

## **After Your Application is Submitted**

Once your payment has been received and the application submitted, in order for your application to be deemed complete all of the components noted above are required.

Incomplete applications will be identified and returned to the applicant. The *Planning Act* permits up to 30 days to review and deem an application complete.

Once your application has been deemed complete by the Planning Department, it is then circulated to public agencies and County departments for review and comment. A sign is also provided that is required to be posted on the subject lands that summarizes the application and identifies the committee meeting date. The comments received from members of the community will be included in the planning report and will inform any recommendations in relation to the application.

If the subject lands are located in an area that is regulated by either the Long Point Region Conservation Authority or by the Grand River Conservation Authority an additional fee will be required if review by the applicable agency is deemed necessary. A separate cheque payable to the Long Point Region Conservation Authority or the Grand River Conservation Authority is required in accordance with their fee schedule at the same time your application is submitted.

**Additional studies** required as part of the complete application shall be at the sole expense of the applicant. In some instances peer reviews may be necessary to review particular studies and that the cost shall be at the expense of the applicant. The company to complete the peer review shall be selected by the County.

If the application is withdrawn prior to the circulation to commenting agencies, the entire original fee will be refunded. If withdrawn after the circulation to agencies, half the original fee will be refunded. No refund is available after the public meeting and/or approval of application.

## **Notification Sign Requirements**

Planning Department staff may post a notification sign on your property in advance of the public meeting on your behalf. Please keep this sign posted until you have received a notice in the mail indicating that the Secretary Treasurer received no appeals. However, it is the applicant's responsibility to ensure that the sign is correctly posted within the statutory timeframes, according to the *Planning Act*. Failure to post a sign in advance of the public meeting in accordance with statutory requirements will impact the timing of your application at the Committee of Adjustment meeting. Applicants are responsible for removal of the sign following the appeal period. The signs are recyclable and can be placed in your blue box.

## **Contact Us**

For additional information or assistance in completing this application, please contact a planner at 519-426-5870 ext. 1842 or [Committee.of.Adjustment@NorfolkCounty.ca](mailto:Committee.of.Adjustment@NorfolkCounty.ca)



**For Office Use Only:**

File Number	_____	Application Fee	_____
Related File Number	_____	Conservation Authority Fee	_____
Pre-consultation Meeting	_____	Well & Septic Info Provided	_____
Application Submitted	_____	Planner	_____
Complete Application	_____	Public Notice Sign	_____

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**Check the type of planning application(s) you are submitting.**

- ☐ Consent/Severance/Boundary Adjustment
- ☒ Surplus Farm Dwelling Severance and Zoning By-law Amendment
- ☒ Minor Variance
- ☐ Easement/Right-of-Way

**Property Assessment Roll Number:** 3310491021530000000**A. Applicant Information****Name of Owner** 2681029 Ontario Ltd.

It is the responsibility of the owner or applicant to notify the planner of any changes in ownership within 30 days of such a change.

**Address** 276 Hillcrest Road, RR #6

**Town and Postal Code** Simcoe, ON N3Y 4K5

**Phone Number** \_\_\_\_\_

**Cell Number** 519 410 5152

**Email** hdooney@hotmail.com

**Name of Applicant** Hayden Dooney

**Address** 276 Hillcrest |Road, RR #6

**Town and Postal Code** Simcoe, ON N3Y 4K5

**Phone Number** \_\_\_\_\_

**Cell Number** 519-410-5152

**Email** hdooney@hotmail.com

<b>Name of Agent</b>	<u>Mary Elder, Elder Plans Inc.</u>
Address	<u>32 Miller Cres</u>
Town and Postal Code	<u>Simcoe, ON N3Y 4R1</u>
Phone Number	<u></u>
Cell Number	<u>519-429-4933</u>
Email	<u>Elderplans2018@gmail.com</u>

Please specify to whom all communications should be sent. Unless otherwise directed, all correspondence and notices in respect of this application will be forwarded to the owner and agent noted above.

☒ Owner                      ☒ Agent                      ☐ Applicant

Names and addresses of any holder of any mortgagees, charges or other encumbrances on the subject lands:

## B. Location, Legal Description and Property Information

1. Legal Description (include Geographic Township, Concession Number, Lot Number, Block Number and Urban Area or Hamlet):

WDM CON 12 PT LOT 5

Municipal Civic Address: 1328 Windham Road 12

Present Official Plan Designation(s): agricultural, with some Hazard Land and PSW

Present Zoning: agricultural, with some Hazard Land and PSW

2. Is there a special provision or site specific zone on the subject lands?

☐ Yes ☒ No If yes, please specify:

3. Present use of the subject lands:

farm land with a farm dwelling and associated buildings

currently growing beans with plans to move to apple orchard

4. Please describe **all existing** buildings or structures on the subject lands and whether they are to be retained, demolished or removed. If retaining the buildings or structures, please describe the type of buildings or structures, and illustrate the setback, in metric units, from front, rear and side lot lines, ground floor area, gross floor area, lot coverage, number of storeys, width, length, and height on your attached sketch which must be included with your application:  
as shown on the survey sketch, there is a single detached dwelling with a pool, small shed and larger shed on the proposed lot. A larger barn is to be left with the farm land.  
All buildings are to be retained.

5. If an addition to an existing building is being proposed, please explain what it will be used for (for example a bedroom, kitchen, or bathroom). If new fixtures are proposed, please describe.
- \_\_\_\_\_
- \_\_\_\_\_

6. Please describe **all proposed** buildings or structures/additions on the subject lands. Describe the type of buildings or structures/additions, and illustrate the setback, in metric units, from front, rear and side lot lines, ground floor area, gross floor area, lot coverage, number of storeys, width, length, and height on your attached sketch which must be included with your application:
- \_\_\_\_\_
- \_\_\_\_\_

7. Are any existing buildings on the subject lands designated under the *Ontario Heritage Act* as being architecturally and/or historically significant? Yes ☐ No ☒  
If yes, identify and provide details of the building:
- \_\_\_\_\_
- \_\_\_\_\_

8. If known, the length of time the existing uses have continued on the subject lands:  
more than 20 years

9. Existing use of abutting properties:  
agricultural mainly, but 6 rural residential lots in the area

10. Are there any easements or restrictive covenants affecting the subject lands?  
☐ Yes ☒ No If yes, describe the easement or restrictive covenant and its effect:
- \_\_\_\_\_

### C. Purpose of Development Application

Note: Please complete all that apply. **Failure to complete this section will result in an incomplete application.**

#### 1. Site Information (Please refer to Zoning By-law to confirm permitted dimensions)

	Existing	Permitted	Provision	Proposed	Deficiency
Lot frontage	about 600 m	30 m	12.1.2 b)	53.69 m	
Lot depth				82.862 m	
Lot width				43.451 m narrowest	
Lot area	20.234 ha	40 ha farm & 0.2 lot	12.1.2 a)	0.41 ha & 19.84	20.16 ha farm
Lot coverage					
Front yard	44.03 m	13 m	12.1.2 c)	44.03 m	
Rear yard	100m +	9 m	12.1.1 f)	31.83 m	
Height	less than 11 m	11 m	12.1.2 h)	no change	
Left Interior side yard	100m +	3 m	12.1.2 e).	9.53 m	
Right Interior side yard	275m +	3 m	12.1.2 e)	18 m	
Exterior side yard (corner lot)					
Parking Spaces (number)	2 spaces	2 spaces	4.2	2 spces	
Aisle width					
Stall size					
Loading Spaces					
Other					

2. Please explain why it is not possible to comply with the provision(s) of the Zoning By-law:

the existing farm parcel at 20.234 ha is smaller than the minimum 40 ha lot area for a  
farm parcel set out in the Zoning By-law.

