 "NATIONAL BUILDING CODE OF CANADA," ARE DEEMED TO BE REFERENCES TO ONTARIO REGULATION 402/97 BUILDING CODE, AS IT READ ON DECEMBER 30, 2006.
(4) THE CLIMATIC VALUES REQUIRED FOR THE DESIGN OF THE FARM BUILDINGS SHALL BE IN CONFORMANCE WITH THE CLIMATIC VALUES PROVIDED IN MMH SUPPLEMENTARY STANDARD SB-1, "CLIMATIC AND SEISMIC DATA."
(5) A FARM BUILDING OF LOW HUMAN OCCUPANCY HAVING A BUILDING AREA NOT EXCEEDING 600m2 AND NOT MORE THAN THREE STOREYS IN BUILDING HEIGHT IS DEEMED TO COMPLY WITH THE STRUCTURAL REQUIREMENTS OF COBFC NRCC 38732 "NATIONAL BUILDING CODE OF CANADA," IF IT IS DESIGNED AND CONSTRUCTED IN CONFORMANCE WITH MMH SUPPLEMENTARY STANDARD SB-1, "CONSTRUCTION OF FARM BUILDINGS."
(6) WHERE A FLOOR AREA OR PORTION OF A FLOOR AREA WITHIN A FARM BUILDING IS INTENDED TO CONTAIN A HAZARDOUS EXTRACTION OPERATION INVOLVING CANNABIS, THE FLOOR AREA OR PORTION OF THE FLOOR AREA SHALL CONFORM TO THE REQUIREMENT OF ARTICLE 2.2.8.9.

2.1.4.1. CLASSIFICATION

- (1) EVERY FARM BUILDING OR PART OF A FARM BUILDING SHALL BE CLASSIFIED ACCORDING TO ITS MAJOR OCCUPANCY AS BELONGING TO ONE OF THE DIVISIONS OF THE GROUP G DESCRIBED IN TABLE 2.1.4.1.

Table with 3 columns: Group, Division, Description of Agricultural Occupancies. Includes High Hazard, Greenhouse, and Agricultural Occupancies.

2.2. FIRE PROTECTION AND OCCUPANT SAFETY

- 2.2.1.1. CLASSIFICATION
(1) EVERY FARM BUILDING OR PART OF A FARM BUILDING SHALL BE CLASSIFIED IN ACCORDANCE WITH SUBSECTION 2.1.4.
(2) PORTIONS OF FARM BUILDINGS THAT DO NOT CONTAIN GROUP G, DIVISION 1, 2, 3 OR MAJOR OCCUPANCIES SHALL BE CLASSIFIED ACCORDING TO THEIR MAJOR OCCUPANCY AS BELONGING TO ONE OF THE GROUPS FOR DIVISIONS DESCRIBED IN TABLE 3.1.2.1, AND THOSE PORTIONS SHALL CONFORM TO THE REQUIREMENTS IN PART 3.
2.2.1.2. PROHIBITION OF OCCUPANCY COMBINATIONS
(1) BUILDINGS CLASSIFIED AS A GROUP G, DIVISION 1 OR 4 MAJOR OCCUPANCY SHALL NOT CONTAIN A GROUP A, B, OR C OCCUPANCY.
(2) BUILDINGS CLASSIFIED AS GROUP G, DIVISION 2 OR 3 MAJOR OCCUPANCY SHALL NOT CONTAIN A GROUP A, DIVISION 1 OR 3, OR GROUP B OCCUPANCY.

2.2.1.4. SEPARATION OF OCCUPANCIES

- (1) EXCEPT AS PROVIDED IN SENTENCE (2) MAJOR OCCUPANCIES SHALL BE SEPARATED FROM ADJOINING MAJOR OCCUPANCIES BY FIRE-RESISTANCE HAVING FIRE-RESISTANCE RATINGS CONFORMING TO TABLE 2.2.1.4.
(2) IF ONE MAJOR OCCUPANCY IS LOCATED ABOVE ANOTHER MAJOR OCCUPANCY, THE FIRE-RESISTANCE OF THIS SECTIONS FOR THE LOWER MAJOR OCCUPANCY.
(3) OCCUPANCIES OTHER THAN MAJOR OCCUPANCIES SHALL BE SEPARATED FROM ADJOINING OCCUPANCIES BELONGING TO A DIFFERENT GROUP OR DIVISION BY FIRE SEPARATIONS HAVING FIRE-RESISTANCE RATINGS THAT CONFORM TO TABLE 2.2.1.4., BUT NEED NOT BE MORE AN 1h.

2.2.1.8. FIRE BLOCKS

- (1) CONCEALED SPACES IN INTERIOR WALL, CEILINGS AND CRAWL SPACES SHALL BE SEPARATED FROM CONCEALED SPACES IN EXTERIOR WALLS AND ATTIC OR ROOF SPACES BY FIRE BLOCKS.
(2) CONCEALED SPACES IN WALLS AND PARTITIONS SHALL BE SEPARATED BY FIRE BLOCKS INTO COMPARTMENTS NOT MORE THAN 6'-0" IN HEIGHT AND 65'-0" IN LENGTH.
(3) HORIZONTAL CONCEALED SPACES WITHIN A FLOOR ASSEMBLY OR ROOF ASSEMBLY OF COMBUSTIBLE CONSTRUCTION, IN WHICH SPRINKLERS ARE NOT INSTALLED, SHALL BE SEPARATED BY FIRE BLOCKS INTO COMPARTMENTS NOT MORE THAN 9897 SQ.FT. IN AREA.
(4) EXCEPT AS PERMITTED BY SENTENCE (5), FIRE BLOCKS SHALL BE CONSTRUCTED OF MATERIALS THAT WILL REMAIN IN PLACE AND PREVENT THE PASSAGE OF FLAMES FOR NOT LESS THAN 15 MIN. WHEN SUBJECTED TO THE STANDARD FIRE EXPOSURE IN CAN/ULC-S101, "STANDARD METHOD OF FIRE ENDURANCE TESTS OF BUILDING CONSTRUCTION AND MATERIALS."
(5) FIRE BLOCKS NEED NOT BE TESTED IN CONFORMANCE WITH SENTENCE (4) IF THEY ARE CONSTRUCTED OF NOT LESS THAN:
(A) 0.38mm SHEET STEEL,
(B) 1/2" GYPSUM BOARD,
(C) 1/2" PLYWOOD, OSB OR WAFERBOARD, WITH JOINTS BACKED WITH SIMILAR MATERIAL,
(D) 2 LAYERS OF LUMBER, EACH NOT LESS THAN 3/4" THICK, WITH JOINTS STAGGERED, OR
(E) 1 1/2" LUMBER.

2.2.1.9. ADDITIONAL FIRE SEPARATIONS

- (1) EXCEPT AS PERMITTED BY SENTENCE (2) AND REQUIRED BY SENTENCE (3), FUEL-FIRED APPLIANCES SHALL BE INSTALLED IN SERVICE ROOMS SEPARATED FROM THE REMAINDER OF THE FARM BUILDING BY:
(A) A FIRE SEPARATION HAVING A FIRE-RESISTANCE RATING NOT LESS THAN 45 MIN. IN FLOOR AREA THAT IS NOT SPRINKLERED THROUGHOUT, OR
(B) A FIRE SEPARATION NOT REQUIRED TO HAVE A FIRE-RESISTANCE RATING IN A FLOOR AREA THAT IS SPRINKLERED THROUGHOUT.
(2) A FUEL-FIRED APPLIANCE THAT SERVES ONLY ONE ROOM IS NOT REQUIRED TO BE INSTALLED IN A SERVICE ROOM SEPARATED FROM THE REMAINDER OF THE FARM BUILDING.
(3) HEATERS SHALL BE INSTALLED IN SERVICE ROOMS THAT:
(A) DO NOT CONTAIN OTHER FUEL-FIRED APPLIANCES, AND
(B) ARE SEPARATED FROM THE REMAINDER OF THE FARM BUILDING BY A FIRE SEPARATION HAVING A FIRE-RESISTANCE RATING NOT LESS THAN 1h.
(4) WHERE THE SERVICE ROOM IS ADJACENT TO A GROUP G, DIVISION 1 MAJOR OCCUPANCY IN A FLOOR AREA THAT IS NOT SPRINKLERED THROUGHOUT,
(iii) 1h, WHERE THE SERVICE ROOM IS ADJACENT TO A GROUP G, DIVISION 2 OR 3 MAJOR OCCUPANCY IN A FLOOR AREA THAT IS NOT SPRINKLERED THROUGHOUT, OR
(iv) 30 MIN, WHERE THE SERVICE ROOM IS ADJACENT TO A GROUP G, DIVISION 2 OR 3 MAJOR OCCUPANCY IN A FLOOR AREA THAT IS SPRINKLERED THROUGHOUT.
(4) A ROOM CONTAINING A DEVICE THAT PRODUCES OPEN FLAMES, HEAT OR SPARKS AND USED FOR CROP DYING SHALL BE SEPARATED FROM THE REMAINDER OF THE FARM BUILDING BY:
(A) A FIRE SEPARATION HAVING A FIRE-RESISTANCE RATING NOT LESS THAN 45 MIN. IN A FLOOR AREA THAT IS NOT SPRINKLERED THROUGHOUT, OR
(B) A FIRE SEPARATION NOT REQUIRED TO HAVE A FIRE-RESISTANCE RATING IN A FLOOR AREA THAT IS SPRINKLERED THROUGHOUT.
(5) A ROOM INTENDED TO BE USED FOR REPAIRING FARM MACHINERY SHALL BE SEPARATED FROM THE REMAINDER OF THE FARM BUILDING BY A FIRE SEPARATION HAVING A FIRE-RESISTANCE RATING NOT LESS THAN:
(A) 1h, IN A FLOOR AREA THAT IS NOT SPRINKLERED THROUGHOUT, OR
(B) 30 MIN, IN A FLOOR AREA THAT IS SPRINKLERED THROUGHOUT.
(6) STORAGE AREAS FOR DANGEROUS GOODS SHALL BE SEPARATED FROM THE REMAINDER OF THE FARM BUILDING IN ACCORDANCE WITH SENTENCES 3.3.6.2.11) AND (2).

2.2.1.13 FOAMED PLASTICS

- (1) EXCEPT AS PROVIDED IN SENTENCES (2) TO (6), FARM BUILDINGS SHALL BE PROTECTED IN CONFORMANCE WITH SENTENCE 3.1.4.2.1.1.

3.1.4.2. PROTECTION OF FOAMED PLASTICS

- (1) EXCEPT AS PERMITTED IN SENTENCE (2), FOAMED PLASTICS THAT FORM PART OF A WALL OR CEILING ASSEMBLY IN COMBUSTIBLE CONSTRUCTION SHALL BE PROTECTED FROM ADJACENT SPACES IN THE BUILDING, OTHER THAN ADJACENT CONCEALED SPACES WITHIN ATTIC OR ROOF SPACES, CRAWL SPACES, AND WALL AND CEILING ASSEMBLIES.
(A) BY ONE OF THE INTERIOR FINISHES DESCRIBED IN SUBSECTIONS 9.29.4.1, 9.29.9, AND 9.29.9.1.
(B) PROVIDED THE FINISHES DOES NOT CONTAIN A GROUP A, GROUP B OR GROUP C MAJOR OCCUPANCY, BY SHEET METAL
(ii) MECHANICALLY FASTENED TO THE SUPPORTING ASSEMBLY INDEPENDENT OF THE FINISHING.
(iii) NOT LESS THAN 0.38mm THICK, AND
(2) WITH A MELTING POINT NOT BELOW 650°C, OR
(C) ANY THERMAL BARRIER THAT MEETS THE REQUIREMENTS OF SENTENCE 3.1.5.15(2).

2.2.1.15. ELECTRICAL WIRING AND EQUIPMENT

- (2) ELECTRICAL WIRING INSTALLED IN A CONCEALED SPACE SHALL BE ENCLOSED IN RIGID CONDUIT OR OTHERWISE PROTECTED AGAINST DAMAGE.
2.2.1.17. OCCUPANT LOAD
(1) IN A FLOOR AREA OR PART OF A FLOOR AREA HAS BEEN DESIGNED FOR AN OCCUPANT LOAD OTHER THAN THAT PRESCRIBED IN SENTENCE 2.1.2.2.(1) OR ELSEWHERE IN THIS PART, A PERMANENT SIGN INDICATING THAT OCCUPANT LOAD SHALL BE POSTED IN A CONSPICUOUS LOCATION.

2.2.3.3. DESIGN OF FIRE ALARM SYSTEMS

- (1) WHERE A FIRE ALARM SYSTEM IS REQUIRED BY SENTENCE 2.2.3.2.1(1),
(A) THE AIR-HANDLING SYSTEM, WHERE PROVIDED, SHALL BE DESIGNED TO PREVENT THE CIRCULATION OF SMOKE UNDER A SIGNAL FROM A DUCT-TYPE SMOKE DETECTOR IF THE AIR-HANDLING SYSTEM SERVES MORE THAN 1 STOREY, AND
(B) A MANUAL STATION SHALL BE INSTALLED IN EVERY FLOOR AREA NEAR EVERY EXIT.

