

For Office Use Only:

File Number	<u>BNPL2019032</u>	Application Fee	<u>\$2210</u>
Related File Number	<u>—</u>	Conservation Authority Fee	<u>—</u>
Pre-consultation Meeting	<u>Dec 5/18</u>	OSSD Form Provided	<u>Incl.</u>
Application Submitted	<u>Feb 5/19</u>	Planner	<u>Steve</u>
Complete Application	<u>Feb 5/19</u>	Public Notice Sign	<u>Yes</u>

Check the type of planning application(s) you are submitting.

- ☒ Consent/Severance/ Boundary Adjustment
☐ Surplus Farm Dwelling Severance and Zoning By-law Amendment
☐ Minor Variance
☐ Easement/Right-of-Way

Property Assessment Roll Number: 33601059300
A. Applicant Information**Name of Owner**

~~Bob~~ Nicholas Schira
MARYLYNN SCHIRA

It is the responsibility of the owner or applicant to notify the planner of any changes in ownership within 30 days of such a change.

Address 1623 Old Highway 24
Town and Postal Code NOE 1Y0 Waterford
Phone Number (519) 443-4360
Cell Number —
Email —
Name of Applicant

Robyn Matthews

Address 485 Concession 5 Townsend
Town and Postal Code Waterford NOE 1Y0
Phone Number 519 410 4433
Cell Number —
Email RMatthews@si1omail.com

Name of Agent _____

Address _____

Town and Postal Code _____

Phone Number _____

Cell Number _____

Email _____

Please specify to whom all communications should be sent. Unless otherwise directed, all correspondence, notices, etc., in respect of this application will be forwarded to the agent noted above.

☐ Owner

☐ Agent

☒ Applicant

Names and addresses of any holder of any mortgagees, charges or other encumbrances on the subject lands:

B. Location, Legal Description and Property Information

1. Legal Description (include Geographic Township, Concession Number, Lot Number, Block Number and Urban Area or Hamlet):

TWN CON 4 PT LOT 7

Municipal Civic Address: 1623 Old highway 24

Present Official Plan Designation(s): agricultural

Present Zoning: A

2. Is there a special provision or site specific zone on the subject lands?

☐ Yes ☒ No If yes, please specify:

3. Present use of the subject lands:

corn field

4. Please describe **all existing** buildings or structures on the subject lands and whether they are to be retained, demolished or removed. If retaining the buildings or structures, please describe the type of buildings or structures, and illustrate the setback, in metric units, from front, rear and side lot lines, ground floor area, gross floor area, lot coverage, number of storeys, width, length, height, etc. on your attached sketch which must be included with your application:

just a corn field

5. If an addition to an existing building is being proposed, please explain what will it be used for (e.g. bedroom, kitchen, bathroom, etc.). If new fixtures are proposed, please describe.

No addition planned

6. Please describe **all proposed** buildings or structures/additions on the subject lands. Describe the type of buildings or structures/additions, and illustrate the setback, in metric units, from front, rear and side lot lines, ground floor area, gross floor area, lot coverage, number of storeys, width, length, height, etc. on your attached sketch which must be included with your application:

No buildings planned

7. Are any existing buildings on the subject lands designated under the *Ontario Heritage Act* as being architecturally and/or historically significant? Yes ☐ No ☒
If yes, identify and provide details of the building:

8. If known, the length of time the existing uses have continued on the subject lands:

9. Existing use of abutting properties:

residential + agricultural

10. Are there any easements or restrictive covenants affecting the subject lands?

☐ Yes ☒ No If yes, describe the easement or restrictive covenant and its effect:



C. Purpose of Development Application

Note: Please complete all that apply.

1. Site Information

Existing

Proposed

Please indicate unit of measurement, i.e. m, m² or %, etc.

Lot frontage	_____	_____
Lot depth	_____	_____
Lot width	_____	_____
Lot area	_____	_____
Lot coverage	_____	_____
Front yard	_____	_____
Rear yard	_____	_____
Left Interior side yard	_____	_____
Right Interior side yard	_____	_____
Exterior side yard (corner lot)	_____	_____

2. Please outline the relief requested (assistance is available):

3. Please explain why it is not possible to comply with the provision(s) of the Zoning By-law:

4. Description of land intended to be severed in metric units:

As Per Sketch

Frontage:	<u>22.86 m (75')</u>
Depth:	<u>80.95 80.95 m (265.6')</u>
Width:	<u>22.86 m</u>
Lot Area:	<u>1913.8 m² (20 600 ft²)</u>
Present Use:	<u>agricultural (corn)</u>
Proposed Use:	<u>residential</u>
Proposed final lot size (if boundary adjustment):	<u>3697.8 m²</u> <u>(1784 m²)</u>

from survey



NORFOLK COUNTY
COMMUNITY
PLANNING
DEVELOPMENT PARTNERSHIPS

→ If a boundary adjustment, identify the assessment roll number and property owner of the lands to which the parcel will be added:

