

## Planning Department Development Application Form

### Complete Application

A complete development application consists of the following:

1. A completed, signed, and notarized application form
2. Supporting information adequate to illustrate your proposal as indicated in **Section H** of this application form
3. Written authorization from the registered owner of the subject lands where the applicant is not the owner as per Section N
4. Cash, debit, credit or cheque payable to Norfolk County in the amount set out in the user fees By-Law that will be accepted and deposited once the application has been deemed complete.

### Pre-Submission Consultation:

Norfolk County requires a Pre-Consultation Meeting for all applications; however, minor applications may be exempted depending on the nature of the proposal. The purpose of a Pre-Consultation Meeting is to provide the applicant with an opportunity to present the proposed application, discuss potential issues, and for the Norfolk County and Agency staff to identify the application requirements. Application requirements, as detailed in the Pre-Consultation Meeting Comments, are valid for one year after the meeting date.

### Development Application Process

Once an application has been deemed complete by a Planner, Norfolk County staff will circulate the application to adjacent landowners, public agencies, and internal departments for comment. The time involved in application processing varies depending on its complexity, acceptability to the other agencies, and statutory Planning Act decision time-frames.

Payment is required once your application is deemed complete. Pre-payments will not be accepted.

Norfolk County collects personal information submitted through this form under the Municipal Freedom of Information and Protection Act's authority. Norfolk County will use this information for the purposes indicated or implied by this form. You can direct questions about collecting personal information to Norfolk GIS Services at [NorfolkGIS@norfolkcounty.ca](mailto:NorfolkGIS@norfolkcounty.ca).

Additional studies required for the complete application shall be at the applicant's sole expense. Sometimes, peer reviews may be necessary to review particular studies at the applicant's expense. In these cases, Norfolk County staff will select the company to complete the peer review.

Norfolk County will refund the original fee if applicants withdraw their applications before circulation. If Norfolk County must recirculate your drawings, there will be an additional fee. If Norfolk County must do more than three reviews of engineering drawings due to revisions by the owner or failure to revise engineering drawings as requested, Norfolk County will charge an additional fee. Full refunds are only available before Norfolk County has circulated the application.

### **Notification Sign Requirements**

For public notification, Norfolk County will provide you with a sign to indicate the intent and purpose of your development application. It is your responsibility to:

1. Post one sign per frontage in a conspicuous location on the subject lands.
2. Ensure one sign is posted at the front of the subject lands at least three feet above ground level and not on a tree.
3. Notify the Planner when the sign is in place.
4. Maintain the sign until the development application is finalized and, after that, remove it.

### **Contact Us**

For additional information or assistance completing this application, please contact a Planner at 519-426-5870 or 519-875-4485 extension 1842 or [planning@norfolkcounty.ca](mailto:planning@norfolkcounty.ca). Please submit the completed application and fees to the attention of the Planning Department at 185 Robinson Street, Suite 200, Simcoe, ON N3Y 5L6.

**For Office Use Only:**

|                          |       |                             |       |
|--------------------------|-------|-----------------------------|-------|
| File Number              | _____ | Public Notice Sign          | _____ |
| Related File Number      | _____ | Application Fee             | _____ |
| Pre-consultation Meeting | _____ | Conservation Authority Fee  | _____ |
| Application Submitted    | _____ | Well & Septic Info Provided | _____ |
| Complete Application     | _____ | Planner                     | _____ |

**Check the type of planning application(s) you are submitting.**

- ☐ Official Plan Amendment
- ☐ Zoning By-Law Amendment
- ☐ Temporary Use By-law
- ☐ Draft Plan of Subdivision/Vacant Land Condominium
- ☐ Condominium Exemption
- ☐ Site Plan Application
- ☐ Extension of a Temporary Use By-law
- ☒ Part Lot Control
- ☐ Cash-in-Lieu of Parking
- ☐ Renewable Energy Project or Radio Communication Tower

Please summarize the desired result of this application (for example, a special zoning provision on the subject lands to include additional use(s), changing the zone or official plan designation of the subject lands, creating a certain number of lots, or similar)

REQUEST TO REMOVE PART LOT CONTROL, TO CREATE 2 SFD'S OR A SEMI.

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

**Property Assessment Roll Number:** 3310401012002

**A. Applicant Information**

**Name of Owner**

Principal Properties Inc. (Nick Thompson) +  
Norfolk Rentals Co. (Brett Vansickle)

**Address**

~~67 DARR~~ 241 Grove St (243)

**Town and Postal Code**

Simcoe

**Phone Number**

(226) 567-6425

**Cell Number**

/

**Email**

thompson2@gmail.com

**Name of Applicant**

Brett Vansickle / Nick Thompson

**Address**

4802 Highway 3

**Town and Postal Code**

Simcoe N3Y4K4

**Phone Number**

(519) 427-4527

**Cell Number**

/

**Email**

bv.doverelectric@gmail.com

**Name of Agent**

Brett Vansickle (Norfolk Rentals)

**Address**

4802 Highway 3

**Town and Postal Code**

Simcoe N3Y4K4

**Phone Number**

(519) 427-4527

**Cell Number**

/

**Email**

bv.doverelectric@gmail.com

Unless otherwise directed, Norfolk County will forward all correspondence and notices regarding this application to both owner and agent noted above.

☒ Owner

☒ Agent

☐ Applicant

Names and addresses of any holder of any mortgagees, charges or other encumbrances on the subject lands:

\_\_\_\_\_  
\_\_\_\_\_

**B. Location, Legal Description and Property Information**

1. Legal Description (include Geographic Township, Concession Number, Lot Number, Block Number and Urban Area or Hamlet):

PLAN 182 BLK 97 PT LOT 2 AP 37R2879 PART 1 (AREA 0.70 AC 124.20 FR.) (ORIGINAL LOT PRIOR TO SEVERANCE)

Municipal Civic Address: 243 GROVE ST. SIMCOE

Present Official Plan Designation(s): RESIDENTIAL

Present Zoning: R2

2. Is there a special provision or site specific zone on the subject lands?

☐ Yes ☒ No If yes, please specify corresponding number:

3. Present use of the subject lands:

RESIDENTIAL

4. Please describe **all existing** buildings or structures on the subject lands and whether they will be retained, demolished or removed. If retaining the buildings or structures, please describe the type of buildings or structures, and illustrate the setback, in metric units, from the front, rear and side lot lines, ground floor area, gross floor area, lot coverage, number of storeys, width, length, and height on your attached sketch which must be included with your application:

- VACANT HOME WAS DEMOLISHED TO CREATE 2 SETS OF SEMIS  
- 1 SEMI BEING BUILT CURRENTLY

5. If an addition to an existing building is being proposed, please explain what it will be used for (for example: bedroom, kitchen, or bathroom). If new fixtures are proposed, please describe.

6. Please describe **all proposed** buildings or structures/additions on the subject lands. Describe the type of buildings or structures/additions, and illustrate the setback, in metric units, from front, rear and side lot lines, ground floor area, gross floor area, lot coverage, number of storeys, width, length, and height on your attached sketch which must be included with your application:

2 SEMIS WERE CREATED WITH APPROVAL TO SPLIT EACH SEMI TO ALLOW 4 BLOKS  
WITH 3 UNITS PER.

7. Are any existing buildings on the subject lands designated under the *Ontario Heritage Act* as being architecturally and/or historically significant? Yes ☐ No ☒

If yes, identify and provide details of the building:

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8. If known, the length of time the existing uses have continued on the subject lands:

40+ yrs

9. Existing use of abutting properties:

RESIDENTIAL (R2)

10. Are there any easements or restrictive covenants affecting the subject lands?

☐ Yes ☒ No If yes, describe the easement or restrictive covenant and its effect:

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### C. Purpose of Development Application

**Note: Please complete all that apply.**

1. Please explain what you propose to do on the subject lands/premises which makes this development application necessary:

- 2 SEMIS HAVE BEEN CREATED

- PART LOT CONTROL REMOVAL REQUESTED TO CREATE 4 PARCELS

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2. Please explain why it is not possible to comply with the provision(s) of the Zoning By-law/and or Official Plan:

WE REQUIRE PART LOT CONTROL TO CREATE 3 UNITS PER SIDE OF EACH SEMI.

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3. Does the requested amendment alter all or any part of the boundary of an area of settlement in the municipality or implement a new area of settlement in the municipality? ☐ Yes ☐ No If yes, describe its effect:

- NEW BOUNDARIES WERE CREATED FROM A SUBDIVISION

- SPLIT SEVERED PARCELS IS REQUESTED

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4. Does the requested amendment remove the subject land from an area of employment? ☐ Yes ☒ No If yes, describe its effect:

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5. Does the requested amendment alter, replace, or delete a policy of the Official Plan?  
☐ Yes ☒ No If yes, identify the policy, and also include a proposed text of the policy amendment (if additional space is required, please attach a separate sheet):

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6. Description of land intended to be severed in metric units:

Frontage: 19.2m  
Depth: 63.9m  
Width: 19.2m  
Lot Area: 1243.6m<sup>2</sup>  
Present Use: RESIDENTIAL  
Proposed Use: RESIDENTIAL

} PART LOT CONTROL EXEMPTION TO SPLIT SEMIS

Proposed final lot size (if boundary adjustment): \_\_\_\_\_

If a boundary adjustment, identify the assessment roll number and property owner of the lands to which the parcel will be added: \_\_\_\_\_

Description of land intended to be retained in metric units:

Frontage: 19.2m  
Depth: 63.9m  
Width: 19.2m  
Lot Area: 1243.6m<sup>2</sup>  
Present Use: RESIDENTIAL  
Proposed Use: RESIDENTIAL

Buildings on retained land: SEMI RESIDENTIAL

7. Description of proposed right-of-way/easement:

Frontage: \_\_\_\_\_  
Depth: \_\_\_\_\_  
Width: \_\_\_\_\_  
Area: \_\_\_\_\_  
Proposed use: \_\_\_\_\_

8. Name of person(s), if known, to whom lands or interest in lands to be transferred, leased or charged (if known):

**9. Site Information****Zoning****Proposed**

Please indicate unit of measurement, for example: m, m<sup>2</sup> or %

|                                 |       |                      |
|---------------------------------|-------|----------------------|
| Lot frontage                    | _____ | 19.2m                |
| Lot depth                       | _____ | 63.9m                |
| Lot width                       | _____ | 19.2m                |
| Lot area                        | _____ | 1243.6m <sup>2</sup> |
| Lot coverage                    | _____ | _____                |
| Front yard                      | _____ | _____                |
| Rear yard                       | _____ | _____                |
| Left Interior side yard         | _____ | _____                |
| Right Interior side yard        | _____ | _____                |
| Exterior side yard (corner lot) | _____ | _____                |
| Landscaped open space           | _____ | _____                |
| Entrance access width           | _____ | _____                |
| Exit access width               | _____ | _____                |
| Size of fencing or screening    | _____ | _____                |
| Type of fencing                 | _____ | _____                |

SITE PLAN  
ATTACHED

**10. Building Size**

|                          |       |                             |
|--------------------------|-------|-----------------------------|
| Number of storeys        | _____ | 2.5                         |
| Building height          | _____ | _____                       |
| Total ground floor area  | _____ | 850 sqm                     |
| Total gross floor area   | _____ | _____                       |
| Total useable floor area | _____ | 2550 sqm Per Semi (3 units) |

**11. Off Street Parking and Loading Facilities**

|   |       |       |
|---|-------|-------|
| Number of off street parking spaces     | _____ | 6+    |
| Number of visitor parking spaces        | _____ | 2+    |
| Number of accessible parking spaces     | _____ | _____ |
| Number of off street loading facilities | _____ | _____ |

12. Residential (if applicable)

Number of buildings existing: 2 Semi Detached

Number of buildings proposed: Part Lot Control Exemption To Split Concurrent Semis

Is this a conversion or addition to an existing building? ☒ Yes ☒ No

If yes, describe: Part Lot Control Exemption

| Type                      | Number of Units         | Floor Area per Unit in m2 |
|---------------------------|-------------------------|---------------------------|
| Single Detached           |                         |                           |
| Semi-Detached             | <u>3 units per semi</u> | <u>79 sqm per unit</u>    |
| Duplex                    |                         |                           |
| Triplex                   |                         |                           |
| Four-plex                 |                         |                           |
| Street Townhouse          |                         |                           |
| Stacked Townhouse         |                         |                           |
| Apartment - Bachelor      |                         |                           |
| Apartment - One bedroom   |                         |                           |
| Apartment - Two bedroom   |                         |                           |
| Apartment - Three bedroom |                         |                           |

Other facilities provided (for example: play facilities, underground parking, games room, or swimming pool):

13. Commercial/Industrial Uses (if applicable)

Number of buildings existing: \_\_\_\_\_

Number of buildings proposed: \_\_\_\_\_

Is this a conversion or addition to an existing building? ☐ Yes ☐ No

If yes, describe:

Indicate the gross floor area by the type of use (for example: office, retail, or storage):

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Seating Capacity (for assembly halls or similar): \_\_\_\_\_

Total number of fixed seats: \_\_\_\_\_

Describe the type of business(es) proposed: \_\_\_\_\_

Total number of staff proposed initially: \_\_\_\_\_

Total number of staff proposed in five years: \_\_\_\_\_

Maximum number of staff on the largest shift: \_\_\_\_\_

Is open storage required: ☐ Yes ☐ No

Is a residential use proposed as part of, or accessory to commercial/industrial use?

