

For Office Use Only:

File Number	<u>BNPL20A15B⁷</u>	Application Fee	<u>\$2210.00</u>
Related File Number	<u>BNPL2019156</u>	Conservation Authority Fee	<u> </u>
Pre-consultation Meeting	<u> </u>	OSSD Form Provided	<u> </u>
Application Submitted	<u>April 30</u>	Planner	<u>Neil</u>
Complete Application	<u>May 1</u>	Public Notice Sign	<u>Yes.</u>

Check the type of planning application(s) you are submitting.

- ☒ Consent/Severance/Boundary Adjustment
☐ Surplus Farm Dwelling Severance and Zoning By-law Amendment
☐ Minor Variance
☐ Easement/Right-of-Way

Property Assessment Roll Number: 54400116000

A. Applicant Information

Name of Owner DON FIELD + SONS CONSTRUCTION

It is the responsibility of the owner or applicant to notify the planner of any changes in ownership within 30 days of such a change.

Address 257 OAKHILL DR.
Town and Postal Code BRANTFORD N3T5L7
Phone Number 519 861 0388
Cell Number 519 861 0388
Email fieldhomes@live.com.

Name of Applicant DENNIS FIELD
Address 257 OAKHILL DR.
Town and Postal Code BRANTFORD
Phone Number 519 861 0388
Cell Number 519 861 0388
Email fieldhomes@live.com

Name of Agent DENNIS FIELD
Address _____
Town and Postal Code _____
Phone Number _____
Cell Number 519861 0388
Email Fieldhomes@live.com

Please specify to whom all communications should be sent. Unless otherwise directed, all correspondence and notices in respect of this application will be forwarded to the agent noted above.

☒ Owner ☐ Agent ☐ Applicant

Names and addresses of any holder of any mortgagees, charges or other encumbrances on the subject lands:

DeGandisco Inc - 63 Charlotte st
PO - BOX 144 BRANTFORD ONT N3T 5Y3

B. Location, Legal Description and Property Information

1. Legal Description (include Geographic Township, Concession Number, Lot Number, Block Number and Urban Area or Hamlet):

Lot 1 BLOCK F RP - 16-13
PORT ROWAN.

Municipal Civic Address: 1057 BAY ST

Present Official Plan Designation(s): R-2

Present Zoning: R-2

2. Is there a special provision or site specific zone on the subject lands?

☐ Yes ☒ No If yes, please specify:

3. Present use of the subject lands:

~~LEASE A~~ ~~SEN~~ Duplex UNIT

4. Please describe **all existing** buildings or structures on the subject lands and whether they are to be retained, demolished or removed. If retaining the buildings or structures, please describe the type of buildings or structures, and illustrate the setback, in metric units, from front, rear and side lot lines, ground floor area, gross floor area, lot coverage, number of storeys, width, length, and height on your attached sketch which must be included with your application:

was A Duplex

5. If an addition to an existing building is being proposed, please explain what it will be used for (for example a bedroom, kitchen, or bathroom). If new fixtures are proposed, please describe.

6. Please describe **all proposed** buildings or structures/additions on the subject lands. Describe the type of buildings or structures/additions, and illustrate the setback, in metric units, from front, rear and side lot lines, ground floor area, gross floor area, lot coverage, number of storeys, width, length, and height on your attached sketch which must be included with your application:

Two New Semi Detached

7. Are any existing buildings on the subject lands designated under the *Ontario Heritage Act* as being architecturally and/or historically significant? Yes ☐ No ☒

If yes, identify and provide details of the building:

8. If known, the length of time the existing uses have continued on the subject lands:

2019

9. Existing use of abutting properties:

Godfather PIZZA ON LEFT SINGLE FAMILY ON Right.

10. Are there any easements or restrictive covenants affecting the subject lands?

☐ Yes ☒ No If yes, describe the easement or restrictive covenant and its effect:

C. Purpose of Development Application

Note: Please complete all that apply.

1. Site Information

Existing

Proposed

Please indicate unit of measurement, for example: m, m² or %

Lot frontage	<u>83.408</u>	<u>4x10.168</u>
Lot depth	<u></u>	<u>46.772</u>
Lot width	<u></u>	<u>4x10.168</u>
Lot area	<u></u>	<u>4x975.39 507.485</u>
Lot coverage	<u></u>	<u></u>
Front yard	<u>14m</u>	<u>12.918</u>
Rear yard	<u>17</u>	<u>17.043</u>
Left Interior side yard	<u></u>	<u>1.3</u>
Right Interior side yard	<u></u>	<u></u>
Exterior side yard (corner lot)	<u></u>	<u></u>

2. Please outline the relief requested (assistance is available):

3. Please explain why it is not possible to comply with the provision(s) of the Zoning By-law:

4. Description of land intended to be severed in metric units:

Frontage:	<u>10.168</u>	
Depth:	<u>46.772</u>	<u>49.946</u>
Width:	<u>10.168</u>	
Lot Area:	<u>975.39</u>	<u>507.485</u>
Present Use:	<u>Duplex</u>	
Proposed Use:	<u>Semis xx DETACHED</u>	

Proposed final lot size (if boundary adjustment): _____

If a boundary adjustment, identify the assessment roll number and property owner of the lands to which the parcel will be added: _____

Description of land intended to be retained in metric units:

Frontage: 20.33

Depth: 49.946

Width: 21.116

Lot Area: 1033.364 Dm

Present Use: VACANT

Proposed Use: Semi Detached

Buildings on retained land: _____

5. Description of proposed right-of-way/easement in metric units:

Frontage: _____

Depth: _____

Width: _____

Area: _____

Proposed Use: _____

6. List all properties in Norfolk County, which are owned and farmed by the applicant and involved in the farm operation:

Owners Name: _____

Roll Number: _____

Total Acreage: _____

Workable Acreage: _____

Existing Farm Type: (for example: corn, orchard, livestock) _____

Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built _____

Owners Name: _____
Roll Number: _____
Total Acreage: _____
Workable Acreage: _____
Existing Farm Type: (for example: corn, orchard, livestock) _____
Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built _____

Owners Name: _____
Roll Number: _____
Total Acreage: _____
Workable Acreage: _____
Existing Farm Type: (for example: corn, orchard, livestock) _____
Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built _____

Owners Name: _____
Roll Number: _____
Total Acreage: _____
Workable Acreage: _____
Existing Farm Type: (for example: corn, orchard, livestock) _____
Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built _____

Note: If additional space is needed please attach a separate sheet.

D. Previous Use of the Property

1. Has there been an industrial or commercial use on the subject lands or adjacent lands? ☐ Yes ☒ No ☐ Unknown

If yes, specify the uses (for example: gas station, or petroleum storage):

2. Is there reason to believe the subject lands may have been contaminated by former uses on the site or adjacent sites? ☐ Yes ☒ No ☐ Unknown

3. Provide the information you used to determine the answers to the above questions:

owner knowleg

4. If you answered yes to any of the above questions in Section D, a previous use inventory showing all known former uses of the subject lands, or if appropriate, the adjacent lands, is needed. Is the previous use inventory attached? ☐ Yes ☐ No

E. Provincial Policy

1. Is the requested amendment consistent with the provincial policy statements issued under subsection 3(1) of the *Planning Act*, R.S.O. 1990, c. P. 13? ☒ Yes ☐ No

If no, please explain:

2. It is owner's responsibility to be aware of and comply with all relevant federal or provincial legislation, municipal by-laws or other agency approvals, including the Endangered Species Act, 2007. Have the subject lands been screened to ensure that development or site alteration will not have any impact on the habitat for endangered or threatened species further to the provincial policy statement subsection 2.1.7? ☒ Yes ☐ No

If no, please explain:

3. Have the subject lands been screened to ensure that development or site alteration will not have any impact on source water protection? ☒ Yes ☐ No

If no, please explain:

Note: If in an area of source water Wellhead Protection Area (WHPA) A, B or C please attach relevant information and approved mitigation measures from the Risk Manager Official.