33601059200

Rdawn + Donald
Matthews

Description of land intended to be retained in metric units: *left in parcel* along Conc. 3

Frontage: 72m + 120m

Depth: 213m

Width: 270m

Lot Area: 55012.2 m²

Present Use: agricultural

Proposed Use: agricultural

5. Description of proposed right-of-way/easement in metric units:

Frontage: 72m

Depth: _____

Width: _____

Area: _____

Proposed use: _____

6. List all properties in Norfolk County, which are owned and farmed by the applicant and involved in the farm operation:

Owners Name: _____

Roll Number: _____

Total Acreage: _____

Workable Acreage: _____

Existing Farm Type: (i.e., corn, orchard etc) _____

Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built _____

Owners Name: _____

Roll Number: _____

Total Acreage: _____



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PLANNING
DEVELOPMENT AND COUNSEL SERVICES

Workable Acreage: _____

Existing Farm Type: (i.e., corn, orchard etc) _____

Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built _____

Owners Name: _____

Roll Number: _____

Total Acreage: _____

Workable Acreage: _____

Existing Farm Type: (i.e., corn, orchard etc) _____

Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built _____

Owners Name: _____

Roll Number: _____

Total Acreage: _____

Workable Acreage: _____

Existing Farm Type: (i.e., corn, orchard etc) _____

Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built _____

Note: If additional space is needed please attach a separate sheet.

D. Previous Use of the Property

1. Has there been an industrial or commercial use on the subject lands or adjacent lands? ☐ Yes ☒ No ☐ Unknown
If yes, specify the uses (example: gas station, petroleum storage, etc.):
2. Is there reason to believe the subject lands may have been contaminated by former uses on the site or adjacent sites? ☐ Yes ☒ No ☐ Unknown
3. Provide the information you used to determine the answers to the above questions:
owner knowledge
4. If you answered yes to any of the above questions in Section D, a previous use inventory showing all known former uses of the subject lands, or if appropriate, the adjacent lands, is needed. Is the previous use inventory attached? ☐ Yes ☒ No



E. Provincial Policy

1. Is the requested amendment consistent with the provincial policy statements issued under subsection 3(1) of the *Planning Act*, R.S.O. 1990, c. P. 13? ☒ Yes ☐ No

If no, please explain:

2. It is owner's responsibility to be aware of and comply with all relevant federal or provincial legislation, municipal by-laws or other agency approvals, including the Endangered Species Act, 2007. Have the subject lands been screened to ensure that development or site alteration will not have any impact on the habitat for endangered or threatened species further to the provincial policy statement subsection 2.1.7? ☐ Yes ☒ No

If no, please explain:

*No development proposed at this time.
Correctly for a septic system encroachment.*

3. Have the subject lands been screened to ensure that development or site alteration will not have any impact on source water protection? ☒ Yes ☒ No

If no, please explain:

Note: If in an area of source water WHPA A, B or C please attach relevant information and approved mitigation measures from the Risk Manager Official.

4. Are any of the following uses or features on the subject lands or within 500 metres of the subject lands, unless otherwise specified? Please check boxes, if applicable.

Livestock facility or stockyard (submit MDS Calculation with application)

☐ On the subject lands or ☐ within 500 meters – distance _____

Wooded area

☐ On the subject lands or ☐ within 500 meters – distance _____

Municipal Landfill

☐ On the subject lands or ☐ within 500 meters – distance _____

Sewage treatment plant or waste stabilization plant

☐ On the subject lands or ☐ within 500 meters – distance _____

Provincially significant wetland (class 1, 2 or 3) or other environmental feature

☐ On the subject lands or ☐ within 500 meters – distance _____

Floodplain

☐ On the subject lands or ☐ within 500 meters – distance _____

Rehabilitated mine site

☐ On the subject lands or ☐ within 500 meters – distance _____

Non-operating mine site within one kilometre

☐ On the subject lands or ☐ within 500 meters – distance _____

Active mine site within one kilometre

☐ On the subject lands or ☐ within 500 meters – distance _____

Industrial or commercial use (specify the use(s))

☐ On the subject lands or ☒ within 500 meters – distance 75m

*DUNDURN
ROADS
YARD*

Active railway line

☐ On the subject lands or ☐ within 500 meters – distance _____

Seasonal wetness of lands

☐ On the subject lands or ☐ within 500 meters – distance _____

Erosion

☐ On the subject lands or ☐ within 500 meters – distance _____

Abandoned gas wells

☐ On the subject lands or ☐ within 500 meters – distance _____

F. Servicing and Access

1. Indicate what services are available or proposed:

Water Supply

- ☐ Municipal piped water ☐ Communal wells
☒ Individual wells ☐ Other (describe below)
-

