

Committee of Adjustment Application for Minor Variance

Complete Application

The application must be completed by the owner or authorized agent. If the application is being submitted by an agent, the owner's written authorization is required. If the lands subject to this application are owned by more than one owner, the authorization of all owners is required. Submission of this application constitutes consent for authorized municipal staff to inspect the subject lands.

It is the responsibility of the applicant to research and evaluate the site and the proposal to ensure that the development will conform to the interests of the health, safety and welfare of future residents. Sufficient studies for the completion of the application should be carried out prior to submission and should be reflected in the application form.

Before the Application is submitted

A pre-consultation meeting is not required for Committee of Adjustment applications; however, further information can be provided by Planning Department staff prior to the submission of an application. The purpose of communicating with a planner before you submit your application is: to review the proposal / application, to discuss potential issues; and to determine the required supporting information and materials to be submitted with your application before it can be considered complete by staff.

Online Application Process

All applications must be submitted online via the County's CityView Portal. The portal can be accessed here: [Welcome - CityView Portal](#). The applicant will submit the materials required as part of a complete application. Once the County confirms receipt of a complete submission, the applicant will be contacted and provided further directions for payment options.

User Fees

The planning application fee will be determined when the application can be deemed complete according to Norfolk County Community Planning user fees: [User Fees | Norfolk County](#)

Cash, debit, credit or cheque payable to Norfolk County in the amount set out in the user fees By-Law that will be accepted and deposited once the application has been deemed complete.

If the subject lands are located in an area that is regulated by either the Long Point Region Conservation Authority or by the Grand River Conservation Authority an additional fee will be required if review by the applicable agency is deemed necessary. A separate cheque



payable to the Long Point Region Conservation Authority or the Grand River Conservation Authority is required in accordance with their fee schedule at the time of submission.

Grand River Conservation Authority

[Plan Review fees | Grand River Conservation Authority](#)

Long Point Region Conservation Authority

[Planning Fees - Long Point Region Conservation Authority](#)

After the application is submitted

In order for the application to be deemed complete, all of the components noted above are required. The *Planning Act* permits up to 30 days to review and deem an application complete.

Once the application has been deemed complete by the Planning Department, it is then circulated to public agencies and County departments for review and comment. A sign is provided that is required to be posted on the subject lands summarizing the application and specifying the committee meeting date. The comments received from members of the community will be included in the planning report and given consideration.

Additional studies required as part of the complete application shall be at the sole expense of the applicant. Any required peer reviews shall be at the expense of the applicant. The peer reviewer shall be selected by the County.

If the application is withdrawn prior to the circulation to commenting agencies, the entire original fee will be refunded. If withdrawn after the circulation to agencies, half the original fee will be refunded. No refund is available after the public meeting and/or approval of application.

Notification Sign Requirements

Planning Department staff may post a notification sign on your property in advance of the public meeting on your behalf. Please keep this sign posted until you have received a notice in the mail indicating that the Secretary Treasurer received no appeals.

It is the applicant's responsibility to ensure that the sign is correctly posted within the statutory timeframes, according to the *Planning Act*. Failure to post a sign in advance of the public meeting in accordance with statutory requirements will impact the timing of the Committee of Adjustment meeting. Applicants are responsible for removing the sign following the appeal period. The signs are recyclable and can be placed in your blue box.

Contact Us

For additional information or assistance in completing this application, please contact a planner at 519-426-5870 ext. 8159 or coa@norfolkcounty.ca

**For Office Use Only:**

File Number	_____	Application Fee	_____
Related File Number	_____	Conservation Authority Fee	_____
Application Submitted	_____	Well & Septic Info Provided	_____
Complete Application	_____	Planner	_____
		Public Notice Sign	_____

Check the type of planning application(s) you are submitting.

- ☒ Standard Minor Variance
☐ Complex Minor Variance (After the fact)
☐ Routine Minor Variance

Property Assessment Roll Number: 33606006010

A. Applicant Information

Name of Owner Darren and Amy Vandertuin

It is the responsibility of the owner or applicant to notify the planner of any changes in ownership within 30 days of such a change.

Address 1589 THOMPSON RD E
Town and Postal Code Waterford, N0E 1Y0
Phone Number _____
Cell Number 519 717 0647
Email darren_jv@hotmail.com

Name of Authorized Applicant AJ VanBerlo
Address 1045 Thompson Rd E
Town and Postal Code Waterford, N0E 1Y0
Phone Number _____
Cell Number 519 410 5886
Email allurecustomcarpentry@gmail.com



Name of Authorized Agent

AJ VanBerlo

Address

1045 Thompson Rd E

Town and Postal Code

Waterford, N0E 1Y0

Phone Number

Cell Number

519 410 5886

Email

allurecustomcarpentry@gmail.com

Please specify to whom all communications should be sent. Unless otherwise directed, all correspondence and notices in respect of this application will be forwarded to the owner and agent noted above.

☐ Owner

☒ Agent

☒ Applicant

Names and addresses of any holder of any mortgagees, charges or other encumbrances on the subject lands:

B. Location, Legal Description and Property Information

1. Legal Description (include Geographic Township, Concession Number, Lot Number, Block Number and Urban Area or Hamlet):

1589 THOMPSON RD E, Townsend. TWN CON 8 PT LOT 20 RP

37R9214 PARTS 1 AND 2

Municipal Civic Address: 1589 Thompson Rd E. Waterford

Land acquisition date (if known):

Present Official Plan Designation(s): Agricultural

Present Zoning: Agricultural

2. Is there a special provision or site specific zone on the subject lands?

☐ Yes ☒ No

If yes, please specify:

3. Present use of the subject lands:

Residential Home

4. Please describe **all existing and proposed** buildings and structures on the subject lands and whether they are to be retained, demolished or removed.

Type of Building	Existing	Proposed
	Home, Shed, Pump House	Storage Garage
Number of Storey(s)	Storey and 1/2, 1, 1	2
Number of Dwelling Units per lot	1	0
Buildings/Structures/ARDU Width (m)	19.5	9.144
Building/ Structures /ARDU Length (m)	29	9.144
Building/ Structures /ARDU Height (m)	7.62	7.62
Usable Floor Area (sq.m)	139	150
Lot coverage	158	83.6

5. If an addition to an existing building is being proposed, please explain what it will be used for (for example a bedroom, kitchen, or bathroom). If new fixtures are proposed, please describe.

6. Are any existing buildings on the subject lands designated under the *Ontario Heritage Act* as being architecturally and/or historically significant?

☐ Yes ☒ No

If yes, identify and provide details of the building:

7. If known, the length of time the existing uses have continued on the subject lands:

8. Existing use of abutting properties:

West - Farm land. East - Residential

9. Are there any easements or restrictive covenants affecting the subject lands?

☐ Yes ☒ No If yes, describe the easement or restrictive covenant and its effect:

C. Zoning Review (chart must be completed in metric units)

Please fill out the required information for the main and accessory buildings and structures

	Zoning By-law Requirement	Proposed	Deficiency
Lot area (m ²)			
Lot frontage (m)			
Lot depth (m)			
Front Yard Setback (m)	13	3	10 m into the "front yard"
Left Side Yard Setback (m)			
Right Side Yard Setback (m)			
Rear Yard Setback (m)			
Exterior side yard (if applicable) (m)			
Height (m)			
Lot coverage (%)			
Buildings/structures separation (m)			
Detached Additional Dwelling Unit (ADU) or Accessory Building			
i) Usable floor area (m ²)			
ii) Height (m)			
iii) Building separation (m)			
Number of parking spaces			

D. Previous Use of the Property

1. Has there been an industrial or commercial use on the subject lands or adjacent lands?

☐ Yes ☒ No ☐ Unknown

If yes, specify the uses (for example: gas station, or petroleum storage):

2. Is there reason to believe the subject lands may have been contaminated by former uses on the site or adjacent sites?

☐ Yes ☒ No ☐ Unknown

3. Provide the information you used to determine the answers to the above questions:
Talked to current home owner

4. If you answered yes to any of the above questions in Section D, a previous use inventory showing all known former uses of the subject lands, or if appropriate, the adjacent lands, is needed. Is the previous use inventory attached?

☐ Yes ☒ No

E. Provincial Policy

1. Is the requested amendment consistent with the Provincial Planning Statements issued under subsection 3(1) of the *Planning Act, R.S.O. 1990, c. P. 13*?

☒ Yes ☐ No

If you answered no, please explain:

2. It is the owner's responsibility to be aware of and comply with all relevant federal or provincial legislation, municipal by-laws or other agency approvals, including the Endangered Species Act, 2007. Have the subject lands been screened to ensure that development or site alteration will not have any impact on the habitat for endangered or threatened species further to the Provincial Planning Statement ?

☐ Yes ☒ No

If no, please explain:

No endangered species around

3. Have the subject lands been screened to ensure that development or site alteration will not have any impact on source water protection?

☐ Yes ☒ No

If no, please explain:

No source water protection

Note: If the subject lands are in an area of source water Wellhead Protection Area (WHPA) A, B or C, Issue Contributing Area, Intake Protection zone, please attach relevant information and approved mitigation measures from the Risk Manager Official.

