

Planning Application - Submitted

Project Number: BNPL2024262

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Thank you. Your Application has been received, but is not yet deemed complete. Staff will review your submission within the next 30 days for completeness. Should you have questions about the planning process, please email planning@norfolkcounty.ca, including reference to your application number.

Planning Information ☺

Project Descriptive Name: Consent at 1601 Old Brock Street, Vittoria

Project Type: Consent

Application Types: Consent

Comments: After amending the Norfolk County Zoning By-law so that a portion of this property is zoned Hamlet Residential, it is now proposed to sever these residentially zoned lands to create a new hamlet residential lot.

Locations: Address
1601 OLD BROCK STREET

Property
3310493060102000000

Contacts: Property Owner
Not shown for privacy reasons

Property Owner
Not shown for privacy reasons

Property Owner
Not shown for privacy reasons

Applicant
ELDER PLANS INC., Address:32 MILLER CRES, Phone:(519) 429-4933

Additional Info ☺

Are you the property owner? If No
so, check this box.:

Related File Number: ZNPL2024092

Roll #: 331049306010200

Consent ☺

No additional information was required for this planning type.

Documents & Images ☺

Date Uploaded	File Type	Name
07/19/2024		Committee-of-Adjustment-Application-May-2023 submission
07/19/2024		app page 12 signed
07/19/2024		23-3930 SevSk Lawrence
07/19/2024		Vittoria Hydrogeology
07/19/2024		By law 2024 55

Please print this page or record the application number for future reference. You will need it in order to view the status of your application online.

Please select a link below to access the Norfolk County Portal.

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[Portal Home](#)

5/16/5
5/14/5

For Office Use Only:

File Number	_____	Application Fee	_____
Related File Number	_____	Conservation Authority Fee	_____
Pre-consultation Meeting	_____	Well & Septic Info Provided	_____
Application Submitted	_____	Planner	_____
Complete Application	_____	Public Notice Sign	_____

Check the type of planning application(s) you are submitting.

- ☒ Consent/Severance/Boundary Adjustment
☐ Surplus Farm Dwelling Severance and Zoning By-law Amendment
☐ Minor Variance
☐ Easement/Right-of-Way

Property Assessment Roll Number: 331049306010200**A. Applicant Information****Name of Owner** Bill and Heather Lawrence

It is the responsibility of the owner or applicant to notify the planner of any changes in ownership within 30 days of such a change.

Address 1601 Old Brock Street**Town and Postal Code** Vittoria, ON N0E 1W0**Phone Number** 519-428-9257**Cell Number** _____**Email** whlawrence@execulink.com**Name of Applicant** same as owner**Address** _____**Town and Postal Code** _____**Phone Number** _____**Cell Number** _____**Email** _____

Name of Agent Mary Elder, Elder Plans Inc.
Address 32 Miller Cres
Town and Postal Code Simcoe, ON N3Y 4K5
Phone Number _____
Cell Number 519-429-4933
Email elderplans2018@gmail.com

Please specify to whom all communications should be sent. Unless otherwise directed, all correspondence and notices in respect of this application will be forwarded to the owner and agent noted above.

☒ Owner ☒ Agent ☐ Applicant

Names and addresses of any holder of any mortgagees, charges or other encumbrances on the subject lands:

B. Location, Legal Description and Property Information

1. Legal Description (include Geographic Township, Concession Number, Lot Number, Block Number and Urban Area or Hamlet):

CHR PLAN 29B BLK 10 PT LOT 7 RP 37R8695 PART 1

Hamlet of Vittoria

Municipal Civic Address: 1601 Old Brock Street

Present Official Plan Designation(s): Hamlet

Present Zoning: Hamlet for proposed lot and Agricultural for retained lands

2. Is there a special provision or site specific zone on the subject lands?

☒ Yes ☐ No If yes, please specify:

14.1057 minimum lot area: i. interior lot – 3100 square metres;

3. Present use of the subject lands:

vacant residential land

4. Please describe **all existing** buildings or structures on the subject lands and whether they are to be retained, demolished or removed. If retaining the buildings or structures, please describe the type of buildings or structures, and illustrate the setback, in metric units, from front, rear and side lot lines, ground floor area, gross floor area, lot coverage, number of storeys, width, length, and height on your attached sketch which must be included with your application:
no structures on proposed lot A single detached dwelling along with 2 accessory
buildings are located on the lands to be retained.

5. If an addition to an existing building is being proposed, please explain what it will be used for (for example a bedroom, kitchen, or bathroom). If new fixtures are proposed, please describe.

6. Please describe **all proposed** buildings or structures/additions on the subject lands. Describe the type of buildings or structures/additions, and illustrate the setback, in metric units, from front, rear and side lot lines, ground floor area, gross floor area, lot coverage, number of storeys, width, length, and height on your attached sketch which must be included with your application:
the owner of the new lot would build a single detached dwelling and perhaps accessory
buildings.

7. Are any existing buildings on the subject lands designated under the *Ontario Heritage Act* as being architecturally and/or historically significant? Yes ☐ No ☒
If yes, identify and provide details of the building:

8. If known, the length of time the existing uses have continued on the subject lands:
the current owner built the dwelling 20 years ago

9. Existing use of abutting properties:
residential or agricultural

10. Are there any easements or restrictive covenants affecting the subject lands?
☐ Yes ☒ No If yes, describe the easement or restrictive covenant and its effect:

C. Purpose of Development Application

Note: Please complete all that apply. **Failure to complete this section will result in an incomplete application.**

1. Site Information (Please refer to Zoning By-law to confirm permitted dimensions)

	Existing	Permitted	Provision	Proposed	Deficiency
Lot frontage	149.41 m	30m min	Hamlet 5.7.2.b	30.48m	
Lot depth	104.06m			103.68 m	
Lot width	149.41 m			30.48 m	
Lot area	13,625.8 sq m	3100 sq m	14.1057	3155.7 sq m	
Lot coverage	3.08%				
Front yard	more than 35 m	6 m	5.7.2 c	6 m or more	
Rear yard	27.4 m	9 m	5.7.2 f	9 m or more	
Height	less than 11 m	11 m	5.7.2 g	less than 11 m	
Left Interior side yard	more than 20 m	3 m or 1.2 m	5.7.2 e	more than 1.2 m	
Right Interior side yard	NA				
Exterior side yard (corner lot)	NA				
Parking Spaces (number)	2	2	4.9	2	
Aisle width					
Stall size	3 m X 5.8 m	3 m X 5.8 m	4.1.3	3 m X 5.8 m	
Loading Spaces					
Other					

2. Please explain why it is not possible to comply with the provision(s) of the Zoning By-law:

3. **Consent/Severance/Boundary Adjustment:** Description of land intended to be severed in metric units:

Frontage: 30.48 m
Depth: 103.68 m
Width: 30.48 m
Lot Area: 3155.7 sq m
Present Use: vacant residential land
Proposed Use: new hamlet residential lot

Proposed final lot size (if boundary adjustment):

If a boundary adjustment, identify the assessment roll number and property owner of the lands to which the parcel will be added:

Description of land intended to be retained in metric units:

Frontage: 118.93 m
Depth: 104.06m
Width: 118.93 m
Lot Area: 10,470.1 sq m
Present Use: hamlet residential lot
Proposed Use: same as owner

Buildings on retained land: single detached dwelling and 2 accessory buildings

4. **Easement/Right-of-Way:** Description of proposed right-of-way/easement in metric units:

Frontage:
Depth:

Width: _____
Area: _____
Proposed Use: _____

5. Surplus Farm Dwelling Severances Only: List all properties in Norfolk County, which are owned and farmed by the applicant and involved in the farm operation

Owners Name: _____
Roll Number: _____
Total Acreage: _____
Workable Acreage: _____
Existing Farm Type: (for example: corn, orchard, livestock) _____
Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built _____
Date of Land Purchase: _____

Owners Name: _____
Roll Number: _____
Total Acreage: _____
Workable Acreage: _____
Existing Farm Type: (for example: corn, orchard, livestock) _____
Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built _____
Date of Land Purchase: _____

Owners Name: _____
Roll Number: _____
Total Acreage: _____
Workable Acreage: _____
Existing Farm Type: (for example: corn, orchard, livestock) _____
Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built _____
Date of Land Purchase: _____

Owners Name: _____
Roll Number: _____
Total Acreage: _____
Workable Acreage: _____
Existing Farm Type: (for example: corn, orchard, livestock) _____
Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built _____
Date of Land Purchase: _____

Owners Name: _____
Roll Number: _____
Total Acreage: _____
Workable Acreage: _____
Existing Farm Type: (for example: corn, orchard, livestock) _____
Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built _____
Date of Land Purchase: _____

Note: If additional space is needed please attach a separate sheet.

D. All Applications: Previous Use of the Property

1. Has there been an industrial or commercial use on the subject lands or adjacent lands? ☐ Yes ☒ No ☐ Unknown

If yes, specify the uses (for example: gas station, or petroleum storage):

2. Is there reason to believe the subject lands may have been contaminated by former uses on the site or adjacent sites? ☐ Yes ☒ No ☐ Unknown

3. Provide the information you used to determine the answers to the above questions:
owners knowledge

4. If you answered yes to any of the above questions in Section D, a previous use inventory showing all known former uses of the subject lands, or if appropriate, the adjacent lands, is needed. Is the previous use inventory attached? ☐ Yes ☐ No

E. All Applications: Provincial Policy

1. Is the requested amendment consistent with the provincial policy statements issued under subsection 3(1) of the *Planning Act, R.S.O. 1990, c. P. 13*? ☒ Yes ☐ No

If no, please explain:

2. It is owner's responsibility to be aware of and comply with all relevant federal or provincial legislation, municipal by-laws or other agency approvals, including the Endangered Species Act, 2007. Have the subject lands been screened to ensure that development or site alteration will not have any impact on the habitat for endangered or threatened species further to the provincial policy statement subsection 2.1.7? ☒ Yes ☐ No

If no, please explain:

3. Have the subject lands been screened to ensure that development or site alteration will not have any impact on source water protection? ☒ Yes ☐ No

If no, please explain:

Note: If in an area of source water Wellhead Protection Area (WHPA) A, B or C please attach relevant information and approved mitigation measures from the Risk Manager Official.

4. All Applications: Are any of the following uses or features on the subject lands or within 500 metres of the subject lands, unless otherwise specified? Please check boxes, if applicable.

Livestock facility or stockyard (submit MDS Calculation with application)

☐ On the subject lands or ☐ within 500 meters – distance _____

Wooded area

☐ On the subject lands or ☒ within 500 meters – distance retained lot

Municipal Landfill

☐ On the subject lands or ☐ within 500 meters – distance _____

Sewage treatment plant or waste stabilization plant

☐ On the subject lands or ☐ within 500 meters – distance _____

Provincially significant wetland (class 1, 2 or 3) or other environmental feature

☐ On the subject lands or ☒ within 500 meters – distance retained lot

Floodplain

☐ On the subject lands or ☒ within 500 meters – distance on retained lot

Rehabilitated mine site

☐ On the subject lands or ☐ within 500 meters – distance _____

Non-operating mine site within one kilometre

☐ On the subject lands or ☐ within 500 meters – distance _____

Active mine site within one kilometre

☐ On the subject lands or ☐ within 500 meters – distance _____

Industrial or commercial use (specify the use(s))

☐ On the subject lands or ☐ within 500 meters – distance _____

Active railway line

☐ On the subject lands or ☐ within 500 meters – distance _____

Seasonal wetness of lands

☐ On the subject lands or ☒ within 500 meters – distance retained lot

Erosion

☐ On the subject lands or ☐ within 500 meters – distance _____

Abandoned gas wells

☐ On the subject lands or ☐ within 500 meters – distance _____

F. All Applications: Servicing and Access

1. Indicate what services are available or proposed:

Water Supply

☐ Municipal piped water

☒ Individual wells

☐ Communal wells

☐ Other (describe below)

Sewage Treatment

☐ Municipal sewers

☐ Communal system

☒ Septic tank and tile bed in good working order

☐ Other (describe below)

Storm Drainage

☐ Storm sewers

☒ Open ditches

☐ Other (describe below)

2. Existing or proposed access to subject lands:

☒ Municipal road

☐ Provincial highway

☐ Unopened road

☐ Other (describe below)

Name of road/street:

Old Brock Street

G. All Applications: Other Information

1. Does the application involve a local business? ☐ Yes ☒ No

If yes, how many people are employed on the subject lands?

2. Is there any other information that you think may be useful in the review of this application? If so, explain below or attach on a separate page.

appeal period for Zoning amendment 2024-55 ended on July 17, 2024.

H. Supporting Material to be submitted by Applicant

In order for your application to be considered complete, folded hard copies (number of paper copies as directed by the planner) and an **electronic version (PDF) of the site plan drawings, additional plans, studies and reports** will be required, including but not limited to the following details:

1. Concept/Layout Plan
2. All measurements in metric
3. Existing and proposed easements and right of ways
4. Parking space totals – required and proposed
5. All dimensions of the subject lands
6. Dimensions and setbacks of all buildings and structures
7. Location and setbacks of septic system and well from all existing and proposed lot lines, and all existing and proposed structures
8. Names of adjacent streets
9. Natural features, watercourses and trees

In addition, the following additional plans, studies and reports, including but not limited to, **may** also be required as part of the complete application submission:

- ☐ On-Site Sewage Disposal System Evaluation Form (to verify location and condition)
- ☐ Environmental Impact Study
- ☐ Geotechnical Study / Hydrogeological Review
- ☐ Minimum Distance Separation Schedule
- ☐ Record of Site Condition

Your development approval might also be dependent on Ministry of Environment Conservation and Parks, Ministry of Transportation or other relevant federal or provincial legislation, municipal by-laws or other agency approvals.

All final plans must include the owner's signature as well as the engineer's signature and seal.

I. Transfers, Easements and Postponement of Interest

The owner acknowledges and agrees that if required it is their solicitor's responsibility on behalf of the owner for the registration of all transfer(s) of land to the County, and/or transfer(s) of easement in favour of the County and/or utilities. Also, the owner further acknowledges and agrees that it is their solicitor's responsibility on behalf of the owner for the registration of postponements of any charges in favour of the County.

Permission to Enter Subject Lands

Permission is hereby granted to Norfolk County officers, employees or agents, to enter the premises subject to this application for the purposes of making inspections associated with this application, during normal and reasonable working hours.

Freedom of Information

For the purposes of the *Municipal Freedom of Information and Protection of Privacy Act*, I authorize and consent to the use by or the disclosure to any person or public body any information that is collected under the authority of the *Planning Act, R.S.O. 1990, c. P. 13* for the purposes of processing this application.

Owner/Applicant/Agent Signature

Date

J. Owner's Authorization

If the applicant/agent is not the registered owner of the lands that is the subject of this application, the owner must complete the authorization set out below.

I/We _____ am/are the registered owner(s) of the lands that is the subject of this application.

I/We authorize Mary Elder, Elder Plans Inc. to make this application on my/our behalf and to provide any of my/our personal information necessary for the processing of this application. Moreover, this shall be your good and sufficient authorization for so doing.

Owner

Date

Owner

Date

***Note:** If property is owned by an Ontario Ltd. Corporation, Articles of Incorporation are required to be attached to the application.

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Heather Lawrence Heather Lawrence July 19, 2024
Owner/Applicant/Agent Signature Date

J. Owner's Authorization

If the applicant/agent is not the registered owner of the lands that is the subject of this application, the owner must complete the authorization set out below.

I/We Heather Lawrence am/are the registered owner(s) of the lands that is the subject of this application.

I/We authorize Mary Elder, Elder Plans Inc. to make this application on my/our behalf and to provide any of my/our personal information necessary for the processing of this application. Moreover, this shall be your good and sufficient authorization for so doing.

Heather Lawrence
Owner

July 19/24
Date

Heather Lawrence
Owner

July, 19, 2024
Date

***Note: If property is owned by an Ontario Ltd. Corporation, Articles of Incorporation are required to be attached to the application.**

K. Declaration

I, Mary Elder of Norfolk County

solemnly declare that:

all of the above statements and the statements contained in all of the exhibits transmitted herewith are true and I make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath and by virtue of *The Canada Evidence Act*.

Declared before me at:

Simcoe

Mary E Elder
Owner/Applicant/Agent Signature

In Simcoe, Norfolk County

This 19 day of July

A.D., 2021

Olivia Davies

A Commissioner, etc.

Olivia Catherine Davies, a
Commissioner, etc., Province of Ontario,
for the Corporation of Norfolk County.
Expires May 23, 2027.

Bill Lawrence

From: Mary Elder [elderplans2018@gmail.com]
Sent: Friday, July 12, 2024 11:00 AM
To: Bill Lawrence
Subject: Question of a \$500 deposit

I checked my records and did not find a deposit from you to me. I did find some interesting things.

On May 12, 2023 you paid Norfolk County \$500 for a pre-consultation. The pre-consultation was held on August 16 2023. That amount was to be deducted from your planning application as long as you proceeded within a year. On March 26, 2024 you paid Norfolk County \$12,178 for the zoning amendment process. The receipt does not show any deduction for the pre-consultation. You should take this up with the County with my help if needed. They could refund it or maybe they would deduct it from the severance application.

Also on March 26, 2023 you paid Long Point Region Conservation Authority \$514.15.

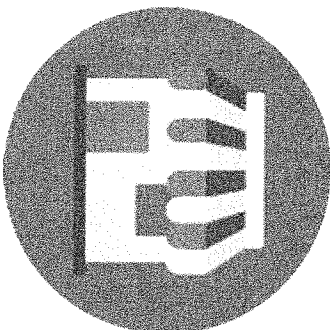
Please check your records to confirm this. If I missed something please let me know.

Thanks for bringing the cheque yesterday.

