



Committee of Adjustment Application for Minor Variance

Complete Application

The application must be completed by the owner or authorized agent. If the application is being submitted by an agent, the owner's written authorization is required. If the lands subject to this application are owned by more than one owner, the authorization of all owners is required. Submission of this application constitutes consent for authorized municipal staff to inspect the subject lands.

It is the responsibility of the applicant to research and evaluate the site and the proposal to ensure that the development will conform to the interests of the health, safety and welfare of future residents. Sufficient studies for the completion of the application should be carried out prior to submission and should be reflected in the application form.

Before the Application is submitted

A pre-consultation meeting is not required for Committee of Adjustment applications; however, further information can be provided by Planning Department staff prior to the submission of an application. The purpose of communicating with a planner before you submit your application is: to review the proposal / application, to discuss potential issues; and to determine the required supporting information and materials to be submitted with your application before it can be considered complete by staff.

Online Application Process

All applications must be submitted online via the County's CityView Portal. The portal can be accessed here: [Welcome - CityView Portal](#). The applicant will submit the materials required as part of a complete application. Once the County confirms receipt of a complete submission, the applicant will be contacted and provided further directions for payment options.

User Fees

The planning application fee will be determined when the application can be deemed complete according to Norfolk County Community Planning user fees: [User Fees | Norfolk County](#)

Cash, debit, credit or cheque payable to Norfolk County in the amount set out in the user fees By-Law that will be accepted and deposited once the application has been deemed complete.

If the subject lands are located in an area that is regulated by either the Long Point Region Conservation Authority or by the Grand River Conservation Authority an additional fee will be required if review by the applicable agency is deemed necessary. A separate cheque



payable to the Long Point Region Conservation Authority or the Grand River Conservation Authority is required in accordance with their fee schedule at the time of submission.

Grand River Conservation Authority

Plan Review fees | Grand River Conservation Authority

Long Point Region Conservation Authority

Planning Fees - Long Point Region Conservation Authority

After the application is submitted

In order for the application to be deemed complete, all of the components noted above are required. The *Planning Act* permits up to 30 days to review and deem an application complete.

Once the application has been deemed complete by the Planning Department, it is then circulated to public agencies and County departments for review and comment. A sign is provided that is required to be posted on the subject lands summarizing the application and specifying the committee meeting date. The comments received from members of the community will be included in the planning report and given consideration.

Additional studies required as part of the complete application shall be at the sole expense of the applicant. Any required peer reviews shall be at the expense of the applicant. The peer reviewer shall be selected by the County.

If the application is withdrawn prior to the circulation to commenting agencies, the entire original fee will be refunded. If withdrawn after the circulation to agencies, half the original fee will be refunded. No refund is available after the public meeting and/or approval of application.

Notification Sign Requirements

Planning Department staff may post a notification sign on your property in advance of the public meeting on your behalf. Please keep this sign posted until you have received a notice in the mail indicating that the Secretary Treasurer received no appeals.

It is the applicant's responsibly to ensure that the sign is correctly posted within the statutory timeframes, according to the *Planning Act*. Failure to post a sign in advance of the public meeting in accordance with statutory requirements will impact the timing of the Committee of Adjustment meeting. Applicants are responsible for removing the sign following the appeal period. The signs are recyclable and can be placed in your blue box.

Contact Us

For additional information or assistance in completing this application, please contact a planner at 519-426-5870 ext. 8159 or coa@norfolkcounty.ca



For Office Use Only:

File Number _____
Related File Number _____
Application Submitted _____
Complete Application _____

Application Fee _____
Conservation Authority Fee _____
Well & Septic Info Provided _____
Planner _____
Public Notice Sign _____

Check the type of planning application(s) you are submitting.

- Standard Minor Variance
- Complex Minor Variance (After the fact)
- Routine Minor Variance

Property Assessment Roll Number: 33704038100

A. Applicant Information

Name of Owner Dave & Karen Peters

It is the responsibility of the owner or applicant to notify the planner of any changes in ownership within 30 days of such a change.

Address 306 New Lakeshore Rd.

Town and Postal Code Port Dover, ON N0A1N3

Phone Number _____

Cell Number 519-429-2364

Email dakamiti22@gmail.com

Name of Authorized Applicant Same as above

Address _____

Town and Postal Code _____

Phone Number _____

Cell Number _____

Email _____



Name of Authorized Agent

Paul Breedyk, Breedyk Homes Ltd.

Address

736 Concession 5 Woodhouse

Town and Postal Code

Port Dover, ON NOA 1N0

Phone Number

Cell Number

519-410-8122

Email

info@breedykhomes.ca

Please specify to whom all communications should be sent. Unless otherwise directed, all correspondence and notices in respect of this application will be forwarded to the owner and agent noted above.

Owner

Agent

Applicant

Names and addresses of any holder of any mortgagees, charges or other encumbrances on the subject lands:

none

B. Location, Legal Description and Property Information

1. Legal Description (include Geographic Township, Concession Number, Lot Number, Block Number and Urban Area or Hamlet):

Woodhouse Plan 461, Lot 6

Municipal Civic Address: 306 New Lakeshore Rd

Land acquisition date (if known): _____

Present Official Plan Designation(s): ~~Residential~~ Hazard Land 56%

Present Zoning: Residential Agricultural 43%

2. Is there a special provision or site specific zone on the subject lands?

Yes No

If yes, please specify:

3. Present use of the subject lands:

Residential



4. Please describe **all existing and proposed** buildings and structures on the subject lands and whether they are to be retained, demolished or removed.

	Existing	Proposed
Type of Building	<u>house</u>	<u>new house</u>
Number of Storey(s)	<u>1</u>	<u>1</u>
Number of Dwelling Units per lot	<u>1</u>	<u>1</u>
Buildings/Structures/ARDU Width (m)	<u>11.3 m</u>	<u>11.3 m</u> 11.53 m
Building/ Structures /ARDU Length (m)	<u>10 m</u>	<u>20.5 m</u>
Building/ Structures /ARDU Height (m)	<u>6.5 m</u>	<u>7 m</u> 7.23 m
Usable Floor Area (sq.m)	<u>250 sq.m</u>	<u>274 sq.m</u>
Lot coverage	<u>?</u>	<u>11.4%</u>

5. If an addition to an existing building is being proposed, please explain what it will be used for (for example a bedroom, kitchen, or bathroom). If new fixtures are proposed, please describe.

6. Are any existing buildings on the subject lands designated under the *Ontario Heritage Act* as being architecturally and/or historically significant?

Yes No

If yes, identify and provide details of the building:

7. If known, the length of time the existing uses have continued on the subject lands:

20+ years

8. Existing use of abutting properties:

Residential

9. Are there any easements or restrictive covenants affecting the subject lands?

Yes No If yes, describe the easement or restrictive covenant and its effect:



C. Zoning Review (chart must be completed in metric units)

Please fill out the required information for the main and accessory buildings and structures

	Zoning By-law Requirement	Proposed	Deficiency
Lot area (m ²)		n/a	
Lot frontage (m)		n/a	
Lot depth (m)			
Front Yard Setback (m)		33.6	
Left Side Yard Setback (m)		1.25	
Right Side Yard Setback (m)		1.84	
Rear Yard Setback (m)		53.93	
Exterior side yard (if applicable) (m)		n/a	
Height (m)		7.23	
Lot coverage (%)		11.4%	
Buildings/structures separation (m)		n/a	
Detached Additional Dwelling Unit (ADU) or Accessory Building			
i) Usable floor area (m ²)			
ii) Height (m)			
iii) Building separation (m)			
Number of parking spaces		2	

* Minor variance is requested for building in the Hazard Land Zone



D. Previous Use of the Property

1. Has there been an industrial or commercial use on the subject lands or adjacent lands?

Yes No Unknown

If yes, specify the uses (for example: gas station, or petroleum storage):

2. Is there reason to believe the subject lands may have been contaminated by former uses on the site or adjacent sites?

Yes No Unknown

3. Provide the information you used to determine the answers to the above questions:

Residential for 20+ years

4. If you answered yes to any of the above questions in Section D, a previous use inventory showing all known former uses of the subject lands, or if appropriate, the adjacent lands, is needed. Is the previous use inventory attached?

Yes No

E. Provincial Policy

1. Is the requested amendment consistent with the Provincial Planning Statements issued under subsection 3(1) of the *Planning Act, R.S.O. 1990, c. P. 13*?

Yes No

If you answered no, please explain:

2. It is the owner's responsibility to be aware of and comply with all relevant federal or provincial legislation, municipal by-laws or other agency approvals, including the Endangered Species Act, 2007. Have the subject lands been screened to ensure that development or site alteration will not have any impact on the habitat for endangered or threatened species further to the Provincial Planning Statement ?



Yes No

If no, please explain:

3. Have the subject lands been screened to ensure that development or site alteration will not have any impact on source water protection?

Yes No

If no, please explain:

Note: If the subject lands are in an area of source water Wellhead Protection Area (WHPA) A, B or C, Issue Contributing Area, Intake Protection zone, please attach relevant information and approved mitigation measures from the Risk Manager Official.

4. Does the property have any significant environmental features on the subject land or within 500 metres:

Yes No

If yes, indicate: Significant Woodland Provincially Significant Wetland Floodplain Other Lake Erie

5. Does the property have any livestock facility or stockyard on the subject land or within 1000 metres:

Yes No

If yes, the submission of Minimum Distance Separation (MDS) calculations may apply.

F. Servicing and Access

1. Indicate what services are available or proposed:

Water Supply

- Municipal piped water
 Individual wells

- Communal wells
 Other (describe below)

Cistern



H. Supporting Material to be submitted by Applicant

In order for your application to be considered complete, folded hard copies and an electronic version of the site plan drawings, additional plans, studies and reports will be required in addition to a sketch plan in accordance with Ontario Regulation 200/96.

i. Sketch in Metric Units

A sketch showing the following, in metric units:

- a) The boundaries and dimensions of the subject land.
- b) The location, size, dimensions, and type of all existing and proposed buildings and structures on the subject land, indicating the distance of the buildings or structures from the front yard lot line, rear yard lot line and the side yard lot lines.
- c) The approximate location of all natural and artificial features on the subject land and on land that is adjacent to the subject land that, in the opinion of the applicant, may affect the application. Examples include buildings, railways, roads, watercourses, drainage ditches, river or stream banks, wetlands, wooded areas, wells and septic tanks.
- d) The current uses on land that is adjacent to the subject land.
- e) The location, width and name of any roads within or abutting the subject land, indicating whether it is an unopened road allowance, a public travelled road, a private road or a right of way.
- f) If access to the subject land is by water only, the location of the parking and docking facilities to be used.
- g) The location and nature of any easement affecting the subject land.
- h) Location and setbacks of septic system and well from all existing and proposed lot lines, and all existing and proposed structures.



I. Transfers, Easements and Postponement of Interest

The owner acknowledges and agrees that if required it is their solicitor's responsibility on behalf of the owner to undertake the registration of all transfer(s) of land to the County, and/or transfer(s) of easement in favour of the County and/or utilities. The owner further acknowledges and agrees that it is their solicitor's responsibility on behalf of the owner to undertake the registration of postponements of any charges in favour of the County.

Permission to Enter Subject Lands

Permission is hereby granted to Norfolk County officers, employees or agents, to enter the premises subject to this application for the purpose of making inspections associated with this application, during normal and reasonable working hours.

Freedom of Information

For the purposes of the *Municipal Freedom of Information and Protection of Privacy Act*, I authorize and consent to the use by or the disclosure to any person or public body any information that is collected under the authority of the *Planning Act, R.S.O. 1990, c. P. 13* for the purpose of processing this application.

[Signature]
Owner/Applicant/Agent Signature

Feb 25/26
Date

J. Owner's Authorization

If the authorized applicant/agent is not the registered owner of the lands that is the subject of this application, the owner must complete the authorization set out below.

I/We Dave & Karen Peters am/are the registered owner(s) of the lands that is the subject of this application.

I/We authorize Dave & Karen Peters to make this application on my/our behalf and to provide any of my/our personal information necessary for the processing of this application. Moreover, this shall be your good and sufficient authorization for so doing.

[Signature]
Owner
Karen Peters
Owner

Feb 25/26
Date
Feb 25/26
Date

***Note:** If property is owned by an Ontario Ltd. Corporation, Articles of Incorporation are required to be attached to the application.



K. Declaration

I, Paul Breedyk of Breedyk Homes Ltd.

solemnly declare that:

all of the above statements and the statements contained in all of the exhibits transmitted herewith are true and I make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath and by virtue of *The Canada Evidence Act*.