2.2.3.4. FIRE ALARM SIGNALS

- (1) EXCEPT AS PROVIDED IN SENTENCE (3), THE FIRE ALARM SYSTEM REQUIRED BY SENTENCE 2.2.3.1.1) SHALL INCLUDE:
(A) AUDIBLE SIGNAL DEVICES CONFORMING TO SENTENCES 2.2.7.6.1) AND 2.2.7.7, 2.2.7.9, AND 3.4.6.1.1,
(B) AN AUDIBLE ALARM SIGNAL DEVICE WITH A SOUND PRESSURE LEVEL NOT LESS THAN 110 DBA INSTALLED ON THE EXTERIOR OF THE FARM BUILDING, AND
(C) VISIBLE SIGNAL DEVICES INSTALLED IN ANY FLOOR AREA IN WHICH (I) THE AMBIENT NOISE LEVEL IS MORE THAN 87 DBA,
(II) THE OCCUPANTS USE EAR PROTECTION DEVICES, OR
(III) THE OCCUPANTS ARE LOCATED IN SOUND-INSULATING ENCLOSURES.
(2) THE VISIBLE SIGNAL DEVICES REFERRED TO IN CLAUSES (1)(A) AND (B) NEED NOT BE PROVIDED IN AREAS WHERE ANIMALS ARE PRESENT, PROVIDED THAT VISIBLE SIGNAL DEVICES ARE INSTALLED IN ACCORDANCE WITH SENTENCE (2).

2.2.3.7. FIRE DETECTORS

- (1) WHERE A FIRE ALARM SYSTEM IS REQUIRED IN A FARM BUILDING IN ACCORDANCE WITH SENTENCE 2.2.3.1.1), FIRE DETECTORS SHALL BE:
(A) EXCEPT AS PROVIDED IN SENTENCE (2), INSTALLED THROUGHOUT THE FARM BUILDING, AND
(B) CONNECTED TO THE FIRE ALARM SYSTEM.
(2) THE FIRE DETECTORS REFERRED TO IN SENTENCE (1) NEED NOT BE INSTALLED WITHIN FLOOR AREAS THAT ARE SPRINKLERED.

2.2.4. PROVISIONS FOR FIRE FIGHTING

- 2.2.4.3. PORTABLE FIRE EXTINGUISHERS
(1) PORTABLE EXTINGUISHERS SHALL BE PROVIDED AND INSTALLED IN ACCORDANCE WITH THE PROVISIONS OF PART 6 OF DIVISION B OF THE FIRE CODE MADE UNDER THE FIRE PROTECTION AND PREVENTION ACT 1997.
2.2.5. EMERGENCY LIGHTING
2.2.5.1. MINIMUM LIGHTING REQUIREMENTS
(1) WHERE LIGHTING IS PROVIDED IN A FARM BUILDING, EMERGENCY LIGHTING SHALL BE PROVIDED TO AN AVERAGE LEVEL OF ILLUMINATION NOT LESS THAN 10 LX AT FLOOR OR TREAD LEVEL IN:
(A) EXITS, AND
(B) PRINCIPAL ROUTES PROVIDING ACCESS TO EXIT IN OPEN FLOOR AREAS AND IN SERVICE ROOMS.
(2) THE MINIMUM VALUE OF THE ILLUMINATION REQUIRED BY SENTENCE (1) SHALL BE:
(i) 1 LX,
(ii) 2 LX,
(iii) AN EMERGENCY POWER SUPPLY SHALL BE PROVIDED TO MAINTAIN THE EMERGENCY LIGHTING REQUIRED BY SENTENCE (1) FROM A POWER SOURCE SUCH AS BATTERIES OR GENERATORS THAT WILL CONTINUE TO SUPPLY POWER IN THE EVENT THAT THE REGULAR POWER SUPPLY TO THE FARM BUILDING IS INTERRUPTED, AND
(B) DESIGNED AND INSTALLED SUCH THAT, UPON FAILURE OF THE REGULAR POWER, IT WILL ASSUME THE ELECTRICAL LOAD AUTOMATICALLY FOR A PERIOD OF 30 MIN.

2.2.6. SAFETY WITHIN FARM BUILDINGS

- 2.2.6.1. HEADROOM CLEARANCE
(1) EXCEPT WITHIN A SERVICE SPACE, THE MINIMUM HEADROOM CLEARANCE IN EVERY ACCESS TO EXIT SHALL CONFORM TO THE REQUIREMENT OF ARTICLE 3.4.3.4. FOR EXITS.
2.2.6.5. ACCESS TO EXITS
(1) THE MINIMUM WIDTH OF AN ACCESS TO EXIT, INCLUDING OBSTRUCTIONS, SHALL BE 2'-0".
(2) A DOOR THAT OPENS INTO A FACILITY PROVIDING ACCESS TO EXIT FROM A ROOM THAT IS USED FOR A GROUP G, DIVISION 1 MAJOR OCCUPANCY, OTHER THAN ONE HOUSING LIVESTOCK WITH A BELOW-FLOOR STORAGE AREA FOR LIQUID MANURE, SHALL SWING ON A VERTICAL AXIS IN THE DIRECTION OF TRAVEL TO THE EXIT.
2.2.6.6. DOOR SWING
(1) EXCEPT AS PROVIDED IN SENTENCE (2), A DOOR THAT PROVIDES ACCESS TO EXIT FROM A ROOM SHALL:
(A) BE A SLIDING DOOR, OR
(B) SWING ON ITS VERTICAL AXIS.
(2) A DOOR THAT OPENS INTO A FACILITY PROVIDING ACCESS TO EXIT FROM A ROOM THAT IS USED FOR A GROUP G, DIVISION 1 MAJOR OCCUPANCY, OTHER THAN ONE HOUSING LIVESTOCK WITH A BELOW-FLOOR STORAGE AREA FOR LIQUID MANURE, SHALL SWING ON A VERTICAL AXIS IN THE DIRECTION OF TRAVEL TO THE EXIT.

2.2.6.7. DOORS AND DOOR HARDWARE

- (1) A DOOR THAT PROVIDES ACCESS TO EXIT FROM A ROOM SHALL PROVIDE A CLEAR OPENING OF NOT LESS THAN 2'-6" IF THERE IS ONLY ONE DOOR LEAF.
(2) IN A DOORWAY WITH MULTIPLE LEAVES, HAVE THE ACTIVE LEAF PROVIDING A CLEAR OPENING OF NOT LESS THAN 2'-6".
(3) DO NOT OPEN ONTO A STEP, AND
(4) EXCEPT AS PROVIDED IN SENTENCE (2), HAVE A THRESHOLD NOT MORE THAN 1/2" HIGHER THAN THE SURROUNDING FINISHED FLOOR SURFACE.
(2) THE DOOR REFERRED TO IN SENTENCE (1) IS PERMITTED TO HAVE A THRESHOLD NOT MORE THAN 4" HIGHER THAN THE SURROUNDING FINISHED FLOOR SURFACE, WHERE THE THRESHOLD IS USED TO CONFINE:
(A) THE SPILLAGE OF LIQUIDS CLASSIFIED AS DANGEROUS GOODS WITHIN A ROOM, OR
(B) ANIMAL LITTER WITHIN AN ANIMAL CONTAINMENT AREA.
(3) DOOR RELEASE HARDWARE SHALL CONFORM TO ARTICLE 2.2.7.8.

2.2.6.8. RAMP AND STAIRWAYS

- (1) EXCEPT AS PERMITTED BY SENTENCE (3), RAMPS AND STAIRWAYS THAT DO NOT SERVE AS EXITS SHALL:
(A) BE NOT LESS THAN 2'-6" WIDE, AND
(B) CONFORM TO ARTICLES 3.3.1.16., 3.4.3.4., 3.4.6.1., 3.4.6.8. AND 3.4.6.9.
(2) EXCEPT AS PERMITTED BY SENTENCE (3), THE MAXIMUM SLOPE OF A RAMP SHALL BE 1 IN 6.
(3) RAMPS AND STAIRWAYS NEED NOT COMPLY WITH SENTENCES (1) AND (2), PROVIDED:
(A) THEY ARE INTENDED ONLY:
(i) FOR OCCASIONAL USE FOR SERVICING EQUIPMENT AND MACHINERY, OR
(ii) FOR USE AS ANIMAL HANDLING RAMPS, AND
(B) THEY DO NOT SERVE AS EXITS.

2.2.6.10. GUARDS

- (1) EXCEPT AS PROVIDED IN SENTENCE (3), A GROUP NOT LESS THAN 3'-6" HIGH SHALL BE PROVIDED TO PROTECT FROM ADJACENT SPACES IN THE BUILDING, OTHER THAN ADJACENT CONCEALED SPACES WITHIN ATTIC OR ROOF SPACES, CRAWL SPACES, AND WALL AND CEILING ASSEMBLIES.
(A) BY ONE OF THE INTERIOR FINISHES DESCRIBED IN SUBSECTIONS 9.29.4.1, 9.29.9, AND 9.29.9.1.
(B) PROVIDED THE FINISHES DOES NOT CONTAIN A GROUP A, GROUP B OR GROUP C MAJOR OCCUPANCY, BY SHEET METAL
(ii) MECHANICALLY FASTENED TO THE SUPPORTING ASSEMBLY INDEPENDENT OF THE FINISHING.
(iii) NOT LESS THAN 0.38mm THICK, AND
(2) WITH A MELTING POINT NOT BELOW 650°C, OR
(C) ANY THERMAL BARRIER THAT MEETS THE REQUIREMENTS OF SENTENCE 3.1.5.15(2).

2.2.6.11. SIGNAGE

- (1) WARNING SIGNS SHALL BE INSTALLED IN ACCORDANCE WITH SUBSECTION 2.14.2. OF THE NRCC-DNST-56437E 2020 "NATIONAL FIRE CODE OF CANADA".

2.2.7. EXITS

- 2.2.7.1. EXIT FACILITIES
(1) EXIT FACILITIES COMPLYING WITH THIS SUBSECTION SHALL BE PROVIDED FROM EVERY FLOOR AREA CONTAINING A GROUP G, DIVISION 1, 2 OR 3 MAJOR OCCUPANCY.

2.2.7.2. TYPES OF EXITS

- (1) AN EXIT FROM ANY FLOOR AREA SHALL BE ONE OF THE FOLLOWING:
(A) AN EXTERIOR DOORWAY CONFORMING TO SENTENCES 2.2.7.6.(1) AND (2) AND ARTICLES 2.2.7.7, 2.2.7.9, AND 3.4.6.1.1,
(B) AN OPERABLE WINDOW OR PANEL CONFORMING TO SENTENCE 2.2.7.6.(3), OR
(C) AN EXIT FACILITY LISTED IN ARTICLE 3.4.1.4. THAT CONFORMS TO ARTICLES 3.1.4.5., 3.4.1.16. AND 3.4.6.10., SENTENCE 3.4.2.2.(1) AND SUBSECTION 3.4.4.

2.2.7.3. MINIMUM NUMBER OF EXITS

- (1) EXCEPT AS PROVIDED BY SENTENCES (2) AND (3), EVERY FLOOR AREA SHALL BE SERVED BY AT LEAST 2 EXITS.

2.2.7.4. DISTANCE BETWEEN EXITS

- (1) THE MINIMUM DISTANCE BETWEEN 2 EXITS FROM A FLOOR AREA SHALL BE ONE HALF THE MAXIMUM DIAGONAL DIMENSION OF THE FLOOR AREA.

2.2.7.5. WIDTH AND HEIGHT OF EXITS

- (1) THE MINIMUM CLEAR WIDTH OF AN EXTERIOR DOORWAY USED AS AN EXIT SHALL BE 2'-6".
(2) DOORWAYS AS PROVIDED IN SENTENCE (3), THE MINIMUM HEADROOM CLEARANCE IN EVERY EXIT SHALL CONFORM TO ARTICLE 3.4.3.4.
(3) AN OPERABLE WINDOW OR PANEL USED AS AN EXIT SHALL HAVE:
(A) AN OPENING NOT LESS THAN 36" BY 22", AND
(B) A FIRE ESCAPE OR STAIR, WHERE REQUIRED BY ARTICLE 2.2.7.9.

2.2.7.7. DIRECTION OF EXIT DOOR SWING

- (1) EXCEPT AS PERMITTED BY SENTENCE (2), EVERY EXIT DOOR SHALL:
(A) OPEN IN THE DIRECTION OF EXIT TRAVEL, AND
(B) SWING ON ITS VERTICAL AXIS.
(2) EXIT DOORS THAT SERVE A GROUP G, DIVISION 2 MAJOR OCCUPANCY HOUSING ANIMALS NEED NOT CONFORM TO CLAUSE (1)(A).