4. Are any of the following uses or features on the subject lands or within 500 metres of the subject lands, unless otherwise specified? Please check boxes, if applicable.

Livestock facility or stockyard (submit MDS Calculation with application)

☐ On the subject lands or ☐ within 500 meters – distance _____

Wooded area

☐ On the subject lands or ☐ within 500 meters – distance _____

Municipal Landfill

☐ On the subject lands or ☐ within 500 meters – distance _____

Sewage treatment plant or waste stabilization plant

☐ On the subject lands or ☐ within 500 meters – distance _____

Provincially significant wetland (class 1, 2 or 3) or other environmental feature

☐ On the subject lands or ☐ within 500 meters – distance _____

Floodplain

☐ On the subject lands or ☐ within 500 meters – distance _____

Rehabilitated mine site

☐ On the subject lands or ☐ within 500 meters – distance _____

Non-operating mine site within one kilometre

☐ On the subject lands or ☐ within 500 meters – distance _____

Active mine site within one kilometre

☐ On the subject lands or ☐ within 500 meters – distance _____

Industrial or commercial use (specify the use(s))

☐ On the subject lands or ☒ within 500 meters – distance _____

Active railway line

☐ On the subject lands or ☐ within 500 meters – distance _____

Seasonal wetness of lands

☐ On the subject lands or ☐ within 500 meters – distance _____

Erosion

☐ On the subject lands or ☐ within 500 meters – distance _____

Abandoned gas wells

☐ On the subject lands or ☐ within 500 meters – distance _____

F. Servicing and Access

1. Indicate what services are available or proposed:

Water Supply

- ☒ Municipal piped water ☐ Communal wells
☐ Individual wells ☐ Other (describe below)
-

Sewage Treatment

- ☒ Municipal sewers ☐ Communal system
☐ Septic tank and tile bed ☐ Other (describe below)
-

Storm Drainage

- ☒ Storm sewers ☐ Open ditches
☐ Other (describe below)
-

2. Existing or proposed access to subject lands:

- ☒ Municipal road ☐ Provincial highway
☐ Unopened road ☐ Other (describe below)

Name of road/street:

BAY STREET

G. Other Information

1. Does the application involve a local business? ☐ Yes ☒ No

If yes, how many people are employed on the subject lands?

2. Is there any other information that you think may be useful in the review of this application? If so, explain below or attach on a separate page.
-
-
-

H. Supporting Material to be submitted by Applicant

In order for your application to be considered complete, folded hard copies (number of paper copies as directed by the planner) and an **electronic version (PDF) of the site plan drawings, additional plans, studies and reports** will be required, including but not limited to the following details:

1. Concept/Layout Plan
2. All measurements in metric
3. Existing and proposed easements and right of ways
4. Parking space totals – required and proposed
5. All dimensions of the subject lands
6. Dimensions and setbacks of all buildings and structures
7. Names of adjacent streets
8. Natural features, watercourses and trees

In addition, the following additional plans, studies and reports, including but not limited to, **may** also be required as part of the complete application submission:

- ☐ Zoning Deficiency Form
- ☐ On-Site Sewage Disposal System Evaluation Form
- ☐ Environmental Impact Study
- ☐ Geotechnical Study / Hydrogeological Review
- ☐ Minimum Distance Separation Schedule
- ☐ Record of Site Condition

Your development approval might also be dependent on Ministry of Environment Conservation and Parks, Ministry of Transportation or other relevant federal or provincial legislation, municipal by-laws or other agency approvals.

All final plans must include the owner's signature as well as the engineer's signature and seal.

I. Transfers, Easements and Postponement of Interest

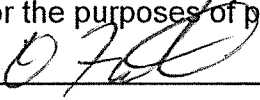
The owner acknowledges and agrees that if required it is their solicitor's responsibility on behalf of the owner for the registration of all transfer(s) of land to the County, and/or transfer(s) of easement in favour of the County and/or utilities. Also, the owner further acknowledges and agrees that it is their solicitor's responsibility on behalf of the owner for the registration of postponements of any charges in favour of the County.

Permission to Enter Subject Lands


Permission is hereby granted to Norfolk County officers, employees or agents, to enter the premises subject to this application for the purposes of making inspections associated with this application, during normal and reasonable working hours.

Freedom of Information

For the purposes of the *Municipal Freedom of Information and Protection of Privacy Act*, I authorize and consent to the use by or the disclosure to any person or public body any information that is collected under the authority of the *Planning Act, R.S.O. 1990, c. P. 13* for the purposes of processing this application.



Owner/Applicant/Agent Signature



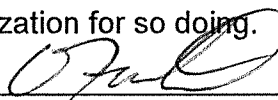
Date

J. Owner's Authorization


If the applicant/agent is not the registered owner of the lands that is the subject of this application, the owner must complete the authorization set out below.

I/We DON FIELD & SONS CONST. am/are the registered owner(s) of the lands that is the subject of this application for site plan approval.


I/We authorize DENNIS FIELD to make this application on my/our behalf and to provide any of my/our personal information necessary for the processing of this application. Moreover, this shall be your good and sufficient authorization for so doing.




Owner



Owner



Date



Date

K. Declaration

I, DENNIS FIELD of BRANTFORD

solemnly declare that:

all of the above statements and the statements contained in all of the exhibits transmitted herewith are true and I make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath and by virtue of *The Canada Evidence Act*.

Declared before me at:

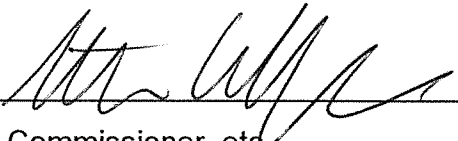
Simcoe


Owner/Applicant/Agent Signature

In Norfolk County

This 30th day of April

A.D., 20 19


A Commissioner, etc.

The Bayview (A)