Declared before me at:

Simcoe

[Signature]

Owner/Applicant/Agent Signature

In Norfolk County

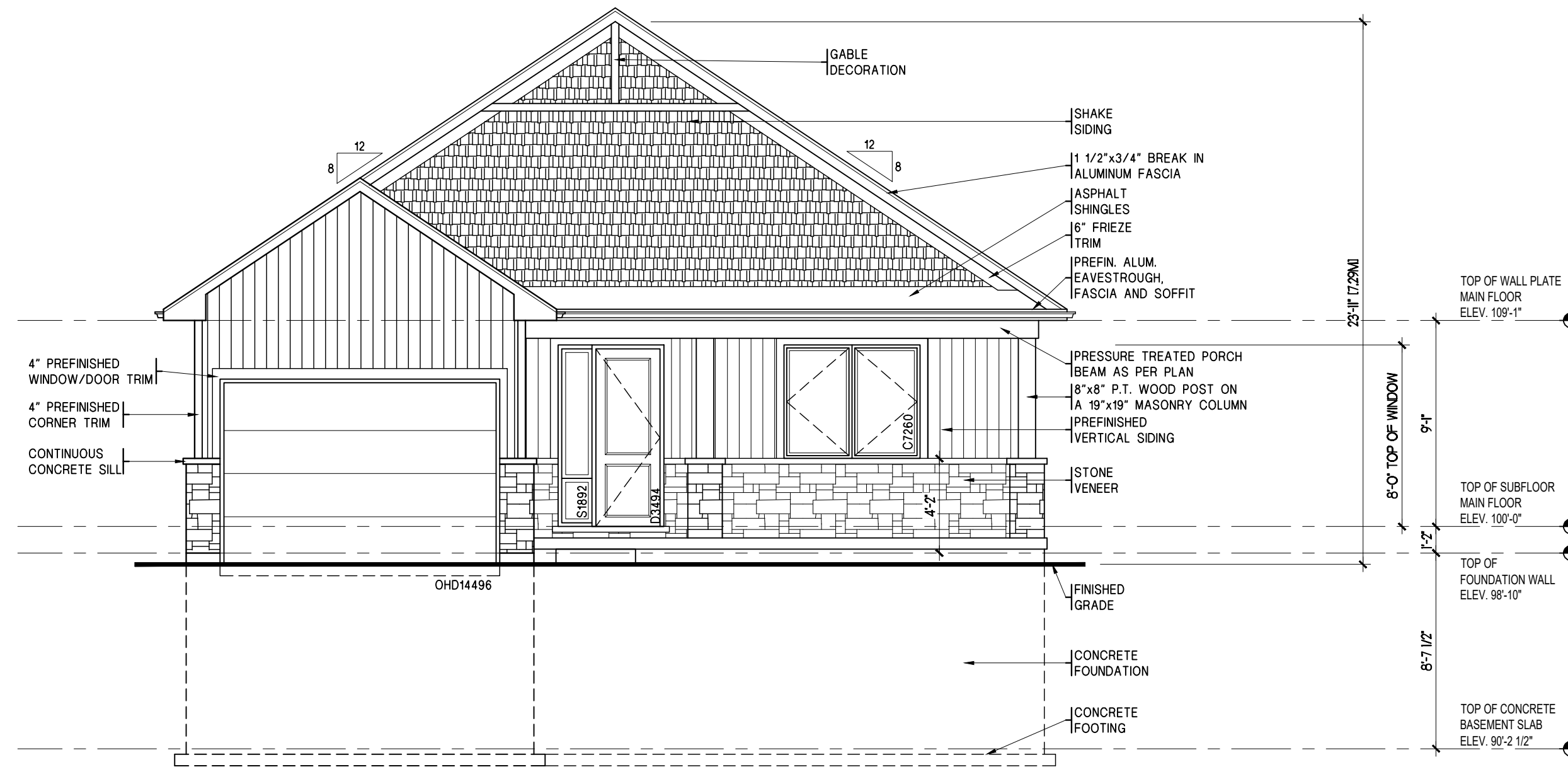
This 24 day of March

A.D., 2026

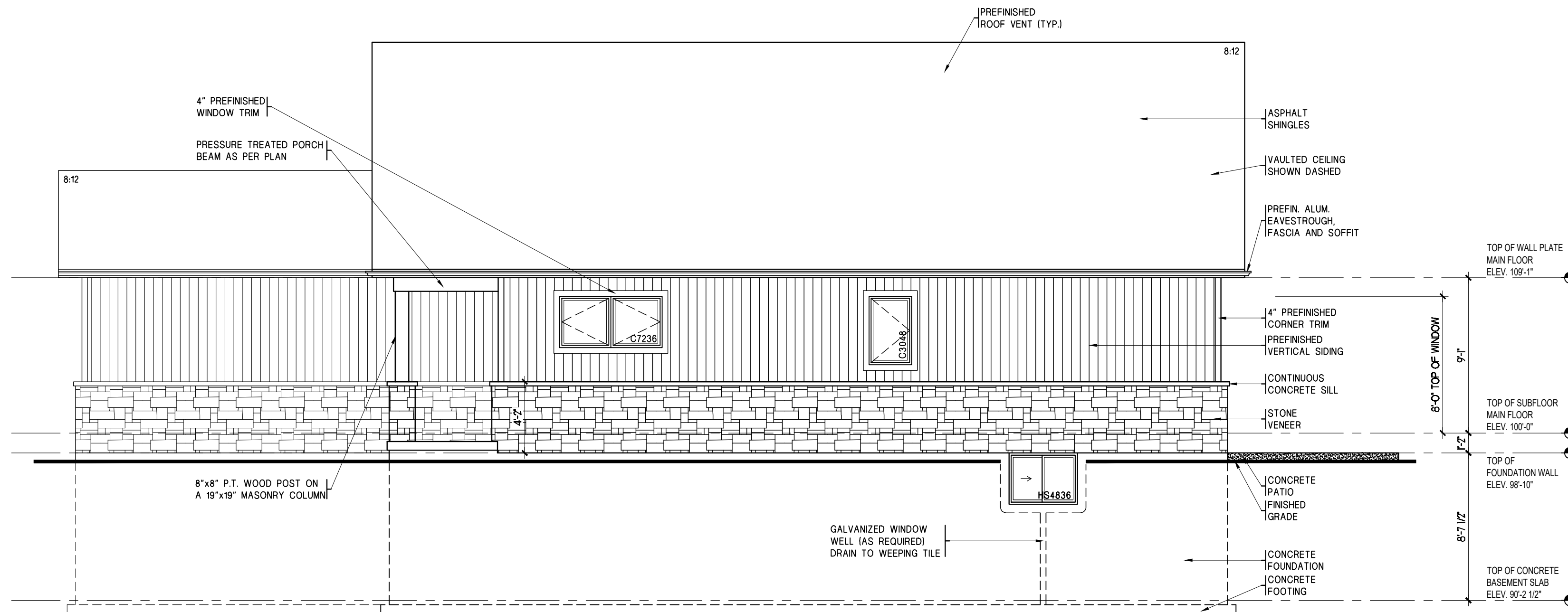
[Signature]
A Commissioner, etc.

Jodi Lynn Pfaff-Schimus, a
Commissioner, etc., Province of Ontario,
for the Corporation of Norfolk County.
Expires March 6, 2028.

Signature



1 NORTH ELEVATION
A1.02 3/16"=1'-0"



2 WEST ELEVATION
A1.02 3/16"=1'-0"

Project Information

PETER'S COTTAGE
CUSTOM COTTAGE
306 NEW LAKESHORE ROAD, PORT DOVER, ON

Set Issuance

No.	Date	Description
1	2025.04.22	ISSUED FOR TRADES
2	2025.07.02	ISSUED FOR PERMIT

Sheet Information

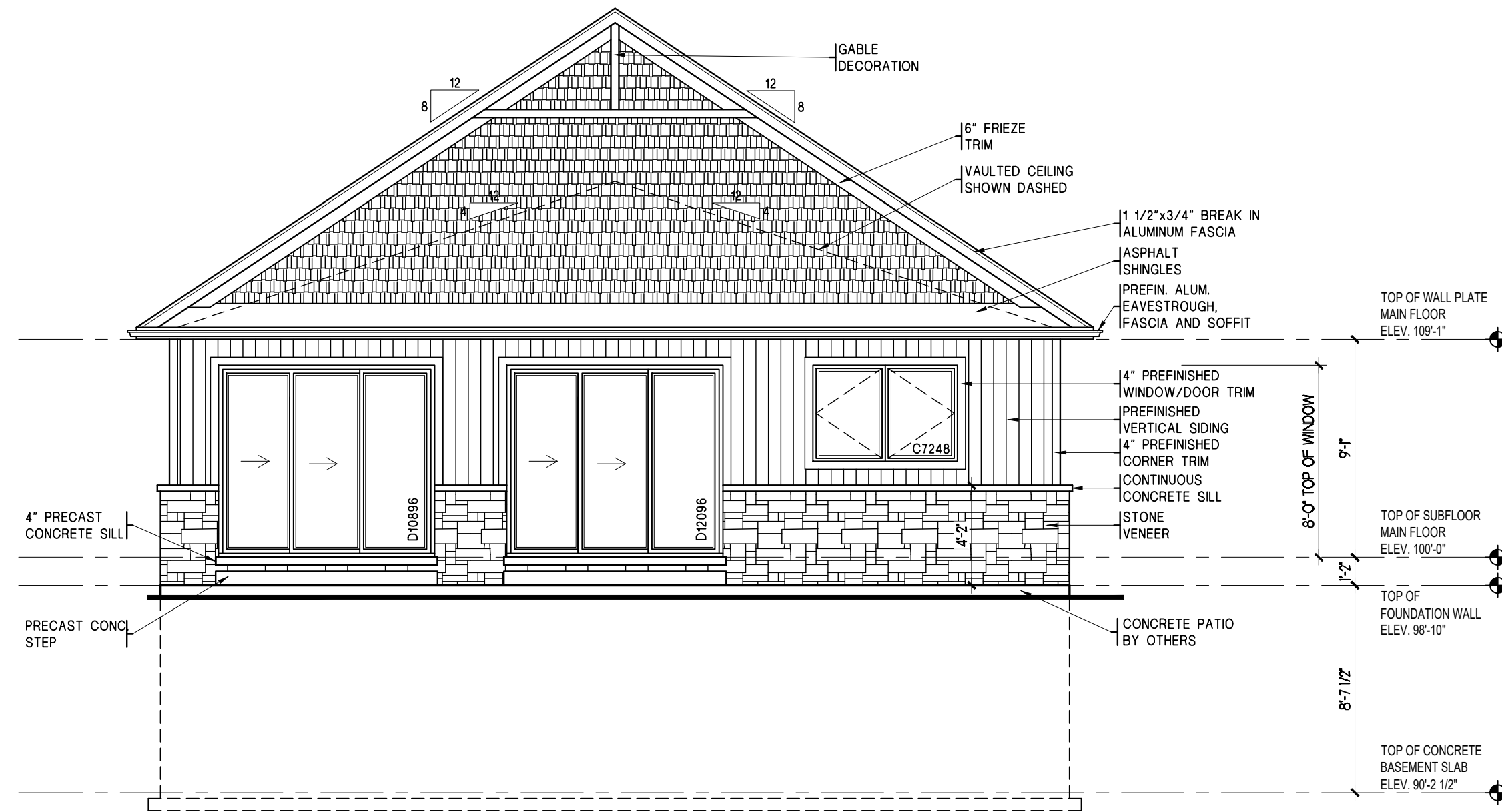
NORTH AND WEST ELEVATIONS

Project No. 15981
Project Start Date: 2025.03.21
File: 15981 - Peter's Cottage - Preliminary.dwg
Drawn by: MGL
Scale: AS NOTED

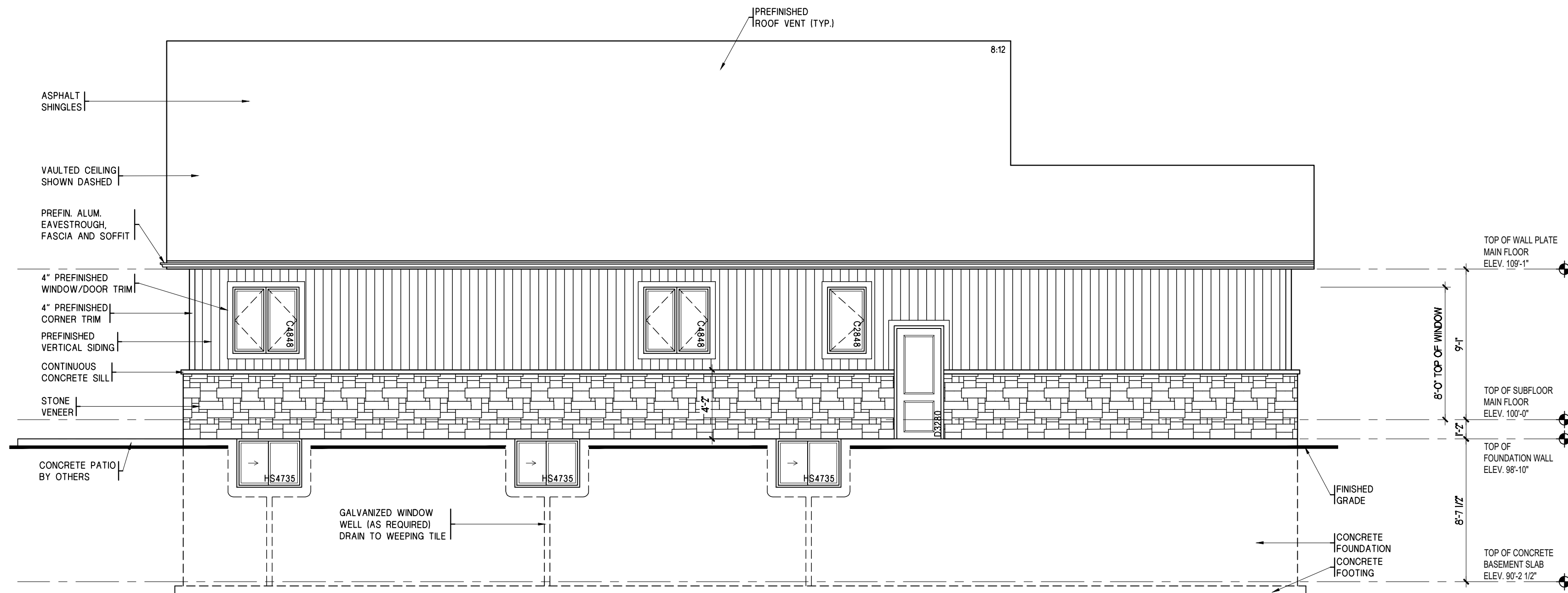
WORKING DRAWINGS

A1.02

Signature



1 SOUTH ELEVATION (LAKESIDE)
A1.03 3/16"=1'-0"



2 EAST ELEVATION
A1.03 3/16"=1'-0"

Project Information

PETER'S COTTAGE
CUSTOM COTTAGE
306 NEW LAKESHORE ROAD, PORT DOVER, ON

Set Issuance

No.	Date	Description
1	2025.04.22	ISSUED FOR TRADES
2	2025.07.02	ISSUED FOR PERMIT