2.2.7.9. EXIT STAIRS AND FIRE ESCAPES

- (1) WHERE AN EXTERIOR DOORWAY USED AS AN EXIT IS MORE THAN 12' ABOVE ADJACENT GROUND LEVEL, A STAIR OR FIRE ESCAPE SHALL BE PROVIDED.
(2) WHERE THE BOTTOM OF AN OPERABLE WINDOW OR PANEL USED AS AN EXIT IS MORE THAN 8'-2" ABOVE ADJACENT GROUND LEVEL, A STAIR OR FIRE ESCAPE SHALL BE PROVIDED.
(3) FIRE ESCAPE REQUIRED BY SENTENCE (1) AND (2) SHALL CONFORM TO ARTICLES 3.4.7.2. AND 3.4.7.4. TO 3.4.7.7.
(4) EXIT STAIR SHALL CONFORM TO CLAUSE 3.4.6.1.(1)(A) AND ARTICLES 3.4.6.3. TO 3.4.6.6. AND 3.4.6.8.
(5) THE MINIMUM WIDTH OF EXIT STAIRS SHALL BE 36".

2.2.7.10. EXIT SIGNS

- (1) FARM BUILDINGS SHALL COMPLY WITH THE REQUIREMENTS FOR EXIT SIGNS STATED IN SUBSECTION 3.4.5.

2.2.8. HAZARDOUS SUBSTANCES, PROCESSES AND EQUIPMENT

- 2.2.8.3. BELOW-FLOOR STORAGE AREAS FOR LIQUID MANURE
(1) FARM BUILDINGS HOUSING LIVESTOCK WITH A BELOW-FLOOR STORAGE AREA FOR LIQUID MANURE SHALL BE PROVIDED WITH A VENTILATION SYSTEM CONFORMING TO SUBSECTION 2.4.2.
2.2.8.4. WELDING AND CUTTING
(1) EXCEPT AS PROVIDED IN SENTENCE (2), WELDING AND CUTTING OPERATIONS SHALL BE CARRIED OUT IN A ROOM CONFORMING TO SENTENCE 3.3.1.26.(11).
(2) SENTENCE (1) NEED NOT APPLY TO AGRICULTURAL OCCUPANCIES WHERE THE WELDING AND CUTTING OPERATIONS DO NOT PRESENT A FIRE OR EXPLOSION HAZARD TO ADJACENT AREAS.

2.2.8.5. LIQUID MANURE STORAGE TANKS AND PIPING SYSTEMS

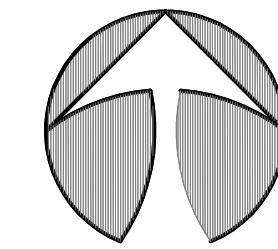
- (1) THIS ARTICLE DOES NOT APPLY TO BELOW-FLOOR STORAGE AREAS FOR LIQUID MANURE.
(2) ACCESS COVERS FOR LIQUID MANURE STORAGE TANKS SHALL BE DESIGNED IN ACCORDANCE WITH SECTION 2.3. TO SUPPORT THE IMPOSED LOADS.
(3) ACCESS COVERS FOR LIQUID MANURE STORAGE TANKS THAT WEIGH LESS THAN 44LBS SHALL BE EQUIPPED WITH LOCKING DEVICES.
(4) LOADERS SHALL NOT BE INSTALLED ON CLOSED LIQUID MANURE STORAGE TANKS.
(5) LIQUID MANURE STORAGE TANKS WITHOUT A COVER THAT ARE LOCATED OUTDOORS SHALL BE SURROUNDED BY A PERMANENT SAFETY FENCE OR WALL THAT:
(A) EXTENDS NOT LESS THAN 5'-0" ABOVE ADJACENT GROUND LEVEL, AND
(B) IS ADEQUATELY SECURED AT GROUND LEVEL, AND
(C) HAS GATES WITH LATCHES.
(6) WHERE AN ACCESS POINT FOR FILLING, AGITATION, EMPTYING OR A SIMILAR OPERATION IS PROVIDED FOR A LIQUID MANURE STORAGE TANK DESCRIBED IN SENTENCE (5), A CURB OR BARRIER SHALL BE INSTALLED BETWEEN THE ACCESS POINT AND THE STORAGE TANK THAT IS:
(A) NOT LESS THAN 1'-6" HIGH, OR
(B) OF SUFFICIENT HEIGHT TO PREVENT UNINTENDED VEHICLE ENTRY.

2.2.8.6. GAS TRAPS OR VALVES

- (1) EXCEPT AS PERMITTED BY SENTENCE (2), WHERE STORAGE TANKS FOR LIQUIDS CAPABLE OF RELEASING HAZARDOUS GASES OR VAPOURS ARE CONNECTED TO A FARM BUILDING BY A PIPING SYSTEM, A GAS TRAP OR VALVE SHALL BE INSTALLED IN THE PIPING SYSTEM TO PREVENT SUCH GASES OR VAPOURS FROM ENTERING THE FARM BUILDING.
(2) WHERE STORAGE TANKS FOR LIQUID MANURE ARE CONNECTED TO A FARM BUILDING BY A PIPING SYSTEM, A PULL PLUG IS PERMITTED TO BE INSTALLED IN THE PIPING SYSTEM TO PREVENT HAZARDOUS GASES AND VAPOURS FROM ENTERING THE FARM BUILDING.
2.2.8.7. DANGEROUS GOODS STORAGE
(1) THE STORAGE OF DANGEROUS GOODS IN PACKAGES OR CONTAINERS IN FARM BUILDING OR PART OF FARM BUILDING SHALL COMPLY WITH PART 5 AND 4 OF DIVISIONS B OF NRCC-DNST-56437E 2020, "NATIONAL FIRE CODE OF CANADA".

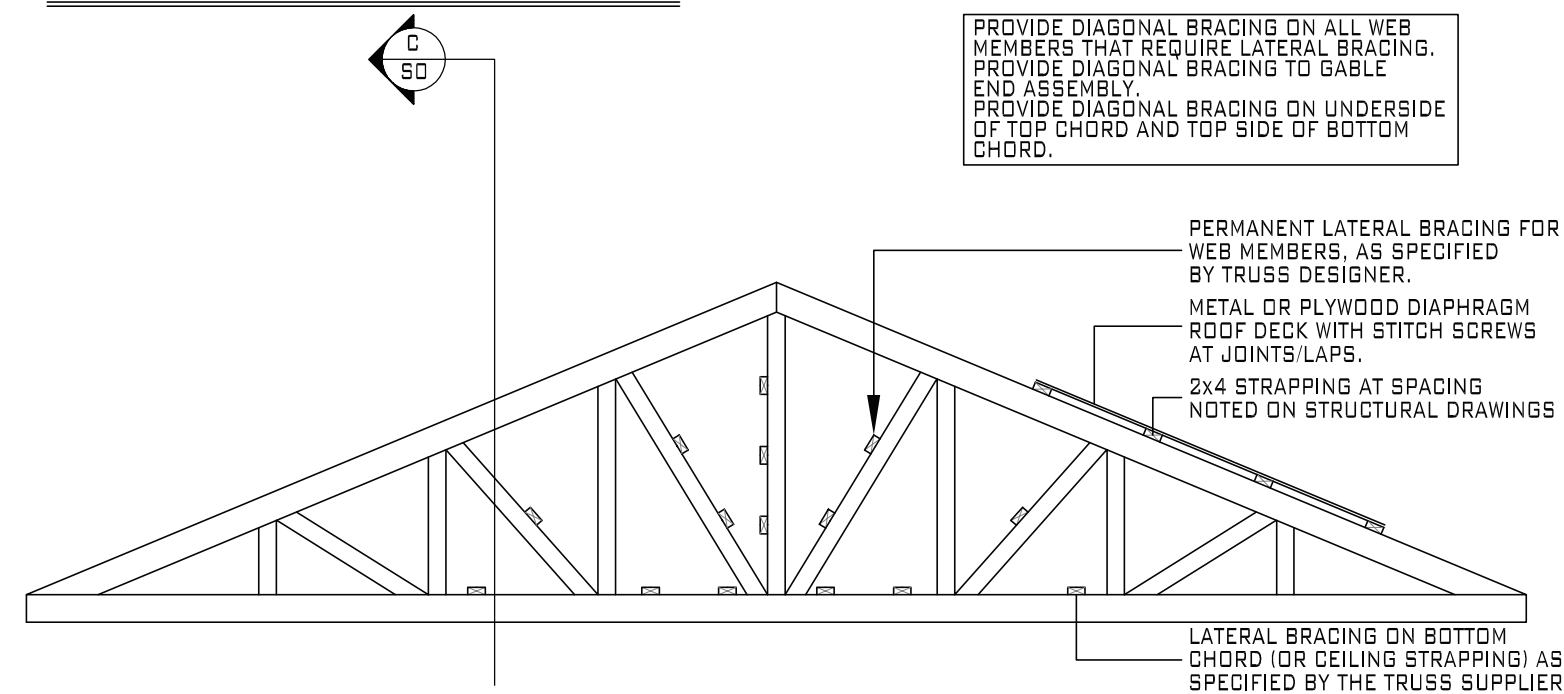
2.3. STRUCTURAL LOADS AND PROCEDURES

- 2.3.2. LIQUID MANURE STORAGE TANKS
(0.1) LIQUID MANURE STORAGE TANKS SHALL BE CONSTRUCTED OF STEEL, REINFORCED CONCRETE OR PRESTRESSED CONCRETE.
2.4. HEATING, VENTILATION AND AIR-CONDITIONING
2.4.1.1. APPLICATION
(1) EXCEPT AS PROVIDED IN SENTENCES (2), AND EXCEPT AS OTHERWISE PROVIDED IN THIS SECTION, SYSTEMS AND EQUIPMENT FOR HEATING, VENTILATION AND AIR-CONDITIONING SERVICES IN FARM BUILDINGS SHALL CONFORM TO PART 6.
(

