

For Office Use Only:

File Number BNPL2021089
Related File Number _____
Pre-consultation Meeting _____
Application Submitted _____
Complete Application 4/13/2021

Application Fee 2816.⁰⁰ Vpd
Conservation Authority Fee _____
Well & Septic Info Provided _____
Planner N. Goodbrand
Public Notice Sign _____

Check the type of planning application(s) you are submitting.

- ☒ **Consent/Severance/Boundary Adjustment**
☐ Surplus Farm Dwelling Severance and Zoning By-law Amendment
☐ Minor Variance
☐ Easement/Right-of-Way

Property Assessment Roll Number: 544-002-24500-0000

A. Applicant Information

Name of Owner Ian Anderson, Susie Anderson

It is the responsibility of the owner or applicant to notify the planner of any changes in ownership within 30 days of such a change.

Address PO BOX 426
Town and Postal Code Port Rowan NOE 1M0
Phone Number 226-567-9421
Cell Number 226-567-9421
Email iantheviking@yahoo.ca

Name of Applicant Ian Anderson, Susie Anderson
Address PO BOX 426
Town and Postal Code Port Rowan NOE 1M0
Phone Number 226-567-9421
Cell Number 226-567-9421
Email iantheviking@yahoo.ca

Name of Agent _____

Address _____

Town and Postal Code _____

Phone Number _____

Cell Number _____

Email _____

Please specify to whom all communications should be sent. Unless otherwise directed, all correspondence and notices in respect of this application will be forwarded to the agent noted above.



Owner



Agent



Applicant

Names and addresses of any holder of any mortgages, charges or other encumbrances on the subject lands:

B. Location, Legal Description and Property Information

1. Legal Description (include Geographic Township, Concession Number, Lot Number, Block Number and Urban Area or Hamlet):

PRWN PLAN 16B BLK 42 Lot 1 IRREG

Municipal Civic Address: 153 Wolven St, Port Rowan ON

Present Official Plan Designation(s): Urban Residential - East Port Rowan

Present Zoning: Residential (R1-A) neighbourhood planning area.

2. Is there a special provision or site specific zone on the subject lands?



Yes



No

If yes, please specify:

the retained parcel is zoned R1-A(H), the proposed area for

3. Present use of the subject lands: consent severance has no "hold" provision"

vacant land.

4. Please describe **all existing** buildings or structures on the subject lands and whether they are to be retained, demolished or removed. If retaining the buildings or structures, please describe the type of buildings or structures, and illustrate the setback, in metric units, from front, rear and side lot lines, ground floor area, gross floor area, lot coverage, number of storeys, width, length, and height on your attached sketch which must be included with your application:

N/A

5. If an addition to an existing building is being proposed, please explain what it will be used for (for example a bedroom, kitchen, or bathroom). If new fixtures are proposed, please describe.

N/A

6. Please describe **all proposed** buildings or structures/additions on the subject lands. Describe the type of buildings or structures/additions, and illustrate the setback, in metric units, from front, rear and side lot lines, ground floor area, gross floor area, lot coverage, number of storeys, width, length, and height on your attached sketch which must be included with your application:

* See attached :- site plan, house plan, approved building - septic plan, approved septic permit permit.

7. Are any existing buildings on the subject lands designated under the *Ontario Heritage Act* as being architecturally and/or historically significant? Yes ☐ No ☒

If yes, identify and provide details of the building:

8. If known, the length of time the existing uses have continued on the subject lands:

2 years

9. Existing use of abutting properties:

R1-A, R1-A+D

10. Are there any easements or restrictive covenants affecting the subject lands?

☐ Yes ☒ No If yes, describe the easement or restrictive covenant and its effect:

C. Purpose of Development Application

Note: Please complete all that apply.

1. Site Information

Existing

Proposed

Please indicate unit of measurement, for example: m, m² or %

Lot frontage	<u>61.870m</u>	<u>61.870m</u>
Lot depth	<u>199.760m IRREG</u>	<u>87.200m</u>
Lot width	<u>140.967</u>	<u>61.870m</u>
Lot area	<u>27661.7 m²</u>	<u>4030.4 m²</u> 4277.42m ² as indicated by app.
Lot coverage	<u>—</u>	<u>282.4 m²</u>
Front yard	<u>—</u>	<u>46m IRREG</u>
Rear yard	<u>—</u>	<u>20m IRREG</u>
Left Interior side yard	<u>—</u>	<u>14.43m</u>
Right Interior side yard	<u>—</u>	<u>—</u>
Exterior side yard (corner lot)	<u>—</u>	<u>10.06m</u>

2. Please outline the relief requested (assistance is available):

N/A

3. Please explain why it is not possible to comply with the provision(s) of the Zoning By-law:

N/A

4. Description of land intended to be severed in metric units:

Frontage: 61.870m
Depth: 87.200m
Width: 61.870m
Lot Area: 4277.42m²
Present Use: vacant land zoned R1-A
Proposed Use: R1-A

Proposed final lot size (if boundary adjustment): _____

If a boundary adjustment, identify the assessment roll number and property owner of the lands to which the parcel will be added: _____

Description of land intended to be retained in metric units:

Frontage: 112.56m - East Quarterline Rd

Depth: 140.967m

Width: 218.943 IRREG

Lot Area: 23384.28 m²

Present Use: R1-A(H)

Proposed Use: R1-A(H)

Buildings on retained land: none

5. Description of proposed right-of-way/easement in metric units:

Frontage: _____

Depth: _____

Width: _____

Area: _____

Proposed Use: _____

6. List all properties in Norfolk County, which are owned and farmed by the applicant and involved in the farm operation:

Owners Name: _____

Roll Number: _____

Total Acreage: _____

Workable Acreage: _____

Existing Farm Type: (for example: corn, orchard, livestock) _____

Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built _____

Owners Name: _____
Roll Number: _____
Total Acreage: _____
Workable Acreage: _____
Existing Farm Type: (for example: corn, orchard, livestock) _____
Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built _____

Owners Name: _____
Roll Number: _____
Total Acreage: _____
Workable Acreage: _____
Existing Farm Type: (for example: corn, orchard, livestock) _____
Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built _____

Owners Name: _____
Roll Number: _____
Total Acreage: _____
Workable Acreage: _____
Existing Farm Type: (for example: corn, orchard, livestock) _____
Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built _____

Note: If additional space is needed please attach a separate sheet.

D. Previous Use of the Property

1. Has there been an industrial or commercial use on the subject lands or adjacent lands? ☐ Yes ☒ No ☐ Unknown
If yes, specify the uses (for example: gas station, or petroleum storage): _____
2. Is there reason to believe the subject lands may have been contaminated by former uses on the site or adjacent sites? ☐ Yes ☒ No ☐ Unknown
3. Provide the information you used to determine the answers to the above questions: _____

4. If you answered yes to any of the above questions in Section D, a previous use inventory showing all known former uses of the subject lands, or if appropriate, the adjacent lands, is needed. Is the previous use inventory attached? ☐ Yes ☐ No

E. Provincial Policy

1. Is the requested amendment consistent with the provincial policy statements issued under subsection 3(1) of the *Planning Act, R.S.O. 1990, c. P. 13*? ☒ Yes ☐ No

If no, please explain:

2. It is owner's responsibility to be aware of and comply with all relevant federal or provincial legislation, municipal by-laws or other agency approvals, including the Endangered Species Act, 2007. Have the subject lands been screened to ensure that development or site alteration will not have any impact on the habitat for endangered or threatened species further to the provincial policy statement subsection 2.1.7? ☐ Yes ☒ No

If no, please explain:

approved building permit.

