

**For Office Use Only:**

File Number	_____	Application Fee	_____
Related File Number	_____	Conservation Authority Fee	_____
Pre-consultation Meeting	_____	Well & Septic Info Provided	_____
Application Submitted	_____	Planner	_____
Complete Application	_____	Public Notice Sign	_____

---

**Check the type of planning application(s) you are submitting.**

- ☐ Consent/Severance/Boundary Adjustment
- ☐ Surplus Farm Dwelling Severance and Zoning By-law Amendment
- ☐ Minor Variance
- ☐ Easement/Right-of-Way

**Property Assessment Roll Number:** \_\_\_\_\_**A. Applicant Information****Name of Owner** \_\_\_\_\_

It is the responsibility of the owner or applicant to notify the planner of any changes in ownership within 30 days of such a change.

Address \_\_\_\_\_

Town and Postal Code \_\_\_\_\_

Phone Number \_\_\_\_\_

Cell Number \_\_\_\_\_

Email \_\_\_\_\_

**Name of Applicant** \_\_\_\_\_

Address \_\_\_\_\_

Town and Postal Code \_\_\_\_\_

Phone Number \_\_\_\_\_

Cell Number \_\_\_\_\_

Email \_\_\_\_\_

**Name of Agent**

Address

Town and Postal Code

Phone Number

Cell Number

Email

Please specify to whom all communications should be sent. Unless otherwise directed, all correspondence and notices in respect of this application will be forwarded to the owner and agent noted above.

☐ Owner

☐ Agent

☐ Applicant

Names and addresses of any holder of any mortgagees, charges or other encumbrances on the subject lands:

**B. Location, Legal Description and Property Information**

1. Legal Description (include Geographic Township, Concession Number, Lot Number, Block Number and Urban Area or Hamlet):

Municipal Civic Address:

Present Official Plan Designation(s):

Present Zoning:

2. Is there a special provision or site specific zone on the subject lands?

☐ Yes ☐ No If yes, please specify:

3. Present use of the subject lands:

4. Please describe **all existing** buildings or structures on the subject lands and whether they are to be retained, demolished or removed. If retaining the buildings or structures, please describe the type of buildings or structures, and illustrate the setback, in metric units, from front, rear and side lot lines, ground floor area, gross floor area, lot coverage, number of storeys, width, length, and height on your attached sketch which must be included with your application:

---

---

---

5. If an addition to an existing building is being proposed, please explain what it will be used for (for example a bedroom, kitchen, or bathroom). If new fixtures are proposed, please describe.

---

---

6. Please describe **all proposed** buildings or structures/additions on the subject lands. Describe the type of buildings or structures/additions, and illustrate the setback, in metric units, from front, rear and side lot lines, ground floor area, gross floor area, lot coverage, number of storeys, width, length, and height on your attached sketch which must be included with your application:

---

---

7. Are any existing buildings on the subject lands designated under the *Ontario Heritage Act* as being architecturally and/or historically significant? Yes ☐ No ☐

If yes, identify and provide details of the building:

---

---

8. If known, the length of time the existing uses have continued on the subject lands:

---

9. Existing use of abutting properties:

---

10. Are there any easements or restrictive covenants affecting the subject lands?

☐ Yes ☐ No If yes, describe the easement or restrictive covenant and its effect:

---

### C. Purpose of Development Application

Note: Please complete all that apply. **Failure to complete this section will result in an incomplete application.**

#### 1. Site Information (Please refer to Zoning By-law to confirm permitted dimensions)

	Existing	Permitted	Provision	Proposed	Deficiency
Lot frontage					
Lot depth					
Lot width					
Lot area					
Lot coverage					
Front yard					
Rear yard					
Height					
Left Interior side yard					
Right Interior side yard					
Exterior side yard (corner lot)					
Parking Spaces (number)					
Aisle width	Determined through Building Permit Application				
Stall size					
Loading Spaces					
Other					

2. Please explain why it is not possible to comply with the provision(s) of the Zoning By-law:

---

---

---

3. **Consent/Severance/Boundary Adjustment:** Description of land intended to be severed in metric units:

Frontage: \_\_\_\_\_

Depth: \_\_\_\_\_

Width: \_\_\_\_\_

Lot Area: \_\_\_\_\_

Present Use: \_\_\_\_\_

Proposed Use: \_\_\_\_\_

Proposed final lot size (if boundary adjustment): \_\_\_\_\_

If a boundary adjustment, identify the assessment roll number and property owner of the lands to which the parcel will be added: \_\_\_\_\_

---

---

Description of land intended to be retained in metric units:

Frontage: \_\_\_\_\_

Depth: \_\_\_\_\_

Width: \_\_\_\_\_

Lot Area: \_\_\_\_\_

Present Use: \_\_\_\_\_

Proposed Use: \_\_\_\_\_

Buildings on retained land: \_\_\_\_\_

4. **Easement/Right-of-Way:** Description of proposed right-of-way/easement in metric units:

Frontage: \_\_\_\_\_

Depth: \_\_\_\_\_

Width: \_\_\_\_\_  
Area: \_\_\_\_\_  
Proposed Use: \_\_\_\_\_

**5. Surplus Farm Dwelling Severances Only:** List all properties in Norfolk County, which are owned and farmed by the applicant and involved in the farm operation

Owners Name: \_\_\_\_\_  
Roll Number: \_\_\_\_\_  
Total Acreage: \_\_\_\_\_  
Workable Acreage: \_\_\_\_\_  
Existing Farm Type: (for example: corn, orchard, livestock) \_\_\_\_\_  
Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built \_\_\_\_\_  
Date of Land Purchase: \_\_\_\_\_

Owners Name: \_\_\_\_\_  
Roll Number: \_\_\_\_\_  
Total Acreage: \_\_\_\_\_  
Workable Acreage: \_\_\_\_\_  
Existing Farm Type: (for example: corn, orchard, livestock) \_\_\_\_\_  
Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built \_\_\_\_\_  
Date of Land Purchase: \_\_\_\_\_

Owners Name: \_\_\_\_\_  
Roll Number: \_\_\_\_\_  
Total Acreage: \_\_\_\_\_  
Workable Acreage: \_\_\_\_\_  
Existing Farm Type: (for example: corn, orchard, livestock) \_\_\_\_\_  
Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built \_\_\_\_\_  
Date of Land Purchase: \_\_\_\_\_

Owners Name: \_\_\_\_\_  
Roll Number: \_\_\_\_\_  
Total Acreage: \_\_\_\_\_  
Workable Acreage: \_\_\_\_\_  
Existing Farm Type: (for example: corn, orchard, livestock) \_\_\_\_\_  
Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built \_\_\_\_\_  
Date of Land Purchase: \_\_\_\_\_

Owners Name: \_\_\_\_\_  
Roll Number: \_\_\_\_\_  
Total Acreage: \_\_\_\_\_  
Workable Acreage: \_\_\_\_\_  
Existing Farm Type: (for example: corn, orchard, livestock) \_\_\_\_\_  
Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built \_\_\_\_\_  
Date of Land Purchase: \_\_\_\_\_

**Note: If additional space is needed please attach a separate sheet.**

**D. All Applications: Previous Use of the Property**

1. Has there been an industrial or commercial use on the subject lands or adjacent lands? ☐ Yes ☐ No ☐ Unknown

If yes, specify the uses (for example: gas station, or petroleum storage):

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

2. Is there reason to believe the subject lands may have been contaminated by former uses on the site or adjacent sites? ☐ Yes ☐ No ☐ Unknown

3. Provide the information you used to determine the answers to the above questions:

\_\_\_\_\_  
\_\_\_\_\_

4. If you answered yes to any of the above questions in Section D, a previous use inventory showing all known former uses of the subject lands, or if appropriate, the adjacent lands, is needed. Is the previous use inventory attached? ☐ Yes ☐ No

**E. All Applications: Provincial Policy**

1. Is the requested amendment consistent with the provincial policy statements issued under subsection 3(1) of the *Planning Act, R.S.O. 1990, c. P. 13*? ☐ Yes ☐ No

If no, please explain:

---

---

2. It is owner's responsibility to be aware of and comply with all relevant federal or provincial legislation, municipal by-laws or other agency approvals, including the Endangered Species Act, 2007. Have the subject lands been screened to ensure that development or site alteration will not have any impact on the habitat for endangered or threatened species further to the provincial policy statement subsection 2.1.7? ☐ Yes ☐ No

If no, please explain:

---

---

3. Have the subject lands been screened to ensure that development or site alteration will not have any impact on source water protection? ☐ Yes ☐ No

If no, please explain:

---

---

Note: If in an area of source water Wellhead Protection Area (WHPA) A, B or C please attach relevant information and approved mitigation measures from the Risk Manager Official.