4. Does the property have any significant environmental features on the subject land or within 500 metres:

☐ Yes ☒ No

If yes, indicate: ☐ Significant Woodland ☐ Provincially Significant Wetland ☐

Floodplain ☐ Other _____

5. Does the property have any livestock facility or stockyard on the subject land or within 1000 metres:

☐ Yes ☒ No

If yes, the submission of Minimum Distance Separation (MDS) calculations may apply.

F. Servicing and Access

1. Indicate what services are available or proposed:

Water Supply

☐ Municipal piped water

☐ Communal wells

☒ Individual wells

☐ Other (describe below)

Sewage Treatment

- ☐ Municipal sewers ☐ Communal system
☒ Septic tank and tile bed in good working order ☐ Other (describe below)

Storm Drainage

- ☐ Storm sewers ☒ Open ditches
☐ Other (describe below)

2. Existing or proposed access to subject lands:

- ☒ Municipal road ☐ Provincial highway
☐ Unopened road ☐ Other (describe below)

Name of road/street:

Thompson Rd E

G. Other Information

Is there any other information that you think may be useful in the review of this application? If so, explain below or attach on a separate page.

Ease of access to the building. Keeping it away from their well and septic. They park large trailers at the back of the property and putting the building in line with the home would prevent them from being able to get trailers back there as they would be driving over top or near their septic bed. They plan on putting access to this garage off of their current driveway. Having it near the front of the property would allow this to be a straight shot. The ditch is so large and high and far from the road that the building would not be that close to the road. Not feel like it is on top of the road. They have the space to the west of their home to allow for drainage.

H. Supporting Material to be submitted by Applicant

In order for your application to be considered complete, folded hard copies and an electronic version of the site plan drawings, additional plans, studies and reports will be required in addition to a sketch plan in accordance with [Ontario Regulation 200/96](#).

i. Sketch in Metric Units

A sketch showing the following, in metric units:

- a) The boundaries and dimensions of the subject land.
- b) The location, size, dimensions, and type of all existing and proposed buildings and structures on the subject land, indicating the distance of the buildings or structures from the front yard lot line, rear yard lot line and the side yard lot lines.
- c) The approximate location of all natural and artificial features on the subject land and on land that is adjacent to the subject land that, in the opinion of the applicant, may affect the application. Examples include buildings, railways, roads, watercourses, drainage ditches, river or stream banks, wetlands, wooded areas, wells and septic tanks.
- d) The current uses on land that is adjacent to the subject land.
- e) The location, width and name of any roads within or abutting the subject land, indicating whether it is an unopened road allowance, a public travelled road, a private road or a right of way.
- f) If access to the subject land is by water only, the location of the parking and docking facilities to be used.
- g) The location and nature of any easement affecting the subject land.
- h) Location and setbacks of septic system and well from all existing and proposed lot lines, and all existing and proposed structures.



I. Transfers, Easements and Postponement of Interest

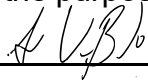
The owner acknowledges and agrees that if required it is their solicitor's responsibility on behalf of the owner to undertake the registration of all transfer(s) of land to the County, and/or transfer(s) of easement in favour of the County and/or utilities. The owner further acknowledges and agrees that it is their solicitor's responsibility on behalf of the owner to undertake the registration of postponements of any charges in favour of the County.

Permission to Enter Subject Lands

Permission is hereby granted to Norfolk County officers, employees or agents, to enter the premises subject to this application for the purpose of making inspections associated with this application, during normal and reasonable working hours.

Freedom of Information

For the purposes of the *Municipal Freedom of Information and Protection of Privacy Act*, I authorize and consent to the use by or the disclosure to any person or public body any information that is collected under the authority of the *Planning Act, R.S.O. 1990, c. P. 13* for the purpose of processing this application.

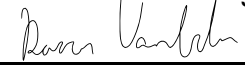
 _____	May 27, 2026 _____
Owner/Applicant/Agent Signature	Date

J. Owner's Authorization

If the authorized applicant/agent is not the registered owner of the lands that is the subject of this application, the owner must complete the authorization set out below.

I/We Darren and Amy am/are the registered owner(s) of the lands that is the subject of this application.

I/We authorize AJ VanBerlo to make this application on my/our behalf and to provide any of my/our personal information necessary for the processing of this application. Moreover, this shall be your good and sufficient authorization for so doing.

 _____	May 27, 2026 _____
Owner	Date
 _____	May 27, 2026 _____
Owner	Date

***Note:** If property is owned by an Ontario Ltd. Corporation, Articles of Incorporation are required to be attached to the application.



K. Declaration

I, AJ VanBerlo of Waterford, ON

solemnly declare that:

all of the above statements and the statements contained in all of the exhibits transmitted herewith are true and I make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath and by virtue of *The Canada Evidence Act*.

Declared before me at:

10:30 am


Owner/Applicant/Agent Signature

In Waterford

This 27 day of May

A.D., 20 26



A Commissioner, etc.



54.86m

WELL

22.55m

SEPTIC

Weeping
bed

16.76m

28.04m

109

3.66m

9.144m x 9.144m
Two storey
Storage garage

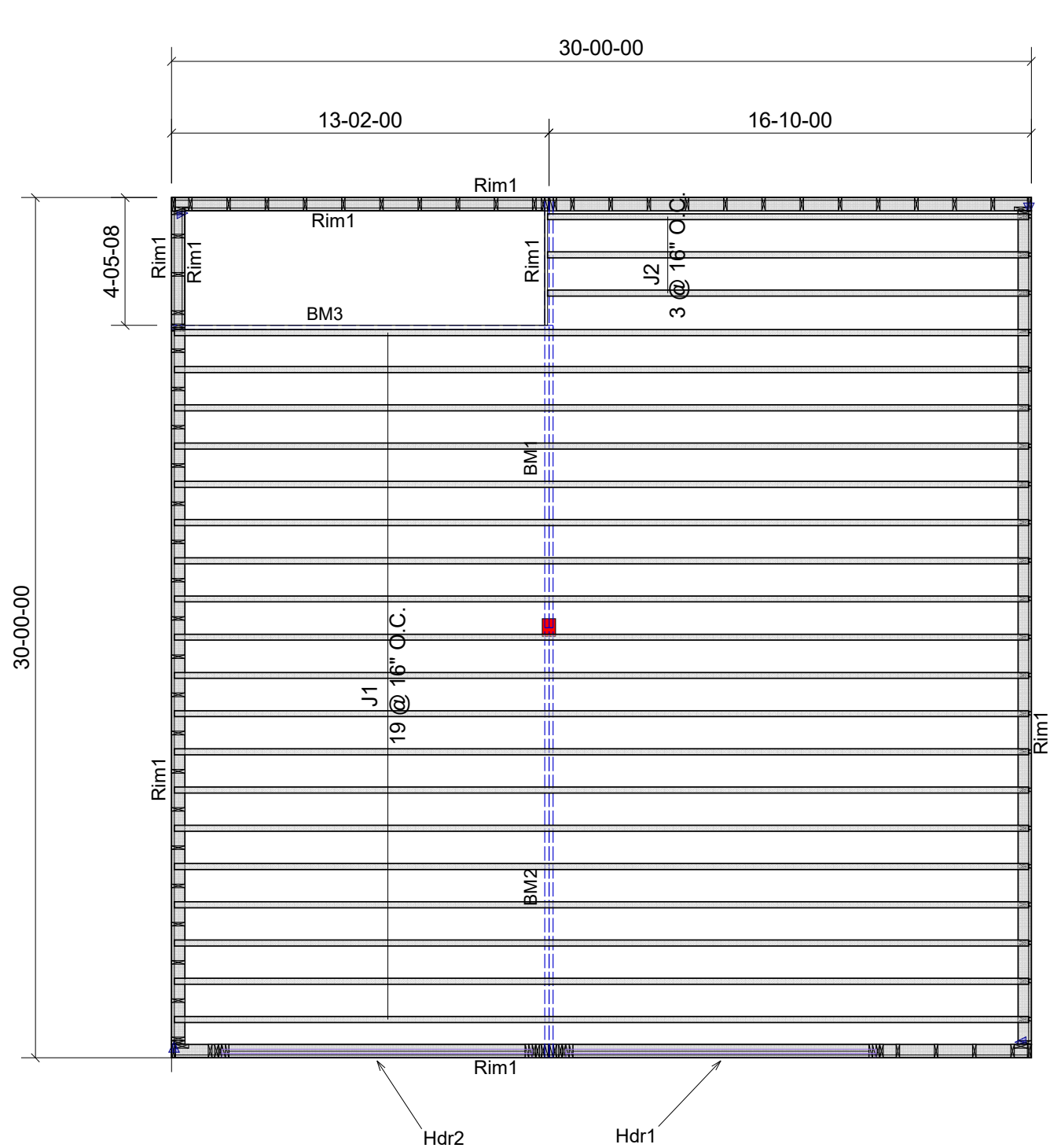
3m

3m

Vehicle access would be here
However, they are not installing a laneway
It will simply remain grass that they plan to drive over.