3. Have the subject lands been screened to ensure that development or site alteration will not have any impact on source water protection? ☒ Yes ☐ No

If no, please explain:

Note: If in an area of source water Wellhead Protection Area (WHPA) A, B or C please attach relevant information and approved mitigation measures from the Risk Manager Official.

4. Are any of the following uses or features on the subject lands or within 500 metres of the subject lands, unless otherwise specified? Please check boxes, if applicable.

Livestock facility or stockyard (submit MDS Calculation with application)

☐ On the subject lands or ☐ within 500 meters – distance _____

Wooded area

☐ On the subject lands or ☒ within 500 meters – distance 200m

Municipal Landfill

☐ On the subject lands or ☐ within 500 meters – distance _____

Sewage treatment plant or waste stabilization plant

☐ On the subject lands or ☐ within 500 meters – distance _____

Provincially significant wetland (class 1, 2 or 3) or other environmental feature

☐ On the subject lands or ☒ within 500 meters – distance 195m

Floodplain

☐ On the subject lands or ☐ within 500 meters – distance _____

Rehabilitated mine site

☐ On the subject lands or ☐ within 500 meters – distance _____

Non-operating mine site within one kilometre

☐ On the subject lands or ☐ within 500 meters – distance _____

Active mine site within one kilometre

☐ On the subject lands or ☐ within 500 meters – distance _____

Industrial or commercial use (specify the use(s))

☐ On the subject lands or ☐ within 500 meters – distance _____

Active railway line

☐ On the subject lands or ☐ within 500 meters – distance _____

Seasonal wetness of lands

☐ On the subject lands or ☐ within 500 meters – distance _____

Erosion

☐ On the subject lands or ☐ within 500 meters – distance _____

Abandoned gas wells

☐ On the subject lands or ☐ within 500 meters – distance _____

F. Servicing and Access

1. Indicate what services are available or proposed:

Water Supply

- ☒ Municipal piped water
☐ Individual wells

- ☐ Communal wells
☐ Other (describe below)

Sewage Treatment

- ☐ Municipal sewers
☒ Septic tank and tile bed in good working order
- ☐ Communal system
☐ Other (describe below)

Storm Drainage

- ☒ Storm sewers
☐ Other (describe below)
- ☐ Open ditches

runs along Wolven St.

2. Existing or proposed access to subject lands

- ☒ Municipal road
☐ Unopened road
- ☐ Provincial highway
☐ Other (describe below)

Name of road/street:

Wolven St. - entrance permit approval - attached,

G. Other Information

1. Does the application involve a local business? ☐ Yes ☒ No

If yes, how many people are employed on the subject lands?

2. Is there any other information that you think may be useful in the review of this application? If so, explain below or attach on a separate page.

The proposed severance is already zoned R1-A with no "hold". A building permit is already approved. This conforms with the official plan and is compatible with adjacent land use. It complies to local bylaws. It has adequate vehicular access, water supply and sewage disposal. Its suitable for the proposed purpose including size and shape.

H. Supporting Material to be submitted by Applicant

In order for your application to be considered complete, folded hard copies (number of paper copies as directed by the planner) and an **electronic version (PDF) of the site plan drawings, additional plans, studies and reports** will be required, including but not limited to the following details:

1. Concept/Layout Plan
2. All measurements in metric
3. Existing and proposed easements and right of ways
4. Parking space totals – required and proposed
5. All dimensions of the subject lands
6. Dimensions and setbacks of all buildings and structures
7. Location and setbacks of septic system and well from all existing and proposed lot lines, and all existing and proposed structures
8. Names of adjacent streets
9. Natural features, watercourses and trees

In addition, the following additional plans, studies and reports, including but not limited to, **may** also be required as part of the complete application submission:

- ☐ Zoning Deficiency Form
- ☐ On-Site Sewage Disposal System Evaluation Form (to verify location and condition)
- ☐ Environmental Impact Study
- ☐ Geotechnical Study / Hydrogeological Review
- ☐ Minimum Distance Separation Schedule
- ☐ Record of Site Condition
- ☐ Agricultural Impact Assessment

Your development approval might also be dependent on Ministry of Environment Conservation and Parks, Ministry of Transportation or other relevant federal or provincial legislation, municipal by-laws or other agency approvals.

All final plans must include the owner's signature as well as the engineer's signature and seal.

I. Transfers, Easements and Postponement of Interest

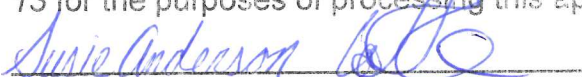
The owner acknowledges and agrees that if required it is their solicitor's responsibility on behalf of the owner for the registration of all transfer(s) of land to the County, and/or transfer(s) of easement in favour of the County and/or utilities. Also, the owner further acknowledges and agrees that it is their solicitor's responsibility on behalf of the owner for the registration of postponements of any charges in favour of the County.

Permission to Enter Subject Lands

Permission is hereby granted to Norfolk County officers, employees or agents, to enter the premises subject to this application for the purposes of making inspections associated with this application, during normal and reasonable working hours.

Freedom of Information

For the purposes of the *Municipal Freedom of Information and Protection of Privacy Act*, I authorize and consent to the use by or the disclosure to any person or public body any information that is collected under the authority of the *Planning Act, R.S.O. 1990, c. P. 13* for the purposes of processing this application.



Owner/Applicant/Agent Signature

March 18 / 2021


Date

J. Owner's Authorization

If the applicant/agent is not the registered owner of the lands that is the subject of this application, the owner must complete the authorization set out below.

I/We _____ am/are the registered owner(s) of the lands that is the subject of this application.

I/We authorize _____ to make this application on my/our behalf and to provide any of my/our personal information necessary for the processing of this application. Moreover, this shall be your good and sufficient authorization for so doing.



Owner

Date

Owner

Date

K. Declaration

I, Susie Anderson, of Port Rowan
solemnly declare that: Ian Anderson

all of the above statements and the statements contained in all of the exhibits
transmitted herewith are true and I make this solemn declaration conscientiously
believing it to be true and knowing that it is of the same force and effect as if made
under oath and by virtue of *The Canada Evidence Act*.