☐ Yes ☐ No If yes please describe:

\_\_\_\_\_  
\_\_\_\_\_

14. Institutional (if applicable)

Describe the type of use proposed: \_\_\_\_\_

Seating capacity (if applicable): \_\_\_\_\_

Number of beds (if applicable): \_\_\_\_\_

Total number of staff proposed initially: \_\_\_\_\_

Total number of staff proposed in five years: \_\_\_\_\_

Maximum number of staff on the largest shift: \_\_\_\_\_

Indicate the gross floor area by the type of use (for example: office, retail, or storage):

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

15. Describe Recreational or Other Use(s) (if applicable)

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

#### D. Previous Use of the Property

1. Has there been an industrial or commercial use on the subject lands or adjacent lands? ☐ Yes ☒ No ☐ Unknown

If yes, specify the uses (for example: gas station or petroleum storage):

2. Is there reason to believe the subject lands may have been contaminated by former uses on the site or adjacent sites? ☐ Yes ☒ No ☐ Unknown

3. Provide the information you used to determine the answers to the above questions:

4. If you answered yes to any of the above questions in Section D, a previous use inventory showing all known former uses of the subject lands, or if appropriate, the adjacent lands, is needed. Is the previous use inventory attached? ☐ Yes ☐ No

#### E. Provincial Policy

1. Is the requested amendment consistent with the provincial policy statements issued under subsection 3(1) of the *Planning Act*, R.S.O. 1990, c. P. 13? ☒ Yes ☐ No

If no, please explain:

2. It is owner's responsibility to be aware of and comply with all relevant federal or provincial legislation, municipal by-laws or other agency approvals, including the Endangered Species Act, 2007. Have the subject lands been screened to ensure that development or site alteration will not have any impact on the habitat for endangered or threatened species further to the provincial policy statement subsection 2.1.7? ☒ Yes ☐ No

If no, please explain:

3. Have the subject lands been screened to ensure that development or site alteration will not have any impact on source water protection? ☒ Yes ☐ No

If no, please explain:

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Note: If in an area of source water Wellhead Protection Area (WHPA) A, B or C please attach relevant information and approved mitigation measures from the Risk Manager Official.

4. Are any of the following uses or features on the subject lands or within 500 metres of the subject lands, unless otherwise specified? Please check boxes, if applicable.

**Livestock facility or stockyard** (submit MDS Calculation with application)

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Wooded area**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Municipal Landfill**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Sewage treatment plant or waste stabilization plant**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Provincially significant wetland (class 1, 2 or 3) or other environmental feature**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Floodplain**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Rehabilitated mine site**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Non-operating mine site within one kilometre**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Active mine site within one kilometre**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Industrial or commercial use (specify the use(s))**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Active railway line**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Seasonal wetness of lands**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Erosion**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Abandoned gas wells**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

## **H. Supporting Material to be submitted by Applicant**

In order for your application to be considered complete, **folded** hard copies (number of paper copies as directed by the planner) and an **electronic version (PDF) of the properly named site plan drawings, additional plans, studies and reports** will be required, including but not limited to the following details:

1. Concept/Layout Plan
2. All measurements in metric
3. Key map
4. Scale, legend and north arrow
5. Legal description and municipal address
6. Development name
7. Drawing title, number, original date and revision dates
8. Owner's name, address and telephone number
9. Engineer's name, address and telephone number
10. Professional engineer's stamp
11. Existing and proposed easements and right of ways
12. Zoning compliance table – required versus proposed
13. Parking space totals – required and proposed
14. All entrances to parking areas marked with directional arrows
15. Loading spaces, facilities and routes (for commercial developments)
16. All dimensions of the subject lands
17. Dimensions and setbacks of all buildings and structures
18. Location and setbacks of septic system and well from all existing and proposed lot lines, and all existing and proposed structures
19. Gross, ground and useable floor area
20. Lot coverage
21. Floor area ratio
22. Building entrances, building type, height, grades and extent of overhangs
23. Names, dimensions and location of adjacent streets including daylighting triangles
24. Driveways, curbs, drop curbs, pavement markings, widths, radii and traffic directional signs
25. All exterior stairways and ramps with dimensions and setbacks
26. Retaining walls including materials proposed
27. Fire access and routes
28. Location, dimensions and number of parking spaces (including visitor and accessible) and drive aisles
29. Location of mechanical room, and other building services (e.g. A/C, HRV)
30. Refuse disposal and storage areas including any related screening (if indoors, need notation on site plan)
31. Winter snow storage location

## F. Servicing and Access

1. Indicate what services are available or proposed:

Water Supply

☒ Municipal piped water

☐ Individual wells

☐ Communal wells

☐ Other (describe below)

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Sewage Treatment

☒ Municipal sewers

☐ Communal system

☐ Septic tank and tile bed in good working order ☐ Other (describe below)

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Storm Drainage

☐ Storm sewers

☐ Open ditches

☐ Other (describe below)

- 
2. Existing or proposed access to subject lands:

☒ Municipal road

☐ Provincial highway

☐ Unopened road

☐ Other (describe below)

Name of road/street: \_\_\_\_\_

## G. Other Information

1. Does the application involve a local business? ☐ Yes ☒ No

If yes, how many people are employed on the subject lands?

- 
2. Is there any other information that you think may be useful in the review of this application? If so, explain below or attach on a separate page.

*Prior Approval and Consent Was Received By Boardman Sloan and Council  
To Support This Request Prior To Excavation.*

32. Landscape areas with dimensions
33. Natural features, watercourses and trees
34. Fire hydrants and utilities location
35. Fencing, screening and buffering – size, type and location
36. All hard surface materials
37. Light standards and wall mounted lights (plus a note on the site plan that all outdoor lighting is to be dark sky compliant)
38. Business signs (make sure they are not in sight lines)
39. Sidewalks and walkways with dimensions
40. Pedestrian access routes into site and around site
41. Bicycle parking
42. Architectural elevations of all building sides
43. All other requirements as per the pre-consultation meeting

In addition, the following additional plans, studies and reports, including but not limited to, **may** also be required as part of the complete application submission:

- ☐ Zoning Deficiency Form
- ☐ On-Site Sewage Disposal System Evaluation Form (to verify location and condition)
- ☐ Architectural Plan
- ☐ Buildings Elevation Plan
- ☐ Cut and Fill Plan
- ☐ Erosion and Sediment Control Plan
- ☐ Grading and Drainage Control Plan (around perimeter and within site) (existing and proposed)
- ☐ Landscape Plan
- ☐ Photometric (Lighting) Plan
- ☐ Plan and Profile Drawings
- ☐ Site Servicing Plan
- ☐ Storm water Management Plan
- ☐ Street Sign and Traffic Plan
- ☐ Street Tree Planting Plan
- ☐ Tree Preservation Plan
- ☐ Archaeological Assessment
- ☐ Environmental Impact Study

- ☐ Functional Servicing Report
- ☐ Geotechnical Study / Hydrogeological Review
- ☐ Minimum Distance Separation Schedule
- ☐ Noise or Vibration Study
- ☐ Record of Site Condition
- ☐ Storm water Management Report
- ☐ Traffic Impact Study – please contact the Planner to verify the scope required

Site Plan applications will require the following supporting materials:

1. Two (2) complete sets of the site plan drawings folded to 8½ x 11 and an electronic version in PDF format
2. Letter requesting that the Holding be removed (if applicable)
3. A cost estimate prepared by the applicant's engineer
4. An estimate for Parkland dedication by a certified land appraiser
5. Property Identification Number (PIN) printout

Standard condominium exemptions will require the following supporting materials:

- ☐ Plan of standard condominium (2 paper copies and 1 electronic copy)
- ☐ Draft condominium declaration
- ☐ Property Identification Number (PIN) printout

Your development approval might also be dependent on other relevant federal or provincial legislation, municipal by-laws or other agency approvals.

**All final plans must include the owner's signature as well as the engineer's signature and seal.**

### **I. Development Agreements**

A development agreement may be required prior to site plan approval, subdivision and condominium applications. Should this be necessary for your development, you will be contacted by the agreement administrator with further details of the requirements including but not limited to insurance coverage, professional liability for your engineer, additional fees and securities.

## J. Transfers, Easements and Postponement of Interest

The owner acknowledges and agrees that if required, it is their solicitor's responsibility on behalf of the owner, to disclose the registration of all transfer(s) of land and/or easement in favour of the County and/or utilities. Also, the owner further acknowledges and agrees that it is their solicitor's responsibility on behalf of the owner for the registration of postponements of any charges in favour of the County.

## K. Permission to Enter Subject Lands

Permission is hereby granted to Norfolk County officers, employees or agents, to enter the premises subject to this application for the purposes of making inspections associated with this application, during normal and reasonable working hours.

## L. Freedom of Information

For the purposes of the *Municipal Freedom of Information and Protection of Privacy Act*, I authorize and consent to the use by or the disclosure to any person or public body any information that is collected under the authority of the *Planning Act, R.S.O. 1990, c. P. 13* for the purposes of processing this application.

\* Brett

May 13 2025

Owner/Applicant Signature

Date

## M. Owner's Authorization

*Brett Vansickle (Norfolk Properties Inc.) is Co-Owners with Nick Thompson (Principal Properties Inc.)*

If the applicant/agent is not the registered owner of the lands that is the subject of this application, the owner(s) must complete the authorization set out below.

I/We \_\_\_\_\_ am/are the registered owner(s) of the lands that is the subject of this application.

I/We authorize \_\_\_\_\_ to make this application on my/our behalf and to provide any of my/our personal information necessary for the processing of this application. Moreover, this shall be your good and sufficient authorization for so doing.

\_\_\_\_\_  
Owner

\_\_\_\_\_  
Date

\_\_\_\_\_  
Owner

\_\_\_\_\_  
Date

**N. Declaration**

I, Brett VanSickle of Simcoe, ON

solemnly declare that:

all of the above statements and the statements contained in all of the exhibits transmitted herewith are true and I make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath and by virtue of *The Canada Evidence Act*.

Declared before me at:

FirstOntario Credit Union

Brett VanSickle

Owner/Applicant Signature

In Simcoe, ON

This 15 day of May

A.D., 2025

Cody Conway Furlong  
A Commissioner, etc.

Cody Conway Furlong, a Commissioner, etc.,  
Province of Ontario, for FirstOntario Credit  
Union Limited. Expires September 3, 2025.