3. **Consent/Severance/Boundary Adjustment:** Description of land intended to be severed in metric units:

Frontage: 53.69 m

Depth: 82.862 m

Width: 43.451 m at rear - narrowest

Lot Area: 0.41 ha

Present Use: residence for farm operation

Proposed Use: residence

Proposed final lot size (if boundary adjustment): \_\_\_\_\_

If a boundary adjustment, identify the assessment roll number and property owner of the lands to which the parcel will be added: \_\_\_\_\_

\_\_\_\_\_  
\_\_\_\_\_

Description of land intended to be retained in metric units:

Frontage: more than 500 m

Depth: more than 300 m

Width: more than 600 m

Lot Area: 19.84 ha

Present Use: farm land producing bean crops

Proposed Use: apple orchard

Buildings on retained land: one barn

4. **Easement/Right-of-Way:** Description of proposed right-of-way/easement in metric units:

Frontage: \_\_\_\_\_

Depth: \_\_\_\_\_

Width: \_\_\_\_\_  
Area: \_\_\_\_\_  
Proposed Use: \_\_\_\_\_

**5. Surplus Farm Dwelling Severances Only:** List all properties in Norfolk County, which are owned and farmed by the applicant and involved in the farm operation

Owners Name: 2681029 Ontario Inc.  
Roll Number: 49102153000  
Total Acreage: 20.234 ha ( 50 ac)  
Workable Acreage: 19.42 ha  
Existing Farm Type: (for example: corn, orchard, livestock) Beans, moving to apples  
Dwelling Present?: ☒ Yes ☐ No If yes, year dwelling built 2014 replaced due to fire  
Date of Land Purchase: 2022

Owners Name: 2681029 Ontario Inc.  
Roll Number: 40504010000  
Total Acreage: 18.52 ha (45.76 ac)  
Workable Acreage: 18.21ha  
Existing Farm Type: (for example: corn, orchard, livestock) apples  
Dwelling Present?: ☐ Yes ☒ No If yes, year dwelling built \_\_\_\_\_  
Date of Land Purchase: 2019

Owners Name: Hayden and Amanda Dooney  
Roll Number: 40504010014  
Total Acreage: 0.50 ha - 1.24 ac  
Workable Acreage: none as farm residence  
Existing Farm Type: (for example: corn, orchard, livestock) \_\_\_\_\_  
Dwelling Present?: ☒ Yes ☐ No If yes, year dwelling built \_\_\_\_\_  
Date of Land Purchase: 2019

Owners Name: 2681029 Ontario Inc.  
Roll Number: 336-050-753-00  
Total Acreage: 17.87 ha (44.17 ac)  
Workable Acreage: 17.0 ha  
Existing Farm Type: (for example: corn, orchard, livestock) apples  
Dwelling Present?: ☐ Yes ☒ No If yes, year dwelling built \_\_\_\_\_  
Date of Land Purchase: 2020

Owners Name: \_\_\_\_\_  
Roll Number: \_\_\_\_\_  
Total Acreage: \_\_\_\_\_  
Workable Acreage: \_\_\_\_\_  
Existing Farm Type: (for example: corn, orchard, livestock) \_\_\_\_\_  
Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built \_\_\_\_\_  
Date of Land Purchase: \_\_\_\_\_

**Note: If additional space is needed please attach a separate sheet.**

**D. All Applications: Previous Use of the Property**

1. Has there been an industrial or commercial use on the subject lands or adjacent lands? ☐ Yes ☒ No ☐ Unknown

If yes, specify the uses (for example: gas station, or petroleum storage):

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

2. Is there reason to believe the subject lands may have been contaminated by former uses on the site or adjacent sites? ☐ Yes ☒ No ☐ Unknown

3. Provide the information you used to determine the answers to the above questions:

\_\_\_\_\_  
owners knowledge



4. If you answered yes to any of the above questions in Section D, a previous use inventory showing all known former uses of the subject lands, or if appropriate, the adjacent lands, is needed. Is the previous use inventory attached? ☐ Yes ☐ No
- 

**E. All Applications: Provincial Policy**

1. Is the requested amendment consistent with the provincial policy statements issued under subsection 3(1) of the *Planning Act, R.S.O. 1990, c. P. 13*? ☒ Yes ☐ No

If no, please explain:

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2. It is owner's responsibility to be aware of and comply with all relevant federal or provincial legislation, municipal by-laws or other agency approvals, including the Endangered Species Act, 2007. Have the subject lands been screened to ensure that development or site alteration will not have any impact on the habitat for endangered or threatened species further to the provincial policy statement subsection 2.1.7? ☒ Yes ☐ No

If no, please explain:

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3. Have the subject lands been screened to ensure that development or site alteration will not have any impact on source water protection? ☒ Yes ☐ No

If no, please explain:

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Note: If in an area of source water Wellhead Protection Area (WHPA) A, B or C please attach relevant information and approved mitigation measures from the Risk Manager Official.

4. All Applications: Are any of the following uses or features on the subject lands or within 500 metres of the subject lands, unless otherwise specified? Please check boxes, if applicable.

**Livestock facility or stockyard** (submit MDS Calculation with application)

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Wooded area**

☐ On the subject lands or ☒ within 500 meters – distance s boundary of parcel

**Municipal Landfill**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Sewage treatment plant or waste stabilization plant**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Provincially significant wetland (class 1, 2 or 3) or other environmental feature**

☐ On the subject lands or ☒ within 500 meters – distance abutting farm parcel

**Floodplain**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Rehabilitated mine site**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Non-operating mine site within one kilometre**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Active mine site within one kilometre**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Industrial or commercial use (specify the use(s))**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Active railway line**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Seasonal wetness of lands**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Erosion**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Abandoned gas wells**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

## F. All Applications: Servicing and Access

1. Indicate what services are available or proposed:

### Water Supply

☐ Municipal piped water

☐ Communal wells

☒ Individual wells

☐ Other (describe below)

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### Sewage Treatment

☐ Municipal sewers

☐ Communal system

☒ Septic tank and tile bed in good working order

☐ Other (describe below)

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### Storm Drainage

☐ Storm sewers

☒ Open ditches

☐ Other (describe below)

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2. Existing or proposed access to subject lands:

☒ Municipal road

☐ Provincial highway

☐ Unopened road

☐ Other (describe below)

Name of road/street:

Windham Road 12

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## G. All Applications: Other Information

1. Does the application involve a local business? ☐ Yes ☒ No

If yes, how many people are employed on the subject lands?

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2. Is there any other information that you think may be useful in the review of this application? If so, explain below or attach on a separate page.

## H. Supporting Material to be submitted by Applicant

In order for your application to be considered complete, folded hard copies (number of paper copies as directed by the planner) and an **electronic version (PDF) of the site plan drawings, additional plans, studies and reports** will be required, including but not limited to the following details:

1. Concept/Layout Plan
2. All measurements in metric
3. Existing and proposed easements and right of ways
4. Parking space totals – required and proposed
5. All dimensions of the subject lands
6. Dimensions and setbacks of all buildings and structures
7. Location and setbacks of septic system and well from all existing and proposed lot lines, and all existing and proposed structures
8. Names of adjacent streets
9. Natural features, watercourses and trees

In addition, the following additional plans, studies and reports, including but not limited to, **may** also be required as part of the complete application submission:

- ☒ On-Site Sewage Disposal System Evaluation Form (to verify location and condition)
- ☐ Environmental Impact Study
- ☐ Geotechnical Study / Hydrogeological Review
- ☐ Minimum Distance Separation Schedule
- ☐ Record of Site Condition

Your development approval might also be dependent on Ministry of Environment Conservation and Parks, Ministry of Transportation or other relevant federal or provincial legislation, municipal by-laws or other agency approvals.

**All final plans must include the owner's signature as well as the engineer's signature and seal.**

## I. Transfers, Easements and Postponement of Interest

The owner acknowledges and agrees that if required it is their solicitor's responsibility on behalf of the owner for the registration of all transfer(s) of land to the County, and/or transfer(s) of easement in favour of the County and/or utilities. Also, the owner further acknowledges and agrees that it is their solicitor's responsibility on behalf of the owner for the registration of postponements of any charges in favour of the County.

### Permission to Enter Subject Lands

Permission is hereby granted to Norfolk County officers, employees or agents, to enter the premises subject to this application for the purposes of making inspections associated with this application, during normal and reasonable working hours.

### Freedom of Information

For the purposes of the *Municipal Freedom of Information and Protection of Privacy Act*, I authorize and consent to the use by or the disclosure to any person or public body any information that is collected under the authority of the *Planning Act, R.S.O. 1990, c. P. 13* for the purposes of processing this application.

---

Owner/Applicant/Agent Signature

---

Date

## J. Owner's Authorization

If the applicant/agent is not the registered owner of the lands that is the subject of this application, the owner must complete the authorization set out below.

I/We \_\_\_\_\_ am/are the registered owner(s) of the lands that is the subject of this application.