Mary Elder MCIP RPP
Elder Plans Inc.
519-429-4933

Bill Lawrence

From: LONG POINT REGION CONS (via Clover) [app@clover.com]
Sent: Friday, July 19, 2024 4:32 PM
To: whlawrence@execulink.com
Subject: Your receipt from LONG POINT REGION CONS



LONG POINT REGION CONS

4 ELM STREET, TILLSON BURGE, ON N4G 0C4
+1 519-842-4242

July 19, 2024 ~ 4:30 PM

\$514.15

[full transaction receipt](#)

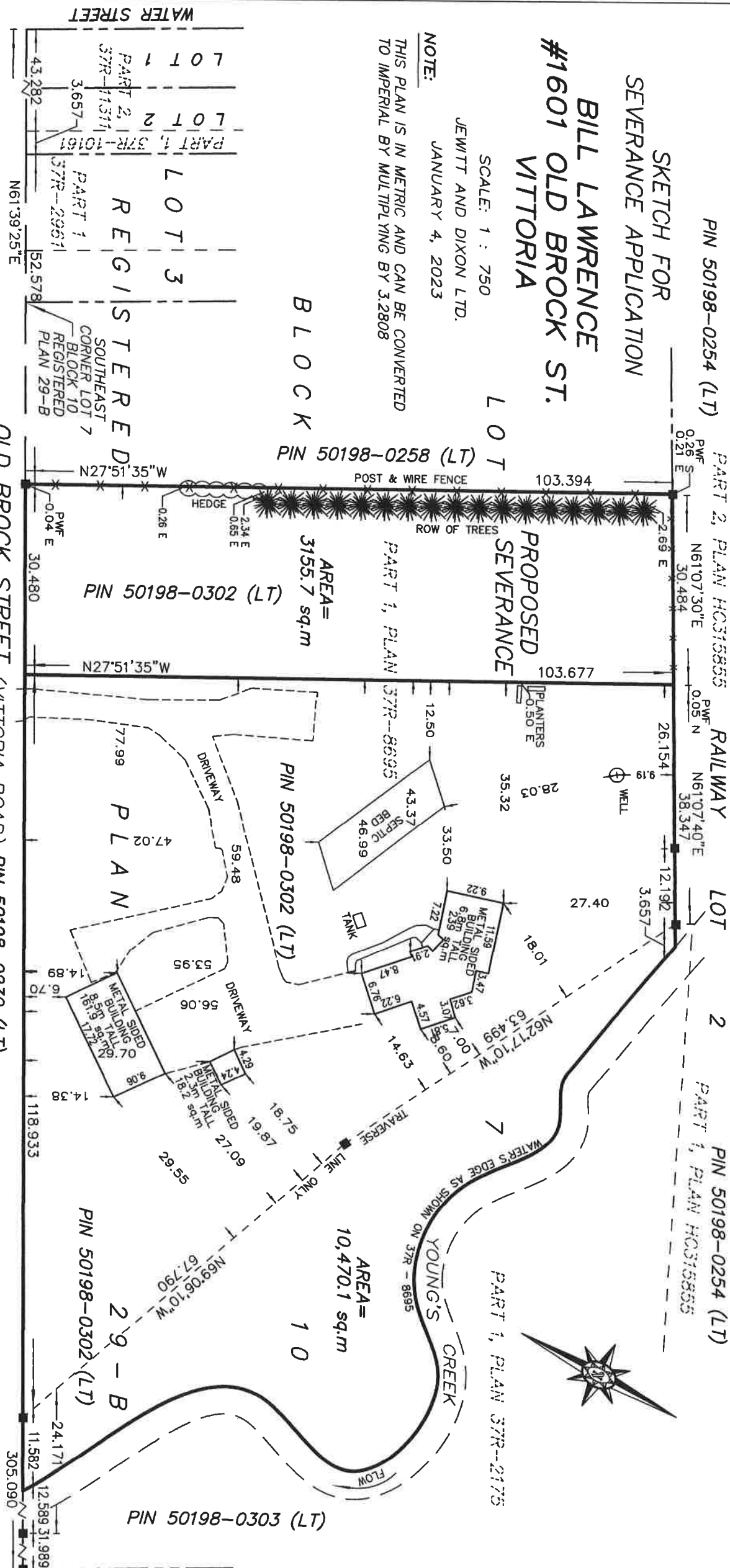
WWW.LPRCA.ON.CA

SKETCH FOR
SEVERANCE APPLICATION

BILL LAWRENCE
#1601 OLD BROCK ST.
VITTORIA

SCALE: 1 : 750
JEWITT AND DIXON LTD.
JANUARY 4, 2023

NOTE:
THIS PLAN IS IN METRIC AND CAN BE CONVERTED
TO IMPERIAL BY MULTIPLYING BY 3.2808



CAUTION:

THIS IS NOT A PLAN OF SURVEY AND SHALL NOT
BE USED FOR PURPOSES OTHER THAN THE
PURPOSE INDICATED IN THE TITLE BLOCK.

© COPYRIGHT JEWITT AND DIXON LTD. 2020

NO PERSON MAY COPY, REPRODUCE, DISTRIBUTE, OR ALTER
THIS PLAN, IN WHOLE OR IN PART, WITHOUT THE WRITTEN
PERMISSION OF JEWITT AND DIXON LTD.

	AREA (sq.m)	% LOT COVERAGE	FRONTAGE	WIDTH	DEPTH
EXISTING	13625.8	3.08%	149.41m	149.41m (IRREG.)	104.06m (IRREG.)
PROPOSED	3155.7	0.0%	30.48m	30.48m (IRREG.)	103.68m (IRREG.)
REMAINDER	10,470.1	4.00%	118.93m	118.93m (IRREG.)	104.06m (IRREG.)

JEWITT AND DIXON LTD.
ONTARIO LAND SURVEYORS
R.R.1, SIMCOE, ONTARIO, N3Y 4J9
(51 PARK ROAD)

PHONE: (519) 426-0842
E-mail: info@jewittdixon.com



The Corporation of Norfolk County

By-Law 2024-55

Being a By-Law to Amend Zoning By-Law 1-Z-2014, as amended, for property described as Part Lot 7, Block 10, Plan 29B, Norfolk County, located at 1601 Old Brock Street.

Whereas Norfolk Council is empowered to enact this By-Law, by virtue of the provisions of Section 34 of the *Planning Act, R.S.O. 1990, CHAPTER P.13*, as amended; and

Whereas this By-Law conforms to the Norfolk County Official Plan; and

Now therefore the Council of The Corporation of Norfolk County hereby enacts as follows:

1. That Schedule A of By-Law 1-Z-2014, as amended, is hereby further amended by changing the zoning of the subject lands identified on Map A (attached to and forming part of this By-Law) from *Agricultural Zone (A)* to *Hamlet Residential Zone (RH)* with special provision 14.1057);
2. That Subsection 14 Special Provisions is hereby further amended by adding new/revised 14.1057 as follows:

14.1057 In lieu of the corresponding provisions in the *RH Zone*, the following shall apply:

a) minimum *lot area*:

i. *interior lot* – 3100 square metres;

3. That the effective date of this By-Law shall be the date of passage thereof.

Enacted and passed this 18th day of June, 2024.

A handwritten signature in dark ink, appearing to read "A. Martin", written over a horizontal line.

Mayor: A. Martin

A handwritten signature in dark ink, appearing to read "T. Rodrigues", written over a horizontal line.

Acting County Clerk: T. Rodrigues

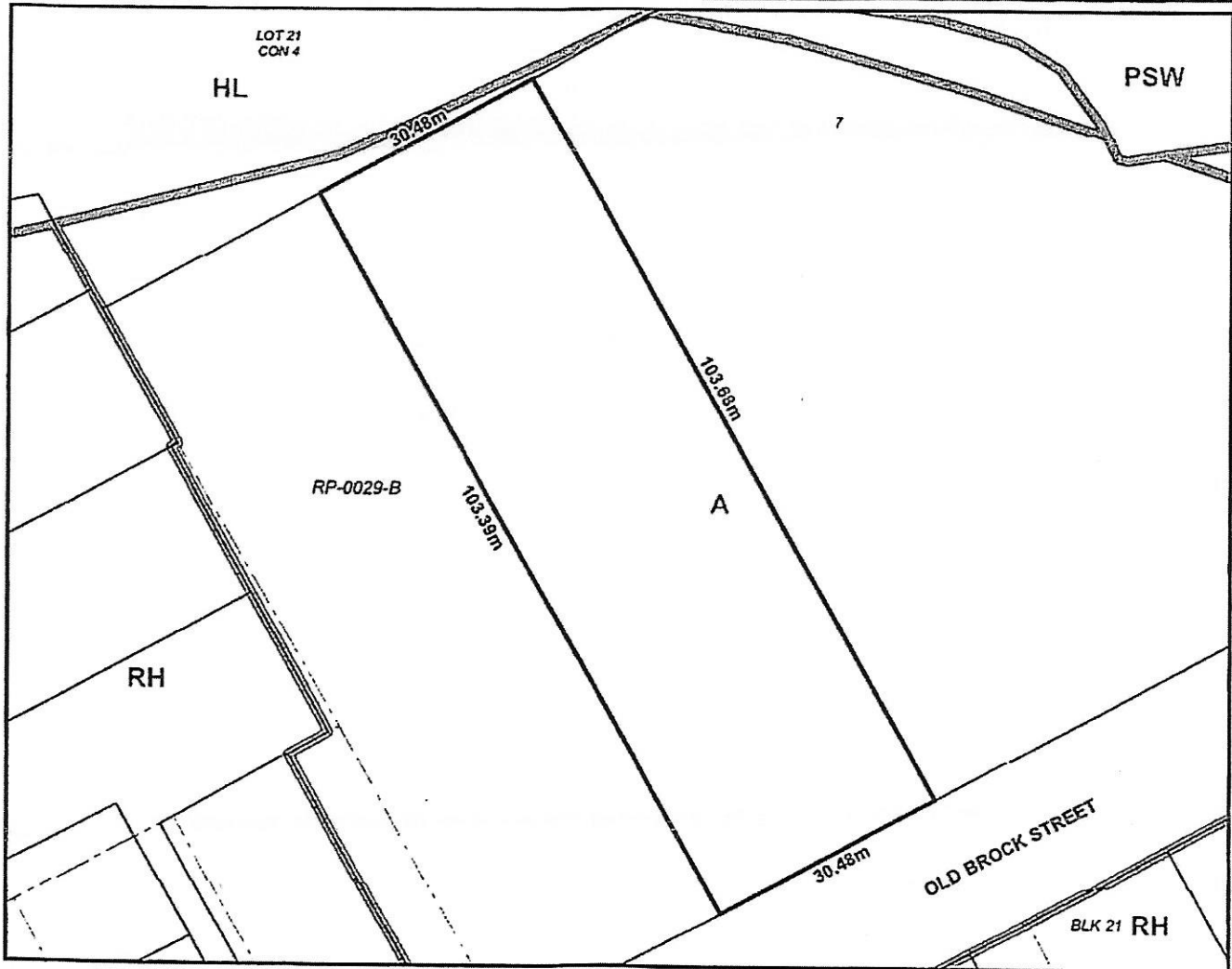
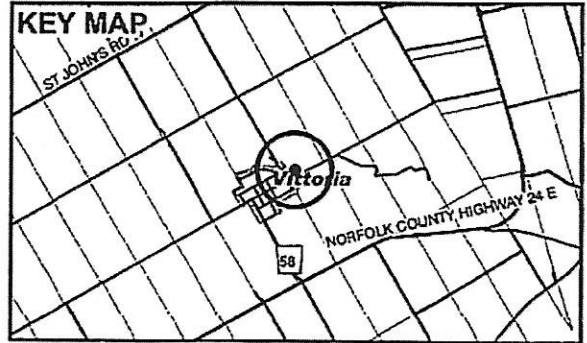
MAP A

ZONING BY-LAW AMENDMENT

NORFOLK COUNTY

In the Geographic Township of

CHARLOTTEVILLE



LEGEND



Subject Lands

ZONING BY-LAW 1-Z-2014

(H) - Holding

HL - Hazard Land Zone

From: A

A - Agricultural Zone

PSW - Provincially Significant Wetland Zone

To: RH with Special Provision
14.1057

RH - Hamlet Residential Zone



1:800

6 3 0 6 12 18 24 Meters

This is MAP A to Zoning By-law 2024-55 Passed the 18th day of June, 2024

A. Martin
Mayor: A. Martin

Therique
County Clerk

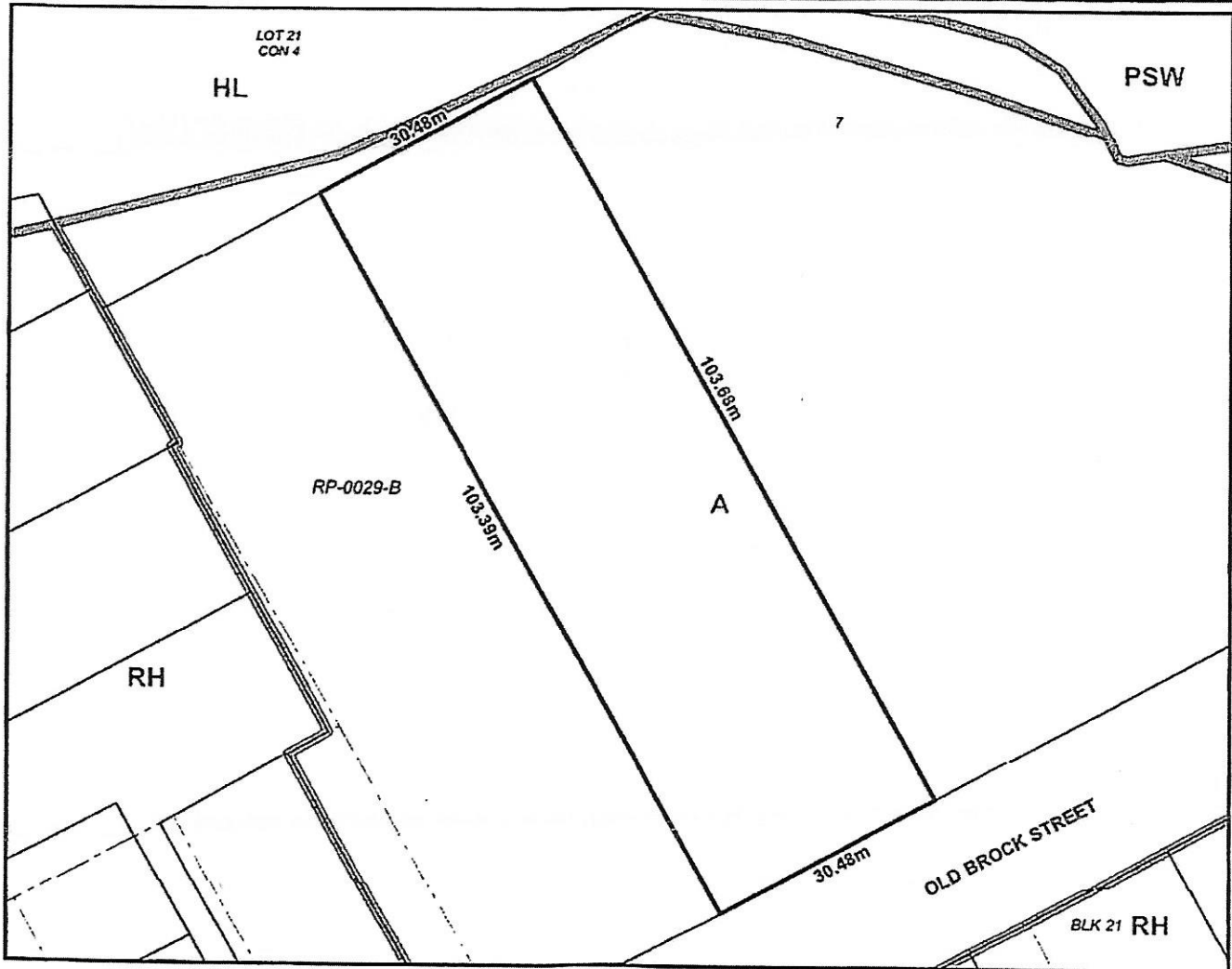
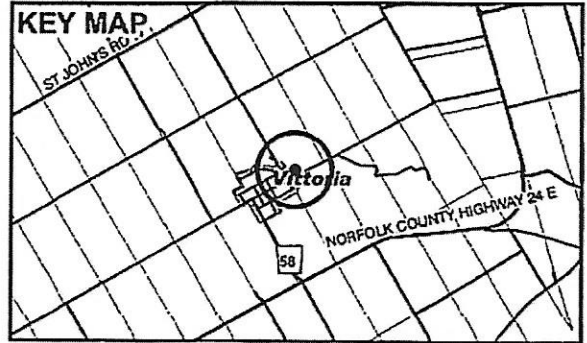
MAP A

ZONING BY-LAW AMENDMENT

NORFOLK COUNTY

In the Geographic Township of

CHARLOTTEVILLE



LEGEND



Subject Lands

ZONING BY-LAW 1-Z-2014

(H) - Holding

HL - Hazard Land Zone

From: A

A - Agricultural Zone

PSW - Provincially Significant Wetland Zone

To: RH with Special Provision
14.1057

RH - Hamlet Residential Zone



1:800

6 3 0 6 12 18 24 Meters

This is MAP A to Zoning By-law 2024-55 Passed the 18th day of June, 2024

A. Martin
Mayor: A. Martin

Therique
County Clerk

**Explanation of the Purpose and Effect of
By-Law 2024-55**

This By-Law affects a parcel of land described as Concession 3 Part Lot 21, located at 1601 Old Brock Street.

The purpose of this By-Law is to change the zoning on the subject lands from Agricultural to Hamlet Residential with a special provision for reduced lot area. The change would have the effect of facilitating a consent to sever to create one new residential lot.

October 17, 2023

Mr. Bill Lawrence
1601 Old Brock Street
Vittoria, ON
N0E 1W0

Wilson Associates

Consulting Hydrogeologists

Dear Mr. Lawrence:

Re: Hydrogeological Assessment - Proposed Residential Lot
1601 Old Brock Street, Vittoria

It is proposed to create one residential lot by severance from the western portion of the existing ± 1.34 ha parcel of land located at 1601 Old Brock Street, Vittoria. The proposed lot is planned to be situated within the western 30m of the existing parcel, with an approximate area of 0.31ha (± 30 m x ± 103 m). The retained lot will be approximately 1.03ha in area. The attached map shows the location of the site.

It is proposed to service the lot with an individual water well and an individual subsurface sewage disposal system.

To support the development proposal, a hydrogeological study was conducted involving the following:

- Exploratory test holes were completed within the proposed lot areas to collect representative soil samples for percolation rate analyses and to identify shallow groundwater conditions.
- Sewage system development density assessment under current Ministry of the Environment, Conservation and Parks (MECP) Procedure D-5-4 "Technical Guideline For Individual On-Site Sewage Systems : Water Quality Impact Risk Assessment", commonly known as the "nitrate guideline".
- A review of water well records to provide comment regarding aquifer conditions and groundwater supply potential.
- Collection of a sample of potable water from the existing water source at 1601 Old Brock Street to confirm drinking water quality.

At your request, the above hydrogeologic investigative requirements were addressed through a test hole and groundwater sampling program conducted September 15, 2023 and a subsequent background hydrogeologic analysis. This report provides a summary of background hydrogeologic information, groundwater availability, upper aquifer water quality, the results of the soils suitability study and comment regarding sewage impact potential.