Declared before me at:

Susie Anderson

Owner/Applicant/Agent Signature

In NORFOLK COUNTY

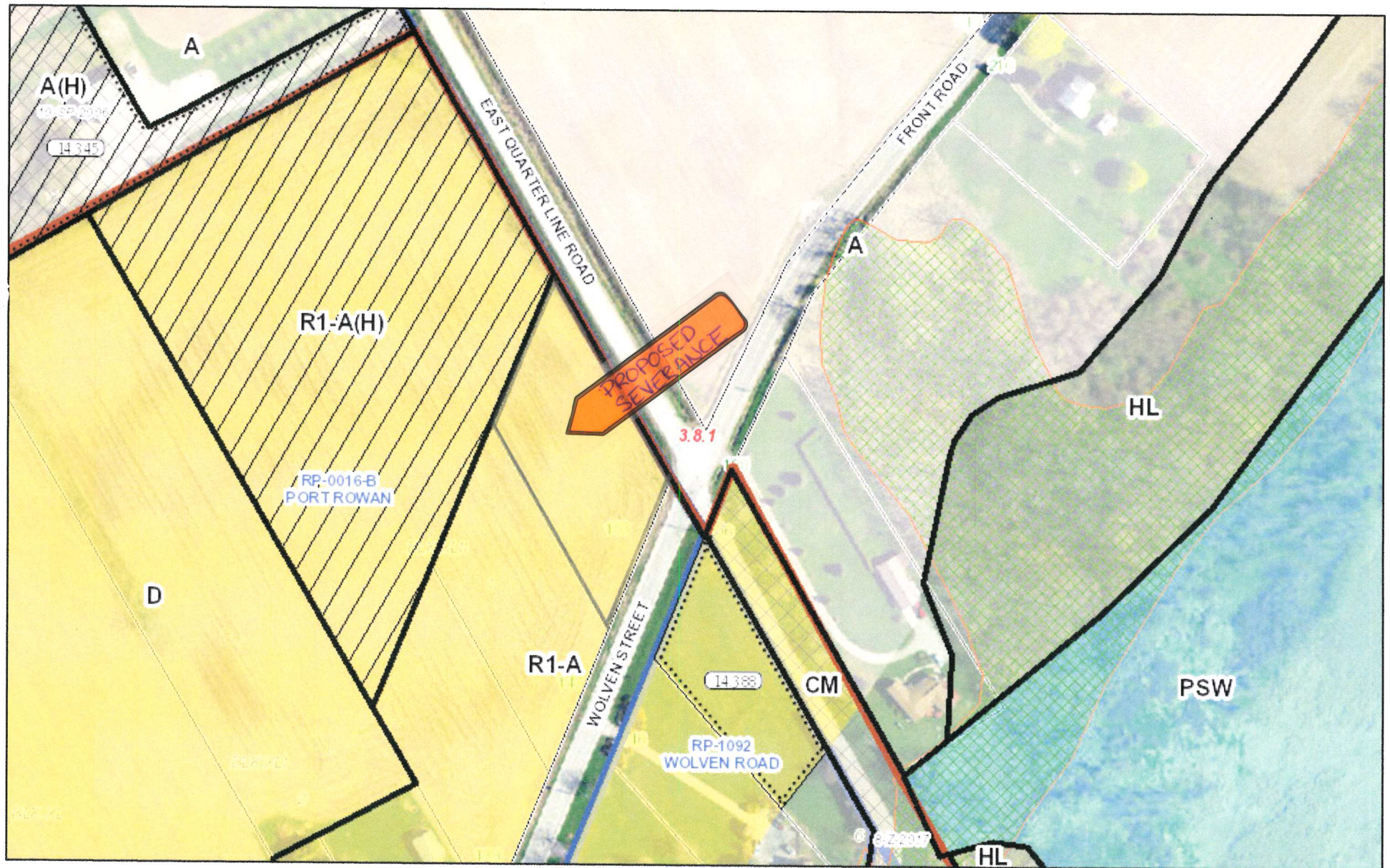
This 18 day of March 2022

A.D., 2021




Sherry Ann Mott, a
Commissioner, etc., Province of Ontario,
for the Corporation of Norfolk County.
Expires January 5, 2023.


[Signature]
A Commissioner, etc.

MAP NORFOLK - Community Web Map

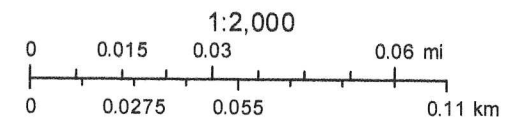


Zones 1-Z-2014

-  Zone
-  Zone with Holding Provision
-  Special Provisions

-  Site Plan Control
-  Lakeshore Erosion Prone Areas
- Community Boundaries**
-  Urban Area Boundary

-  Hamlet Area Boundary
-  Resort Area Boundary
-  Site Specific Policy Area



Queen's Printer for Ontario
Norfolk GIS

Area: 1.1 Acres

EAST QUARTER LINE ROAD

FRONT ROAD

WOVEN STREET

Block 1

Block 2

Block 3

139

141

145

156

188

210

213

216

219

222

225

228

231

234

237

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HANDRAILS - MIN. HEIGHT = 31"
- MAX. HEIGHT = 36"

GUARDS - MIN. HEIGHT = 36"
- 4" MAX. OPENINGS
- NON-CLIMBABLE

EXTERIOR STAIRS SHALL BE CONSTRUCTED WITH 2" X 12" STRINGERS
GUARDS SHALL BE PROVIDED ON EACH SIDE FOR STAIRS MORE THAN 3'-7" WIDE

EXTERIOR GUARDS - 2'-0" TO 5'-11" ABOVE GRADE - MIN. HEIGHT = 36"

EXTERIOR GUARDS - 2'-0" TO 5'-11" ABOVE GRADE - MIN. HEIGHT = 36"

- ALL GUARDS TO BE CONSTRUCTED TO O.B.C. 3.8.8.8

CONCRETE STRENGTH: AS PER CBC 9.3.1.6.
CARPORT FLOORS MIN. 32 M.P.A. CONCRETE W/6-8% AIR
FRONT CONCRETE PORCH MIN. 32 M.P.A. CONCRETE W/6-8% AIR
GARAGE FLOOR MIN. 32 M.P.A. CONCRETE W/6-8% AIR
BASEMENT FLOOR MIN. 25 M.P.A. CONCRETE
FOUNDATION WALLS & FOOTINGS MIN. 20 M.P.A. CONCRETE

SEC. 9.2.3.6.1. (1) BEAMS SHALL HAVE EVEN AND LEVEL BEAR-
AND SHALL HAVE NOT LESS THAN 3 1/2" LENGTH OF BEARING
AT END SUPPORTS, EXCEPT AS REQUIRED IN NOTES TO TABLE
A-8 TO A-17. WOOD HEADERS SHALL HAVE 1 1/2" END BEAR-
FOR SPANS UP TO 6'-0" AND 3" END BEARING FOR SPANS OVER
6'-0" UNLESS NOTED OTHERWISE.

SEC. 9.23.9 - (1) FLOOR JOISTS SHALL HAVE NOT LESS THAN 1 1/2" LENGTH OF END BEARING.

FOR ENGINEERED ITEMS WHICH ARE MARKED WITH * HAVE BEEN DESIGNED BY STRA, BALDRELLI, MONZ. FOR OTHER PRELIM. ITEMS REFER TO TRUSS COMPANY DWGSDetails. IF THERE ARE ANY DISCREPANCIES ENGINEERING LETTERS/GENERAL SHALL TAKE PRECEDENCE.

