

For Office Use Only:

File Number	<u>BNPL2018137</u>	Application Fee	<u>\$ 3061</u>
Related File Number	<u>—</u>	Conservation Authority Fee	<u>—</u>
Pre-consultation Meeting	<u>April 20/18</u>	OSSD Form Provided	<u>Yes</u>
Application Submitted	<u>June 18/18</u>	Planner	<u>Steve</u>
Complete Application	<u>June 18/18</u>	Public Notice Sign	<u>Yes</u>

Check the type of planning application(s) you are submitting.

- ☒ Consent/Severance/Boundary Adjustment
☒ Surplus Farm Dwelling Severance and Zoning By-law Amendment
☐ Minor Variance
☐ Easement/Right-of-Way

Property Assessment Roll Number: 545-040-18000-000

A. Applicant Information

Name of Owner Nicky James & Laura Shirleyann Petker

It is the responsibility of the owner or applicant to notify the planner of any changes in ownership within 30 days of such a change.

Address 841 - 1st. Concession Road

Town and Postal Code Port Rowan ON

Phone Number _____

Cell Number Laura (519) 427-9950 Jim (519) 410-2295

Email petkerl@hotmail.com

Name of Applicant Jason Petker & Nicole Dedrick

Address 841 - 1st Concession Rd.

Town and Postal Code Port Rowan ON

Phone Number _____

Cell Number Jason (519) - 550-2947 Nicole (519) 403-5030

Email nicole-dedrick@hotmail.com

Name of Agent

Address

Town and Postal Code

Phone Number

Cell Number

Email

Please specify to whom all communications should be sent. Unless otherwise directed, all correspondence, notices, etc., in respect of this application will be forwarded to the agent noted above.

☒ Owner

☐ Agent

☐ Applicant

Names and addresses of any holder of any mortgagees, charges or other encumbrances on the subject lands:

FCC - Smcoe

B. Location, Legal Description and Property Information

1. Legal Description (include Geographic Township, Concession Number, Lot Number, Block Number and Urban Area or Hamlet):

West half of Lot number 20, North of Lake
Road - Norfolk County, Concession 8

Municipal Civic Address: 1649 Lakeshore Road

Present Official Plan Designation(s):

Present Zoning: Agricultural

2. Is there a special provision or site specific zone on the subject lands?

☒ Yes ☐ No If yes, please specify:

Wind turbine

3. Present use of the subject lands:

Farmland.

4. Please describe **all existing** buildings or structures on the subject lands and whether they are to be retained, demolished or removed. If retaining the buildings or structures, please describe the type of buildings or structures, and illustrate the setback, in metric units, from front, rear and side lot lines, ground floor area, gross floor area, lot coverage, number of storeys, width, length, height, etc. on your attached sketch which must be included with your application:

- vacant house - to be demolished
- barn foundation to remain - See attached sketch
- cement block cellar to be demolished

5. If an addition to an existing building is being proposed, please explain what it will be used for (e.g. bedroom, kitchen, bathroom, etc.). If new fixtures are proposed, please describe.

6. Please describe **all proposed** buildings or structures/additions on the subject lands. Describe the type of buildings or structures/additions, and illustrate the setback, in metric units, from front, rear and side lot lines, ground floor area, gross floor area, lot coverage, number of storeys, width, length, height, etc. on your attached sketch which must be included with your application:

Pre-fab home to replace existing vacant house
- see attached sketch

7. Are any existing buildings on the subject lands designated under the *Ontario Heritage Act* as being architecturally and/or historically significant? Yes ☐ No ☒

If yes, identify and provide details of the building:

8. If known, the length of time the existing uses have continued on the subject lands:

Agricultural Wind turbine - 10 years

9. Existing use of abutting properties:

Farm

10. Are there any easements or restrictive covenants affecting the subject lands?

☒ Yes ☒ No If yes, describe the easement or restrictive covenant and its effect:

wind turbine

C. Purpose of Development Application

Note: Please complete all that apply.

1. Site Information

Existing

Proposed

Please indicate unit of measurement, i.e. m, m² or %, etc.

Lot frontage	_____	_____
Lot depth	_____	_____
Lot width	_____	_____
Lot area	_____	_____
Lot coverage	_____	_____
Front yard	_____	_____
Rear yard	_____	_____
Left Interior side yard	_____	_____
Right Interior side yard	_____	_____
Exterior side yard (corner lot)	_____	_____

2. Please outline the relief requested (assistance is available):

3. Please explain why it is not possible to comply with the provision(s) of the Zoning By-law:

4. Description of land intended to be severed in metric units: (please note dimensions are approximate until official survey is available.)

* Frontage:	50m 54.249m
Depth:	85m 91.5m 94.677
Width:	52m 54.249
Lot Area:	4758 sq m (1.09 acre) 4920.159.m.
Present Use:	House (vacant)
Proposed Use:	House

Proposed final lot size (if boundary adjustment): _____

If a boundary adjustment, identify the assessment roll number and property owner of the lands to which the parcel will be added: _____

X

Description of land intended to be retained in metric units:

Frontage: 201 m

Depth: 674 m

Width: 301 m

Lot Area: 50 - 1 = 49 acres.

Present Use: farm land

Proposed Use: farm land

5. Description of proposed right-of-way/easement in metric units:

Frontage: _____

Depth: _____

Width: _____

Area: _____

Proposed use: _____

6. List all properties in Norfolk County, which are owned and farmed by the applicant and involved in the farm operation:

Owners Name: Nicky James & Laura Petker

Roll Number: 543-030-02300-0000

Total Acreage: 50

Workable Acreage: 39

Existing Farm Type: (i.e., corn, orchard etc) cash crops

Dwelling Present?: ☒ Yes ☐ No If yes, year dwelling built _____

Owners Name: Nicky James & Laura Petker

Roll Number: 545-040-18000-0000

Total Acreage: 50

Workable Acreage: 47

Existing Farm Type: (i.e., corn, orchard etc) cash

Dwelling Present?: ☒ Yes ☐ No If yes, year dwelling built vacant
- approximate age of house 120 yrs.
- built 1896.

Owners Name: _____

Roll Number: _____

Total Acreage: _____

Workable Acreage: _____

Existing Farm Type: (i.e., corn, orchard etc) _____

Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built _____

Owners Name: _____

Roll Number: _____

Total Acreage: _____

Workable Acreage: _____

Existing Farm Type: (i.e., corn, orchard etc) _____

Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built _____

Note: If additional space is needed please attach a separate sheet.