Sewage Treatment

- ☐ Municipal sewers ☐ Communal system
☒ Septic tank and tile bed ☐ Other (describe below)
-

Storm Drainage

- ☐ Storm sewers ☐ Open ditches
☒ Other (describe below) ☐
-

over land

2. Existing or proposed access to subject lands:

- ☒ Municipal road ☐ Provincial highway
☐ Unopened road ☐ Other (describe below)

Name of road/street:

Concession S Townsend

G. Other Information

1. Does the application involve a local business? ☐ Yes ☒ No

If yes, how many people are employed on the subject lands?

2. Is there any other information that you think may be useful in the review of this application? If so, explain below or attach on a separate page.

Septic system is encroaching on neighbors property.



H. Supporting Material to be submitted by Applicant

In order for your application to be considered complete, folded hard copies (number of paper copies as directed by the planner) and an **electronic version (PDF) of the site plan drawings, additional plans, studies and reports** will be required, including but not limited to the following details:

1. Concept/Layout Plan
2. All measurements in metric
3. Existing and proposed easements and right of ways
4. Parking space totals – required and proposed
5. All dimensions of the subject lands
6. Dimensions and setbacks of all buildings and structures
7. Names of adjacent streets
8. Natural features, watercourses and trees

In addition, the following additional plans, studies and reports, including but not limited to, **may** also be required as part of the complete application submission:

- ☐ Zoning Deficiency Form
- ☒ On-Site Sewage Disposal System Evaluation Form
- ☐ Environmental Impact Study
- ☐ Geotechnical Study / Hydrogeological Review
- ☐ Minimum Distance Separation Schedule
- ☐ Record of Site Condition
- ☐ Agricultural Impact Assessment

Your development approval might also be dependent on Ministry of Environment and Climate Change, Ministry of Transportation or other relevant federal or provincial legislation, municipal by-laws or other agency approvals.

All final plans must include the owner's signature as well as the engineer's signature and seal.



I. Transfers, Easements and Postponement of Interest

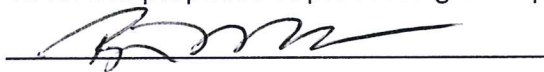
The owner acknowledges and agrees that if required it is their solicitor's responsibility on behalf of the owner for the registration of all transfer(s) of land to the County, and/or transfer(s) of easement in favour of the County and/or utilities. Also, the owner further acknowledges and agrees that it is their solicitor's responsibility on behalf of the owner for the registration of postponements of any charges in favour of the County.

Permission to Enter Subject Lands

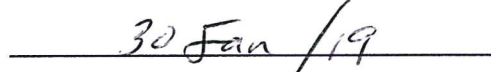
Permission is hereby granted to Norfolk County officers, employees or agents, to enter the premises subject to this application for the purposes of making inspections associated with this application, during normal and reasonable working hours.

Freedom of Information

For the purposes of the *Municipal Freedom of Information and Protection of Privacy Act*, I authorize and consent to the use by or the disclosure to any person or public body any information that is collected under the authority of the *Planning Act, R.S.O. 1990, c. P. 13* for the purposes of processing this application.



Owner/Applicant/Agent Signature

 30 Jan / 19

Date

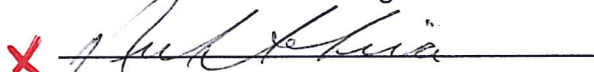


J. Owner's Authorization

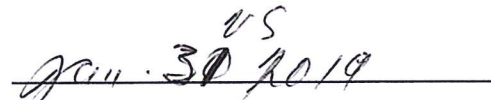
If the applicant/agent is not the registered owner of the lands that is the subject of this application, the owner must complete the authorization set out below.

I/We Nick + Mary Lynn Schira am/are the registered owner(s) of the lands that is the subject of this application for site plan approval.

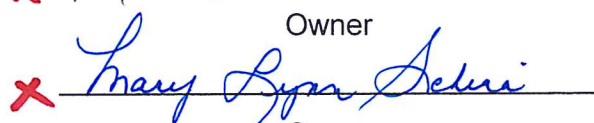
I/We authorize Robyn Matthews to make this application on my/our behalf and to provide any of my/our personal information necessary for the processing of this application. Moreover, this shall be your good and sufficient authorization for so doing.