CO DENOTES CARBON MONOXIDE ALARM AS PER GBC 9.33.4

DEVOTED INTERCONNECTED SMOKE ALARM WITH VISUAL SIGNAL AS PER GRC 9.10.15

(*ee*) DENOTES EXHAUST FAN VENTED DIRECTLY TO EXTERIOR AS PER CBC 9.3.2

FOUNDATION PLAN

- Weather door into dwelling to be light-tight & gasketed; replace with a self-closer
[OBC 9.10.13.15]
- Formed pieces that form part of a wall or ceiling assembly in combustible construction shall be protected from adjacent spaces by building
[O.B.C. 9.10.17.10]
- Sealed sump pit required. [OBC 9.25.3.31(14)]
- Deeply ducts located in condition spaces shall be sealed to a Class "C" seal (transverse joints)
[OBC 6.3.4.31(13)]
- An All Gap is required between the condensate drain and the pipe. Provide a 1" (25mm) gap. Drain to be twice the diameter of the water line.
[OBC Div. 8.7.2.8.2]
- A backdraft valve is required at building drain. Backdraft valve to conform to CSA and CAN standards. [OBC 7.4.4.4]
- Insulation first 8' of hot water line from hot water tank. [OBC 12.3.1.4]



162 MARY AVE., LONDON, ONTARIO, N6J 3L9
PHONE: (519) 951-1234 FAX: (519) 951-9526

NOTES:

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PROJECT FOR WHICH THEY WERE ORIGINALLY PURCHASED AND
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EXPRESSED WRITTEN CONSENT OF DUTOT DESIGN SERVICES.

CONTRACTOR MUST VERIFY ALL DIMENSIONS AND REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE PROCEEDING WITH WORK.

THE CONTRACTOR MUST VERIFY THAT ALL CONSTRUCTION IS IN COMPLIANCE WITH THE CURRENT NATIONAL BUILDING CODE, THE ONTARIO BUILDING CODE, LOCAL ZONING REQUIREMENTS, AND ANY OTHER GOVERNING AUTHORITIES.

DRAWINGS ARE NOT TO BE SCALED.

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OUTOT DESIGN SERVICES HAVE ASSUMED THAT THE SITE DOES NOT HAVE A WATER TABLE ISSUE AND THE WATER TABLE WILL NOT AFFECT THE DESIGN OF THE FOUNDATIONS. IF THE WATER TABLE IS A CONCERN PLEASE CONTACT OUR OFFICE.

DATE	REVISIONS

DUTOT DESIGN SERVICES
BOIN: 29898, 24117

PLEASE NOTE THAT THIS DRAWING IS NOT VALID UNLESS IT IS STAMPED AND SIGNED BY THE DESIGNER, BY STAMPING AND SIGNING THESE DRAWINGS I CRAIG DUTOT HAVE REVIEWED AND TAKE RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF DUTOT DESIGN SERVICES WHICH IS REGISTERED UNDER SUBSECTION 3.2.4. OF DIVISION C OF THE ONTARIO BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES/CATEGORIES.

SECTION SYMBOL

LOCATION SHEET # _____
WHERE TAKEN FROM _____

LOCATION SHEET # _____
WHERE LOCATED AT _____

PROJECT TITLE:

TWO FLOOR W/GARAGE
APPROX. - 2282 SQ.FT.
GARAGE - 1011 SQ.FT.

MODEL:

CLIENTS:
BONIN RESIDENCE

LOCATION:
153 WOLVEN STREET
PORT ROWAN, ONTARIO

SHEET TITLE:
FOUNDATION PLAN

DRAWN BY:
CRAIG PUTOT

SCALE:
1/4"=1'-0"

DATE: _____

SHEET:
1 OF 10

This plan has been approved with AN UNFINISHED BASEMENT. Finishing the basement requires a separate building permit. Please contact the Norfolk County Building Department



REVIEWED

RM DZIEGIEL
PRSD20210082
FEBRUARY 24 2021
PER CHIEF BUILDING OFFICIAL
THE CORPORATION OF NORFOLK COUNTY

HANDRAILS - MIN. HEIGHT = 31"
- MAX. HEIGHT = 36"

GUARDS - MIN. HEIGHT = 36"
- 4" MAX. OPENINGS
- NON-CLIMBABLE

UNIFORM RISER RUN
EXTERIOR STAIRS SHALL BE CONSTRUCTED WITH 2" X 12" STRINGERS
GUARDS SHALL BE PROVIDED ON EACH SIDE FOR STAIRS MORE THAN 3'-7" WIDE

- EXTERIOR GUARDS - 2'-0" TO 5'-11" ABOVE GRADE - MIN. HEIGHT = 36"
- OVER 5'-11" ABOVE GRADE - MIN. HEIGHT = 42"
- ALL GUARDS TO BE CONSTRUCTED TO O.B.C. 9.8.8.8.

CONCRETE STRENGTH: 45 MPA PER DBC 9.3.1.6
CARPORT FLOORS MIN. 32 MPA A. CONCRETE W6-50S AIR
FRONT CONCRETE PORCH MIN. 32 MPA A. CONCRETE W6-50S AIR
CARPARK FLOOR MIN. 32 MPA A. CONCRETE W6-50S AIR
TRESTLE FLOOR MIN. 25 MPA A. CONCRETE
FOUNDATION WALLS - FOOTINGS MIN. 20 MPA A. CONCRETE

SEC. 9.2.3.8.1. (1) BEAMS SHALL HAVE EVEN AND LEVEL BEARINGS
AND SHALL HAVE NOT LESS THAN 3 1/2" LENGTH OF BEARINGS
AT END SUPPORTS, EXCEPT AS REQUIRED IN NOTES TO TABLE
9.2.3.8.1. (2) BEAMS SHALL HAVE 1 1/2" THICK BEARINGS
FOR SPANS UP TO 40' AND 3" THICK BEARINGS FOR SPANS OVER
40' UNLESS NOTED OTHERWISE.

ACC. 9.23.9.1.1) FLOOR JOISTS SHALL HAVE NOT LESS THAN 1 1/2" LENGTH OF END BEARING.

FOR ENGINEERED ITEMS WHICH ARE MARKED WITH * HAVE BEEN DESIGNED BY STRIK, BALDWIN, MORSE. FOR OTHER PREENG. ITEMS REFER TO TRUSS COMPANY DRAWINGS/DETAILS. IF THERE ARE ANY DISCREPANCIES ENGINEERING LETTERING/DETAIL SHALL TAKE PRECEDENCE

^{CO} DENOTES CARBON MONOXIDE ALARM AS PER CBC 9.33.4

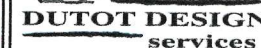
33 DENOTES INTERCONNECTED SINGLE ALARMS WITH VISUAL SIGNAL AS PER CSC 9.1.3.1.4

 DENOTES EXHAUST FAN VENTED DIRECTLY TO EXTERIOR AS PER DBC 9.32

ALL LVL BEAMS TO HAVE MINIMUM 3" BEARING LENGTH OR BEAR IN SPECIFIED HANGER AT SUPPORTS UNLESS NOTED OTHERWISE. FASTEN ALL LVL PLUS TOGETHER USING (2) 508 SCREWS PER SIDE AT 16" OC (FOR SIDE LOADED BEAMS) OR (3) 3" PRAMING NAILS AT 12" OC (FOR TOP LOADED BEAMS) UNLESS NOTED OTHERWISE. SEE SBM SHEET 592 FOR LVL MEMBER CONNECTION REQUIREMENTS.