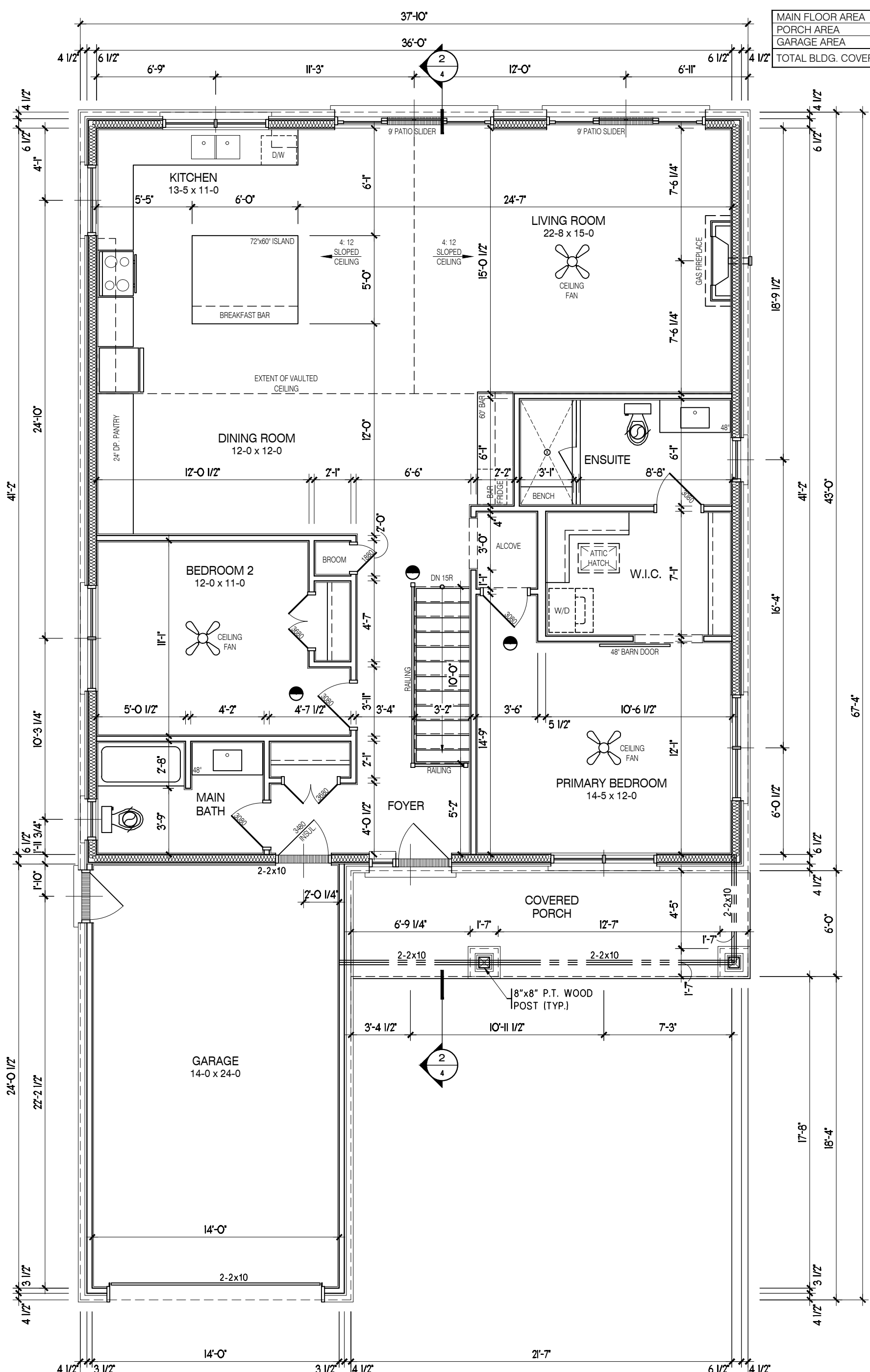
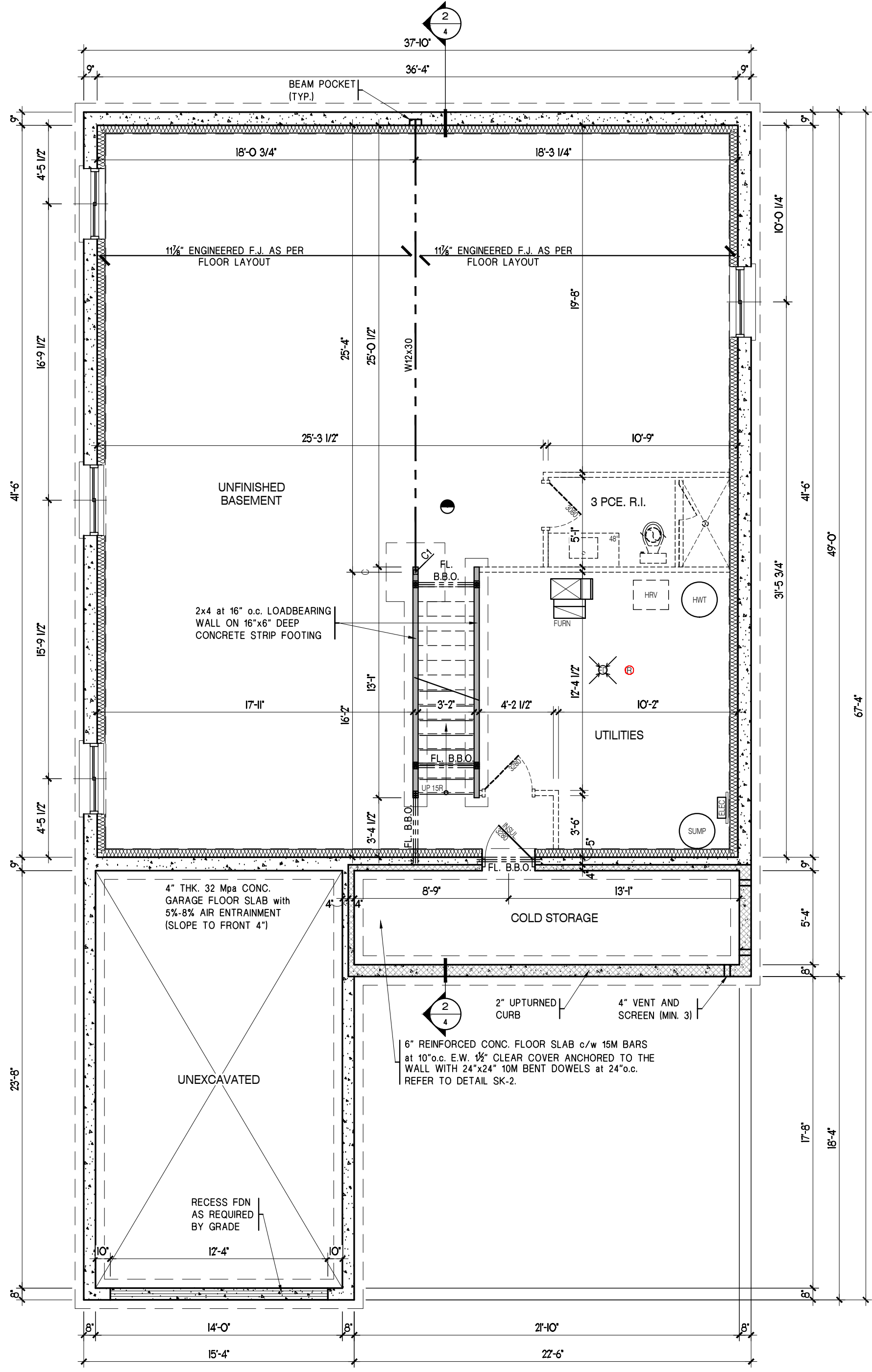
Sheet Information

SOUTH AND EAST ELEVATIONS

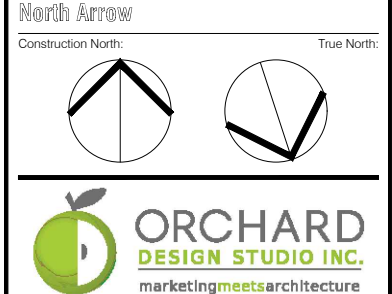
Project No. 15981
Project Start Date: 2025.03.21
File: 15981 - Peter's Cottage - Preliminary.dwg
Drawn by: MGL
Scale: AS NOTED

WORKING DRAWINGS

A1.03



MAIN FLOOR AREA	1621 ft ²
PORCH AREA	135 ft ²
GARAGE AREA	379 ft ²
TOTAL BLDG. COVERAGE	2135 ft ²



ORCHARD DESIGN STUDIO INC.
marketingmeasuresarchitecture

Designer Information

I, CARRIE McMILLAN, review and take responsibility for the design work on behalf of Orchard Design Studio Incorporated registered under Firm BCIN: 28615

Signature

Project Information

PETER'S COTTAGE
CUSTOM COTTAGE
306 NEW LAKESHORE ROAD, PORT DOVER, ON

Set Issuance

No.	Date	Description
1	2025.04.22	ISSUED FOR TRADES
2	2025.07.02	ISSUED FOR PERMIT

Sheet Information

BASEMENT AND MAIN FLOOR PLAN

Project No. 15981
Project Start Date: 2025.03.21
File: 15981 - Peter's Cottage - Preliminary.dwg
Drawn by: MGL
Scale: AS NOTED

WORKING DRAWINGS

A1.04

Plot Date/Time - 7/21/2025 3:31:14 PM

RADON VENT NOTE

LOCATED IN UTILITY SPACE WHERE POSSIBLE AND EXTENDING UNDER SLAB AND TERMINATING AT OR NEAR THE CENTER.
A 6 mil POLY SOIL GAS BARRIER SYSTEM TO BE INSTALLED UNDER ENTIRE SLAB.

COLUMN SCHEDULE

Column	Column Description
C1	3.5" x 3.5" 3/16" HSS STEEL COLUMN 40"x40"x16" DEEP CONCRETE PAD FOOTING

LEGEND

- DROPPED TOP OF FOUNDATION WALL
- 4" BRICK CHECK
- LATERALLY UNSUPPORTED WALL
- S.F. STEPPED WALL TOP
- S.W. STEPPED FOOTING