I/We authorize Mary Elder, Elder Plans Inc. to make this application on my/our behalf and to provide any of my/our personal information necessary for the processing of this application. Moreover, this shall be your good and sufficient authorization for so doing.

---

Owner

---

Date

---

Owner

---

Date

**\*Note:** If property is owned by an Ontario Ltd. Corporation, Articles of Incorporation are required to be attached to the application.

**K. Declaration**

I, Mary Elder of Simcoe

solemnly declare that:

all of the above statements and the statements contained in all of the exhibits transmitted herewith are true and I make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath and by virtue of *The Canada Evidence Act*.

Declared before me at:

\_\_\_\_\_

\_\_\_\_\_

Owner/Applicant/Agent Signature

In \_\_\_\_\_

This \_\_\_\_\_ day of \_\_\_\_\_

A.D., 20\_\_\_\_

\_\_\_\_\_

A Commissioner, etc.

**K. Declaration**

I, Mary Elder of Simcoe

solemnly declare that:

all of the above statements and the statements contained in all of the exhibits transmitted herewith are true and I make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath and by virtue of *The Canada Evidence Act*.

Declared before me at:

12 Gilbertson Drive

Mary Elder  
Owner/Applicant/Agent Signature

In Simcoe

This 17<sup>th</sup> day of October

A.D., 20 24

[Signature]  
A Commissioner, etc.

Fritz Robert Enzlin, a  
Commissioner, etc., Province of Ontario,  
for the Corporation of Norfolk County.  
Expires March 15, 2028.

BNPL 2024 369  
1328 Windham Dooney  
Road 12



## I. Transfers, Easements and Postponement of Interest

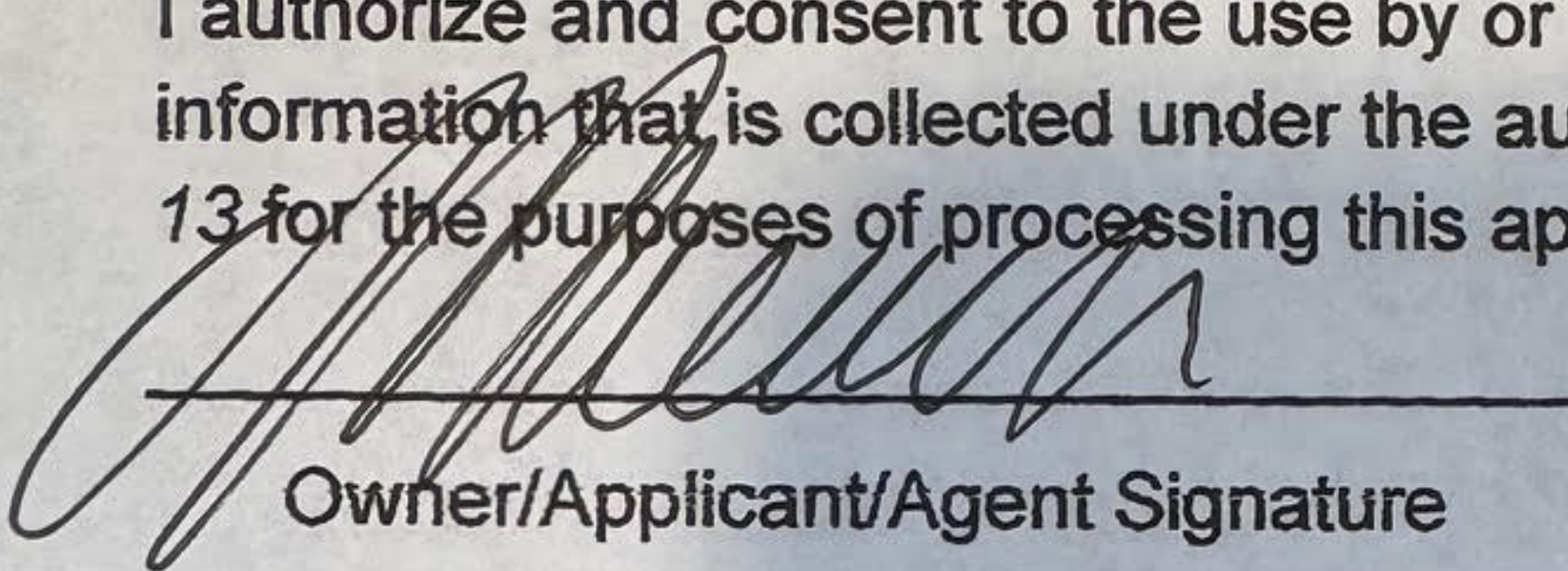
The owner acknowledges and agrees that if required it is their solicitor's responsibility on behalf of the owner for the registration of all transfer(s) of land to the County, and/or transfer(s) of easement in favour of the County and/or utilities. Also, the owner further acknowledges and agrees that it is their solicitor's responsibility on behalf of the owner for the registration of postponements of any charges in favour of the County.

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Owner/Applicant/Agent Signature

Sep 12, 2024  
Date

## J. Owner's Authorization

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I/We Hayden & Amanda Dooney am/are the registered owner(s) of the lands that is the subject of this application.

I/We authorize Mary Elder, Elder Plans Inc. to make this application on my/our behalf and to provide any of my/our personal information necessary for the processing of this application. Moreover, this shall be your good and sufficient authorization for so doing.

  
Owner

Sep 12, 2024  
Date

  
Owner

Sep 12, 2024  
Date

**\*Note:** If property is owned by an Ontario Ltd. Corporation, Articles of Incorporation are required to be attached to the application.