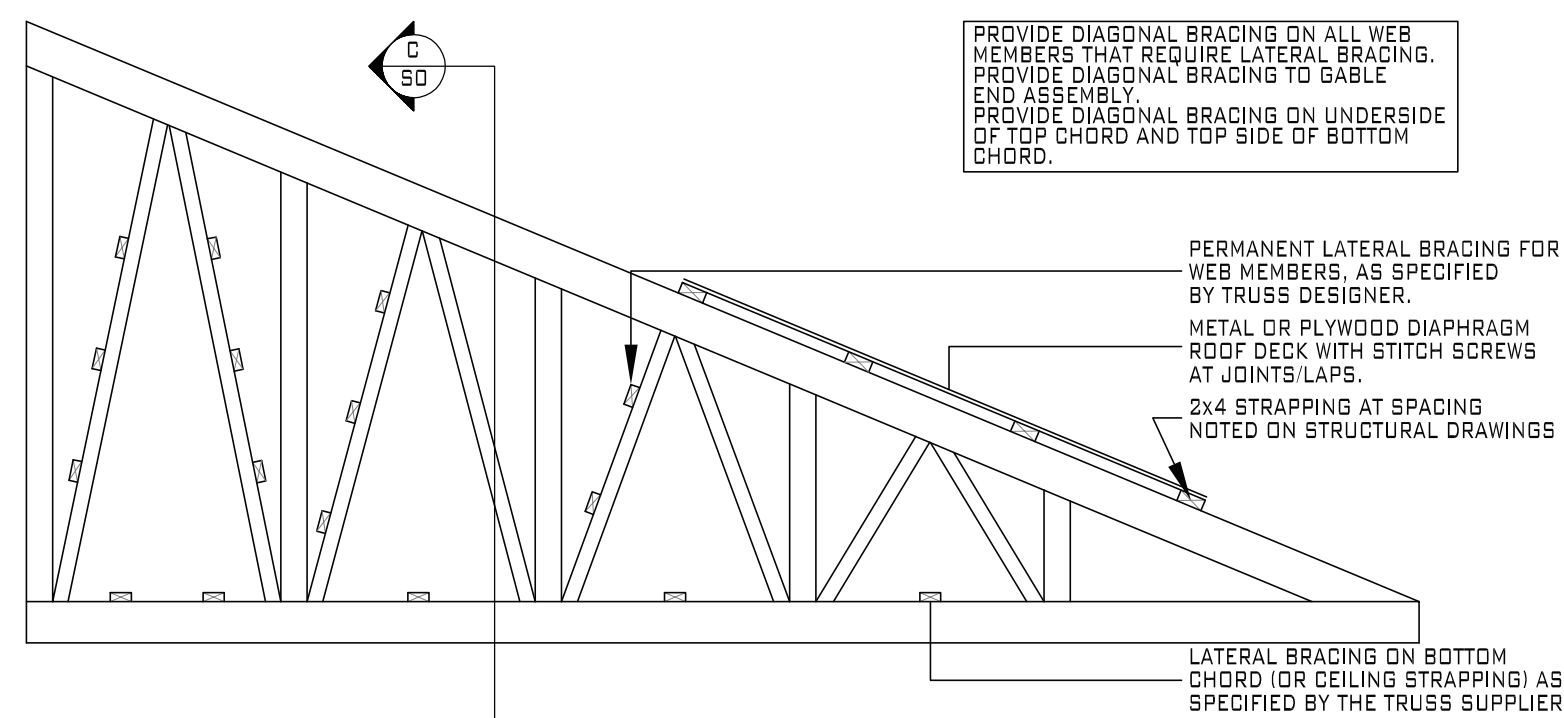


CONSTRUCTION NORTH

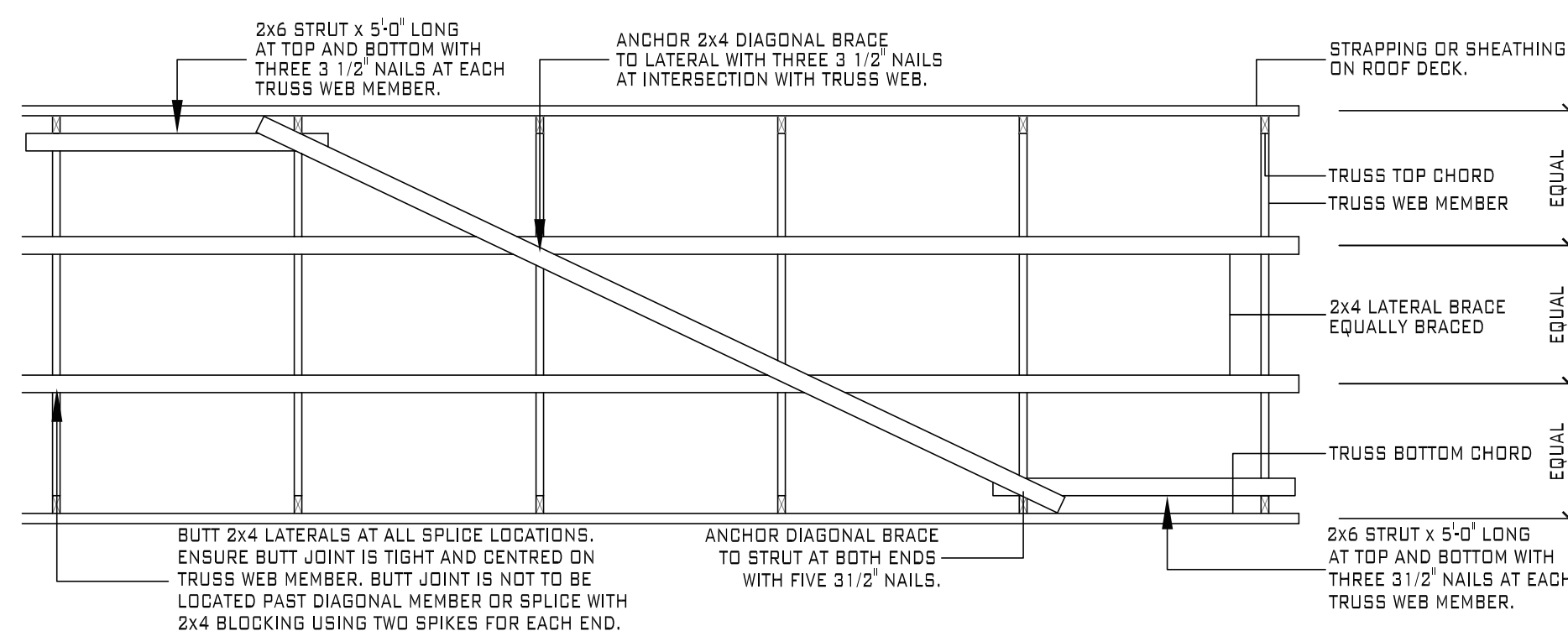
GENERAL TRUSS BRACING NOTES:



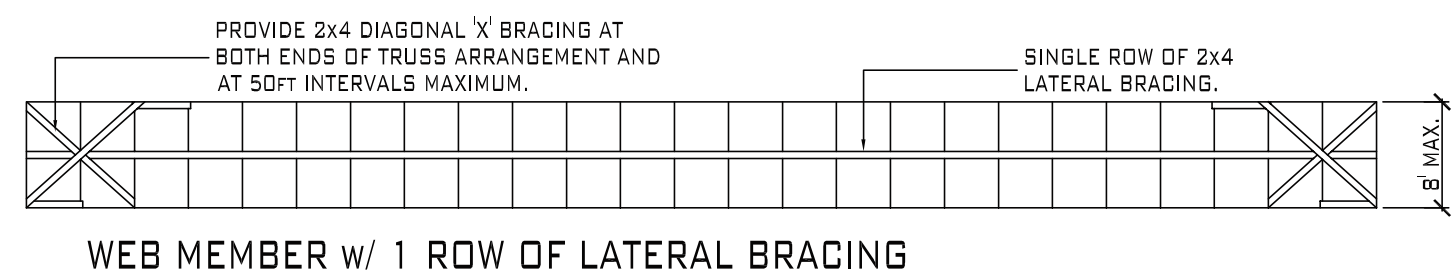
TYPICAL TRUSS



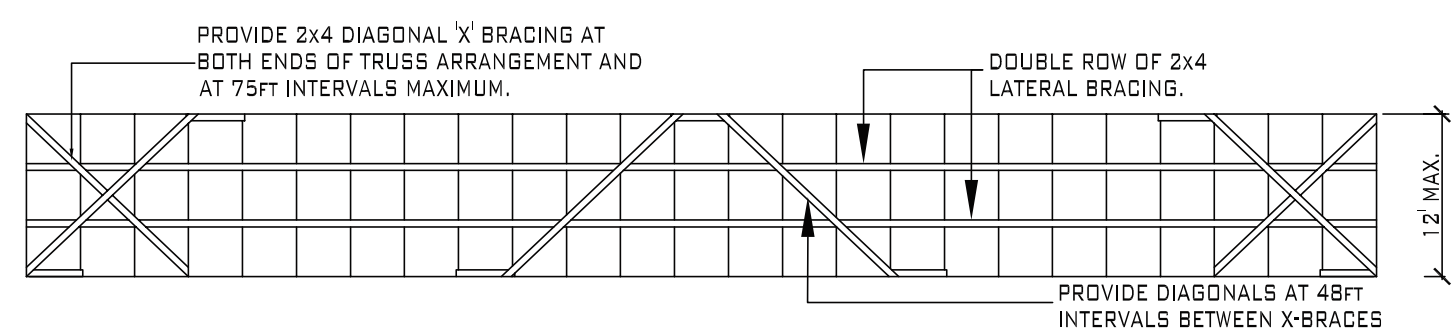
TYPICAL MONO TRUSS



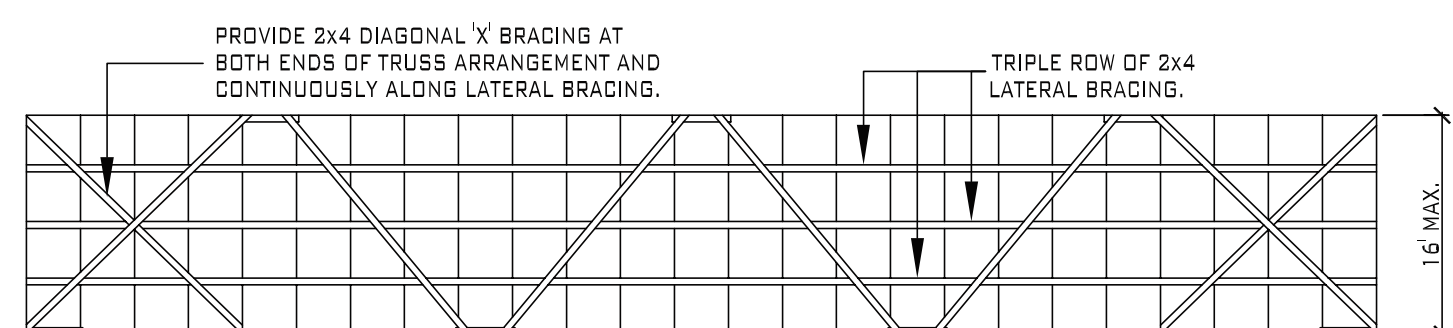
TYPICAL CONNECTION DETAIL



WEB MEMBER W/ 1 ROW OF LATERAL BRACING



WEB MEMBER W/ 2 ROWS OF LATERAL BRACING



WEB MEMBER W/ 3 ROWS OF LATERAL BRACING

TRUSS BRACING AS DETAILED ON THIS SHEET IS RECOMMENDED AS A GUIDELINE ONLY AND ARE NOT INTENDED TO REPLACE PROPERLY DETAILED TRUSS SHOP DRAWINGS

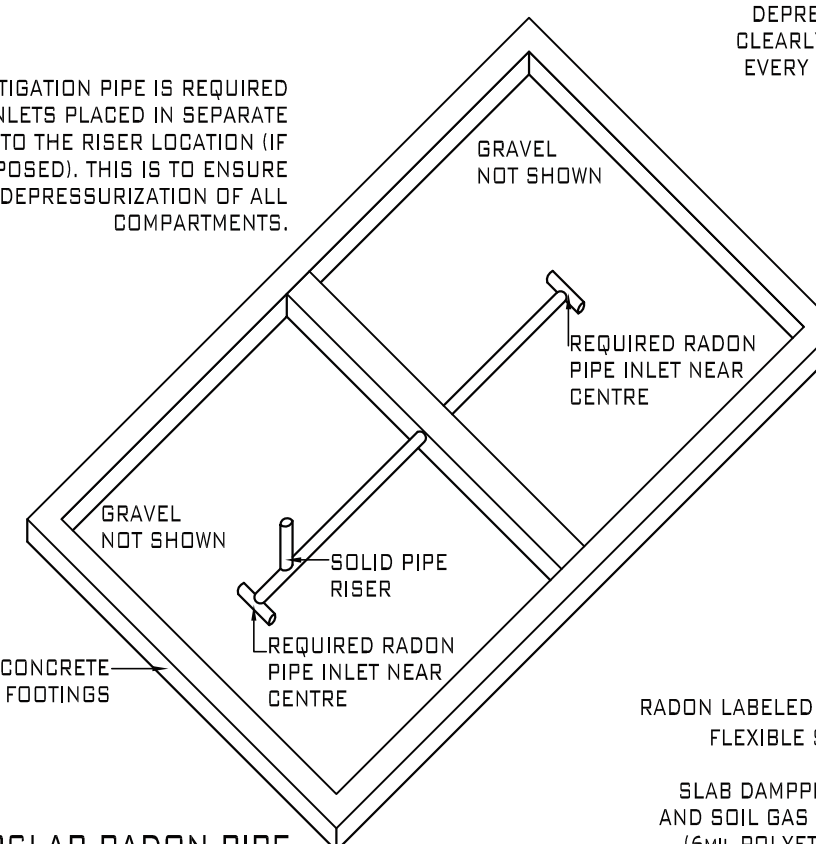
TRUSS DESIGN LOADS

TRUSSES SHALL BE DESIGNED IN ACCORDANCE WITH THE ONTARIO BUILDING CODE AND CERTIFIED BY A PROFESSIONAL ENGINEER. UNBALANCED LOAD CONDITIONS SHALL BE INCLUDED IN THE TRUSS DESIGN. USE C = 1.0 (NON-WINDSWEEP) UNLESS OTHERWISE NOTED. TRUSS DESIGNER TO ACCOUNT FOR INCREASED SNOW LOADS DUE TO ROOF VALLEYS AND SNOW SHADOWS. THE TRUSS SUPPLIER SHALL VISIT THE JOB SITE TO VERIFY ALL SNOW SHADOW CONDITIONS AND BUILDING DIMENSIONS ALONG WITH ALL ERECTION DETAILS. TRUSSES SHALL BE DESIGNED FOR A MINIMUM TOP CHORD DEAD LOAD OF 4 PSF AND A BOTTOM CHORD DEAD LOAD OF 7 PSF UNLESS OTHERWISE NOTED ON THE STRUCTURAL DRAWINGS. REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL LOADS. TRUSS SHOP DRAWINGS SHALL BE PROVIDED TO THE ENGINEER FOR REVIEW PRIOR TO FABRICATION. DESIGN LOADS AND ASSUMPTIONS SHALL BE NOTED ON THE SHOP DRAWINGS. THE TRUSS SUPPLIER OR GENERAL CONTRACTOR SHALL SUBMIT ORIGINAL DRAWINGS TO THE ENGINEER DIRECTLY. FAXED COPIES ARE NOT ACCEPTABLE.