GENERAL NOTES

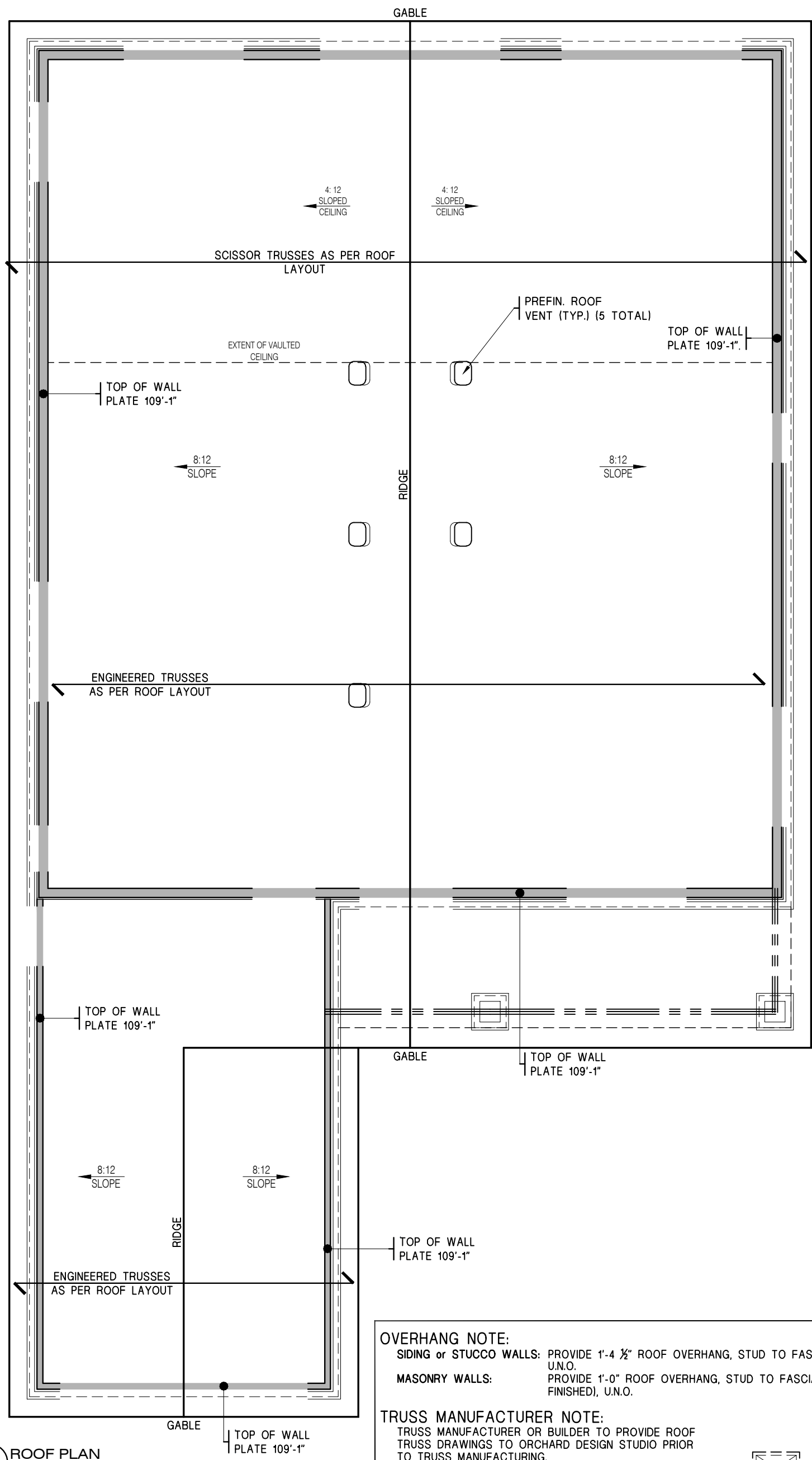
- FOR STANDARD FOUNDATION AND FRAMING NOTES, CODE REQUIREMENTS AND TYPICAL CONSTRUCTION ASSEMBLIES, REFER TO GENERAL NOTES AND O.B.C. SPECIFICATIONS.
- PROVIDE BUILT-UP WOOD STUD POST EQUAL TO STUD DEPTH x BEAM WIDTH, AT BOTH ENDS OF STEEL OR WOOD BEAMS, UNLESS NOTED OTHERWISE (U.N.O.).
- ALL INTERIOR STUD WALLS ARE TO BE 2x4, U.N.O.
- PROVIDE DOUBLE JOIST FRAMING UNDER ALL PARALLEL WALLS ABOVE.
- ALL LINTELS AND BEAMS ARE TO BE DROPPED, U.N.O.
- ALL STRIP FOOTINGS TO BE 20"x6" (PER O.B.C. TABLE 9.15.3.4 & 9.15.3.5), U.N.O.
- PROVIDE GUARDS (IS-7 TYPE GUARDS FOR HOUSING AND SMALL BUILDINGS) AT PORCH WHERE DISTANCE FROM PORCH TO GRADE IS 2'-0" OR GREATER.
- SUMP PUMP/PIT SHALL BE INSTALLED AND CONNECTED TO THE STORM SEWER. CONTACT DEPARTMENT OF PUBLIC WORKS FOR VERIFICATION OF LOCATION.
- ENSURE THE GARAGE DOOR TO THE DWELLING UNIT IS GAS PROOFED AND HAS

M-E LEGEND

- PROVIDE SOLID WOOD BLOCKING AS REQUIRED AROUND STAIRWELL WALLS FOR FUTURE RAILING ATTACHMENT.
- PROVIDE A CONTINUOUS HANDRAIL THROUGHOUT THE STAIR, AS PER O.B.C. DIVISION B, PART 9.8.7.2.
- REINFORCE STUDS IN THE MAIN BATH FOR FUTURE INSTALLATION OF GRAB BARS ADJACENT TO THE TUB AND WATER CLOSET, AS PER O.B.C. DIVISION B, PART 9.9.5.2.3.
- REFER TO FLOOR MANUFACTURER SPECS FOR BASEMENT WINDOW LINTELS
- PROVIDE 2-2x10 LINTELS ABOVE ALL MAIN FLOOR EXTERIOR WINDOWS, U.N.O. ADD L3-1/2" x 3-1/2" x 1/4" STEEL ANGLE WHERE REQUIRED BY MASONRY ABOVE.
- BEAM BY OTHER (B.B.O.) REFER TO FLOOR MANUFACTURER LAYOUT AND SPECIFICATIONS

M-E LEGEND

- SMOKE ALARM** (CONFORMING TO CAN/ULC-S531 WITH VISUAL SIGNALLING COMPONENT AS PER O.B.C. 9.10.19. AND INSTALLED WITH AT LEAST ONE ON EACH STOREY, INCLUDING BASEMENTS, AND IN EACH SLEEPING ROOM, INSTALLED IN CONFORMITY TO O.B.C. 9.10.19.3.)
- CARBON MONOXIDE DETECTOR** (ADJACENT TO EACH SLEEPING AREA, MECHANICALLY FIXED AT THE MANUFACTURER'S RECOMMENDED HEIGHT, OR IN THE ABSENCE OF SPECIFIC INSTRUCTIONS, ON OR NEAR THE CEILING, IN CONFORMITY TO O.B.C. 9.33.4.2.)
- CEILING MOUNTED EXHAUST FAN** (ALL BATHROOMS AND WATER CLOSET ROOMS TO BE MECHANICALLY VENTED). NOTE: VENTILATION TO BE DETERMINED IN CONFORMITY TO O.B.C. (9.3.2) BY MECHANICAL CONTRACTOR.



1 ROOF PLAN
A105 3/16"=1'-0"

OVERHANG NOTE:
SIDING or STUCCO WALLS: PROVIDE 1'-4 1/2" ROOF OVERHANG, STUD TO FASCIA, U.N.O.
MASONRY WALLS: PROVIDE 1'-0" ROOF OVERHANG, STUD TO FASCIA (1'-0" FINISHED), U.N.O.

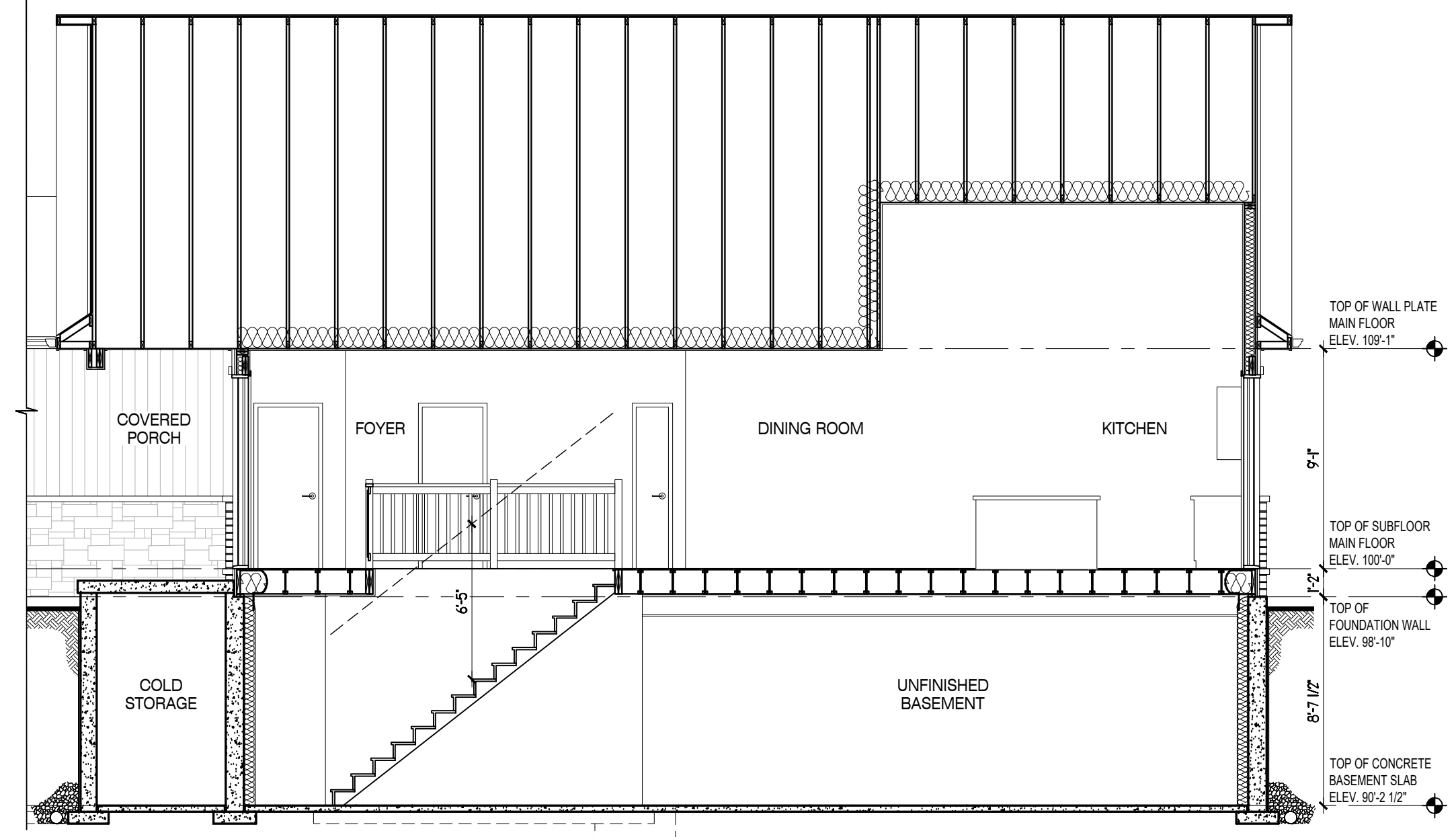
TRUSS MANUFACTURER NOTE:
TRUSS MANUFACTURER OR BUILDER TO PROVIDE ROOF TRUSS DRAWINGS TO ORCHARD DESIGN STUDIO PRIOR TO TRUSS MANUFACTURING.

LINTEL NOTE:
LINTELS & TRUSS TIE DOWN BY ENGINEER (WHEN TRUSS IS GREATER THAN 32'-2").

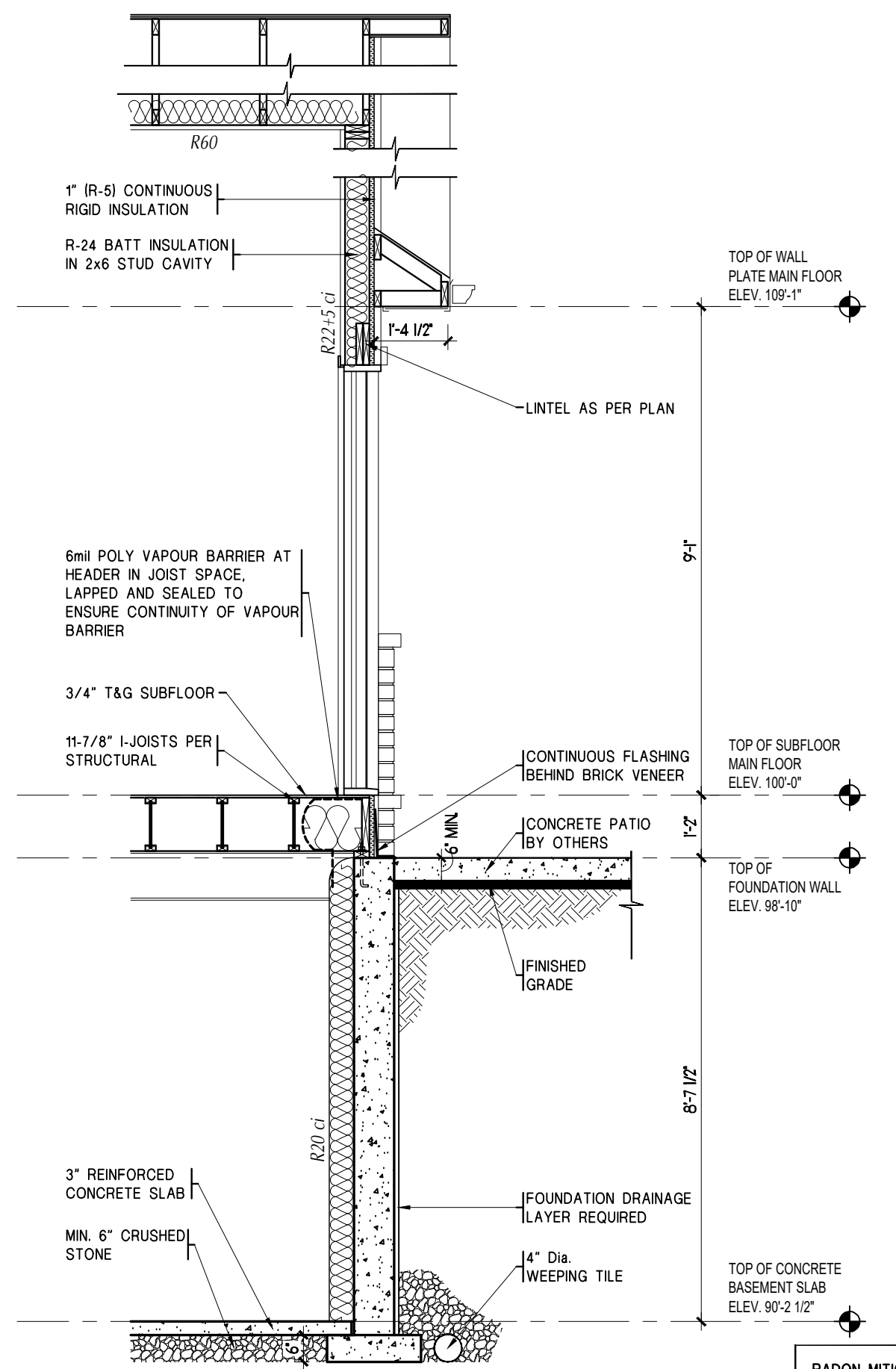
⊠ DENOTES ATTIC HATCH (28" x 24")