**PROPOSED  
SEVERANCE SKETCH**  
FOR:  
**SUNCREST ORCHARDS**  
**1328 WINDHAM ROAD 12**

SCALE: 1 : 500

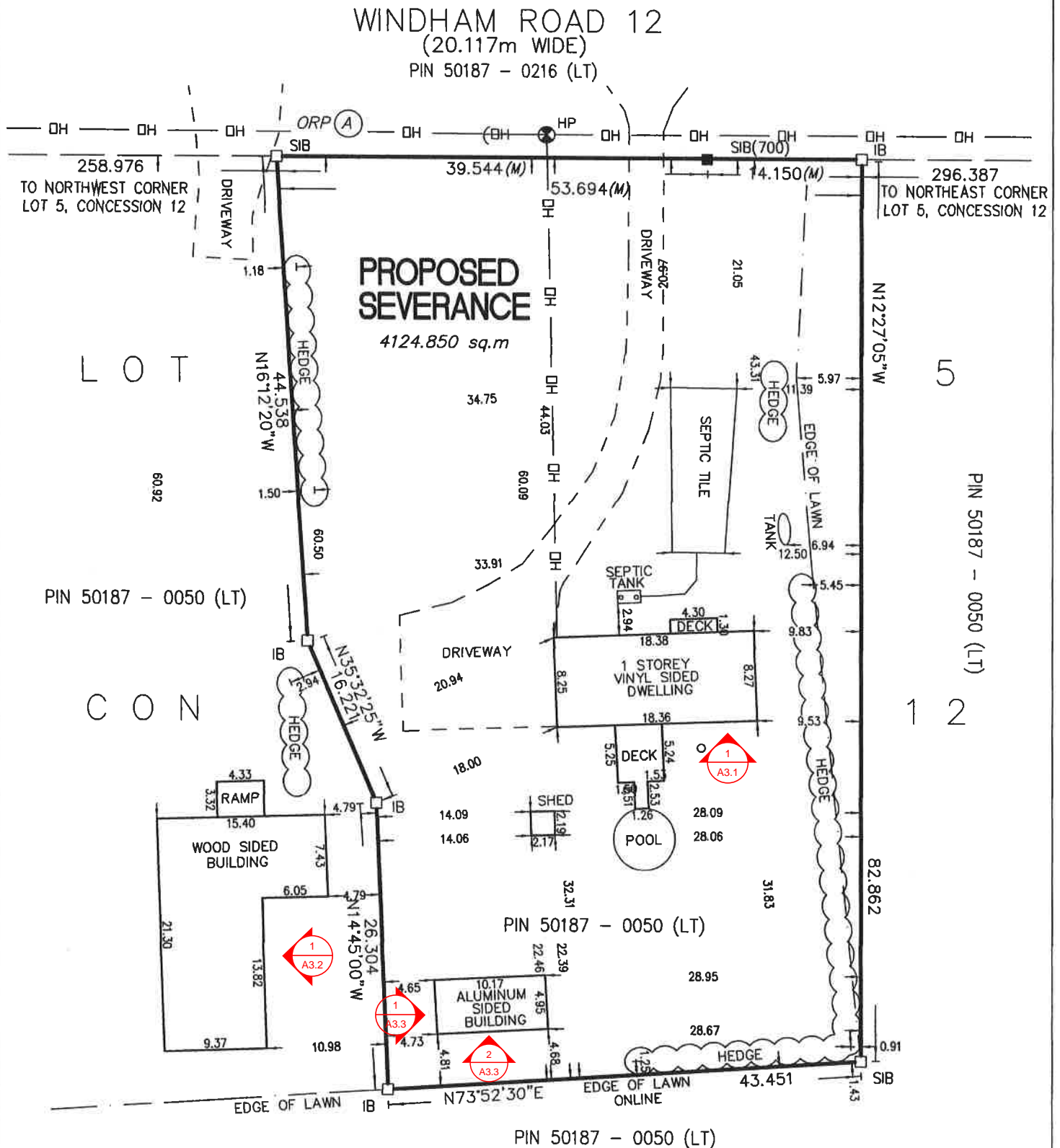


**NOTES**

- AREA OF EXISTING PARCEL = 20.23 Hectares
- AREA OF EXISTING BUILDINGS = 496.983 sq.m
- EXISTING LOT COVERAGE = 0.25 %
- AREA OF PROPOSED SEVERANCE = 4124.850 sq.m
- AREA OF BUILDINGS = 238.075 sq.m
- PROPOSED LOT COVERAGE = 5.77 %
- AREA OF PROPOSED REMAINDER = 19.82 Hectares
- AREA OF BUILDINGS = 258.908 sq.m
- REMAINDER LOT COVERAGE = 0.13 %

**METRIC NOTE:**

DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND  
CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048



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THIS REPORT IN WHOLE OR IN PART WITHOUT  
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IS STRICTLY PROHIBITED.

**PROPERTY DESCRIPTION:**

PART OF LOT 5  
CONCESSION 12  
GEOGRAPHIC TOWNSHIP OF WINDHAM

**JEWITT AND DIXON LTD.**  
**ONTARIO LAND SURVEYORS**

650 IRELAND ROAD  
SIMCOE, ONTARIO, N3Y 4K2

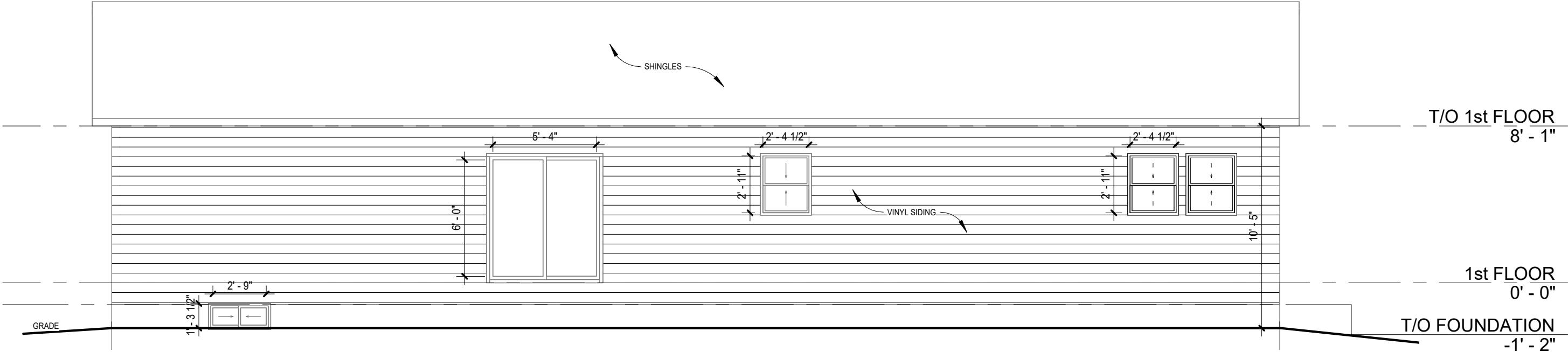
PHONE: (519) 426-0842  
E-mail: info@jewittdixon.com

JOB # 24-4029 CLIENT: SUNCREST ORCHARDS

SPATIAL SEPARATION (Interpolated Results)		
Based on OBC Table 9.10.15.4. - Exterior Walls For Houses		
Wall Location: LD Primary Dwelling - Rear		
Area Building Face	626 sq.ft.	58.16 m²
Limiting Distance - Minimum Calculated	6.07 Ft	1.85 m
Proposed Unprotected Opening Area	58 sq.ft.	
Max Unprotected Opening Area Permitted	58.16 sq.ft.	5.40 m²
Actual % of Unprotected Opening Area	9.27%	
Max Permitted % Unprotected Openings	9.29%	

Construction Requirements For Exposing Building Face	
Exterior Walls For Houses	New Construction
Minimum Fire Resistance of Wall Required	No FRR Required
Type of Construction Required	Combustible or noncombustible
Type of Cladding Required	Combustible or noncombustible

NOTE: REFER TO SURVEY FOR LOCATION OF BLDG ON SITE



**1 DWELLING - REAR ELEVATION**  
3/16" = 1'-0"

I, Justin Massecar (BCIN: 42757) am Registered (Firm BCIN: 112573). I have reviewed and taken responsibility for the design activities in conformance with the Ontario Building Code 2012.

*Massecar*



All work shall conform to the Ontario Building Code 2012, local bylaws and regulations for the geographical location of the project. **Any discrepancies between the drawings and site conditions shall be brought to the attention of the designer prior to start of the work. Any discrepancies between architectural, mechanical, structural, etc. drawings shall be brought to the attention of the designer.** The use of these plans shall be restricted to the original project site for which they were created, and publication thereof is expressly limited to such use. Reuse, reproduction or publication by any method, in whole or in part, is prohibited. This drawing is classified as part of an unpublished collection of visual art. It is an exclusive work of original authorship. None of the pictorial graphic or technical charts or drawings depicted on this sheet may be reproduced by any method, including tracing or photocopying, stored in a retrieval system, or transmitted in any form or by means electronic, mechanical or otherwise; nor may they be used or re-used for any purpose without the express prior written permission of the author. Title and ownership remains with the author without prejudice. Visual contact with these plans shall constitute prima facie evidence of the acceptance of these restrictions. ALL RIGHTS RESERVED. Copyright © 2020 MW Drafting and Design Inc.

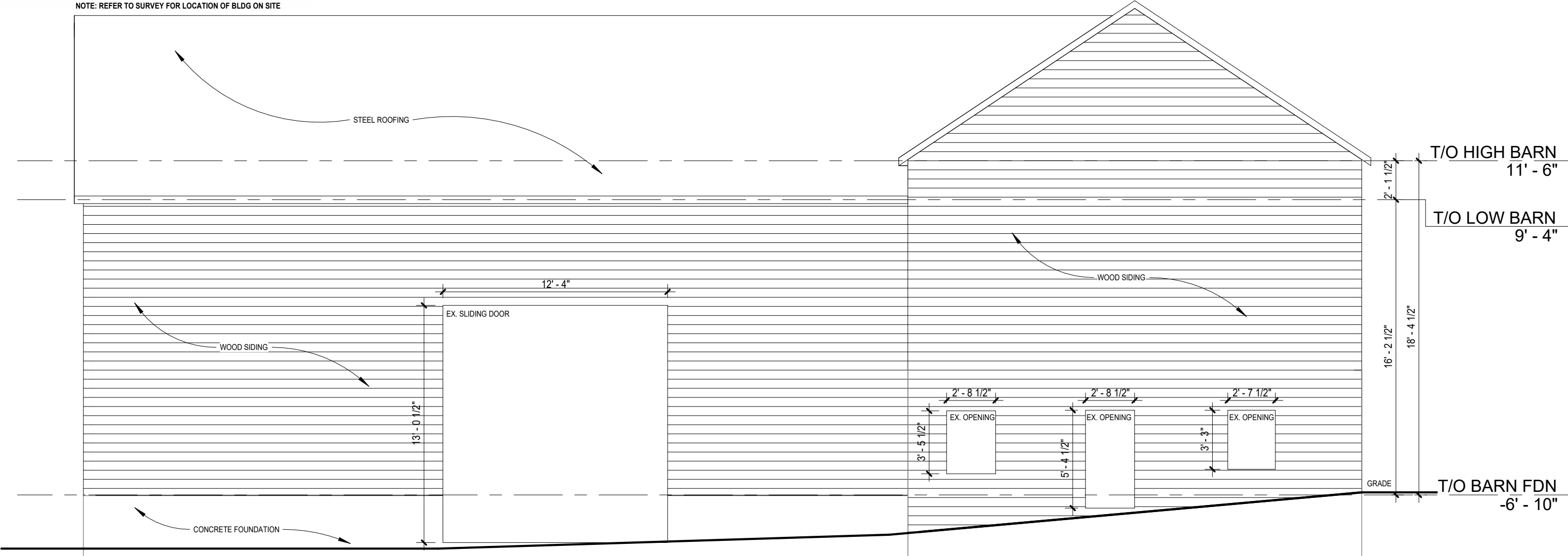
No.	Description	Date

HAYDEN DOONEY
1328 Windham Rd 12, Waterford
LOT SEVERANCE CALCS.