Stud wall reinforcement for future installation of grab bars to comply with:
water closet [CBC 3.8.3.8.(3)(a) & (3)(c)]
shower [CBC 3.8.3.13.(2)(f)]
bathtub [CBC 3.8.3.13.(4)(c)]
[CBC 3.8.2.3]

Waterproof Wall Finish
to be provided to a height of 400mm (15 3/8")
above the rims of bathtubs not equipped with
showers
[OBC 9.29.2.1]



162 MARY AVE., LONDON, ONTARIO, N6J 3L9
PHONE: (519) 951-1234 FAX: (519) 951-9526

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DATE	REVISIONS

DUTOT DESIGN SERVICES
BCIN: 25896, 24117

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SECTION SYMBOL



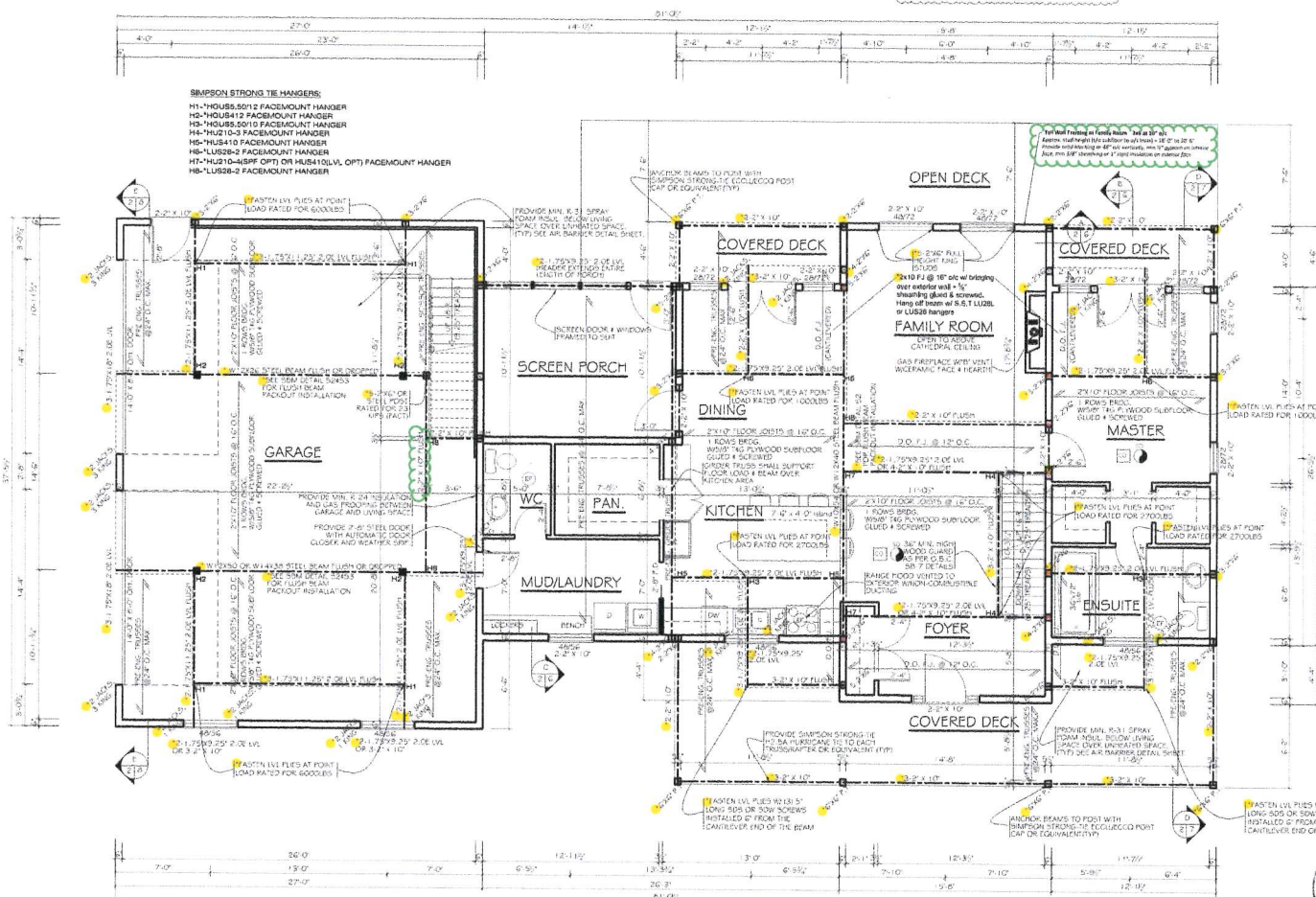
LOCATION SHEET # _____ WHERE TAKEN FROM _____ LOCATION SHEET # _____ WHERE LOCATED AT _____

PROJECT TITLE:
TWO FLOOR W/GARAGE
APPROX. - 2282 SQ.FT.
GARAGE - 1011 SQ.FT.

MODEL:
CLIENTS:
BONIN RESIDENCE
LOCATION:
153 WOLVEN STREET PORT ROWAN, ONTARIO
SHEET TITLE:
FLOOR PLAN

DRAWN BY: CRAIG DUTOT		2
SCALE: 1/4" = 1'-0"		
DATE: SEPT 2020	SHEET: 2 OF 10	

27



MAIN FLOOR PLAN

REVIEWED
KIM DZIEGIEL
PR020210082
FEBRUARY 24 2021
PER CHIEF BUILDING OFFICE
CORPORATION OF NORTON

Sealed for structural
Items marked **Y** only

HANDRAILS - MIN. HEIGHT = 31"
- MAX. HEIGHT = 36"

GUARDS - MIN. HEIGHT = 36"
- 4" MAX. OPENINGS
- NON-CLIMBABLE

EXTERIOR GUARDS - 2'-0" TO 5'-11" ABOVE GRADE - MIN. HEIGHT = 36"

- ALL GUARDS TO BE CONSTRUCTED TO O.B.C. 9 A.B.B.

* ALL GUARDS TO BE CONSTRUCTED TO O.B.C. 9.8.8.8.

CONCRETE STRENGTH AS PER OBC 9.3.1.6
CARPORY FLOORS MIN. 32 M.P.A. CONCRETE W/G 6% AIR
FRONT CONCRETE PORCH MIN. 32 M.P.A. CONCRETE W/G 6% AIR
GARAGE FLOOR MIN. 32 M.P.A. CONCRETE W/G 6% AIR
BASEMENT FLOOR MIN. 25 M.P.A. CONCRETE
FOUNDATION WALLS & FOOTINGS MIN. 20 M.P.A. CONCRETE

SEC. 9.23.6.1. (1) BEAMS SHALL HAVE EVEN AND LEVEL BEARING AND SHALL HAVE NOT LESS THAN 3 1/2" LENGTH OF BEARING AT END SUPPORTS, EXCEPT AS REQUIRED IN NOTES TO TABLE A-8 TO A-11. WOOD HEADERS SHALL HAVE 1 1/2" END BEARING FOR SPANS UP TO 6" AND 3" END BEARING FOR SPANS OVER 6" UNLESS NOTED OTHERWISE.