4. All Applications: Are any of the following uses or features on the subject lands or within 500 metres of the subject lands, unless otherwise specified? Please check boxes, if applicable.

**Livestock facility or stockyard** (submit MDS Calculation with application)

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Wooded area**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Municipal Landfill**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Sewage treatment plant or waste stabilization plant**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Provincially significant wetland (class 1, 2 or 3) or other environmental feature**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Floodplain**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Rehabilitated mine site**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Non-operating mine site within one kilometre**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Active mine site within one kilometre**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Industrial or commercial use (specify the use(s))**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Active railway line**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Seasonal wetness of lands**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Erosion**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Abandoned gas wells**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

## F. All Applications: Servicing and Access

1. Indicate what services are available or proposed:

### Water Supply

- |  |   |
|--|---|
| <input type="checkbox"/> Municipal piped water | <input type="checkbox"/> Communal wells         |
| <input type="checkbox"/> Individual wells      | <input type="checkbox"/> Other (describe below) |
- 

### Sewage Treatment

- |   |   |
|---|---|
| <input type="checkbox"/> Municipal sewers                               | <input type="checkbox"/> Communal system        |
| <input type="checkbox"/> Septic tank and tile bed in good working order | <input type="checkbox"/> Other (describe below) |
- 

### Storm Drainage

- |   |                                       |
|---|---------------------------------------|
| <input type="checkbox"/> Storm sewers           | <input type="checkbox"/> Open ditches |
| <input type="checkbox"/> Other (describe below) |                                       |
- 

2. Existing or proposed access to subject lands:

- |   |   |
|---|---|
| <input type="checkbox"/> Municipal road | <input type="checkbox"/> Provincial highway     |
| <input type="checkbox"/> Unopened road  | <input type="checkbox"/> Other (describe below) |

Name of road/street:

---

## G. All Applications: Other Information

1. Does the application involve a local business? ☐ Yes ☐ No

If yes, how many people are employed on the subject lands?

---

2. Is there any other information that you think may be useful in the review of this application? If so, explain below or attach on a separate page.

---

---

---

## **H. Supporting Material to be submitted by Applicant**

In order for your application to be considered complete, folded hard copies (number of paper copies as directed by the planner) and an **electronic version (PDF) of the site plan drawings, additional plans, studies and reports** will be required, including but not limited to the following details:

1. Concept/Layout Plan
2. All measurements in metric
3. Existing and proposed easements and right of ways
4. Parking space totals – required and proposed
5. All dimensions of the subject lands
6. Dimensions and setbacks of all buildings and structures
7. Location and setbacks of septic system and well from all existing and proposed lot lines, and all existing and proposed structures
8. Names of adjacent streets
9. Natural features, watercourses and trees

In addition, the following additional plans, studies and reports, including but not limited to, **may** also be required as part of the complete application submission:

- ☐ On-Site Sewage Disposal System Evaluation Form (to verify location and condition)
- ☐ Environmental Impact Study
- ☐ Geotechnical Study / Hydrogeological Review
- ☐ Minimum Distance Separation Schedule
- ☐ Record of Site Condition

Your development approval might also be dependent on Ministry of Environment Conservation and Parks, Ministry of Transportation or other relevant federal or provincial legislation, municipal by-laws or other agency approvals.

**All final plans must include the owner's signature as well as the engineer's signature and seal.**

## I. Transfers, Easements and Postponement of Interest

The owner acknowledges and agrees that if required it is their solicitor's responsibility on behalf of the owner for the registration of all transfer(s) of land to the County, and/or transfer(s) of easement in favour of the County and/or utilities. Also, the owner further acknowledges and agrees that it is their solicitor's responsibility on behalf of the owner for the registration of postponements of any charges in favour of the County.

### Permission to Enter Subject Lands

Permission is hereby granted to Norfolk County officers, employees or agents, to enter the premises subject to this application for the purposes of making inspections associated with this application, during normal and reasonable working hours.

### Freedom of Information

For the purposes of the *Municipal Freedom of Information and Protection of Privacy Act*, I authorize and consent to the use by or the disclosure to any person or public body any information that is collected under the authority of the *Planning Act, R.S.O. 1990, c. P. 13* for the purposes of processing this application.

  
\_\_\_\_\_  
Owner/Applicant/Agent Signature

JANUARY 13/2022  
\_\_\_\_\_  
Date

## J. Owner's Authorization

If the applicant/agent is not the registered owner of the lands that is the subject of this application, the owner must complete the authorization set out below.

I/We Gerald Keith Thorne am/are the registered owner(s) of the lands that is the subject of this application.

I/We authorize IBI Group (c/o Douglas W. Stewart) to make this application on my/our behalf and to provide any of my/our personal information necessary for the processing of this application. Moreover, this shall be your good and sufficient authorization for so doing.

  
\_\_\_\_\_  
Owner

JANUARY 13/2022  
\_\_\_\_\_  
Date

\_\_\_\_\_  
Owner

\_\_\_\_\_  
Date

**\*Note:** If property is owned by an Ontario Ltd. Corporation, Articles of Incorporation are required to be attached to the application.

**K. Declaration**

I, DOUGLAS STEWART of CITY OF WATERLOO, REGION OF WATERLOO

solemnly declare that:

all of the above statements and the statements contained in all of the exhibits transmitted herewith are true and I make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath and by virtue of *The Canada Evidence Act*.

Declared before me at:

CITY OF WATERLOO

Douglas W. Stewart

Owner/Applicant/Agent Signature

In REGION OF WATERLOO

This 13<sup>TH</sup> day of JANUARY

A.D., 20 22

Betty Anne White

A Commissioner, etc.

**Betty Anne White, a Commissioner, etc.,  
Province of Ontario, for IM Group.  
Expires June 2, 2024.**



**IBI GROUP**  
101 – 410 Albert Street  
Waterloo ON N2L 3V3 Canada  
tel 519 585 2255  
[ibigroup.com](http://ibigroup.com)

January 11, 2022

Ms. Sherry Mott  
Secretary-Treasurer, Committee of Adjustment  
Norfolk County  
Planning Department  
185 Robinson Street  
Suite 200  
Simcoe, ON N3Y 5L6

Dear Ms. Mott:

**CONSENT APPLICATION SUBMISSION**  
**66 LEAMON STREET, WATERFORD, NORFOLK COUNTY**

On behalf of our client, Mr. Gerald Keith Thorne, please accept this letter and the following supporting materials and fees as the application for a Consent for the property municipally addressed as 66 Leamon Street, Waterford:

- One (1) copy of the completed and signed Consent Application Form;
- One (1) copy of the Proposed Severance Sketch prepared by Jewitt and Dixon Ltd;
- One (1) copy of the Proposed Severance Sketch (Aerial Photo) prepared by IBI Group, and;
- One (1) cheque in the amount of \$2,886 made payable to Norfolk County as part of the Consent Application fee for the creation of a new lot.