PROPERTY DESCRIPTION: PART LOT 2, BLOCK 97, PLAN 182, PART 1, PLAN 37R11776; NORFOLK COUNTY

PROPERTY REMARKS:

ESTATE/QUALIFIER:

FEE SIMPLE  
LT CONVERSION QUALIFIED

RECENTLY:

DIVISION FROM 50217-0103

PIN CREATION DATE:

2025/03/12

OWNERS' NAMES

PRINCIPAL PROPERTIES INCORPORATED

CAPACITY SHARE

ROWN

| REG. NUM.   | DATE       | INSTRUMENT TYPE    | AMOUNT    | PARTIES FROM                      | PARTIES TO                        | CERT/<br>CHKD |
|---|------------|--------------------|-----------|-----------------------------------|-----------------------------------|---------------|
| ** PRINTOUT INCLUDES ALL DOCUMENT TYPES AND DELETED INSTRUMENTS SINCE 2025/03/12 **                           |            |                    |           |                                   |                                   |               |
| **SUBJECT, ON FIRST REGISTRATION UNDER THE LAND TITLES ACT, TO:   |            |                    |           |                                   |                                   |               |
| ** SUBSECTION 44(1) OF THE LAND TITLES ACT, EXCEPT PARAGRAPH 11, PARAGRAPH 14, PROVINCIAL SUCCESSION DUTIES * |            |                    |           |                                   |                                   |               |
| ** AND ESCHEATS OR FORFEITURE TO THE CROWN.   |            |                    |           |                                   |                                   |               |
| ** THE RIGHTS OF ANY PERSON WHO WOULD, BUT FOR THE LAND TITLES ACT, BE ENTITLED TO THE LAND OR ANY PART OF    |            |                    |           |                                   |                                   |               |
| ** IT THROUGH LENGTH OF ADVERSE POSSESSION, PRESCRIPTION, MISDESCRIPTION OR BOUNDARIES SETTLED BY             |            |                    |           |                                   |                                   |               |
| ** CONVENTION.  |            |                    |           |                                   |                                   |               |
| ** ANY LEASE TO WHICH THE SUBSECTION 70(2) OF THE REGISTRY ACT APPLIES.                                       |            |                    |           |                                   |                                   |               |
| **DATE OF CONVERSION TO LAND TITLES: 2006/09/25 **  |            |                    |           |                                   |                                   |               |
| NK99013   | 2017/04/28 | TRANS PERSONAL REP | \$230,000 | MOORE, KELLY CHRISTOPHER          | PRINCIPAL PROPERTIES INCORPORATED | C             |
| REMARKS: PLANNING ACT STATEMENTS.   |            |                    |           |                                   |                                   |               |
| NK131008  | 2020/06/16 | CHARGE             | \$238,125 | PRINCIPAL PROPERTIES INCORPORATED | CANADIAN WESTERN TRUST COMPANY    | C             |
| NK131009  | 2020/06/16 | NO ASSGN RENT GEN  |           | PRINCIPAL PROPERTIES INCORPORATED | CANADIAN WESTERN TRUST COMPANY    | C             |
| REMARKS: NK131008   |            |                    |           |                                   |                                   |               |
| 37R11776  | 2024/10/25 | PLAN REFERENCE     |           |                                   |                                   | C             |
| NK180893  | 2025/05/28 | DISCH OF CHARGE    |           | CANADIAN WESTERN TRUST COMPANY    |                                   |               |
| REMARKS: NK131008.  |            |                    |           |                                   |                                   |               |
| NK180894  | 2025/05/28 | TRANSFER           | \$225,293 | PRINCIPAL PROPERTIES INCORPORATED | 1001042995 ONTARIO INC.           |               |

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NOTE: ENSURE THAT YOUR PRINTOUT STATES THE TOTAL NUMBER OF PAGES AND THAT YOU HAVE PICKED THEM ALL UP.

## Lesley Hutton-Rhora

---

**From:** Brandon Sloan <Brandon.Sloan@norfolkcounty.ca>  
**Sent:** Friday, October 11, 2024 2:16 PM  
**To:** Lesley Hutton-Rhora; Fritz Enzlin; Mohammad Alam  
**Cc:** John Vallee; John Iezzi; Eldon Darbyson; Scott Puillandre  
**Subject:** Re: Policies Regulating ARDUs in Norfolk County

Hi Lesley et al,  
Thanks for your patience.

Our suggested direction for this matter is that the proponent could proceed to submit a building permit for the semi-detached dwelling with 2 interior ADUs per side. We have confirmation that the new provincial legislation prevails over our current zoning bylaw provisions and that would be the applicable law in this instance. We will still look to update and align our policies and zoning with the Planning Act. In the meantime, we believe that this should be more expedient, able to proceed and see more housing options built sooner.

We trust this is of assistance. Thanks again for raising the items as part of the industry collaboration.

Take care and enjoy the long weekend all.

Brandon

**Brandon Sloan**  
General Manager  
Administration  
Community Development Division  
Gilbertson Administration Building  
12 Gilbertson Drive, Simcoe, Ontario, Canada, N3Y 3N3  
519-426-5870 x8166 | 226-NORFOLK



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---

**From:** Brandon Sloan <Brandon.Sloan@norfolkcounty.ca>  
**Sent:** Monday, October 7, 2024 10:50 AM  
**To:** Lesley Hutton-Rhora <lesleyhuttonrhora@gdvallee.ca>; Fritz Enzlin <Fritz.Enzlin@norfolkcounty.ca>; Mohammad Alam <Mohammad.Alam@norfolkcounty.ca>  
**Cc:** John Vallee <Johnvallee@gdvallee.ca>; John Iezzi <johniezzi@gdvallee.ca>; Eldon Darbyson <eldondarbyson@gdvallee.ca>; Scott Puillandre <Scottpuillandre@gdvallee.ca>  
**Subject:** Re: Policies Regulating ARDUs in Norfolk County

Hi Lesley,

We did coordinate an internal review of this item. There is a potential scenario with a few variations that is being considered as to how a permit could be issued followed by PLC and then ARDUs - however, before providing a more detailed response, during that somewhat 'restful' weekend another potential option came to mind but requires legal opinion which we are currently seeking this week. As such, more response pending.

Brandon

**Brandon Sloan**

General Manager

Administration

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**From:** Lesley Hutton-Rhora <lesleyhuttonrhora@gdvallee.ca>

**Sent:** Monday, October 7, 2024 9:40 AM

**To:** Brandon Sloan <Brandon.Sloan@norfolkcounty.ca>; Fritz Enzlin <Fritz.Enzlin@norfolkcounty.ca>; Mohammad Alam <Mohammad.Alam@norfolkcounty.ca>

**Cc:** John Vallee <Johnvallee@gdvallee.ca>; John Iezzi <johniezzi@gdvallee.ca>; Eldon Darbyson <eldondarbyson@gdvallee.ca>; Scott Puillandre <Scottpuillandre@gdvallee.ca>

**Subject:** RE: Policies Regulating ARDUs in Norfolk County

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Good Morning Brandon,

We hope you folks had a restful weekend.

Following up on the correspondence below regarding ARDU policies. Did you folks have a chance to review together on Friday as noted?

Thank you,

Lesley Hutton-Rhora

Architectural Project Manager

**G. DOUGLAS VALLEE LIMITED**

2 Talbot Street North, Simcoe Ontario, N3Y 3W4

519-426-6270 x163 | [www.gdvallee.ca]www.gdvallee.ca



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---

**From:** Brandon Sloan <Brandon.Sloan@norfolkcounty.ca>  
**Sent:** Tuesday, October 1, 2024 1:06 PM  
**To:** Lesley Hutton-Rhora <lesleyhuttonrhora@gdvallee.ca>  
**Subject:** Re: Policies Regulating ARDUs in Norfolk County

thanks. that helps with some background.

**Brandon Sloan**  
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Administration  
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**From:** Lesley Hutton-Rhora <[lesleyhuttonrhora@gdvallee.ca](mailto:lesleyhuttonrhora@gdvallee.ca)>  
**Sent:** Tuesday, October 1, 2024 10:39 AM  
**To:** Brandon Sloan <[Brandon.Sloan@norfolkcounty.ca](mailto:Brandon.Sloan@norfolkcounty.ca)>  
**Subject:** RE: Policies Regulating ARDUs in Norfolk County

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Hi Brandon,

The imminent development file is 241 Grove Street, Simcoe for Jeff Plunkett and Nic Thompson.

The client is seeking to develop four semi-detached dwellings, each with two ARDUs to offer attainable rental options within Simcoe.

- The Client's preference is to include two interior ARDUs within each semi-detached dwelling (one in the basement and one on the second floor). In this scenario, the detached accessory structures will be eliminated.
- Their second option is to include one interior ARDU plus one detached ARDU in the rear yard of each semi, in which case they intend on redesigning the primary semi-detached dwelling to eliminate the second storey.

The hurdles we have are as follows:

- Physical installation of the service laterals was included as a condition of severance for application BNPL2024143, which severed the overall parcel into two for parts intended for each pair of semi-detached dwellings. The Client is in the process of coordinating those services and clearing the balance of conditions for the severance.

\*\* Of note, the provision for the physical installation of services for the purpose of a consent application is in our view inappropriate and unnecessary, and creates delays in the clearance of the conditions of severance.

- The Building Department is requiring that each parcel be further subdivided through part lot control exemption before they are willing to issue building permits for the proposed ARDUs, citing the restriction of “3 dwelling units per lot”. Because each pair of semis will actually have 6 dwellings (two primary units and four ARDUs), they are claiming they cannot issue full permits until the property line is established along the demising wall. Typically this does not occur until after the installation of the foundations to ensure that the reference plan matches the as built condition, however the implications to construction costs to segregate the foundations for the ARDUs (if detached) is prohibitive. While they have agreed to consider issuing conditional permits on the strength of conditional approval of the part lot control by-law, we expect this process will take considerable time for staff to approve thereby delaying permit submission and construction. We also are under the impression that the consent above needs to be finalized before the submission for part lot control exemption is made, given that the severed parcel is not yet ‘officially created’.

\*\* We do not feel that this approach is appropriate given the interpretation of the Planning Act provisions below, and we aren’t clear why this requirement is enforced only with respect to ARDUs and not to the construction of linked townhouses and condominium units that are built prior to the subdivision of the underlying parcel. The Client should have been able to submit for a building permit application for the first pair of semis (with ARDUs) on the strength of the future consent and part lot control exemption applications as it is an approved use. Given the actual text of the Planning Act, the zoning provisions that restrict the quantity of ARDUs **PER LOT** are the stumbling block here.

The applicable timeframes for this project are as follows:

- Meeting with Norfolk County Building & Zoning held March 7, 2024 wherein CBO expressed willingness to consider conditional building permits to allow for the concurrent construction of ARDUs, followed by part lot control exemption after installation of foundation.
- Submission for consent & minor variance made to Norfolk County on April 4, 2024
- Planning report for COA received June 13, 2024
- COA Decision Issued June 19, 2024
- Notice of No Appeals for Consent received July 11, 2024
- Meeting with Norfolk County Building held July 24, 2024 wherein DCBO noted the CBO was no longer willing to issue conditional building permits prior to the further subdivision of the lots, citing maximum dwelling count of 3 units “per lot”

Client is now trying to determine the best path forward.

Thanks for your help,

Lesley Hutton-Rhora

Architectural Project Manager

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---

**From:** Brandon Sloan <[Brandon.Sloan@norfolkcounty.ca](mailto:Brandon.Sloan@norfolkcounty.ca)>  
**Sent:** Tuesday, October 1, 2024 9:49 AM  
**To:** Lesley Hutton-Rhora <[lesleyhuttonrhora@gdvallee.ca](mailto:lesleyhuttonrhora@gdvallee.ca)>  
**Subject:** Re: Policies Regulating ARDUs in Norfolk County

thanks.

What is the development file in question?

I'll be in budget mtgs, etc so Friday afternoon is the earliest time that I'll be able to debrief with staff on our industry session and this item.

B.

**Brandon Sloan**  
General Manager  
Administration  
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---

**From:** Lesley Hutton-Rhora <[lesleyhuttonrhora@gdvallee.ca](mailto:lesleyhuttonrhora@gdvallee.ca)>  
**Sent:** Monday, September 30, 2024 10:16 PM  
**To:** Brandon Sloan <[Brandon.Sloan@norfolkcounty.ca](mailto:Brandon.Sloan@norfolkcounty.ca)>  
**Cc:** John Vallee <[Johnvallee@gdvallee.ca](mailto:Johnvallee@gdvallee.ca)>; Eldon Darbyson <[eldondarbyson@gdvallee.ca](mailto:eldondarbyson@gdvallee.ca)>; Scott Puillandre <[Scottpuillandre@gdvallee.ca](mailto:Scottpuillandre@gdvallee.ca)>; Mohammad Alam <[Mohammad.Alam@norfolkcounty.ca](mailto:Mohammad.Alam@norfolkcounty.ca)>; Fritz Enzlin <[Fritz.Enzlin@norfolkcounty.ca](mailto:Fritz.Enzlin@norfolkcounty.ca)>  
**Subject:** RE: Policies Regulating ARDUs in Norfolk County

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Thanks Brandon – much appreciated.