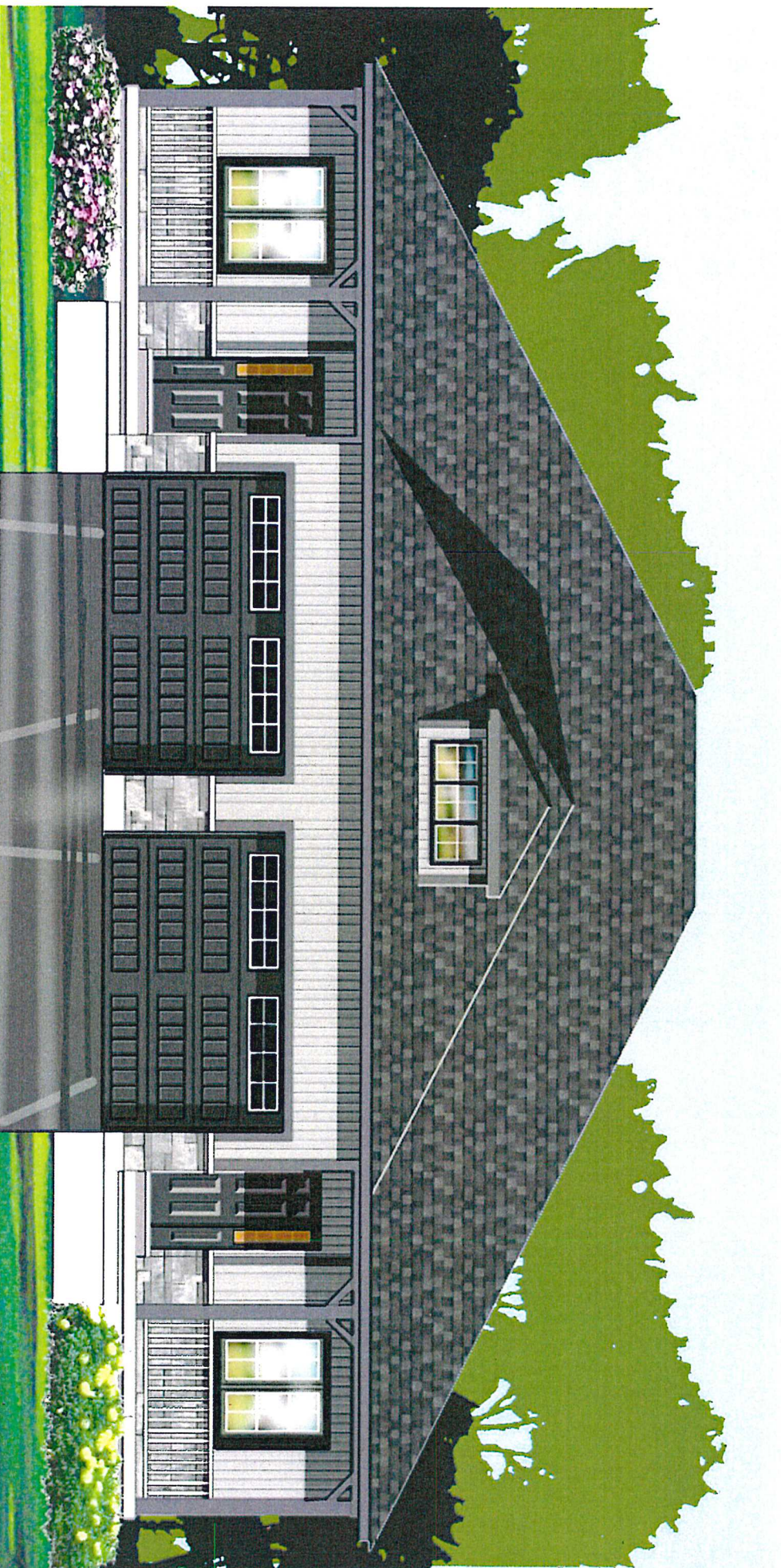


Quality New Homes & Renovations

Ph. 519-861-0388



All Dimensions are approximate. Sizes and specifications are subject to change without notice. All illustrations are artist's concept. Actual usable floor area may vary from the stated floor area.



The Bayview



Quality New Homes & Renovations

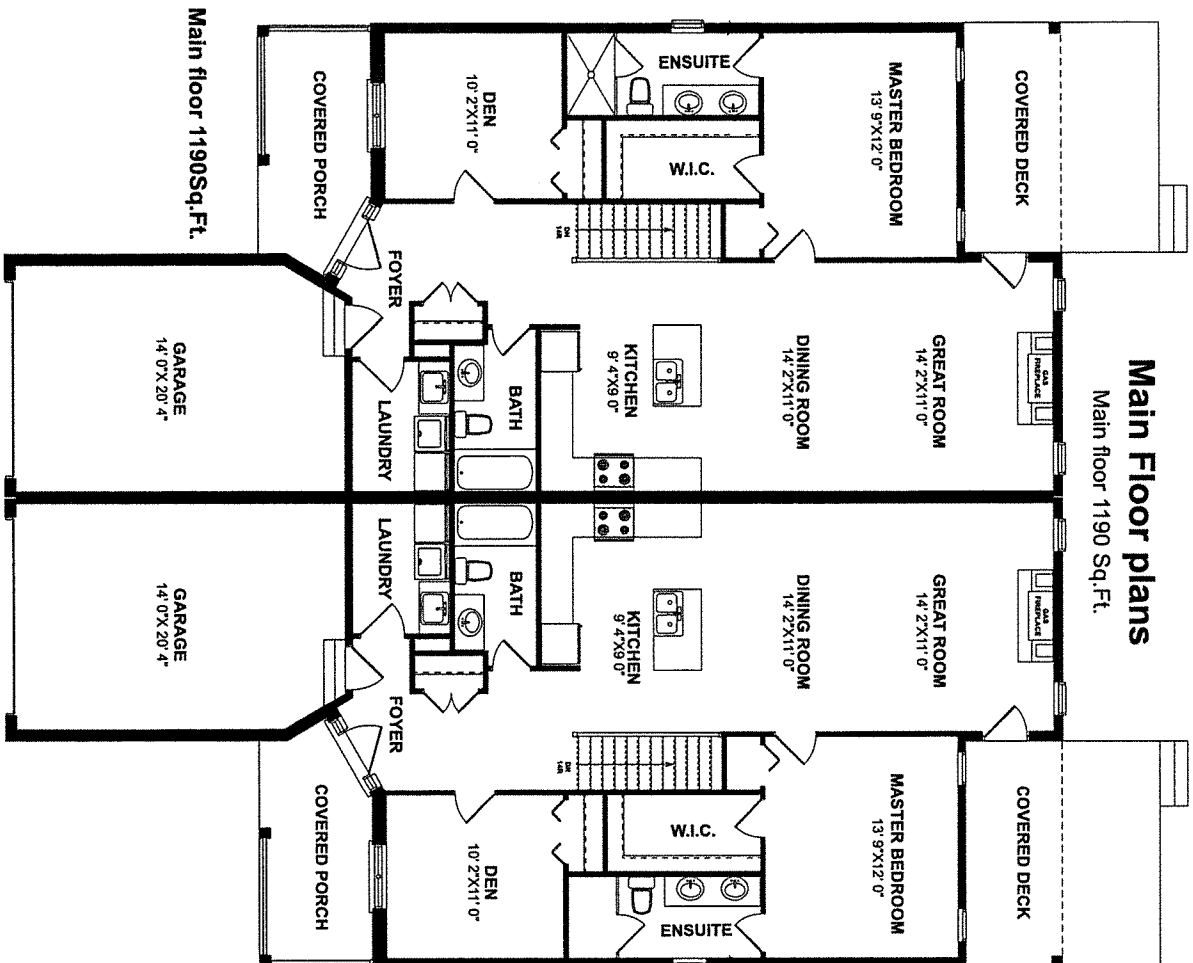
Ph. 519-861-0388



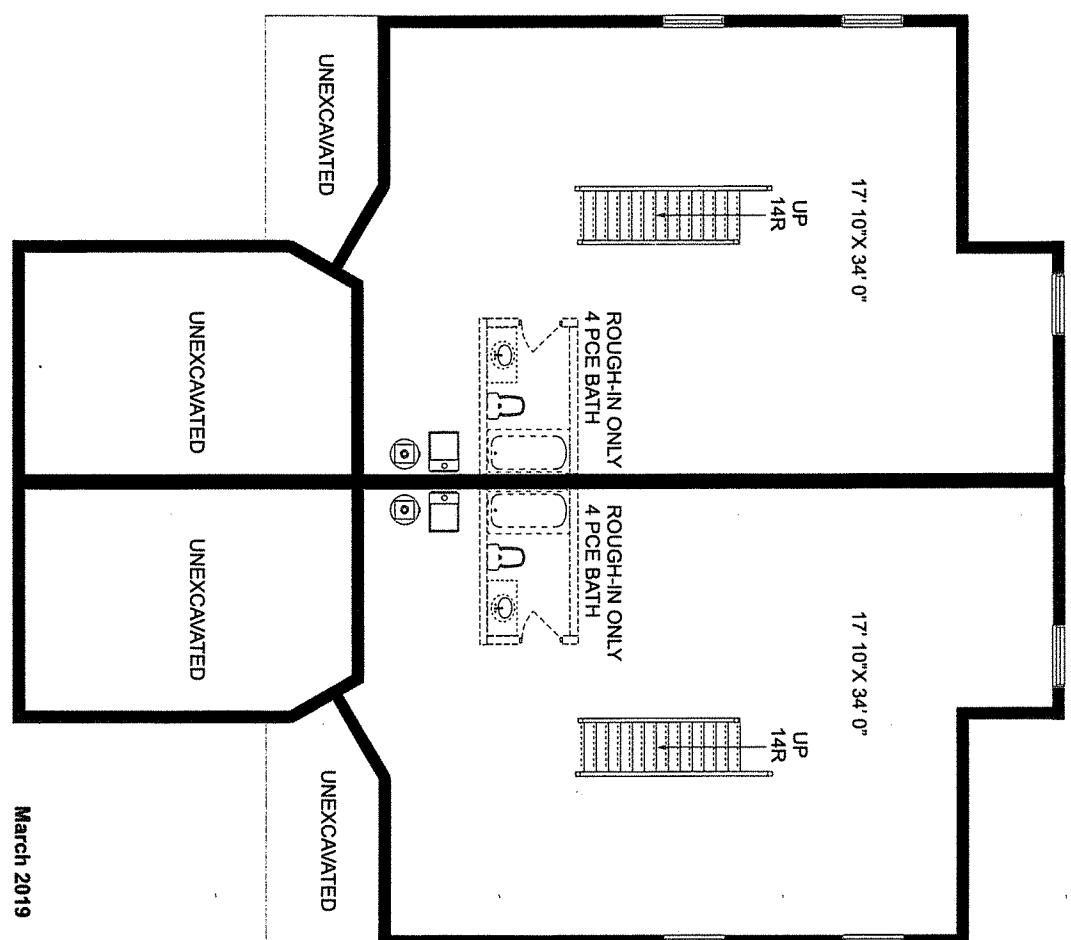
All Dimensions are approximate. Sizes and specifications are subject to change without notice. All illustrations are artist's concept. Actual usable floor area may vary from the stated floor area.