SITE SETTING, GEOLOGY AND HYDROGEOLOGY

The proposed lot is located within the eastern periphery of the Community of Vittoria, on the north side of Old Brock Street, about 105m east of Water Street. The subject lands are mostly cleared and in use as a residential yard. The proposed lot exhibits an overall relatively flat relief, with a slight surface slope to the north or northeast. Lands to the west and south are occupied by residential lots. Lands to the north and east are undeveloped forest in the valley of Young's Creek. Young's Creek forms the existing property's eastern property line.

The site is located within the eastern periphery of the Norfolk Sand Plain physiographic region of southern Ontario. According to the Ontario Geological Survey Map 2369 "Quaternary Geology of the Simcoe Area", the upper overburden in the vicinity of the site consists of sand. Glaciolacustrine deposits of varved clay are reported in the vicinity. According to the Ontario Geological Survey Map 2370 "Bedrock Topography of the Simcoe Area", the overburden in the vicinity of the site is about 40m deep. According to local water well records, the upper sands are relatively thin in the vicinity of the site (i.e. <2m) and are underlain by fine-grained deposits. An intermediate-overburden granular deposit is typically reported between 10m and 20m below grade. No information is locally available regarding the lower overburden, as all local wells are reported to have been completed in the upper to intermediate overburden. Regionally, the lower overburden is typically formed of fine-grained deposits.

The bedrock beneath the site consists of limestone and dolostone of the Dundee Formation.

The majority of local groundwater supplies are obtained from the granular deposits of the upper and intermediate overburden. Regionally, the lower overburden typically provides little to no potential for groundwater supply due to its fine-grained character, and the bedrock is less often utilized due to the expense of deep drilling and the potential of obtaining aesthetically poor-quality water.

Shallow groundwater on the site will follow local drainage patterns, likely locally to the northeast or east towards Young's Creek.

WELL POTENTIAL ANALYSIS

To establish well yield and basic water quality probabilities, up-to-date MECP records for water wells located within approximately 250 metres of the proposed lot were reviewed. Records for well abandonments, geotechnical or environmental monitoring wells are not included in the summary. The MECP water well record database contains the records for 35 water wells within the review area, however some wells in the area will be shallow dug or sandpoint wells, which often are unreported to the MECP. Photo-reduced copies of the water well records used in the preparation of the review are attached. The following summarizes the reported well record information within the review area.

Number of wells:	35
Drilled Construction:	30
Dug/Bored Construction:	0
Sandpoint Construction:	5
Unknown Construction:	0
Completed in Overburden:	35 (100%)
Completed in Bedrock:	0

The following summarizes the reported well performance data.

	Maximum	Minimum	Average
Well Depth (m)	26.5	3.7	15.4
Test Rate (L/min)	55	9	30
Test Period (Hours)	30	1	4.5

Reported Water Quality:

Fresh:	34 or 97% (no objectionable tastes or odours)
Sulphurous:	none
Mineralized/Saline:	none
Quality Not Reported:	none
Dry Well:	1 or 3% (screen set too deep, well re-drilled successfully)

The average reported well within about 250 metres of the proposed lot is of drilled construction, completed in the intermediate overburden sand aquifer to a depth of 26.5 metres and yields 30 litres of fresh-quality water per minute over an average period of 4.5 hours. This average yield significantly exceeds the maximum water demand of a normal four bedroom home specified by the MECP (i.e. 18L/min without inline storage). Overall groundwater conditions are favourable for domestic water requirements.

It should be noted that the above summary and analysis is based solely on information contained in the MECP water well record database as reported by drilling contractors and is not subject to quality control, however the overall analytical summary is favourable.

WATER QUALITY

To identify probable potable groundwater quality at the proposed lot, a sample of untreated groundwater was collected from the existing water supply well at 1601 Old Brock Street on September 15, 2023, and submitted to Bureau Veritas Laboratories for bacteriological and general chemistry analysis. The well supplying the house is reported to be a 6.8m deep dug well. The sample was collected in laboratory-supplied bottles, stored in an ice-packed cooler and submitted to the laboratory under chain of custody. The laboratory analytical report is attached.

The laboratory reported that the water from the on-site well contained no detectable Total Coliform, E.Coli bacteria or background bacteria.

The water from the on-site well is slightly alkaline, with a pH value of 8.24. The water from the well is moderately hard, with a hardness value of 270 mg/L as CaCO₃, which is typical of groundwater in the region.

The iron content of the water from the on-site well at 0.9mg/L exceeds the aesthetic Ontario Drinking Water Quality Standard of 0.3mg/L. Iron is not a health-related concern, however elevated levels of iron can induce staining of laundry and plumbing fixtures. If desired, iron is readily treated using a water softener or commercially available iron removal units.

All other chemical parameters were at acceptable levels under the Ontario Drinking Water Quality Standards.

SOILS INVESTIGATION

Test Holes:

Three exploratory test holes were excavated using a portable soil sampling auger within the proposed lot on September 15, 2023. The test holes were each completed to a depth of 1.2m, the soil profile was logged in each hole and representative soil samples were collected from each identified soil horizon for subsequent classification, analysis and storage. The attached diagram shows the approximate test hole locations. The following table provides a summary of the analytical results for representative soil samples.

Table 1 : Summary of Soil Analytical Data

Test Hole/ Sample	Depth (m)	Grain-Size Distribution				“k” (cm/sec)	T-Time (min/cm)
		Clay %	Silt %	Sand %	Gravel %		
TH1 S1	0.5	45	54	1	0	10 ⁻⁷	>50
TH2 S2	0.5	4	17	75	4	3x10 ⁻⁴	15
TH3 S3	1.0	12	34	54	0	3x10 ⁻⁵	25

Note: The above coefficients of permeability (“k” values) and T-times (percolation rates) are estimates based on field observation, laboratory grain-size analysis, experience with similar soils and guidelines of the Ontario Building Code.

In summary, the native soil profile at the northern two test holes (TH2 and TH3) consisted of a sand with some silt to a silty fine sand (Unified Soil Classification Types “SM” and “SC”), which is interpreted to exhibit a percolation rate in the range of 15 to 25 minutes/cm. Test Hole 1 encountered fine-grained silt and clay (probable fill), which is which is interpreted to exhibit a percolation rate in excess of 50 minutes/cm

The grain-size analysis curves are attached. The following provides a summary of the test hole logs:

TEST HOLE 1

<u>Depth (m)</u>	<u>Material</u>
0 - 0.30	probable FILL - brown topsoil
0.30 - 1.22	probable FILL - brown, dense, dry to wet SILT and CLAY with traces of sand (estimated T-time >50 min/cm)

TEST HOLE 2

<u>Depth (m)</u>	<u>Material</u>
0 - 0.20	dark brown TOPSOIL
0.20 - 1.22	brown, loose, dry to wet SAND with some silt and traces of gravel and clay (estimated T-time 15 min/cm)

TEST HOLE 3

<u>Depth (m)</u>	<u>Material</u>
0 - 0.31	dark brown TOPSOIL
0.31 - 1.22	brown, loose, dry to wet silty SAND with some clay (estimated T-time 25 min/cm)

Shallow Groundwater Conditions:

Emergent groundwater was observed in each test hole, at depths of 0.7m in Test Hole 1, 0.6m in Test Hole 2, and 0.7m in Test Hole 3.

Septic System Design:

Under the Ontario Building Code, for a Class 4 sewage disposal system to operate effectively, the leaching bed must be located in soil with a percolation rate (T-time) of between 1 and 50 minutes per centimetre and the base of the absorption trenches must be situated at least 0.9m above the high ground water table, bedrock or a soil with a permeability of greater than 50 minutes per centimetre. To achieve a normal, in-ground installation, the high groundwater table, rock or soil with a permeability of greater than 50 min/cm must be situated at least 1.5 to 1.8 metres below grade.

If the sewage system is located in the central or northern portions of the proposed lot, for preliminary design purposes, it is recommended that a native soil design percolation rate of 25min/cm is assumed. Due to elevated watertable conditions, for preliminary design purposes in the central or northern portions of the proposed lot, it is recommended that the bases of tile trenches should be set no lower than 0.3m above current grade.

If the sewage system is located in the southern portion of the proposed lot, the tile bed will be required to be fully raised due to low permeability fill soils. A fill soil design percolation rate of >50min/cm should be assumed in the southern portion of the lot.

In the central or northern portions of the proposed lot, a standard fill-based sewage disposal system will require a contact area based on a loading rate of $8\text{L/m}^2/\text{day}$ (i.e. 200m^2 for a standard 3-bedroom home with a design sewage flow of $1,600\text{L/day}$, or 250m^2 for a standard 4-bedroom home with a design sewage flow of $2,000\text{L/day}$).

In the southern portion of the proposed lot, a standard fill-based sewage disposal system will require a contact area based on a loading rate of $4\text{L/m}^2/\text{day}$ (i.e. 400m^2 for a standard 3-bedroom home with a design sewage flow of $1,600\text{L/day}$, or 500m^2 for a standard 4-bedroom home with a design sewage flow of $2,000\text{L/day}$).

It is understood that the County typically requires that a full sewage system reserve area be utilized in lot design. As the proposed lot will be in excess of $3,000\text{m}^2$ in area, sufficient area is available for a 200m^2 to 500m^2 primary sewage disposal area (depending on location and house design), 200m^2 or 500m^2 reserve sewage disposal area. Lot design will need to address setbacks to the house envelope and any on-site and nearby shallow wells (30m).

SEWAGE SYSTEM IMPACT ASSESSMENT

Under the current MECP "Technical Guideline For Individual On-Site Sewage Systems : Water Quality Impact Risk Assessment" (Procedure D-5-4, also known as the "nitrate guideline"), each proposed development of five lots or greater utilizing individual on-site sewage systems requires an assessment of groundwater impact potential. The purpose of the assessment is to ensure that the discharge from the individual on-site sewage systems will have a minimal effect on groundwater and the present or potential use of adjacent properties. The assessment involves a three-step process, with the need to advance to the next step dependant on the requirements of the previous step. Where the background nitrate content of shallow groundwater exceeds 10 mg/L , additional development cannot normally be supported.

The water sample collected from the on-site well had no detectable nitrate content, and a background nitrate content of zero is assumed in the calculation below for the subject lands.

Under Step 1 of the guideline, for developments where the lot size for each private residence within the development is one hectare or larger (with no lots being less than 0.8ha in area), the risk that the limits imposed by the guideline may be exceeded is considered acceptable with no additional hydrogeologic assessment. Step 1 of the guideline is not applicable.

Step 2 of the guideline is applicable where groundwater resources can be confidently demonstrated to be hydraulically isolated from potential sewage pathways. Due to the presence of a shallow aquifer and dug wells in the vicinity, Step 2 of the guideline does not apply.

Under Step 3 of the guideline, a mass-balance calculation is used to determine the impact (nitrate) of the proposed lot. Under the current MECP guideline only infiltrating precipitation and the volume of water contained in the sewage may be considered as dilutants for the nitrate contained in septic effluent. To establish the infiltration rate, the percentage of the local water surplus which may infiltrate is calculated using the Rational Method approach. According to the soil evaluation, the soil profile consists of a mix of $\frac{2}{3}$ sandy loam and $\frac{1}{3}$ clay (blended infiltration factor 30%), the overall relief is flat (infiltration factor 30%) and the cover is cleared (infiltration

factor 10%), all resulting in an infiltration factor of 70%. According to the 2009 Long Point Region, Kettle Creek and Catfish Creek Integrated Water Budget Final Report, the water surplus for the area is in the range of 441mm per year (Young/Hay Creeks sub-watershed, precipitation 1004mm/year, evapotranspiration 563mm/year). As such, the annual infiltration rate will be 308mm (70% of 441mm), representing 31% of average annual precipitation in the sub-watershed.

The following mass-balance formula is used to calculate the impact of the proposed lot (total area of parcel = 0.31ha) under the MECP guideline:

$$Q_T C_T = Q_S C_S + Q_P C_P$$

Where:

Q_T = Sum of Q_S and Q_P

C_T = Nitrate concentration

Q_S = Volume of sewage (1000 L/day/lot, per MECP guideline)

C_S = Nitrate content of sewage (40 mg/L)

Q_P = Infiltration (308mm/year x 0.31ha x 10,000L/mm/ha = 9.54x10⁵L/yr)

C_P = Nitrate content of shallow groundwater (0mg/L, see above)

Therefore:

$$(3.65 \times 10^5 \text{ L/yr} + 9.54 \times 10^5 \text{ L/yr}) \times C_T = (3.65 \times 10^5 \text{ L/yr} \times 40 \text{ mg/L}) + (9.54 \times 10^5 \text{ L/yr} \times 0 \text{ mg/L})$$

$$C_T = 11.1 \text{ mg/L}$$

Based on the MECP-specified daily volume of sewage for the purposes of the Procedure D-5-4 assessment, and an infiltration rate of 308mm/year, the impact of the proposed lot (±0.31ha total) under the MECP guideline is 11.1 mg/L nitrate using a conventional sewage disposal system. As this impact exceeds the maximum acceptable impact of 10mg/L nitrate, the proposed lot is not supportable using a conventional sewage disposal system.

The above assessment approach, conducted in accordance with MECP guidelines, does not consider sewage dilution by groundwater flow-through nor does it consider denitrification processes in the subsurface. As such, the assessment will over-estimate the actual degree of groundwater impact of the proposed lot, this considered a safety factor.

For the proposed lot to be viable under the guideline, the lot will be required to utilize an individual subsurface sewage disposal system equipped with tertiary treatment capable of nitrate reduction. The use of such systems is not contemplated for this purpose (or any other purpose) in the MECP guidelines due to the age of the guidelines (ca. 1996), however nitrate reducing treatment systems are now commonly used in the Province under CAN/BNQ 3680-600 Certified Treatment Technologies for total nitrogen reduction. The systems (N-I rated) are commonly capable of a nitrate reduction in the order of 50%, or 20mg/L. The above mass-balance formula is revised to determine the sewage impact of using nitrate-reduction technology on the ±0.31ha lot.

$$Q_T C_T = Q_S C_S + Q_P C_P$$

Where:

Q_T = Sum of Q_S and Q_P

C_T = Nitrate Impact

Q_S = Volume of sewage (1,000 L/day/lot = 3.65×10^5 L/year/lot)

C_S = Nitrate content of sewage (20mg/L using a treatment system)

Q_P = Infiltration (308mm/year \times ± 0.31 ha \times 10,000L/mm/ha = 9.54×10^5 L/yr)

C_P = Nitrate content of groundwater (0mg/L)

Therefore:

$$(3.65 \times 10^5 \text{ L/year/lot} + 9.54 \times 10^5 \text{ L/yr}) \times C_T = (3.65 \times 10^5 \text{ L/year/lot} \times 20 \text{ mg/L}) + (9.54 \times 10^5 \text{ L/yr} \times 0 \text{ mg/L})$$

$$C_T = 5.5 \text{ mg/L}$$

At 5.5mg/L nitrate, the sewage impact will be less than the maximum acceptable level of 10mg/L nitrate, and therefore the proposed lot is viable using a sewage system equipped with nitrate reduction technology.

Based on the above, the sewage system on the proposed lot will be required to utilize nitrate reduction technology capable of an average nitrate reduction of at least 50% (i.e. 20mg/L nitrate). Commercially-available sewage treatment systems (meeting CAN/BNQ 3680-600 Certified Treatment Technologies for total nitrogen reduction) are typically demonstrated to be capable of a nitrate reduction of 50% (or 20mg/L nitrate), and are capable of higher rates of reduction with additional treatment measures. Municipal support and long-term maintenance agreements for individual sewage treatment units are required.

CONCLUSIONS AND RECOMMENDATIONS

1. The average reported well within about 250 metres of the proposed lot is of drilled construction, completed in the intermediate overburden sand aquifer to a depth of 26.5 metres and yields 30 litres of fresh-quality water per minute over an average period of 4.5 hours. This average yield significantly exceeds the maximum water demand of a normal four bedroom home specified by the MECP (i.e. 18L/min without inline storage). Overall groundwater conditions are favourable for domestic water requirements.
2. The quality of water from the on-site well was acceptable. The iron content of the water from the on-site well at 0.9mg/L exceeds the aesthetic Ontario Drinking Water Quality Standard of 0.3mg/L. Iron is not a health-related concern, however elevated levels of iron can induce staining of laundry and plumbing fixtures. If desired, iron is readily treated using a water softener or commercially available iron removal units.
3. If the sewage system is located in the central or northern portions of the proposed lot, for preliminary design purposes, it is recommended that a native soil design percolation rate of 25min/cm is assumed. Due to elevated watertable conditions, for preliminary design purposes in the central or northern portions of the proposed lot, it is recommended that the bases of tile trenches should be set no lower than 0.3m above

current grade.

4. If the sewage system is located in the southern portion of the proposed lot, the tile bed will be required to be fully raised due to low permeability fill soils. A fill soil design percolation rate of $>50\text{min/cm}$ should be assumed in the southern portion of the lot.
5. In the central or northern portions of the proposed lot, a standard fill-based sewage disposal system will require a contact area based on a loading rate of $8\text{L/m}^2/\text{day}$ (i.e. 200m^2 for a standard 3-bedroom home with a design sewage flow of $1,600\text{L/day}$, or 250m^2 for a standard 4-bedroom home with a design sewage flow of $2,000\text{L/day}$).
6. In the southern portion of the proposed lot, a standard fill-based sewage disposal system will require a contact area based on a loading rate of $4\text{L/m}^2/\text{day}$ (i.e. 400m^2 for a standard 3-bedroom home with a design sewage flow of $1,600\text{L/day}$, or 500m^2 for a standard 4-bedroom home with a design sewage flow of $2,000\text{L/day}$).
7. It is understood that the County typically requires that a full sewage system reserve area be utilized in lot design. As the proposed lot will be in excess of $3,000\text{m}^2$ in area, sufficient area is available for a 200m^2 to 500m^2 primary sewage disposal area (depending on location and house design), 200m^2 or 500m^2 reserve sewage disposal area. Lot design will need to address setbacks to the house envelope and any on-site and nearby shallow wells (30m).
8. Under MECP Procedure D-5-4, for the proposed lot to be viable, the lot will be required to utilize an individual subsurface sewage disposal system equipped with tertiary treatment capable of nitrate reduction.
9. Based on the findings of the preceding analysis, development of the subject lands as a residential lot serviced by a private sewage disposal system is considered viable, subject to the conclusions, limitations and recommendations outlined in this report.