As a friendly nudge, we have an active file that is **ready for permit submission** that would benefit from additional clarity on these topics. The Client is very much caught 'between a rock and a hard place' trying to develop ARDUs in an effort to bring affordable rental units to market in Simcoe, and these policies are hindering his ability to move forward with the construction of the development in a comprehensive and cost-effective way. Both Vallee and the proponent have been working collaboratively with staff on this development since early Spring, and we have yet to receive clear guidance on these topics.

While we certainly appreciate the many items on your plates, a timely resolution to these items would help us all move forward. I will follow up with you folks on Thursday afternoon to check in.

Thank you,

Lesley Hutton-Rhora

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Phone: 519.426.6270 x163 Fax: 519.426.6277 Cell: 519.207.0485

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---

**From:** Brandon Sloan <[Brandon.Sloan@norfolkcounty.ca](mailto:Brandon.Sloan@norfolkcounty.ca)>

**Sent:** September 30, 2024 12:47 PM

**To:** Lesley Hutton-Rhora <[lesleyhuttonrhora@gdvallee.ca](mailto:lesleyhuttonrhora@gdvallee.ca)>

**Cc:** John Vallee <[Johnvallee@gdvallee.ca](mailto:Johnvallee@gdvallee.ca)>; Eldon Darbyson <[eldondarbyson@gdvallee.ca](mailto:eldondarbyson@gdvallee.ca)>; Scott Puillandre <[Scottpuillandre@gdvallee.ca](mailto:Scottpuillandre@gdvallee.ca)>; Mohammad Alam <[Mohammad.Alam@norfolkcounty.ca](mailto:Mohammad.Alam@norfolkcounty.ca)>; Fritz Enzlin <[Fritz.Enzlin@norfolkcounty.ca](mailto:Fritz.Enzlin@norfolkcounty.ca)>

**Subject:** Re: Policies Regulating ARDUs in Norfolk County

Thanks Lesley for the overview and organization to the issue. We were just in the midst of undertaking the further updates to our ARDU policies and zoning post Bill23.

We will connect internally to review the suggestions and our potential timing and let you know.

Thank again for attending the conference industry session and following up with the topic to review.

Appreciate it.

Brandon

**Brandon Sloan**

General Manager

Administration

Community Development Division

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---

**From:** Lesley Hutton-Rhora <[lesleyhuttonhora@gdvallee.ca](mailto:lesleyhuttonhora@gdvallee.ca)>  
**Sent:** Monday, September 30, 2024 12:04 PM  
**To:** Brandon Sloan; Mohammad Alam; Fritz Enzlin  
**Cc:** John Vallee; Eldon Darbyson; Scott Puillandre  
**Subject:** Policies Regulating ARDUs in Norfolk County

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Good Morning Brandon, Mohammad and Fritz,

Thank you for hosting the Development Industry Session on Friday.

We hope to coordinate a meeting with you folks to revisit the discussion regarding policies regulating ARDUs in Norfolk County. We have several clients planning to incorporate ARDUs into their multi-residential developments (freehold and condominium) in the coming months. On their behalf, we hope to resolve a few issues to help facilitate smooth approval of the development and permit applications.

The Planning Act, as amended by Bill 23, includes the following provisions under Part III – Official Plans, Section 16 – Contents of Official Plan:

**Restrictions for residential units**

- (3) No official plan may contain any policy that has the effect of prohibiting the use of,
- (a) two residential units in a detached house, semi-detached house or rowhouse on a parcel of urban residential land, if all buildings and structures ancillary to the detached house, semi-detached house or rowhouse cumulatively contain no more than one residential unit;
  - (b) three residential units in a detached house, semi-detached house or rowhouse on a parcel of urban residential land, if no building or structure ancillary to the detached house, semi-detached house or rowhouse contains any residential units; or
  - (c) one residential unit in a building or structure ancillary to a detached house, semi-detached house or rowhouse on a parcel of urban residential land, if the detached house, semi-detached house or rowhouse contains no more than two residential units and no other building or structure ancillary to the detached house, semi-detached house or rowhouse contains any residential units. 2022, c. 21, Sched. 9, s. 4 (1).

**Restriction, parking**

- (3.1) No official plan may contain any policy that has the effect of requiring more than one parking space to be provided and maintained in connection with a residential unit referred to in subsection (3) other than the primary residential unit. 2022, c. 21, Sched. 9, s. 4 (1); 2023, c. 10, Sched. 6, s. 3.

**Restriction, minimum unit size**

- (3.2) No official plan may contain any policy that provides for a minimum floor area of a residential unit referred to in subsection (3). 2022, c. 21, Sched. 9, s. 4 (1).

**Policies of no effect**

- (3.3) A policy in an official plan is **of no effect** to the extent that it contravenes a restriction described in subsection (3), (3.1), or (3.2). 2022, c. 21, Sched. 9, s. 4 (1).

As we understand, Norfolk County’s Zoning By-Law was created under the provisions of Section 34 of the Planning Act and is intended to “conform to” and “implement the policy direction provided in” the Norfolk County Official Plan.

Of note, the text of the Planning Act does **NOT** refer to the number of units on a particular **LOT OR PARCEL**. Rather, it refers to the number of units permitted within or accessory to the **USE**.

Our read of the provisions in the Planning Act outlined above is that the Official Plan cannot contain any policy that prohibits:

- Up to one ARDU (in addition to the primary dwelling) in a detached, semi-detached or rowhouse PLUS up to one ARDU in a detached structure ancillary to that house (for a total of three dwelling units);
- Up to two ARDUs in a detached, semi-detached or rowhouse (in addition to the primary dwelling) PROVIDED there are no dwelling units in any detached structures ancillary to that house (for a total of three dwelling units).

Furthermore, our read of the policy in subsection (3.3) is that any such provision in the Official Plan (and by extension the Zoning By-Law) that does prohibit these uses **is null and void (of no effect)**.

We are therefore of the opinion that the policies contained in the Official Plan and Zoning By-Law that restrict the number of accessory residential units **PER LOT** and the number of interior accessory dwelling units, specifically Subsection 3.2.3 (e), are **NOT CONSISTENT** with the Planning Act.

Of note for Fritz, we recognize that the Ontario Building Code includes definitions and provisions specific to the number and configuration of dwelling units with respect to building construction requirements (ie. two-unit houses vs. three-unit dwellings), and acknowledge that the construction requirements for “three unit dwellings” differ from “two unit houses”.

The intent of our proposed discussion is to:

- Confirm the intent, interpretation and application of the provisions of the Planning Act as amended by Bill 23, particularly with respect to:
  - The number of ARDUs that are permitted as-of-right within and/or accessory to a detached, semi-detached or rowhouse;
  - The number of ARDUs permitted on a lot where said lot contains more than one detached, semi-detached or rowhouse;
    - This applies to both condominium settings, where multiple detached, semi-detached or row houses are contained within a singular “lot” as defined by the Zoning By-Law and/or site specific amendment  
AND
    - To blocks of land intended for the development of semi-detached and rowhouse dwellings that are subject to subdivision through part lot control exemption following installation of the foundations.
- Confirm that appropriate amendments to the Norfolk County Official Plan and Zoning By-Law are in progress to conform with the Planning Act, and confirm the timing of those amendments;
- Confirm that the “no effect” policies contained in the Planning Act nullify any provisions that serve as encumbrances to the permitted configurations of ARDUs, and how we collaboratively navigate applications impacted by these policies while applicable updates are underway.

Please let us know if you are available to meet virtually with Eldon and I on **Friday October 4<sup>th</sup> at 9:00 am**.

Thanks and take care,

Lesley Hutton-Rhora  
Architectural Project Manager  
**G. DOUGLAS VALLEE LIMITED**  
2 Talbot Street North, Simcoe Ontario, N3Y 3W4  
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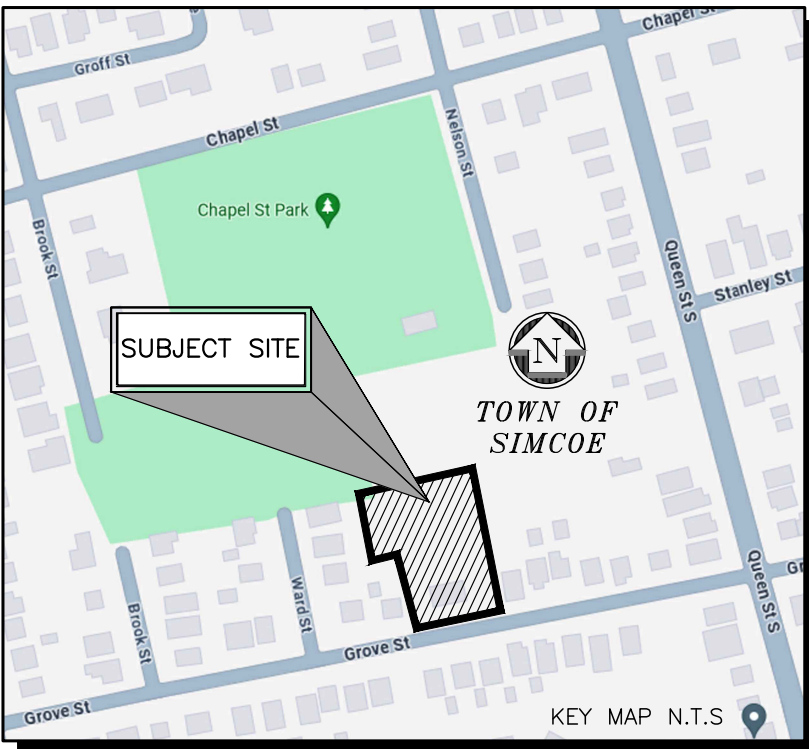
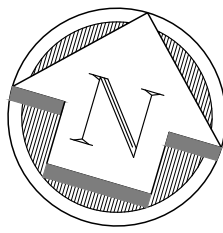


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LEGEND:

- 238.49 PROPOSED SPOT ELEVATION
- LOT FLOW DIRECTION
- PROPERTY LINE FLOW DIRECTION AND SLOPE
- EXISTING CONTOUR ELEVATION
- EXISTING SPOT ELEVATION
- PROPOSED BUILDING FOOTPRINT
- PROPOSED DRIVEWAY

NOTES:

CONTRACTOR TO ENSURE THAT HOUSE FOUNDATION IS PLACED ON SUITABLE, DRY SOIL.

ACCORDING TO NORFOLK COUNTY REQUIREMENTS ALL FINAL GRADING MUST BE INSPECTED AND CERTIFIED BY AN ENGINEER OR ONTARIO LAND SURVEYOR. THE BUILDER SHALL ENSURE THAT THE REQUIRED INSPECTIONS ARE CARRIED OUT IN ACCORDANCE WITH COUNTY REQUIREMENTS.

ALL DISTANCES AND ELEVATIONS ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

BUILDER TO CONFIRM BOTTOM OF FOOTING ELEVATION AND TOP OF FOUNDATION ELEVATION PRIOR TO COMMENCEMENT OF CONSTRUCTION.

IN ACCORDANCE WITH THE ONTARIO BUILDING CODE, AT LEAST 0.15m OF FOUNDATION WALL MUST REMAIN EXPOSED.

ALL ROOF LEADERS TO BE DIRECTED TO THE ROAD.

**SITE BENCHMARKS:**

BM: SPIKE IN WEST FACE OF HYDRO POLE ON SOUTH SIDE OF GROVE STREET BETWEEN #250 AND #246 GROVE STREET.

ELEVATION 228.707m (GEODETIC)

SETBACK REQUIREMENTS:

|                    | REQUIRED | ACTUAL      |
|--------------------|----------|-------------|
| FRONT YARD         | 6.0m     | 14.83m      |
| INTERIOR SIDE YARD | 1.2m     | 3.95m/3.78m |
| EXTERIOR SIDE YARD | 6.0m     | N/A         |
| REAR YARD          | 7.5m     | 33.07m      |

LOT COVERAGE:

|                         |             |
|-------------------------|-------------|
| BUILDING FOOTPRINT AREA | 374.8 sq m  |
| LOT AREA                | 2850.5 sq m |
| LOT COVERAGE            | 13.15%      |

| REV. No. | DATE        | REVISION                          |
|----------|-------------|-----------------------------------|
| 0        | OCT 24/2024 | ISSUE FOR CLEARANCE OF CONDITIONS |
|          |             |                                   |
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**NOTE:**  
THE CONTRACTOR IS CAUTIONED THAT ALL OF THE EXISTING UTILITIES ARE NOT INDICATED ON THIS DRAWING. THE CONTRACTOR MUST ARRANGE FOR LOCATES FROM EACH AREA UTILITY COMPANY PRIOR TO ANY CONSTRUCTION OR EXCAVATION. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES INCLUDING THOSE NOT INDICATED ON THIS DRAWING. G. DOUGLAS VALLEE LTD. CAN NOT ACCEPT RESPONSIBILITY FOR DAMAGE TO ANY EXISTING UTILITY WHICH MAY OR MAY NOT BE INDICATED ON THIS DRAWING.