D. Previous Use of the Property

1. Has there been an industrial or commercial use on the subject lands or adjacent lands? ☒ Yes ☐ No ☐ Unknown

If yes, specify the uses (example: gas station, petroleum storage, etc.):

wind turbine

2. Is there reason to believe the subject lands may have been contaminated by former uses on the site or adjacent sites? ☐ Yes ☒ No ☐ Unknown

3. Provide the information you used to determine the answers to the above questions:

- attached drawing no. B1-156508-CU-121-0105
N.B - there is not a meteorological tower on
the property



4. If you answered yes to any of the above questions in Section D, a previous use inventory showing all known former uses of the subject lands, or if appropriate, the adjacent lands, is needed. Is the previous use inventory attached? ☐ Yes ☐ No

E. Provincial Policy

1. Is the requested amendment consistent with the provincial policy statements issued under subsection 3(1) of the *Planning Act*, R.S.O. 1990, c. P. 13? ☒ Yes ☐ No

If no, please explain:

2. It is owner's responsibility to be aware of and comply with all relevant federal or provincial legislation, municipal by-laws or other agency approvals, including the Endangered Species Act, 2007. Have the subject lands been screened to ensure that development or site alteration will not have any impact on the habitat for endangered or threatened species further to the provincial policy statement subsection 2.1.7? ☒ Yes ☐ No

If no, please explain:

- Study completed upon construction
of wind mills (all documentation attached)

3. Have the subject lands been screened to ensure that development or site alteration will not have any impact on source water protection? ☐ Yes ☒ No

If no, please explain:

not applicable

Note: If in an area of source water WHPA A, B or C please attach relevant information and approved mitigation measures from the Risk Manager Official.

4. Are any of the following uses or features on the subject lands or within 500 metres of the subject lands, unless otherwise specified? Please check boxes, if applicable.

Livestock facility or stockyard (submit MDS Calculation with application)

☐ On the subject lands or ☐ within 500 meters – distance _____

Wooded area

☐ On the subject lands or ☐ within 500 meters – distance _____

Municipal Landfill

☐ On the subject lands or ☐ within 500 meters – distance _____

Sewage treatment plant or waste stabilization plant

☐ On the subject lands or ☐ within 500 meters – distance _____

Provincially significant wetland (class 1, 2 or 3) or other environmental feature

☐ On the subject lands or ☐ within 500 meters – distance _____

Floodplain

☐ On the subject lands or ☐ within 500 meters – distance _____

Rehabilitated mine site

☐ On the subject lands or ☐ within 500 meters – distance _____

Non-operating mine site within one kilometre

☐ On the subject lands or ☐ within 500 meters – distance _____

Active mine site within one kilometre

☐ On the subject lands or ☐ within 500 meters – distance _____

Industrial or commercial use (specify the use(s))

☒ On the subject lands or ☐ within 500 meters – distance _____

* turbine on farm

Active railway line

☐ On the subject lands or ☐ within 500 meters – distance _____

Seasonal wetness of lands

☐ On the subject lands or ☐ within 500 meters – distance _____

Erosion

☐ On the subject lands or ☐ within 500 meters – distance _____

Abandoned gas wells

☐ On the subject lands or ☐ within 500 meters – distance _____

F. Servicing and Access

1. Indicate what services are available or proposed:

Water Supply

- | | |
|--|---|
| <input type="checkbox"/> Municipal piped water | <input type="checkbox"/> Communal wells |
| <input checked="" type="checkbox"/> Individual wells | <input type="checkbox"/> Other (describe below) |
-

Sewage Treatment

- | | |
|--|---|
| <input type="checkbox"/> Municipal sewers | <input type="checkbox"/> Communal system |
| <input checked="" type="checkbox"/> Septic tank and tile bed | <input type="checkbox"/> Other (describe below) |
-

Storm Drainage

- | | |
|---|--|
| <input type="checkbox"/> Storm sewers | <input checked="" type="checkbox"/> Open ditches |
| <input type="checkbox"/> Other (describe below) | |
-

2. Existing or proposed access to subject lands:

- | | |
|--|---|
| <input checked="" type="checkbox"/> Municipal road * | <input type="checkbox"/> Provincial highway |
| <input type="checkbox"/> Unopened road | <input type="checkbox"/> Other (describe below) |

Name of road/street:

* Lakeshore Road & Concession 8.

G. Other Information

1. Does the application involve a local business? ☐ Yes ☒ No

If yes, how many people are employed on the subject lands?

2. Is there any other information that you think may be useful in the review of this application? If so, explain below or attach on a separate page.

H. Supporting Material to be submitted by Applicant

In order for your application to be considered complete, folded hard copies (number of paper copies as directed by the planner) and an **electronic version (PDF) of the site plan drawings, additional plans, studies and reports** will be required, including but not limited to the following details:

- ✓ 1. Concept/Layout Plan
- ✓ 2. All measurements in metric
- ✓ 3. Existing and proposed easements and right of ways
- ✓ 4. Parking space totals – required and proposed
- ✓ 5. All dimensions of the subject lands
- ✓ 6. Dimensions and setbacks of all buildings and structures
- ✓ 7. Names of adjacent streets
- ✓ 8. Natural features, watercourses and trees

In addition, the following additional plans, studies and reports, including but not limited to, **may** also be required as part of the complete application submission:

- ☐ Zoning Deficiency Form
- ☒ On-Site Sewage Disposal System Evaluation Form
- ☐ Environmental Impact Study
- ☐ Geotechnical Study / Hydrogeological Review
- ☐ Minimum Distance Separation Schedule
- ☐ Record of Site Condition

Your development approval might also be dependent on Ministry of Environment and Climate Change, Ministry of Transportation or other relevant federal or provincial legislation, municipal by-laws or other agency approvals.

All final plans must include the owner's signature as well as the engineer's signature and seal.

I. Transfers, Easements and Postponement of Interest

The owner acknowledges and agrees that if required it is their solicitor's responsibility on behalf of the owner for the registration of all transfer(s) of land to the County, and/or transfer(s) of easement in favour of the County and/or utilities. Also, the owner further acknowledges and agrees that it is their solicitor's responsibility on behalf of the owner for the registration of postponements of any charges in favour of the County.

Permission to Enter Subject Lands

Permission is hereby granted to Norfolk County officers, employees or agents, to enter the premises subject to this application for the purposes of making inspections associated with this application, during normal and reasonable working hours.

Freedom of Information

For the purposes of the *Municipal Freedom of Information and Protection of Privacy Act*, I authorize and consent to the use by or the disclosure to any person or public body any information that is collected under the authority of the *Planning Act*, R.S.O. 1990, c. P. 13 for the purposes of processing this application.

Laura Petker N. James Petker April 24, 2018
Owner/Applicant/Agent Signature Date

J. Owner's Authorization

If the applicant/agent is not the registered owner of the lands that is the subject of this application, the owner must complete the authorization set out below.

I/We Nicky James & Laura Petker am/are the registered owner(s) of the lands that is the subject of this application for site plan approval.

I/We authorize _____ to make this application on my/our behalf and to provide any of my/our personal information necessary for the processing of this application. Moreover, this shall be your good and sufficient authorization for so doing.