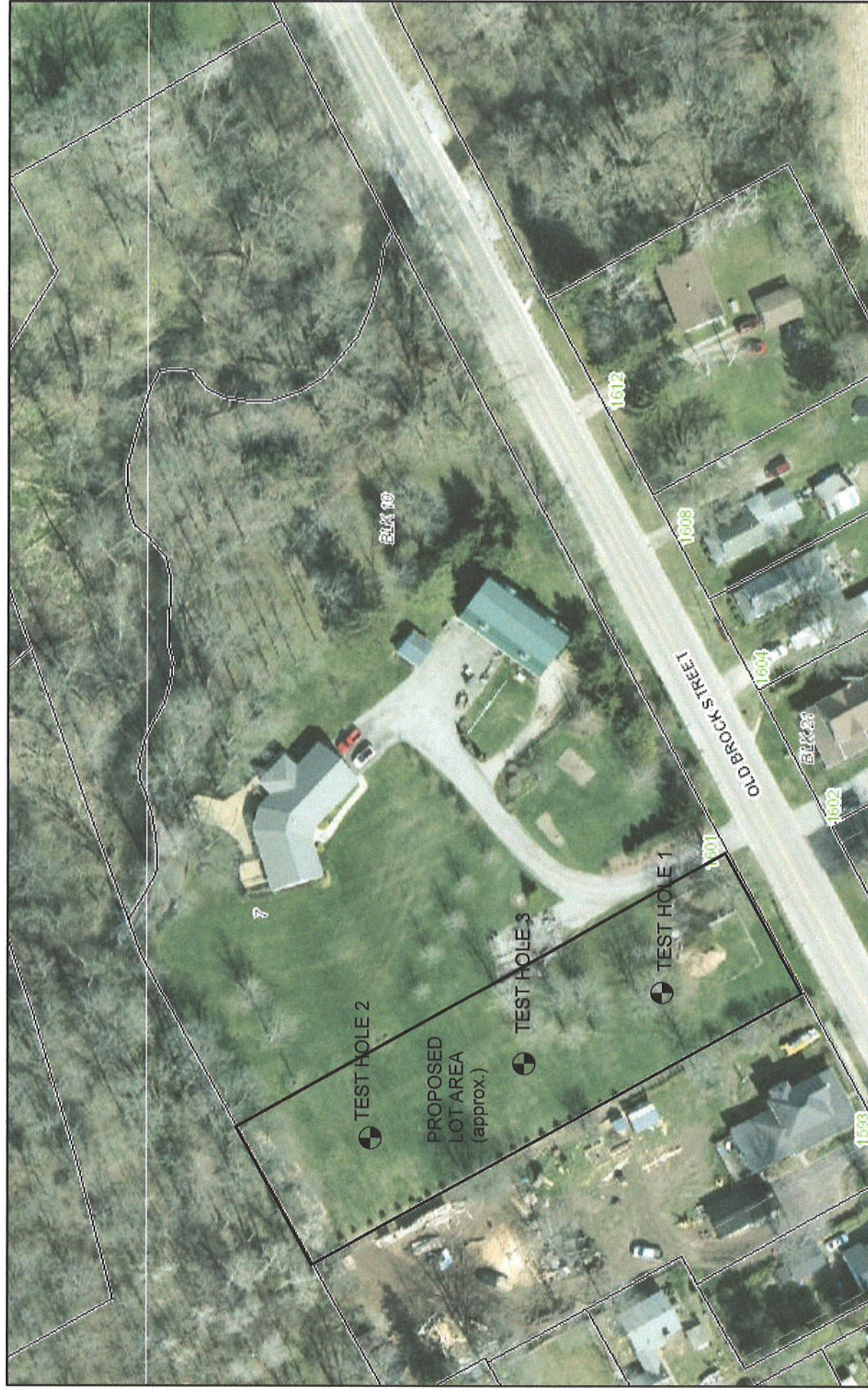
Should there be any questions regarding the above information and discussion, please do not hesitate to contact this office.

IAN D. WILSON ASSOCIATES LIMITED


Geoffrey Rether, B.Sc., P.Geo.



MAP NORFOLK - Community Web Map



10/17/2023, 11:35:29 AM

- ☐ Land Parcels
 - ☐ Civic Address
 - ☐ Plan Lines
 - ☐ Reg Plan Lot Numbers
 - ☐ Road Labels
 - ☐ DraftPlan

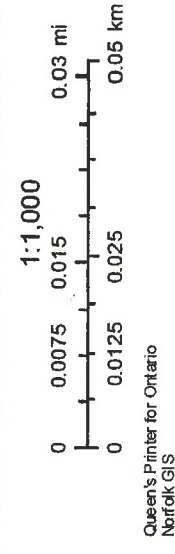
SITE LAYOUT AND APPROXIMATE TEST HOLE LOCATIONS

1601 OLD BROCK STREET, VITTORIA

FIGURE 1

SCALE: as shown

SCALE: as shown

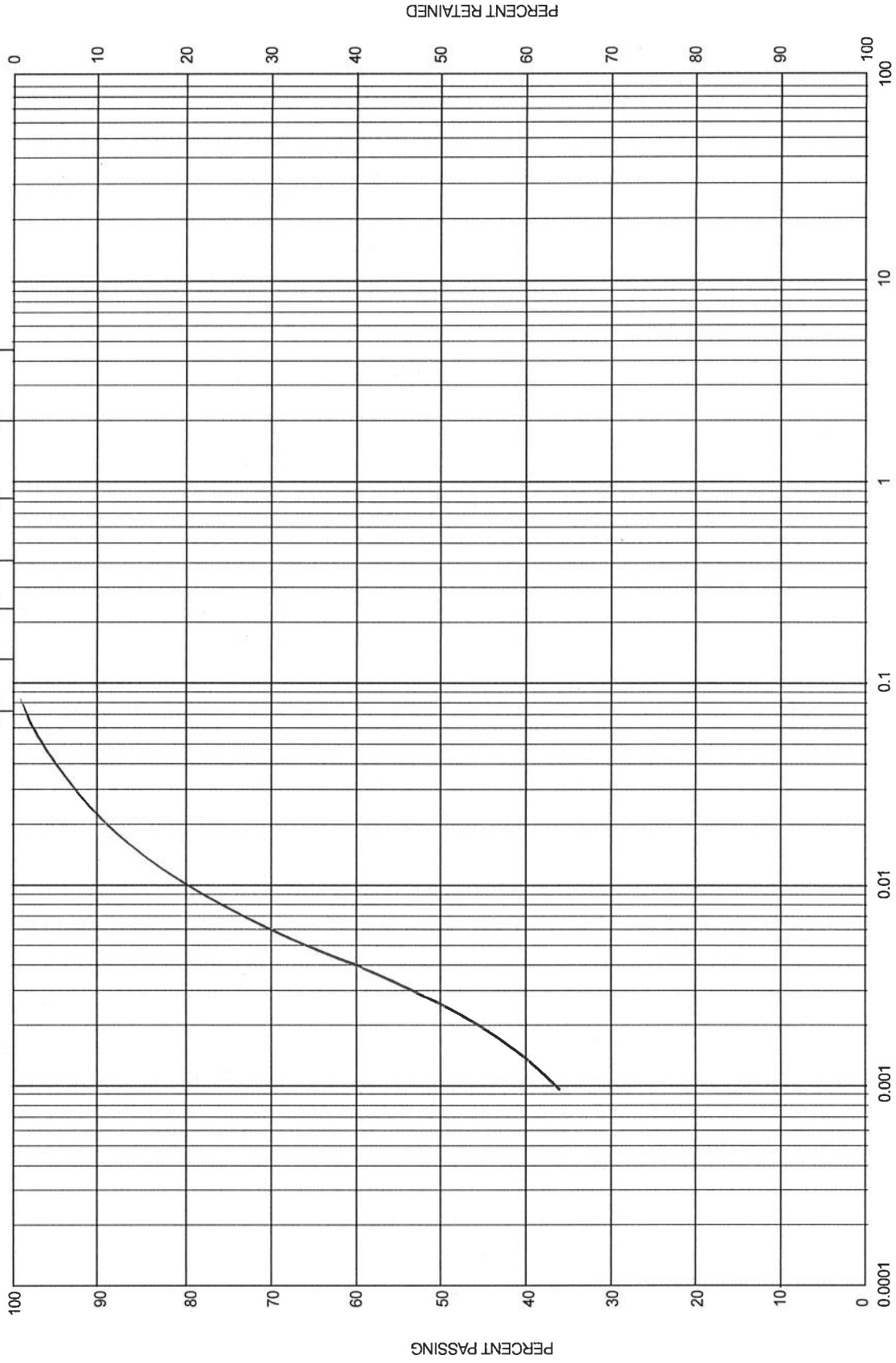


GRAIN SIZE DISTRIBUTION CHART

PROJECT / SAMPLE

1601 Old Brock Street, Vittoria - Test Hole 1, Sample 1

HYDROMETER ANALYSIS ← SIEVE NUMBER (US STANDARD SIEVE SIZES) →



GRAIN SIZE IN MILLIMETRES

CLAY SIZE	SILT SIZE	SAND SIZE	GRAVEL SIZE	COBBLE SIZE

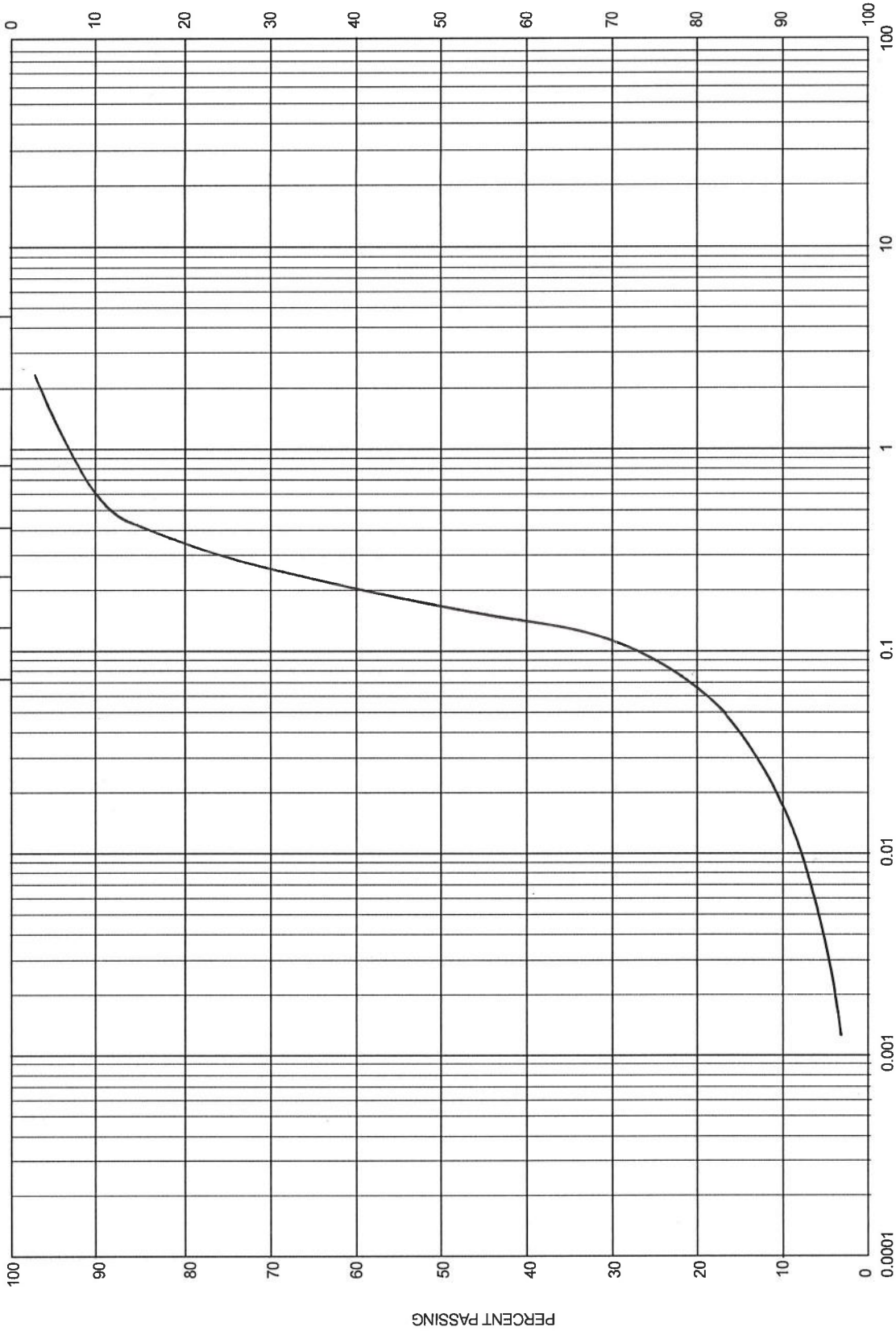
IAN D. WILSON ASSOCIATES LIMITED

GRAIN SIZE DISTRIBUTION CHART

PROJECT / SAMPLE

1601 Old Brock Street, Vittoria - Test Hole 2, Sample 2

HYDROMETER ANALYSIS SIEVE NUMBER (US STANDARD SIEVE SIZES)



GRAIN SIZE IN MILLIMETRES

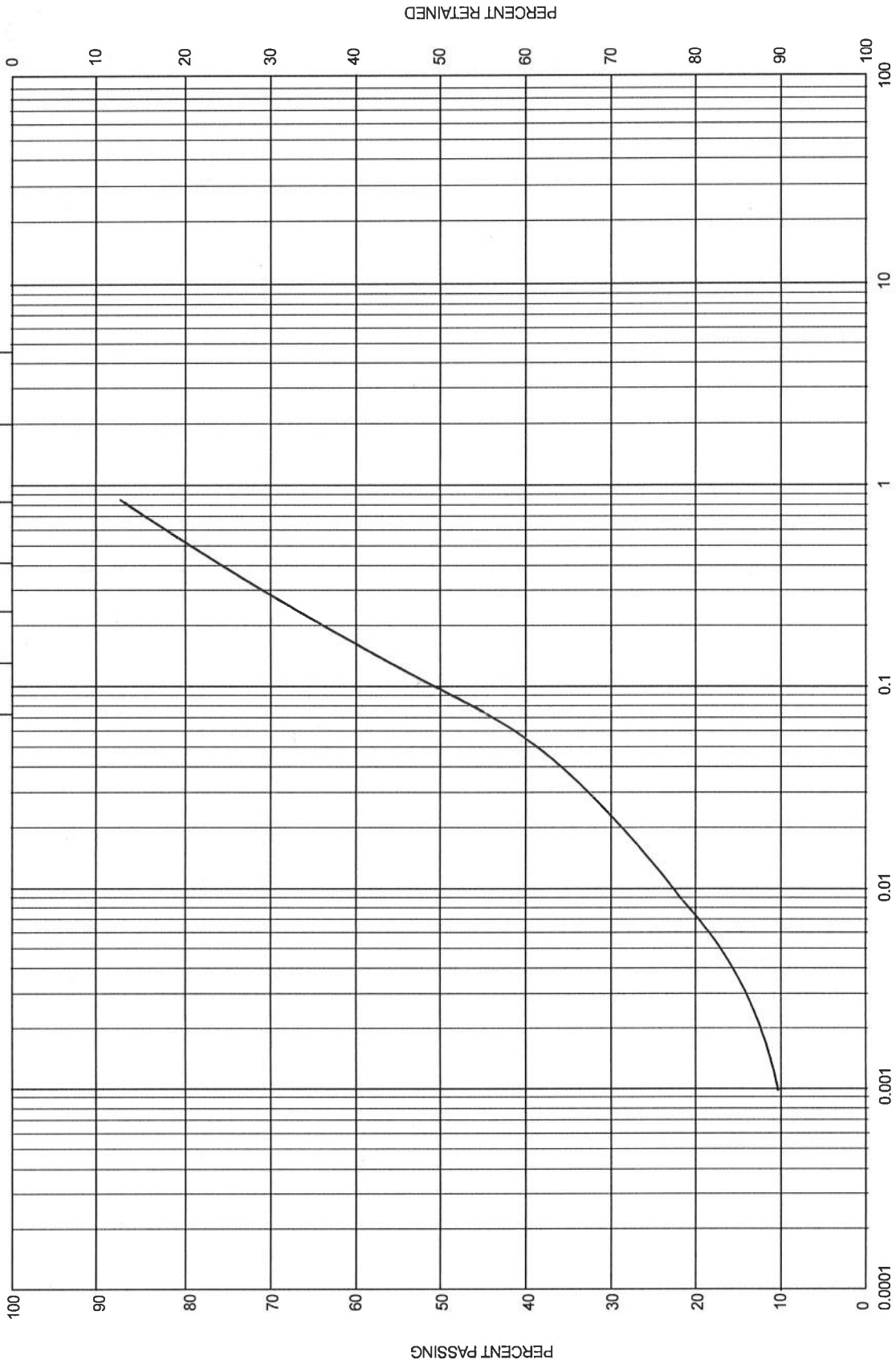
CLAY SIZE	SILT SIZE	SAND SIZE	GRAVEL SIZE	COBBLE SIZE

GRAIN SIZE DISTRIBUTION CHART

PROJECT / SAMPLE

1601 Old Brock Street, Vittoria - Test Hole 3, Sample 3

HYDROMETER ANALYSIS ← → SIEVE NUMBER (US STANDARD SIEVE SIZES)



GRAIN SIZE IN MILLIMETRES

CLAY SIZE	SILT SIZE	SAND SIZE	GRAVEL SIZE	COBBLE SIZE

IAN D. WILSON ASSOCIATES LIMITED



Site Location: Vittoria Lawrence
Your C.O.C. #: 767631

Attention: Geoff Rether

Ian D Wilson Associates Ltd
PO Box 299
76722 Airport Rd
Clinton, ON
CANADA NOM 1LO

Report Date: 2023/09/22
Report #: R7826374
Version: 1 - Final

CERTIFICATE OF ANALYSIS

BUREAU VERITAS JOB #: C355078

Received: 2023/09/15, 15:52

Sample Matrix: Water
Samples Received: 1

Analyses	Quantity	Date Extracted	Date Analyzed	Laboratory Method	Analytical Method
Alkalinity	1	N/A	2023/09/19	CAM SOP-00448	SM 23 2320 B m
Carbonate, Bicarbonate and Hydroxide	1	N/A	2023/09/19	CAM SOP-00102	APHA 4500-CO2 D
Chloride by Automated Colourimetry	1	N/A	2023/09/18	CAM SOP-00463	SM 23 4500-Cl E m
Conductivity	1	N/A	2023/09/19	CAM SOP-00414	SM 23 2510 m
Dissolved Organic Carbon (DOC) (1)	1	N/A	2023/09/19	CAM SOP-00446	SM 23 5310 B m
Hardness (calculated as CaCO3)	1	N/A	2023/09/19	CAM SOP 00102/00408/00447	SM 2340 B
Metals Analysis by ICPMS (as received) (2)	1	N/A	2023/09/18	CAM SOP-00447	EPA 6020B m
Ion Balance (% Difference)	1	N/A	2023/09/19		
Anion and Cation Sum	1	N/A	2023/09/19		
Total Coliforms/ E. coli, CFU/100mL	1	N/A	2023/09/15	CAM SOP-00551	MECP-E3407
Total Ammonia-N	1	N/A	2023/09/21	CAM SOP-00441	USGS I-2522-90 m
Nitrate & Nitrite as Nitrogen in Water (3)	1	N/A	2023/09/18	CAM SOP-00440	SM 23 4500-NO3I/NO2B
pH	1	2023/09/16	2023/09/19	CAM SOP-00413	SM 4500H+ B m
Orthophosphate	1	N/A	2023/09/18	CAM SOP-00461	SM 23 4500-P E m
Sat. pH and Langelier Index (@ 20C)	1	N/A	2023/09/19		Auto Calc
Sat. pH and Langelier Index (@ 4C)	1	N/A	2023/09/19		Auto Calc
Sulphate by Automated Turbidimetry	1	N/A	2023/09/18	CAM SOP-00464	SM 23 4500-SO42- E m
Total Dissolved Solids (TDS calc)	1	N/A	2023/09/19		Auto Calc

Remarks:

Bureau Veritas is accredited to ISO/IEC 17025 for specific parameters on scopes of accreditation. Unless otherwise noted, procedures used by Bureau Veritas are based upon recognized Provincial, Federal or US method compendia such as CCME, MELCCFP, EPA, APHA.