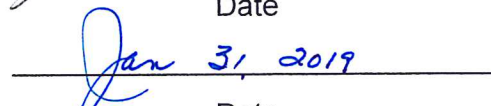
Owner

 Jan 30 2019

Date



Owner

 Jan 31, 2019

Date



NORFOLK COUNTY
COMMUNITY
PLANNING
DEVELOPMENT AND CULTURAL SERVICES

K. Declaration

I, Robyn Matthews of Norfolk County

solemnly declare that:

all of the above statements and the statements contained in all of the exhibits transmitted herewith are true and I make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath and by virtue of *The Canada Evidence Act*.

Declared before me at:

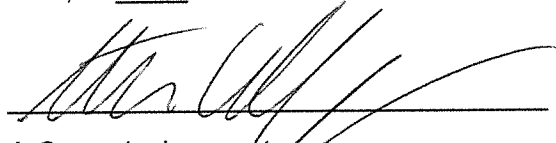
Simcoe


Owner/Applicant/Agent Signature

In Norfolk County

This 5th day of February

A.D., 20 19


A Commissioner, etc.

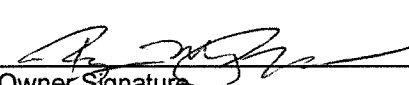





Evaluation Form for Existing On-Site Sewage Systems

Date: March 2016

OFFICE USE ONLY		FILE NO.:	DATE RECEIVED:
PROPERTY INFORMATION		Municipal Address: <u>485 Concession 5 Townsend Waterford NOE 110</u>	
Owner: <u>Robyn + Donald Matthews</u>		Lot: <u>PART LOT 7</u>	Concession: <u>4</u>
Lot Area: <u>21 588 ft²</u>	Lot Frontage: <u>83' 94</u>	Assessment Roll No. <u>336010.59200</u>	
PURPOSE OF EVALUATION	<input type="checkbox"/> Consent <input type="checkbox"/> Minor Variance <input type="checkbox"/> Site Plan <input type="checkbox"/> Zoning <input checked="" type="checkbox"/> Other <u>Boundary Adjustment</u>		
BUILDING INFORMATION	<input checked="" type="checkbox"/> Residential <input type="checkbox"/> Commercial <input type="checkbox"/> Industrial <input type="checkbox"/> Agricultural		
Building Area: <u>2200 ft²</u>	No. of Bedrooms: <u>3</u>	No. of Fixture Units: <u>21</u>	<u>building is occupied</u>
EVALUATOR'S INFORMATION	Evaluator's Name: <u>Jesse Morris</u>		Company Name: <u>TRUCKING + EXCAVATING</u>
Address: <u>126 Hillcrest Rd Simcoe</u>	Postal Code: <u>N3Y 4K6</u>		Phone: <u>519-428-9292</u>
Email:	BCIN # <u>16269</u>		
SITE EVALUATION	Ground Cover (trees, bushes, grass, impermeable surface): <u>corn field will be grass</u> Soil Type: <u>Sand</u>		
Site Slope: <input checked="" type="checkbox"/> Flat <input type="checkbox"/> Moderate <input type="checkbox"/> Steep	Soil Conditions: <input type="checkbox"/> Wet <input checked="" type="checkbox"/> Dry	Depth of Water Table: <u>25</u> ft.	
Surface Discharge Observed: Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	Odour Detected: Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	Current Weather (at time of evaluation): <u>Sunny</u>	
SYSTEM EVALUATION	Class of System: <input type="checkbox"/> 1 (Privy) <input type="checkbox"/> 2 (Greywater) <input type="checkbox"/> 3 (Cesspool) <input checked="" type="checkbox"/> 4 (Leaching Bed) <input type="checkbox"/> 5 (Holding Tank)		
Tank: <input checked="" type="checkbox"/> Pre-cast <input type="checkbox"/> Plastic <input type="checkbox"/> Fibre Glass <input type="checkbox"/> Wood <input type="checkbox"/> Other _____	Size: <u>800</u> Gal.	Pump: Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
Distribution System: Area: <input checked="" type="checkbox"/> Trench Bed <input type="checkbox"/> Filter Medium	No. of Tile Runs:	Total Length of Tile:	Distance Between Tile Runs:
Tile Material: <input checked="" type="checkbox"/> PVC <input type="checkbox"/> Clay <input type="checkbox"/> Other _____	Ends: <input checked="" type="checkbox"/> Capped <input type="checkbox"/> Joined	Cover: <input type="checkbox"/> Filter Cloth <input checked="" type="checkbox"/> Sand <input checked="" type="checkbox"/> Top Soil <input type="checkbox"/> Seeded	
Setbacks:	Tank	Distribution Pipe	
Distance to Buildings & Structures (ft)	<u>7 feet</u>	<u>50 feet</u>	
Distance to Bodies of Water (ft)	<u>1 mile</u>	<u>1 mile</u>	
Distance to Nearest Well (ft)	<u>65 feet</u>	<u>100 feet</u>	
Distance to Proposed Property Lines	Front <u>125</u> Rear <u>175</u> Side <u>100</u> Side <u>80</u>	Front <u>40</u> Rear <u>60</u> Side <u>100</u> Side <u>20</u>	