DWELLING - REAR ELEVATION		
Project number 23032	A3.1	Scale 3/16" = 1'-0"
Date 05/16/2024		
Drawn by ER		
Checked by JM		

SPATIAL SEPARATION (Interpolated Results)		
Based on OBC Table 9.10.15.4. - Exterior Walls For Houses		
Wall Location: Barn left		
Area Building Face	1341 sq.ft.	124.58 m²
Limiting Distance - Minimum Calculated	15.39 Ft	4.691 m
Proposed Unprotected Opening Area	193 sq.ft.	
Max Unprotected Opening Area Permitted	193.37 sq.ft.	17.96 m²
Actual % of Unprotected Opening Area	14.39%	
Max Permitted % Unprotected Openings	14.42%	

Construction Requirements For Exposing Building Face	
Exterior Walls For Houses	New Construction
Minimum Fire Resistance of Wall Required	No FRR Required
Type of Construction Required	Combustible or noncombustible
Type of Cladding Required	Combustible or noncombustible



**1 WOOD SIDED BLDG LEFT ELEVATION**  
3/16" = 1'-0"

I, Justin Massecar (BCIN: 42757) am Registered (Firm BCIN: 112573). I have reviewed and taken responsibility for the design activities in conformance with the Ontario Building Code 2012.



All work shall conform to the Ontario Building Code 2012, local bylaws and regulations for the geographical location of the project. **Any discrepancies between the drawings and site conditions shall be brought to the attention of the designer prior to start of the work. Any discrepancies between architectural, mechanical, structural, etc. drawings shall be brought to the attention of the designer.** The use of these plans shall be restricted to the original project site for which they were created, and publication thereof is expressly limited to such use. Reuse, reproduction or publication by any method, in whole or in part, is prohibited. This drawing is classified as part of an unpublished collection of visual art. It is an exclusive work of original authorship. None of the pictorial graphic or technical charts or drawings depicted on this sheet may be reproduced by any method, including tracing or photocopying, stored in a retrieval system, or transmitted in any form or by means electronic, mechanical or otherwise; nor may they be used or re-used for any purpose without the express prior written permission of the author. Title and ownership remains with the author without prejudice. Visual contact with these plans shall constitute prima facie evidence of the acceptance of these restrictions. ALL RIGHTS RESERVED. Copyright © 2020 MW Drafting and Design Inc.

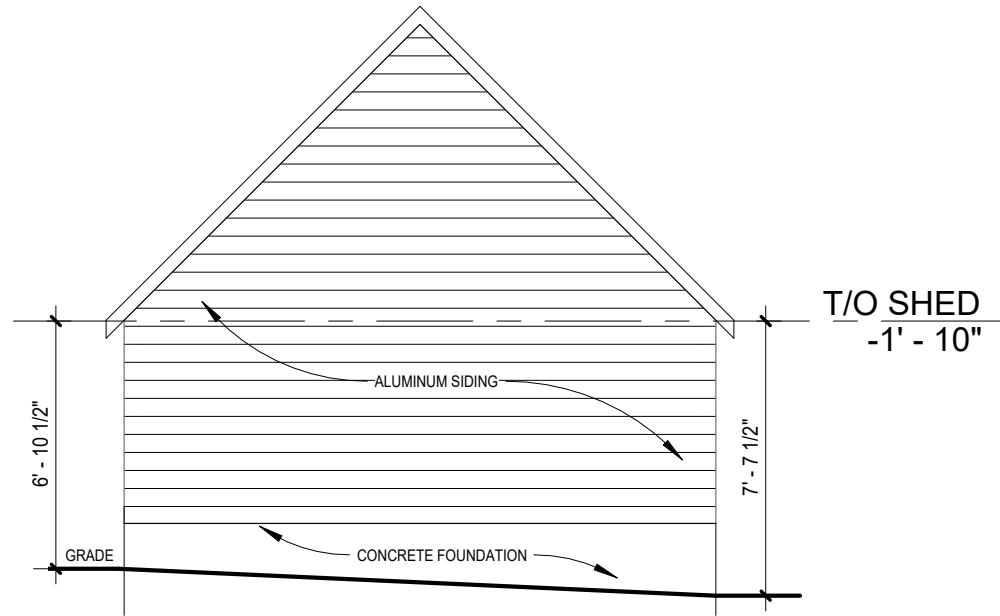
No.	Description	Date

HAYDEN DOONEY
1328 Windham Rd 12, Waterford
LOT SEVERANCE CALCS.

WOOD SIDED BLDG - LEFT ELEVATION		
Project number 23032	A3.2	Scale 3/16" = 1'-0"
Date 05/16/2024		
Drawn by ER		
Checked by JM		

SPATIAL SEPARATION (Interpolated Results)		
Based on OBC Table 9.10.15.4. - Exterior Walls For Houses		
Wall Location: SHED LEFT		
Area Building Face	118 sq.ft.	10.96 m²
Limiting Distance - Minimum Calculated	1.97 Ft	0.6 m
Proposed Unprotected Opening Area	0 sq.ft.	
Max Unprotected Opening Area Permitted	4.72 sq.ft.	0.44 m²
Actual % of Unprotected Opening Area	0.00%	
Max Permitted % Unprotected Openings	4.00%	

Construction Requirements For Exposing Building Face	
Exterior Walls For Houses	New Construction
Minimum Fire Resistance of Wall Required	45 min
Type of Construction Required	Combustible or noncombustible
Type of Cladding Required	Combustible or noncombustible