All work recorded herein has been done in accordance with procedures and practices ordinarily exercised by professionals in Bureau Veritas' profession using accepted testing methodologies, quality assurance and quality control procedures (except where otherwise agreed by the client and Bureau Veritas in writing). All data is in statistical control and has met quality control and method performance criteria unless otherwise noted. All method blanks are reported; unless indicated otherwise, associated sample data are not blank corrected. Where applicable, unless otherwise noted, Measurement Uncertainty has not been accounted for when stating conformity to the referenced standard.

Bureau Veritas liability is limited to the actual cost of the requested analyses, unless otherwise agreed in writing. There is no other warranty expressed or



Site Location: Vittoria Lawrence
Your C.O.C. #: 767631

Attention: Geoff Rether

Ian D Wilson Associates Ltd
PO Box 299
76722 Airport Rd
Clinton, ON
CANADA NOM 1LO

Report Date: 2023/09/22
Report #: R7826374
Version: 1 - Final

CERTIFICATE OF ANALYSIS

BUREAU VERITAS JOB #: C3S5078

Received: 2023/09/15, 15:52

implied. Bureau Veritas has been retained to provide analysis of samples provided by the Client using the testing methodology referenced in this report. Interpretation and use of test results are the sole responsibility of the Client and are not within the scope of services provided by Bureau Veritas, unless otherwise agreed in writing. Bureau Veritas is not responsible for the accuracy or any data impacts, that result from the information provided by the customer or their agent.

Solid sample results, except biota, are based on dry weight unless otherwise indicated. Organic analyses are not recovery corrected except for isotope dilution methods.

Results relate to samples tested. When sampling is not conducted by Bureau Veritas, results relate to the supplied samples tested.

This Certificate shall not be reproduced except in full, without the written approval of the laboratory.

Reference Method suffix "m" indicates test methods incorporate validated modifications from specific reference methods to improve performance.

* RPDs calculated using raw data. The rounding of final results may result in the apparent difference.

(1) Dissolved Organic Carbon (DOC) present in the sample should be considered as non-purgeable DOC.

(2) Metals analysis was performed on the sample 'as received'.

(3) Values for calculated parameters may not appear to add up due to rounding of raw data and significant figures.

Encryption Key



Bureau Veritas
22 Sep 2023 15:40:15

Please direct all questions regarding this Certificate of Analysis to:

Archana Gothoskar, B.Sc., Project Manager

Email: archana.gothoskar@bureauveritas.com

Phone# (905) 817-5700

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This report has been generated and distributed using a secure automated process.

Bureau Veritas has procedures in place to guard against improper use of the electronic signature and have the required "signatories", as per ISO/IEC 17025, signing the reports. For Service Group specific validation, please refer to the Validation Signatures page if included, otherwise available by request. For Department specific Analyst/Supervisor validation names, please refer to the Test Summary section if included, otherwise available by request. This report is authorized by Rodney Major, General Manager responsible for Ontario Environmental laboratory operations.



Bureau Veritas Job #: C3S5078
Report Date: 2023/09/22

Ian D Wilson Associates Ltd
Site Location: Vittoria Lawrence
Sampler Initials: GR

RCAP - COMPREHENSIVE (DRINKING WATER)

Bureau Veritas ID		WZU284			
Sampling Date		2023/09/15 14:30			
COC Number		767631			
	UNITS	1601	RDL	MDL	QC Batch
Calculated Parameters					
Anion Sum	me/L	5.58	N/A	N/A	8919768
Bicarb. Alkalinity (calc. as CaCO ₃)	mg/L	220	1.0	0.20	8919769
Calculated TDS	mg/L	310	1.0	0.20	8919780
Carb. Alkalinity (calc. as CaCO ₃)	mg/L	3.6	1.0	0.20	8919769
Cation Sum	me/L	5.85	N/A	N/A	8919768
Hardness (CaCO ₃)	mg/L	270	1.0	1.0	8919665
Ion Balance (% Difference)	%	2.31	N/A	N/A	8919767
Langelier Index (@ 20C)	N/A	1.04			8919770
Langelier Index (@ 4C)	N/A	0.793			8919779
Saturation pH (@ 20C)	N/A	7.20			8919770
Saturation pH (@ 4C)	N/A	7.45			8919779
Inorganics					
Total Ammonia-N	mg/L	1.1	0.050	0.0080	8930093
Conductivity	umho/cm	510	1.0	0.20	8921827
Dissolved Organic Carbon	mg/L	0.54	0.40	0.070	8921839
Orthophosphate (P)	mg/L	ND	0.010	0.0020	8922176
pH	pH	8.24			8921825
Dissolved Sulphate (SO ₄)	mg/L	32	1.0	0.10	8922177
Alkalinity (Total as CaCO ₃)	mg/L	230	1.0	0.20	8921830
Dissolved Chloride (Cl ⁻)	mg/L	13	1.0	0.30	8922175
Nitrite (N)	mg/L	ND	0.010	0.0020	8921759
Nitrate (N)	mg/L	ND	0.10	0.010	8921759
Metals					
Aluminum (Al)	ug/L	ND	4.9	1.0	8921831
Antimony (Sb)	ug/L	ND	0.50	0.10	8921831
Arsenic (As)	ug/L	ND	1.0	0.20	8921831
Barium (Ba)	ug/L	150	2.0	1.0	8921831
Beryllium (Be)	ug/L	ND	0.40	0.10	8921831
Boron (B)	ug/L	32	10	2.0	8921831
Cadmium (Cd)	ug/L	ND	0.090	0.020	8921831
Calcium (Ca)	ug/L	74000	200	40	8921831
Chromium (Cr)	ug/L	ND	5.0	1.0	8921831
RDL = Reportable Detection Limit QC Batch = Quality Control Batch N/A = Not Applicable ND = Not Detected at a concentration equal or greater than the indicated Detection Limit.					



BUREAU
VERITAS

Bureau Veritas Job #: C355078

Report Date: 2023/09/22

Ian D Wilson Associates Ltd

Site Location: Vittoria Lawrence

Sampler Initials: GR

RCAP - COMPREHENSIVE (DRINKING WATER)

Bureau Veritas ID		WZU284			
Sampling Date		2023/09/15 14:30			
COC Number		767631			
	UNITS	1601	RDL	MDL	QC Batch
Cobalt (Co)	ug/L	ND	0.50	0.10	8921831
Copper (Cu)	ug/L	61	0.90	0.20	8921831
Iron (Fe)	ug/L	920	100	20	8921831
Lead (Pb)	ug/L	2.9	0.50	0.10	8921831
Magnesium (Mg)	ug/L	20000	50	10	8921831
Manganese (Mn)	ug/L	20	2.0	0.40	8921831
Molybdenum (Mo)	ug/L	1.2	0.50	0.20	8921831
Nickel (Ni)	ug/L	ND	1.0	0.20	8921831
Phosphorus (P)	ug/L	ND	100	20	8921831
Potassium (K)	ug/L	1200	200	40	8921831
Selenium (Se)	ug/L	ND	2.0	0.40	8921831
Silicon (Si)	ug/L	11000	50	10	8921831
Silver (Ag)	ug/L	ND	0.090	0.020	8921831
Sodium (Na)	ug/L	8400	100	20	8921831
Strontium (Sr)	ug/L	220	1.0	0.20	8921831
Thallium (Tl)	ug/L	ND	0.050	0.010	8921831
Titanium (Ti)	ug/L	ND	5.0	1.0	8921831
Uranium (U)	ug/L	ND	0.10	0.020	8921831
Vanadium (V)	ug/L	ND	0.50	0.20	8921831
Zinc (Zn)	ug/L	38	5.0	1.0	8921831
RDL = Reportable Detection Limit					
QC Batch = Quality Control Batch					
ND = Not Detected at a concentration equal or greater than the indicated Detection Limit.					



BUREAU
VERITAS

Bureau Veritas Job #: C3S5078

Report Date: 2023/09/22

Ian D Wilson Associates Ltd

Site Location: Vittoria Lawrence

Sampler Initials: GR

MICROBIOLOGY (WATER)

Bureau Veritas ID		WZU284		
Sampling Date		2023/09/15 14:30		
COC Number		767631		
	UNITS	1601	MDL	QC Batch
Microbiological				
Background	CFU/100mL	0	N/A	8921307
Total Coliforms	CFU/100mL	0	N/A	8921307
Escherichia coli	CFU/100mL	0	N/A	8921307
QC Batch = Quality Control Batch				
N/A = Not Applicable				



BUREAU
VERITAS

Bureau Veritas Job #: C3S5078
Report Date: 2023/09/22

Ian D Wilson Associates Ltd
Site Location: Vittoria Lawrence
Sampler Initials: GR

TEST SUMMARY

Bureau Veritas ID: WZU284
Sample ID: 1601
Matrix: Water

Collected: 2023/09/15
Shipped:
Received: 2023/09/15

Test Description	Instrumentation	Batch	Extracted	Date Analyzed	Analyst
Alkalinity	AT	8921830	N/A	2023/09/19	Surinder Rai
Carbonate, Bicarbonate and Hydroxide	CALC	8919769	N/A	2023/09/19	Automated Statchk
Chloride by Automated Colourimetry	KONE	8922175	N/A	2023/09/18	Massarat Jan
Conductivity	AT	8921827	N/A	2023/09/19	Surinder Rai
Dissolved Organic Carbon (DOC)	TOCV/NDIR	8921839	N/A	2023/09/19	Gyulshen Idriz
Hardness (calculated as CaCO ₃)		8919665	N/A	2023/09/19	Automated Statchk
Metals Analysis by ICPMS (as received)	ICP/MS	8921831	N/A	2023/09/18	Arefa Dabhad
Ion Balance (% Difference)	CALC	8919767	N/A	2023/09/19	Automated Statchk
Anion and Cation Sum	CALC	8919768	N/A	2023/09/19	Automated Statchk
Total Coliforms/ E. coli, CFU/100mL	PL	8921307	N/A	2023/09/15	Paramjit Paramjit
Total Ammonia-N	LACH/NH ₄	8930093	N/A	2023/09/21	Shivani Shivani
Nitrate & Nitrite as Nitrogen in Water	LACH	8921759	N/A	2023/09/18	Chandra Nandlal
pH	AT	8921825	2023/09/16	2023/09/19	Surinder Rai
Orthophosphate	KONE	8922176	N/A	2023/09/18	Massarat Jan
Sat. pH and Langelier Index (@ 20C)	CALC	8919770	N/A	2023/09/19	Automated Statchk
Sat. pH and Langelier Index (@ 4C)	CALC	8919779	N/A	2023/09/19	Automated Statchk
Sulphate by Automated Turbidimetry	KONE	8922177	N/A	2023/09/18	Massarat Jan
Total Dissolved Solids (TDS calc)	CALC	8919780	N/A	2023/09/19	Automated Statchk



BUREAU
VERITAS

Bureau Veritas Job #: C3S5078

Report Date: 2023/09/22

Ian D Wilson Associates Ltd

Site Location: Vittoria Lawrence

Sampler Initials: GR

GENERAL COMMENTS

Each temperature is the average of up to three cooler temperatures taken at receipt

Package 1	12.0°C
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Results relate only to the items tested.



**BUREAU
VERITAS**

Bureau Veritas Job #: C3S5078
Report Date: 2023/09/22

Ian D Wilson Associates Ltd
Site Location: Vittoria Lawrence
Sampler Initials: GR

QUALITY ASSURANCE REPORT

QA/QC	Batch	Init	QC Type	Parameter	Date Analyzed	Value	Recovery	UNITS	QC Limits
8921759	C_N	Matrix Spike		Nitrite (N)	2023/09/18		102	%	80 - 120
				Nitrate (N)	2023/09/18		98	%	80 - 120
8921759	C_N	Spiked Blank		Nitrite (N)	2023/09/18		102	%	80 - 120
				Nitrate (N)	2023/09/18		97	%	80 - 120
8921759	C_N	Method Blank		Nitrite (N)	2023/09/18	ND, RDL=0.010		mg/L	
				Nitrate (N)	2023/09/18	ND, RDL=0.10		mg/L	
8921759	C_N	RPD		Nitrate (N)	2023/09/18	5.0		%	20
8921825	SAU	Spiked Blank		pH	2023/09/19		102	%	98 - 103
8921825	SAU	RPD		pH	2023/09/19	0.28		%	N/A
8921827	SAU	Spiked Blank		Conductivity	2023/09/19		101	%	85 - 115
8921827	SAU	Method Blank		Conductivity	2023/09/19	ND, RDL=1.0		umho/cm	
8921827	SAU	RPD		Conductivity	2023/09/19	0		%	10
8921830	SAU	Spiked Blank		Alkalinity (Total as CaCO ₃)	2023/09/19		97	%	85 - 115
8921830	SAU	Method Blank		Alkalinity (Total as CaCO ₃)	2023/09/19	ND, RDL=1.0		mg/L	
8921830	SAU	RPD		Alkalinity (Total as CaCO ₃)	2023/09/19	0.62		%	20
8921831	ADA	Matrix Spike		Aluminum (Al)	2023/09/18		100	%	80 - 120
				Antimony (Sb)	2023/09/18		101	%	80 - 120
				Arsenic (As)	2023/09/18		99	%	80 - 120
				Barium (Ba)	2023/09/18		98	%	80 - 120
				Beryllium (Be)	2023/09/18		96	%	80 - 120
				Boron (B)	2023/09/18		95	%	80 - 120
				Cadmium (Cd)	2023/09/18		98	%	80 - 120
				Calcium (Ca)	2023/09/18		NC	%	80 - 120
				Chromium (Cr)	2023/09/18		93	%	80 - 120
				Cobalt (Co)	2023/09/18		103	%	80 - 120
				Copper (Cu)	2023/09/18		98	%	80 - 120
				Iron (Fe)	2023/09/18		99	%	80 - 120
				Lead (Pb)	2023/09/18		97	%	80 - 120
				Magnesium (Mg)	2023/09/18		104	%	80 - 120
				Manganese (Mn)	2023/09/18		98	%	80 - 120
				Molybdenum (Mo)	2023/09/18		102	%	80 - 120
				Nickel (Ni)	2023/09/18		97	%	80 - 120
				Phosphorus (P)	2023/09/18		105	%	80 - 120
				Potassium (K)	2023/09/18		105	%	80 - 120
				Selenium (Se)	2023/09/18		100	%	80 - 120
				Silicon (Si)	2023/09/18		99	%	80 - 120
				Silver (Ag)	2023/09/18		101	%	80 - 120
				Sodium (Na)	2023/09/18		96	%	80 - 120
				Strontium (Sr)	2023/09/18		99	%	80 - 120
				Thallium (Tl)	2023/09/18		110	%	80 - 120
				Titanium (Ti)	2023/09/18		102	%	80 - 120
				Uranium (U)	2023/09/18		99	%	80 - 120
				Vanadium (V)	2023/09/18		95	%	80 - 120
				Zinc (Zn)	2023/09/18		98	%	80 - 120
8921831	ADA	Spiked Blank		Aluminum (Al)	2023/09/18		96	%	80 - 120
				Antimony (Sb)	2023/09/18		100	%	80 - 120
				Arsenic (As)	2023/09/18		99	%	80 - 120
				Barium (Ba)	2023/09/18		100	%	80 - 120



**BUREAU
VERITAS**

Bureau Veritas Job #: C3S5078

Report Date: 2023/09/22

Ian D Wilson Associates Ltd

Site Location: Vittoria Lawrence

Sampler Initials: GR

QUALITY ASSURANCE REPORT(CONT'D)