The purpose of the proposed Consent Application is to sever the property known as 66 Leamon Street for the creation of one (1) new lot. The existing single-detached dwelling will remain on the retained lot, which will have a lot area of 735.595 square metres and lot frontage of 15.0 metres. The severed lot will have a lot area of 708.497 square metres and a lot frontage of 14.14 metres. Although detailed plans regarding the development of the severed lot have yet to be established, it is anticipated that a dwelling type still to be determined will be in accordance with the permitted uses listed in the R2 Zone and will be in accordance with applicable planning policies.

The following sections of this submission provide an overview of the subject property and proposal details, as well as the applicable planning controls. Planning analysis is also provided to justify the proposed severance.

**1.0 BACKGROUND AND PROPOSAL DETAILS**

The subject property is municipally addressed as 66 Leamon Street in the Town of Waterford, Norfolk County and legally identified as Lot 9 and Part of Lot 8, Block H, Plan 19B as in NR391161; Norfolk County (Figure 1).

The subject property currently has an estimated lot area of 1,462.09 square metres and an approximate lot frontage of 29.14 metres along Leamon Street. The subject property currently



Ms. Sherry Mott – January 11, 2022

contains a single detached dwelling with an accessory building (shed) located in the rear yard and access via a rear lane. Please note that the legal sketch refers to the existing shed as a “garage” which will be corrected prior to a plan being deposited. Natural vegetation, including shrubs and trees are located on the subject property, however, these are not identified as Significant Natural Heritage Features.



**Figure 1:** Aerial Image of the Subject Property

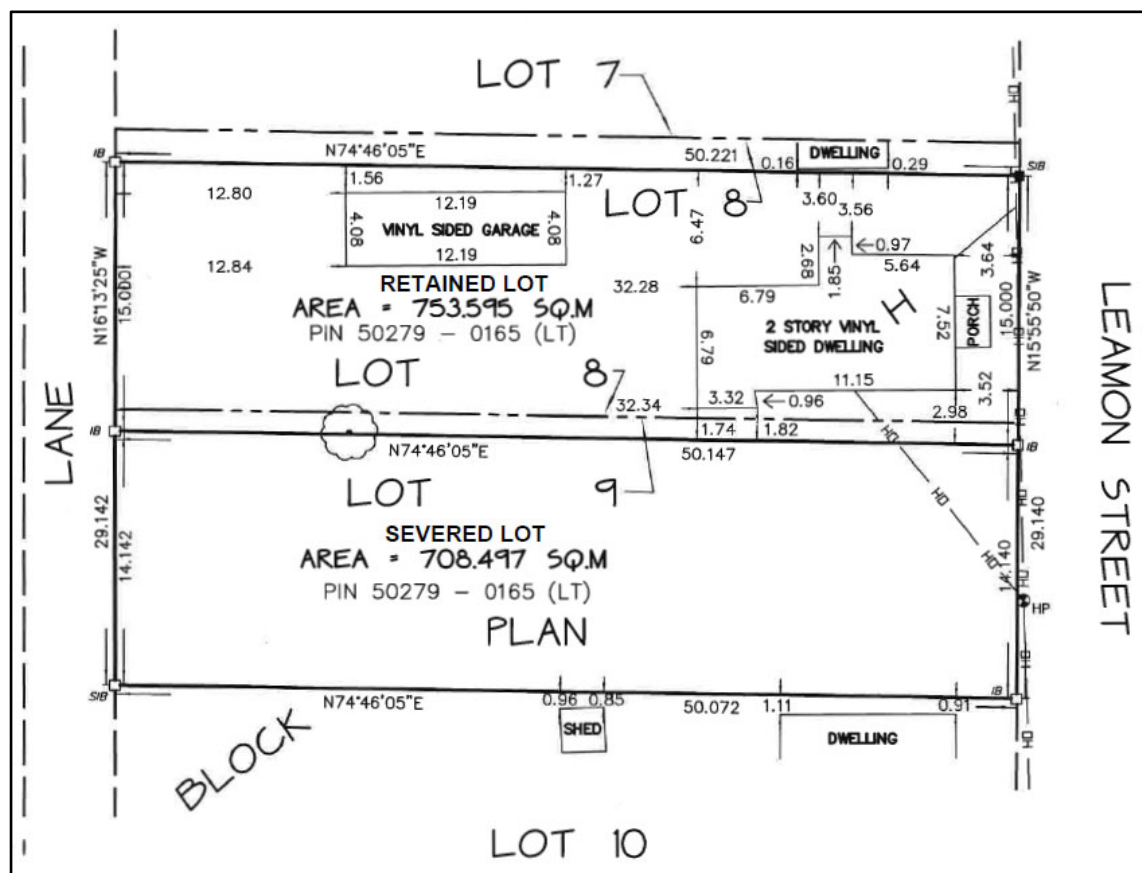
Our client intends to sever the subject property for the creation of one (1) new lot. The existing single detached dwelling will remain on the retained lot, which will have an estimated lot area of 735.595 square metres and lot frontage of 15.0 metres.

The severed lot will have an estimated lot area of 708.497 square metres and a lot frontage of 14.14 metres. Although detailed plans regarding the development of the severed lot have yet to be established, it is anticipated that a dwelling type still to be determined will be in accordance with the permitted uses listed in the R2 Zone and will be in accordance with applicable planning policies.

The following table provides an overview of the proposed lot area and lot frontage for both the proposed retained and severed lots. For detailed specifications of the proposed severance, please refer to the enclosed Severance Sketch prepared by Jewitt and Dixon Ltd., Ontario Land Surveyors (Figure 2).

Ms. Sherry Mott – January 11, 2022

	Retained Lot	Severed Lot	Total
<b>Lot Area</b>	753.595 square metres	708.497 square metres	1,462.09 square metres
<b>Lot Frontage</b>	15.0 metres	14.14 metres	29.14 metres



**Figure 2: Proposed Severance Sketch Prepared by Jewitt and Dixon Ltd., OLS**



Ms. Sherry Mott – January 11, 2022



**Figure 3:** Proposed Severance Concept Plan – Aerial Photo Prepared by IBI Group

## 2.0 PLANNING CONTROLS AND JUSTIFICATION

The use and development of the subject property is guided by a land use planning framework comprised of Provincial legislation and policy statements, the Norfolk County Official Plan and Zoning By-Law. The following provides planning justification for the proposed consent with regard to applicable planning controls.

### 2.1 Planning Act

The Planning Act, R.S.O. 1990 sets out the legislative framework for land use planning in Ontario. In the case of this proposal, the Planning Act sets out policies relating to consents at the local level, as Sections 50, 51(24), and 53 all apply to the proposed severance. Based on our review and interpretation of these policies, it is our opinion that the proposed severance has consideration for these applicable sections and conforms to these policies.

### 2.2 Provincial Policy Statement (2020)

The Provincial Policy Statement (PPS) provides policy direction on matters of provincial interest related to land use planning and development. It is understood that policies within the PPS encourage settlement areas to focus growth and development while making efficient use of land and infrastructure.

The subject property is located within the existing settlement area and Built-Up boundary of Waterford where development is strongly encouraged. It is our opinion that the proposed severance will contribute to growth and development of the settlement area, making efficient use of existing lands and infrastructure. Therefore, it is our opinion that the proposal severance conforms to the PPS.

Ms. Sherry Mott – January 11, 2022

### 2.3 Norfolk County Official Plan (2006)

The subject property is currently designated *Urban Residential* according to Schedule “B-18” (Land Use) of the County’s Official Plan (Figure 4). As per Section 7.7.1 of the Official Plan, it states that the predominant use of land shall be a variety of urban dwelling types, including single detached dwellings, semi-detached dwellings, duplex dwellings and similar low-profile residential buildings not exceeding 2 dwelling units per lot. This means the existing single-detached dwelling on the retained lot is considered a permitted use. Further, the proposed severed lot will contain an undetermined use that is permitted within *Urban Residential* designation.