OVERALL SYSTEM RATING	<input checked="" type="checkbox"/> System Working Properly / No Work Required <input type="checkbox"/> System Functioning / Maintenance Required <input type="checkbox"/> System Not Functioning / Minor Repair Required <input type="checkbox"/> System Failure/Major Repair / Replacement Required <u>Note:</u> Any repair/replacement of an on site sewage system requires a building permit. Contact the Norfolk County Building Division at (519) 426-5870 for more information.
	Additional Comments:
VERIFICATION	
OWNER: The owner is responsible for having a site evaluation conducted of the above mentioned property. Neither the evaluation nor the approval thereof shall in any way exempt the owner(s) from complying with the Ontario Building Code or any other applicable law. I, <u>Robyn Matthews</u> (the owner of the subject property) hereby authorize the above mentioned evaluator to act on my behalf with respect to all matters pertaining to the existing on-site sewage system evaluation. <div style="display: flex; justify-content: space-between; margin-top: 20px;"> <div style="width: 45%;">  Owner Signature </div> <div style="width: 45%;"> <u>Dec. 9, 2018</u> Date </div> </div>	
EVALUATOR: 1. I, <u>Jesse Morris</u> declare that this site evaluation is accurate as of the date of inspection. No determination of future performance can be made due to unknown conditions, future water usage over the life of the system, abuse of the system and/or inadequate maintenance, all of which may adversely affect the life of the system. This evaluation does not grant or imply any guarantee or warranty of the future performance of the sewage system. The undersigned takes no responsibility for the accuracy of existing or proposed property lines, whether measured or implied. <div style="display: flex; justify-content: space-between; margin-top: 20px;"> <div style="width: 45%;">  Evaluator Signature </div> <div style="width: 45%;"> <u>Jan 13 2019</u> Date </div> </div>	
<div style="border: 1px solid black; padding: 2px; margin-bottom: 5px;">BUILDING DIVISION COMMENTS</div> Comments: _____ _____ I, _____ have reviewed the information contained in this form as submitted. <div style="display: flex; justify-content: space-between; margin-top: 20px;"> <div style="width: 45%;"> _____ Chief Building Official or designate </div> <div style="width: 45%;"> _____ Date </div> </div>	

Revised: March 21, 2016

pond 2 miles

PROPOSED BACK

NORTH

83' 86 25.56m

PROPOSED NEW PROPERTY LINE

TANK 175'

WEST PROPERTY LINE

SEPTIC TANK

HOUSE

well

50 FT to house

65'

80'

100'

125'

78.45m

75' 4 - 22.98m

77' 7 - 23.68m

78.45m

PROPOSED PROPERTY LINE

257' 39

83' 94 - 25.58m

CONCESSION # 5

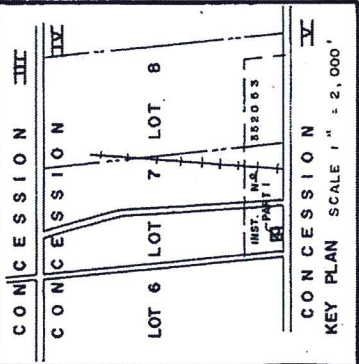
6-730

[illegible][illegible][illegible][illegible][illegible][illegible]

The map displays four distinct land parcels arranged horizontally. From left to right:

- CONFESSION III**: A narrow vertical strip on the far left.
- CONFESSION IV**: A wider vertical strip next to the first one.
- LOT 6 LOT 7 LOT 8**: A large rectangular area divided into three horizontal sections. The top section is labeled "LOT 8", the middle section "LOT 7", and the bottom section "LOT 6". Within the "LOT 6" section, there are labels for "INST. NO.", "PART I", and a survey number "352003".
- CONFESSION V**: A narrow vertical strip on the far right.

A dashed line runs vertically through the center of the "LOT 6 LOT 7 LOT 8" area. At the bottom of the map, a label reads "KEY PLAN SCALE 1\" = 2,000'".