ROOF NOTES

1. PROVIDE BUILT-UP WOOD STUD POST EQUAL TO WIDTH OF BEAM / GIRDER UNDER ALL BEAMS AND GIRDER TRUSSES, UNLESS NOTED OTHERWISE (U.N.O.).
2. ROOF AND CEILING FRAMING TO BE AS PER 2012 OBC PART 9.23.13. ALL ROOF RAFTERS TO BE 2x8 AT 16" O.C. UNLESS NOTED OTHERWISE. PROVIDE 2x4 (MINIMUM) COLLAR TIES, WHERE REQUIRED, TO ENSURE RAFTER SPAN DOES NOT EXCEED 12'-9" HORIZONTALLY. COLLAR TIES MORE THAN 7'-10" LONG TO BE LATERALLY SUPPORTED NEAR THEIR CENTERS BY 1x4 (MINIMUM) CONTINUOUS MEMBERS PERPENDICULAR TO THE COLLAR TIES. FOR AN UNSUPPORTED RIDGE, RAFTERS ARE TO BE TIED TO CEILING JOISTS AT BASE AND NAILED IN ACCORDANCE WITH TABLE 9.23.13.8 TO PREVENT OUTWARD MOVEMENT. WHEN CEILING JOISTS ARE PERPENDICULAR TO RAFTERS, PROVIDE 2x6 RAFTER TIES (OR OUTRIGGERS) EVERY 3'-11" (MAXIMUM) NAILED TO RAFTERS AS PER TABLE 9.23.13.8.
3. OVERFRAMED RAFTERS TO BE SUPPORTED ON LOWER RAFTERS BY 2x4 PROPS @ 24" E.W. OR DOUBLE LOWER RAFTERS WHERE THEY SUPPORT OVERFRAMED RAFTERS.
4. CEILING BEAMS DESIGNED ASSUMING NO LOADING FROM UPPER ROOF (U.N.O.). IF OTHERWISE, CONTACT ENGINEER TO REVIEW.
5. PROVIDE ROOF TIES AS REQUIRED.
6. DARKENED WALLS REPRESENT LOAD BEARING WALLS.



2 BUILDING SECTION
A105 3/16"=1'-0"



3 TYPICAL WALL SECTION
A105 3/8"=1'-0"

RADON MITIGATION NOTE (OPTION 2):
A SOIL GAS BARRIER IS TO BE INSTALLED AT WALLS AND FLOORS IN CONTACT WITH THE GROUND, INSTALLED AS PER O.B.C. DIVISION B, 9.13.4.2.(3) & (4)(a)

Designer Information
I, CARRIE McMILLAN, review and take responsibility for the design work on behalf of Orchard Design Studio Incorporated registered under Firm BCIN: 28615

Signature

Project Information

PETER'S COTTAGE
CUSTOM COTTAGE
306 NEW LAKESHORE ROAD, PORT DOVER, ON

Set Issuance

No.	Date	Description
1	2025.04.22	ISSUED FOR TRADES
2	2025.07.02	ISSUED FOR PERMIT

Sheet Information

ROOF PLAN, BUILDING SECTION AND WALL SECTION

Project No. 15981
Project Start Date: 2025.03.21
File: 15981 - Peter's Cottage - Preliminary.dwg
Drawn by: MGL
Scale: AS NOTED

WORKING DRAWINGS

A1.05

CODES AND STANDARDS

STAIRS AND GUARDS

PRIVATE STAIRS (INCLUDING GARAGE)
 MAINTAIN UNIFORM RISE AND RUN IN ANY ONE FLIGHT OF STAIRS.

MAXIMUM RISE:	200mm	(7 7/8")
MINIMUM RUN:	255mm	(10" 1/16")
MINIMUM TREAD:	280mm	(11")
NOSING:	25mm	(1")
MINIMUM HEADROOM:	1950mm	(6'-5")

PUBLIC STAIRS

MAXIMUM RISE:	180mm	(7 1/16")
MINIMUM RISE:	125mm	(5")
MAXIMUM RUN:	no limit	no limit
MINIMUM RUN:	280mm	(11")

INTERIOR GUARDS

AT LANDINGS:	900mm	(35")
AT STAIRS:	900mm	(35")
HANDRAILS INSTALLED AT:	900mm	(35")
GUARDS TO BE NON-Climbable WITH MAXIMUM SPACING OF:	100mm	(4")

EXTERIOR GUARDS

GREATER THAN 2'-0" ABOVE GRADE:	900mm	(35")
GREATER THAN 5'-11" ABOVE GRADE:	1070mm	(42")

GUARD NOTES

A LANDING IS REQUIRED AT THE MAIN ENTRANCE.

A LANDING IS REQUIRED AT ANY SECONDARY ENTRANCE WHEN MORE THAN 3 RISERS AND INSTALLED 900mm (35") ABOVE FLOOR.

ALL INTERIOR AND EXTERIOR GUARDS SHALL COMPLY TO THE ONTARIO BUILDING CODE 2024 SUPPLEMENTARY STANDARD SB-7 'GUARDS FOR HOUSING AND SMALL BUILDINGS'.

FROM TABLE 2.2.1 - EXTERIOR POST AND RAIL SYSTEM CONNECTION DETAILS REFER TO CONNECTION DETAILS EA-1, EB-1 AND EC-4.

FROM TABLE 2.2.2 - EXTERIOR CANTILEVERED PICKET SYSTEM CONNECTION DETAILS REFER TO CONNECTION DETAILS ED-1, ED-2 AND ED-5.

FROM TABLE 3.2.1 - INTERIOR POST AND RAIL SYSTEM CONNECTION DETAILS REFER TO CONNECTION DETAILS IA-1, IB-1, IC-2 AND ID-1.

FROM TABLE 3.2.3 - INTERIOR STAIR GUARD CONNECTION DETAILS REFER TO CONNECTION DETAILS IF-1, IG-1, IG-3, IG-4 AND IH-1 (ALSO IC-2 MODIFIED TO SUIT SLOPE).

STRUCTURAL DETAILS

- ALL FLOORS WITH CERAMIC TILE TO BE REINFORCED AS PER DIVISION B, 9.30.6. OF THE O.B.C.
- ALL LIGHTING AND ELECTRICAL TO COMPLY WITH DIVISION B, 9.34. OF THE O.B.C.
- SMOKE DETECTORS ARE REQUIRED ON EACH FLOOR LEVEL AND ARE TO BE INTERCONNECTED.
- RANGE HOODS TO BE VENTED TO THE EXTERIOR c/w NON-COMBUSTIBLE PIPING.
- ATTIC VENTILATION TO COMPLY WITH DIVISION B, 9.32. OF THE O.B.C.
- PROVIDE AN AIR BARRIER IN ACCORDANCE WITH DIVISION B, 9.25.5. OF THE O.B.C.
- HEADROOM UNDER DUCTS AND BEAMS MINIMUM 6'-5".
- INSULATE & WEATHERSTRIP ATTIC ACCESS HATCHES (MIN. 21-1/2" X 28").
- ALL DOORS AND WINDOWS TO COMPLY WITH RESISTANCE TO FORCED ENTRY DIVISION B, 9.7.5.2.-3 OF THE O.B.C.
- DOOR FROM GARAGE TO HOUSE TO BE EXTERIOR TYPE c/w WEATHERSTRIPPING AND CLOSER.
- PROVIDE MINIMUM R22+5ci INSULATION ON INTERIOR GARAGE WALL.
- PROVIDE MINIMUM R32 INSULATION IN FLOOR SPACE OVER GARAGE, AND ENSURE WALLS AND CEILING ON GARAGE SIDE ADJACENT TO LIVING SPACE ARE TO BE DRYWALLED AND SEALED (GAS-PROOFED).
- EVERY FLOOR CONTAINING BEDROOMS MUST HAVE AT LEAST ONE WINDOW WITH AN UNOBSTRUCTED OPENING WITH AN OPENABLE PORTION NOT LESS THAN 0.35sq.m. (3.8 sqft.) WITH NO DIMENSION LESS THAN 380mm (15") AND A SILL HEIGHT NO MORE THAN 1m (3'-3") ABOVE FINISHED FLOOR.
- FOR MASONRY VENEER INSTALLATION PROVIDE CONTINUOUS FLASHING AND WEEP HOLES EVERY 31" o/c MAX.
- PRIOR TO PROCEEDING WITH CONSTRUCTION THE BUILDER MUST VERIFY ALL INFORMATION, DIMENSIONS AND SPECIFICATIONS OF THIS PLAN.
- CONTRACTOR SHALL CHECK ALL DIMENSIONS ON WORKING DRAWINGS AND REPORT ANY DISCREPANCIES TO ORCHARD DESIGN STUDIO BEFORE PROCEEDING WITH THE WORK. ANY CHANGES, ALTERATIONS OR REVISIONS MUST BE REPORTED TO ORCHARD DESIGN STUDIO BEFORE PROCEEDING WITH THE WORK.
- ALL CONSTRUCTION FOR THE INSTALLATION OF DUCTS AND PLENUMS TO BE IN COMPLIANCE WITH 6.3.2. OF THE ONTARIO BUILDING CODE.
- PROVISIONS SHALL BE MADE FOR THE RETURN OF THE AIR FROM ALL ROOMS BY LEAVING A GAP ON THE UNDERSIDE OF THE DOOR OR BY PROVIDING A LOUVRED DOOR.

FOUNDATION NOTES

- ALL WORK IS TO BE PERFORMED IN ACCORDANCE WITH THE CONSTRUCTION SAFETY ACT 1980 AND ANY SUBSEQUENT AMENDMENTS.
- REMOVE ALL TOPSOIL, ORGANIC AND LOOSE FILL MATERIAL FROM BUILDING AREA BEFORE STARTING CONSTRUCTION.
- PROOF ROLL EXISTING FILL MATERIAL. REMOVE ANY LOOSE OR SOFTENED AREAS BENEATH SLAB ON GRADE BEFORE PLACING GRANULAR FILL.
- ALL FOOTINGS SHALL BEAR ON UNDISTURBED SOIL OR COMPACTED FILL WITH A MINIMUM SOIL BEARING CAPACITY AS PER O.B.C. 9.15.1.
- ALL EXTERIOR FOOTINGS SHALL BE A MINIMUM 4'-0" BELOW FINISHED EXTERIOR GRADE TO PROTECT THE FOOTINGS FROM FROST ACTION AS PER O.B.C. 9.12.2.
- ALL CONCRETE WORK TO CONFORM TO CSA STANDARD A438-00 AND A23.1-04.
- REINFORCING STEEL SHALL BE DEFORMED HI-BOND HARD GRADE WITH A MINIMUM YIELD STRENGTH OF 400 MPa as per 9.3.1.1(4)(b).
- ALL STUD WALLS SHALL BE ANCHORED TO THE FOUNDATION OR FLOOR SLAB WITH 1/2" DIAMETER ANCHOR BOLTS AT 7'-10 1/2" o/c MAXIMUM.
- THE COMPRESSIVE STRENGTH OF UNREINFORCED CONCRETE AFTER 28 DAYS SHALL NOT BE LESS THAN:

32 MPa	FOR GARAGE and CARPORT FLOORS AND ALL EXTERIOR FLATWORK.
20 MPa	FOR INTERIOR FLOORS OTHER THAN THOSE FOR GARAGES AND CARPORTS.
15 MPa	FOR ALL OTHER APPLICATIONS, UNLESS NOTED OTHERWISE.
- ALL CONCRETE FORMS TO BE WET THOROUGHLY BEFORE POURING CONCRETE.
- DO NOT ADD WATER TO CONCRETE. IF HIGHER SLUMP CONCRETE IS DESIRED, CONCRETE SUPPLIER SHALL DESIGN AND SUPPLY ACCORDINGLY.
- WATER CURING OF CONCRETE IS RECOMMENDED.
- USE A MINIMUM OF 4" COMPACTED LAYER OF 3/4" CLEAR STONE UNDER ALL GROUND SLABS.
- ANY NECESSARY PRECAUTIONS SHALL BE TAKEN TO ENSURE THAT EXISTING FOOTINGS ARE NOT DISTURBED OR UNDERMINED IN ANY WAY DURING EXCAVATION.
- THE FOLLOWING MINIMUM CONCRETE COVERS FOR REINFORCING STEEL SHALL BE PROVIDED:

FOOTINGS:	3" +/-
PIERS AND WALLS:	1 1/2" +/-

 UNLESS NOTED OTHERWISE.
- SPACING OF CONTROL JOINTS IN CONCRETE SLABS SHALL NOT EXCEED 20'-0" o/c.