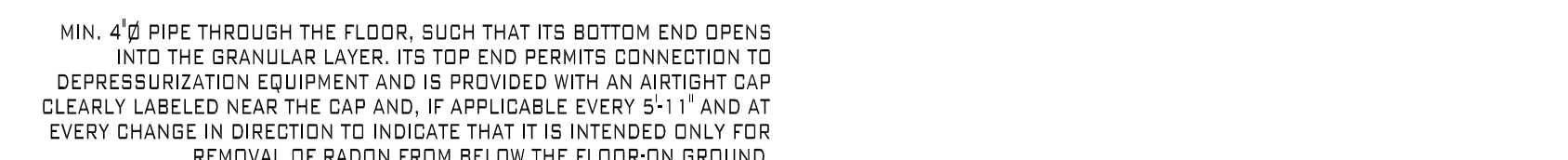
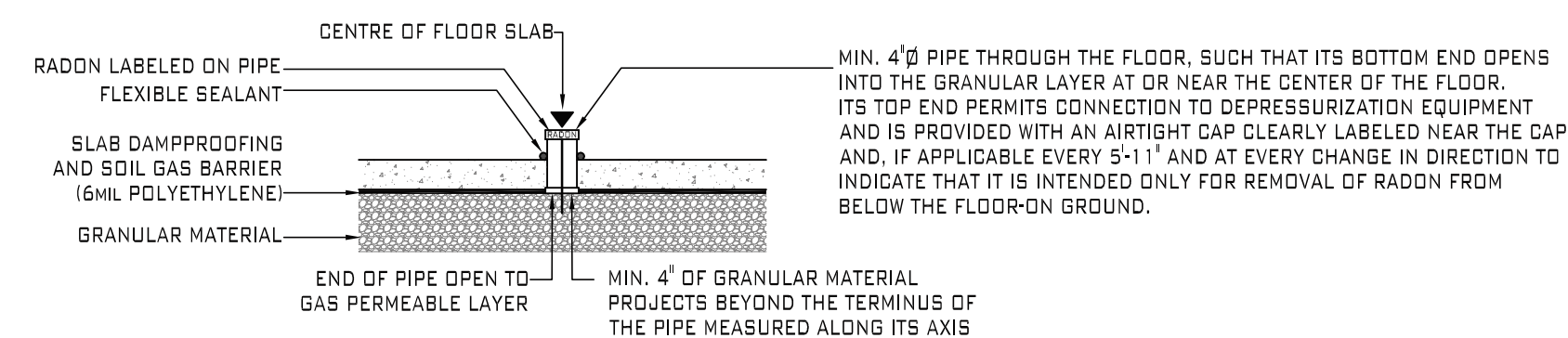
BRACING NOTES:

- 1. PERMANENT LATERAL BRACING TO BE INSTALLED ON WEB MEMBERS AS INDICATED BY TRUSS DESIGNER. SIZE AND LOCATION OF LATERAL BRACES, AND CONNECTIONS TO WEB MEMBERS BY TRUSS DESIGNER.
2. CONTRACTOR TO PROVIDE ALL REQUIRED TEMPORARY BRACING OF TRUSSES INDICATED BY AND TRUSS MEMBERS DURING CONSTRUCTION.
3. CONTRACTOR TO NOTIFY ENGINEER AND TRUSS SUPPLIER OF ANY TRUSS DEFICIENCIES SUCH AS DAMAGED OR BROKEN TRUSSES, WARPING OF TRUSS MEMBERS, AND MISSING OR OFFSET TRUSS PLATES.
4. DIAGONAL BRACING MUST BE PROVIDED ON ALL WEB MEMBERS THAT REQUIRE LATERAL BRACING. DIAGONAL BRACING SHALL BE LOCATED AT EACH END OF THE TRUSS ASSEMBLY AND SPACED AS NOTED ON THE ATTACHED DRAWINGS, AND X-BRACING SHALL BE PROVIDED AT 100'-0" INTERVALS UNLESS NOTED OTHERWISE.
5. PROVIDE DIAGONAL BRACING AT ALL DISCONTINUITIES IN LATERAL BRACING SUCH AS WHERE TRUSS TYPES CHANGE.
6. THE TRUSS MANUFACTURER SHALL DESIGN THE TRUSSES FOR THE BRACING NOTED. NO ADDITIONAL BRACING WILL BE INSTALLED UNLESS WRITTEN NOTICE IS PROVIDED TO THE ENGINEER BY THE TRUSS MANUFACTURER.
7. THE CONTRACTOR AND THE TRUSS SUPPLIER SHALL ENSURE TRUSS SHOP DRAWINGS ARE SUBMITTED TO THE ENGINEER FOR REVIEW PRIOR TO FABRICATION. THE CONTRACTOR SHALL REVIEW THE TRUSS SHOP DRAWINGS PRIOR TO SUBMITTING THEM TO THE ENGINEER.

SOLID RADON MITIGATION PIPE IS REQUIRED BETWEEN INLETS PLACED IN SEPARATE COMPARTMENTS TO THE RISER LOCATION (IF ONE RISER IS PROPOSED). THIS IS TO ENSURE EFFECTIVE DEPRESSURIZATION OF ALL COMPARTMENTS.



UNDERSLAB RADON PIPE SCALE: NOT TO SCALE

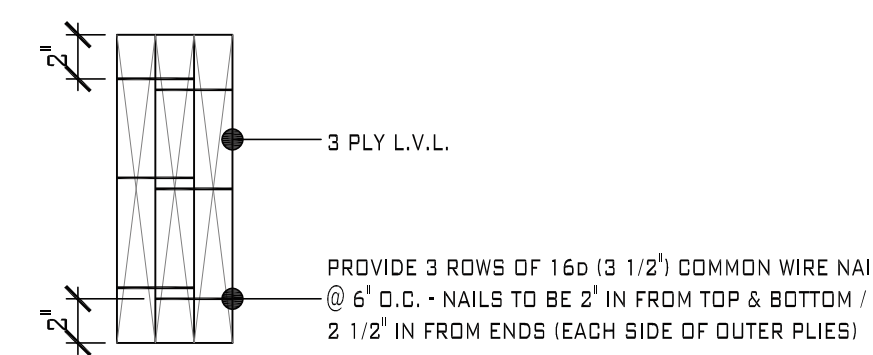


SUBFLOOR DEPRESSURIZATION SYSTEM DETAILS

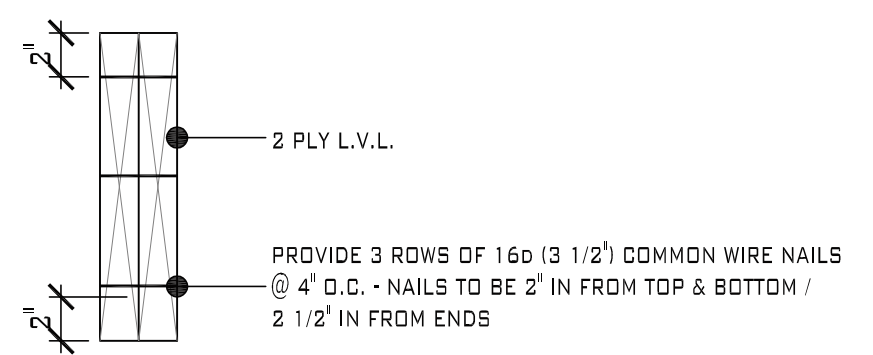
SCALE: NOT TO SCALE
9.1.1.7. RADON
(1) IN ADDITION TO ALL OTHER REQUIREMENTS, A BUILDING IN THE FOLLOWING DESIGNATED AREAS SHALL BE DESIGNED AND CONSTRUCTED SO THAT THE ANNUAL AVERAGE CONCENTRATION OF RADON 222 DOES NOT EXCEED 200 Bq/m3 IF AIR AND THE ANNUAL AVERAGE CONCENTRATION OF THE SHORT LIVED DAUGHTERS OF RADON 222 DOES NOT EXCEED 0.02 WORKING LEVEL INSIDE THE BUILDING FOR:
(A) THE CITY OF ELLIOT LAKE IN THE TERRITORIAL DISTRICT OF ALGOMA,
(B) THE TOWNSHIP OF FARAGAY IN THE COUNTY OF HASTINGS, AND
(C) THE GEOGRAPHIC TOWNSHIP OF HYMAN IN THE TERRITORIAL DISTRICT OF SUDBURY, OR
(D) AS PER DIRECTION OF LOCAL MUNICIPALITY



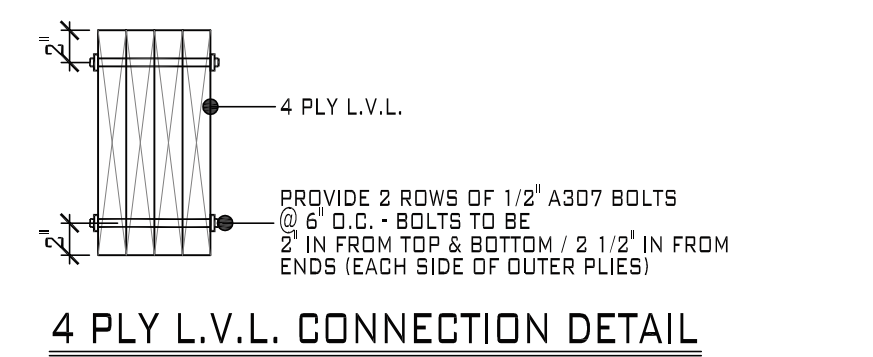
STEPPED FOOTING DETAIL SCALE: N.T.S.



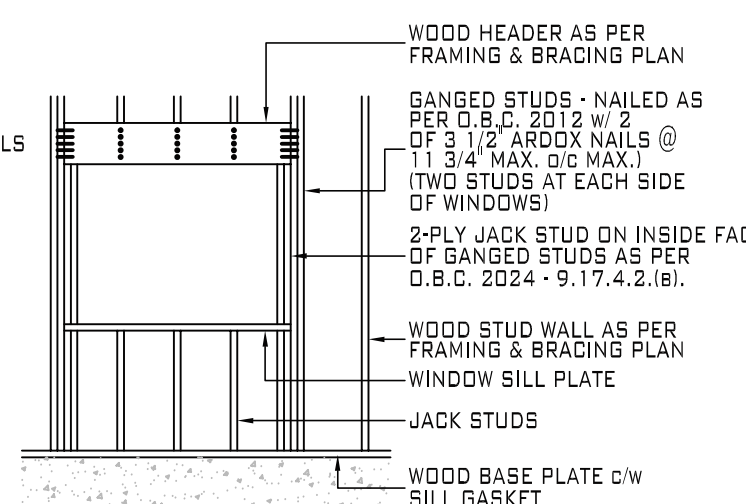
NAILING PATTERN FOR 3 PLY L.V.L. SCALE: N.T.S.



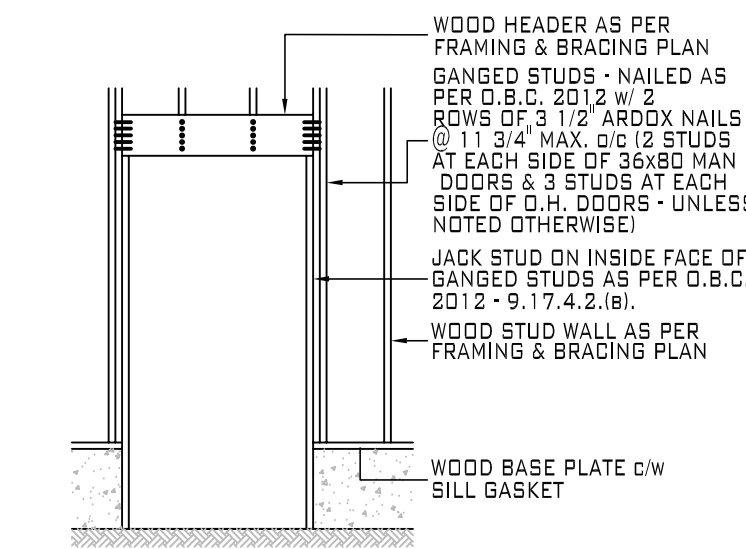
NAILING PATTERN FOR 2 PLY L.V.L. SCALE: N.T.S.



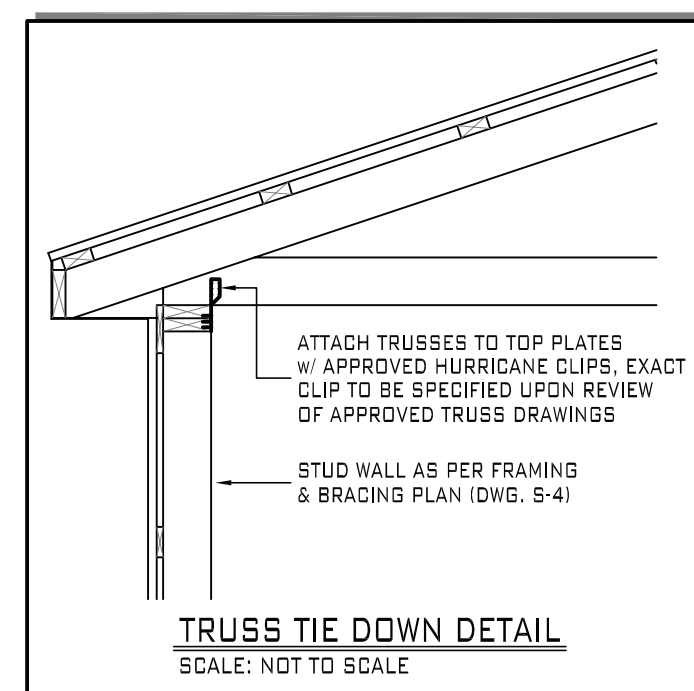
4 PLY L.V.L. CONNECTION DETAIL SCALE: N.T.S.