Laura Petker April 29, 2018
Owner Date
N. James Petker April 29, 2018
Owner Date

K. Declaration

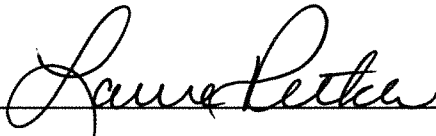
I, LAURA PETKER of NORFOLK COUNTY

solemnly declare that:

all of the above statements and the statements contained in all of the exhibits transmitted herewith are true and I make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath and by virtue of *The Canada Evidence Act*.

Declared before me at:

Langton

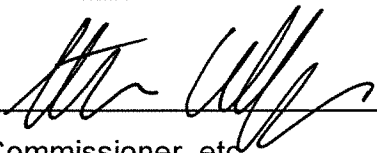

Owner/Applicant/Agent Signature

In Norfolk County

This 18th day of June

Steven James Collier,
a Commissioner, etc., Province of Ontario
for the Corporation of Norfolk County.
Expires April 3, 2021.

A.D., 20 18


A Commissioner, etc.

KIM HUSTED SURVEYING LTD.
ONTARIO LAND SURVEYOR
30 HARVEY STREET, TILLSONBURG, ONTARIO. N4G 3J8
PHONE: 519-842-3638 FAX: 519-842-3639

PROJECT: 18-13943

REFERENCE: FILE

SKETCH FOR SEVERANCE
FOR: LAURA PETKER
PART OF LOT 20
CONCESSION NORTH
OF LAKE ROAD
GEOGRAPHIC TOWNSHIP OF HOUGHTON
COUNTY OF NORFOLK

TO BE RETAINED

AGRICULTURE

TOWNSHIP OF HOUGHTON
LAKE ROAD

PARCEL A
TO BE SEVERED
AREA = 4920.1 SQ METRES

TO BE RETAINED

AGRICULTURE

20

NORTH

PARCEL A
TO BE SEVERED

LOT

SHED
(TO BE REMOVED)

2 STOREY
DWELLING
(TO BE REMOVED)

OVERHEAD
HYDRO

WELL

DRIVEWAY

GRAVEL

N 79° 25' 33" W

54.249

N 00° 49' 15" E

94.677

N 00° 54' 56" E

89.610

N 84° 45' 25" W

53.476

EDGE OF MOWED GRASS

EDGE OF MOWED GRASS

TRAVELED ROAD CENTRELINE of (11.278m WIDE) GRAVEL ROAD

(KNOWN AS 8th CONCESSION ROAD EAST OF THE NORTH ROAD)

COUNTY ROAD No. 42 LAKE ROAD
(20.117m WIDE) ASPHALT ROAD

AGRICULTURE

BUILDING HEIGHTS:
HOUSE = 10.50m
SHED = 3.20m
SILO = 10.11m
BARN = 1.90m



Working together with our community
to provide quality services.

Evaluation Form for Existing On-Site Sewage Systems

Date: July 2009

OFFICE USE ONLY		FILE NO.:		DATE RECEIVED:	
PROPERTY INFORMATION		Municipal Address: 1649 Lakeshore Rd, Clear Creek, ON			
Owner: Nicky James Petker & Laura Petker		Lot: 20		Concession: 8	
Lot Area:		Lot Frontage:		Assessment Roll No. 545-040-1800-0000	
PURPOSE OF EVALUATION		<input type="checkbox"/> Consent <input type="checkbox"/> Zoning <input type="checkbox"/> Minor Variance <input type="checkbox"/> Other <u>Sewerage</u> <input type="checkbox"/> Site Plan			
BUILDING INFORMATION		<input checked="" type="checkbox"/> Residential <input type="checkbox"/> Commercial <input type="checkbox"/> Industrial <input type="checkbox"/> Agricultural			
Building Area:		No. of Bedrooms:		No. of Fixture Units:	
EVALUATOR'S INFORMATION		Evaluator's Name: JACK GRANGER		Company Name: GRANGER EX	
Address: 1770 3rd con St. William		Postal Code: N6E 1P0		Phone: 519-586-7620	
Email:		BCIN # 26664			
SITE EVALUATION		Ground Cover (trees, bushes, grass, impermeable surface): Grass			Soil Type: Clay
Site Slope: <input checked="" type="checkbox"/> Flat <input type="checkbox"/> Moderate <input type="checkbox"/> Steep		Soil Conditions: <input type="checkbox"/> Wet <input checked="" type="checkbox"/> Dry		Depth of Water Table: <u>2</u> ft.	
Surface Discharge Observed: Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		Odour Detected: Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		Current Weather (at time of evaluation): Spring	
SYSTEM EVALUATION		Class of System: <input type="checkbox"/> 1 (Privy) <input type="checkbox"/> 2 (Greywater) <input type="checkbox"/> 3 (Cesspool) <input type="checkbox"/> 4 (Leaching Bed) <input type="checkbox"/> 5 (Holding Tank)			
Tank: <input checked="" type="checkbox"/> Pre-cast <input type="checkbox"/> Plastic <input type="checkbox"/> Fibre Glass <input type="checkbox"/> Wood <input type="checkbox"/> Other		Size: <u>800</u> Gal.		Pump: Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
Distribution System: Area: <input type="checkbox"/> Trench Bed <input type="checkbox"/> Filter Medium		No. of Tile Runs: <u>6</u>		Total Length of Tile: <u>50</u>	
Tile Material: <input type="checkbox"/> PVC <input checked="" type="checkbox"/> Clay <input type="checkbox"/> Other		Ends: <input checked="" type="checkbox"/> Capped <input type="checkbox"/> Joined		Distance Between Tile Runs: <u>6'</u>	
Setbacks:		Cover: <input type="checkbox"/> Filter Cloth <input type="checkbox"/> Sand <input checked="" type="checkbox"/> Top Soil <input checked="" type="checkbox"/> Seeded			
		Tank		Distribution Pipe	
Distance to Buildings & Structures (ft)		<u>5'</u>		<u>20'</u>	
Distance to Bodies of Water (ft)		<u> </u>		<u> </u>	
Distance to Nearest Well (ft)		<u>103'</u>		<u> </u>	
Distance to Proposed Property Lines		Front <u>100</u> Rear <u>60</u> Side <u>60</u> Side <u> </u>		Front <u> </u> Rear <u> </u> Side <u> </u> Side <u> </u>	