Section 7.7.2.a) of the County’s Official Plan further states that “Single, semi-detached and duplex housing forms shall generally have an average net density of 15 units per hectare (uph), save and except for land designated Urban Residential in the Courtland Urban Area, where private servicing limitations shall determine the density of development.” Based on the total combined lot area of 0.1462 hectares, this means a maximum of 2 dwelling units may be permitted on the subject lands. Therefore, the existing dwelling on the retained lot and anticipated dwelling in the severed lot are in conformity with the density policies in the County Official Plan.

Section 6.4 of the County’s Official Plan states that Urban Areas will accommodate the greatest amount of the targeted growth throughout the planning period. Urban Areas are encouraged to incorporate a full range of housing types and develop with efficient land use patterns that minimize the extension of municipal services and infrastructure. As such, our client’s proposal for the development of a low-density residential type dwelling that is fully supported by existing municipal servicing is strongly encouraged in this designation. The proposed severance for the creation of a new lot maintains development within the existing Built-Up boundary of Waterford and is in keeping with the existing character and density of the neighbourhood.

Section 9.6.3.2.d) of the Official Plan provides direction for Consent Applications in the County, and requires that, “The size of any parcel of land created by consent should be appropriate for the use proposed, considering the level of services available, the soil conditions, and other factors. No parcel shall be created which does not conform to the provisions of the Zoning By-Law, except where a minor variance has been secured, in accordance with Section 9.6.3.1 (Minor Variances) of this Plan.” It is our opinion that the proposed new lot provides a parcel size that is adequate for the development of a future dwelling, as it meets the minimum lot area requirement in the existing Zoning. The proposed severance does not warrant a Minor Variance, as noted in Section 2.4 of this letter below. Additionally, the retained and severed lot will also have access to full municipal servicing.

Based on the above, it is our opinion that the proposed severance conforms to the Norfolk County Official Plan. The proposed severed lot can accommodate a low-density residential dwelling that is in keeping with the mass, scale, built form and/or character of the surrounding lands and in compliance with applicable Official Plan policies.

Ms. Sherry Mott – January 11, 2022

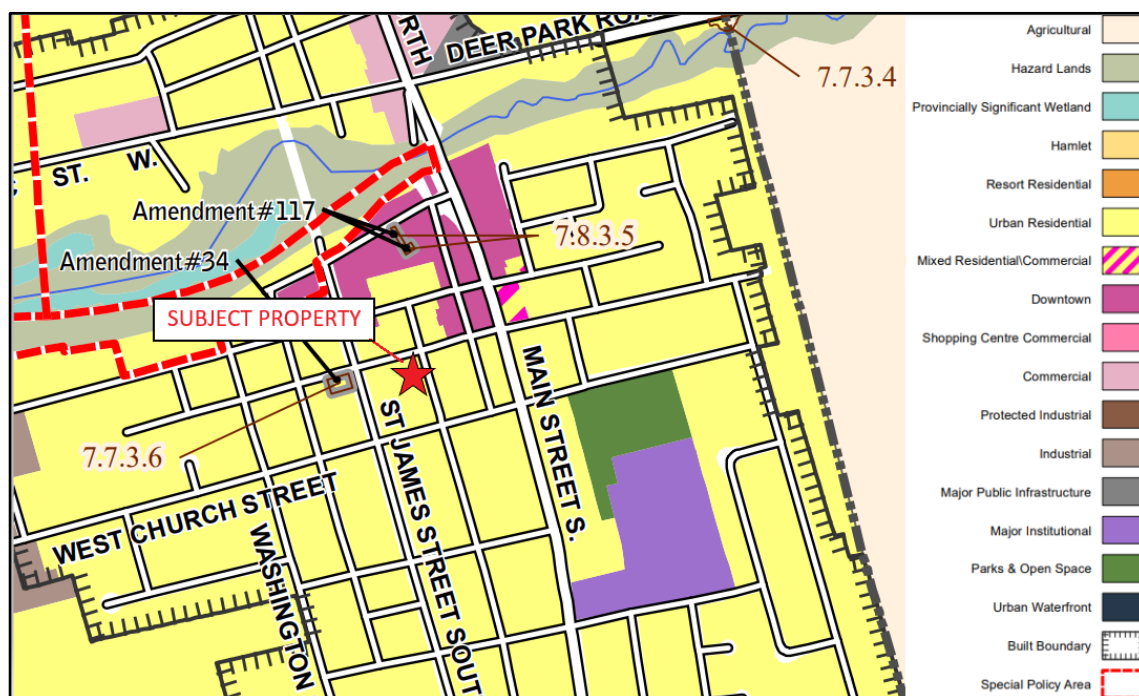


Figure 4: Norfolk County Official Plan, Schedule "B-18" (Land Use)

## 2.4 Norfolk County Zoning By-Law 1-Z-2014

The subject property is currently zoned R2 (Urban Residential Type 2) according to Schedule A-15 of the Norfolk County Zoning By-Law (Figure 5). As per Section 5.2.1 of the Zoning By-Law, single detached dwellings, semi-detached dwellings, and duplex dwellings are permitted on the subject property. This means the existing single detached dwelling (which will remain) on the proposed retained lot is permitted within the R2 Zone. Likewise, a low-profile residential type building proposed to be developed on the severed lot is permitted in accordance with the regulations outlined in the Zoning By-Law.

The following table provides a conformity analysis of the proposed severed lot in accordance with the R1-B Zone standards in Section 5.1.2 of the Zoning By-Law. As demonstrated below, the proposed severed lot will be in conformity with the Zoning By-Law.

Regulation	Requirement	Provided
<b>Minimum Lot Frontage</b>	12.0 m	14.14 m
<b>Minimum Lot Area</b>	360.0 m <sup>2</sup>	708.50 m <sup>2</sup>
<b>Minimum Front Yard (detached garage with rear lane)</b>	3.0 m	> 3.0 m *
<b>Minimum Interior Side Yard (detached garage with a rear lane; attached garage)</b>	1.2 metres each side	> 1.2 metres each side*
<b>Minimum Rear Yard</b>	7.5 m	> 7.5 m *
<b>Maximum Building Height</b>	11.0 m	> 11.0 m *

\* Detailed plans of the future dwelling are currently in development

Ms. Sherry Mott – January 11, 2022

The following table provides a conformity analysis of the proposed retained lot in accordance with the R1-B Zone standards in Section 5.1.2 of the Zoning By-Law. As demonstrated below, the retained lot will be in conformity with the Zoning By-Law. Please note that in the preparation of this application, we consulted and confirmed with the municipality (Ms. Lambrecht) to ensure that our understanding of the Zoning By-Law was correct.