Main Floor plans

Main floor 1190 Sq.Ft.



Basement Floor plans

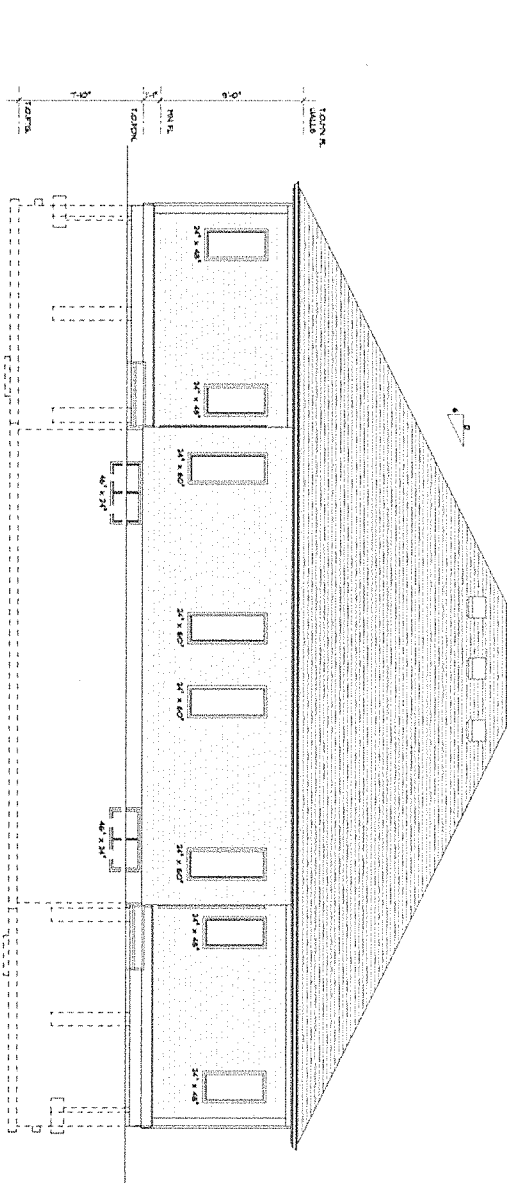


Ed. Johnston

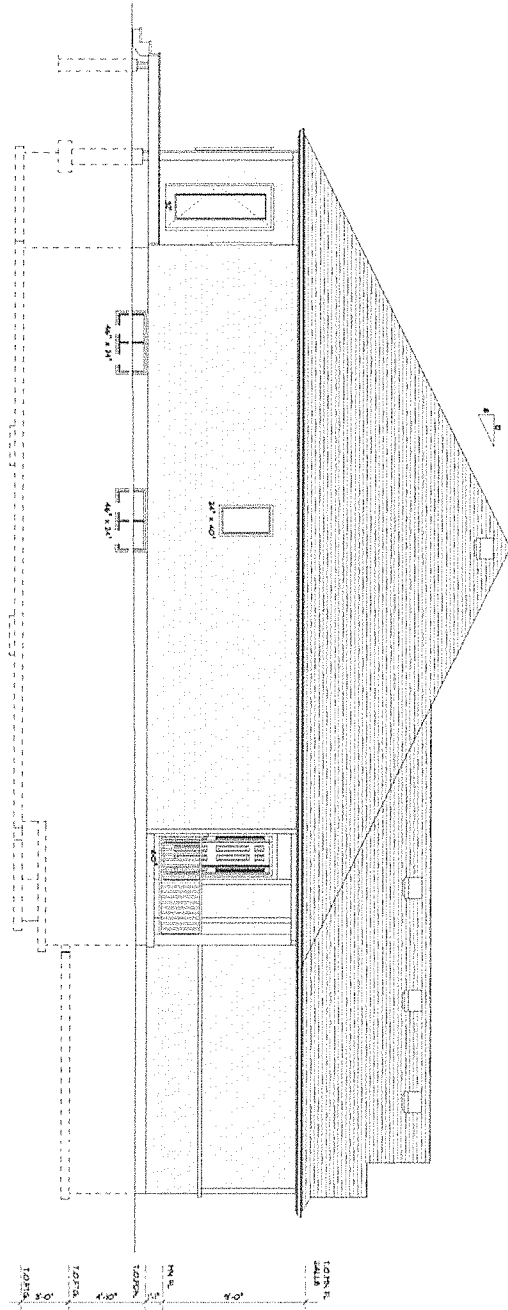


date NOV. 8, 2018	plan no.
project address PORT ROWAN SEMI	

NOTES AND TYPED DIMENSIONS:
 1. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
 2. FINISH GRADE IS TO BE INDICATED BY A DOTTED LINE.
 3. THE FINISH GRADE IS TO BE INDICATED IN THE
 DIMENSIONS TO FACE UNLESS NOTED OTHERWISE.
 4. DIMENSIONS TO FACE UNLESS NOTED OTHERWISE.



LEFT OR RIGHT ELEVATION
 SCALE 3/16" = 1'-0"



REAR ELEVATION
 SCALE 3/16" = 1'-0"

REVISED JAN. 11, 2019

designer
IDEA designs 905-730-IDEA
 builder
DENNIS FEILD HOMES

DISCLAIMER/STATEMENT
 ALL DESIGNS AND ANY DRAWINGS ASSOCIATED WITH THEM ARE THE PROPERTY OF IDEA DESIGNS. DESIGNER AND ARE PROTECTED BY COPYRIGHT.
 THE DRAWINGS AND DOCUMENTS ARE TO BE USED ONLY FOR THE PROJECT TO WHICH SUCH PERMITS HAVE BEEN ISSUED. REPRODUCTION IN WHOLE OR IN PART FOR ANY OTHER PURPOSE THAN A/D PROJECT WITHOUT THE WRITTEN CONSENT OF IDEA DESIGNS IS STRICTLY PROHIBITED.
 THE CONTRACTOR AND/OR SUBCONTRACTOR MUST ENSURE THAT ALL WORK PERFORMED MUST BE IN ACCORDANCE WITH PART 9 OF THE ONTARIO BUILDING CODE AND ANY DISCREPANCIES BE REPORTED TO THE DESIGNER PRIOR TO COMMENCEMENT OF ANY WORK.