7

1. 2000 2000

1. 2000 2000

1. 2000 2000

1. 2000 2000

1. 2000 2000

1. 2000 2000

OVERALL SYSTEM RATING	<input checked="" type="checkbox"/> System Working Properly / No Work Required <input type="checkbox"/> System Functioning / Maintenance Required <input type="checkbox"/> System Not Functioning / Minor Repair Required <input type="checkbox"/> System Failure/Major Repair / Replacement Required <u>Note:</u> Any repair/replacement of an on site sewage system requires a building permit. Contact the Norfolk County Building Division at (519) 426-4377 for more information.
	Additional Comments: <div style="font-family: cursive; font-size: 1.2em; margin-top: 10px;"> System To Be Removed for New House </div>
VERIFICATION	<p>OWNER: The owner is responsible for having a site evaluation conducted of the above mentioned property. Neither the evaluation nor the approval thereof shall in any way exempt the owner(s) from complying with the Ontario Building Code or any other applicable law.</p> <p>I, _____ (the owner of the subject property) hereby authorize the above mentioned evaluator to act on my behalf with respect to all matters pertaining to the existing on-site sewage system evaluation.</p> <div style="display: flex; justify-content: space-between; margin-top: 20px;"> <div style="width: 45%; border-bottom: 1px solid black;"></div> <div style="width: 45%; border-bottom: 1px solid black;"></div> </div> <div style="display: flex; justify-content: space-between; margin-top: 5px;"> Owner Signature Date </div>
EVALUATOR:	<p>1. I, <u>JACK CRANGLER</u> declare that this site evaluation is accurate as of the date of inspection. No determination of future performance can be made due to unknown conditions, future water usage over the life of the system, abuse of the system and/or inadequate maintenance, all of which may adversely affect the life of the system. This evaluation does not grant or imply any guarantee or warranty of the future performance of the sewage system. The undersigned takes no responsibility for the accuracy of existing or proposed property lines, whether measured or implied.</p> <div style="display: flex; justify-content: space-between; margin-top: 20px;"> <div style="width: 45%; border-bottom: 1px solid black; text-align: center;"> </div> <div style="width: 45%; border-bottom: 1px solid black; text-align: center;"> <u>APR 24/18</u> </div> </div> <div style="display: flex; justify-content: space-between; margin-top: 5px;"> Evaluator Signature Date </div>
BUILDING DIVISION COMMENTS	<p>Comments: _____</p> <p>_____</p> <p>I, _____ have reviewed the information contained in this form as submitted.</p> <div style="display: flex; justify-content: space-between; margin-top: 20px;"> <div style="width: 45%; border-bottom: 1px solid black;"></div> <div style="width: 45%; border-bottom: 1px solid black;"></div> </div> <div style="display: flex; justify-content: space-between; margin-top: 5px;"> Chief Building Official or designate Date </div>