Regulation	Requirement	Provided
<b>Minimum Lot Frontage</b>	12.0 m	15.0 m
<b>Minimum Lot Area</b>	360.0 m <sup>2</sup>	753.60 m <sup>2</sup>
<b>Minimum Front Yard (detached garage with rear lane)</b>	3.0 m	3.52 m
<b>Minimum Interior Side Yard (detached garage with a rear lane; attached garage)</b>	1.2 metres each side	1.27 m on the right side (measured from accessory building to property line) 1.74 m on the left side
<b>Minimum Rear Yard</b>	7.5 m	12.80 m (measured from accessory building to property line)

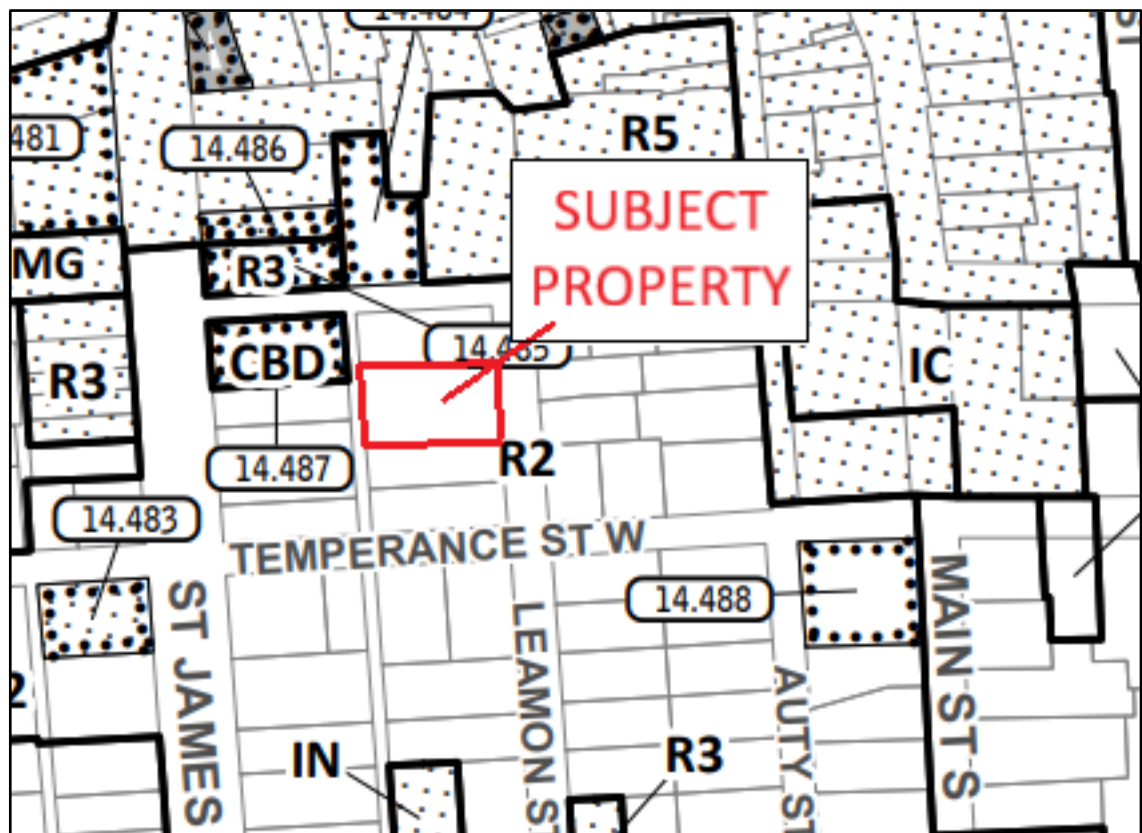


Figure 5: Norfolk County Zoning By-Law, Schedule A-15

Ms. Sherry Mott – January 11, 2022

### 3.0 CONCLUSION

We trust this letter provides you with an understanding of the proposed Consent application. As mentioned throughout this letter, our client intends to sever the subject property for the creation of a new lot to be developed with a dwelling type yet to be determined in accordance with the applicable planning policies and regulations. The existing dwelling on the retained lot will remain and complies to the existing Official Plan designation and Zoning By-Law. The severed lot complies with the Zoning By-Law regulations and will not require a Minor Variance, as it meets the minimum lot frontage and lot area.

It is our opinion that the proposed severance is consistent with and in conformity with Provincial legislation, plans and policies, and meets the general intent of the Norfolk County Official Plan and Zoning By-Law. It is also our opinion that the proposed new lot is in keeping with the size, scale and character of the surrounding neighbourhood and represents good planning. The proposed lot maintains the low-rise residential density of the existing area and makes efficient use of underutilized lands within an existing urbanized area.

Should you require anything further to assist in your review of this application and supporting material, please do not hesitate to contact the undersigned.

Yours truly,

**IBI GROUP**



Douglas W. Stewart, MCIP, RPP  
Associate – Manager, Urban & Regional Planning

DWS/JM/CT/baw

Encl.

cc: Gerald Keith Thorne

**SKETCH FOR  
SEVERANCE APPLICATION**

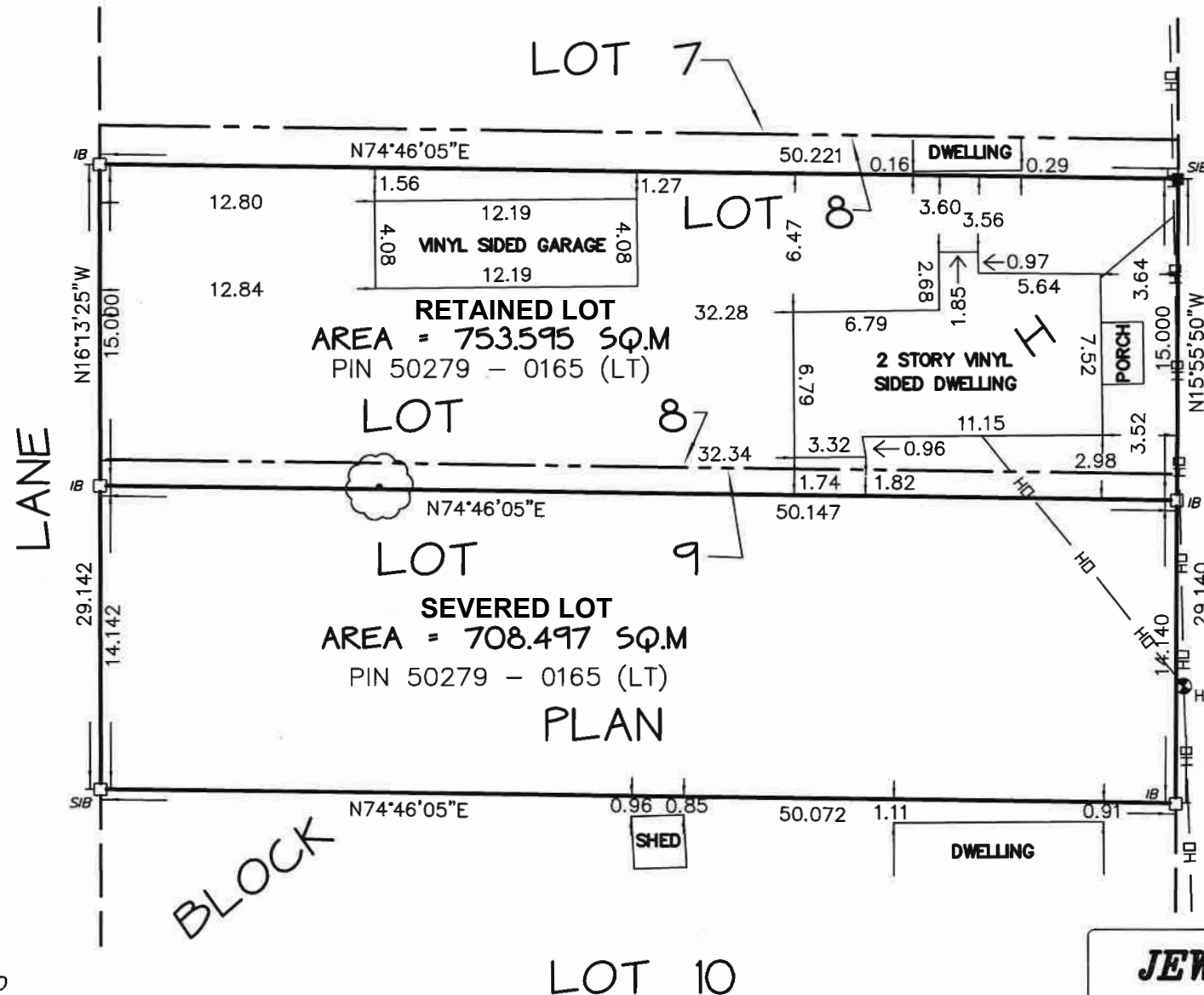
**JERRY THORNE  
66 LEAMON STREET  
WATERFORD**

SCALE: 1 : 300  
JEWITT AND DIXON LTD.  
DECEMBER 2, 2021

**PROPERTY DESCRIPTION**

PART LOT 8 & ALL LOT 9  
BLOCK H  
REGISTERED PLAN 19-B

REGISTERED



**NOTE:**

THIS PLAN IS IN METRIC AND CAN BE CONVERTED  
TO IMPERIAL BY MULTIPLYING BY 3.2808

HYDRO POLE SHOWN HP

**CAUTION:**

THIS IS NOT A PLAN OF SURVEY AND SHALL NOT  
BE USED FOR PURPOSES OTHER THAN THE  
PURPOSE INDICATED IN THE TITLE BLOCK.