FRAMING NOTES

- STRUCTURAL STEEL SHALL CONFORM TO CSA G40.21-44W, G40.21-50W CLASS H FOR H.S.S. AND G40.21-50W FOR W SHAPE SECTIONS.
- STEEL BEAMS SHALL HAVE 3 1/2" MINIMUM END BEARING. STEEL LINTELS SHALL HAVE 6" MINIMUM BEARING ON MASONRY UNLESS INDICATED OTHERWISE.
- ALL BEAMS CANTILEVERED OVER A COLUMN OR OTHER SUPPORT SHALL HAVE A MINIMUM OF 2 3/8" THICK STIFFENER PLATES EACH SIDE OF WEB UNLESS INDICATED OTHERWISE.
- COLUMN BASE PLATES AND BEAM BEARING PLATES SHALL BE GROUTED WITH 1 1/2" NON-SHRINK GROUT.
- SHOP DRAWINGS OF STRUCTURAL STEEL SHALL BE SUBMITTED TO THE BUILDER FOR REVIEW BEFORE FABRICATION.
- WELDING OF STRUCTURAL STEEL SHALL CONFORM TO THE REQUIREMENTS OF CSA STANDARD W59 AND SHALL BE UNDERTAKEN BY A FABRICATOR FULLY APPROVED BY THE CANADIAN WELDING BUREAU TO THE REQUIREMENTS OF CSA STANDARD W47.
- BOLTED CONNECTIONS SHALL USE A325 BOLTS, USING BEARING TYPE CONNECTIONS.
- PREFABRICATED WOOD TRUSSES SHALL BE DESIGNED IN ACCORDANCE WITH THE DETAILS AND DESIGN LOADS ON THE ARCHITECTURAL DRAWINGS AND/OR O.B.C. REQUIREMENTS. SHOP DRAWINGS OF THE ROOF TRUSSES INCLUDING LAYOUT OF THE TRUSSES, BRIDGING, BRACING AND BEARING DETAILS INCLUDING HOLD-DOWN CLIPS) SHALL BEAR THE STAMP OF A REGISTERED PROFESSIONAL ENGINEER OF THE PROVINCE OF ONTARIO AND SHALL BE SUBMITTED TO THE BUILDER AND DESIGNER FOR REVIEW BEFORE FABRICATION.
- ALL TIMBER FOR WOOD TRUSSES SHALL BE KILN DRIED AND WELL SEASONED IN ORDER TO PREVENT POSSIBLE DISTORTION OR DEFORMATION OF THE TRUSSES.
- NAILING REQUIREMENTS (AS PER O.B.C.) SHALL BE AS FOLLOWS:

VERTICAL STUDS TO BOTTOM PLATES:	(4) 3" ARDOX NAILS.
VERTICAL STUDS TO TOP PLATES:	(4) 3 1/2" ARDOX NAILS.

 ROOF TRUSSES TO PLATES: TO BE DESIGNED BY TRUSS Eng.
 WIND BRACING (PER TRUSS): TO BE DESIGNED BY TRUSS Eng.
 BRIDGING (PER TRUSS): TO BE DESIGNED BY TRUSS Eng.
 LINTELS:

■ 1/2" ARDOX NAILS
■ 12" o/c HORIZONTAL AND 4" o/c VERTICAL STAGGERED.
■ 1/2" ARDOX NAILS
■ 8" o/c TO STUDS AND PLATES.
- WALL SHEATHING:

■ 4" o/c VERTICAL STAGGERED.
■ 1/2" ARDOX NAILS
■ 8" o/c TO STUDS AND PLATES.
- ALL STUD WALLS SHALL BE ANCHORED TO THE FOUNDATION OR FLOOR SLAB WITH 1/2" DIAMETER ANCHOR BOLTS AT 7'-10 1/2" o/c MAXIMUM.
- ALL WOOD SHALL BE No. 2 SPRUCE OR BETTER.
- THE GENERAL CONTRACTOR SHALL TAKE PRECAUTIONS TO NOT OVERLOAD THE STRUCTURE DURING CONSTRUCTION.
- WHERE FLOOR JOISTS ARE PARALLEL TO EXTERIOR SUPPORT WALL TURN JOISTS BACK 2'-0" FOR BRICK CANTILEVER.

WINDOW and DOOR NOTES

TYPE and OPERATION

- FOR EXTERIOR WINDOW AND DOOR TYPES, REFER TO FINAL BLOCK ELEVATION PLANS
- EXTERIOR WINDOW AND DOOR TYPES ARE DENOTED AS FOLLOWS:

C	CASEMENT
HS	HORIZONTAL SLIDER
SL	SIDE LITE
T	TRANSOM
D	INSULATED METAL ENTRY DOOR
PS	PATIO SLIDER
OH	OVERHEAD GARAGE DOOR
- FOR OPERATION or SWING DIRECTION OF WINDOWS AND DOORS, REFER TO ELEVATIONS. ALL WINDOWS OR WINDOW LITES NOT DENOTED WITH AN OPERATOR ARE TO BE FIXED LITE or PICTURE WINDOWS
- PROVIDE MAXIMUM 36" WIDE STRUCTURAL HORIZONTAL BASEMENT SLIDER WHERE NOTED ON ELEVATIONS. CONTRACTOR TO ENSURE THAT UNIT CONFORMS TO MINIMUM CODE REQUIREMENTS FOR SUPPORT OF MASONRY VENEER. REFER TO UNIT PLANS FOR HEADER SIZE.

SIZE and DIMENSIONS

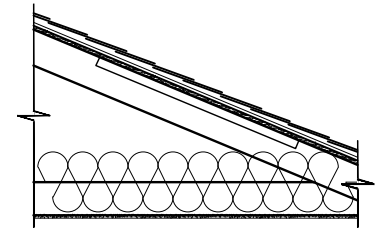
- FOR WINDOW AND DOOR SIZES (INCLUDING SIDELITES, TRANSOMS, EXTENDED SEGMENTALS, ENTRY DOORS, PATIO SLIDERS AND OVERHEAD GARAGE DOORS) REFER TO ELEVATION DRAWINGS
- ALL DOOR AND WINDOW SIZES SHOWN ARE IN INCHES.
- DOOR AND WINDOW SIZES SHOWN ARE NOMINAL. CONTRACTOR TO VERIFY ROUGH OPENING DIMENSIONS WITH MANUFACTURER'S SPECIFICATIONS.

FINISHES

- ALL WINDOWS AND TRANSOMS TO BE VINYL CLAD.
- ALL DOORS (INCLUDING ENTRY DOORS, PATIO SLIDERS SIDE LITES, TRANSOMS AND OVERHEAD GARAGE DOORS) TO BE PRIMED AND PAINTED.
- CONTRACTOR TO VERIFY FINISH OF ALL WINDOWS AND DOORS WITH BUILDER.

ROOF TYPES

R-A

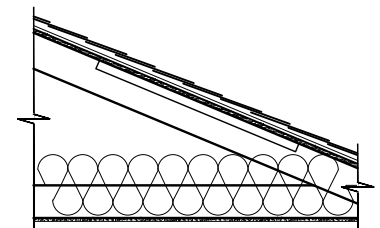


TYPICAL WOOD TRUSS ROOF

- MINIMUM 210lb. ASPHALT SHINGLES
- MINIMUM 36" WIDE EAVE PROTECTION TO MINIMUM 12" INSIDE INNER FACE OF WALL
- MINIMUM 36" WIDE VALLEY FLASHING AS REQUIRED
- ROOF VENTS WITH UNOBSTRUCTED FREE AREA OF 1:300 OF INSULATION CEILING AREA
- 7/16" PLYWOOD, WAFER BOARD OR O.S.B. SHEATHING c/w EDGE CLIPS ON PRE-ENGINEERED WOOD TRUSSES
- R60 INSULATION AT BOTTOM CHORD OF CEILING JOISTS
- INSULATION BAFFLES & AIR CHANNELS TO ENSURE ADEQUATE VENTILATION
- 6mil CONTINUOUS POLY VAPOUR BARRIER
- 1/2" GYPSUM CEILING BOARD

IN SLOPED ROOF AREAS PROVIDE MINIMUM R31 BATT INSULATION and ENSURE 3" AIR SPACE BETWEEN INSULATION AND ROOF SHEATHING

R-B



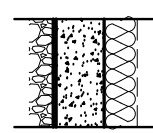
TYPICAL WOOD RAFTER ROOF

- MINIMUM 210lb. ASPHALT SHINGLES
- MINIMUM 36" WIDE EAVE PROTECTION TO MINIMUM 12" INSIDE INNER FACE OF WALL
- MINIMUM 36" WIDE VALLEY FLASHING AS REQUIRED
- ROOF VENTS WITH UNOBSTRUCTED FREE AREA OF 1:300 OF INSULATION CEILING AREA
- 7/16" PLYWOOD, WAFER BOARD OR O.S.B. SHEATHING c/w EDGE CLIPS ON 2x6 WOOD RAFTERS at 16" o.c. (UNLESS NOTED OTHERWISE ON FRAMING PLAN)
- R60 INSULATION AT BOTTOM CHORD OF CEILING JOISTS
- INSULATION BAFFLES & AIR CHANNELS TO ENSURE ADEQUATE VENTILATION
- 6mil CONTINUOUS POLY VAPOUR BARRIER
- 1/2" GYPSUM CEILING BOARD

IN SLOPED ROOF AREAS PROVIDE MINIMUM R31 BATT INSULATION and ENSURE 3" AIR SPACE BETWEEN INSULATION AND ROOF SHEATHING

WALL TYPES

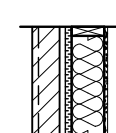
W-A



TYPICAL UNFINISHED EXTERIOR FOUNDATION WALL

- ASPHALTIC DAMP PROOFING TO FINISHED GRADE
- DRAIN LAYER FOUNDATION WRAP
- 8" or 9" CONCRETE FOUNDATION (REFER TO PLANS)
- R20 BLANKET INSULATION, FULL HEIGHT OF FOUNDATION WALL
- 6mil POLY VAPOUR/AIR BARRIER, OVERLAPPED AND SEALED

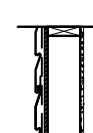
W-D



TYPICAL EXTERIOR MASONRY WALL

- BRICK VENEER c/w GALVANIZED BRICK TIES OVERHANG FOUNDATION
- 1" MINIMUM AIR SPACE
- 1" RIGID INSULATION (R5), SEALED AND TAPED
- 2x6 WOOD STUDS at 16" o.c.
- R22 BATT INSULATION
- 6mil POLY VAPOUR/AIR BARRIER OVERLAPPED AND SEALED
- 1/2" GYPSUM BOARD

W-G

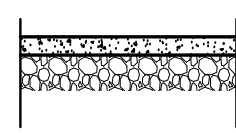


TYPICAL EXTERIOR GARAGE SIDING WALL

- PREFINISHED HORIZONTAL SIDING
- 7/16" WAFERBOARD OR O.S.B. SHEATHING
- 2x4 WOOD STUDS at 16" o.c.

FLOOR TYPES

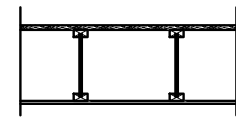
F-A



TYPICAL CONCRETE BASEMENT SLAB

- 3" CONCRETE SLAB ON
- 6mil POLYETHYLENE SUB-SLAB VAPOUR BARRIER RATED FOR RADON GAS
- GRANULAR 'A' BASE (COMPACT IN MINIMUM 6" THICK LAYERS)
- PROVIDE SAWN CONTROL JOINTS c/w JOINT FILLER

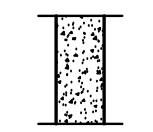
F-B



TYPICAL FRAMED FLOOR (ENGINEERED F.J. AS PER FLOOR DESIGN)

- 3/4" T&G SUBFLOOR ON
- 11-7/8" ENGINEERED FLOOR JOISTS AS PER MANUFACTURER'S SPECIFICATIONS (REFER TO FLOOR PACKAGE FOR SPACING AND CONFIGURATION)
- CROSS BRIDGING /BLOCKING AS PER FLOOR MANUFACTURER'S SPECIFICATIONS
- 1/2" GYPSUM BOARD CEILING (DOES NOT APPLY TO BASEMENTS UNLESS SPECIFIED)
- BATT INSULATION AT EXTERIOR HEADER SPACE

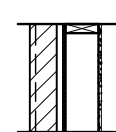
W-C



TYPICAL UNFINISHED INTERIOR FOUNDATION WALL

- 8" CONCRETE FOUNDATION

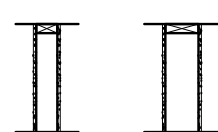
W-F



TYPICAL EXTERIOR GARAGE MASONRY WALL

- BRICK VENEER c/w GALVANIZED BRICK TIES OVERHANG FOUNDATION
- 1" MINIMUM AIR SPACE
- 7/16" WAFERBOARD OR O.S.B. SHEATHING
- 2x4 WOOD STUDS at 16" o.c.

W-I



TYPICAL WOOD STUD PARTITION

- 1/2" GYPSUM BOARD
- 2x4 WOOD STUDS at 16" o.c.
- 1/2" GYPSUM BOARD

CHANGE TO 2x6 WOOD STUDS WHERE DIMENSIONED ON PLANS



Designer Information
 I, CARRIE McMILLAN, review and take responsibility for the design work on behalf of Orchard Design Studio Incorporated registered under Firm BCIN: 28615

Signature

Project Information

PETER'S COTTAGE

CUSTOM COTTAGE
 306 NEW LAKESHORE ROAD, PORT DOVER, ON

Set Issuance

No.	Date	Description
1	2025.04.22	ISSUED FOR TRADES
2	2025.07.02	ISSUED FOR PERMIT

Sheet Information

SPECIFICATIONS AND SCHEDULES

Project No. 15981
 Project Start Date: 2025.03.21
 File: 15981 - Peter's Cottage - Preliminary.dwg
 Drawn by: MGL
 Scale: N.T.S.