Revised: October 5, 2015



On Site Sewage Disposal System Location Plan

DATE: _____

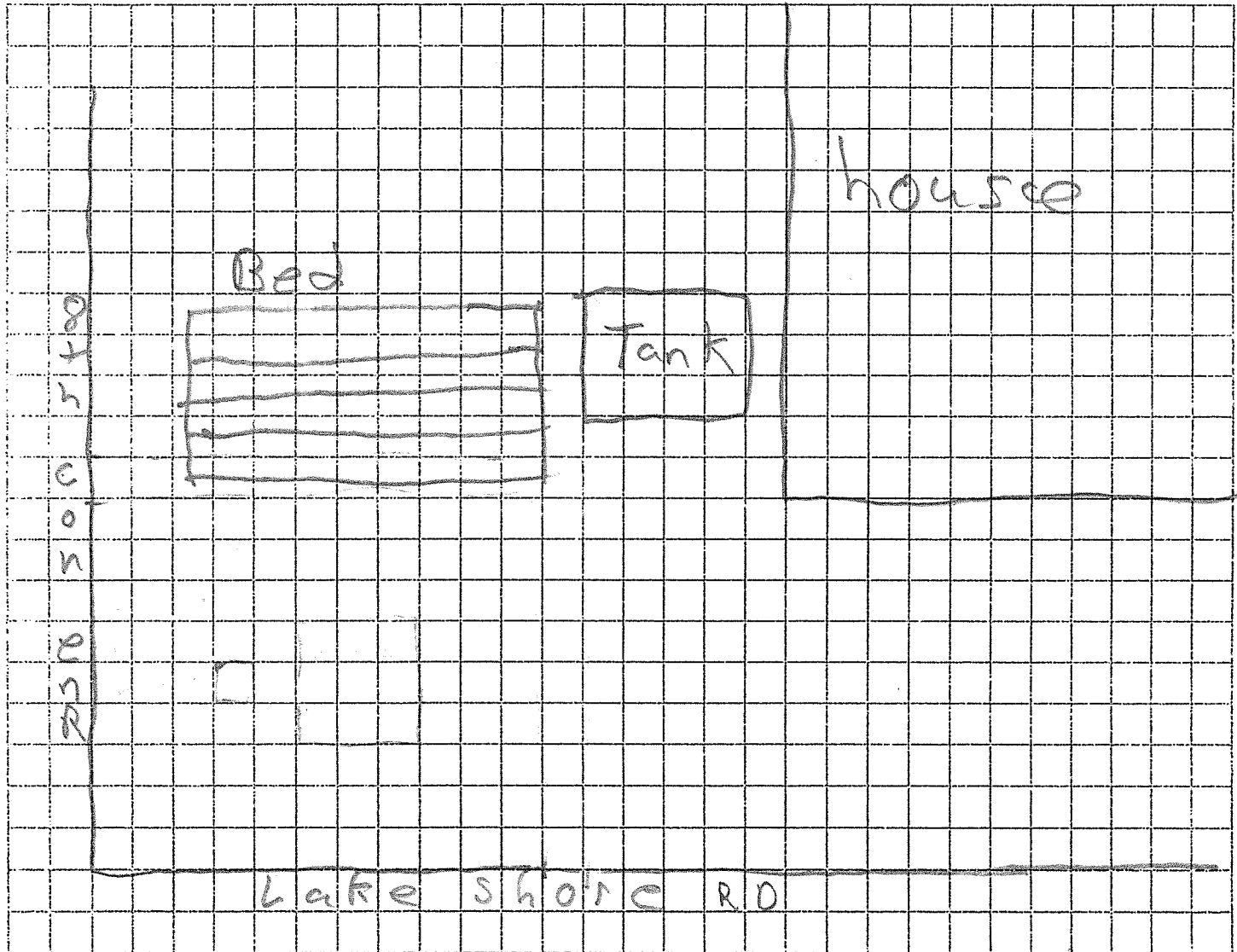
APPLICATION NUMBER: _____

OWNER _____

EVALUATOR _____

PROPERTY ADDRESS _____

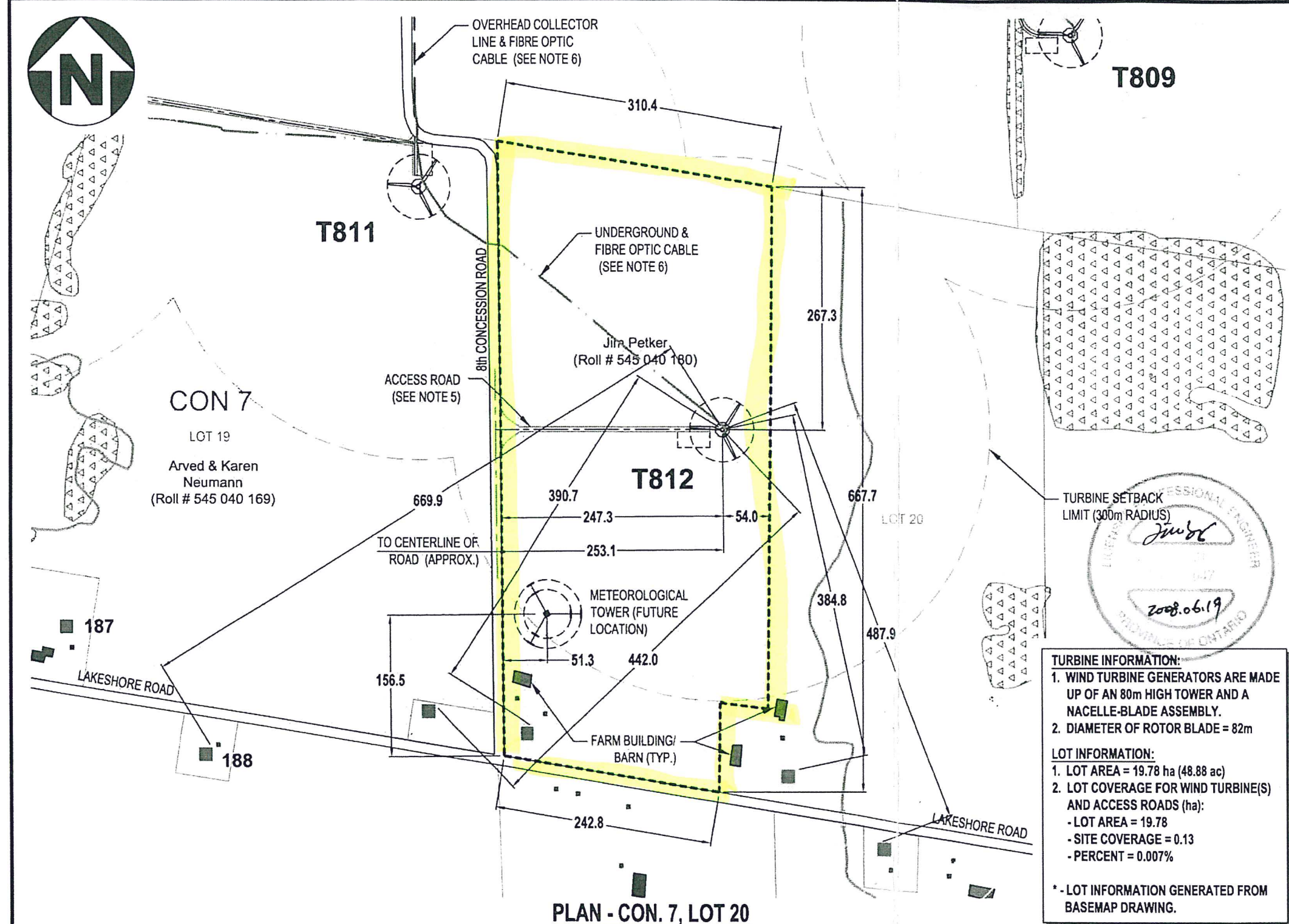
Please provide a DIMENSIONED sketch drawing indicating EXISTING AND PROPOSED property lines, existing roads and driveways, location of all existing buildings, location of existing wells, and location of existing septic tanks and tile beds.



PREPARED BY: _____

NOTE: The above sketch is not to exact scale.

EN-Guide.
60 mag drive



LEGEND	
	TURBINE ACCESS ROAD
	MAJOR ROADS & R.O.W.
	TURBINE
	HOUSE/DWELLING
	FARM BUILDING
	EXISTING WOODED AREA
	MUNICIPAL DRAIN
	27.6kV OVERHEAD COLLECTOR LINE TO EXISTING 27.6kV HONI OVERHEAD LINE
	27.6kV OVERHEAD COLLECTOR LINE & FIBRE OPTIC CABLE
	27.6kV UNDERGROUND & FIBRE OPTIC CABLE
	300m TURBINE SETBACK LIMIT FROM AN OFF-SITE RESIDENTIAL DWELLING
	PARTICIPANT PROPERTY
	PROPERTY/LOT BEING DETAILED

TURBINE T812 - UTM COORDINATES	EAST - 534710, NORTH - 4714709
MET TOWER - UTM COORDINATES (FUTURE)	EAST - 534516, NORTH - 4714505

- NOTES**
- ALL DIMENSIONS AND GRID COORDINATES SHOWN ON THIS DRAWING ARE IN METERS. GRID COORDINATES ARE UTM (NAD 83).
 - TOPOGRAPHIC INFORMATION AND PROPERTY BOUNDARIES WAS DERIVED FROM MACVIRO DRAWINGS #4877-G13A/B/C REV. F APRIL 29, 2005.
 - THE PLAN LIMITS ARE RANDOM ONLY.
 - THIS DRAWING IS PART OF THE SITE PLAN DRAWING A1-151873-CU-121-0100
 - FOR ACCESS ROAD TYPICAL SECTION SEE DRAWING B1-156508-CU-121-0901. TURBINE ACCESS ROADS ARE TO FOLLOW EXISTING ROADS WHENEVER POSSIBLE.
 - FOR OVERHEAD COLLECTOR LINE, UNDERGROUND & FIBRE OPTIC CABLE LAYOUT SEE ELECTRICAL DRAWING A1-156508-CU-141-0100.

TURBINE INFORMATION:
1. WIND TURBINE GENERATORS ARE MADE UP OF AN 80m HIGH TOWER AND A NACELLE-BLADE ASSEMBLY.
2. DIAMETER OF ROTOR BLADE = 82m

LOT INFORMATION:
1. LOT AREA = 19.78 ha (48.88 ac)
2. LOT COVERAGE FOR WIND TURBINE(S) AND ACCESS ROADS (ha):
- LOT AREA = 19.78
- SITE COVERAGE = 0.13
- PERCENT = 0.007%

* - LOT INFORMATION GENERATED FROM BASEMAP DRAWING.

PLAN - CON. 7, LOT 20

																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																															</
--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	----

* PROPOSED SEVERANCE

FIELD

4 metres

Silo

Barn Foundation

9.2m

16.9m

46.6m

Driveway

91.5 depth

SEPTIC AREA

HOUSE (see attached layout)