ALL WORK, MATERIALS AND PROCESSES TO ABIDE TO NORFOLK COUNTY STANDARDS AND SPECIFICATIONS.

TOPOGRAPHIC SURVEY FOR THE SUBJECT LANDS WAS COMPLETED BY JEWITT & DIXON DATED APRIL 9, 2020. REFER TO PLAN 20-2451-TOPO, PROJECT NUMBER 20-2451.

**BENCHMARKS**  
SITE BENCHMARK #1  
ELEV: 228.707m (GEODETIC)

SPIKE IN FACE OF WOOD HYDRO POLE ON SOUTH SIDE OF GROVE STREET BETWEEN #250 GROVE AND #246 GROVE.

**LEGAL DESCRIPTION**  
241 GROVE STREET, PART OF LOT 2, BLOCK 97, REGISTERED PLAN 182, TOWN OF SIMCOE, COUNTY OF NORFOLK

APPLICANT INFORMATION

NAME: NICK THOMPSON  
PRINCIPAL PROPERTIES INC.  
ADDRESS: 126 NORTH MAIN STREET  
SIMCOE ON, N3Y 2M3  
PHONE NUMBER: 226-567-6425

**PRELIMINARY**  
NOT TO BE USED  
FOR CONSTRUCTION



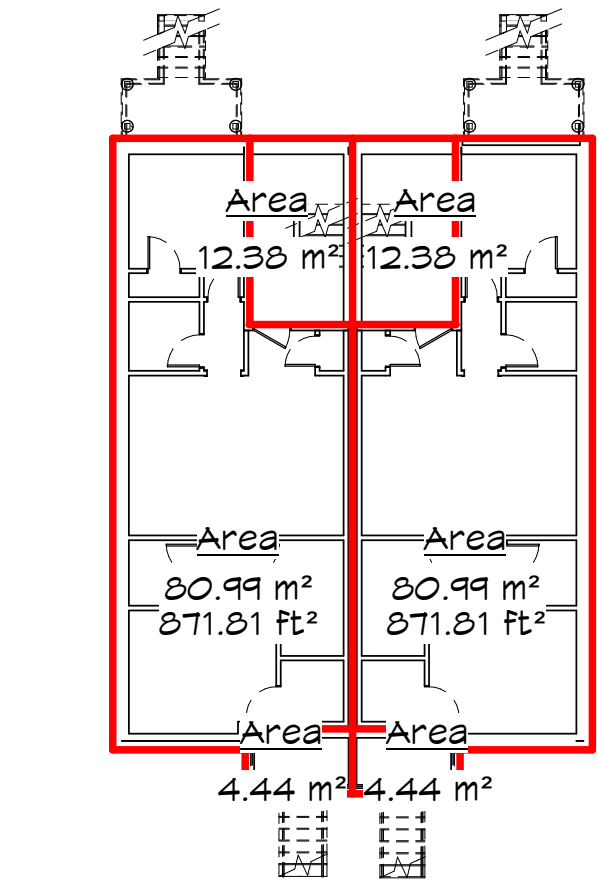
**G. DOUGLAS VALLEE LIMITED**  
2 TALBOT STREET NORTH  
SIMCOE, ONTARIO N3Y 3W4  
(519) 426-6270



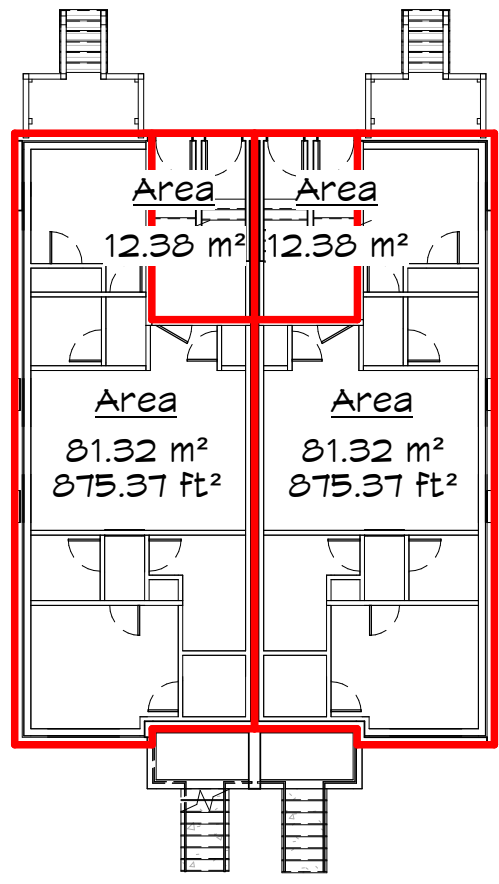
Project Title  
**GROVE STREET**  
241 GROVE STREET  
  
SIMCOE - NORFOLK COUNTY

|                                      |                                    |
|--------------------------------------|------------------------------------|
| Drawing Title<br><b>GRADING PLAN</b> |                                    |
| Designed by :<br>TJC                 | Drawn By :<br>TJC                  |
| Checked by :<br>JTI                  | Date Started :<br>OCTOBER 22, 2024 |
| Drawing Scale :<br>1:150             | Drawing No.<br><b>01</b>           |
| Project No.<br><b>23-195</b>         |                                    |

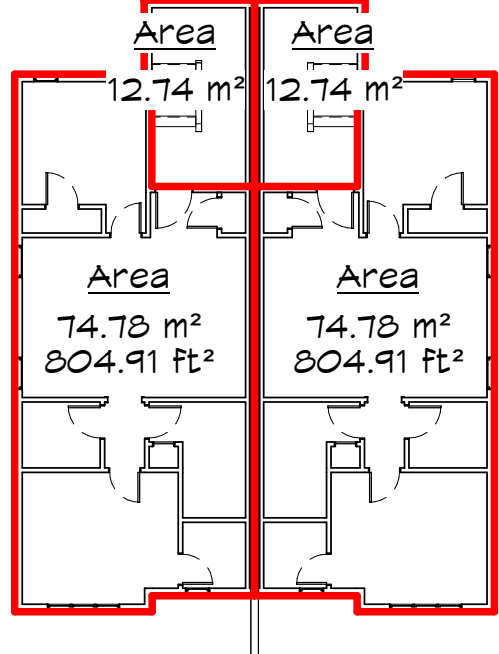




1 LEVEL 0 AREA  
A002 SCALE 1/16" = 1'-0"



2 LEVEL 1 AREA  
A002 SCALE 1/16" = 1'-0"



3 LEVEL 2 AREA  
A002 SCALE 1/16" = 1'-0"

NOTE:  
PROPORTION TO  
ARRANGE FOR  
MUNICIPAL NUMBER

### OBC DATA MATRIX PART 9

|  |   |  |
|--|---|--|
| Firm Name :<br>Firm BCIN :<br>Address :<br>Contact Information :<br>Individual who reviews and accepts responsibility for Design Activities :<br>Name of Project :<br>Location of Project :  | G. DOUGLAS VALLEE LIMITED<br>1242391<br>2 TALBOT STREET NORTH<br>SIMCOE, ONTARIO N3Y 3W4<br>TEL: 1 (519) 426-6270<br>LESLEY HUTTON-RHORA<br>(INDIVIDUAL BCIN 33161)<br>23-195 241 GROVE STREET<br>UNIT 1 & UNIT 2<br>241 GROVE STREET, SIMCOE,<br>ONTARIO, CANADA, N3Y 1K8  | STAMP (s)<br><br>(NOT APPLICABLE)  |
| Building Code Version:<br>Project Type:<br>Major Occupancy Classification:<br>Superimposed Major Occupancies:<br>Building Area (m²) (Footprint):<br>Gross Area (m²) (Total all floors above grade):<br>Mezzanine Area (m²):<br>Building Height:<br>Number of Streets / Firefighter access:<br>Sprinkler System Proposed:<br>Fire Alarm System:<br>Water Service / Supply is Adequate:<br>Permitted Const.<br>Actual Const.<br>Heavy Timber Const.<br>Importance Category:<br>Hazardous Substances:<br>Occupant load:<br>Plumbing Fixture Requirements (Water Closets):<br>Barrier Free Design:<br>Travel Distance to Egress & Exit Doors (Coord. with Life Safety Plans):<br>Fire Extinguishers:<br>Required Fire Resistance Rating (FRR): | O. Reg. 332/12<br>Last Amendment<br>O. Reg. 563/17<br>Description: <input checked="" type="checkbox"/> New <input type="checkbox"/> Addition <input type="checkbox"/> Renovation <input type="checkbox"/> Addition and Renovation <input type="checkbox"/> Change of use<br>Description: <input checked="" type="checkbox"/> RESIDENTIAL SEMI-DETACHED HOME WITH INTERIOR ACCESS<br>Occupancy: <input checked="" type="checkbox"/> RESIDENTIAL OCCUPANCY<br><input checked="" type="checkbox"/> No <input type="checkbox"/> Yes<br>Description: a building in which one major occupancy is located entirely above another major occupancy<br>Description: Existing New Total<br>PRIMARY DWELLING (x2) 187.4 187.4 187.4<br>EXIT STAIR LEVEL 1 (x2) 24.8 24.8<br>INT. ARDU LEVEL 2 (x2) 149.6 149.6<br>EXIT STAIR LEVEL 2 (x2) 25.5 25.5<br>Total: 362.5 362.5<br>Description: Existing New Total<br>N/A N/A N/A<br>Total: N/A N/A N/A<br>2 Storeys above grade 10.5 (m) above grade<br>1 Storeys below grade<br>Description: Existing New Total<br>N/A N/A N/A<br>Total: N/A N/A N/A<br>1 Streets<br><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No<br>Proposed:<br><input type="checkbox"/> Entire Building<br><input type="checkbox"/> Selected Floor Areas<br><input type="checkbox"/> Selected Compartments<br><input type="checkbox"/> Basement<br><input type="checkbox"/> In lieu of roof rating<br><input checked="" type="checkbox"/> Not required<br><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No<br>Proposed:<br><input type="checkbox"/> Single Stage <input type="checkbox"/> Two Stage <input type="checkbox"/> None<br><input checked="" type="checkbox"/> Yes <input type="checkbox"/> No<br>Water services sized to accommodate additional units.<br><input type="checkbox"/> Combustible <input type="checkbox"/> Non-combustible <input checked="" type="checkbox"/> Both<br><input checked="" type="checkbox"/> Combustible <input type="checkbox"/> Non-combustible <input type="checkbox"/> Both<br><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No<br><input type="checkbox"/> Low <input checked="" type="checkbox"/> Normal <input type="checkbox"/> High<br><input type="checkbox"/> Low Human Occup. <input type="checkbox"/> Post Disaster Shelter<br><input type="checkbox"/> Explosive or Hazardous Substances <input type="checkbox"/> Post Disaster<br><input type="checkbox"/> Yes (Explain) <input checked="" type="checkbox"/> No<br>Floor Level / Area Occupancy Type Based On m² / person # of persons for which the area is designed Occupant Load (Persons)<br>PRIMARY (x2) C <input type="checkbox"/> 4 EA. - 8<br>INT. ARDU (x2) C <input type="checkbox"/> 4 EA. - 8<br>INT. ARDU (x2) C <input type="checkbox"/> 4 EA. - 8<br>Total: 24 TOTAL<br>Ratio: MF = 1/1 Except as otherwise noted<br>Floor Level / Area Occupancy Load OBC Reference Fixtures Required Fixtures Provided<br>PRIMARY (x2) 8 SEE BELOW<br>INT. ARDU (x2) 8 SEE BELOW<br>INT. ARDU (x2) 8 SEE BELOW<br>6 WATER CLOSETS, 6 LAVATORIES, 6 SHOWER/TUB<br><input type="checkbox"/> Yes <input type="checkbox"/> OBC <input type="checkbox"/> ADDA <input type="checkbox"/> NADG<br><input checked="" type="checkbox"/> No (Explain) N/A TO HOUSES<br>EXITS & EGRESS DOORS:<br>EGRESS FROM BEDROOMS:<br><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No<br>Horizontal Assemblies Fire resistance Rating<br>Floors N/A Hours<br>Roof N/A Hours<br>Mezzanine N/A Hours<br>FRR of Supporting Members<br>Floors N/A Hours<br>Roof N/A Hours<br>Mezzanine N/A Hours<br>Listed Design No. or Description (SB-2)<br>Listed Design No. or Description (SB-2)<br>SEPARATION OF RESIDENTIAL SUITES = 1 HOUR (60 MINS.)<br>2HR FIREWALL PROVIDED BETWEEN SEMI-DETACHED UNITS | ARCHITECTURAL<br>STRUCTURAL<br>OBC Section Reference<br>DIV. A - 1.1.2.<br>DIV. B - 9.10.2.1.(1)<br>DIV. B - 9.10.2.3.(1)<br>DIV. A - 1.1.3.1.<br>DIV. A - 1.4.1.2.<br>DIV. A - 1.1.3.1.<br>DIV. A - 1.4.1.2.<br>DIV. A - 9.10.4.1.<br>DIV. A - 1.4.1.2.<br>DIV. B - 9.10.4.<br>DIV. B - 9.10.20.<br>DIV. B - 9.10.8.11.<br>DIV. B - 9.10.8.2.(1)..<br>DIV. B - 9.10.18.<br>DIV. B - 9.10.6.<br>DIV. B - 9.10.6.2.<br>DIV. B - 4.1.2.1.(3)<br>5.2.2.1.(2), T4.1.2.1.B<br>DIV. B - 9.10.1.3.<br>DIV. B - 9.9.1.3.(1)(a)<br>x2 PERSONS / BEDRM.<br>DIV. B - 9.31.4.1.(1)(a-d)<br>DWELLING UNIT - 1 KIT,<br>SINK, 1 LAVATORY,<br>BATHTUB OR SHOWER<br>STALL & WATER CLOSET<br>REQ'D<br>DIV. B - 9.5.2.1.(2)<br>DIV. B - 9.9.9.1.(1)&(2)<br>DIV. B - 9.9.10.1-7<br>DIV. B - 9.10.20.4.(1)<br>DIV. B - 9.10.8.1.(1)<br>DIV. B - 9.10.8.3<br>DIV. B - 9.10.8.10.(1)<br>TABLE 9.10.8.1 DOES<br>NOT APPLY TO HOUSES. |