WORKING DRAWINGS

A1.06



ZONING DEFICIENCY FORM

RESORT RESIDENTIAL ZONE

PROPERTY INFORMATION

PLANNING APPLICATION NUMBER: ANPL2026051

Applicant: Paul Breedyk - Breedyk Homes Ltd
Civic Address: 306 New Lakeshore Road
Legal Description: WDH PLAN 461 LOT 6 RP 37R8245 PART 2 IRREG 0.40AC 47.97FR D
Roll Number: 3310337040381000000
Current zoning: RR - Resort Residential, HL - Hazard Land
Proposed building/use: Demo existing vacation home and build a larger vacation home partially within HL zone
Existing uses on property: Vacation Home

ZONING PROVISIONS

	Proposed	Required	Deficiency	Zoning By-Law Reference
Lot Area	n/a ha	0.4 ha	m2	5.8.2 a
Lot Frontage	n/a m	15 m	m	5.8.2 b
Front Yard Setback	33.6 m	6 m	m	5.8.2 c
Exterior Side Yard Setback	n/a m	6 m	m	5.8.2 d
Interior Side Yard Setback(Left)	1.25 m	1.2 m	m	5.8.2 e
Interior Side Yard Setback(Right)	1.84 m	1.2 m	m	5.8.2 e
Rear Yard Setback	53.93 m	9 m	m	5.8.2 f
Building Height	7.23 m	9.1 m	m	5.8.2 g
Maximum lot coverage	11.4 %	15 %	%	5.8.2 h
Number of parking spaces	2	2		4.9 a
Other: Proposed use not permitted within Hazard Land Zone, relief required				1.2.2 (b), 11.1.1
Other:				

Comments: The proposed zoning provisions above are taken from site and lot grading plans provided by applicant.

The "proposed" information and any supporting documentation have been submitted by the owner/applicant. The information provided above pertains solely to zoning requirements and does not exempt the owner from obtaining any required building permits or complying with applicable laws and regulations that are administered by other agencies. The owner acknowledges and accepts responsibility for the accuracy of the proposed information included in this form.

Signature:
Owner / Applicant

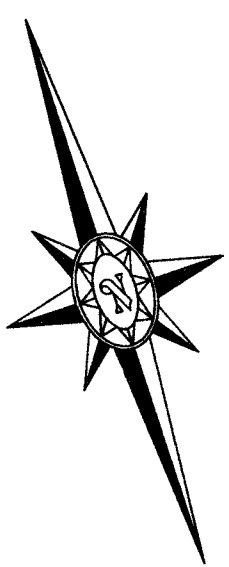
Zoning Administrator

Mar 10/26
Date

3/9/2026
Date

Community Development Division - Building Department

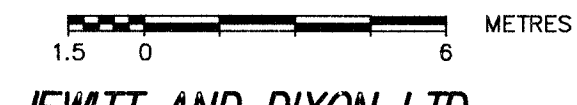
12 Gilbertson Drive, Simcoe, Ontario, Canada, N3Y 4N5 - 519-426-5870 | 226-NORFOLK Extension 6016



NEW LAKESHORE ROAD
(20.117m WIDE - REGISTERED PLAN 310)

**PROPOSED LOT GRADING
AND DRAINAGE SITE PLAN**
FOR:
**BREEDYK HOMES
#306 NEW LAKESHORE ROAD
PORT DOVER**
PIN 50256 - 0604 (LT)

SCALE 1 : 150



JEWITT AND DIXON LTD.

METRIC NOTE:

DISTANCES AND COORDINATES ARE METRIC AND CAN BE CONVERTED TO IMPERIAL BY DIVIDING BY 0.3048

UTILITY NOTE:

THE VARIOUS UTILITY LOCATIONS SHOWN ON THIS PLAN ARE BASED ON PHYSICAL LOCATES OF ABOVE GROUND SERVICES. PRIOR TO ANY ON SITE CONSTRUCTION ACTIVITY A VERIFICATION LOCATE OF UNDERGROUND SERVICES IS BOTH RECOMMENDED AND ADVISED.

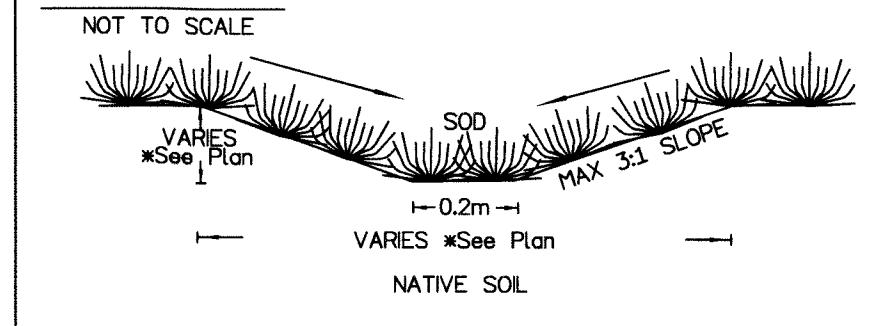
SITE B.M. #1

SPIKE IN FACE OF
WOOD HYDRO POLE
ELEV = 188.725
(GEODETIC)

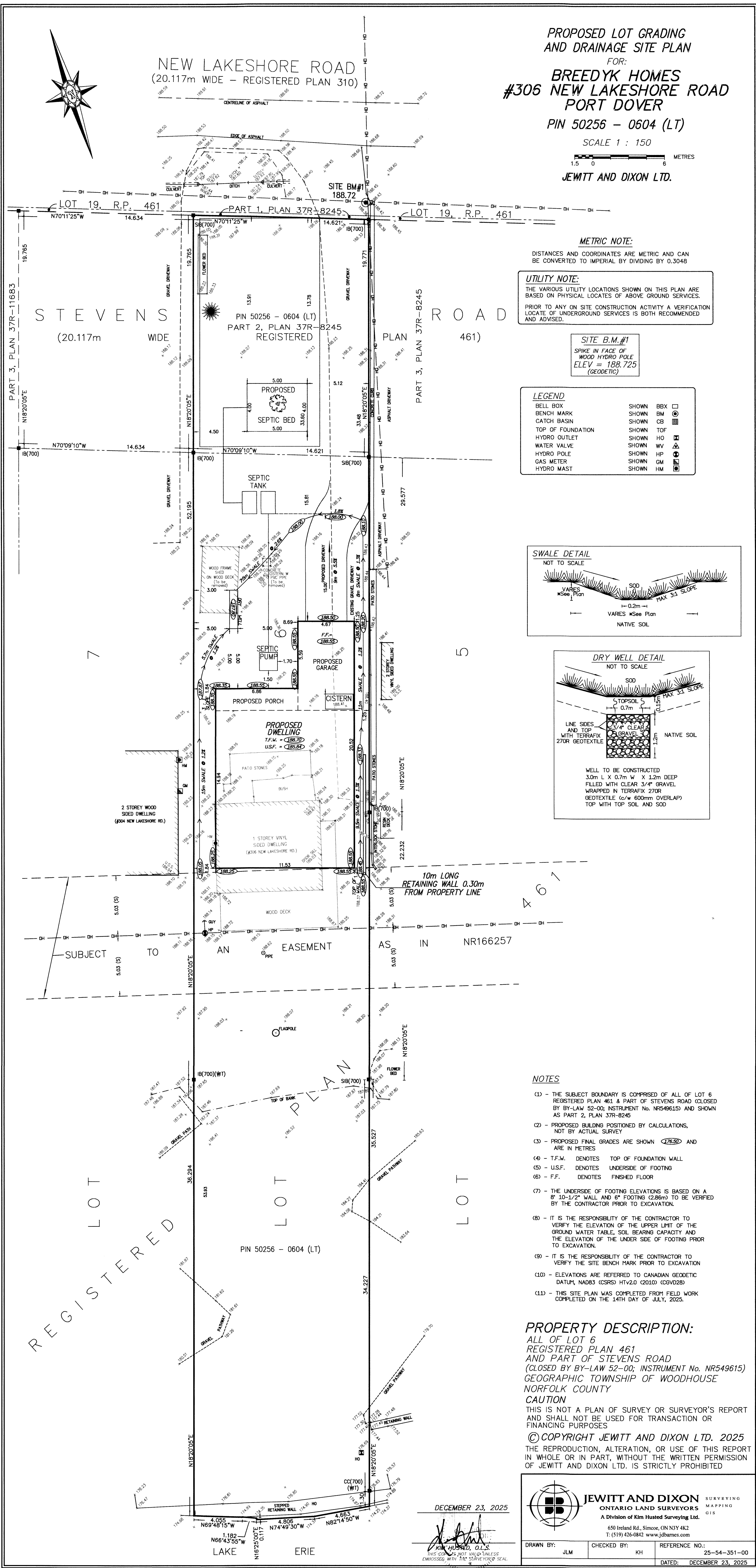
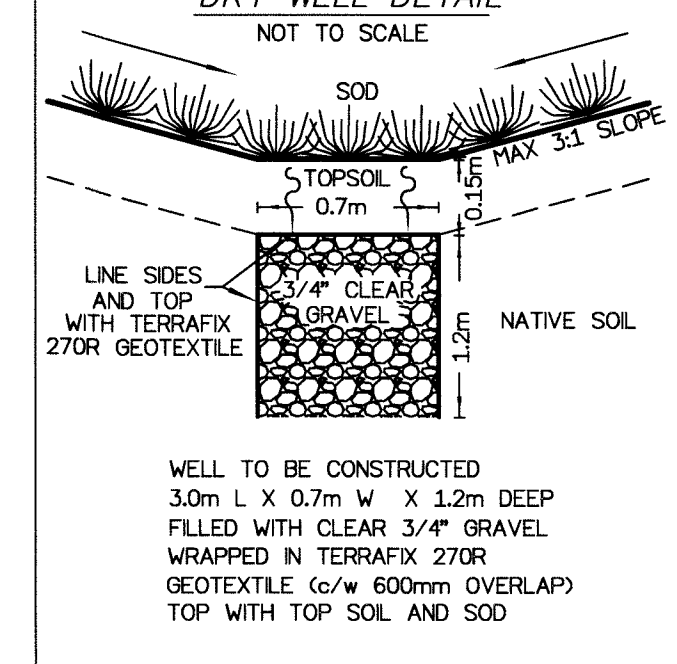
LEGEND

BELL BOX	SHOWN	BBX	□
BENCH MARK	SHOWN	BM	⊙
CATCH BASIN	SHOWN	CB	⊠
TOP OF FOUNDATION	SHOWN	TOF	⊕
HYDRO OUTLET	SHOWN	HO	⊕
WATER VALVE	SHOWN	WV	⊕
HYDRO POLE	SHOWN	HP	⊕
GAS METER	SHOWN	GM	⊕
HYDRO MAST	SHOWN	HM	⊕

SWALE DETAIL



DRY WELL DETAIL



NOTES

- (1) - THE SUBJECT BOUNDARY IS COMPRISED OF ALL OF LOT 6 REGISTERED PLAN 461 & PART OF STEVENS ROAD (CLOSED BY BY-LAW 52-00, INSTRUMENT No. NR549615) AND SHOWN AS PART 2, PLAN 37R-8245
- (2) - PROPOSED BUILDING POSITIONED BY CALCULATIONS, NOT BY ACTUAL SURVEY
- (3) - PROPOSED FINAL GRADES ARE SHOWN (76.50) AND ARE IN METRES
- (4) - T.F.W. DENOTES TOP OF FOUNDATION WALL
- (5) - U.S.F. DENOTES UNDERSIDE OF FOOTING
- (6) - F.F. DENOTES FINISHED FLOOR
- (7) - THE UNDERSIDE OF FOOTING ELEVATIONS IS BASED ON A 8" 10-1/2" WALL AND 6" FOOTING (2.86m) TO BE VERIFIED BY THE CONTRACTOR PRIOR TO EXCAVATION.
- (8) - IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE ELEVATION OF THE UPPER LIMIT OF THE GROUND WATER TABLE, SOIL BEARING CAPACITY AND THE ELEVATION OF THE UNDER SIDE OF FOOTING PRIOR TO EXCAVATION.
- (9) - IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE SITE BENCH MARK PRIOR TO EXCAVATION
- (10) - ELEVATIONS ARE REFERRED TO CANADIAN GEODETIC DATUM, NAD83 (CSRS) HTV2.0 (2010) (CGVD28)
- (11) - THIS SITE PLAN WAS COMPLETED FROM FIELD WORK COMPLETED ON THE 14TH DAY OF JULY, 2025.