1600 SQUARE FT

17m to property line

28 metres to property line

52 metres wide

Driveway Entrance

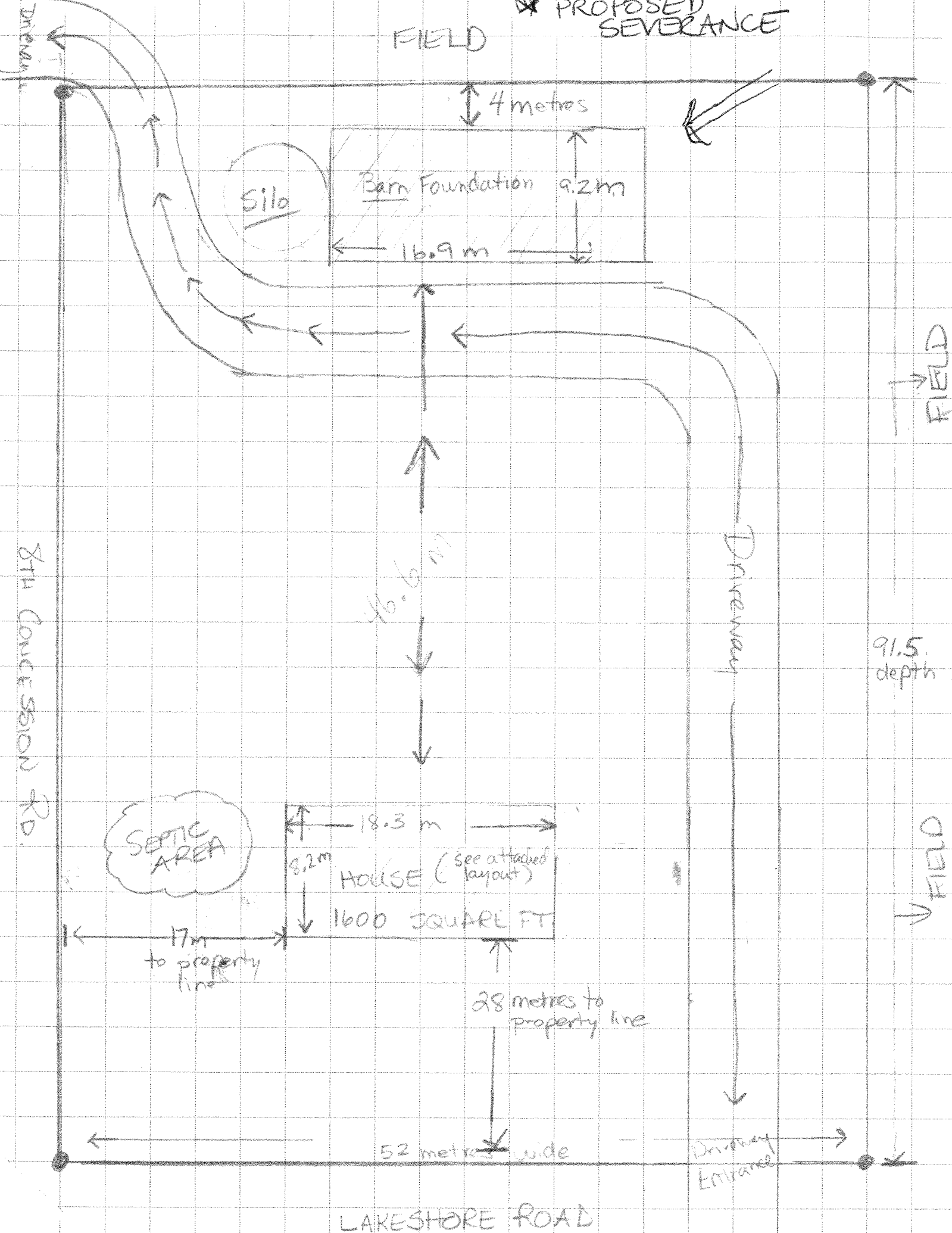
LAKE SHORE ROAD

8TH CONCESSION RD.

Driveway

FIELD

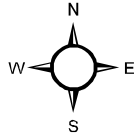
FIELD



MAP 1

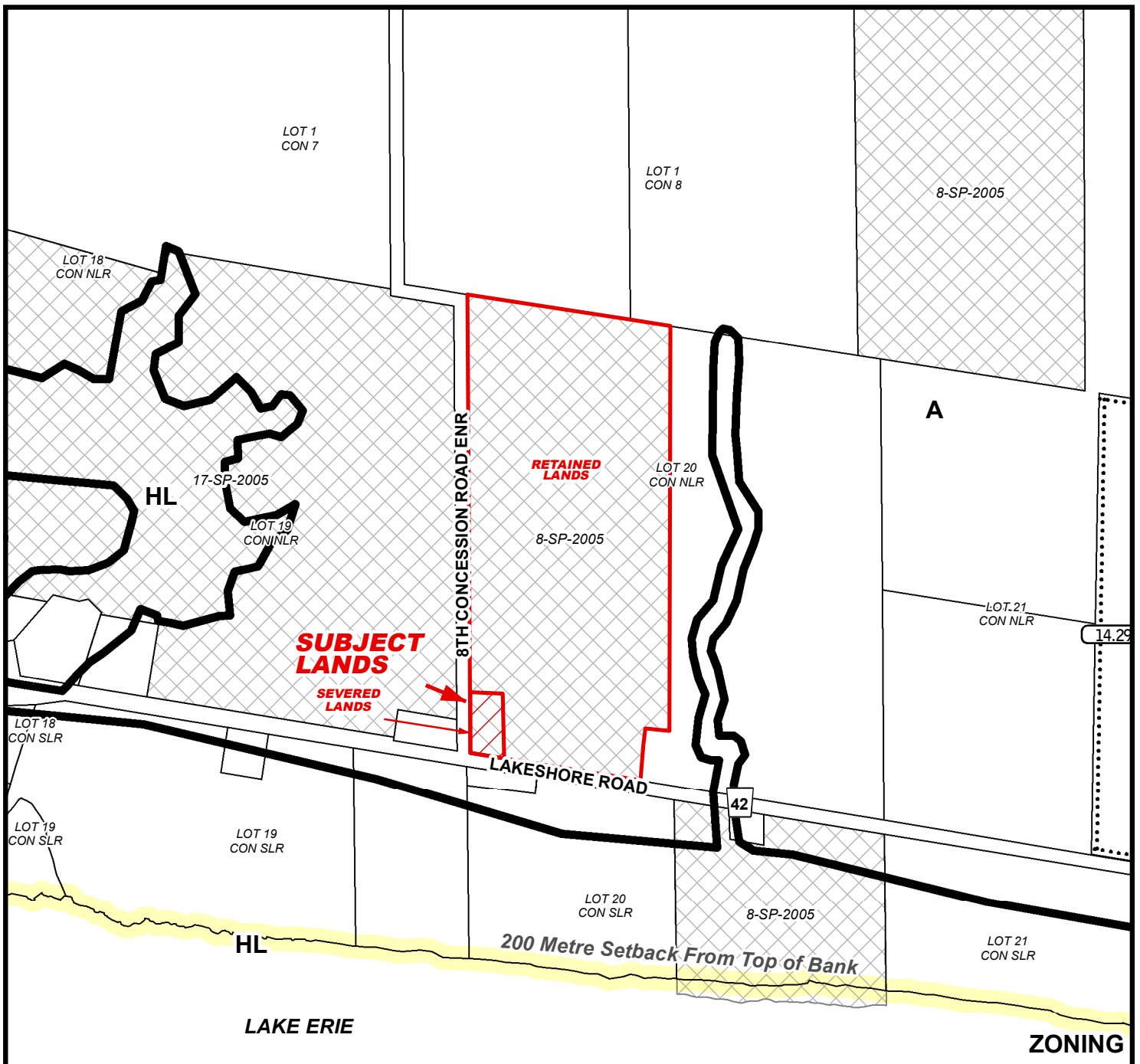
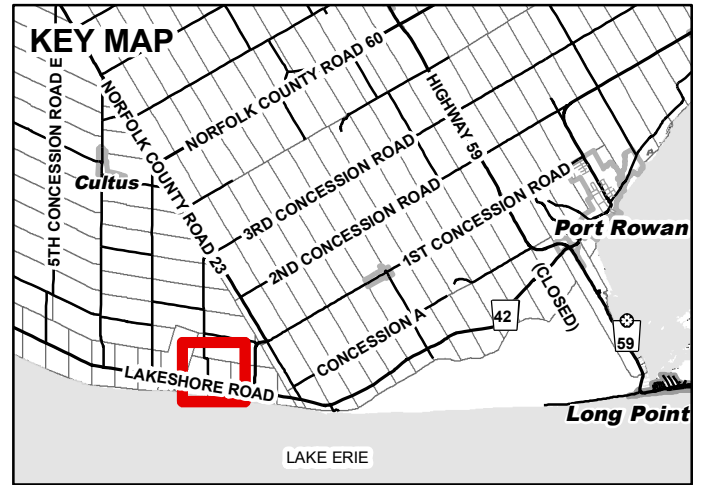
File Number: BNPL2018137