© COPYRIGHT JEWITT AND DIXON LTD. 2020

NO PERSON MAY COPY, REPRODUCE, DISTRIBUTE, OR ALTER THIS PLAN, IN WHOLE  
OR IN PART, WITHOUT THE WRITTEN PERMISSION OF JEWITT AND DIXON LTD.

**JEWITT AND DIXON LTD.  
ONTARIO LAND SURVEYORS**

R.R.1, SIMCOE, ONTARIO, N3Y 4J9  
(51 PARK ROAD)

PHONE: (519) 426-0842 FAX: (519) 426-1034  
E-mail: [surveyors@amtelecom.net](mailto:surveyors@amtelecom.net)

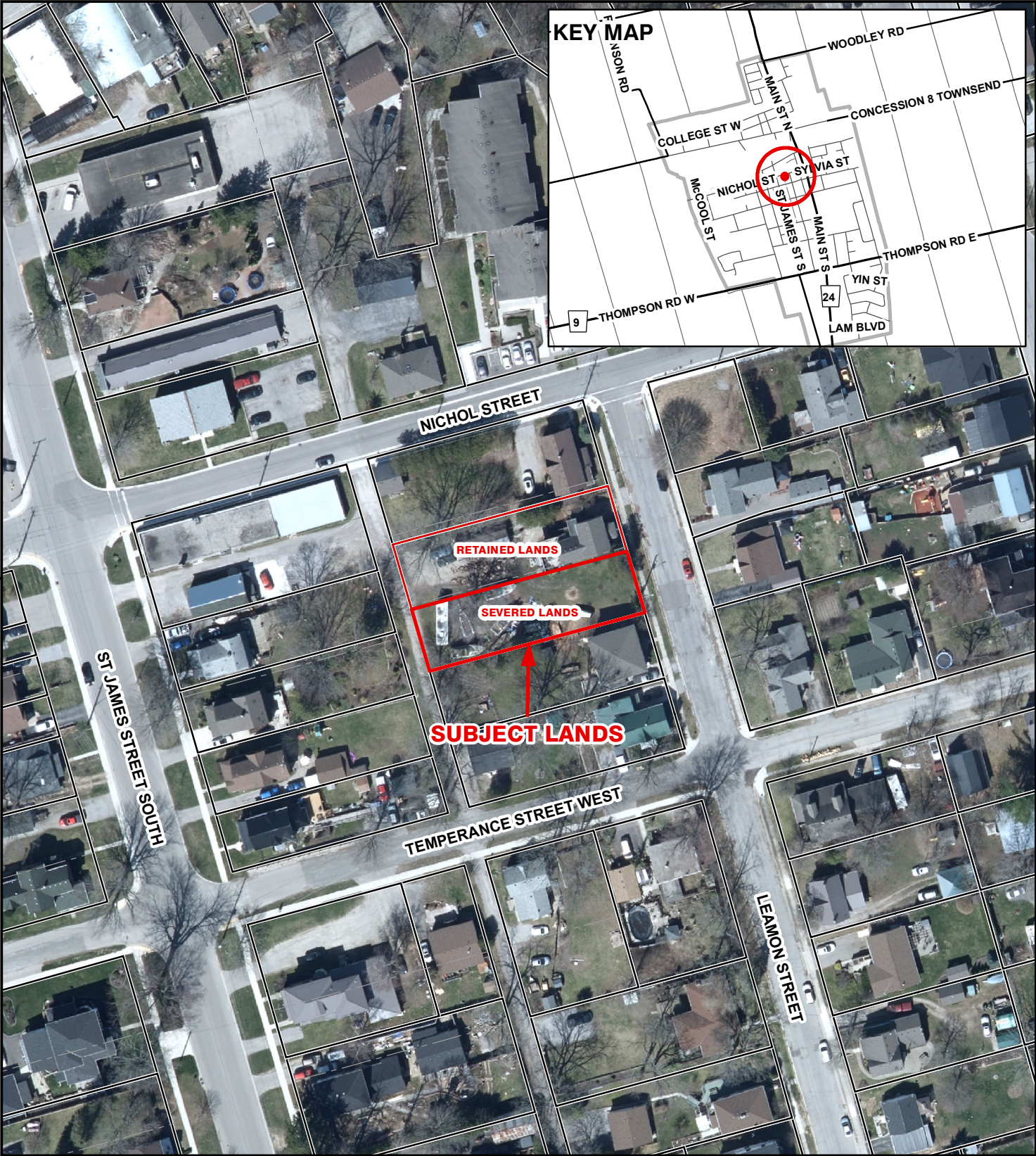
JOB # 21-3248-SK CLIENT THORNE





CLIENT  MR. THORNE & MS. SHEELER	PROJECT NAME 66 LEAMON STREET  WATERFORD		<div><div></div><div>IBI</div><div></div></div> IBI GROUP Suite 101 - 410 Albert Street Waterloo ON N2L 3V3 Canada tel 519 585 2255 ibigroup.com	
	SCALE: 1:400	DATE: 2022-01-07		
	PROJECT MGR: D.W.S.	DRAWN BY: J.M.		
	CHECKED BY: C.T.	APPROVED BY: D.W.S.		
	PROJECT NO: 137077			
FIGURE NAME PROPOSED SEVERANCE CONCEPT PLAN - AERIAL PHOTO			FIGURE NO.  1	REVISION  1