GENERAL NOTES:

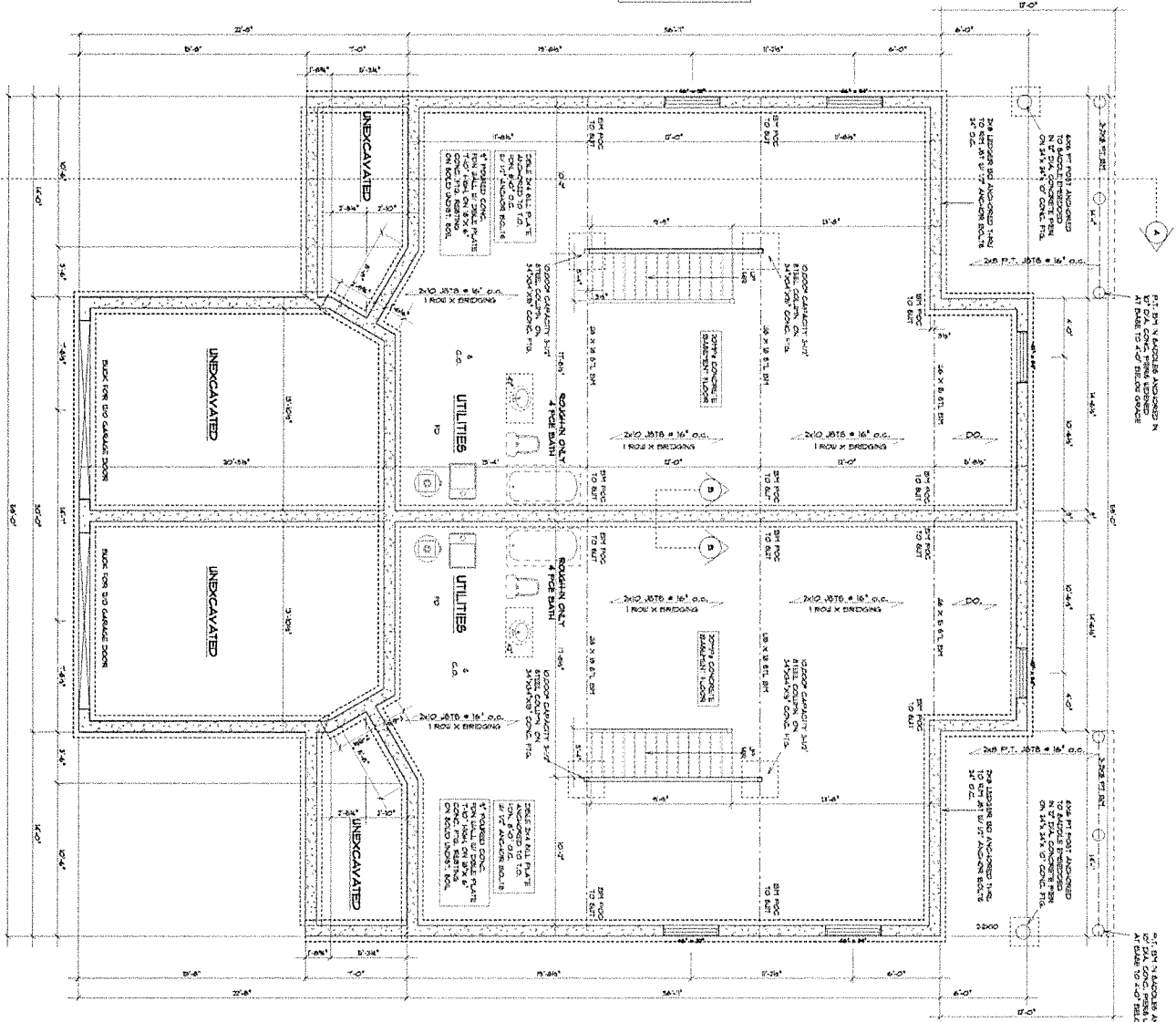
- 1) OWNER AND/OR CONTRACTOR TO BE RESPONSIBLE FOR CHECKING AND CORRECTING ALL MEASUREMENTS.
- 2) ALL CONSTRUCTION SHALL CONFORM TO THE ONTARIO BUILDING CODE (PART 9).
- 3) PLANS ARE TO BE REVISSED BY THE LOCAL BUILDING DEPT. BEFORE PROCEEDING ANY WORK.

date
NOV. 8, 2018

plan no.
 project address
PORT ROWAN SEMI

SPATIAL SEPARATION CALCULATION
 AREA OF EXPOSING BUILDING FACE = 394 SF
 ALLOWABLE UNPROT. OPENING 7% = 27.6 SF
 (TABLE 9.10.14.4)
 AREA OF UNPROTECTED OPENINGS = 24.56 SF
 (BASE ELEVATIONS)

NOTE: EXISTING CONCRETE SHALL CONFORM TO
 MINIMUM AND MAXIMUM STRENGTHS
 TO SECTION 9.10 OF THE OBC BLD CODE AND
 SHALL BE REINFORCED WITH 4 NO. 10
 REINFORCING BARS AT 18" ON CENTER.
 THE CONTRACTOR SHALL VERIFY THE
 LOCATION AND DEPTH OF ALL
 EXISTING REINFORCING BARS.



BASEMENT PLAN
 SCALE: 3/16" = 1'-0"

REVISED FEB. 12, 2019

designer
IDEA designs 905-730-IDEA
 builder
DENNIS FEILD HOMES

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 THE CONTRACTOR AND/OR SUBCONTRACTOR MUST ENSURE THAT ALL WORK PERFORMED MUST BE IN ACCORDANCE WITH PART 9 OF THE ONTARIO BUILDING CODE AND ANY DISCREPANCIES BE REPORTED TO THE DESIGNER PRIOR TO COMMENCEMENT OF ANY WORK.

GENERAL NOTES:
 1) OWNER AND/OR CONTRACTOR TO BE RESPONSIBLE FOR CHECKING AND CORRECTING ALL MEASUREMENTS.
 2) ALL CONSTRUCTION SHALL CONFORM TO THE ONTARIO BUILDING CODE (PART 9).
 3) PLANS ARE TO BE REVIEWED BY THE LOCAL BUILDING DEPT. BEFORE PROCEEDING ANY WORK.

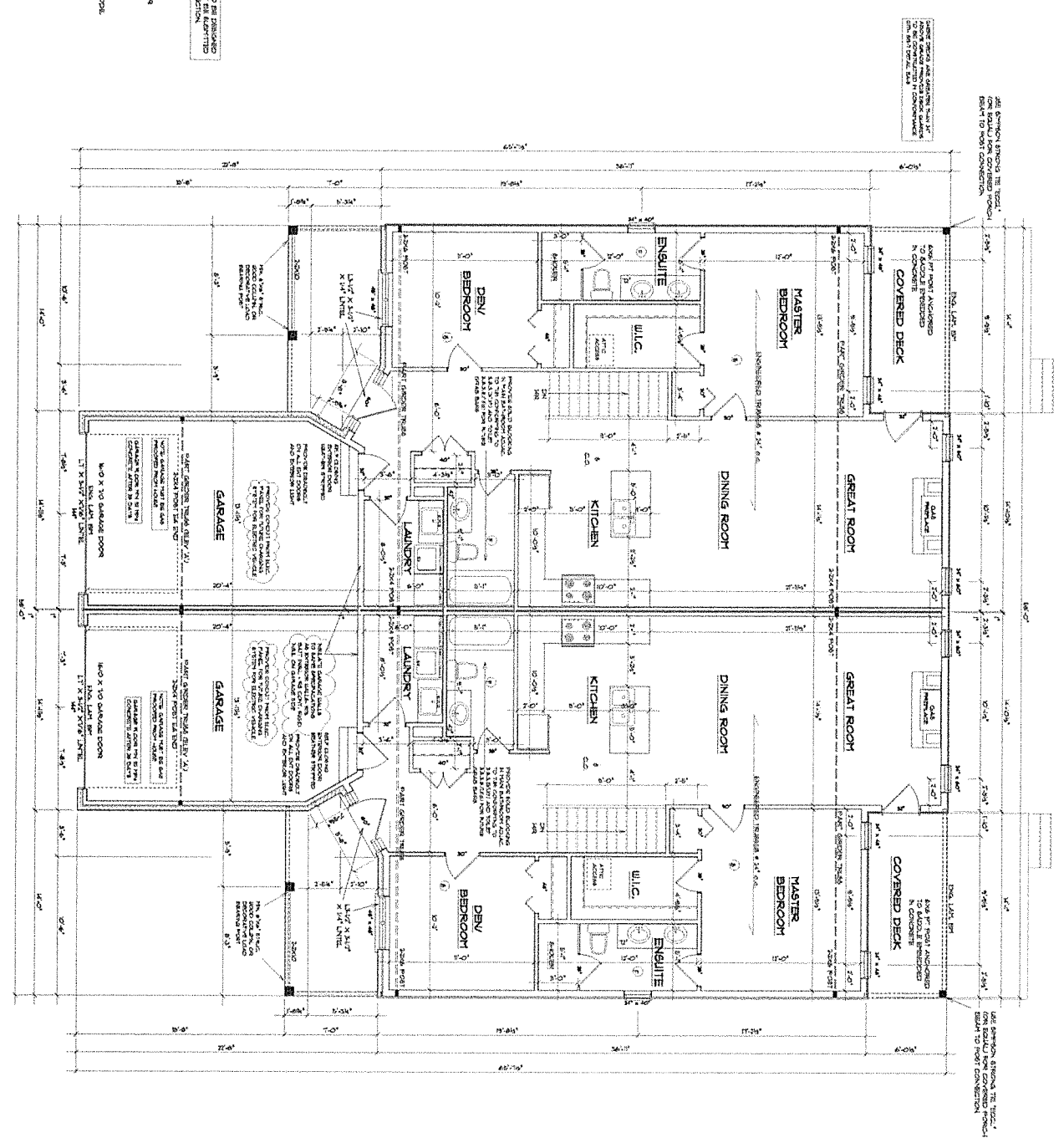
date
NOV. 8, 2018
 project address
PORT ROWAN SEMI