PROPERTY DESCRIPTION:

ALL OF LOT 6
REGISTERED PLAN 461
AND PART OF STEVENS ROAD
(CLOSED BY BY-LAW 52-00, INSTRUMENT No. NR549615)
GEOGRAPHIC TOWNSHIP OF WOODHOUSE
NORFOLK COUNTY

CAUTION

THIS IS NOT A PLAN OF SURVEY OR SURVEYOR'S REPORT AND SHALL NOT BE USED FOR TRANSACTION OR FINANCING PURPOSES

© COPYRIGHT JEWITT AND DIXON LTD. 2025
THE REPRODUCTION, ALTERATION, OR USE OF THIS REPORT IN WHOLE OR IN PART, WITHOUT THE WRITTEN PERMISSION OF JEWITT AND DIXON LTD. IS STRICTLY PROHIBITED

JEWITT AND DIXON
ONTARIO LAND SURVEYORS
A Division of Kim Husted Surveying Ltd.
650 Ireland Rd., Simcoe, ON N3Y 4K2
T: (519) 426-0842 www.jdbarnes.com

DECEMBER 23, 2025

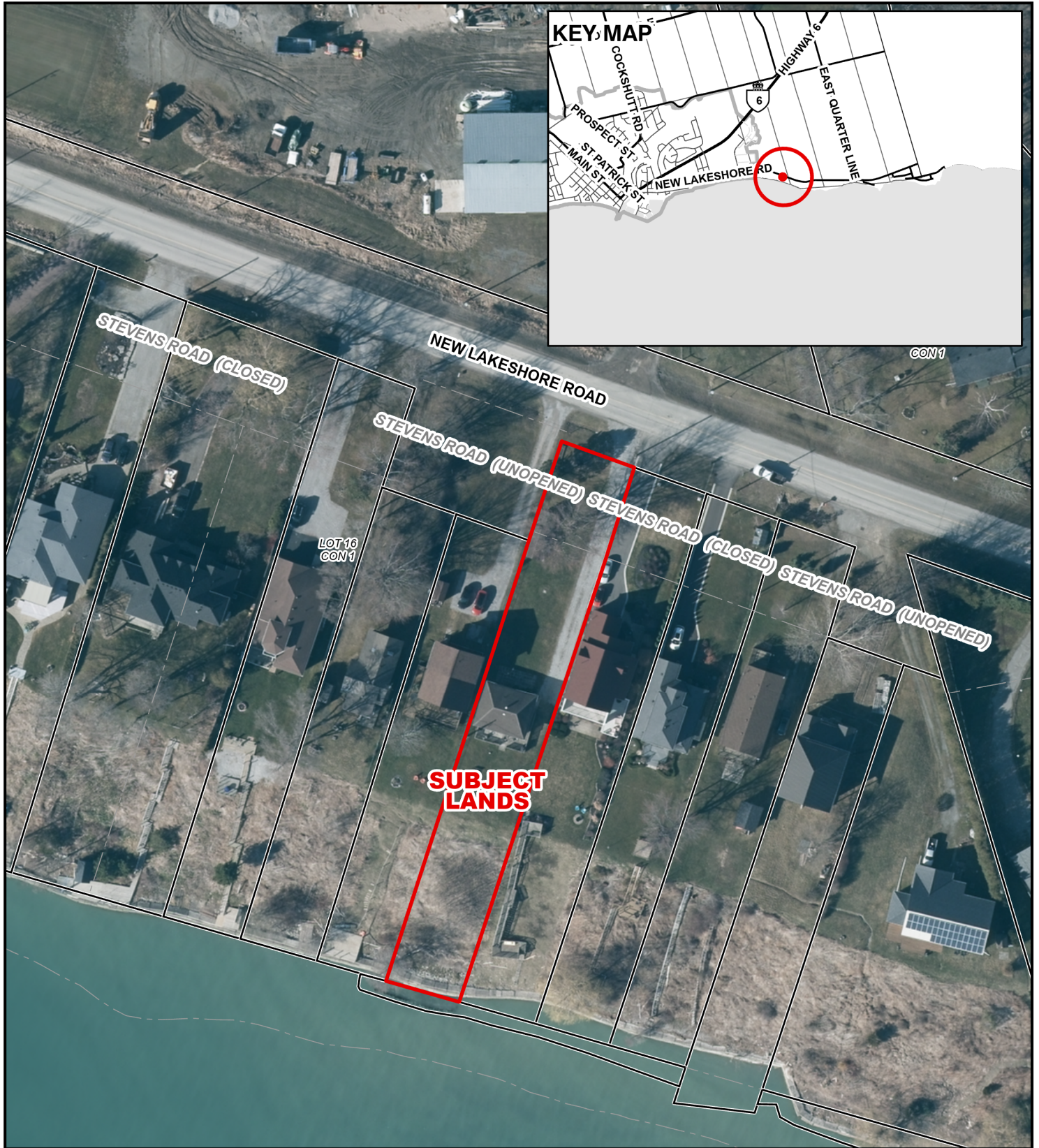
DRAWN BY: JLM CHECKED BY: KH REFERENCE NO.: 25-54-351-00
DATED: DECEMBER 23, 2025

MAP A


ANPL2026051

CONTEXT MAP

Geographic Township of WOODHOUSE

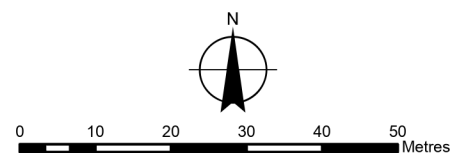


Legend

 Subject Lands

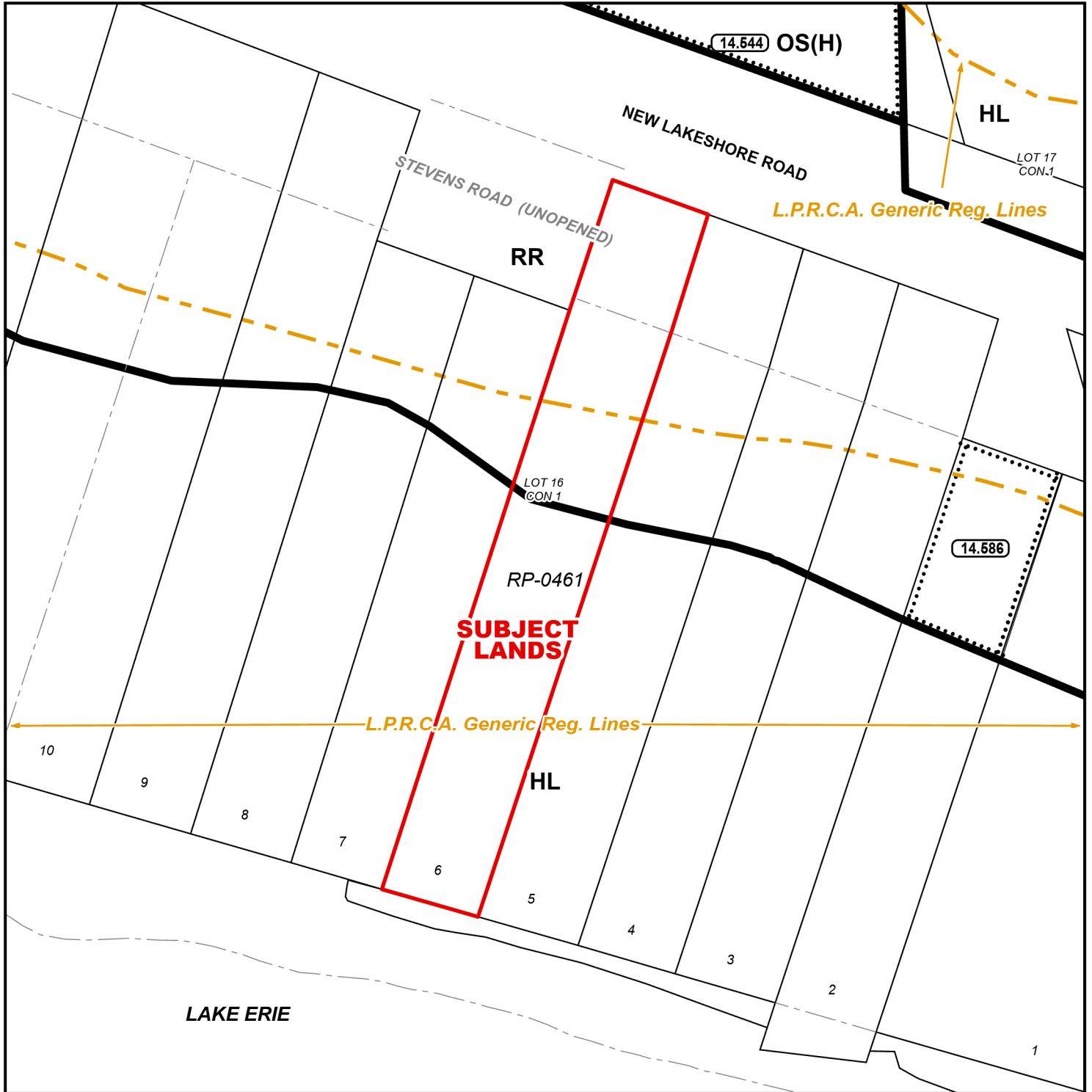
4/2/2026

2020 Air Photo



MAP B
ZONING BY-LAW MAP
 Geographic Township of WOODHOUSE

ANPL2026051



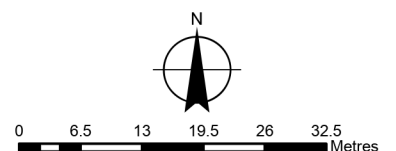
LEGEND

- Subject Lands
- LPRCA Generic RegLines

ZONING BY-LAW 1-Z-2014

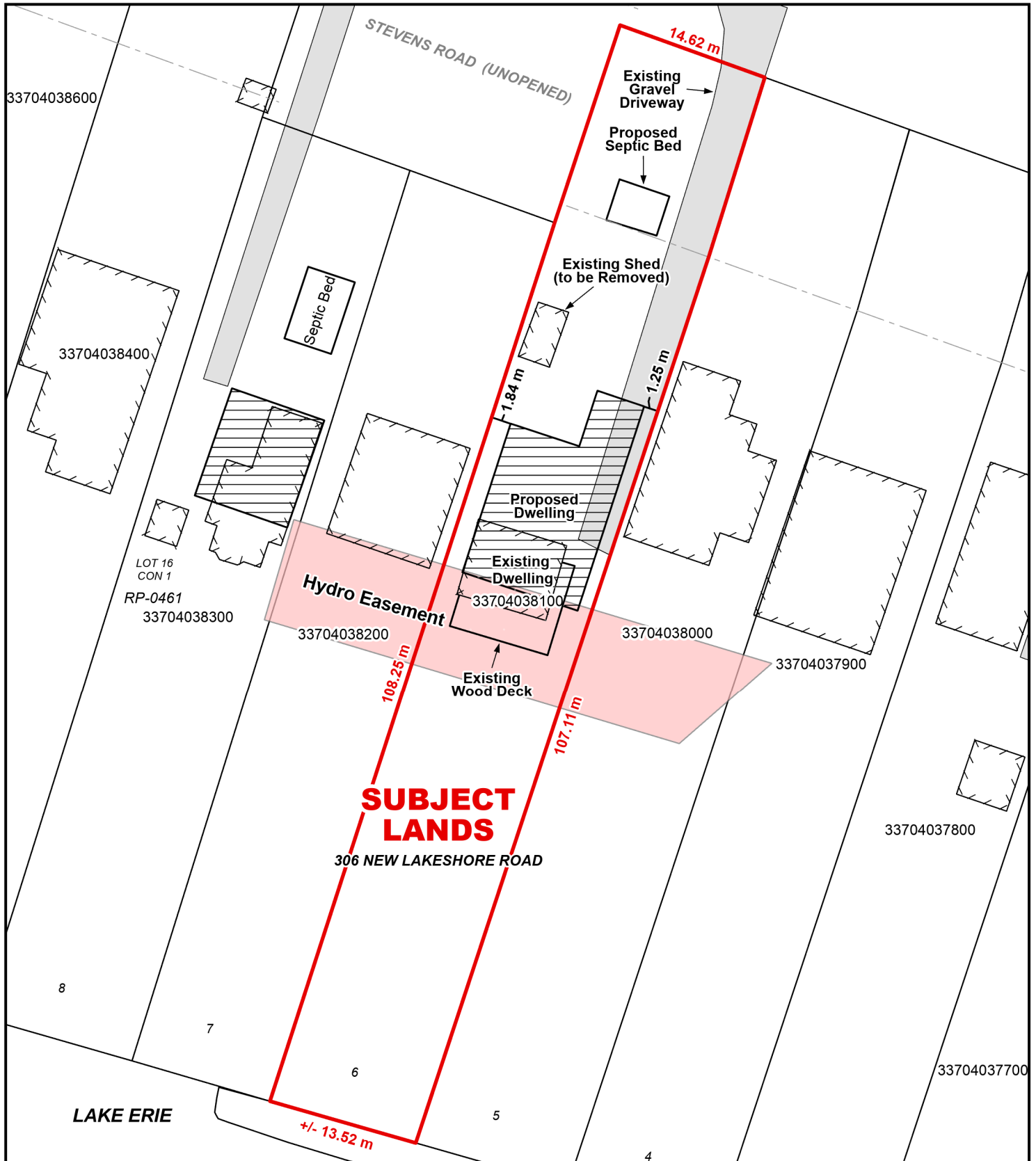
4/2/2026

- (H) - Holding
- HL - Hazard Land Zone
- OS - Open Space Zone
- RR - Resort Residential Zone



CONCEPTUAL PLAN

Geographic Township of WOODHOUSE



Legend

Subject Lands

4/2/2026