The building will be square to the property line

16.46m



Wall Framing					
PlotID	Length	Product	Plies	Net Qty	Fab Type
Hdr1	12-00-00	1-3/4" x 9-1/2" VERSA-LAM® LVL 2.1E 3100 SP	2	2	MFD
Hdr2	12-00-00	1-3/4" x 9-1/2" VERSA-LAM® LVL 2.1E 3100 SP	2	2	MFD

Products					
PlotID	Length	Product	Plies	Net Qty	Fab Type
J1	30-00-00	11-7/8" AJS® 140	1	19	MFD
J2	17-00-00	11-7/8" AJS® 140	1	3	MFD
BM3	14-00-00	1-3/4" x 11-7/8" VERSA-LAM® LVL 2.1E 3100 SP	1	1	MFD
BM1	16-00-00	1-3/4" x 14" VERSA-LAM® LVL 2.1E 3100 SP	2	2	MFD
BM2	16-00-00	1-3/4" x 14" VERSA-LAM® LVL 2.1E 3100 SP	2	2	MFD
Rim1	12-00-00	1 1/8" x 11 7/8" APA Rim Board	1	12	MFD

LEVEL AND FLOOR CONTAINER NOTES	
Current Date:	
File Name:	
Level Name:	
Building Code - Design Methodology:	
Floor Container:	
Floor Area Loading is:	
Maximum Allowed Deflection	

- NOTES:
- DO NOT scale this layout. This is only a placement guide only. Read and understand all information supplied in the installation guide package before installation of the floor system.
 - Layout to be used in coordination with Architectural/ Structural drawings.
 - It is the responsibility of the installer to properly receive, unload, store, handle, install and brace the floor to protect life and property.
 - Carefully inspect the floor joists for adequacy and damage. Do not install damaged trusses. Call Titan Truss for repair details or replacement floor joists.
 - Roof framing is assumed to bear on exterior walls only. Floor system is NOT designed to support interior roof loads unless noted otherwise
 - Framer is responsible for proper transfer of all loads to the supporting structure unless noted otherwise
 - Toilet/tub locations shown on layout are approximate, framer to verify locations and adjust joist spacing accordingly



Boise Cascade

ENGINEERED WOOD PRODUCTS



6151 Colonel Talbot Rd, ON N6P 1J2
Ph: (519) 471-1299 TF: (888) 471-1299
info@titantruss.ca

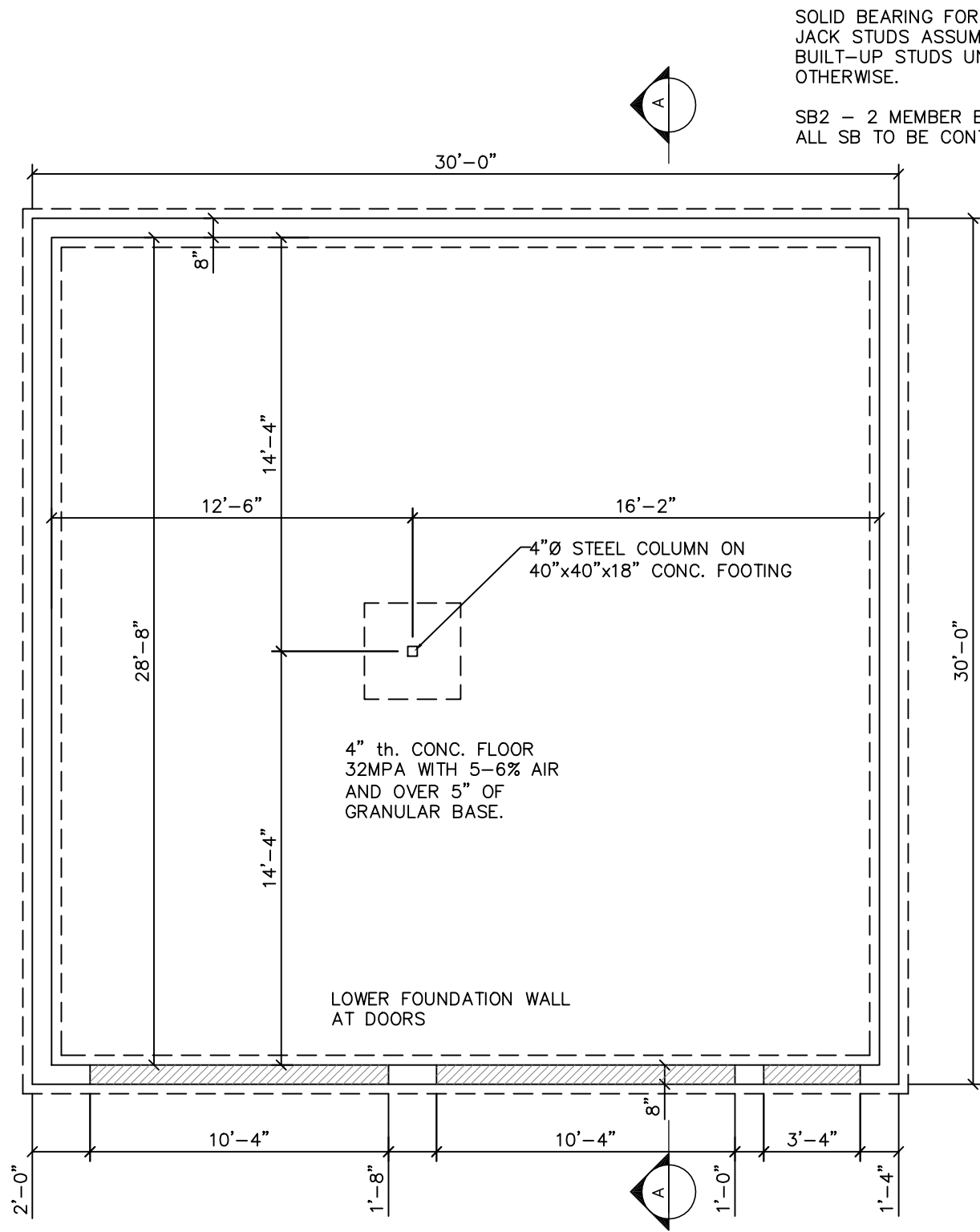
Customer
Waterford HBC

Project:
Allure Custom
Carpentry/Vandertuin-Garage-Floor

Date:
15-Apr-2026

Quote No.:
46741A

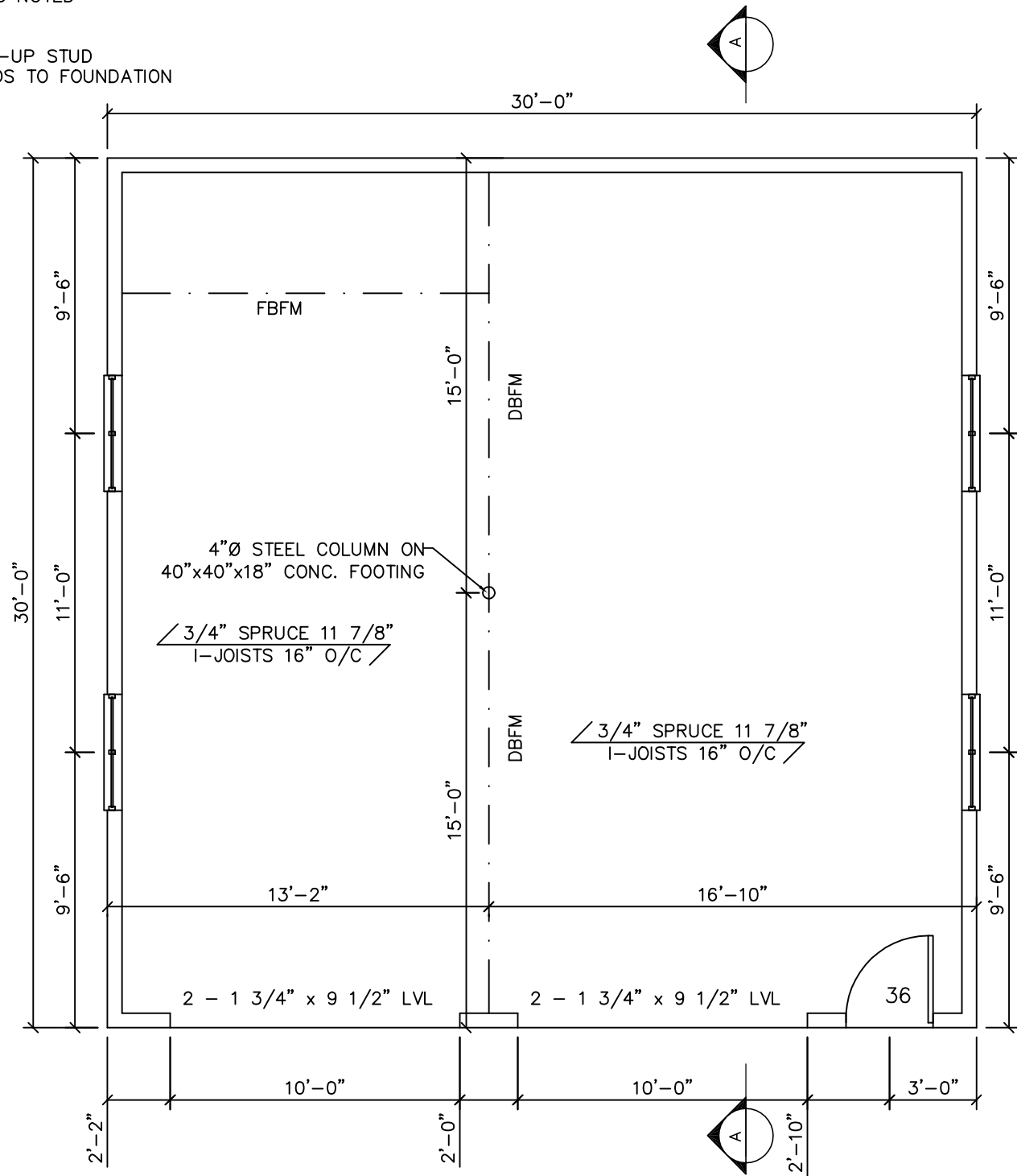
FLOOR FRAMING



FOUNDATION

SOLID BEARING FOR ALL POSTS AND
JACK STUDS ASSUMED TO BE 1 MEMBER
BUILT-UP STUDS UNLESS NOTED
OTHERWISE.