REVISIONS AND DATE SUBMITTED:
 1. REVISIONS TO BE MADE BY THE DESIGNER.
 2. REVISIONS TO BE MADE BY THE CONTRACTOR.
 3. REVISIONS TO BE MADE BY THE ARCHITECT.
 4. REVISIONS TO BE MADE BY THE ENGINEER.
 5. REVISIONS TO BE MADE BY THE INSPECTOR.
 6. REVISIONS TO BE MADE BY THE OWNER.
 7. REVISIONS TO BE MADE BY THE AGENT.
 8. REVISIONS TO BE MADE BY THE BOARD.
 9. REVISIONS TO BE MADE BY THE COMMISSION.
 10. REVISIONS TO BE MADE BY THE COURT.


NOTE: POOL STAIRS AND PLATFORMS AND
 TRAILER LOCATIONS AND ORIENTATION
 TO BE VERIFIED BY THE CONTRACTOR.
 PROVIDE ATTC ACCESS IN ACCORDANCE
 WITH EDITION 10.1 OF THE ONT. BUILDING
 CODE. ALL UNITS TO BE 2000 INCHES NOTED.

MAIN FLOOR PLAN 'A' 1190 SF

MAIN FLOOR PLAN 'A' 1190 SF



REVISED FEB. 12, 2019

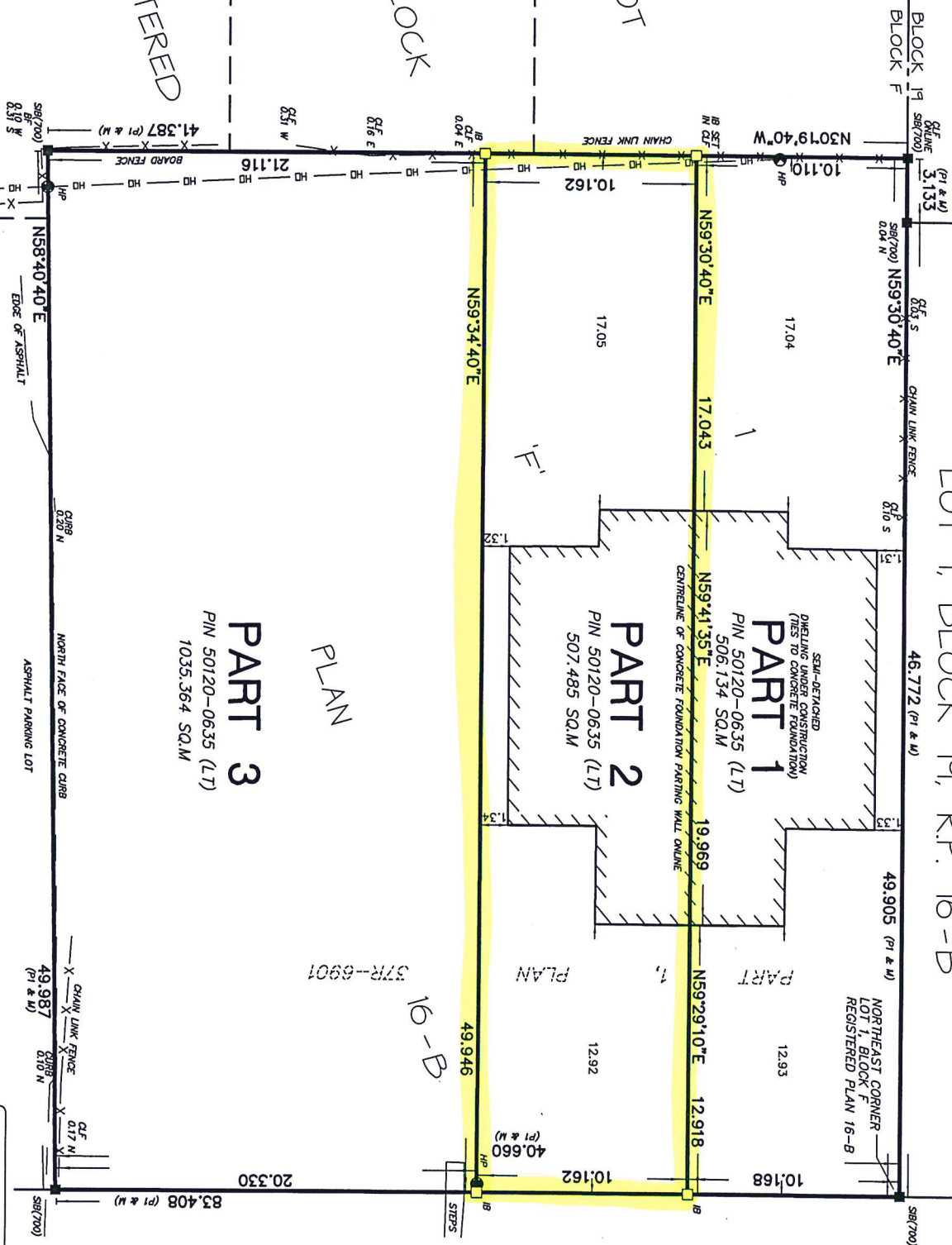
 <p>IDEA designs 905-130-IDEA</p>	<p>DESIGNER/PROJECT NAME</p> <p>ALL DESIGNS AND ANY DRAWINGS ASSOCIATED WITH THEM ARE THE PROPERTY OF IDEA DESIGNS. PERMITS HAVE BEEN ISSUED. REPRODUCTION IN WHOLE OR IN PART FOR ANY OTHER PURPOSE THAN SAID PROJECT WITHOUT THE WRITTEN CONSENT OF IDEA DESIGNS IS STRICTLY PROHIBITED.</p>		<p>GENERAL NOTES:</p> <ol style="list-style-type: none"> OWNER AND/OR CONTRACTOR TO BE RESPONSIBLE FOR CHECKING AND CONFIRMING ALL MEASUREMENTS. ALL CONSTRUCTION SHALL CONFORM TO THE ONTARIO BUILDING CODE PART 9.1. PLANS ARE TO BE REVIEWED BY THE LOCAL BUILDING DEPT. BEFORE PROCEEDING ANY WORK.
	<p>THE CONTRACTOR AND/OR SUBCONTRACTOR MUST ENSURE THAT ALL WORK PERFORMED MUST BE IN ACCORDANCE WITH PART 9 OF THE ONTARIO BUILDING CODE AND ANY DISCREPANCIES BE REPORTED TO THE DESIGNER PRIOR TO COMMENCEMENT OF ANY WORK.</p>		
<p>builder</p> <p>DENNIS FEILD HOMES</p>	<p>date</p> <p>NOV. 8, 2018</p>	<p>plan no.</p> <p>PROJECT ADDRESS</p> <p>PORT ROWAN 8EMI</p>	