[illegible]

CONCESSION III

CONCESSION IV

LOT 6

LOT 7

LOT 8

LOT 9

INST. NO. 352003
PART I

2003

CONCESSION IV

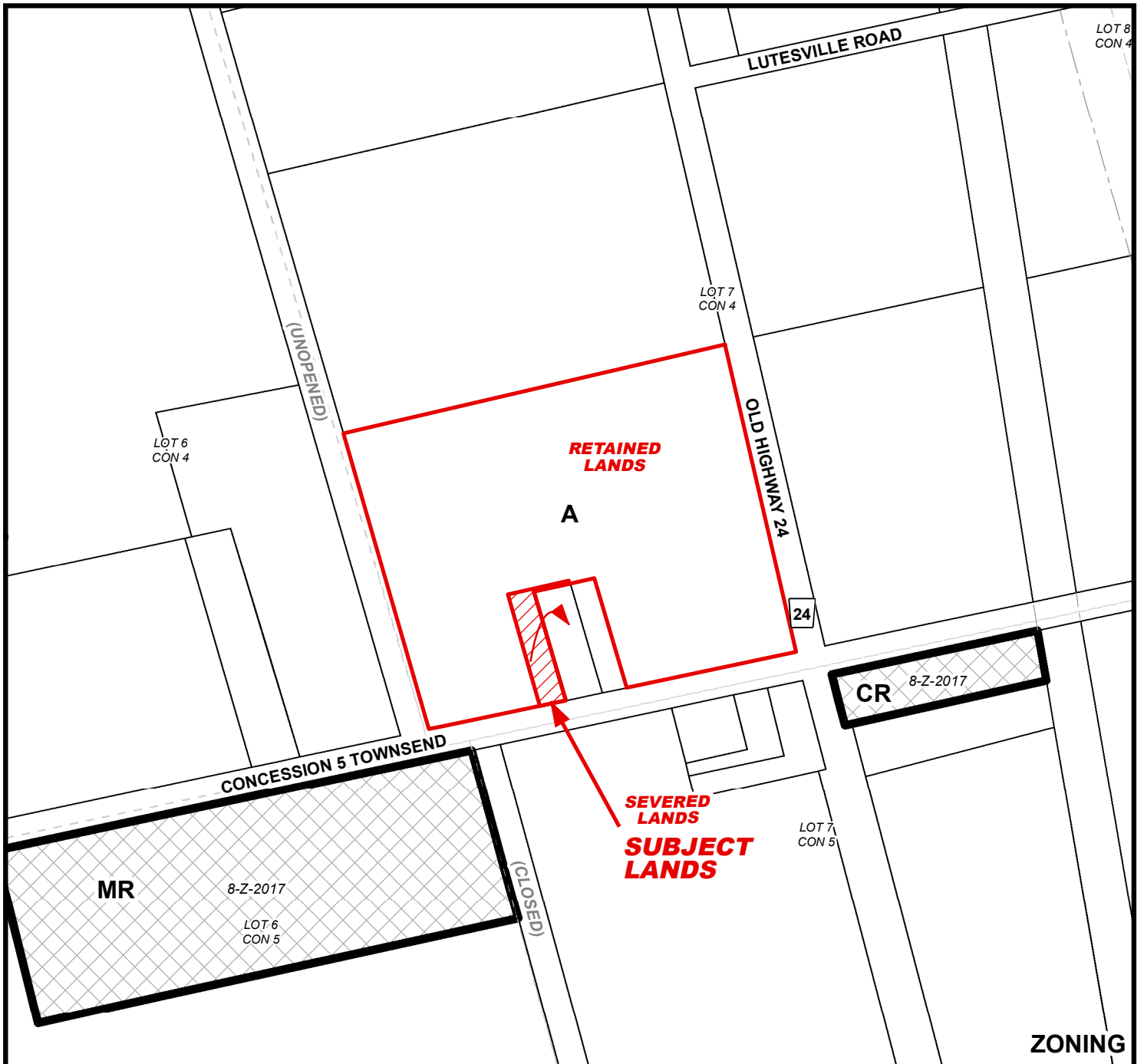
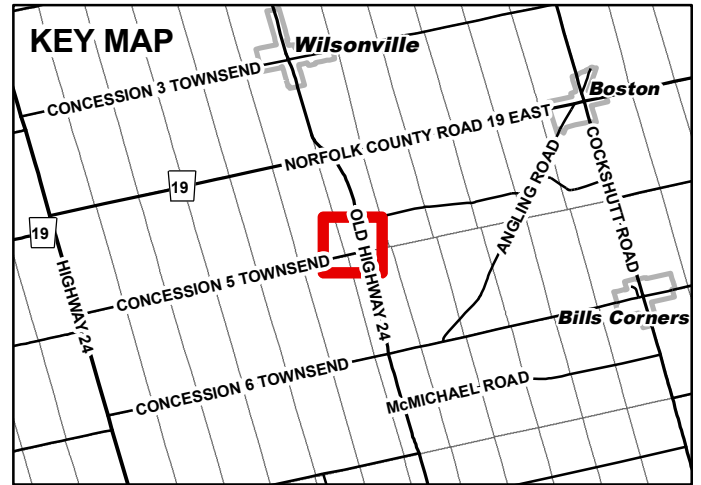
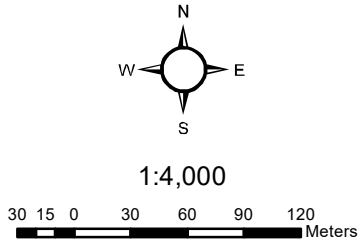
KEY PLAN SCALE 1" = 2,000'