SEC. 9.23.9.4. (1) FLOOR JOISTS SHALL HAVE NOT LESS THAN

FOR ENGINEERED ITEMS WHICH ARE MARKED WITH * HAVE BEEN DESIGNED BY
STRIN, BALDWIN, MOFFZ. FOR OTHER PRE-ENG. ITEMS
REFER TO TRUSS COMPANY DRAWINGS/DETAILS. IF THERE ARE ANY
DISCREPANCIES ENGINEERING LETTERS/DWG/DETAIL SHALL TAKE PRECEDENCE

DISCREPANCIES ENGINEERING LETTERS/DWG DETAIL SMALL TAKE PREFERENCE

 DENOTES CARBON MONOXIDE ALARM AS PER CBC 9.33.4

 DENOTES INTERCONNECTED SMOKE ALARM WITH VISUAL SIGNAL AS PER CBC 9.10.19

(EF) DENOTES EXHAUST FAN VENTED DIRECTLY TO EXTERIOR AS PER OBC 9.32



REVIEWED
KIM DZIEGIEL
PRSD20210082
FEBRUARY 24 2021
PER CHIEF BUILDING OFFICIAL
E CORPORATION DE NORFOLK COUNTY

Sealed for structural forms marked (1) only



DUTOT DESIGN
services

162 MARY AVE., LONDON, ONTARIO, N6J 3L9
PHONE: (519) 951-1234 FAX: (519) 951-9528

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DATE	REVISIONS
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SECTION SYMBOL

LOCATION SHEET #
WHERE TAKEN FROM

LOCATION SHEET # _____
WHERE LOCATED AT _____

PROJECT TITLE:

TWO FLOOR W/GARAGE
APPROX. - 2282 SQ.FT.
GARAGE - 1011 SQ.FT.

MODEL:

CLIENTS:
BONIN RESIDENCE

LOCATION: WOLVEN STREET
PORT ROWAN, ONTARIO

SHEET TITLE:
FLOOR PLAN

DRAWN BY:
CRAIG DUTOT

SCALE:
1/4"=1'-0"

DATE: SEPT 2020	SHEET: 3 OF 10
--------------------	-------------------

3



FRONT ELEVATION

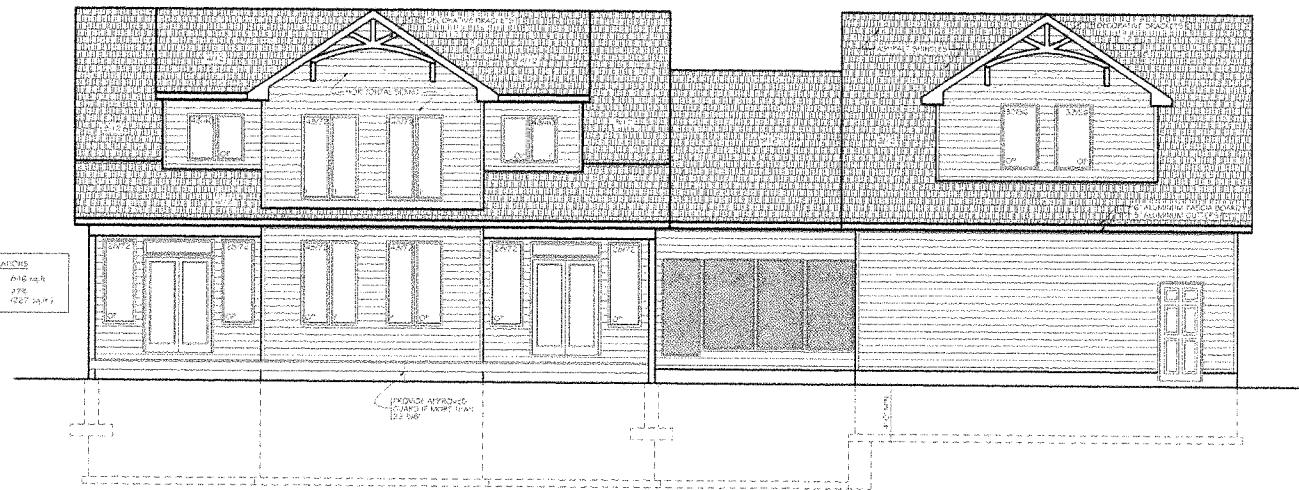
DESIGN CONCRETE CALCULATIONS	
Required Building Foot	846 sq ft
Estimated Operating Floor area	11%
	192 sq ft

PRODUCED BY THE
FEDERAL BUREAU OF INVESTIGATION
U. S. DEPARTMENT OF JUSTICE

PRO-DE DEANAC
PO-POGAG C. SP

GLAZIER DRIVING CALCULATIONS

Expanded Position "A"	448 sq ft
Unexpanded Opening, Rimwood	278
	626 sq ft



REAR ELEVATION

REVIEWED
JAN 10 2001
PROBATION
FEBRUARY 24 2001
TRAIL COUNTY DISTRICT OFFICE
10. CORPORATION OF HICKORY COUNTY



DUTOT DESIGN
services

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DATE	REVISIONS

DUTOT DESIGN SERVICES
BCIN: 29098, 24117

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SECTION SYMBOL



LOCATION SHEET # _____
WHERE TAKEN FROM _____

LOCATION SHEET # _____
WHERE LOCATED AT _____

PROJECT TITLE:

TWO FLOOR W/GARAGE
APPROX. - 2282 SQ.FT.
GARAGE - 1011 SQ.FT.

MODEL:

CLIENTS:
BONIN RESIDENCE

LOCATION:
153 WOLVEN STREET
PORT ROWAN, ONTARIO

ENTRY TITLE:
ELEVATIONS

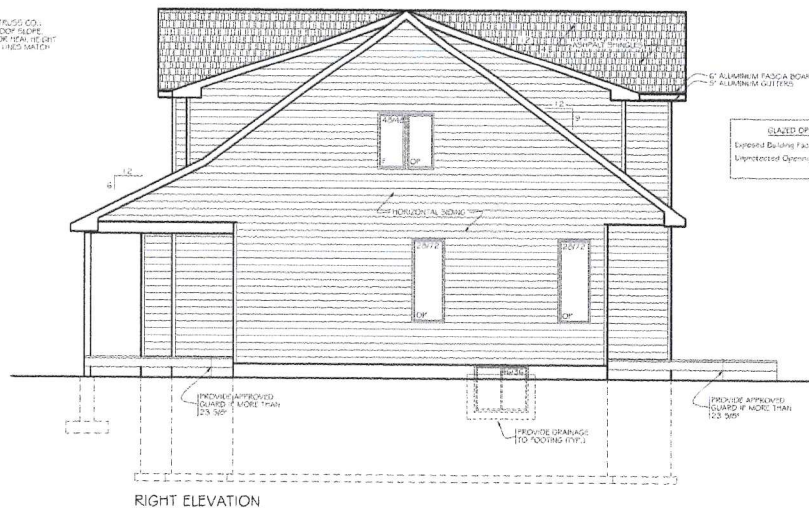
DRAWN BY:
CRAIG DUTOT

SCALE:
1/4"=1'-0"

DATE: SEPT 2020	SHEET: 4 OF 10
--------------------	-------------------

100

NOTE TO TRUSS COIL:
ADJUST ROOF SLOPE
BOPPTS OF TRUSS TO FIT
TO ROOF LINE MATCH



RIGHT ELEVATION

GLAZED OPENING CALCULATIONS
Exposed Building Face: 120 sq.ft.
Unprotected Openings: Protected: 1.3%
(1.6 sq.ft.)