SB2 - 2 MEMBER BUILT-UP STUD
ALL SB TO BE CONTINUOUS TO FOUNDATION

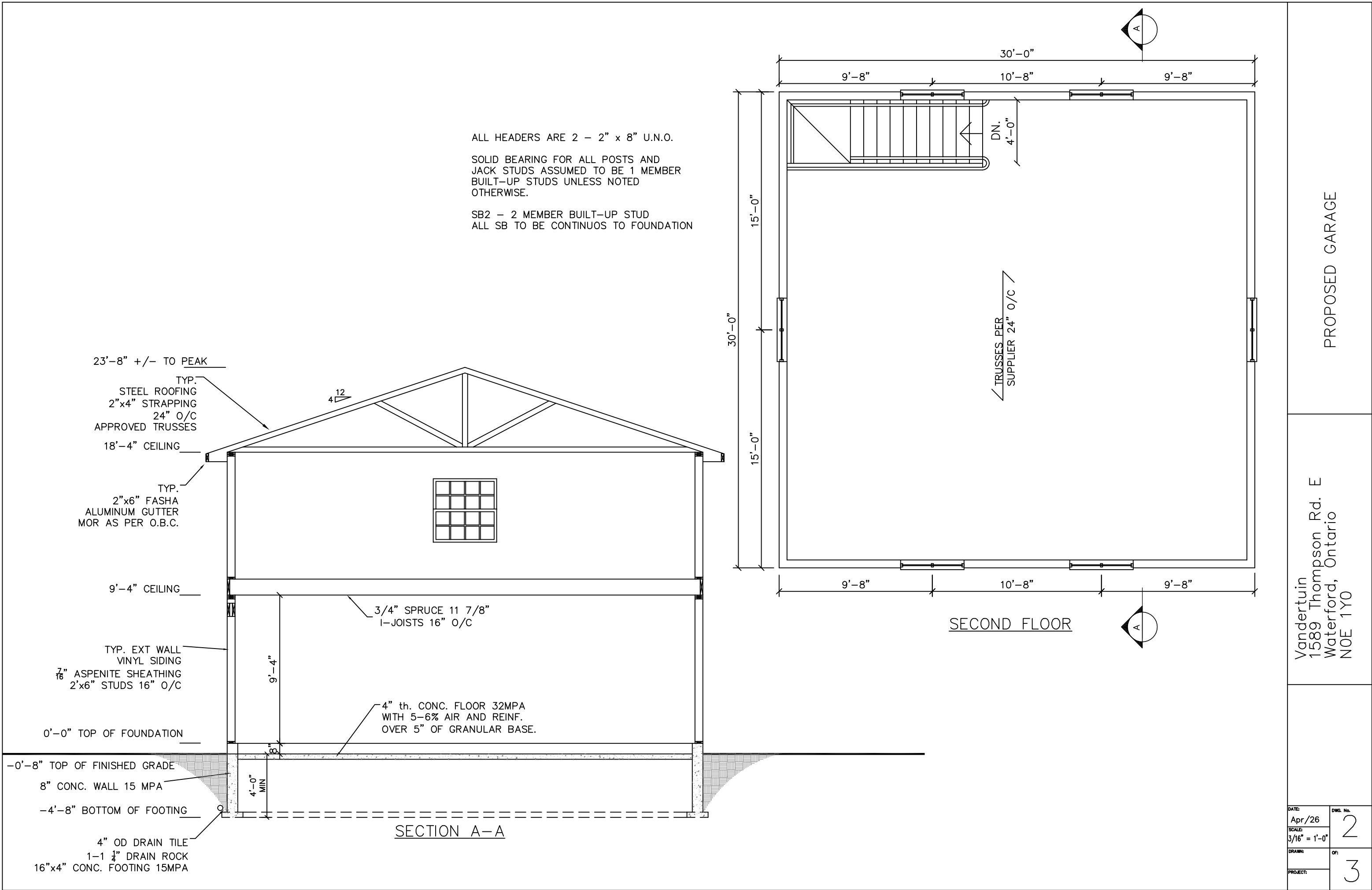


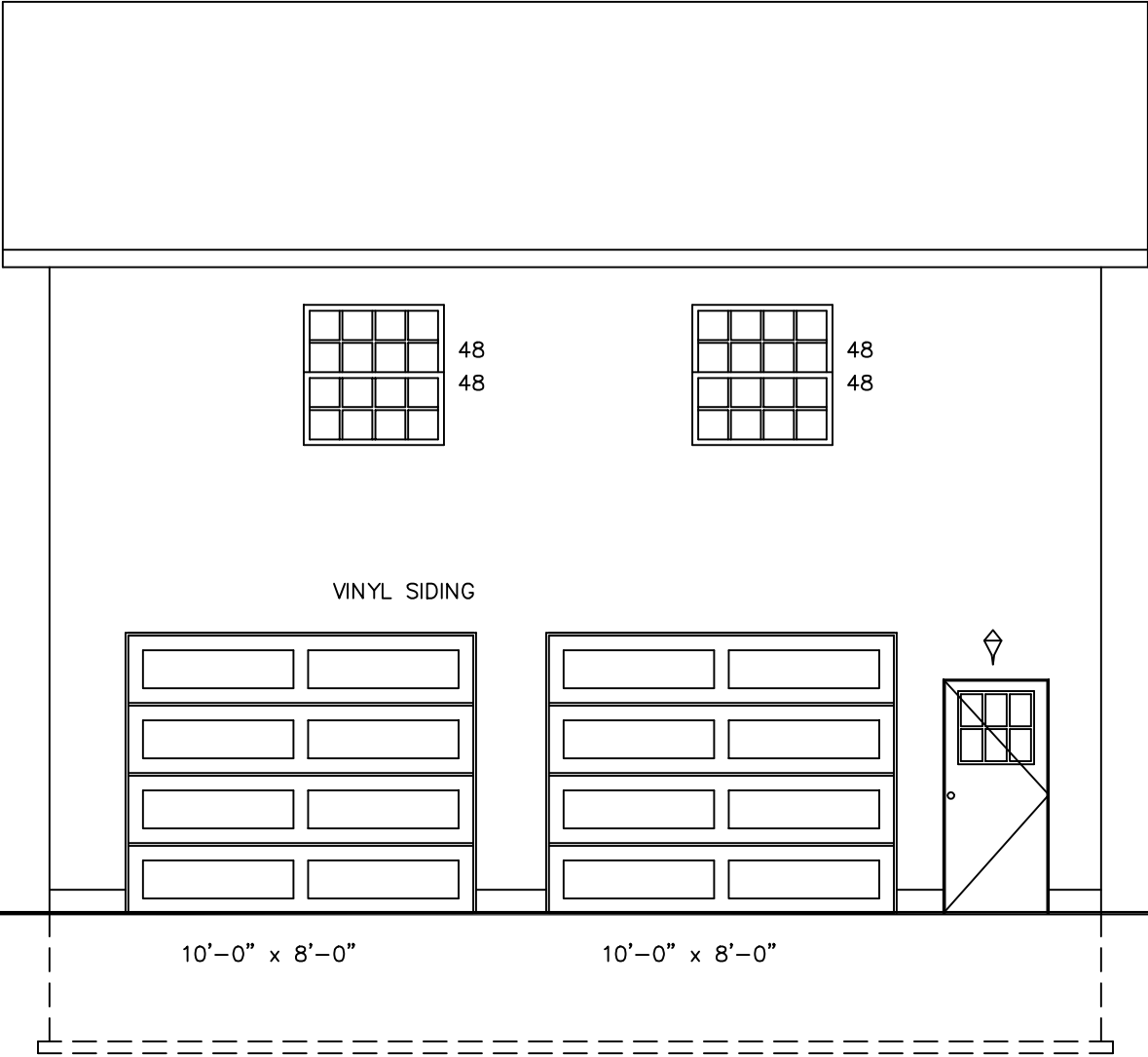
GROUND FLOOR

PROPOSED GARAGE

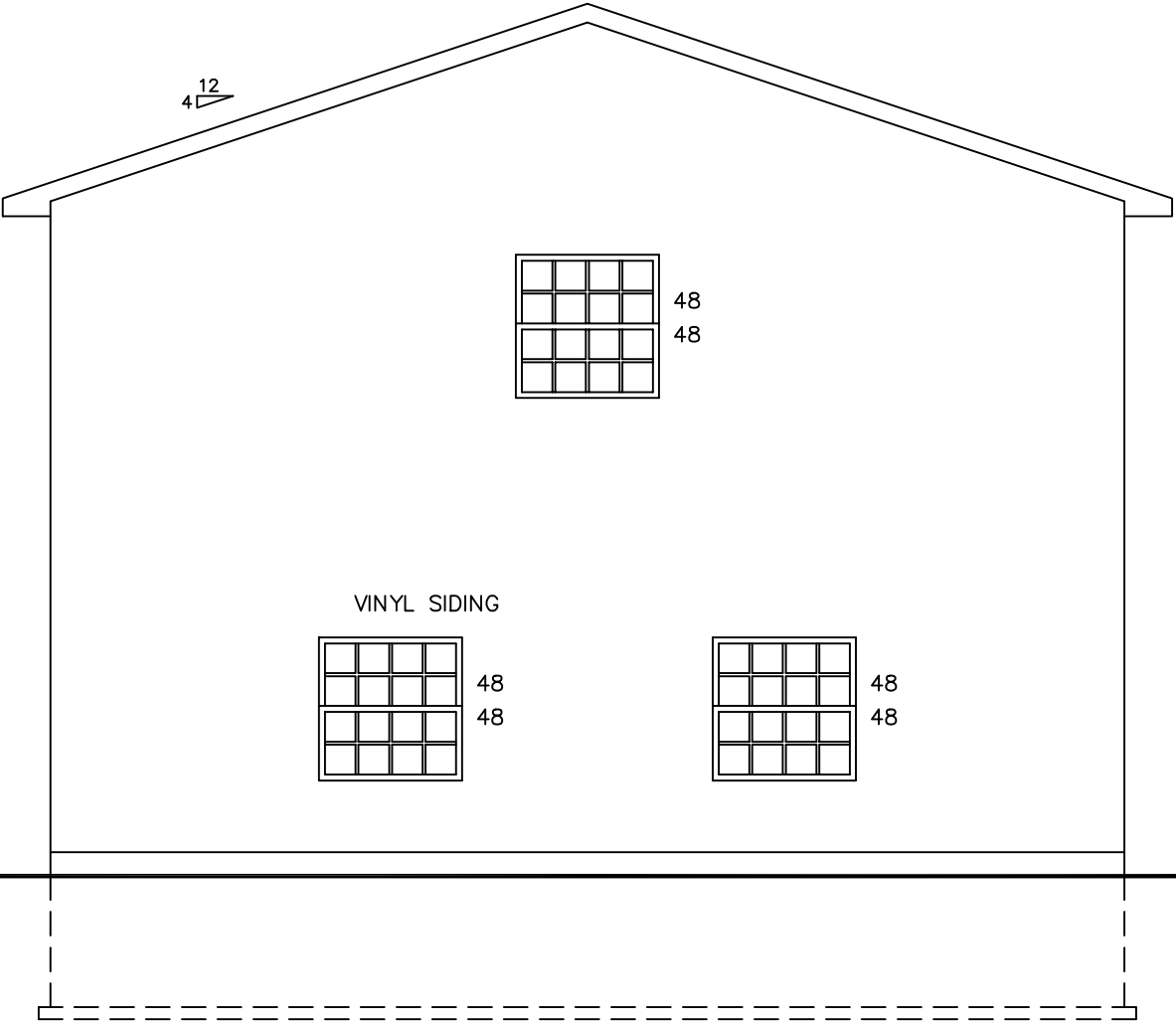
Vandertuin
1589 Thompson Rd. E
Waterford, Ontario
NOE 1Y0

DATE: Apr/26	DWG. No. 1
SCALE: 3/16" = 1'-0"	
DRAWN:	OF: 3
PROJECT:	





FRONT ELEVATION

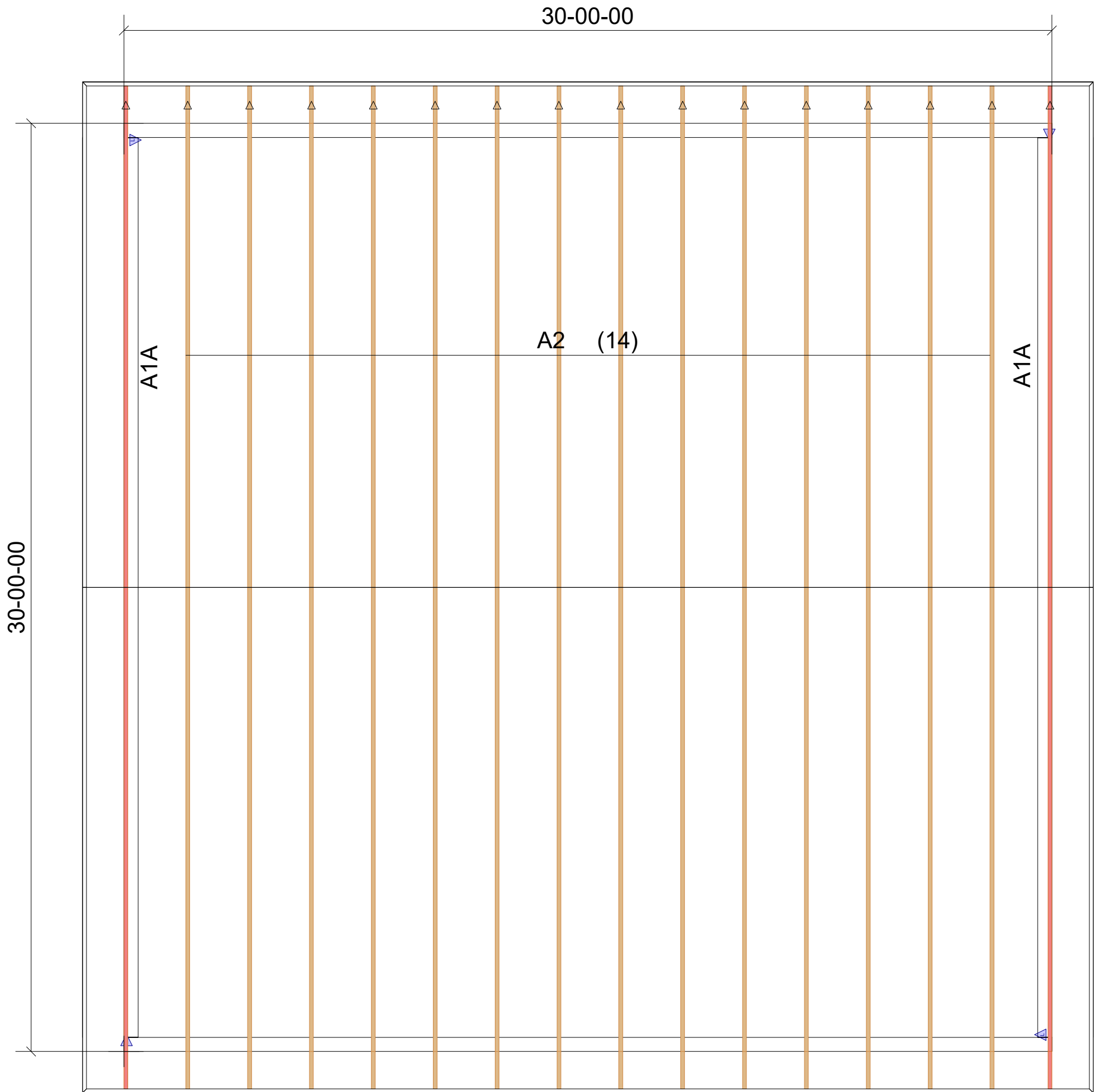


RIGHT & LEFT ELEVATION

PROPOSED GARAGE

Vandertuin
1589 Thompson Rd. E
Waterford, Ontario
NOE 1Y0

DATE:	Apr/26	DWG. No.	3
SCALE:	As Shown		
DRAWN:		OF:	3
PROJECT:			



- NOTES:
1. This is a placement guide only. Read and understand all information supplied in the jobsite package before installation of the truss system.
 2. Additional Building Component Safety Information (BCSI) can be found at www.sbcindustry.com/bcsi.php
 3. It is the responsibility of the installer to properly receive, unload, store, handle, install and brace the trusses to protect life and property.
 4. Carefully inspect the trusses for adequacy and damage. Do not install damaged trusses. Call Titan Truss for repair details or replacement trusses.
 5. The use of adequate temporary bracing is mandatory.
 6. Install all lateral bracing as shown on the truss drawings. The building designer is responsible for the anchorage of these braces.
 7. Permanent building bracing is the responsibility of the building designer.
 8. Do not modify, cut or drill the trusses.
 9. Once installed, the product is considered accepted and under no circumstances will a back-charge be accepted or credit issued unless approved in writing in advance by Titan Truss.