SKETCH FOR
SEVERANCE APPLICATION
OF PART OF

LOT 1, BLOCK F
REGISTERED PLAN 16-B
(TOWN OF PORT ROWAN)

NORFOLK COUNTY
SCALE: 1 : 300
JEWITT AND DIXON LTD.
APRIL 9, 2019

LOT 1, BLOCK 19, R.P. 16-B



BAY STREET - COUNTY ROAD 42
(BY BY-LAW 2005-174, INSTRUMENT NO. NR595267)
(15.188M WIDE - FORMERLY MAIN STREET - REGISTERED PLAN 16-B)



NOTE:

THIS PLAN IS IN METRIC AND CAN BE CONVERTED
TO IMPERIAL BY MULTIPLYING BY 3.2808

CAUTION:

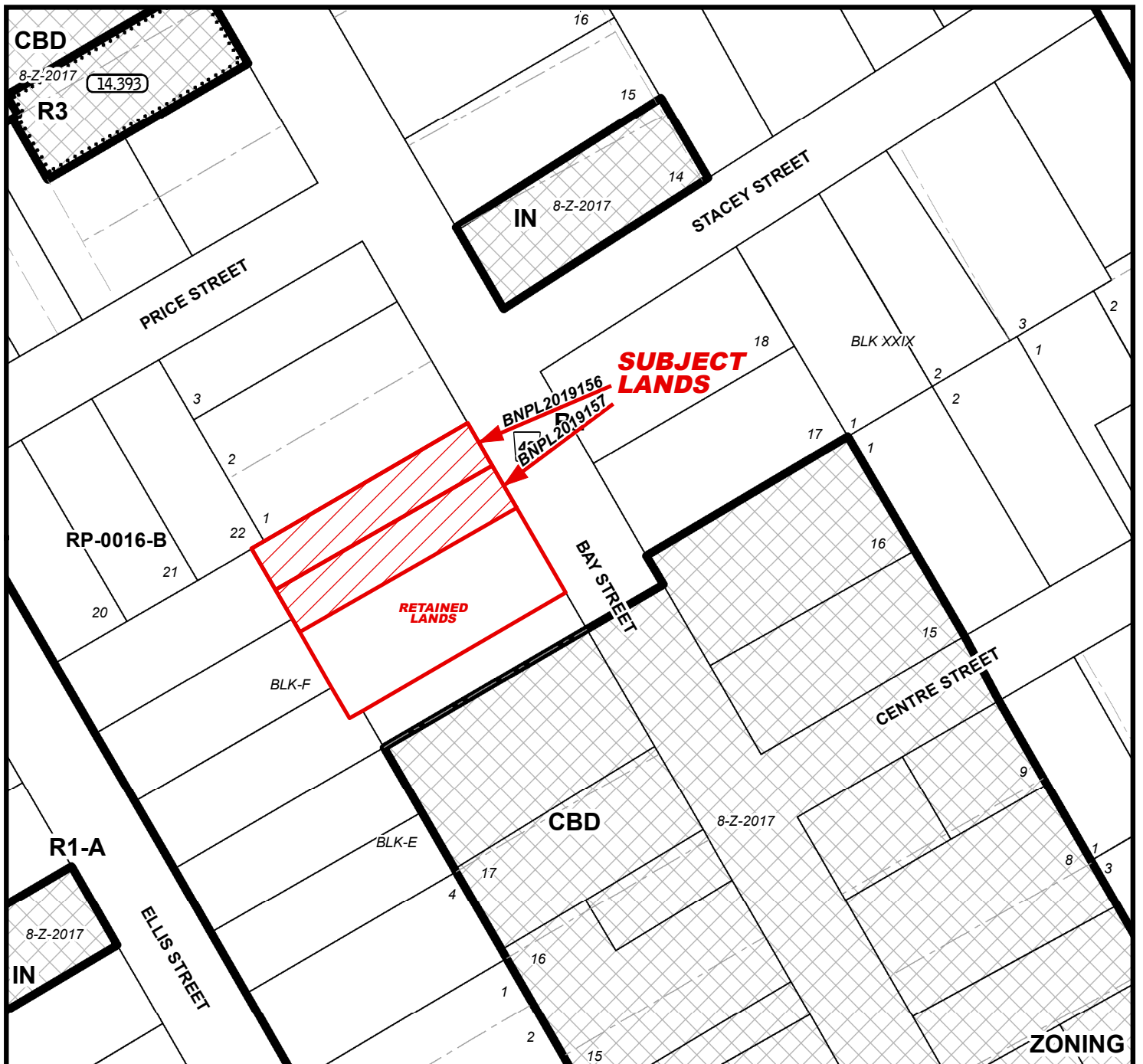
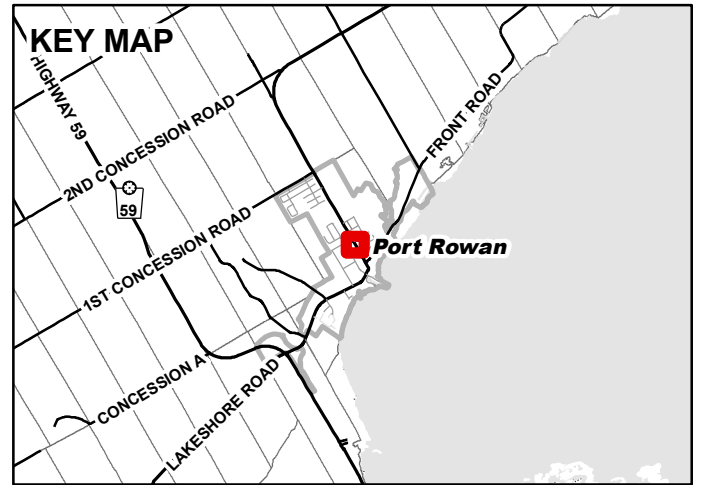
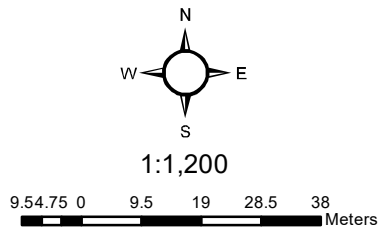
THIS IS NOT A PLAN OF SURVEY AND SHALL NOT
BE USED FOR PURPOSES OTHER THAN THE
PURPOSE INDICATED IN THE TITLE BLOCK.