LEFT ELEVATION

Exterior guard is required where the
difference in grade exceeds 600mm (23 5/8")
1670mm (42") high where difference in
grade exceeds 1800mm (5'11")
Guards to conform to SB-7 requirements

REVIEWED
100%
PROCESSED-1000
FEBRUARY 28 2021
PER CHIEF BUILDING OFFICIAL
THE CORPORATION OF NORFOLK COUNTY



DUTOT DESIGN
services

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DUTOT DESIGN SERVICES
BOIN: 29996, 24117

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SECTION SYMBOL



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WHERE TAKEN FROM

LOCATION SHEET #
WHERE LOCATED AT

PROJECT TITLE

TWO FLOOR W/GARAGE
APPROX. - 2282 SQ.FT.
GARAGE - 1011 SQ.FT.

MODEL:

CLIENT:

BONIN RESIDENCE

LOCATION:

**153 WOLVEN STREET
PORT ROWAN, ONTARIO**

SHEET TITLE:

ELEVATIONS

DRAWN BY:

CRAIG DUTOT

SCALE:

1/4"=1'-0"

DATE:

SEPT 2020

SHEET:

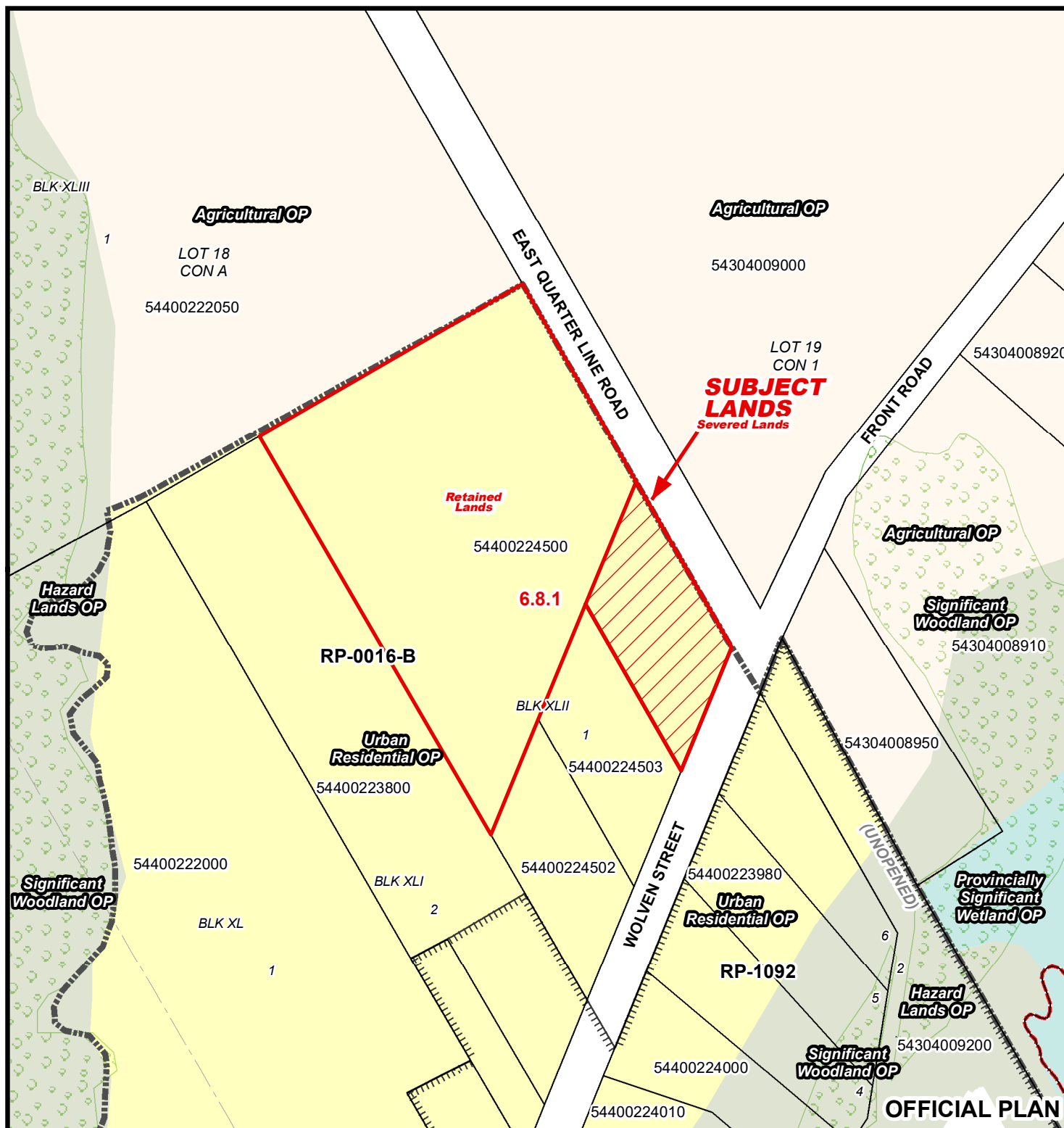
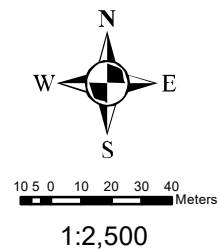
5 OF 10