|  |  |
|--|--|
| Spatial Separation - Construction of Exterior Walls<br>9.10.15.2. Area and Location of Exposing Building Face<br>(1) The area of an exposing building face shall be:<br>(a) taken as the exterior wall area facing in one direction on any side of a house, and<br>(b) calculated as:<br>(i) the total area measured from the finished ground level to the uppermost ceiling,<br>(ii) the area for each fire compartment where a house is divided into fire compartments by fire separations with fire-resistance ratings not less than 45 min, or<br>(iii) where Table 9.10.15.4. is used to determine maximum area of glazed openings, the area of any number of individual vertical portions of the wall measured from the finished ground level to the uppermost ceiling.  | 4.10.15.<br>DIV. B - 9.10.14.4&5<br>DIV. B - 9.10.15.4   |
| Other - Describe   |  |
| Energy Efficiency  | Category:<br>Non-Residential Compliance Option: <input type="checkbox"/> SB-10 Prescriptive (Div. 5)<br>Residential Compliance Option: <input checked="" type="checkbox"/> SB-12 Prescriptive Packages<br><input checked="" type="checkbox"/> SB-12 Performance <input type="checkbox"/> Energy Star for New Homes <input type="checkbox"/> EnerGuide for New Houses<br>Project Design Conditions:<br>Climatic Zone (SB-1): <input checked="" type="checkbox"/> Zone 1 (<5000 degree days) <input type="checkbox"/> Zone 2 (>5000 degree days)<br>Fenestration Gross Above Grade Wall or Roof Area (m²) Gross Fenestration Area (m²) Fenestration Ratio<br>Description: Vertical (W+D) Primary 312.92 50.44 16%<br>Space Heating Fuel <input type="checkbox"/> Natural Gas <input type="checkbox"/> Oil <input checked="" type="checkbox"/> Electricity<br><input type="checkbox"/> Propane <input type="checkbox"/> Solid Fuel <input type="checkbox"/> Earth Energy<br>Heating Equipment Efficiency: <input checked="" type="checkbox"/> ≥92% AFUE <input type="checkbox"/> ≥ 84% - ≤ 92% AFUE<br>Other Conditions <input type="checkbox"/> ICF Basement <input type="checkbox"/> ICF Above Grade<br><input type="checkbox"/> Walk-Out Basement <input type="checkbox"/> Slab on Grade<br><input type="checkbox"/> Log/Post & Beam <input type="checkbox"/> Blown-in Insulation Above Grade Wall<br><input type="checkbox"/> Spray Applied Foam Insulation Above Grade Wall<br><input type="checkbox"/> Drain Water Heat Recovery Unit |
| If the contractor chooses to achieve compliance through one of the other accepted compliance methods then the design must be independently verified by a certified energy evaluator.<br>Independent verification by a certified energy evaluator prior to occupancy is recommended as the most effective way of ensuring compliance. These consultants specialize in performing this type of analysis / testing and will provide paperwork confirming the results of this testing to the building department at the point of substantial completion.<br>Compliance achieved through performance based solutions require the support of appropriate calculations not performed directly as part of this drawing package. These calculations need to be performed by a certified energy evaluator and the results certified by an NRCan Advisor. |  |

IMPERIAL UNITS SHOWN IN CHARTS BELOW  
U-VALUE IMPERIAL TO U-VALUE METRIC - TIMES BY 5.678  
U-VALUE METRIC TO U-VALUE IMPERIAL - TIMES BY 0.1761  
IMPERIAL UNITS SHOWN IN CHARTS BELOW  
U-VALUE TO R-VALUE - R=1/U  
R-VALUE TO U-VALUE - U=1/R


| SB-12 - Chapter 3<br>Energy Efficiency For Housing<br>Thermal Performance Requirements per Energy Model |   |
|---|---|
|   | Performance Compliance<br>(per Bowser Technical Inc.) |
| Ceiling with Attic Space  | 60  |
| Ceiling without Attic Space   | N/A   |
| Exposed Floor   | N/A   |
| Walls Above Grade   | R22 @ 16" O.C. + 5 ci                                 |
| Basement Walls (Above Grade Kneewalls)  | R22 @ 16" O.C. + R22 @ 24" O.C. + 5 ci                |
| Basement Walls (Below Grade)  | R22 @ 24" O.C.  |
| Below Grade Slab > 600mm Below Grade  | R10   |
| Heated Floor or Slab ≤ 600mm Below Grade  | N/A   |
| Edge of Below Grade Slab ≤ 600mm Below Grade  | N/A   |
| Windows and Sliding Glass Doors   | 1.6 Ust/(W/m²K)                                       |
| Skylights   | N/A   |
| Space Heating Equipment   | 100%  |
| HRV   | 75%   |
| Domestic Water Heater   | 0.90  |
| Air Tightness   | As Per Energy Model (3ACH @50PA)                      |

NOTE: CONTRACTOR TO ENSURE ALL GLAZING MEETS REQ'S OF PERFORMANCE DESIGN PER BOWSER TECHNICAL

NOTE: CONTRACTOR TO ENSURE ALL MECHANICAL EQUIPMENT MEETS THE REQ'S OF PERFORMANCE DESIGN PER BOWSER TECHNICAL (AS NOTED ABOVE)


| NO. | DATE       | ISSUANCE                   |
|-----|------------|----------------------------|
| 4   | 2024.11.15 | ISSUED FOR BUILDING PERMIT |
| 3   | 2024.11.05 | ISSUED FOR COORDINATION    |
| 2   | 2024.10.25 | ISSUED FOR REVIEW          |
| NO. | DATE       | ISSUANCE                   |

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**vallee**  
Consulting Engineers,  
Architects & Planners

G. DOUGLAS VALLEE LIMITED  
2 TALBOT STREET NORTH  
SIMCOE ONTARIO N3Y 3W4  
(519) 426-6270

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Ministry of Municipal  
Affairs & Housing

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.  
REQUIRED UNLESS DESIGN IS EXEMPT UNDER DIVISION 'C' SECTION 3.2 OF THE O.B.C.  
  
LESLEY HUTTON  
G. DOUGLAS VALLEE LTD. BCIN 33161  
1242391

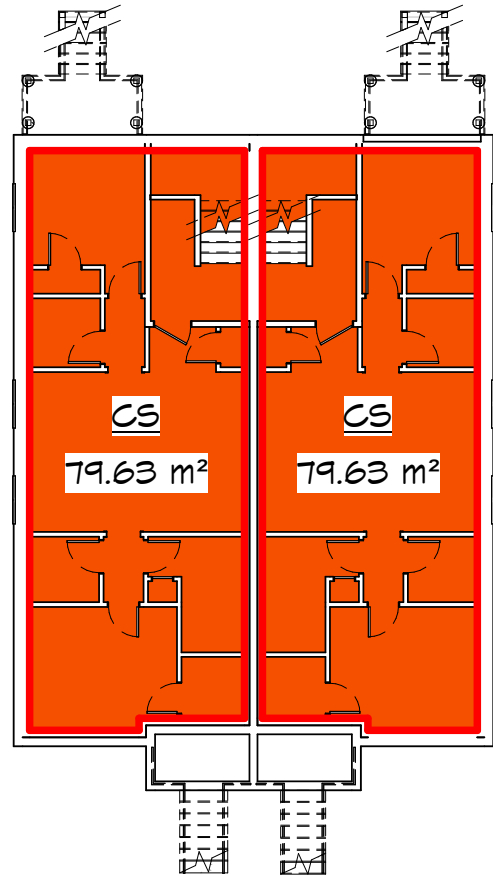
PROJECT TITLE:  
GROVE STREET  
  
UNIT 1 & UNIT 2  
241 GROVE STREET,  
SIMCOE, ONTARIO

DRAWING TITLE:  
OBC MATRIX, AREA PLANS

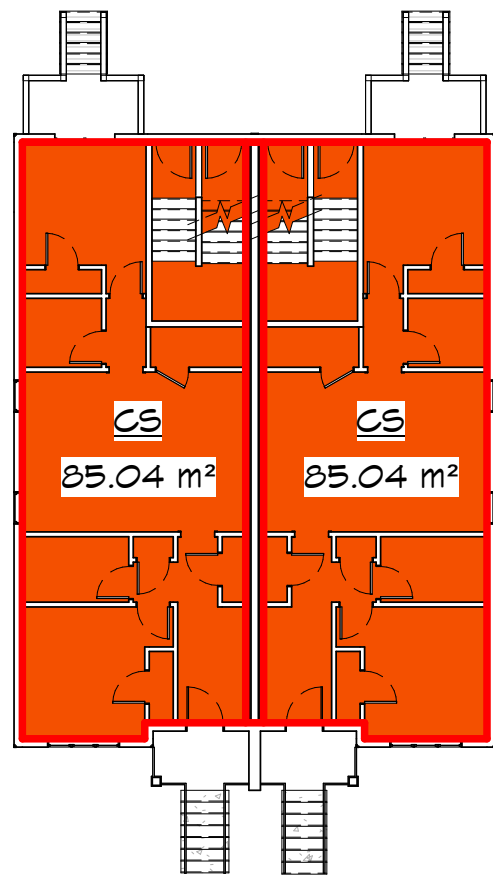
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|--------------------------------|--------------------|
| CHECKED BY:<br>LHR             | DRAWN BY:<br>BH/BM |
| DRAWING SCALE:<br>As indicated | DRAWING NO.:       |
| PROJECT NO.:<br>23-195         | A002               |

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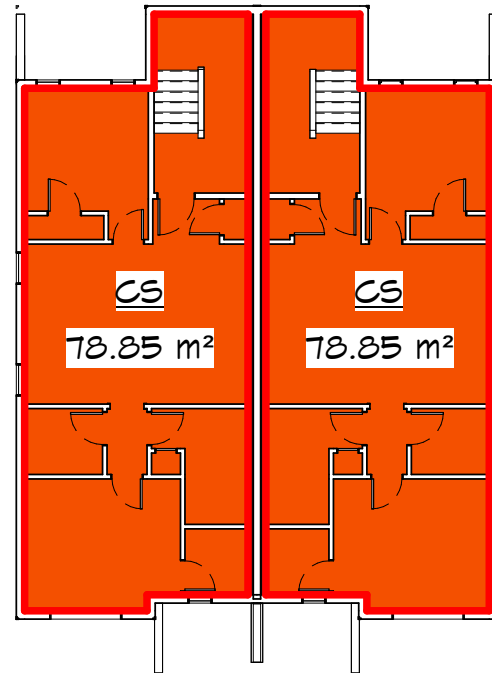
DATE PLOTTED 11/13/2024 11:28:31 AM PROJECT NUMBER & NAME 23-195 GROVE STREET