QA/QC Batch	Init	QC Type	Parameter	Date Analyzed	Value	Recovery	UNITS	QC Limits
			Beryllium (Be)	2023/09/18		101	%	80 - 120
			Boron (B)	2023/09/18		102	%	80 - 120
			Cadmium (Cd)	2023/09/18		97	%	80 - 120
			Calcium (Ca)	2023/09/18		97	%	80 - 120
			Chromium (Cr)	2023/09/18		96	%	80 - 120
			Cobalt (Co)	2023/09/18		98	%	80 - 120
			Copper (Cu)	2023/09/18		100	%	80 - 120
			Iron (Fe)	2023/09/18		96	%	80 - 120
			Lead (Pb)	2023/09/18		100	%	80 - 120
			Magnesium (Mg)	2023/09/18		102	%	80 - 120
			Manganese (Mn)	2023/09/18		98	%	80 - 120
			Molybdenum (Mo)	2023/09/18		100	%	80 - 120
			Nickel (Ni)	2023/09/18		98	%	80 - 120
			Phosphorus (P)	2023/09/18		107	%	80 - 120
			Potassium (K)	2023/09/18		103	%	80 - 120
			Selenium (Se)	2023/09/18		100	%	80 - 120
			Silicon (Si)	2023/09/18		96	%	80 - 120
			Silver (Ag)	2023/09/18		99	%	80 - 120
			Sodium (Na)	2023/09/18		101	%	80 - 120
			Strontium (Sr)	2023/09/18		99	%	80 - 120
			Thallium (Tl)	2023/09/18		111	%	80 - 120
			Titanium (Ti)	2023/09/18		98	%	80 - 120
			Uranium (U)	2023/09/18		97	%	80 - 120
			Vanadium (V)	2023/09/18		95	%	80 - 120
			Zinc (Zn)	2023/09/18		99	%	80 - 120
8921831	ADA	Method Blank	Aluminum (Al)	2023/09/18	ND, RDL=4.9		ug/L	
			Antimony (Sb)	2023/09/18	ND, RDL=0.50		ug/L	
			Arsenic (As)	2023/09/18	ND, RDL=1.0		ug/L	
			Barium (Ba)	2023/09/18	ND, RDL=2.0		ug/L	
			Beryllium (Be)	2023/09/18	ND, RDL=0.40		ug/L	
			Boron (B)	2023/09/18	ND, RDL=10		ug/L	
			Cadmium (Cd)	2023/09/18	ND, RDL=0.090		ug/L	
			Calcium (Ca)	2023/09/18	ND, RDL=200		ug/L	
			Chromium (Cr)	2023/09/18	ND, RDL=5.0		ug/L	
			Cobalt (Co)	2023/09/18	ND, RDL=0.50		ug/L	
			Copper (Cu)	2023/09/18	ND, RDL=0.90		ug/L	
			Iron (Fe)	2023/09/18	ND, RDL=100		ug/L	
			Lead (Pb)	2023/09/18	ND, RDL=0.50		ug/L	
			Magnesium (Mg)	2023/09/18	ND, RDL=50		ug/L	

BUREAU
VERITAS

Bureau Veritas Job #: C3S5078

Report Date: 2023/09/22

Ian D Wilson Associates Ltd

Site Location: Vittoria Lawrence

Sampler Initials: GR

QUALITY ASSURANCE REPORT(CONT'D)

QA/QC Batch	Init	QC Type	Parameter	Date Analyzed	Value	Recovery	UNITS	QC Limits
			Manganese (Mn)	2023/09/18	ND, RDL=2.0		ug/L	
			Molybdenum (Mo)	2023/09/18	ND, RDL=0.50		ug/L	
			Nickel (Ni)	2023/09/18	ND, RDL=1.0		ug/L	
			Phosphorus (P)	2023/09/18	ND, RDL=100		ug/L	
			Potassium (K)	2023/09/18	ND, RDL=200		ug/L	
			Selenium (Se)	2023/09/18	ND, RDL=2.0		ug/L	
			Silicon (Si)	2023/09/18	ND, RDL=50		ug/L	
			Silver (Ag)	2023/09/18	ND, RDL=0.090		ug/L	
			Sodium (Na)	2023/09/18	ND, RDL=100		ug/L	
			Strontium (Sr)	2023/09/18	ND, RDL=1.0		ug/L	
			Thallium (Tl)	2023/09/18	ND, RDL=0.050		ug/L	
			Titanium (Ti)	2023/09/18	ND, RDL=5.0		ug/L	
			Uranium (U)	2023/09/18	ND, RDL=0.10		ug/L	
			Vanadium (V)	2023/09/18	ND, RDL=0.50		ug/L	
			Zinc (Zn)	2023/09/18	ND, RDL=5.0		ug/L	
8921831	ADA	RPD	Lead (Pb)	2023/09/18	NC		%	20
8921839	GID	Matrix Spike	Dissolved Organic Carbon	2023/09/19		96	%	80 - 120
8921839	GID	Spiked Blank	Dissolved Organic Carbon	2023/09/18		97	%	80 - 120
8921839	GID	Method Blank	Dissolved Organic Carbon	2023/09/18	ND, RDL=0.40		mg/L	
8921839	GID	RPD	Dissolved Organic Carbon	2023/09/18	0.82		%	20
8922175	MJ1	Matrix Spike	Dissolved Chloride (Cl-)	2023/09/18		107	%	80 - 120
8922175	MJ1	Spiked Blank	Dissolved Chloride (Cl-)	2023/09/18		105	%	80 - 120
8922175	MJ1	Method Blank	Dissolved Chloride (Cl-)	2023/09/18	ND, RDL=1.0		mg/L	
8922175	MJ1	RPD	Dissolved Chloride (Cl-)	2023/09/18	4.9		%	20
8922176	MJ1	Matrix Spike	Orthophosphate (P)	2023/09/18		98	%	75 - 125
8922176	MJ1	Spiked Blank	Orthophosphate (P)	2023/09/18		98	%	80 - 120
8922176	MJ1	Method Blank	Orthophosphate (P)	2023/09/18	ND, RDL=0.010		mg/L	
8922176	MJ1	RPD	Orthophosphate (P)	2023/09/18	NC		%	20
8922177	MJ1	Matrix Spike	Dissolved Sulphate (SO4)	2023/09/18		97	%	75 - 125
8922177	MJ1	Spiked Blank	Dissolved Sulphate (SO4)	2023/09/18		91	%	80 - 120
8922177	MJ1	Method Blank	Dissolved Sulphate (SO4)	2023/09/18	ND, RDL=1.0		mg/L	
8922177	MJ1	RPD	Dissolved Sulphate (SO4)	2023/09/18	1.1		%	20
8930093	SSV	Matrix Spike	Total Ammonia-N	2023/09/21		96	%	75 - 125
8930093	SSV	Spiked Blank	Total Ammonia-N	2023/09/21		101	%	80 - 120



BUREAU
VERITAS

Bureau Veritas Job #: C3S5078

Report Date: 2023/09/22

Ian D Wilson Associates Ltd

Site Location: Vittoria Lawrence

Sampler Initials: GR

QUALITY ASSURANCE REPORT(CONT'D)

QA/QC	Batch	Init	QC Type	Parameter	Date Analyzed	Value	Recovery	UNITS	QC Limits
	8930093	SSV	Method Blank	Total Ammonia-N	2023/09/21	ND, RDL=0.050		mg/L	
	8930093	SSV	RPD	Total Ammonia-N	2023/09/21	0.36 (1)		%	20

N/A = Not Applicable

Duplicate: Paired analysis of a separate portion of the same sample. Used to evaluate the variance in the measurement.

Matrix Spike: A sample to which a known amount of the analyte of interest has been added. Used to evaluate sample matrix interference.

Spiked Blank: A blank matrix sample to which a known amount of the analyte, usually from a second source, has been added. Used to evaluate method accuracy.

Method Blank: A blank matrix containing all reagents used in the analytical procedure. Used to identify laboratory contamination.

NC (Matrix Spike): The recovery in the matrix spike was not calculated. The relative difference between the concentration in the parent sample and the spike amount was too small to permit a reliable recovery calculation (matrix spike concentration was less than the native sample concentration)

NC (Duplicate RPD): The duplicate RPD was not calculated. The concentration in the sample and/or duplicate was too low to permit a reliable RPD calculation (absolute difference $\leq 2 \times$ RDL).

(1) TKN < NH₄: Both values fall within acceptable RPD limits for duplicates and are likely equivalent.



BUREAU
VERITAS

Bureau Veritas Job #: C3S5078

Report Date: 2023/09/22

Ian D Wilson Associates Ltd

Site Location: Vittoria Lawrence

Sampler Initials: GR

VALIDATION SIGNATURE PAGE

The analytical data and all QC contained in this report were reviewed and validated by:

Cristina Carriere

Cristina Carriere, Senior Scientific Specialist

Paramjit

Paramjit Paramjit, Analyst I

Bureau Veritas has procedures in place to guard against improper use of the electronic signature and have the required "signatories", as per ISO/IEC 17025, signing the reports. For Service Group specific validation, please refer to the Validation Signatures page if included, otherwise available by request. For Department specific Analyst/Supervisor validation names, please refer to the Test Summary section if included, otherwise available by request. This report is authorized by Rodney Major, General Manager responsible for Ontario Environmental laboratory operations.

UTM: 12 14 5 5 7 1 15 E

44 No 153

WATER WELL RECORD

401/16 W ENCA

NOFOLK

25

2

63

ARRI VICTORIA

Casing and Screen Record

Inside diameter of casing 4"

Total length of casing 48"

Type of screen Johnson 6 5/8"

Length of screen 4'

Depth to top of screen 44'

Diameter of finished hole 4 3/8"

Pumping Test

Static level 14'

Test-pumping rate 4 G.P.M.

Pumping level 36'

Duration of test pumping 2 hrs

Water clear or cloudy at end of test CLEAR

Recommended pumping rate 4 G.P.M.

with pump setting of 48' feet below ground surface

Well Log

Overburden and Bedrock Record

0 - 4' TOP SOIL

4 - 12' CLAY

12 - 38' BROWN SAND

38 - 48' CLAY GRAY

48 - FINE GRAY SAND

Water Record

From ft. 0

To ft. 4

Depth(s) at which water(s) found 4

Kind of water (fresh, salty, sulphur) FRESH

For what purpose(s) is the water to be used? HOME

Is well on upland, in valley, or on hillside? HOME

Drilling or Boring Firm ROBERT MCKENZIE

Address VICTORIA PO BOX 971

License Number 971

Name of Driller or Borer AS ABOVE

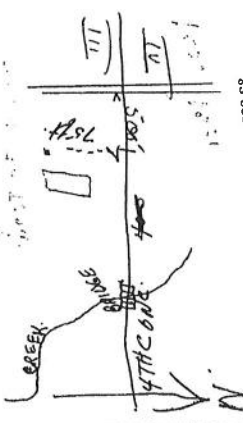
Address

Date Feb 25/63

Signature of Licensed Drilling or Boring Contractor Robert McKenzie

Location of Well

In diagram below show distances of well from road and lot line. Indicate north by arrow.



Form 7 10M-62-1152

OWRC COPY

CSS.S8

UTM: 12 14 5 5 7 1 15 E

44 No 154

WATER WELL RECORD

401/16 W ENCA

NOFOLK

25

2

63

ARRI VICTORIA

Casing and Screen Record

Inside diameter of casing 4"

Total length of casing 48"

Type of screen Johnson 6 5/8"

Length of screen 4'

Depth to top of screen 44'

Diameter of finished hole 4 3/8"

Pumping Test

Static level 14'

Test-pumping rate 4 G.P.M.

Pumping level 36'

Duration of test pumping 2 hrs

Water clear or cloudy at end of test CLEAR

Recommended pumping rate 4 G.P.M.

with pump setting of 48' feet below ground surface

Well Log

Overburden and Bedrock Record

0 - 4' TOP SOIL

4 - 12' CLAY

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38 - 48' CLAY GRAY

48 - FINE GRAY SAND

Water Record

From ft. 0

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Depth(s) at which water(s) found 4

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For what purpose(s) is the water to be used? HOME

Is well on upland, in valley, or on hillside? HOME

Drilling or Boring Firm ROBERT MCKENZIE

Address VICTORIA PO BOX 971

License Number 971

Name of Driller or Borer AS ABOVE

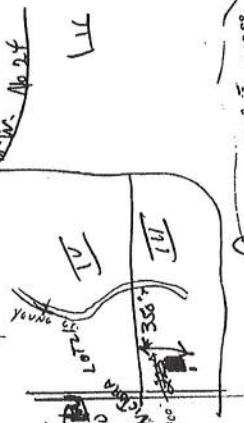
Address

Date Feb 25/63

Signature of Licensed Drilling or Boring Contractor Robert McKenzie

Location of Well

In diagram below show distances of well from road and lot line. Indicate north by arrow.



Form 7 10M-62-1152

OWRC COPY

CSS.S8

UTM 17 7 55 5 10 E
Elev. 5R 47 3 4 2 4 0 N
Basin or District 213 North York
County or District North York

WATER WELL RECORD
 DEC 21 1981
 ONTARIO WATER RESOURCES COMMISSION
 401/16 WENZ A
 Township, Village, Town or City C. HARBORVILLE

Casting and Screen Record

Innate diameter of casing	1 1/4
Total length of casing	12 ft.
Type of screen	2 - well point logan
Length of screen	3 ft.
Depth to top of screen	8 ft.
Diameter of finished hole	1 1/4

Pumping Test

Static level	4 ft.
Test-pumping rate	250 GPM
Pumping level	4 ft. down
Duration of test pumping	2 HRS.
Water clear or cloudy at end of test	cloudy
Recommended pumping rate	250 GPM
With pump setting of 0 feet below ground surface	

Well Log

Overburden and Bedrock Record	From ft.	To ft.	Depth(s) at which water was found	Kind of water (e.g., salt, sulphur)
SAND	0	4	4 ft.	Fresh
VERY FINE SAND	4	12		

Location of Well

For what purpose(s) is the water to be used? House

Is well on upland, in valley, green hillsides? UPLAND

Drilling or Boring Firm TOPPAN KASEI

179 SHEARMAN STREET

Address SI MOE

Licence Number 156-

Name of Driller or Borer

Address

Date Dec 16/81

(Signature of Licenced Drilling or Boring Contractor)

Form T 15M Sets 60-5920

O W R C COPY

WATER WELL RECORD

1. PRINT ONLY IN SPACES PROVIDED
2. CHECK ONE OR MORE APPLICABLE

Ontario
Municipality: **WATERLOO**
City/Town/Village: **WATERLOO**
County: **WATERLOO**
District: **WATERLOO**
Municipality: **WATERLOO**
City/Town/Village: **WATERLOO**
County: **WATERLOO**
District: **WATERLOO**
Municipality: **WATERLOO**
City/Town/Village: **WATERLOO**
County: **WATERLOO**
District: **WATERLOO**

GENERAL COLOUR	OTHER MATERIALS	GENERAL DESCRIPTION	DEPTH - FEET
BROWN SAND	GRAVEL	0	18
BROWN SAND & CLAY	GRAVEL	18	45
BROWN WATER SAND	GRAVEL	45	55
BROWN CLAY	GRAVEL	55	60

WATER RECORD	CASING & OPEN HOLE RECORD	PLUGGING & SEALING RECORD
04-5 05-0 05-5	00-0 01-0 01-5	00-0 01-0 01-5

LOCATION OF WELL 5334 N

18. DIAGRAM BELOW SHOW DISTANCES OF WELL FROM ROAD AND LOT LINES. INDICATE NORTH BY ARROW.

CONTRACTOR: **David Mitchell**
Address: **179 Glenhurst**
City: **Waterloo**
Province: **Ont**
Postal Code: **N2L 2G5**
Phone: **3653**
Fax: **3653**
E-mail: **dmitch@waterloo.on.ca**

WATER WELL RECORD

1. PRINT ONLY IN SPACES PROVIDED
2. CHECK ONE OR MORE APPLICABLE

Ontario
Municipality: **WATERLOO**
City/Town/Village: **WATERLOO**
County: **WATERLOO**
District: **WATERLOO**
Municipality: **WATERLOO**
City/Town/Village: **WATERLOO**
County: **WATERLOO**
District: **WATERLOO**
Municipality: **WATERLOO**
City/Town/Village: **WATERLOO**
County: **WATERLOO**
District: **WATERLOO**

GENERAL COLOUR	OTHER MATERIALS	GENERAL DESCRIPTION	DEPTH - FEET
BROWN SAND	GRAVEL	0	18
BROWN SAND & CLAY	GRAVEL	18	45
BROWN WATER SAND	GRAVEL	45	55
BROWN CLAY	GRAVEL	55	60

WATER RECORD	CASING & OPEN HOLE RECORD	PLUGGING & SEALING RECORD
04-5 05-0 05-5	00-0 01-0 01-5	00-0 01-0 01-5

LOCATION OF WELL 5334 N

18. DIAGRAM BELOW SHOW DISTANCES OF WELL FROM ROAD AND LOT LINES. INDICATE NORTH BY ARROW.

CONTRACTOR: **David Mitchell**
Address: **179 Glenhurst**
City: **Waterloo**
Province: **Ont**
Postal Code: **N2L 2G5**
Phone: **3653**
Fax: **3653**
E-mail: **dmitch@waterloo.on.ca**

Map: Well records

This map allows you to search and view well record information from reported wells in Ontario. Full dataset is available in the Open Data Catalogue (<https://data.ontario.ca/data/well-records>).

[Go back to Map](#)

Well ID

Well ID Number - Jazzyne

Well Name - Jazzyne

Well Type - Water

Well Status - Active

This table contains information from the reported well record and any subsequent updates.