5

MAP 2

File Number: BNPL2021089

Geographic Township of PORT ROWAN



MAP 3

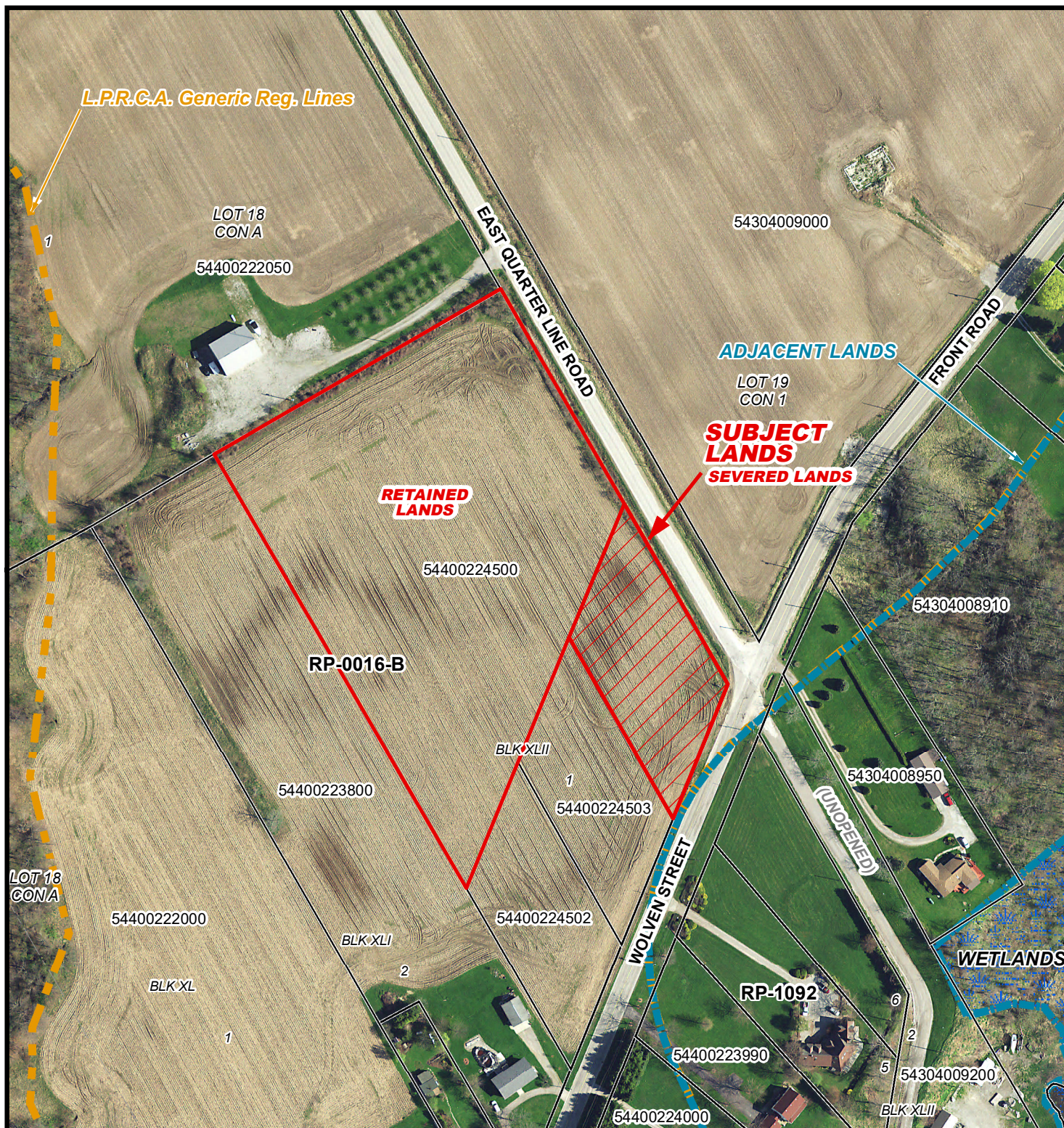
File Number: BNPL2021089

Geographic Township of PORT ROWAN



9.8.750 9.5 19 28.5 38 Meters

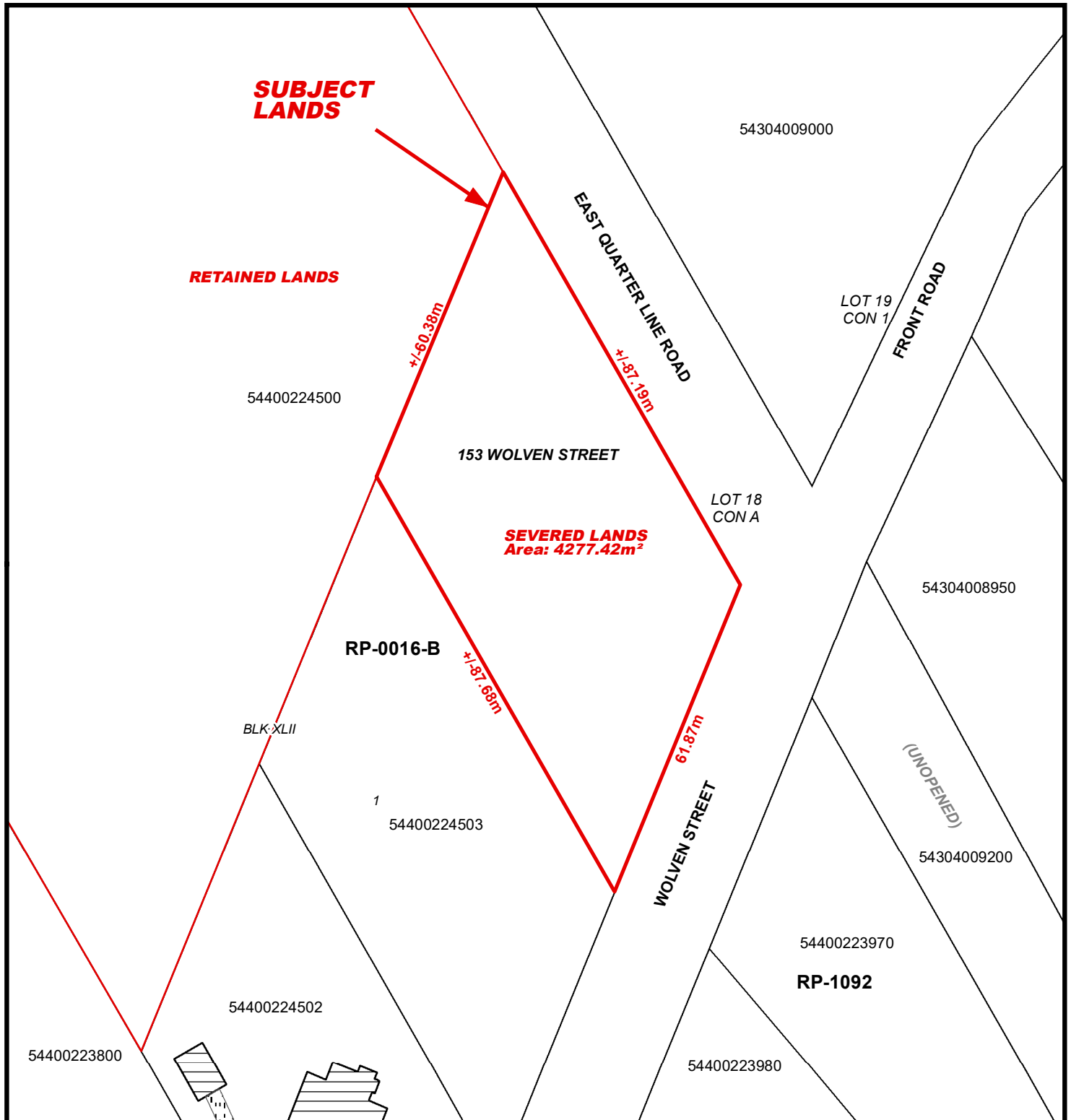
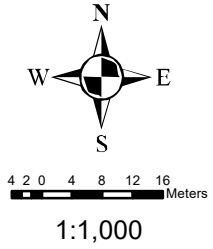
1:2,300



MAP 4

File Number: BNPL2021089

Geographic Township of PORT ROWAN



LOCATION OF LANDS AFFECTED

File Number: BNPL2021089

Geographic Township of PORT ROWAN