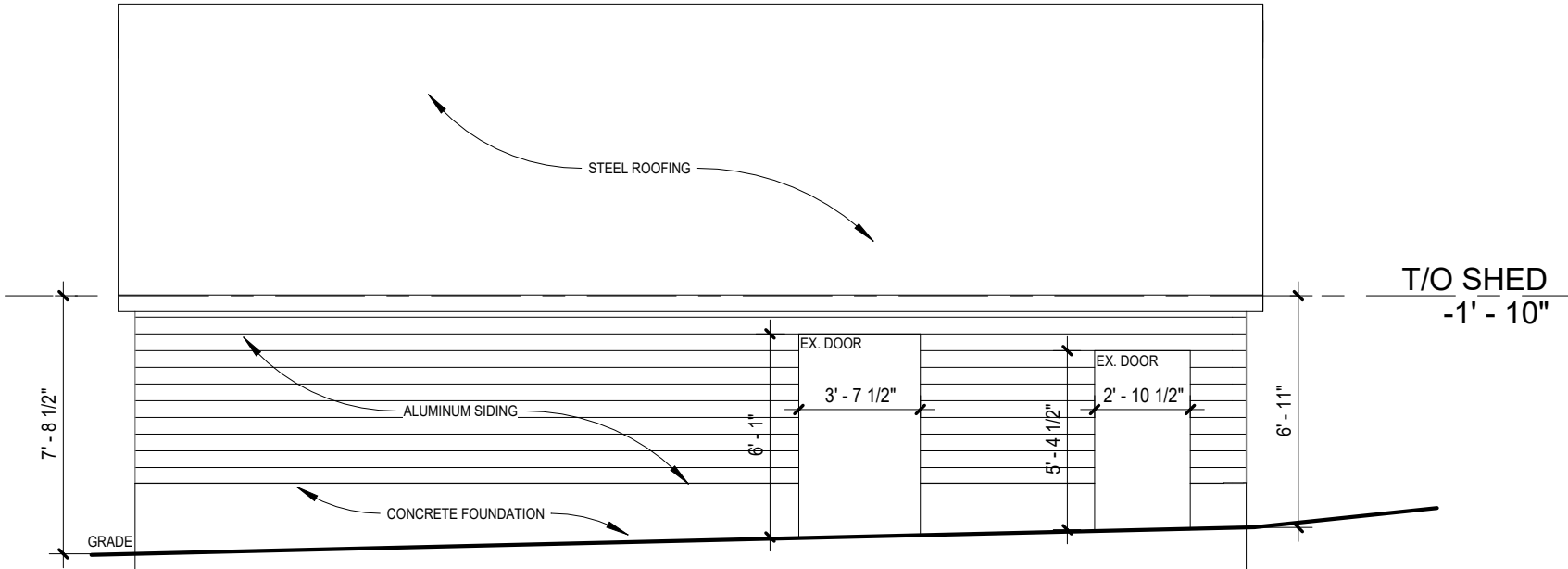


1 ALUMINUM SIDED BLDG - RIGHT ELEVATION  
3/16" = 1'-0"

SPATIAL SEPARATION (Interpolated Results)		
Based on OBC Table 9.10.15.4. - Exterior Walls For Houses		
Wall Location: LD Shed Rear		
Area Building Face	243.97 sq.ft.	22.67 m²
Limiting Distance - Minimum Calculated	6.92 Ft	2.109 m
Proposed Unprotected Opening Area	37 sq.ft.	
Max Unprotected Opening Area Permitted	37.06 sq.ft.	3.44 m²
Actual % of Unprotected Opening Area	15.17%	
Max Permitted % Unprotected Openings	15.19%	

Construction Requirements For Exposing Building Face	
Exterior Walls For Houses	New Construction
Minimum Fire Resistance of Wall Required	No FRR Required
Type of Construction Required	Combustible or noncombustible
Type of Cladding Required	Combustible or noncombustible

NOTE: REFER TO SURVEY FOR LOCATION OF BLDG ON SITE



2 ALUMINUM SIDED BLDG - REAR ELEVATION  
3/16" = 1'-0"

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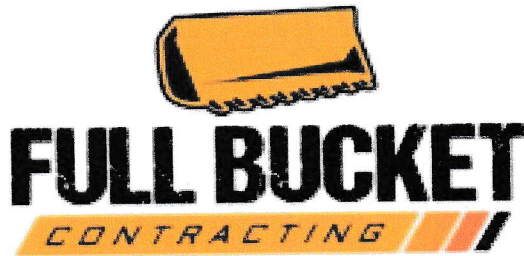
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No.	Description	Date

HAYDEN DOONEY
1328 Windham Rd 12, Waterford
LOT SEVERANCE CALCS.

ALUMINUM SIDED BLDG -RIGHT/ REAR ELEVATIONS		
Project number 23032	A3.3	
Date 05/16/2024		
Drawn by ER		
Checked by JM	Scale 3/16" = 1'-0"	





587 Conc. 8 Walpole  
Jarvis ON. N0A1J0  
[www.fullbucketcontracting.ca](http://www.fullbucketcontracting.ca)  
519-429-5967

To Norfolk County.

We have located and inspected the septic system, at 1328 Windham Rd 12 Simcoe ON.

The Septic tank appears to be in good/great shape. The Serial # on the tank is 08502913 manufactured in 2013.

We scoped the discharge line with our camera to the header, the pipe was clear and in good shape with no visible cracks.

We cleaned out the effluent filter and put it back in after the tank was sucked out.

The inlet of the tank was clear and operating normally and in good shape.

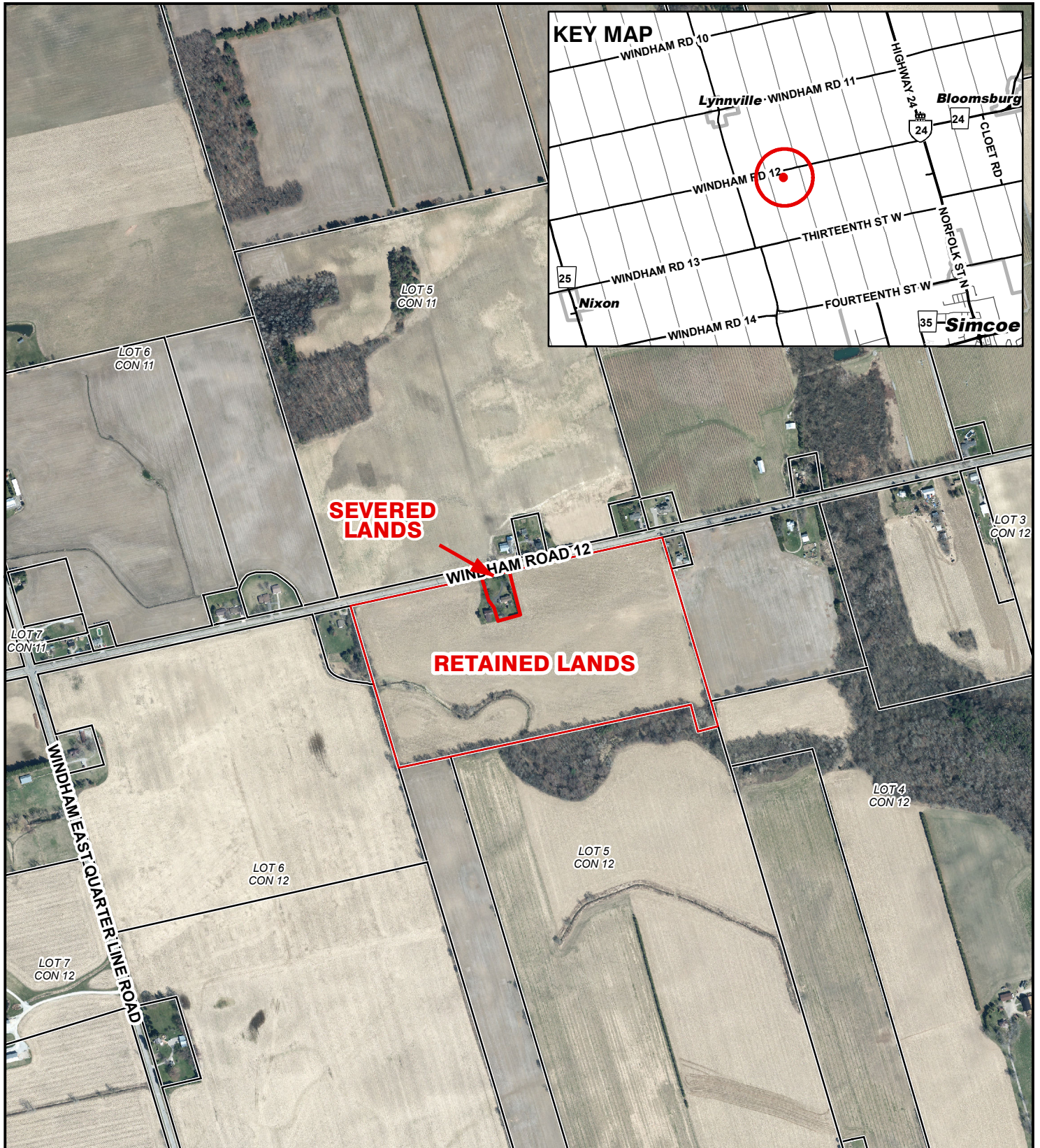
The field bed was dry and functioning as was designed. The bed had the appropriate slope.

It is our opinion the tank and field bed are in good working order with no concerns for the future.



We do recommend that the effluent filter be cleaned once per year as routine maintenance of the septic system.

Gary Harp O/O of Full Bucket Contracting.