JEWITT AND DIXON LTD.
ONTARIO LAND SURVEYORS

R.R.1, SIMCOE, ONTARIO, N3Y 4J9
(51 PARK ROAD)

PHONE: (519) 426-0842 FAX: (519) 426-1034
E-mail: surveyors@amtelecom.net

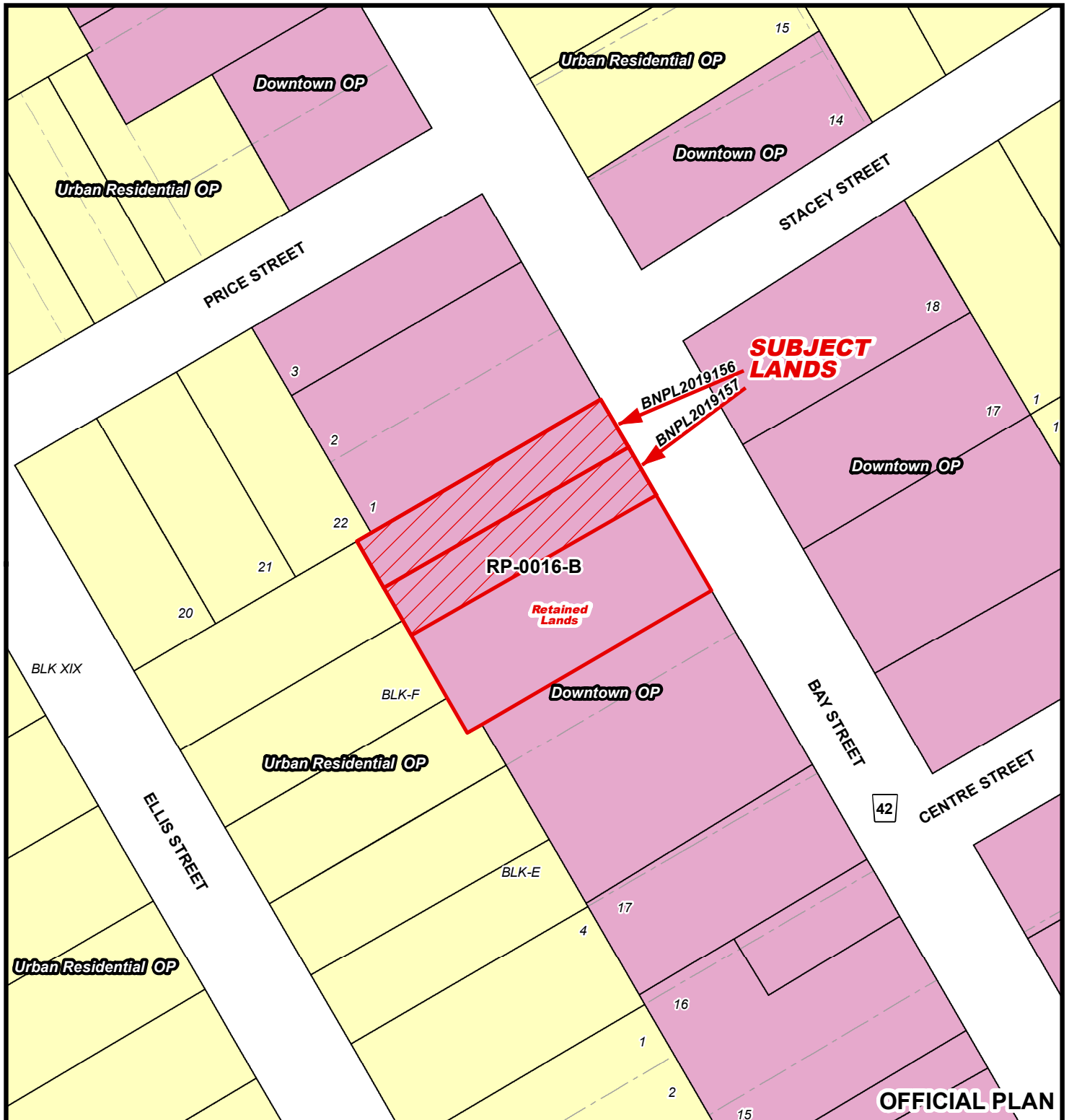
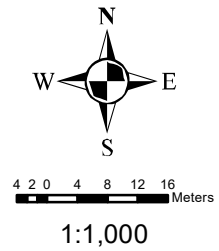
MAP 1
File Number: BNPL2019156 & BNPL2019157
Geographic Township of
PORT ROWAN



MAP 2

File Number: BNPL2019156 & BNPL2019157

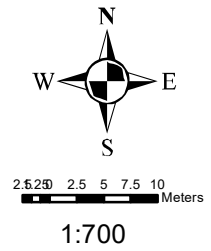
Geographic Township of PORT ROWAN



MAP 3

File Number: BNPL2019156 & BNPL2019157

Geographic Township of PORT ROWAN



MAP 4

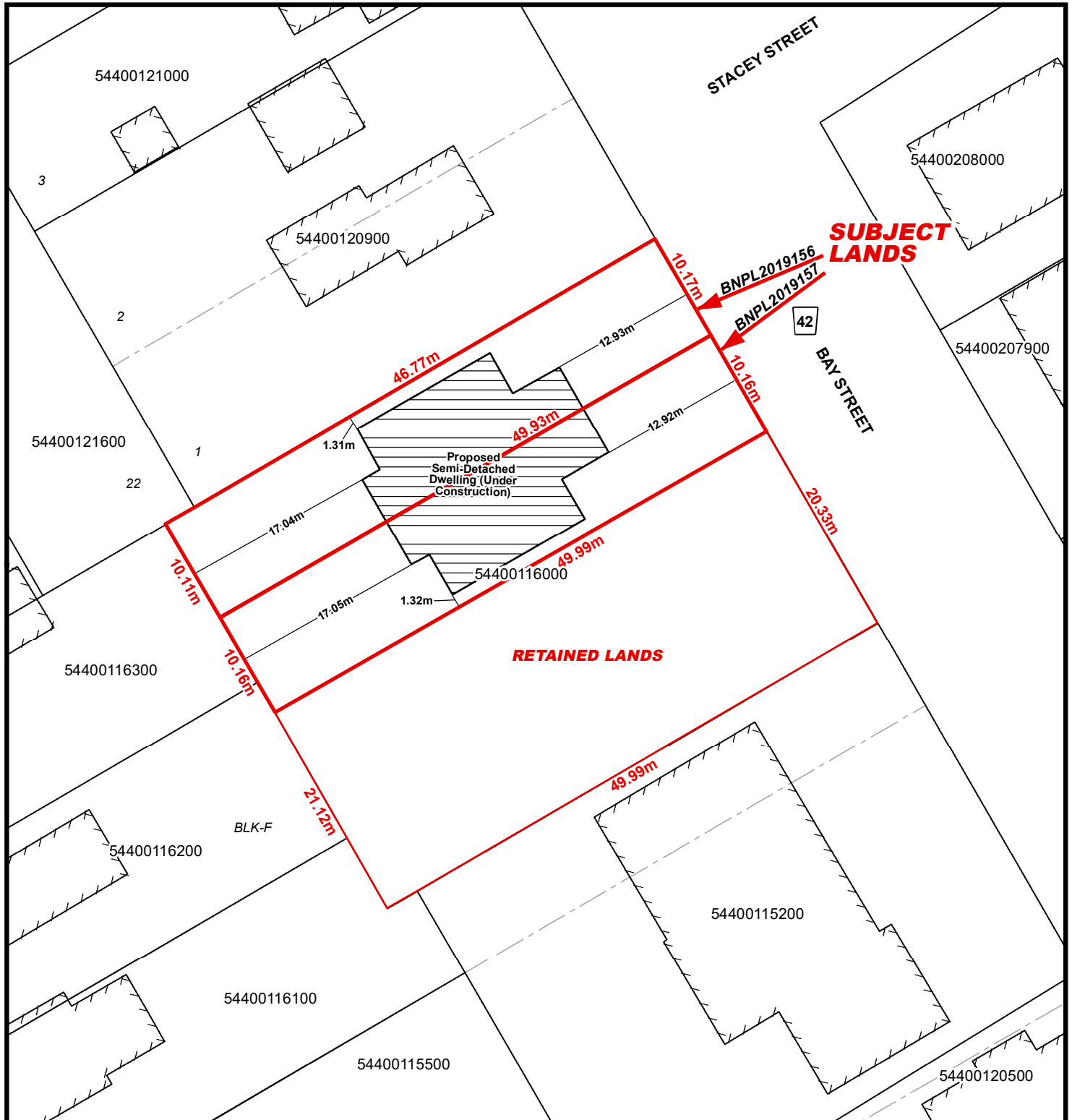
File Number: BNPL2019156 & BNPL2019157

Geographic Township of PORT ROWAN



2 1 0 2 4 6 8 Meters

1:500



Geographic Township of PORT ROWAN