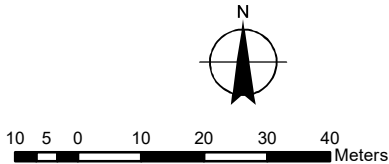


Legend

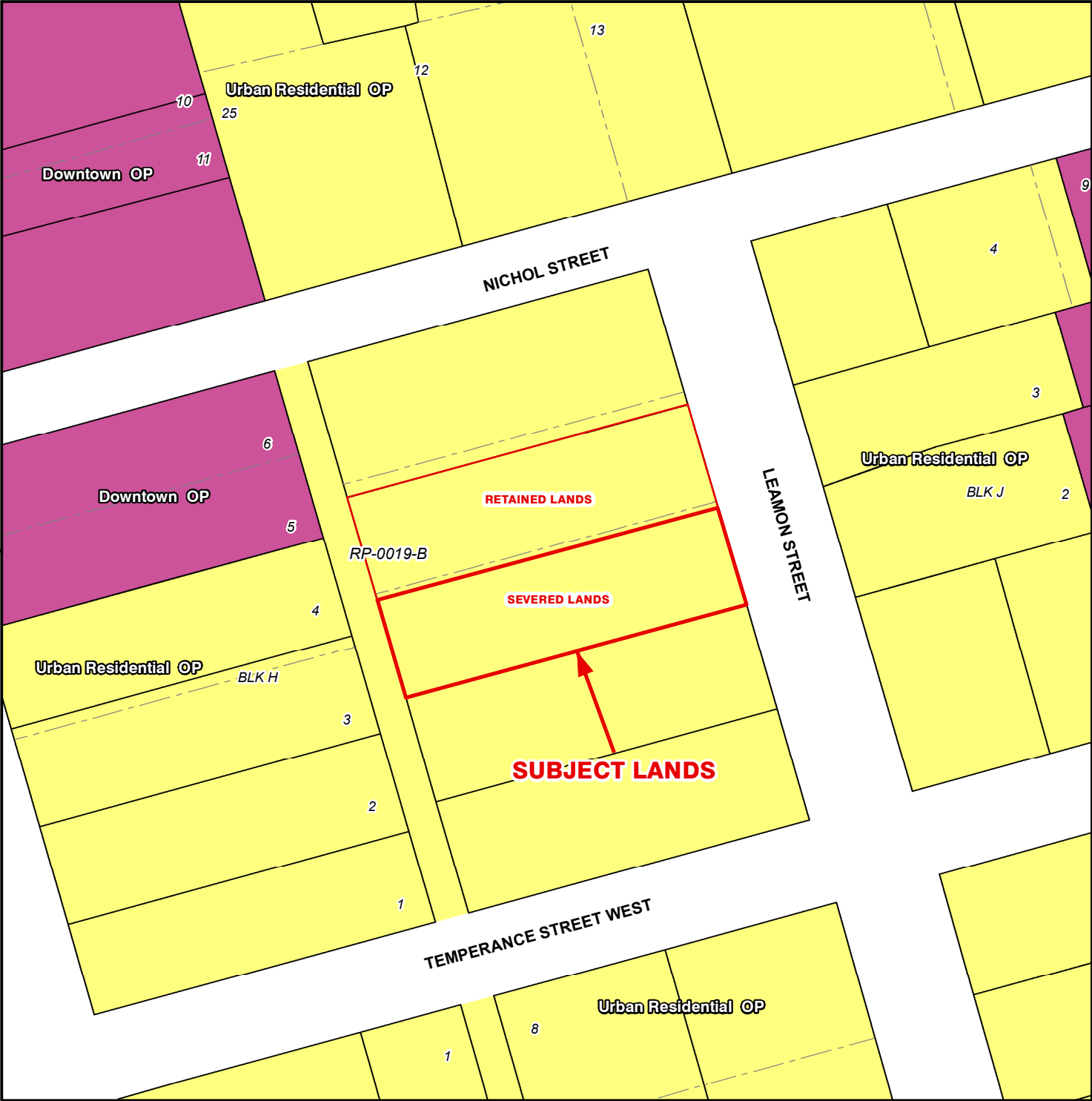
-  Subject Lands
-  Lands Owned

2020 Air Photo

2/3/2022







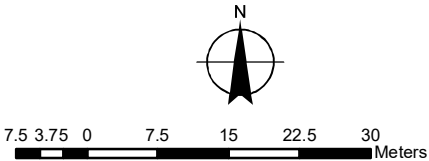
**Legend**

- Subject Lands
- Lands Owned

**Official Plan Designations**

- Urban Residential
- Downtown
- Urban Area Boundary

2/3/2022

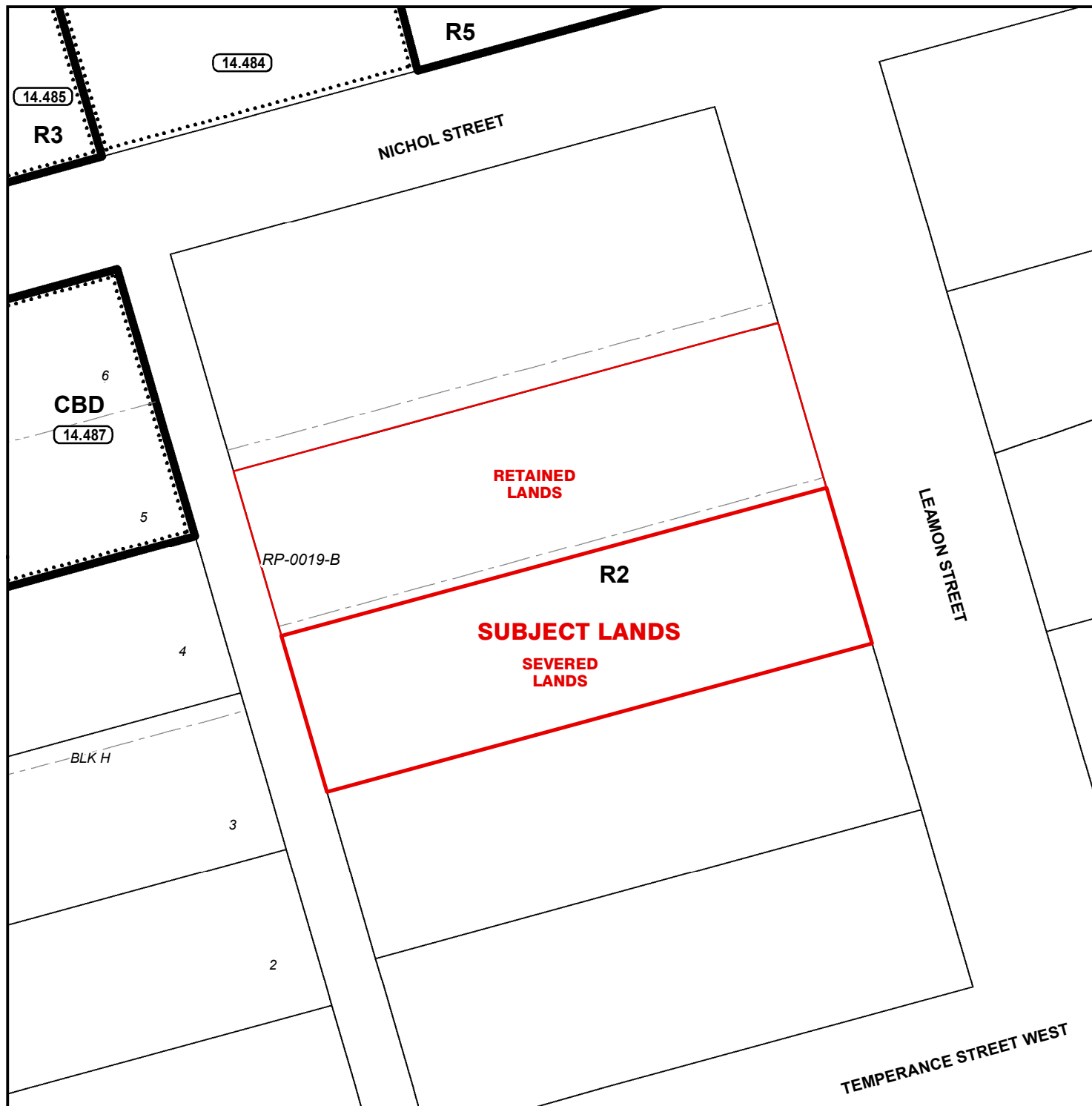


# MAP C

## ZONING BY-LAW MAP

Urban Area of WATERFORD

BNPL2022038



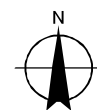
2/3/2022

### LEGEND

- Subject Lands
- Lands Owned

### ZONING BY-LAW 1-Z-2014

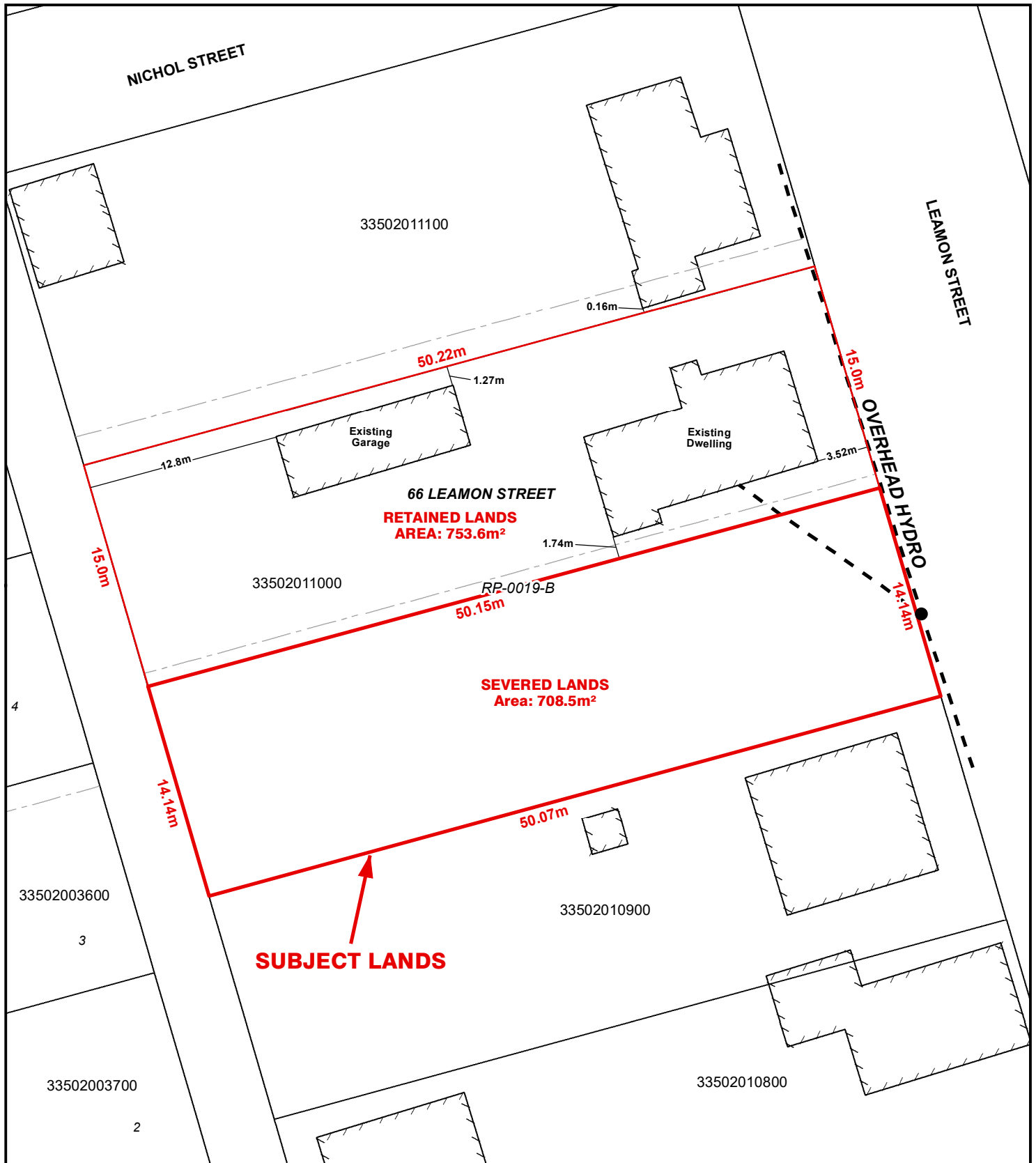