6151 Colonel Talbot Rd, ON N6P 1J2
Ph: (519) 471-1299 TF: (888) 471-1299
info@titantruss.ca

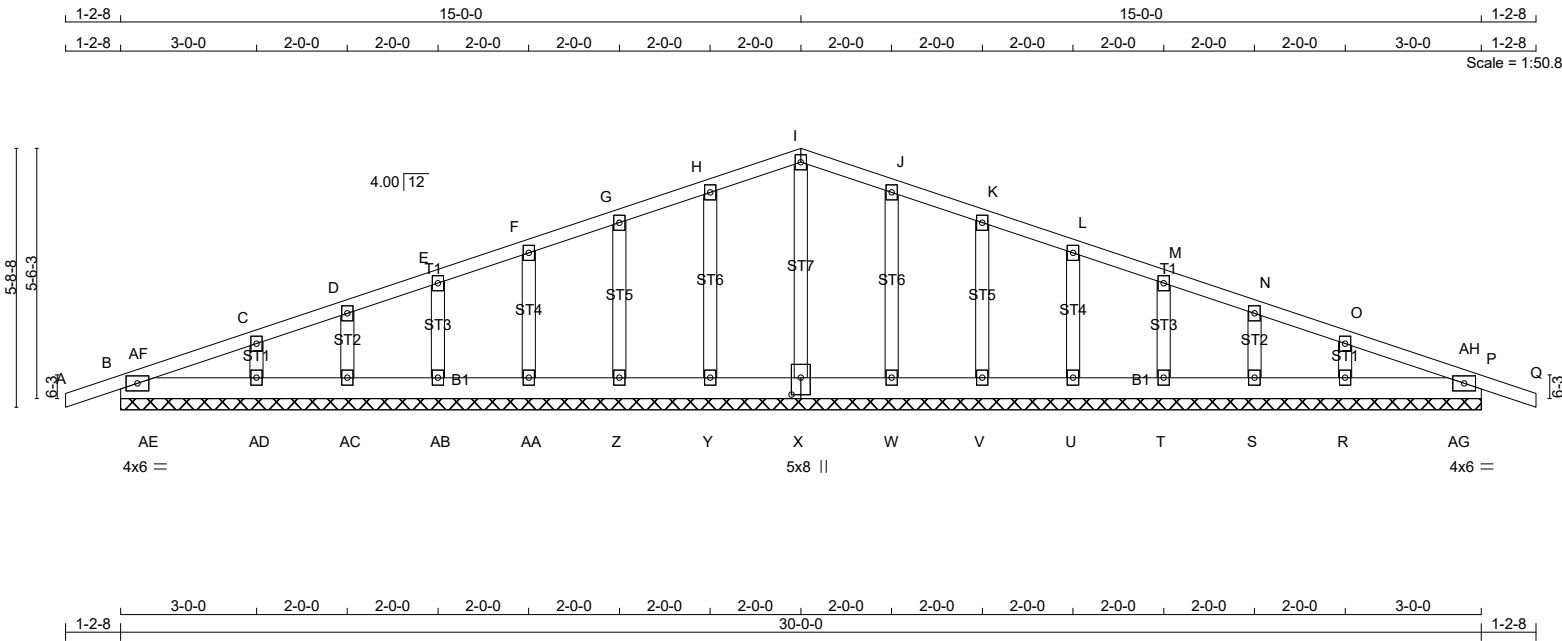
Customer	
Waterford HBC	
Project:	
Allure Custom Carpentry / Vandertuin - Garage, Villa Nova ON.	
Date:	Quote No.:
2026-04-15	46741

JOB NAME	TRUSS NAME	QUANTITY	PLY	JOB DESC.	DRWG NO.
46741	A1A	2	1	Allure Custom Carpentry / Vandertuin - Garage	

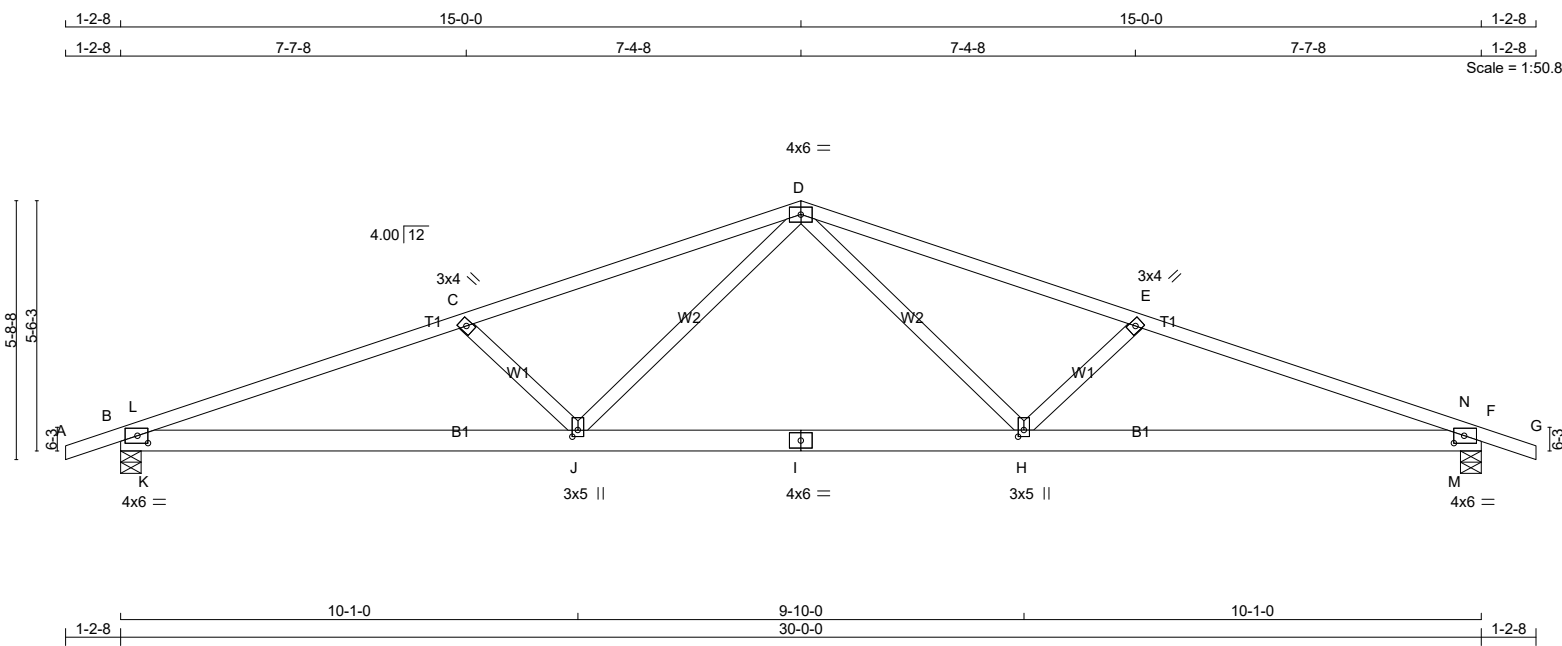
Titan Truss Ltd., London, ON, N6P 1J2

Version 25.4.0 S Apr 2 2026 MiTek Industries, Inc. Wed Apr 15 08:43:13 2026 Page 1

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LUMBER N. L. G. A. RULES CHORDS SIZE									
--	--	--	--	--	--	--	--	--	--



TOTAL WEIGHT = 14 X 116 = 1629 lb

[M][F]

LUMBER				
N. L. G. A. RULES				
CHORDS	SIZE	LUMBER		DESCR.
A - D	2x4	DRY	2100F 1.8E	SPF
D - G	2x4	DRY	2100F 1.8E	SPF
B - I	2x6	DRY	No.2	SPF
I - F	2x6	DRY	No.2	SPF
ALL WEBS	2x4	DRY	No.2	SPF
DRY: SEASONED LUMBER.				

PLATES (table is in inches)					
JT	TYPE	PLATES	W	LEN	Y X
B	TMB1-I	MT20	4.0	6.0	2.00 2.75
C	TMW+w	MT20	3.0	4.0	
D	TTWW-p	MT20	4.0	6.0	
E	TMW+w	MT20	3.0	4.0	
F	TMB1-I	MT20	4.0	6.0	2.00 2.75
H	BMWW+t	MT20	3.0	5.0	1.75 1.50
I	BS-t	MT20	4.0	6.0	
J	BMWW+t	MT20	3.0	5.0	1.75 1.50

DIMENSIONS, SUPPORTS AND LOADINGS SPECIFIED BY FABRICATOR TO BE VERIFIED BY BUILDING DESIGNER

BEARINGS

JT	FACTORED GROSS REACTION		MAXIMUM FACTORED GROSS REACTION		INPUT BRG	REQRD BRG
	VERT	HORZ	DOWN	HORZ		
B	1677	0	1677	0	5-8	1-13
F	1677	0	1677	0	5-8	1-13

UNFACTORED REACTIONS		MAX./MIN. COMPONENT REACTIONS						
JT	1ST LCASE	COMBINED	SNOW	LIVE	PERM.LIVE	WIND	DEAD	SOIL
B	1182	794 / 0	0 / 0	0 / 0	0 / 0	0 / 0	388 / 0	0 / 0
F	1182	794 / 0	0 / 0	0 / 0	0 / 0	0 / 0	388 / 0	0 / 0

BEARING MATERIAL TO BE SPF NO.2 OR BETTER AT JOINT(S) B, F

BRACING

TOP CHORD TO BE SHEATHED OR MAX. PURLIN SPACING = 4.14 FT.

MAX. UNBRACED BOTTOM CHORD LENGTH = 10.00 FT. OR RIGID CEILING DIRECTLY APPLIED.

ALL PITCH BREAKS AND PERIMETER CORNER JOINTS MUST BE Laterally RESTRAINED.