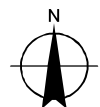


**Legend**

-  Subject Lands
-  Lands Owned

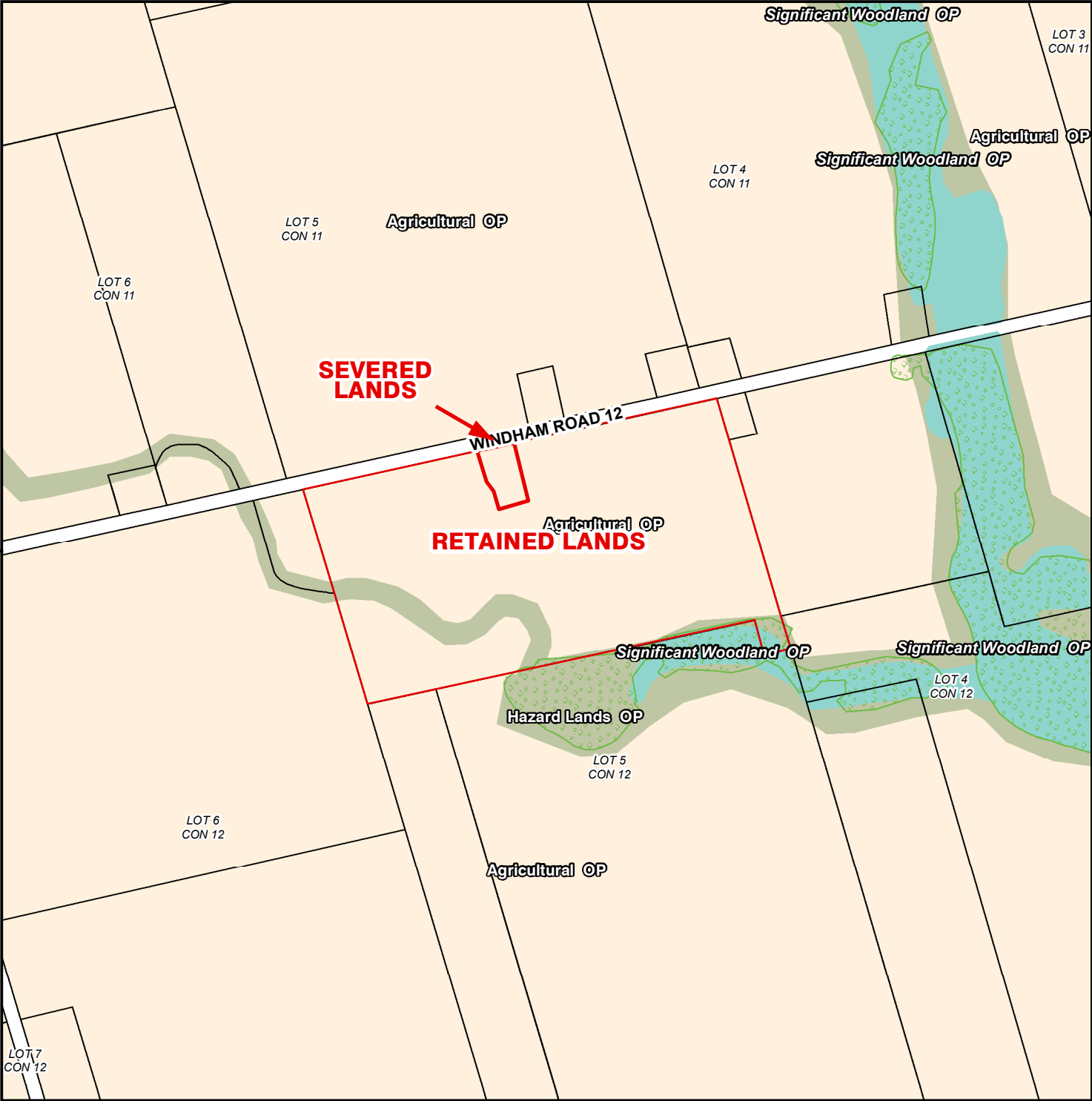
2020 Air Photo

12/24/2024





75 37.5 0 75 150 225 300  
Meters









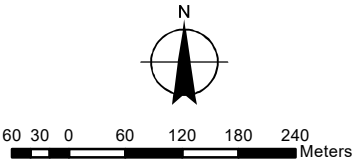
**Legend**

-  Subject Lands
-  Lands Owned

**Official Plan Designations**

-  Agricultural
-  Hazard Lands
-  Provincially Significant Wetland
-  Significant Woodland

12/24/2024

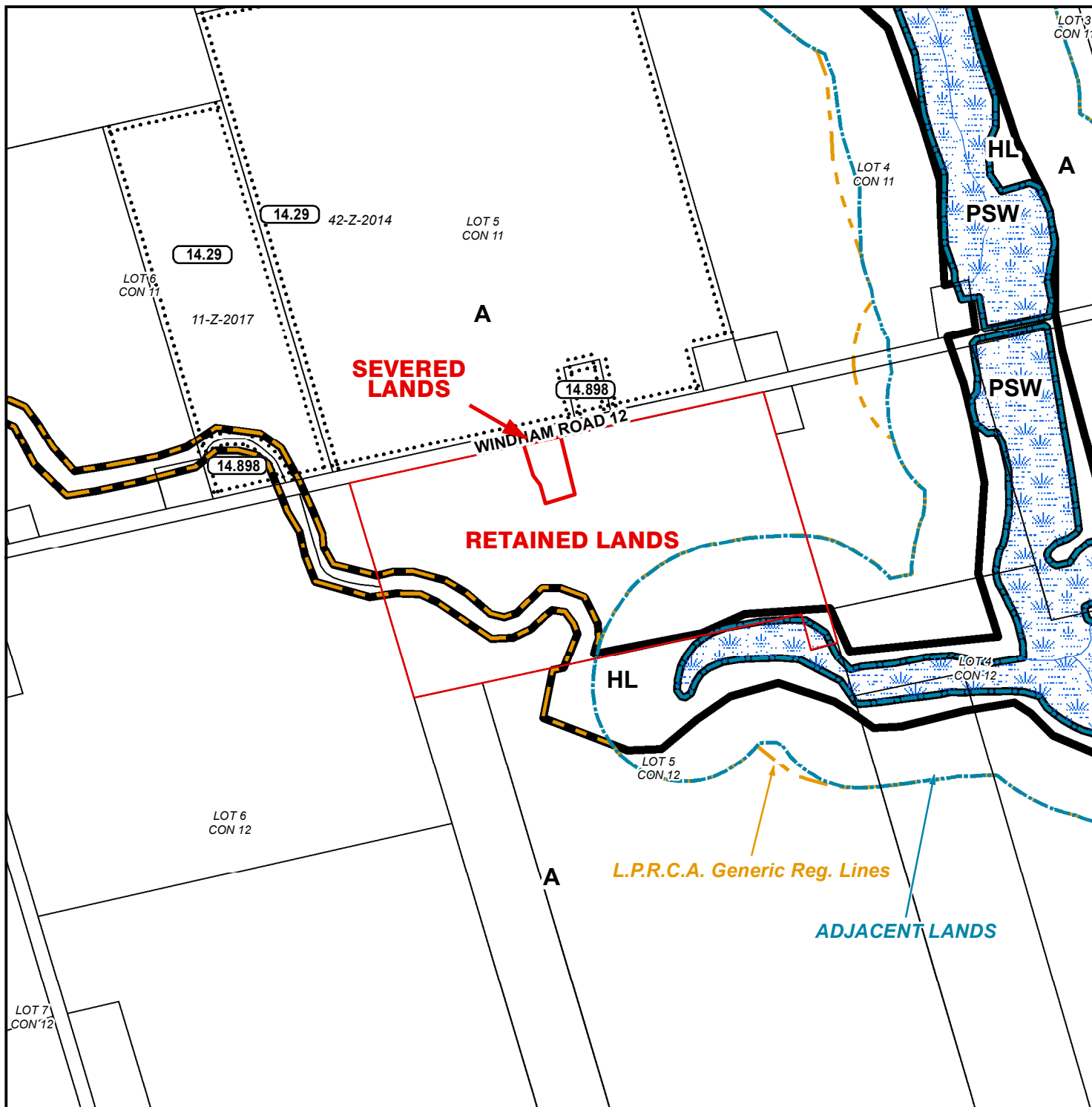


# MAP C

## ZONING BY-LAW MAP

Geographic Township of WINDHAM

BNPL2024369



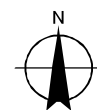
### LEGEND

- Subject Lands
- Lands Owned
- Adjacent Lands
- Wetland
- LPRCA Generic RegLines