- (H) - Holding
- CBD - Central Business District Zone
- R2 - Residential R2 Zone
- R3 - Residential R3 Zone
- R5 - Residential R5 Zone



4 2 0 4 8 12 16 Meters

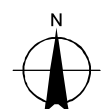
# CONCEPTUAL PLAN

Urban Area of WATERFORD



## Legend

- Subject Lands
- Lands Owned

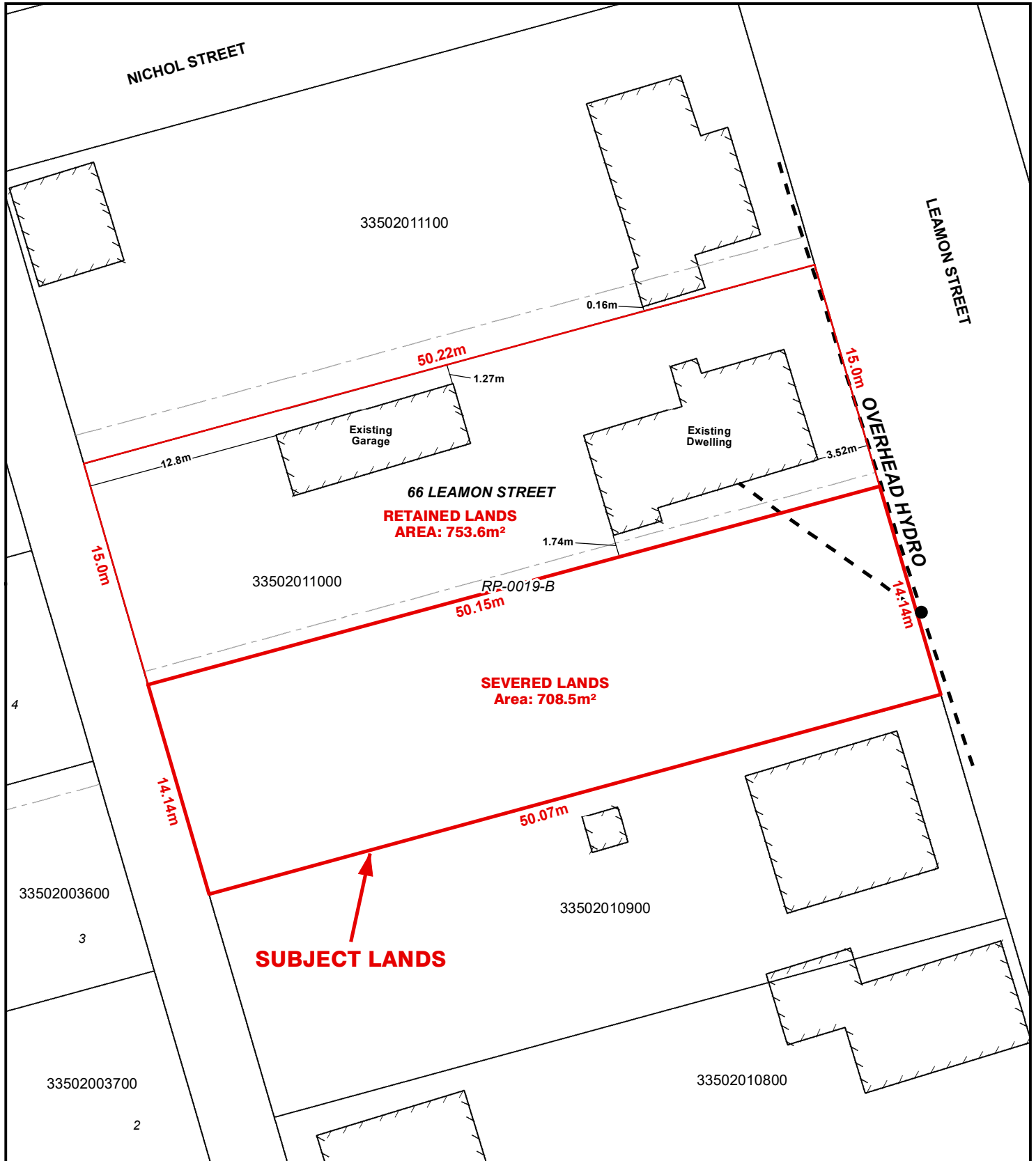


2/3/2022

2.5 1.25 0 2.5 5 7.5 10 Meters

## CONCEPTUAL PLAN

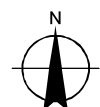
Urban Area of WATERFORD



### Legend

- Subject Lands
- Lands Owned

2/3/2022



2.5 1.25 0 2.5 5 7.5 10 Meters