1 LEVEL 0 CONDITIONED SPACE  
A003 SCALE 1/16" = 1'-0"



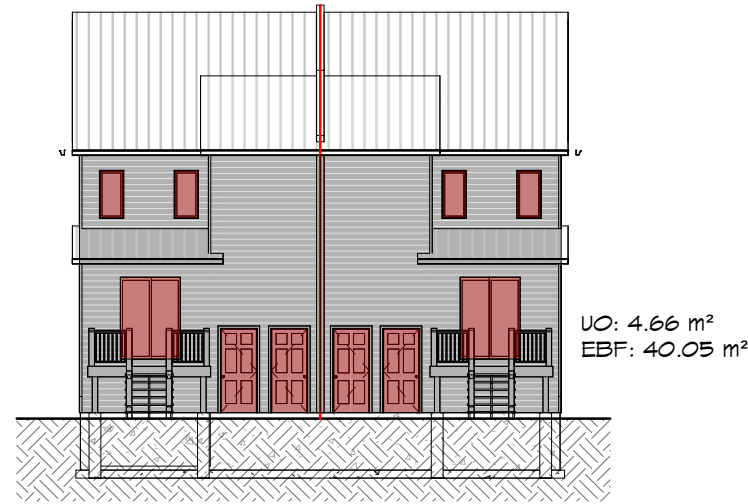
2 LEVEL 1 CONDITIONED SPACE  
A003 SCALE 1/16" = 1'-0"



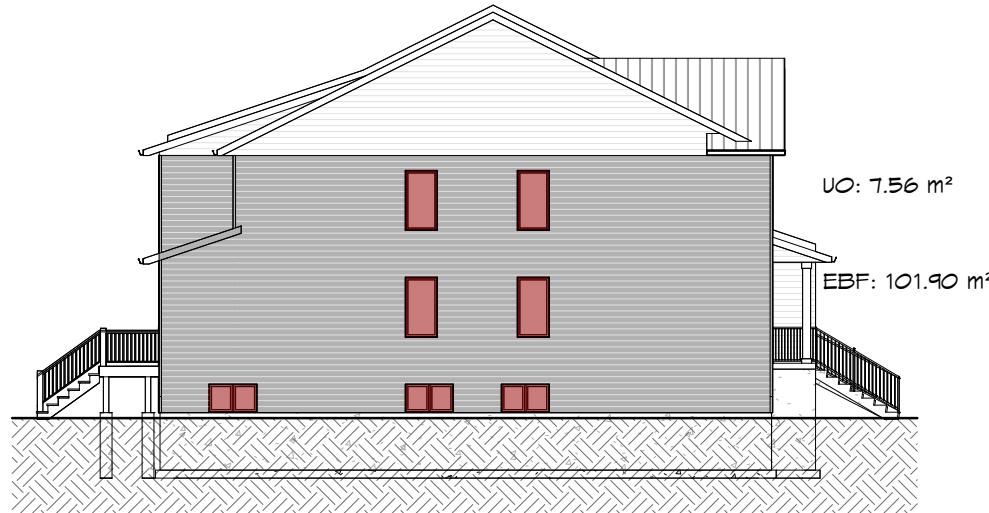
3 LEVEL 2 CONDITIONED SPACE  
A003 SCALE 1/16" = 1'-0"

CONDITIONED SPACE LEGEND

- SPACE SEPARATION
- HATCH IDENTIFICATION LEGEND
- CONDITIONED SPACE
  - SEMI-HEATED SPACE
  - UNCONDITIONED SPACE



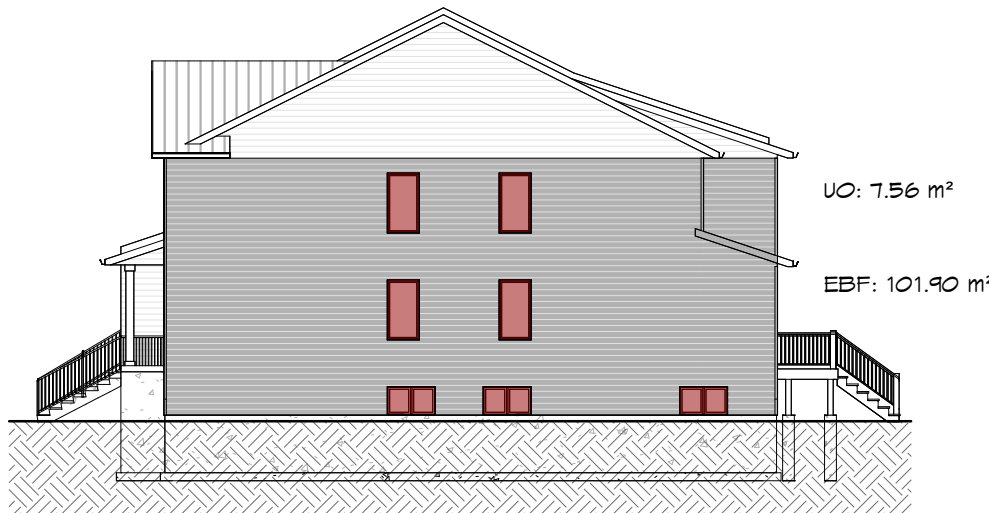
4 NORTH ELEVATION - UNPROTECTED OPENINGS  
A003 SCALE 1/16" = 1'-0"



7 WEST ELEVATION - UNPROTECTED OPENINGS  
A003 SCALE 1/16" = 1'-0"



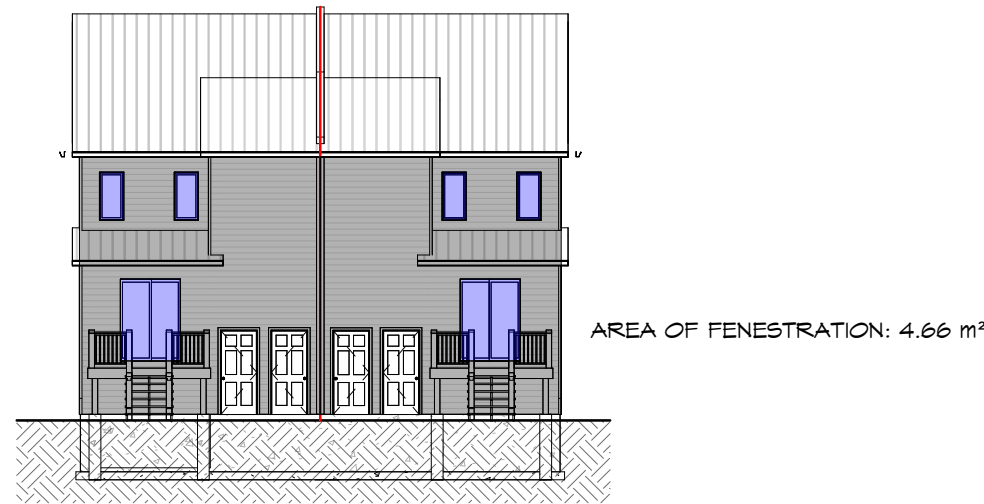
8 SOUTH ELEVATION - UNPROTECTED OPENINGS  
A003 SCALE 1/16" = 1'-0"



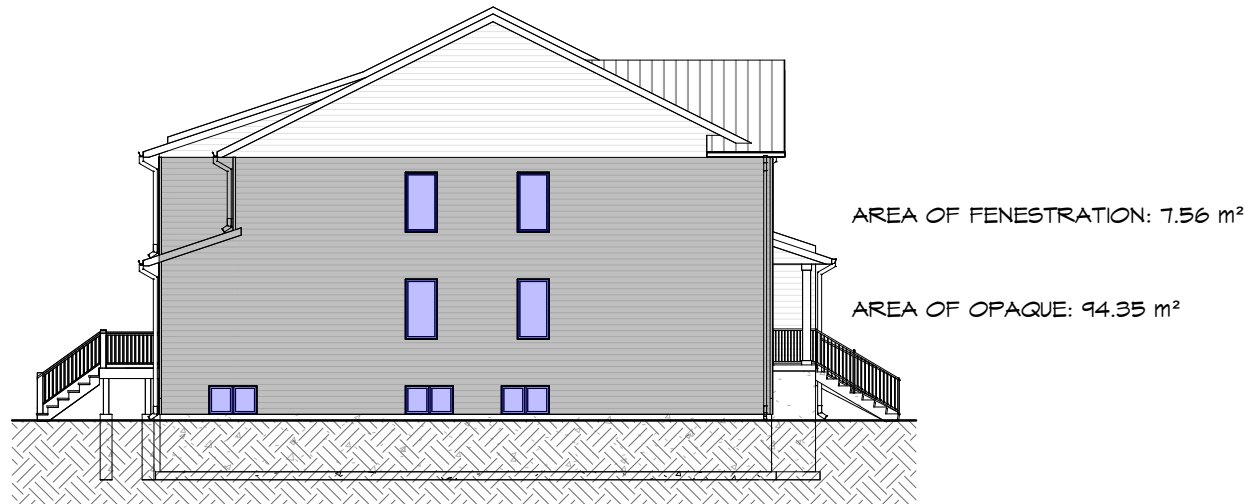
10 EAST ELEVATION - UNPROTECTED OPENINGS  
A003 SCALE 1/16" = 1'-0"

UNPROTECTED OPENING LEGEND  
(LIMITING DISTANCE)

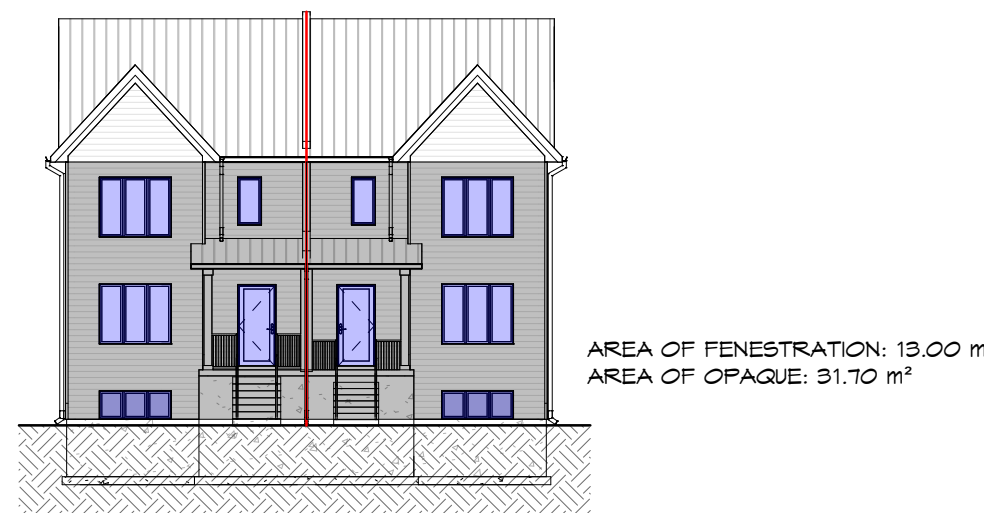
- SPACE SEPARATION
- HATCH IDENTIFICATION LEGEND
- AREA OF UNPROTECTED OPENING
  - AREA OF EXPOSING BLDG. FACE
  - PROTECTED OPENING  
FIRE RATED OPENING INFILL, EXPOSURE SITUATION ON EXTING TO ADJACENT WALL IV OPENINGS