ZONING BY-LAW 1-Z-2014

12/24/2024

- (H) - Holding
- A - Agricultural Zone
- HL - Hazard Land Zone
- PSW - Provincially Significant Wetland Zone

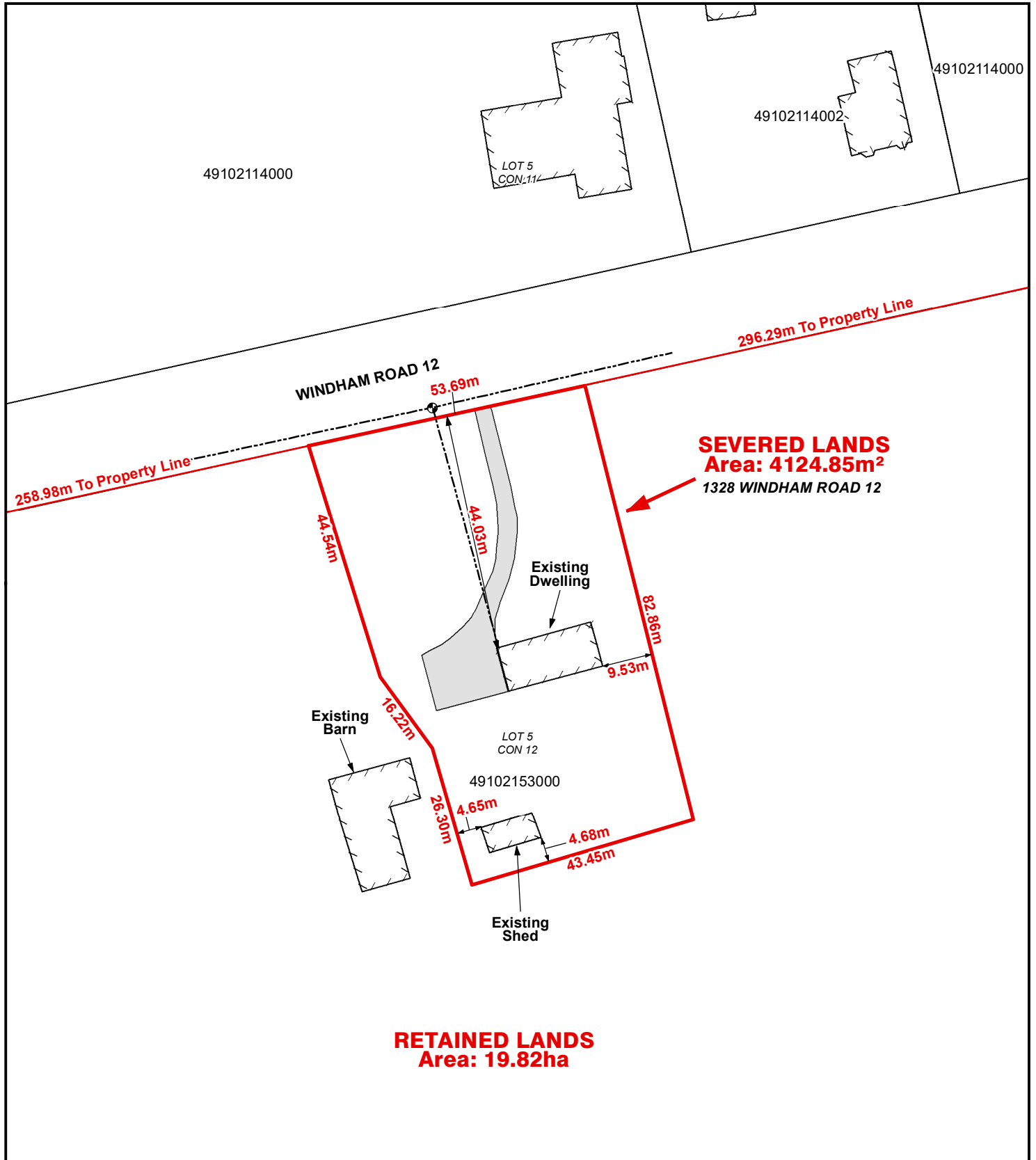


60 30 0 60 120 180 240  
Meters



# CONCEPTUAL PLAN

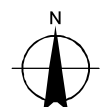
Geographic Township of WINDHAM



## Legend

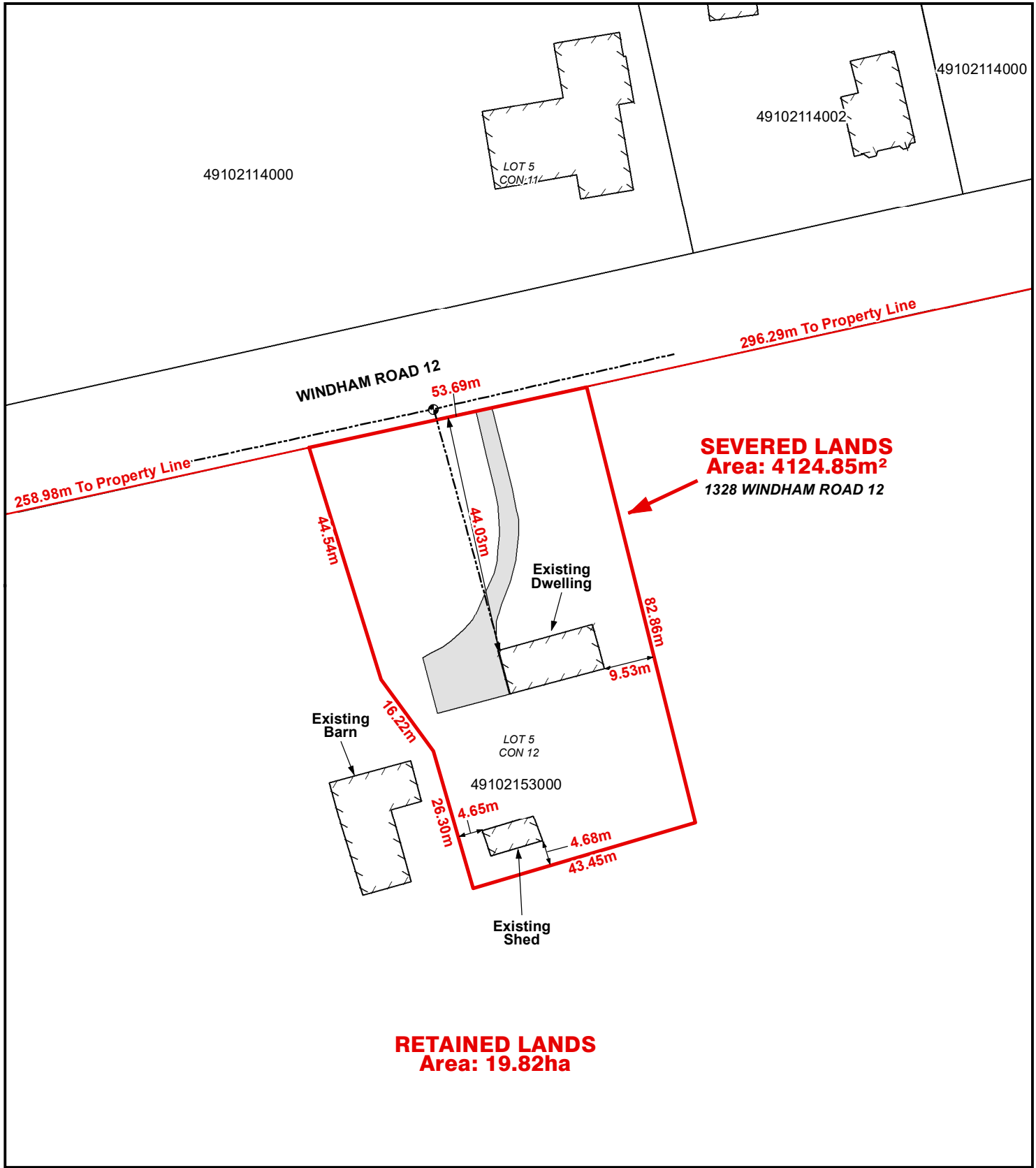
- Subject Lands
- Lands Owned

12/24/2024



10 5 0 10 20 30 40 Meters

CONCEPTUAL PLAN  
Geographic Township of WINDHAM



Legend

-  Subject Lands
-  Lands Owned

12/24/2024