Well Location

Address of Well Location

Township

City/Town/Village

Province

Postal Code

UTM Coordinates

Well ID Number

Well Name

Well Type

Well Status

Well Depth

Well Diameter

Well Construction

Well Use

Well Color

Well Material

Well Status

Well Supply

Well ID

Well Name

Well Type

Well Status

Well Depth

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Well Status

Well Supply

Well ID

Well Name

Well Type

Well Status

Water Details

Water Found at Depth

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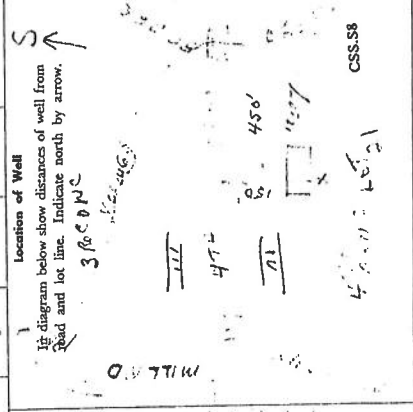
Diameter

UTRA 10 12 15 15 9 3 15 15
44 No 199
WATER WELL RECORD
The Ontario Water Resources Commission Act
County of District
WATER WELL RECORD
401 1/2 W. ENLA
NORFOLK
TOWNSHIP, Village, Town or City
Date completed 20 11 66
Lot 21
VICTORIA

Casing and Screen Record
Inside diameter of casing 2"
Total length of casing 42
Type of screen JOHNSON
Length of screen 5'
Depth to top of screen 4'2"
Diameter of finished hole 2"
Pumping Test
Static level 0-Flows
Test-pumping rate 6 G.P.M.
Pumping level
Duration of test pumping 3 HRS.
Water clear or cloudy at end of test CLEAR
Recommended pumping rate 5 G.P.M.
with pump setting of 5'W feet below ground surface

Well Log		Water Record	
Overburden and Bedrock Record	From ft.	To ft.	Depth (s) at which water(s) found
CLAY SAND	0	22	1 FRESH
FINE GRAY SAND	22	35	35 FRESH

For what purpose(s) is the water to be used? H & M.F.
Is well on upland, in valley, or on hillside? 360°
Drilling or Boring Firm ROBT MCKENZIE
Address VICTORIA
Licence Number
Name of Driller or Borer JAMES
Address
Date DEC 13 66
Signature of Licensed Drilling or Boring Contractor
Form 7 15M-60-4138
OWRC COPY
CSS.S8

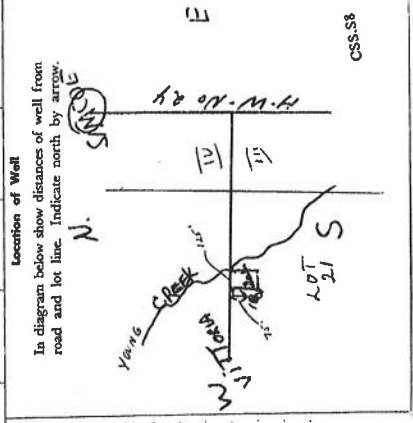


JTM 1 12 12 15 15 8 5 10 1
403/100W
WATER WELL RECORD
The Ontario Water Resources Commission Act
County of District
WATER WELL RECORD
NORFOLK
TOWNSHIP, Village, Town or City
Date completed 21 11 69
Lot 21
VICTORIA

Casing and Screen Record
Inside diameter of casing 5"
Total length of casing 40
Type of screen JOHNSON
Length of screen 4'
Depth to top of screen 36'
Diameter of finished hole 4"
Pumping Test
Static level 4
Test-pumping rate 2
Pumping level 36
Duration of test pumping 1 Hour
Water clear or cloudy at end of test CLEAR
Recommended pumping rate 2 G.P.M.
with pump setting of 38 feet below ground surface

Well Log		Water Record	
Overburden and Bedrock Record	From ft.	To ft.	Depth (s) at which water(s) found
CLAY	0	36	36 FRESH
WATER SAND	36	43	43 FRESH

For what purpose(s) is the water to be used? HOUSE
Is well on upland, in valley, or on hillside? LEUK
Drilling or Boring Firm ELGIN MITCHELL
Address 194015
Licence Number 2928
Name of Driller or Borer FRED M.
Address
Date APR 1 1969
Signature of Licensed Drilling or Boring Contractor
Form 7
OWRC COPY
CSS.S8



40 I 16 w



WATER WELL RECORD

WATER WELL RECORD
 COUNTY OF YORK
 TOWN OF YORK
 DISTRICT OF YORK
 LOCATION: 440 2574
 DATE: 11/11/74
 PROJECT: 440 2574
 SHEET: 11/11/74

GENERAL COLOR	COMMON MATERIAL	OTHER MATERIAL	LOG OF OVERBURDEN AND BEDROCK MATERIALS (SEE INSTRUCTIONS)	DEPTH - FEET
Blue Clay	Clay	Clay	0 25	0 25
Blue Clay	Clay	Clay	25 39	25 39
Blue Clay	Clay	Clay	39 42	39 42
Sand	Sand	Sand	42 43	42 43

LOG OF OVERBURDEN AND BEDROCK MATERIALS (SEE INSTRUCTIONS)

31 WATER RECORD
 41 CASING & OPEN HOLE RECORD
 51 PLUGGING & SEALING RECORD

LOCATION OF WELL

WELL IN 30' E of W. line and 10' S. of R. line

WELL IN 30' E of W. line and 10' S. of R. line

CONTRACTOR
 NAME: J. J. J. J.
 ADDRESS: 4804
 PHONE: 240970
 DATE: 11/11/74
 SHEET: 11/11/74

40 I 16 w



WATER WELL RECORD

WATER WELL RECORD
 COUNTY OF YORK
 TOWN OF YORK
 DISTRICT OF YORK
 LOCATION: 440 2868
 DATE: 11/11/74
 PROJECT: 440 2868
 SHEET: 11/11/74

GENERAL COLOR	COMMON MATERIAL	OTHER MATERIAL	LOG OF OVERBURDEN AND BEDROCK MATERIALS (SEE INSTRUCTIONS)	DEPTH - FEET
Blue Clay	Clay	Clay	0 20	0 20
Blue Clay	Clay	Clay	20 30	20 30
Blue Clay	Clay	Clay	30 40	30 40
Sand	Sand	Sand	40 45	40 45

LOG OF OVERBURDEN AND BEDROCK MATERIALS (SEE INSTRUCTIONS)

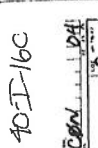
31 WATER RECORD
 41 CASING & OPEN HOLE RECORD
 51 PLUGGING & SEALING RECORD

LOCATION OF WELL

WELL IN 30' E of W. line and 10' S. of R. line

WELL IN 30' E of W. line and 10' S. of R. line

CONTRACTOR
 NAME: J. J. J. J.
 ADDRESS: 4804
 PHONE: 240970
 DATE: 11/11/74
 SHEET: 11/11/74



MINISTRY OF THE ENVIRONMENT
The Ontario Water Resources Commission Act
WATER WELL RECORD

40-D-16C
14403160
LOTTEVILLE
JAN 10 10 73

LOG OF OVERBURDEN AND BEDROCK MATERIALS (SEE INSTRUCTIONS)

DEPTH - FEET	GENERAL DESCRIPTION
0 - 51	SAND
51 - 57	WATER SAND

LOG OF OVERBURDEN AND BEDROCK MATERIALS (SEE INSTRUCTIONS)

DEPTH - FEET	GENERAL DESCRIPTION
0 - 51	SAND
51 - 57	WATER SAND

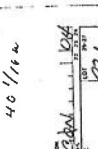
LOG OF OVERBURDEN AND BEDROCK MATERIALS (SEE INSTRUCTIONS)

DEPTH - FEET	GENERAL DESCRIPTION
0 - 51	SAND
51 - 57	WATER SAND

LOG OF OVERBURDEN AND BEDROCK MATERIALS (SEE INSTRUCTIONS)

DEPTH - FEET	GENERAL DESCRIPTION
0 - 51	SAND
51 - 57	WATER SAND

MINISTRY OF THE ENVIRONMENT COPY



MINISTRY OF THE ENVIRONMENT
The Ontario Water Resources Commission Act
WATER WELL RECORD

40-116A
14402869
CHARLOTTEVILLE
JAN 10 10 73

LOG OF OVERBURDEN AND BEDROCK MATERIALS (SEE INSTRUCTIONS)

DEPTH - FEET	GENERAL DESCRIPTION
0 - 30	CLAY
30 - 48	WATER SAND

LOG OF OVERBURDEN AND BEDROCK MATERIALS (SEE INSTRUCTIONS)

DEPTH - FEET	GENERAL DESCRIPTION
0 - 30	CLAY
30 - 48	WATER SAND

LOG OF OVERBURDEN AND BEDROCK MATERIALS (SEE INSTRUCTIONS)

DEPTH - FEET	GENERAL DESCRIPTION
0 - 30	CLAY
30 - 48	WATER SAND

LOG OF OVERBURDEN AND BEDROCK MATERIALS (SEE INSTRUCTIONS)

DEPTH - FEET	GENERAL DESCRIPTION
0 - 30	CLAY
30 - 48	WATER SAND

MINISTRY OF THE ENVIRONMENT COPY

Map: Well records

This map allows you to search and view well record information from reported wells in Ontario. Full dataset is available in the Open Data Catalogue (<http://data.ontario.ca/dataset/well-records>).

Go Back to Map

WELL ID

Well ID Number: 403766

Well Name: 403766

Well Type: 403766

This well is located in the original well record and any subsequent updates.

Well Location

Address of Well Location

Township

Line

Concession

County/District/Municipality

City/Town/Village

Province

Postal Code

UTM Coordinates

IMAGES - June 17
Existing 2016 to 2017
Average 2016 to 2017

Municipal Plan and Subline Number

Other

Overburden and Bedrock Material Interval

General Colour	Most Common Material	Other Materials	General Description	Depth From	Depth To
BL CK	10M			0 ft	2 ft
YLNW	CLAY			2 ft	12 ft
GRY	FOSS			12 ft	16 ft

Annular Space/Abandonment Sealing Record

Depth From	Depth To	Type of Sealing Used (Material and Type)	Volume Placed
------------	----------	--	---------------

Method of Construction & Well Use

Method of Construction

Well Use

Cadre Use

Domestic

Status of Well

Water Supply

Water Details

Water Found at Depth

Kind

Depth

22 ft

Well Diameter

Depth From

Depth To

Diameter

Well Number

Date Well Completed: October 09, 1975

Date Well Record Received by MOF: December 06, 1975

Related

Indicates the location of the borehole top. This item is not required for most applications.

Indicates the location of the borehole bottom. This item is not required for most applications.

Indicates the location of the borehole bottom. This item is not required for most applications.

Well Status

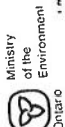
Well Type

Well Depth

Well Diameter

WATER WELL RECORD

4404463



LOTTEVILLE
WHITE STREET
Beckley Ccs. Simeoe
4 0090 4 0090

LOG OF OVERBURDEN AND BEDROCK MATERIALS	
Black Top Soil	0 2
Brown Sand	2 15
Clay	15 30
Grey water Sand	30 45

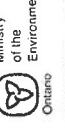
31	WATER RECORD	32	CASING & OPEN HOLE RECORD	33	PLUGGING & SEALING RECORD
0030	0030	0030	0030	0030	0030

34	PUMPING TEST	35	LOCATION OF WELL
0030	0030	0030	0030

36	CONTRACTOR	37	OFFICE USE ONLY
TED VAN KESSEL	5201	5201	5201

WATER WELL RECORD

4404717



LOTTEVILLE (DETH)

LOG OF OVERBURDEN AND BEDROCK MATERIALS	
Black Top Soil	0 2
Blue Clay	2 35
Grey Fine water Sand	35 50

31	WATER RECORD	32	CASING & OPEN HOLE RECORD	33	PLUGGING & SEALING RECORD
0030	0030	0030	0030	0030	0030

34	PUMPING TEST	35	LOCATION OF WELL
0030	0030	0030	0030

36	CONTRACTOR	37	OFFICE USE ONLY
TED VAN KESSEL	5201	5201	5201

WATER WELL RECORD
4405086
HALL - NORFOLK DELHI (CHARLOTTEVILLE)
Vittoria Baptist Church
11
20
8-87

LOG OF OVERBURDEN AND BEDROCK MATERIALS (SEE INSTRUCTIONS)

GENERAL COLOUR	DEPTH	DESCRIPTION	DEPTH	DESCRIPTION
Black Top Soil	0	2		
Brown Clay	2	10		
Brown Course sand	10	40		
Brown Sandy Clay	40	60		
Grey Fine water sand	60	75		

LOG OF OVERBURDEN AND BEDROCK MATERIALS (SEE INSTRUCTIONS)

GENERAL COLOUR	DEPTH	DESCRIPTION	DEPTH	DESCRIPTION
Black Top Soil	0	2		
Brown Clay	2	10		
Brown Course sand	10	40		
Brown Sandy Clay	40	60		
Grey Fine water sand	60	75		

31 WATER RECORD

32 CASING & OPEN HOLE RECORD

33 PLUGGING & SEALING RECORD

34 LOCATION OF WELL

35 PUMPING TEST

36 FINAL STATUS OF WELL

37 WATER USE

38 METHOD OF CONSTRUCTION

39 CONTRACTOR

40 OFFICE USE ONLY

CONTRACTOR
Ted van Kessel
179 Sherman St. Simcoe
500-2-1010
SEP 23 1987
CSSES

WATER WELL RECORD
4405742
HALL - NORFOLK DELHI (CHARLOTTEVILLE)
Vittoria Baptist Church
11
21
11-88

LOG OF OVERBURDEN AND BEDROCK MATERIALS (SEE INSTRUCTIONS)

GENERAL COLOUR	DEPTH	DESCRIPTION	DEPTH	DESCRIPTION
Brown sand	0	25		
Brown sand & gravel	25	50		
Brown med water sand	50	74		

LOG OF OVERBURDEN AND BEDROCK MATERIALS (SEE INSTRUCTIONS)

GENERAL COLOUR	DEPTH	DESCRIPTION	DEPTH	DESCRIPTION
Brown sand	0	25		
Brown sand & gravel	25	50		
Brown med water sand	50	74		

31 WATER RECORD

32 CASING & OPEN HOLE RECORD

33 PLUGGING & SEALING RECORD

34 LOCATION OF WELL

35 PUMPING TEST

36 FINAL STATUS OF WELL

37 WATER USE

38 METHOD OF CONSTRUCTION

39 CONTRACTOR

40 OFFICE USE ONLY

CONTRACTOR
Ted van Kessel
179 Sherman St. Simcoe
500-2-1010
NOV 09 1988
CSSES

Ministry of the Environment Ontario NORFOLK The Ontario Water Resources Act **WATER WELL RECORD** 4406312 44001 CON 104

11 CHARLOTTEVILLE
11 VICTORIA
DATE COMPLETED 21 OCT 10 93
DATE 10 93

LOG OF OVERBURDEN AND BEDROCK MATERIALS (SEE INSTRUCTIONS)

GENERAL COLUMN	CONSTRUCTION	OTHER MATERIALS	GENERAL DESCRIPTION	DEPTH (FEET)
BLACK TOP SOIL	0			2
BROWN CLAY	2			10
BROWN COARSE SAND	10			13
BROWN FINE SAND & SILT	13			36
GREY FINE SAND	36			46

31 WATER RECORD

DATE	TIME	WATER LEVEL (FEET)	WATER TEMPERATURE (°C)	WATER QUALITY
13	5	188	0	46

32 CASING & OPEN HOLE RECORD

DATE	TIME	WATER LEVEL (FEET)	WATER TEMPERATURE (°C)	WATER QUALITY
6	5	5	5	5

33 PLUGGING & SEALING RECORD

DATE	TIME	WATER LEVEL (FEET)	WATER TEMPERATURE (°C)	WATER QUALITY
5	5	5	5	5

34 LOCATION OF WELL

INDICATE LOCATION OF WELL FROM ROAD AND
UP LINE INDICATE NORTH BY ARROW

South Hwy 24
VICTORIA
4004
75 ft x 9
9 ft x 30 ft

35 PUMPING TEST

DATE	TIME	WATER LEVEL (FEET)	WATER TEMPERATURE (°C)	WATER QUALITY
13	38	45	45	10

36 FINAL STATUS OF WELL

WATER USE

METHOD OF CONSTRUCTION

CONTRACTOR

119 SHERMAN ST. SIMCOE
MARK VAN KESSEL
Tel: 440-338

37 OFFICE USE ONLY

DATE 5201 OCT 18 1993

133788

CSS-ES

38 MINISTRY OF THE ENVIRONMENT COPY

FORM NO. 506 (11-90) FORM 8

Ministry of the Environment Ontario NORFOLK The Ontario Water Resources Act **WATER WELL RECORD** 4406404 44001 CON 103

11 CHARLOTTEVILLE
11 VICTORIA
DATE COMPLETED 21 OCT 10 93
DATE 10 93

LOG OF OVERBURDEN AND BEDROCK MATERIALS (SEE INSTRUCTIONS)

GENERAL COLUMN	CONSTRUCTION	OTHER MATERIALS	GENERAL DESCRIPTION	DEPTH (FEET)
black top soil	0			4
brown sand	4			24
brown clay	4			24
blue clay	24			34
grey fine sand	34			44

31 WATER RECORD

DATE	TIME	WATER LEVEL (FEET)	WATER TEMPERATURE (°C)	WATER QUALITY
44	5	188	0	46

32 CASING & OPEN HOLE RECORD

DATE	TIME	WATER LEVEL (FEET)	WATER TEMPERATURE (°C)	WATER QUALITY
5	5	5	5	5

33 PLUGGING & SEALING RECORD

DATE	TIME	WATER LEVEL (FEET)	WATER TEMPERATURE (°C)	WATER QUALITY
5	5	5	5	5

34 LOCATION OF WELL

INDICATE LOCATION OF WELL FROM ROAD AND
UP LINE INDICATE NORTH BY ARROW

VICTORIA
Black St.
4 mile

35 PUMPING TEST

DATE	TIME	WATER LEVEL (FEET)	WATER TEMPERATURE (°C)	WATER QUALITY
10	35	40	40	8

36 FINAL STATUS OF WELL

WATER USE

METHOD OF CONSTRUCTION

CONTRACTOR

119 SHERMAN ST. SIMCOE
MARK VAN KESSEL
Tel: 440-338

37 OFFICE USE ONLY

DATE 5201 APR 27 1994

143920

CSS-ES

38 MINISTRY OF THE ENVIRONMENT COPY

FORM NO. 506 (11-90) FORM 8

Address of Well Location (Street Name and Number)
 #337 Water St.
 City/Town/Village
 Norfolk
 County
 Ontario
 Postal Code
 N1Y 1A1

Name of Well Owner
 U. Horica
 Normal
 NMD 8.3.1755565434908
 Distribution and Bedrock Material/Underlayment Sampling Record (see instructions on the back of this form)
 General Description
 black top soil
 brown sand
 brown clay
 grey med sand

General Description	Depth (m)	Depth (ft)
black top soil	0	2
brown sand	2	20
brown clay	20	30
grey med sand	30	35

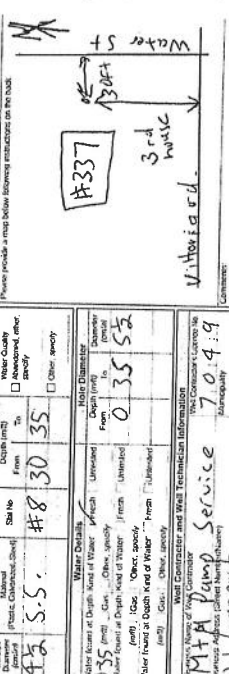
Method of Construction
☒ Open Hole
☐ Drilled
☐ Jetted
☐ Augered
☐ Other, specify: _____

Well Use
☒ Domestic
☐ Industrial
☐ Agricultural
☐ Other, specify: _____

Construction Record - Screen
 Screen Material: ☒ Galvanized Steel
 Screen Size: #8
 Screen Length: 30
 Screen Depth: 30

Construction Record - Casing
 Casing Material: ☒ Galvanized Steel
 Casing Size: #8
 Casing Length: 30
 Casing Depth: 30

Construction Record - Pump
 Pump Type: ☒ Hand Pump
 Pump Size: #8
 Pump Depth: 30



Water Details
 Water Level at Depth: 0.35
 Water Level at Surface: 0.35
 Water Temperature: 12.2
 Water pH: 7.5
 Water Turbidity: 1.0
 Water Conductivity: 100