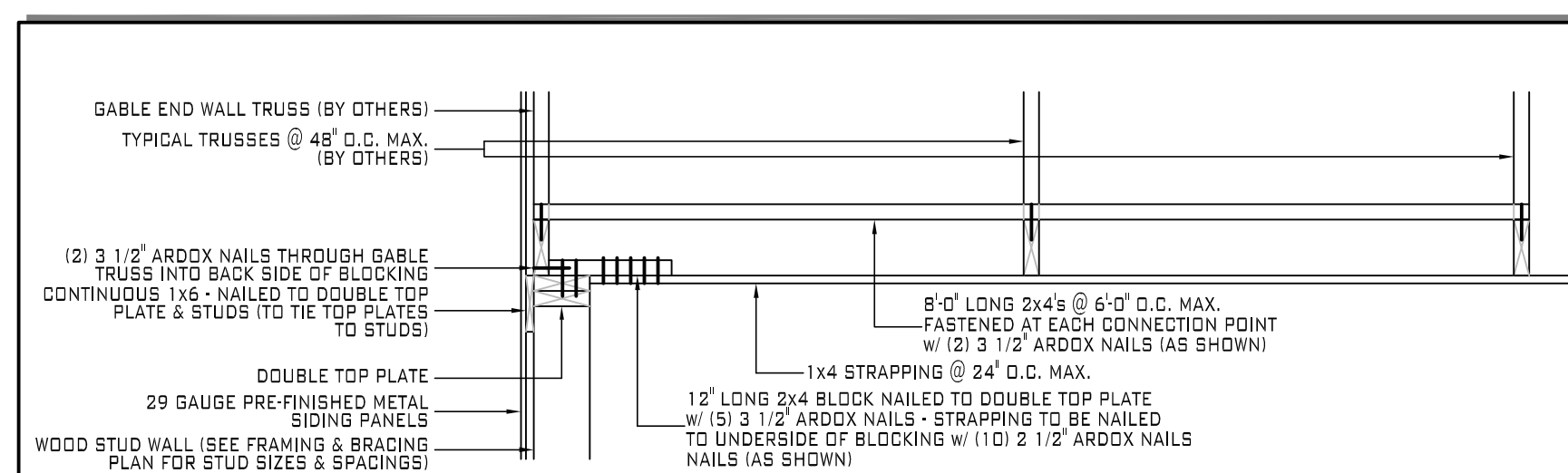
WINDOW FRAMING DETAIL SCALE: NOT TO SCALE



DOOR FRAMING DETAIL SCALE: NOT TO SCALE



TRUSS TIE DOWN DETAIL SCALE: NOT TO SCALE



GABLE END TRUSS TIE DOWN DETAIL SCALE: N.T.S.

MUNICIPALITY: NORFOLK COUNTY GILBERTSON ADMINISTRATION BUILDING 12 GILBERTSON DRIVE SIMCOE, ONTARIO N3Y 3N3 PHONE: 519-426-5870

CONSTRUCTED BY:

WOLF HOMES INC. 415 10TH CONCESSION ROAD, LANGTON, ONTARIO NOE 1G0 Tel: 519-403-5251 EMAIL: WOLFHOMES20@GMAIL.COM

DESIGNED BY:

girard ENGINEERING 2478153 ONTARIO INC. 682 PEEL SREET WOODSTOCK ON, N4S 1L3 TEL: 1-519-879-6875 EMAIL: INFO@GIRARDENGINEERING.CA

APPROVED BY:



NOTE: THESE DRAWINGS ARE THE PROPERTY OF THE ENGINEER AND ARE NOT VALID UNLESS SEALED WITH RED INK. THESE DRAWINGS ARE NOT TO BE REPRODUCED UNLESS AUTHORIZED BY THE ENGINEER.

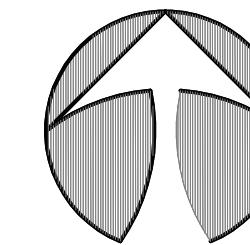
DESIGNED FOR:

CANAMEX GROCERIES JOHN FRIESEN 8 NORFOLK COUNTY ROAD 21 LANGTON, ONTARIO, NOE 1G0

PROPOSED UNHEATED STORAGE ADDITION

DETAILS

Table with project information: SCALE: 1/4" = 1'-0", DATE: JUNE 9, 2025, DRAWING NO: S-2, PROJECT NO: 25-063



CONSTRUCTION NORTH

MUNICIPALITY:
NORFOLK COUNTY
GILBERTSON ADMINISTRATION BUILDING
12 GILBERTSON DRIVE
SIMCOE, ONTARIO N3Y 3N3
PHONE: 519-426-5870

CONSTRUCTED BY:
WOLF HOMES INC.
415 10TH CONCESSION ROAD,
LANGTON, ONTARIO NOE 1G0
TEL: 519-403-5251
EMAIL: WOLFHOMES20@GMAIL.COM

DESIGNED BY:
girard
ENGINEERING
2478153 ONTARIO INC.
682 PEEL SREET
WOODSTOCK ON, N4S 1L3
TEL: 1-519-879-6875
EMAIL: INFO@GIRARDENGINEERING.CA

APPROVED BY:



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DESIGNED FOR:

CANAMEX GROCERIES
JOHN FRIESEN
8 NORFOLK COUNTY ROAD 21
LANGTON, ONTARIO, NOE 1G0

PROPOSED UNHEATED
STORAGE ADDITION

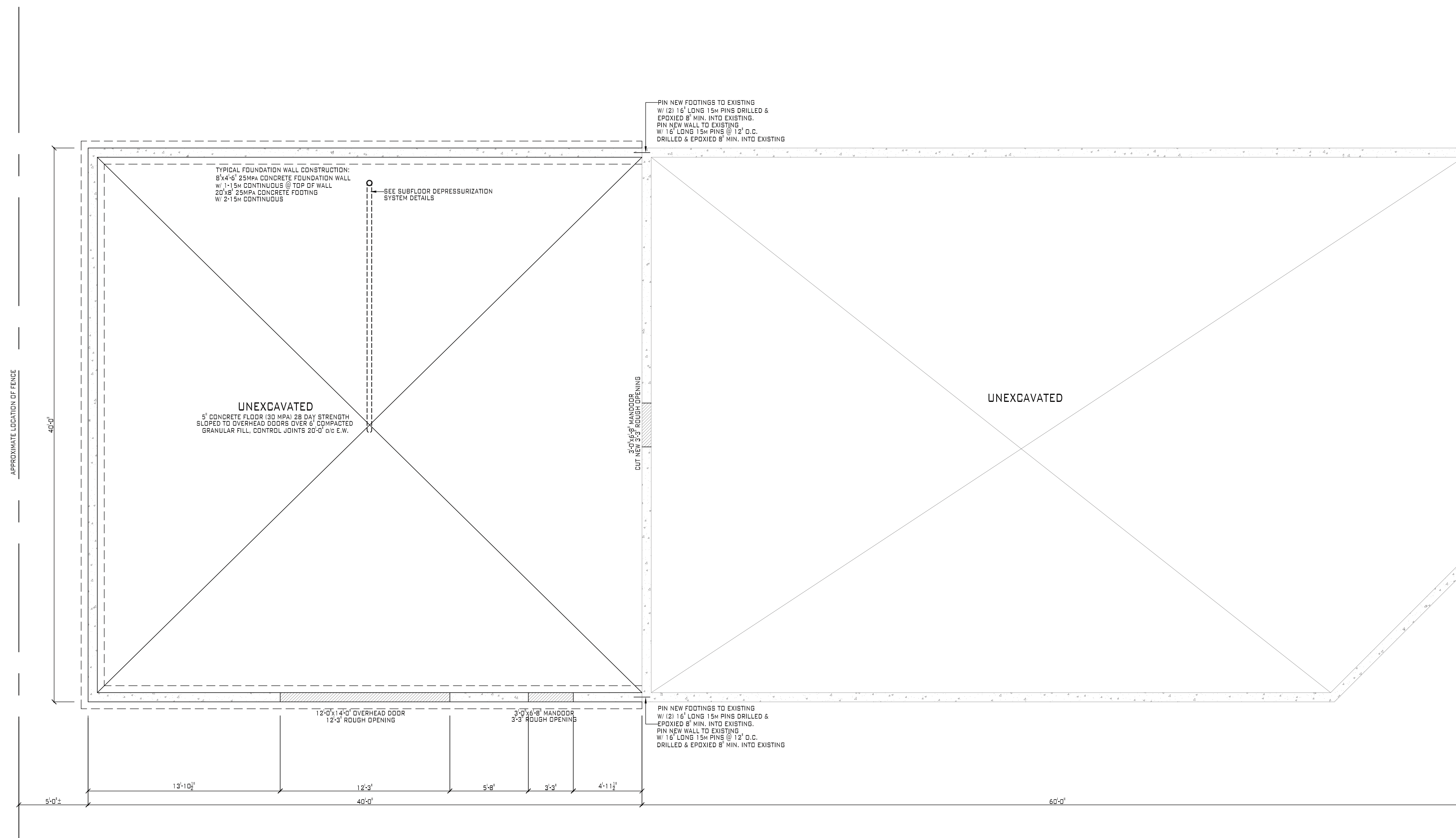
FOUNDATION PLAN

SCALE: 1/4" = 1'-0"
DATE: JUNE 9, 2025
DRAWING BY: T. STREATCH
DESIGNED/CHECKED BY: M. VASANTHA

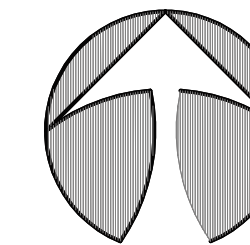
DRAWING NO:

S-3

PROJECT NO: 25-063



FOUNDATION PLAN
SCALE: 1/4" = 1'-0"



CONSTRUCTION NORTH

MUNICIPALITY:
NORFOLK COUNTY
GILBERTSON ADMINISTRATION BUILDING
12 GILBERTSON DRIVE
SIMCOE, ONTARIO N3Y 3N3
PHONE: 519-426-5870

CONSTRUCTED BY:
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LANGTON, ONTARIO NOE 1G0
TEL: 519-403-5251
EMAIL: WOLFHOMES20@GMAIL.COM

DESIGNED BY:
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DESIGNED FOR:

CANAMEX GROCERIES
JOHN FRIESEN
8 NORFOLK COUNTY ROAD 21
LANGTON, ONTARIO, NOE 1G0

PROPOSED UNHEATED
STORAGE ADDITION

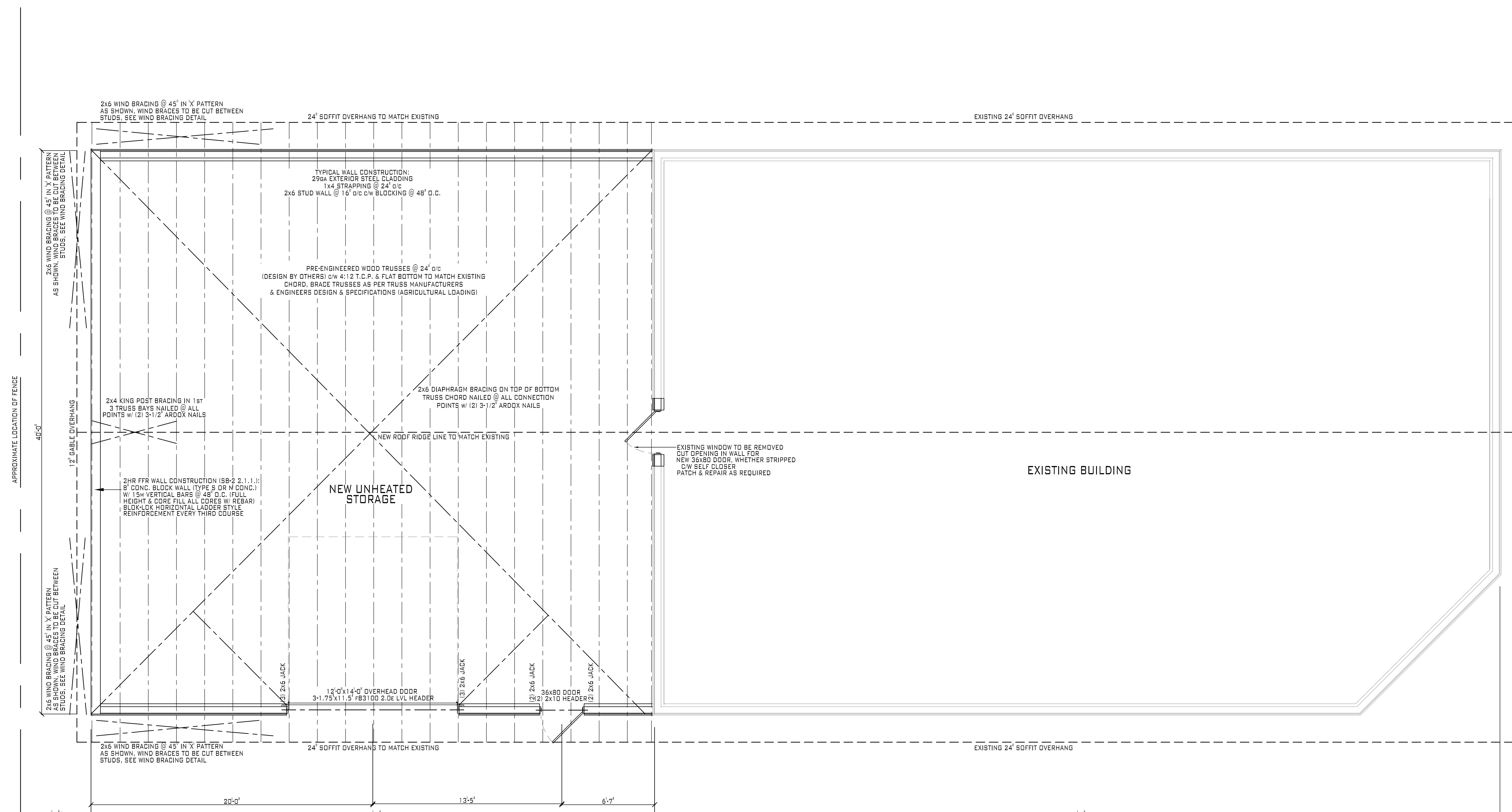
FRAMING PLAN

SCALE: 1/4" = 1'-0"
DATE: JUNE 9, 2025
DRAWING BY: T. STREATH
DESIGNED/CHECKED BY: M. VASANTHA

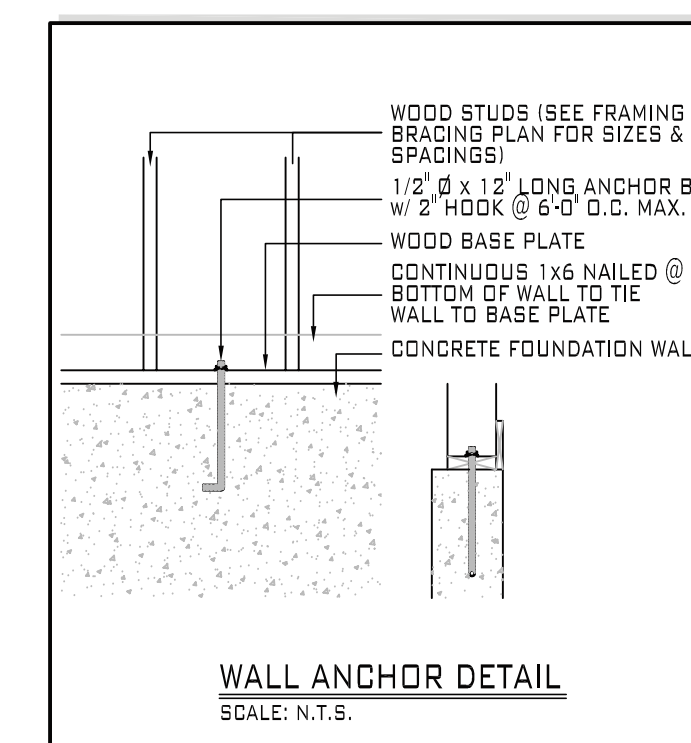
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S-4

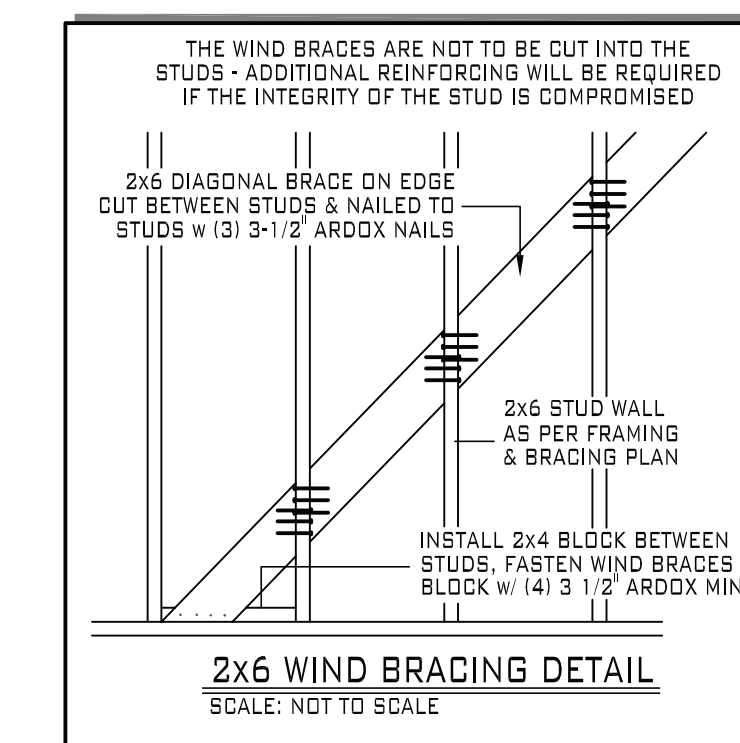
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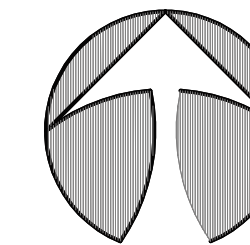
FRAMING PLAN
SCALE: 1/4" = 1'-0"



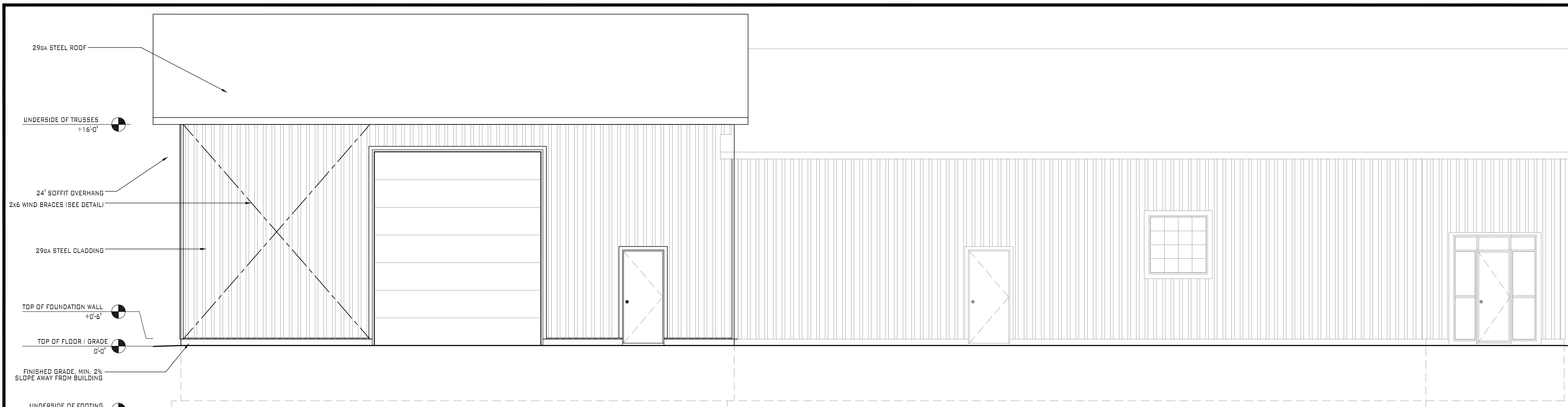
WALL ANCHOR DETAIL
SCALE: N.T.S.



2x6 WIND BRACING DETAIL
SCALE: NOT TO SCALE

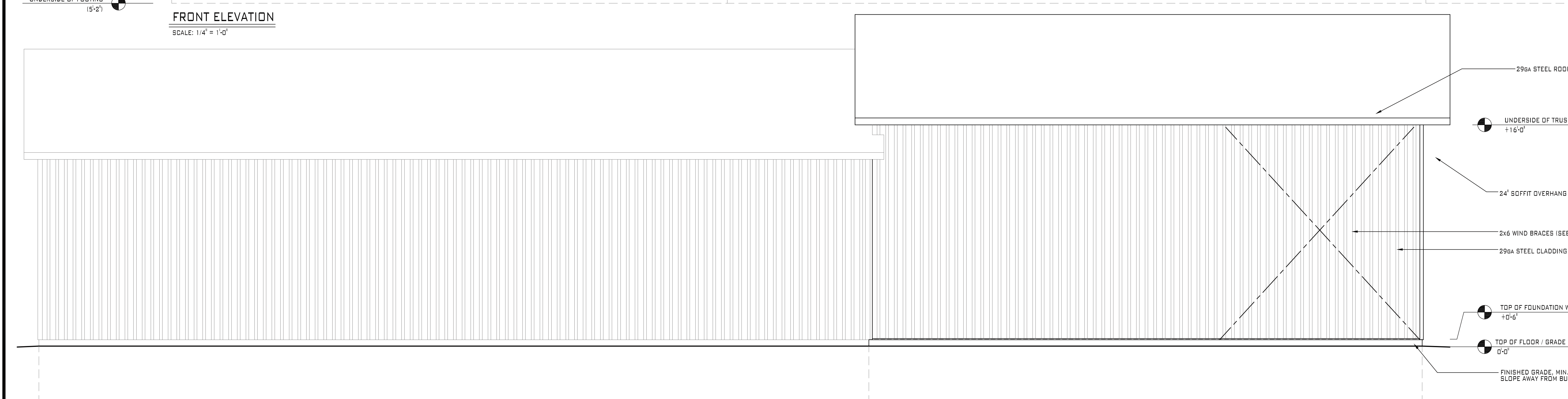


CONSTRUCTION NORTH



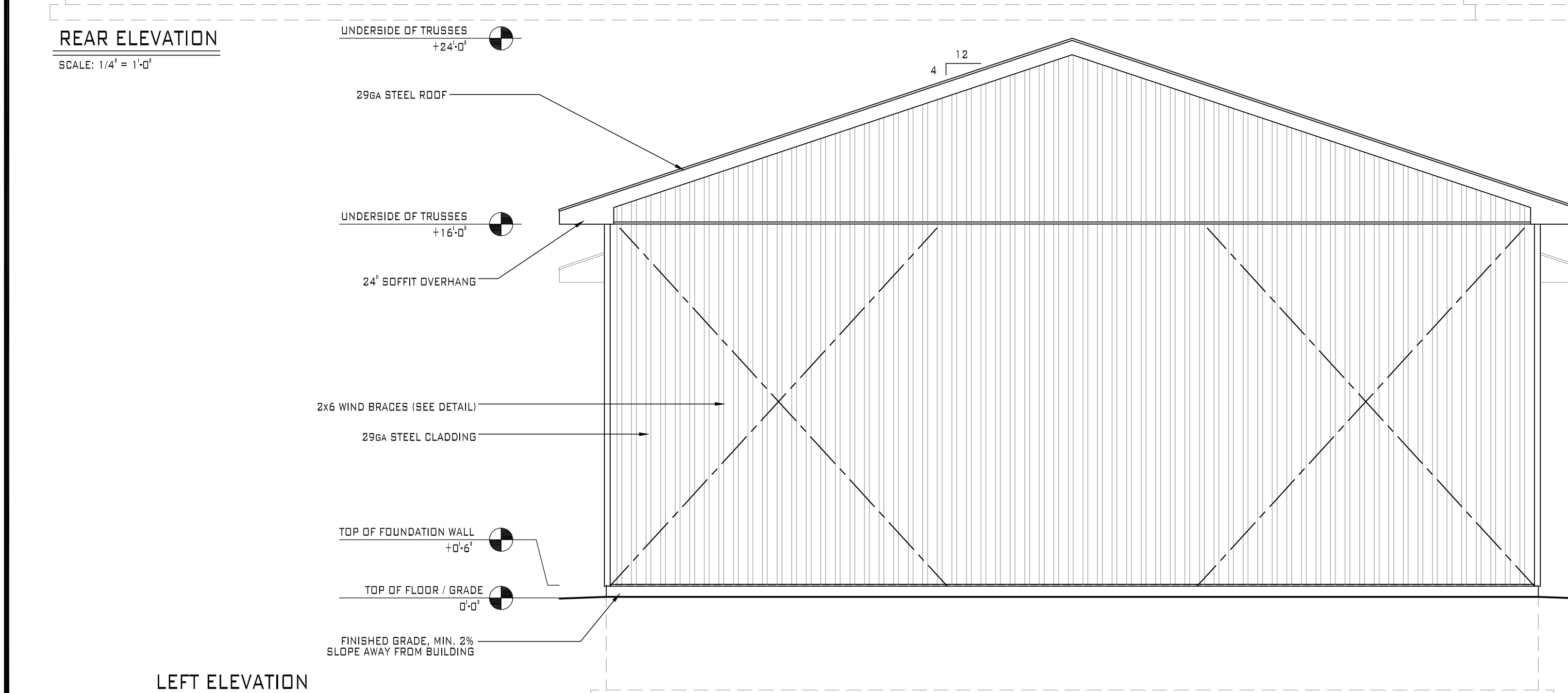
FRONT ELEVATION

SCALE: 1/4" = 1'-0"



REAR ELEVATION

SCALE: 1/4" = 1'-0"



LEFT ELEVATION

SCALE: 1/4" = 1'-0"

MUNICIPALITY:
NORFOLK COUNTY
GILBERTSON ADMINISTRATION BUILDING
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DESIGNED FOR:
CANAMEX GROCERIES
JOHN FRIESEN
8 NORFOLK COUNTY ROAD 21
LANGTON, ONTARIO, NOE 1G0