INITIALS OF SELLER(s)

MAP 1

File Number: BNPL2019032

Geographic Township of
TOWNSEND

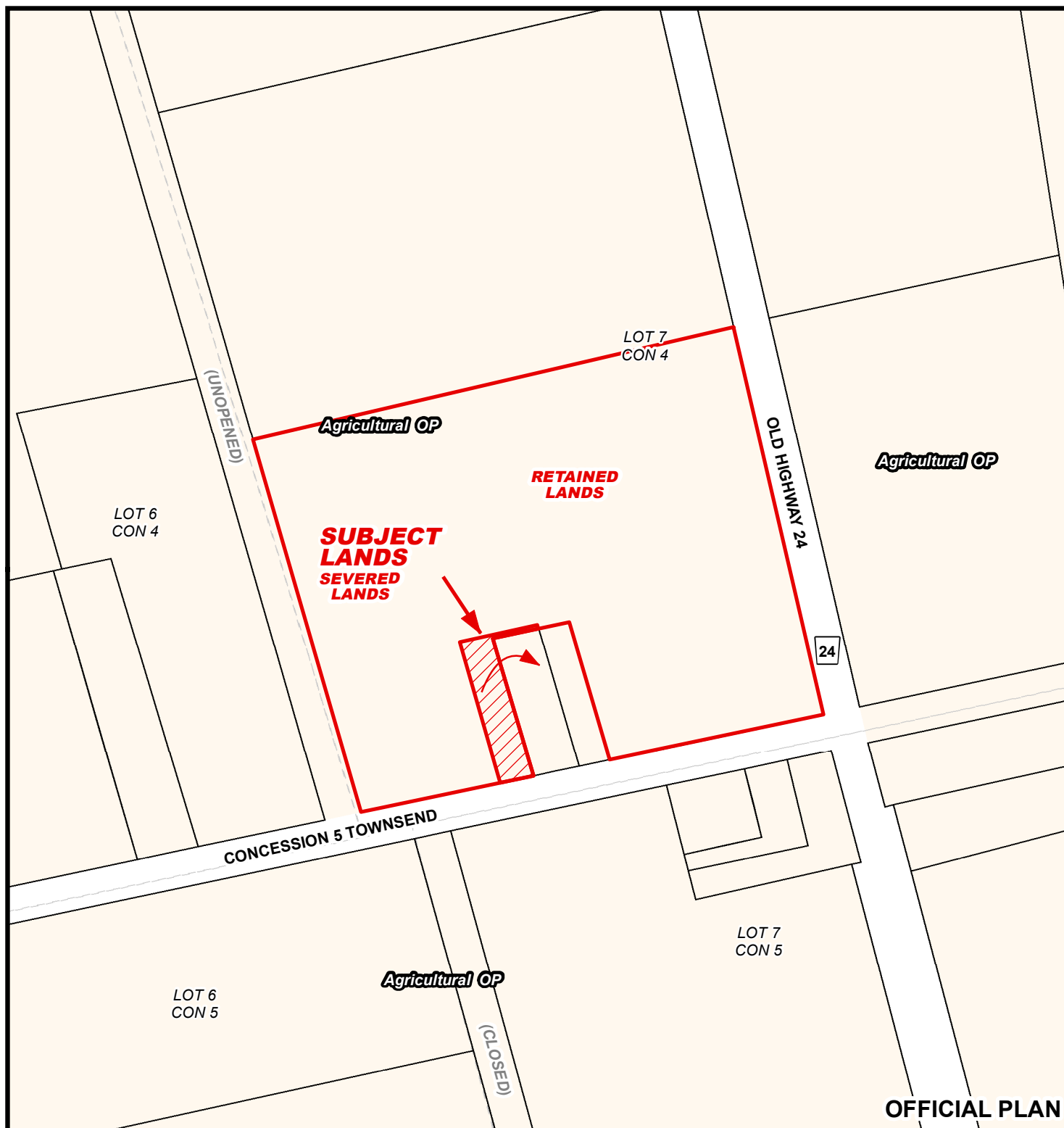
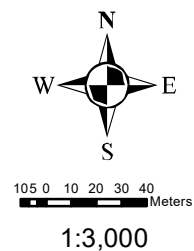