Well Owner's Name: U. Horica
 Well Owner's Address: #337 Water St., Norfolk, Ontario, N1Y 1A1
 Well Owner's Phone: (416) 595-2711
 Well Owner's Email: uhorica@rogers.com

Address of Well Location (Street Name and Number)
 334 Water St.
 City/Town/Village
 Norfolk
 County
 Ontario
 Postal Code
 N1Y 1A1

Name of Well Owner
 U. Horica
 Normal
 NMD 8.3.1755565434908
 Distribution and Bedrock Material/Underlayment Sampling Record (see instructions on the back of this form)
 General Description
 black top soil
 brown sand
 brown clay
 grey med sand

General Description	Depth (m)	Depth (ft)
black top soil	0	2
brown sand	2	20
brown clay	20	30
grey med sand	30	35

Method of Construction
☒ Open Hole
☐ Drilled
☐ Jetted
☐ Augered
☐ Other, specify: _____

Well Use
☒ Domestic
☐ Industrial
☐ Agricultural
☐ Other, specify: _____

Construction Record - Screen
 Screen Material: ☒ Galvanized Steel
 Screen Size: #8
 Screen Length: 30
 Screen Depth: 30

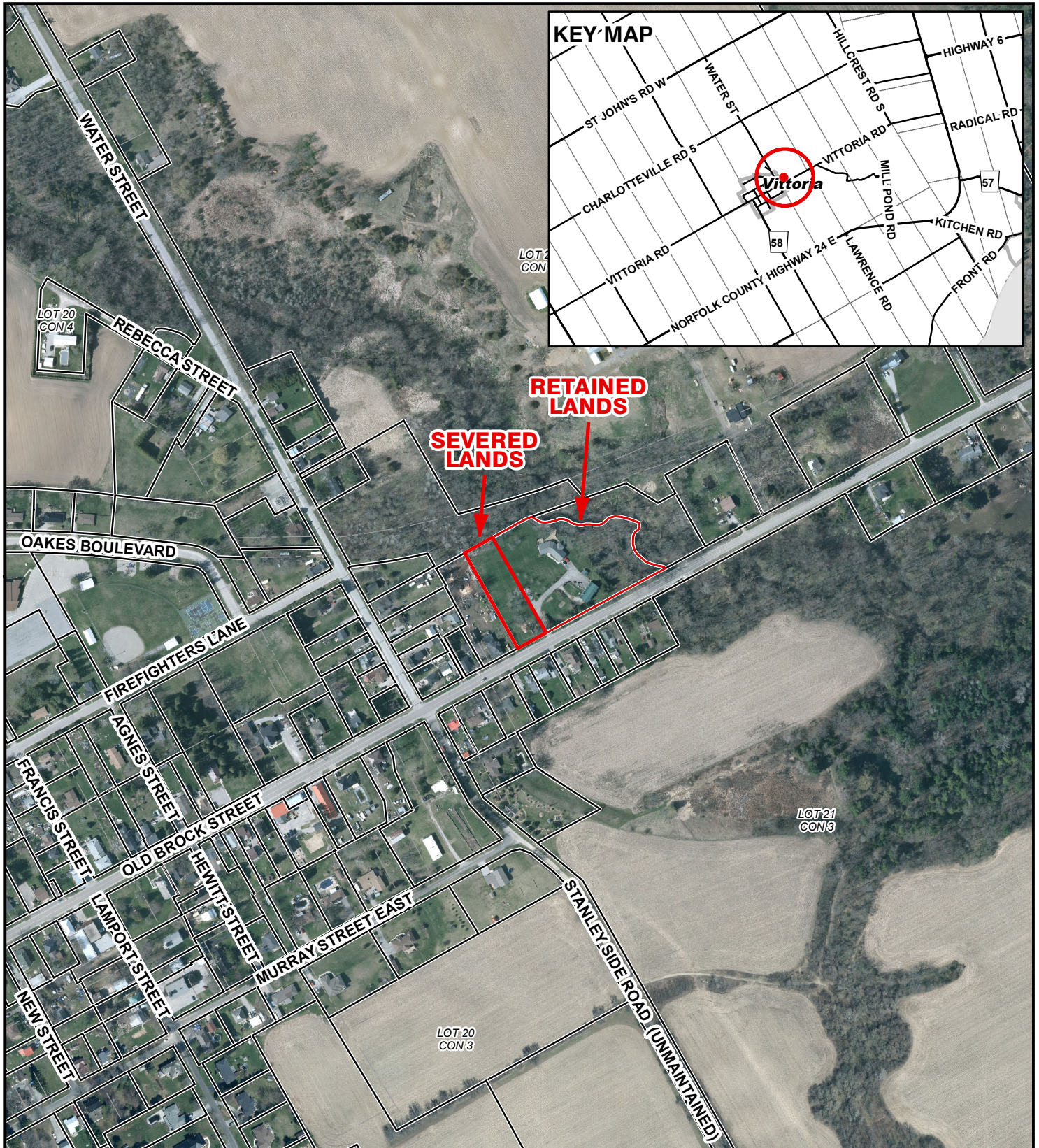
Construction Record - Casing
 Casing Material: ☒ Galvanized Steel
 Casing Size: #8
 Casing Length: 30
 Casing Depth: 30

Construction Record - Pump
 Pump Type: ☒ Hand Pump
 Pump Size: #8
 Pump Depth: 30




Water Details
 Water Level at Depth: 0.35
 Water Level at Surface: 0.35
 Water Temperature: 12.2
 Water pH: 7.5
 Water Turbidity: 1.0
 Water Conductivity: 100

Well Owner's Name: U. Horica
 Well Owner's Address: #337 Water St., Norfolk, Ontario, N1Y 1A1
 Well Owner's Phone: (416) 595-2711
 Well Owner's Email: uhorica@rogers.com

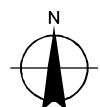


Legend

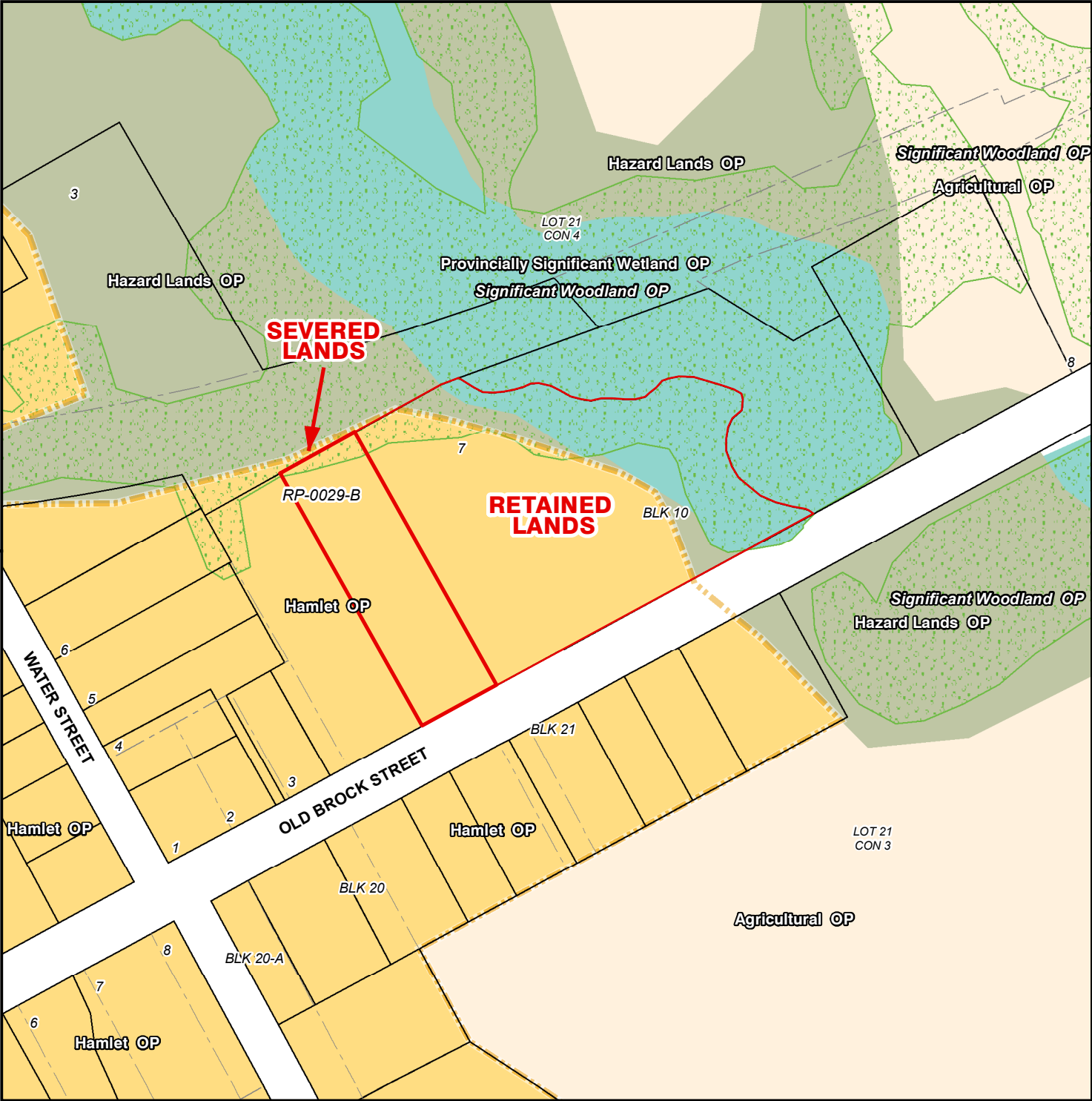
-  Subject Lands
-  Lands Owned

2020 Air Photo

9/3/2024



40 20 0 40 80 120 160
Meters



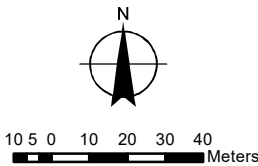
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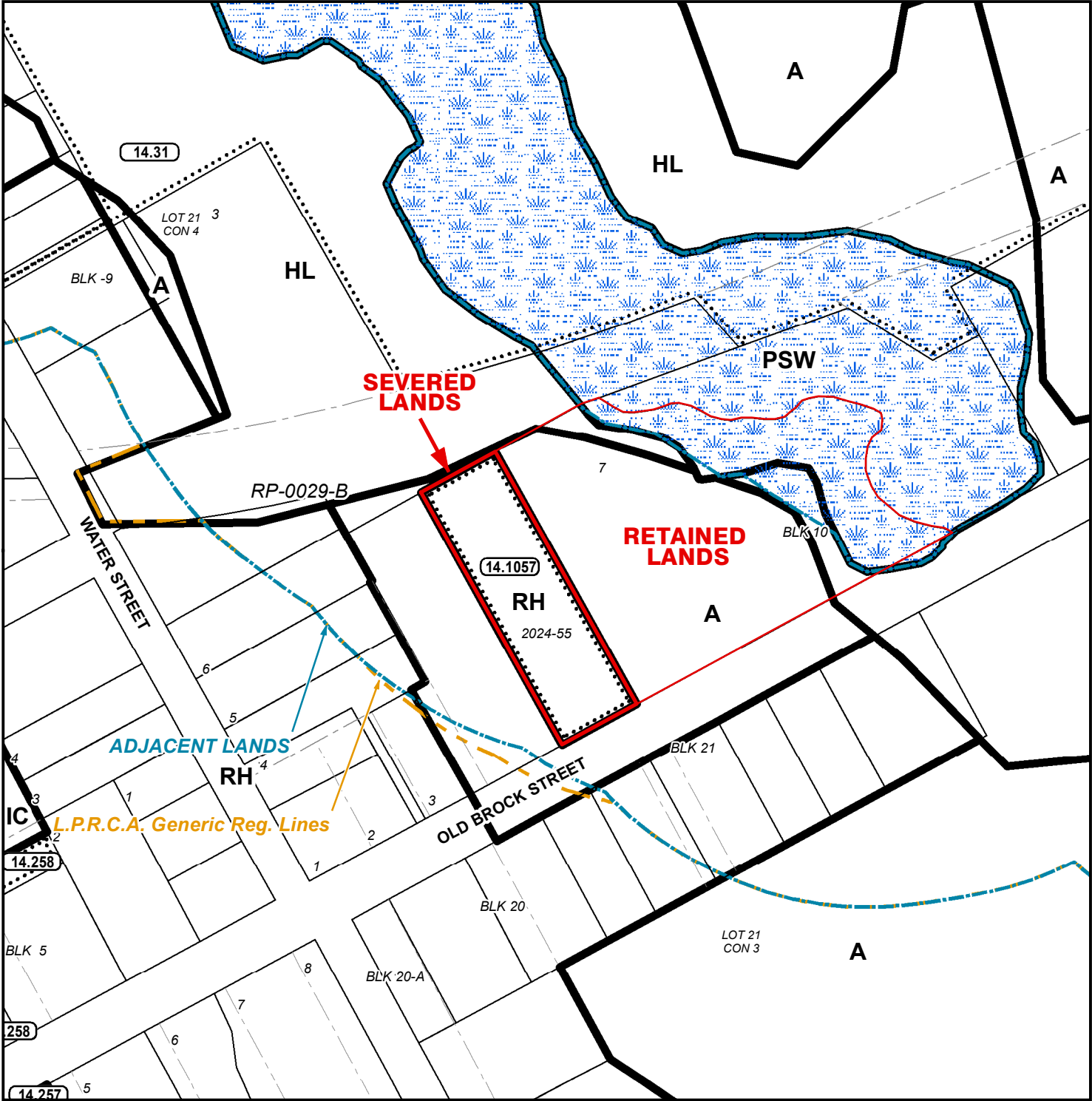
- Subject Lands
- Lands Owned

Official Plan Designations

- Agricultural
- Hazard Lands
- Provincially Significant Wetland
- Hamlet
- Hamlet Area Boundary
- Significant Woodland

9/3/2024



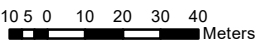
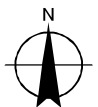


LEGEND

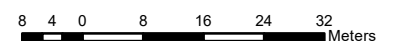
- Subject Lands
- Lands Owned
- Adjacent Lands
- Wetland
- LPRCA Generic RegLines

- ZONING BY-LAW 1-Z-2014
- (H) - Holding
 - A - Agricultural Zone
 - IC - Community Institutional Zone
 - RH - Hamlet Residential Zone
 - HL - Hazard Land Zone
 - PSW - Provincially Significant Wetland Zone

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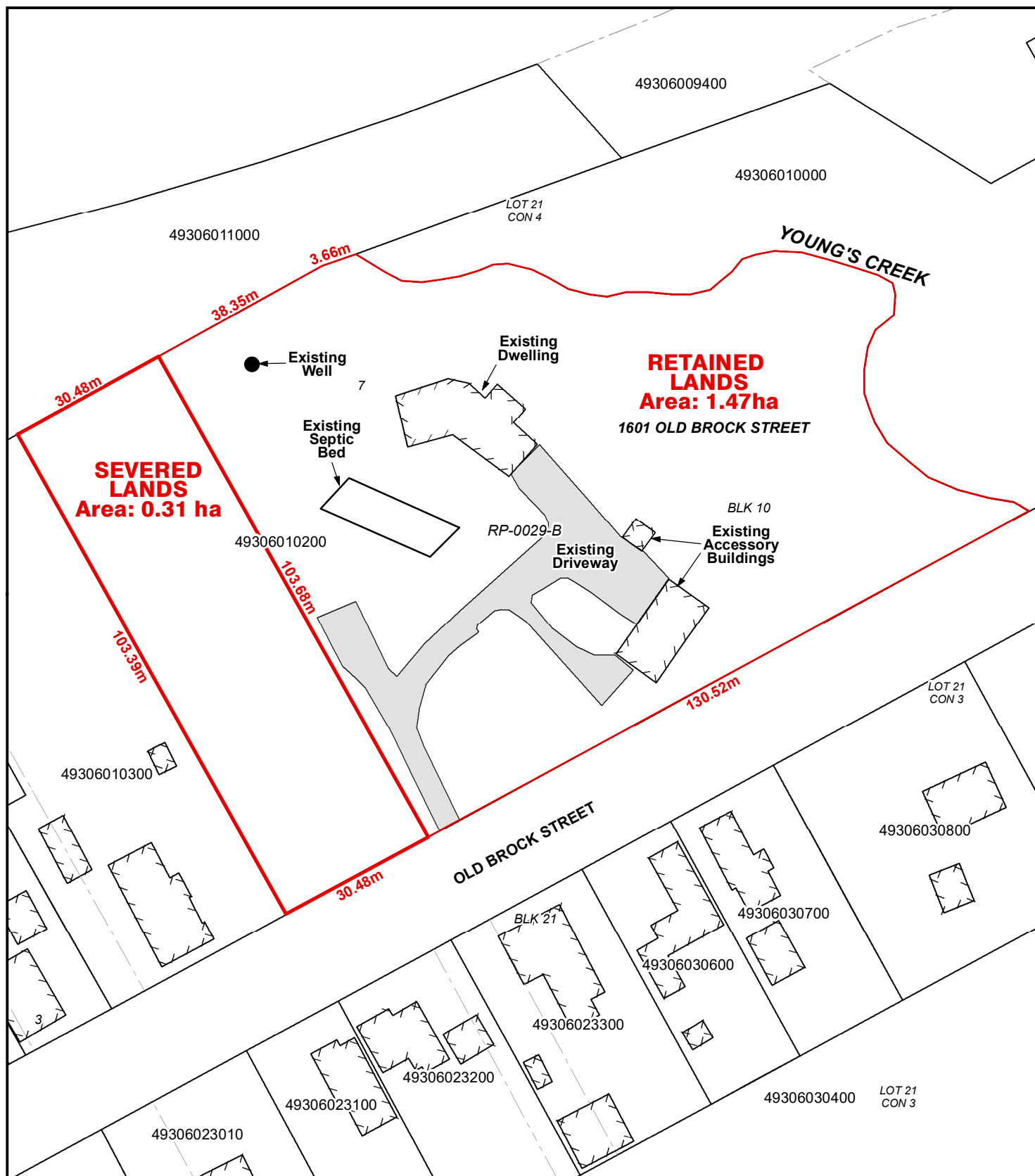
Geographic Township of CHARLOTTEVILLE



BNPL2024262

CONCEPTUAL PLAN

Geographic Township of CHARLOTTEVILLE



Legend

-  Subject Lands
-  Lands Owned

9/3/2024