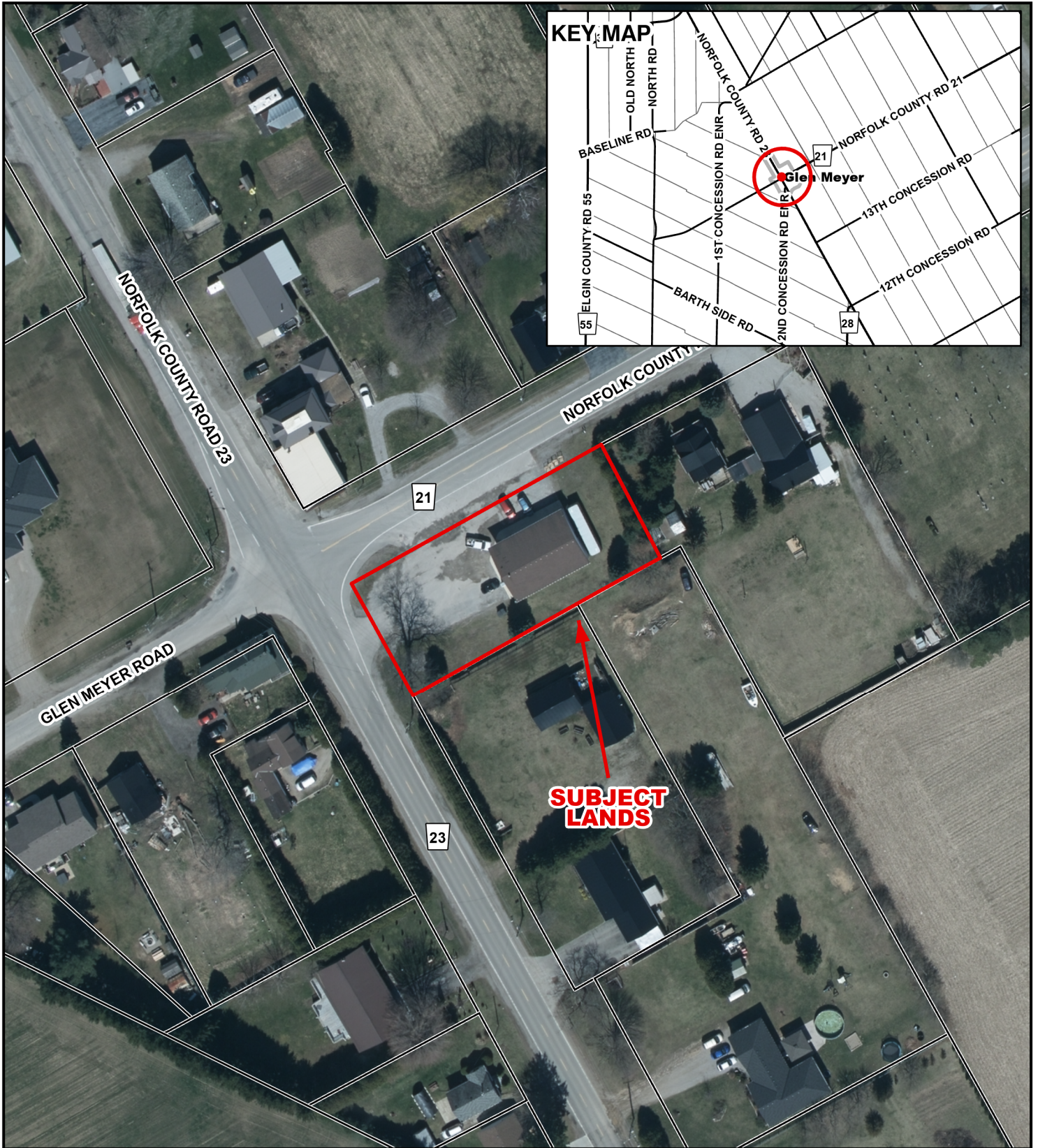
PROPOSED UNHEATED STORAGE ADDITION

ELEVATIONS


| | | | |
|----------------------|--------------|----------------------|------------|
| SCALE: | 1/4" = 1'-0" | DRAWING NO.: | S-5 |
| DATE: | JUNE 9, 2025 | DRAWING BY: | |
| DRAWING BY: | T. STREATH | DESIGNED/CHECKED BY: | |
| DESIGNED/CHECKED BY: | M. VASANTHIA | PROJECT NO.: | |
| PROJECT NO.: | | 25-063 | |

CONTEXT MAP

Geographic Township of NORTH WALSHINGHAM

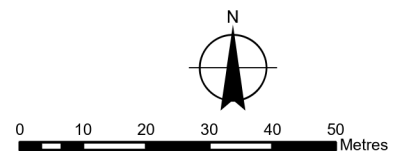


Legend

 Subject Lands

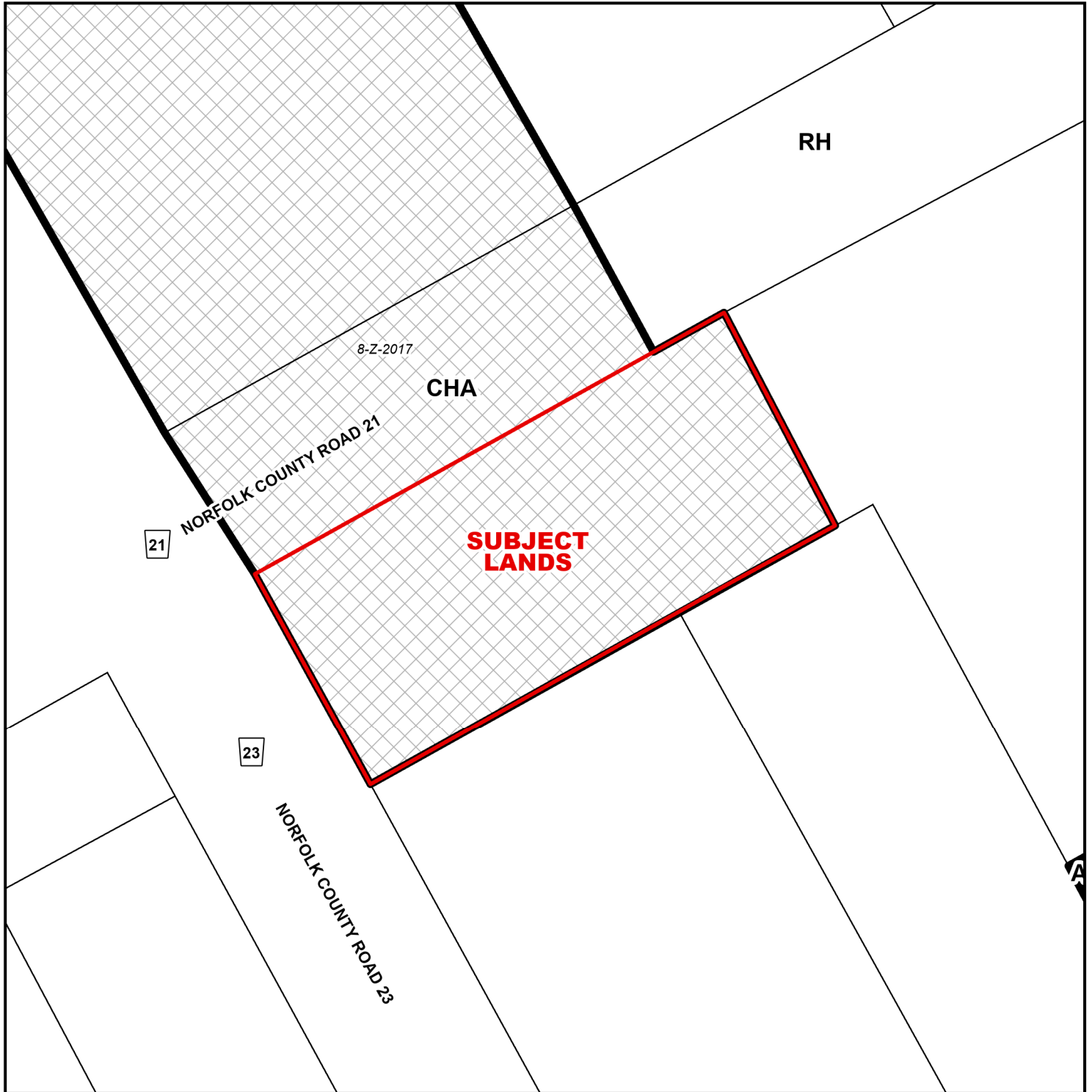
2/27/2026

2020 Air Photo



MAP B
ZONING BY-LAW MAP
Geographic Township of NORTH WALSINGHAM

ANPL2026037



LEGEND

 Subject Lands

ZONING BY-LAW 1-Z-2014

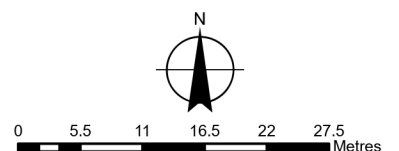
2/27/2026

(H) - Holding

A - Agricultural Zone

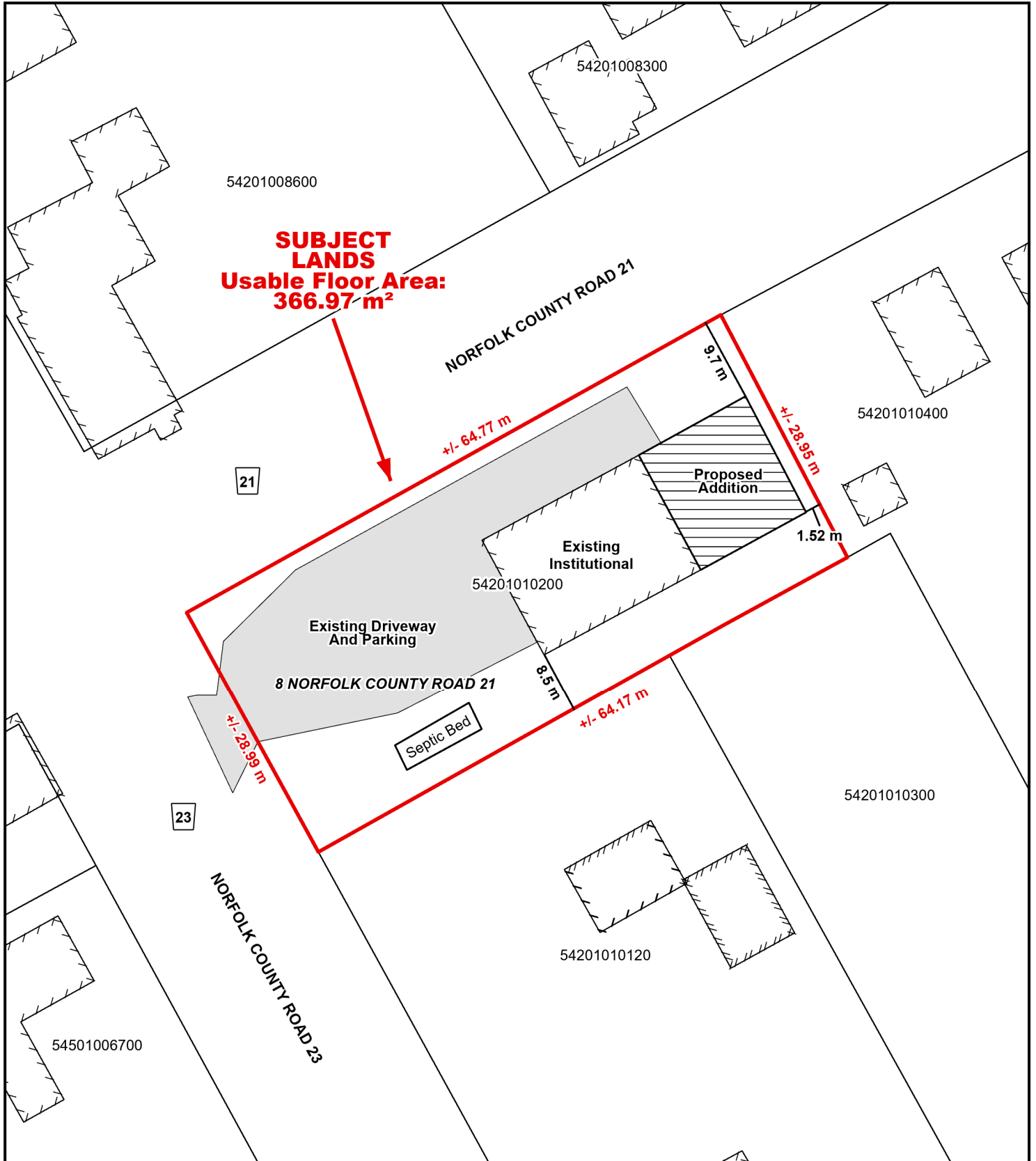
CHA - Hamlet Commercial Zone

RH - Hamlet Residential Zone




CONCEPTUAL PLAN

Geographic Township of NORTH WALSHINGHAM



Legend

 Subject Lands

2/27/2026