LOADING

TOTAL LOAD CASES: (4)

CHORDS					WEBS				
MEMB.	MAX. FACTORED FORCE (LBS)	FACTORED VERT. LOAD (PLF)	LC1	MAX	MAX. UNBRAC LENGTH	MEMB.	MAX. FACTORED FORCE (LBS)	MAX	CSi (LC)
FR-TO		FROM	TO			FR-TO			
A-B	0 / 12	-86.3	-86.3	0.06 (1)	10.00	D-H	0 / 1014	0.16 (1)	
B-L	-3802 / 0	-86.3	-86.3	0.21 (1)	4.27	H-E	-751 / 0	0.13 (1)	
L-C	-3663 / 0	-86.3	-86.3	0.45 (1)	4.14	J-D	0 / 1014	0.16 (1)	
C-D	-3150 / 0	-86.3	-86.3	0.47 (1)	4.36	C-J	-751 / 0	0.13 (1)	
D-E	-3150 / 0	-86.3	-86.3	0.47 (1)	4.36	K-L	0 / 193	0.00 (1)	
E-N	-3663 / 0	-86.3	-86.3	0.45 (1)	4.14	M-N	0 / 193	0.00 (1)	
N-F	-3802 / 0	-86.3	-86.3	0.21 (1)	4.27				
F-G	0 / 12	-86.3	-86.3	0.06 (1)	10.00				
B-K	0 / 3485	-18.2	-18.2	0.42 (1)	10.00				
K-J	0 / 3485	-18.2	-18.2	0.51 (1)	10.00				
J-I	0 / 2268	-18.2	-18.2	0.35 (1)	10.00				
I-H	0 / 2268	-18.2	-18.2	0.35 (1)	10.00				
H-M	0 / 3485	-18.2	-18.2	0.51 (1)	10.00				
M-F	0 / 3485	-18.2	-18.2	0.42 (1)	10.00				

DESIGN CRITERIA

SPECIFIED LOADS:			
TOP CH.	LL	=	24.4 PSF
	DL	=	5.2 PSF
BOT CH.	LL	=	0.0 PSF
	DL	=	7.3 PSF
TOTAL LOAD	=	36.9	PSF

SPACING = 24.0 IN. C/C

THIS TRUSS IS DESIGNED FOR RESIDENTIAL OR SMALL BUILDING REQUIREMENTS OF PART 9, NBCC 2020

THIS DESIGN COMPLIES WITH:

- PART 9 OF BCBC 2024, NBC-2023AE, MBC 2024, OBC 2024
- CSA 086-19
- TPIC 2019

(55 % OF 29.3 P.S.F. G.S.L. PLUS 8.4 P.S.F. RAIN LOAD) EQUALS 24.4 P.S.F. SPECIFIED ROOF LIVE LOAD

ALLOWABLE DEFL.(LL)= L/360 (1.00")

CALCULATED VERT. DEFL.(LL) = L/ 999 (0.18")

ALLOWABLE DEFL.(TL)= L/360 (1.00")

CALCULATED VERT. DEFL.(TL) = L/ 999 (0.29")

CSI: TC=0.47/1.00 (C-D:1) , BC=0.51/1.00 (J-K:1) , WB=0.16/1.00 (D-J:1) , SSI=0.30/1.00 (B-L:1)

DOL LUMBER=1.00 NAIL=1.00 LS BEND=1.10

COMP=1.10 SHEAR=1.10 TENS= 1.10

COMPANION LIVE LOAD FACTOR = 1.00

TRUSS PLATE MANUFACTURER IS NOT RESPONSIBLE FOR QUALITY CONTROL IN THE TRUSS MANUFACTURING PLANT .

NAIL VALUES			
PLATE	GRIP(DRY)	SHEAR	SECTION
	(PSI)	(PLI)	(PLI)
	MAX	MIN	MAX
MT20	650	371	1747
	788	1987	1873

PLATE PLACEMENT TOL. = 0.250 inches

PLATE ROTATION TOL. = 5.0 Deg.

JSI GRIP= 0.88 (F) (INPUT = 0.90)

JSI METAL= 0.77 (B) (INPUT = 1.00)



ZONING DEFICIENCY FORM

ACCESSORY STRUCTURE - AGRICULTURAL ZONE

PROPERTY INFORMATION

PLANNING APPLICATION NUMBER: ANPL2026107

Owner / Applicant: Darren and Amy Vandertuin
Civic Address: 1589 THOMPSON RD E
Legal Description: TWN CON 8 PT LOT 20 RP 37R9214 PARTS 1 AND 2 1.11AC 204.40FR 220.0
Roll Number: 3310336060060100000
Current zoning: A - AGRICULTURAL
Proposed building/use: ACCESSORY STRUCTURE
Existing uses on property: DWELLING

ZONING PROVISIONS

	Proposed	Required	Deficiency	Zoning By-Law Reference
Building Height	7.22 m	8 m	0 m	3.2.1 a
Front Yard Setback	3 m	13 m	10 m	3.2.1 b
Occupy any part of the required exterior side yard		6 m		3.2.1 c
Interior Side Yard Setback(Left)	3.65 m	1.2 m	0 m	3.2.1 d
Interior Side Yard Setback(Right)	m	1.2 m	m	3.2.1 d
Rear Yard Setback	54.87 m	1.2 m	0 m	3.2.1 e
Useable Floor Area	157.16 m	200 MAX m ²	0 m	3.2.1 g
Lot Coverage	%	10 %	0 %	3.2.1 g
Other:				
Other:				
Other:				

Comments: Useable floor area is for New building only, 2 small sheds on property with no dimensions given

The "proposed" information and any supporting documentation have been submitted by the owner/applicant. The information provided above pertains solely to zoning requirements and does not exempt the owner from obtaining any required building permits or complying with applicable laws and regulations that are administered by other agencies. The owner acknowledges and accepts responsibility for the accuracy of the proposed information included in this form.

Signature:

Owner / Applicant

Andrew Johnston

Zoning Administrator

2026-05-29

Community Development Division - Building Department

12 Gilbertson Drive, Simcoe, Ontario, Canada, N3Y 4N5 - 519-426-5870 | 226-NORFOLK Extension 6016



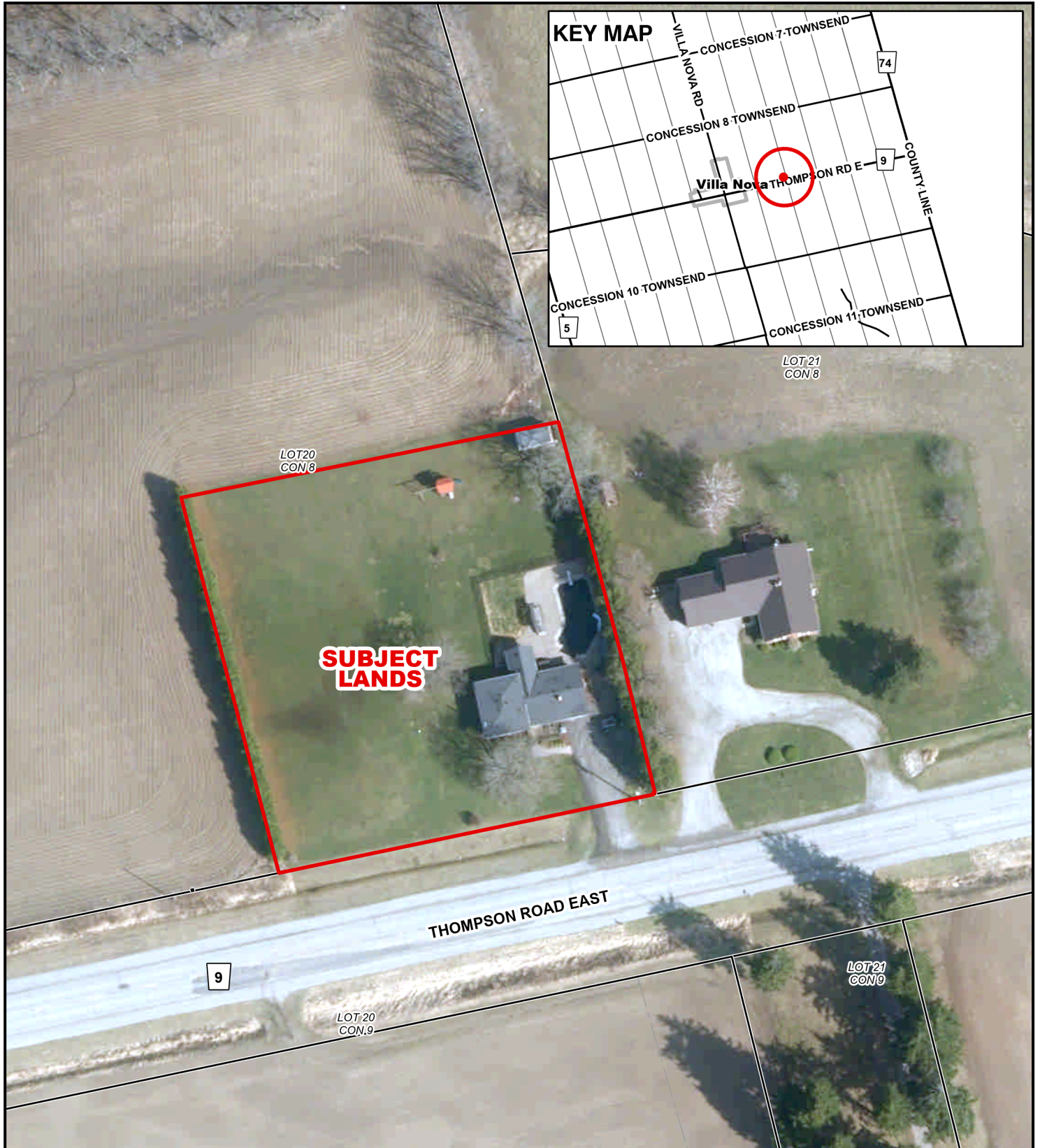
ZONING DEFICIENCY FORM

Date

Date

Community Development Division - Building Department

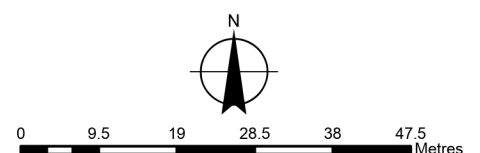
12 Gilbertson Drive, Simcoe, Ontario, Canada, N3Y 4N5 - 519-426-5870 | 226-NORFOLK Extension 6016