Geographic Township of
HOUGHTON



1:8,500

60 30 0 60 120 180 240 Meters



MAP 2

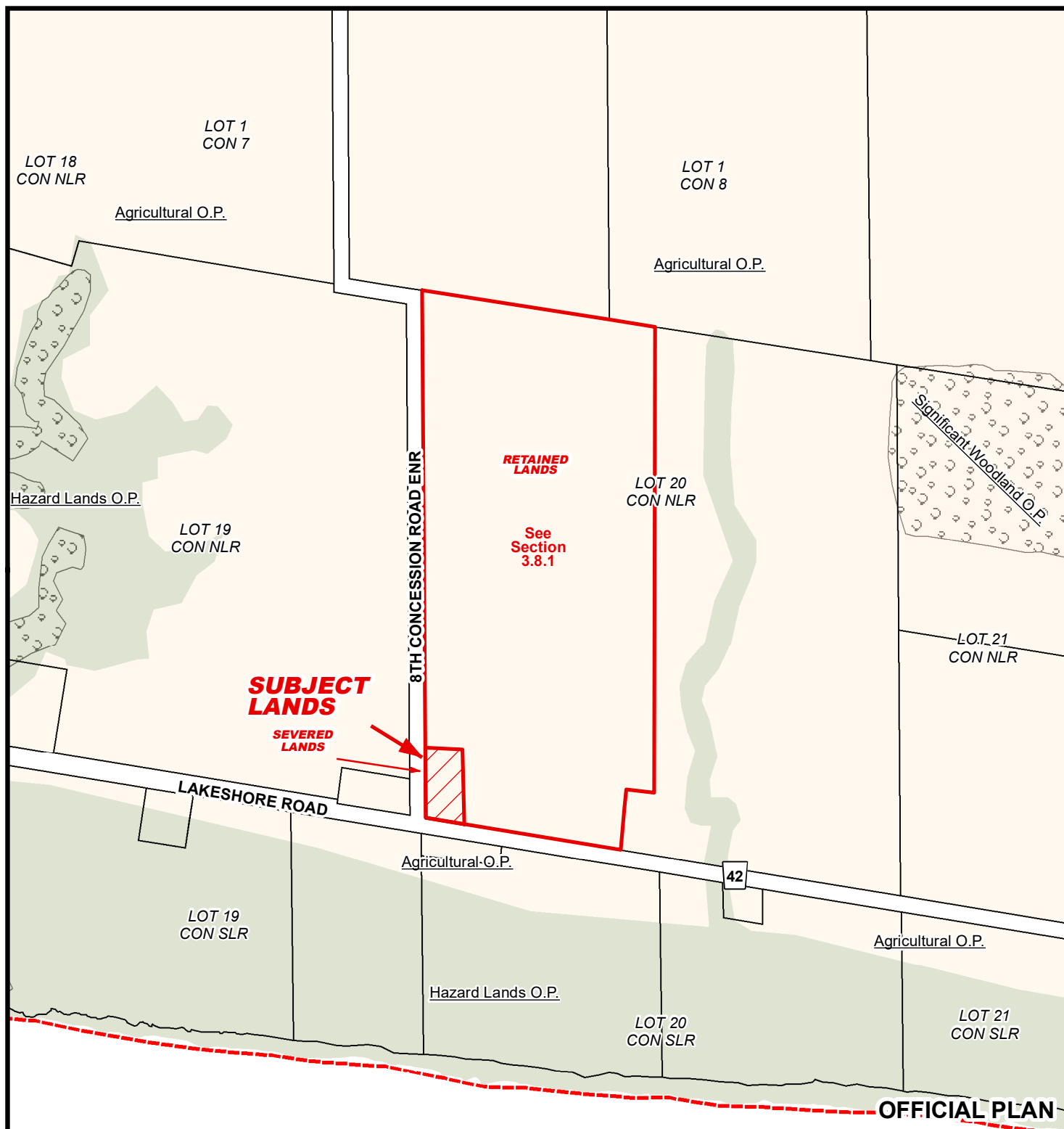
File Number: BNPL2018137

Geographic Township of HOUGHTON



25 50 75 100 Meters

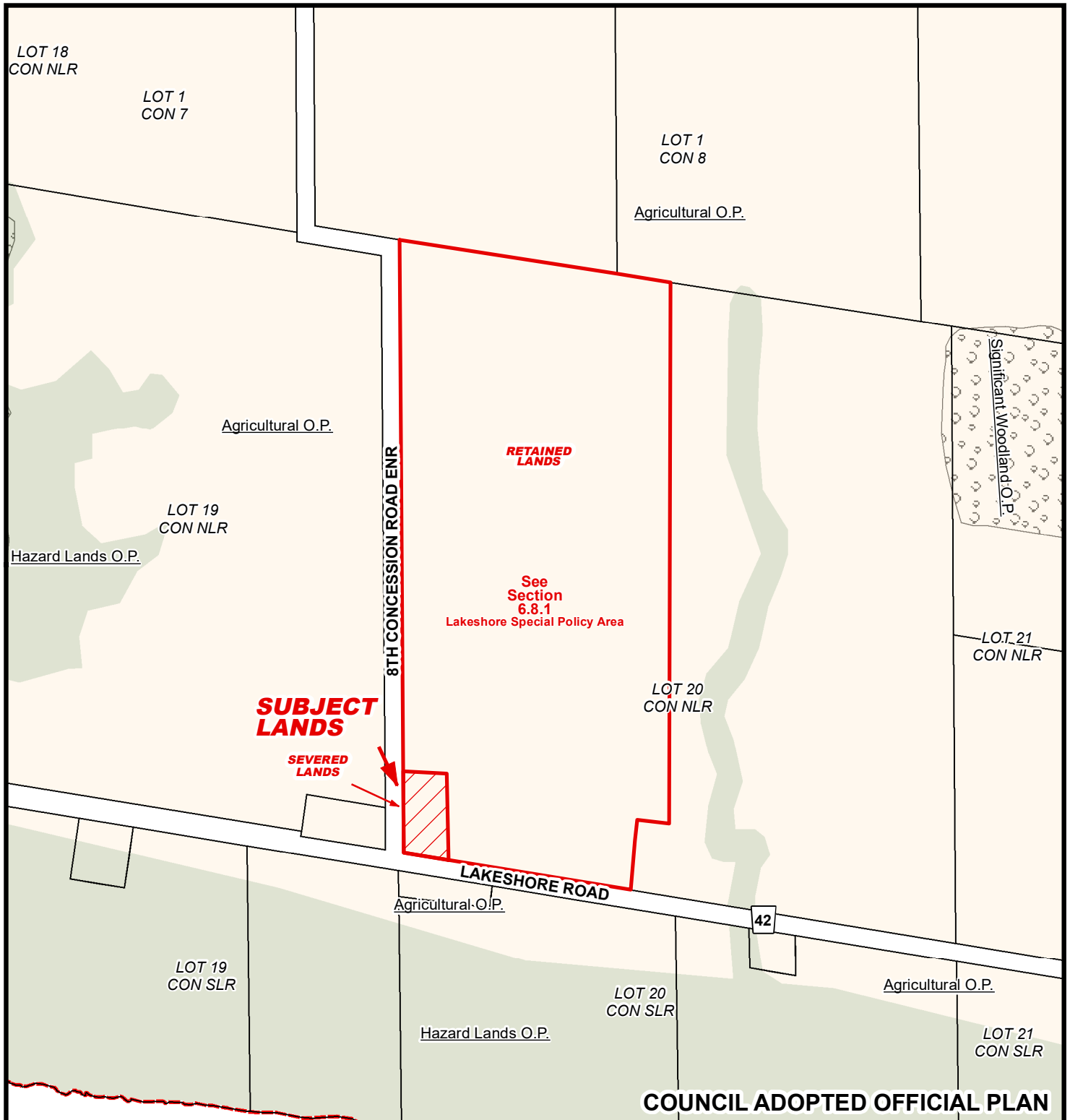
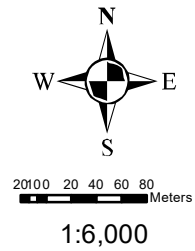
1:7,000



MAP 3

File Number: BNPL2018137