ZONING

MAP 2

File Number: BNPL2019032

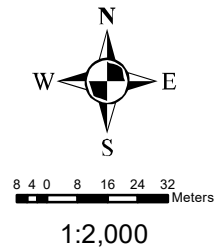
Geographic Township of TOWNSEND



MAP 3

File Number: BNPL2019032

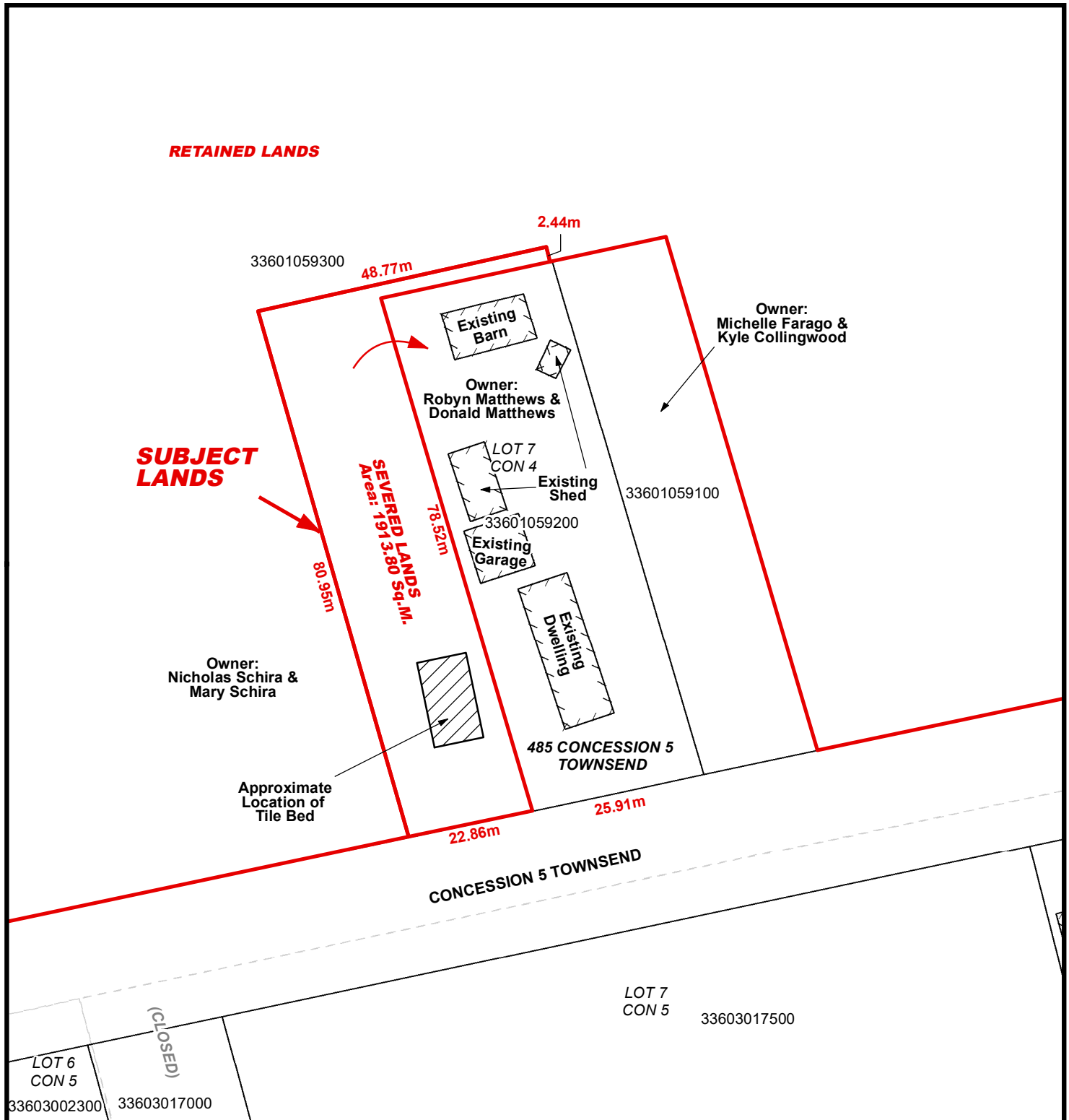
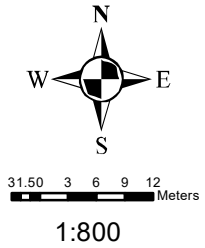
Geographic Township of TOWNSEND



MAP 4

File Number: BNPL2019032

Geographic Township of TOWNSEND



LOCATION OF LANDS AFFECTED

File Number: BNPL2019032

Geographic Township of TOWNSEND