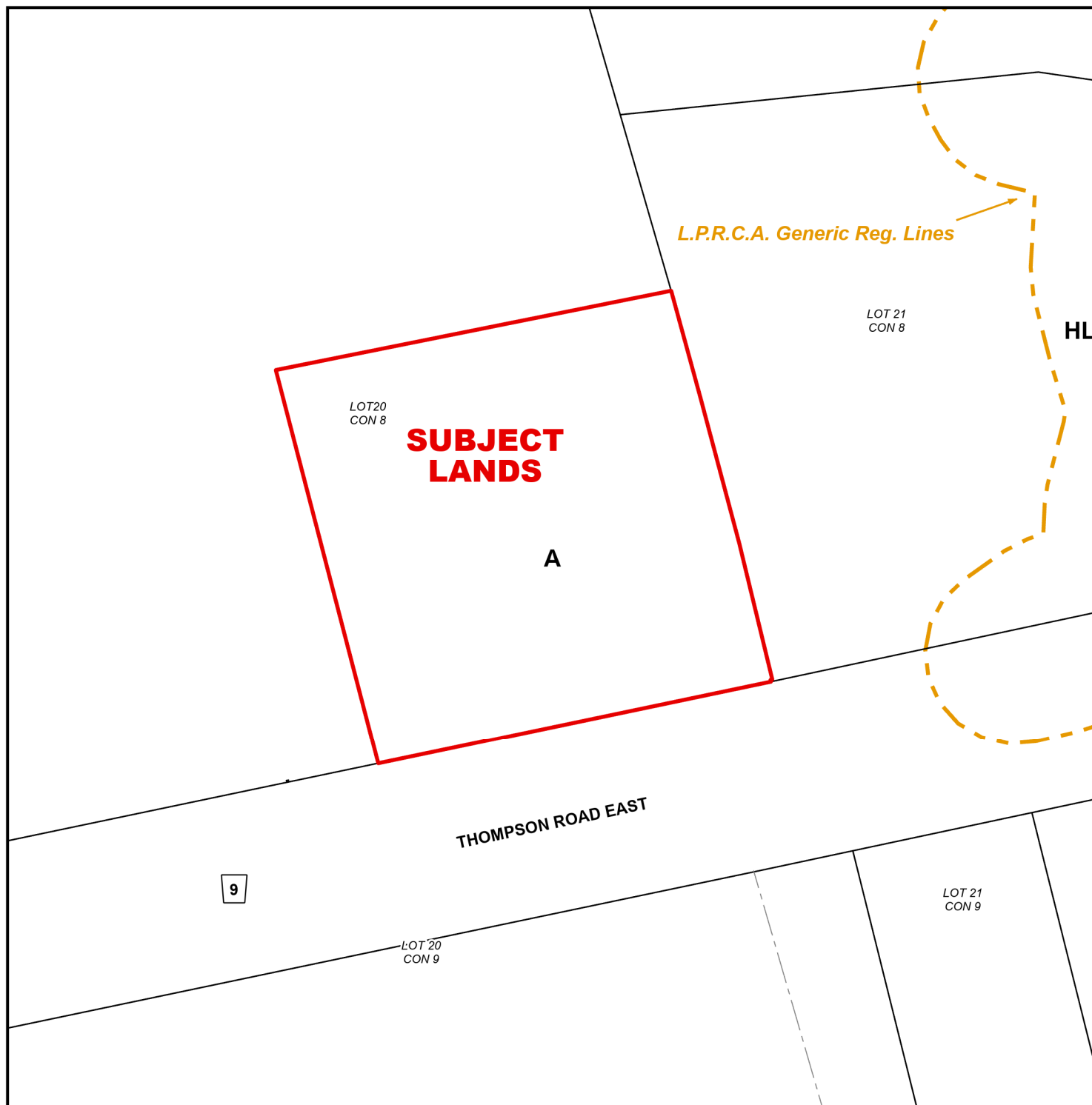


Legend

Subject Lands

2025 Air Photo





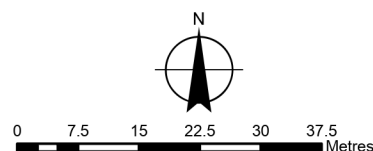
LEGEND

- Subject Lands
- LPRCA Generic RegLines

ZONING BY-LAW 1-Z-2014

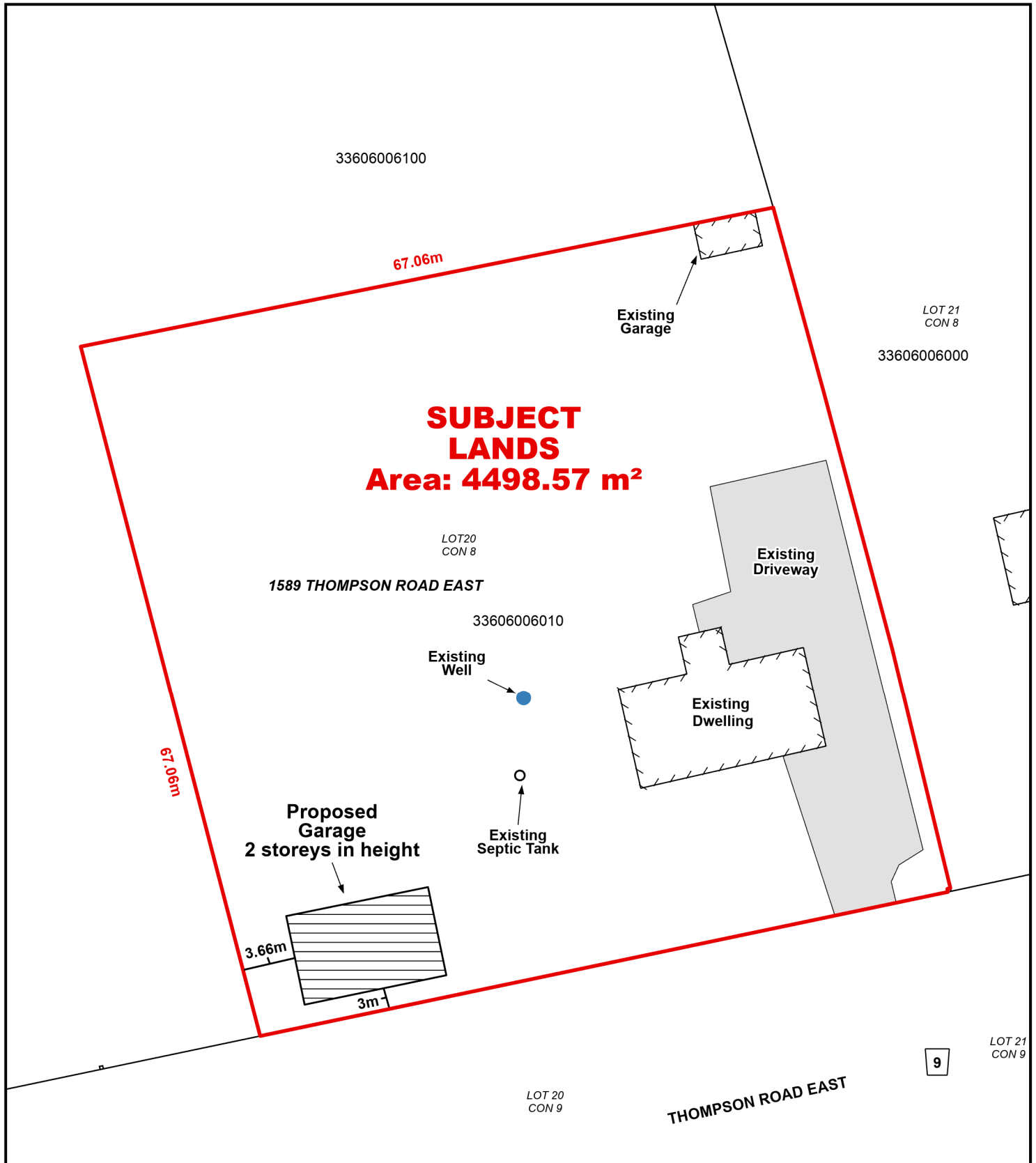
7/13/2026

- (H) - Holding
- A - Agricultural Zone
- HL - Hazard Land Zone



CONCEPTUAL PLAN

Geographic Township of TOWNSEND



Legend

Subject Lands

7/13/2026