Geographic Township of HOUGHTON



MAP 4

File Number: BNPL2018137

Geographic Township of HOUGHTON



MAP 5

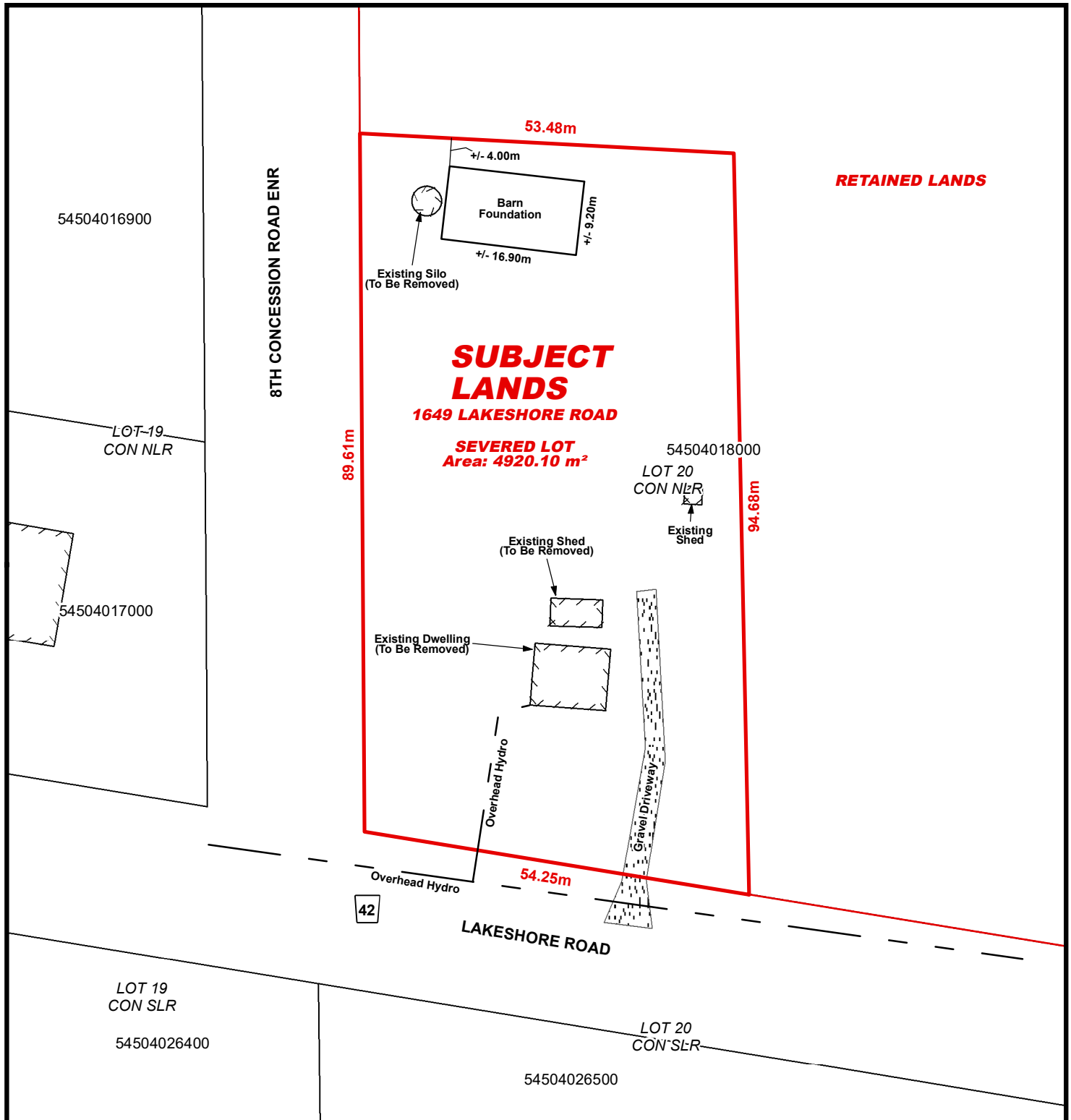
File Number: BNPL2018137

Geographic Township of HOUGHTON



2.5 2.5 5 7.5 10 Meters

1:700



LOCATION OF LANDS AFFECTED

File Number: BNPL2018137

Geographic Township of HOUGHTON



2.5 2.5 5 7.5 10 Meters

1:700