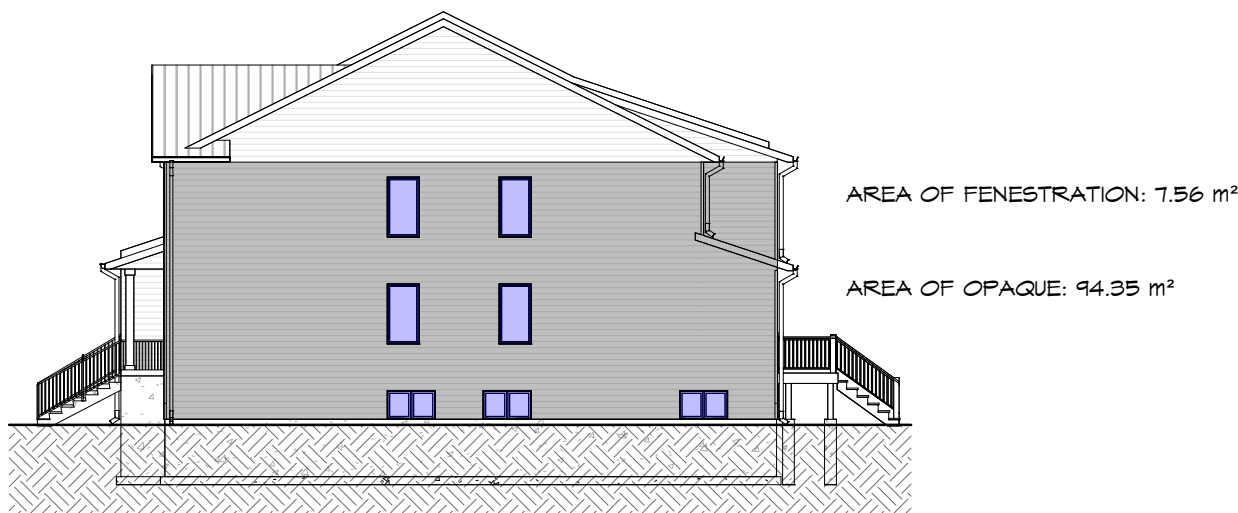
12 NORTH ELEVATION - SB10/12  
A003 SCALE 1/16" = 1'-0"



15 WEST ELEVATION - SB10/12  
A003 SCALE 1/16" = 1'-0"



16 SOUTH ELEVATION - SB10/12  
A003 SCALE 1/16" = 1'-0"



18 EAST ELEVATION - SB10/12  
A003 SCALE 1/16" = 1'-0"

GROSS WALL AREA (OPAQUE) & FENESTRATION LEGEND (SB-10 / SB-12)

- SPACE SEPARATION
- HATCH IDENTIFICATION LEGEND
- AREA OF FENESTRATIONS
  - AREA OF GROSS WALL (OPAQUES)

| NO. | DATE       | ISSUANCE                   |
|-----|------------|----------------------------|
| 4   | 2024.11.13 | ISSUED FOR BUILDING PERMIT |
| 3   | 2024.11.05 | ISSUED FOR COORDINATION    |
| 2   | 2024.10.25 | ISSUED FOR REVIEW          |
| 1   | 2024.09.17 | ISSUED FOR CLIENT REVIEW   |
| NO. | DATE       | ISSUANCE                   |

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Ontario Ministry of Municipal Affairs & Housing  
THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

REQUIRED UNLESS DESIGN IS EXEMPT UNDER DIVISION 'C' SECTION 3.2 OF THE O.B.C.

Lesley Hutton-Rhona  
LESLEY HUTTON  
G. DOUGLAS VALLEE LTD.  
33161  
124239

PROJECT TITLE:  
GROVE STREET

UNIT 1 & UNIT 2  
241 GROVE STREET,  
SIMCOE, ONTARIO

DRAWING TITLE:  
UNPROTECTED OPENING  
ELEV.'S, SB10/12 ELEV.'S,  
CONDITION SPACE PLANS

CHECKED BY:

LHR

DRAWING SCALE:

As indicated

PROJECT NO.:  
23-195

DRAWN BY:

BH/BM

DRAWING NO.:

A003

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DATE PLOTTED 11/13/2024 11:28:32 AM PROJECT NUMBER & NAME: 23-195 GROVE STREET

| FDTN. WALL TYPE SCHEDULE |         |   |
|--------------------------|---------|---|
| TYPE:                    | DESIGN: | DESCRIPTION:  |
| FX1                      |         | <b>EXTERIOR FDTN. WALL - FIRE RATED (SUPPORTING RATED ASSEMBLY) BELOW GRADE WALL</b><br>SB-2 - 1 HR. (60 MIN.)<br><br>CONT. DELTA MS DRAINAGE MEMBRANE (OR APPROVED ALT.),<br>CONT. FLUID / SHEET APPLIED DAMP PROOFING,<br>225mm (9") P/P/P REIN. CONC. FDTN. WALL,<br>MOISTURE PROTECTION SHEET<br>(ASPHALT IMPREGNATED PAPER OR AIR BARRIER INSTALLED FROM BASEMENT FLOOR SURFACE TO TOP OF ADJACENT GRADE)<br>25mm (1") AIR SPACE,<br>38x140mm (2"x6") KD. STUD @ 610mm (24") o/c MAX.,<br>140mm (5 1/2") (R-22) FIBERGLASS BATT INSUL.,<br>6 MIL. AIR/VAP. BARRIER,<br>16mm (5/8") TYPE 'X' GYP. BD.,<br>INT. FIN. |
|                          |         | <b>EXTERIOR INT. FDTN. / PARTITION WALL:</b><br>INT. FIN. (WHERE APPLICABLE),<br>225mm (9") P/P/P REIN. CONC. FDTN. WALL,<br>INT. FIN. (WHERE APPLICABLE)   |
| FX2                      |         | <b>EXTERIOR INT. FDTN. / PARTITION WALL:</b><br>INT. FIN. (WHERE APPLICABLE),<br>203mm (8") P/P/P REIN. CONC. FDTN. WALL,<br>INT. FIN. (WHERE APPLICABLE)   |
| FX3                      |         |   |

| FLR. TYPE SCHEDULE |         |   |
|--------------------|---------|---|
| TYPE:              | DESIGN: | DESCRIPTION:  |
| CS1                |         | <b>INTERIOR FLR.</b><br>FIN. FLR.<br>100mm (4") P/P/P REIN. CONC. SLAB<br>(152x152- MX10.7/MX10.7 FLAT SHEETS),<br>15 MIL. VAP. BARRIER,<br>50mm (2") (R-10) POLYURETHANE SM FOAM,<br>150mm (6") COMPACTED GRANULAR 'A' FILL (100% SPHDD),<br>ENG'D FILL / UNDISTURBED SOIL   |
|                    |         | <b>SUSPENDED SLAB (PORCH)</b><br>FIN. FLR.<br>150mm (6") P/P/P REIN. CONC. SLAB<br>(10M BARS BOTHWAYS @ 8" O.C.)  |
| CS2                |         | <b>INTERIOR DEMISING FLR. (FIRE SEPARATION) - FIRE &amp; SOUND RATED COMPLETE ASSEMBLY</b><br>SB-3 - F4C - 1 HR. / STC 52 / IIC 46<br><br>INT. FIN.<br>16mm (5/8") T46 PLYND. SUBFLR. SCREWED & GLUED,<br>38x255mm (2"x10") FLR. JST'S @406mm (16") o/c MAX.,<br>MIN. 6" MINERAL WOOL SOUND ATTENUATION BATTS (REQ'D),<br>13mm (1/2") RESILIENT CHANNEL @406mm (16") o/c MAX. (REQ'D),<br>16mm (5/8") TYPE-X GYP. BD.,<br>16mm (5/8") TYPE-X GYP. BD.,<br>INT. FIN. |
| F1                 |         |   |
| F2                 |         | <b>EXT. DECK</b><br>32mm (5/4") x 140mm (6") FT. DECK BD.'S SCREWED,<br>38x184mm (2"x10") FT. JST'S @ 400mm (16") o/c MAX.<br>EXP'D FLR. JST'S  |
| F4                 |         | <b>INTERIOR FLR.</b><br>INT. FIN.,<br>16mm (5/8") T46 PLYND. SUBFLR. SCREWED & GLUED,<br>38x140mm (2"x6") FLR. JST'S @304mm (12") o/c MAX.,   |

| WALL TYPE SCHEDULE |         |  |
|--------------------|---------|--|
| TYPE:              | DESIGN: | DESCRIPTION:   |
| X1                 |         | <b>EXTERIOR WALL:</b><br><b>ND. FRAMED WALL</b><br>19mm (3/4") HORIZ. VINYL SIDING,<br>25mm (1") (R-5) RIGID INSUL.,<br>AIR BARRIER,<br>13mm (1/2") PLYND. SHEATHING,<br>38x140mm (2"x6") KD. STUD @406mm (16") o/c MAX.,<br>140mm (5 1/2") (R-22) FIBERGLASS BATT INSUL.,<br>6 MIL. VAP. BARRIER,<br>13mm (1/2") GYP. BD.,<br>INT. FIN.   |
|                    |         | <b>EXTERIOR WALL - FIRE RATED (SUPPORTING RATED ASSEMBLY) ND. FRAMED WALL</b><br>SB-2 - 1HR (60 MIN.)<br><br>19mm (3/4") HORIZ. VINYL SIDING,<br>25mm (1") (R-5) FERMEABLE / BREATHABLE RIGID INSUL.,<br>AIR BARRIER,<br>13mm (1/2") PLYND. SHEATHING,<br>38x140mm (2"x6") KD. STUD @406mm (16") o/c MAX.,<br>140mm (5 1/2") (R-22) BATT INSUL.,<br>6 MIL. VAP. BARRIER,<br>16mm (5/8") TYPE 'X' GYP. BD.,<br>INT. FIN.  |
| X2                 |         | <b>EXTERIOR WALL - FIRE RATED (SUPPORTING RATED ASSEMBLY) ND. FRAMED WALL</b><br>SB-2 - 1HR (60 MIN.)<br><br>19mm (3/4") HORIZ. VINYL SIDING,<br>25mm (1") (R-5) FERMEABLE / BREATHABLE RIGID INSUL.,<br>AIR BARRIER,<br>13mm (1/2") PLYND. SHEATHING,<br>38x140mm (2"x6") KD. STUD @406mm (16") o/c MAX.,<br>140mm (5 1/2") (R-22) BATT INSUL.,<br>6 MIL. VAP. BARRIER,<br>16mm (5/8") TYPE 'X' GYP. BD.,<br>INT. FIN.  |
| X3                 |         | <b>DEMISING WALL (FIRE WALL) - MASONRY BLOCK</b><br>SB-2 - 2 HR. (120 MIN/2 HR.), STC 50 MIN.<br><br>INT. FIN.,<br>16mm (5/8") TYPE 'X' GYP. BD.,<br>38x89mm (2"x4") KD. STUD @406mm (16") o/c MAX.,<br>25mm (1") AIR SPACE,<br>8" 2HR FRR CONCRETE MASONRY UNIT BLOCK<br>(SEE DETAILS FOR REINFORCING),<br>25mm (1") AIR SPACE,<br>38x89mm (2"x4") KD. STUD @406mm (16") o/c MAX.,<br>16mm (5/8") TYPE 'X' GYP. BD.,<br>INT. FIN.<br>(PROVIDE SEPARATE SILL & TOP PLATES FOR EACH STUD WALL TYP.) |
| X3                 |         | <b>DEMISING WALL (FIRE WALL) - MASONRY BLOCK</b><br>SB-2 - 2 HR. (120 MIN/2 HR.), STC 50 MIN.<br><br>19mm (3/4") HORIZ. VINYL SIDING,<br>25mm (1") VERT. ND. STRAPPING,<br>8" 2HR FRR CONCRETE MASONRY UNIT BLOCK<br>(SEE DETAILS FOR REINFORCING),<br>25mm (1") VERT. ND. STRAPPING,<br>19mm (3/4") HORIZ. VINYL SIDING   |
| X4                 |         | <b>INTERIOR DEMISING WALL (FIRE SEPARATION) - FIRE &amp; SOUND RATED ND. FRAMED</b><br>SB-3 - W48 - 1 HR. (60 MIN.) / STC 51<br><br>INT. FIN.,<br>16mm (5/8") TYPE-X GYP. BD.,<br>38x89mm (2"x4") KD. STUD @406mm (16") o/c MAX.,<br>99mm (3 1/2") SOUND ATTENUATION BATTS (REQ'D),<br>13mm (1/2") RESILIENT CHANNEL,<br>16mm (5/8") TYPE-X GYP. BD.,<br>16mm (5/8") TYPE-X GYP. BD.,<br>INT. FIN.   |
| X5                 |         | <b>INTERIOR WALL - FIRE RATED (SUPPORTING RATED ASSEMBLY) ND. FRAMED</b><br>SB-3 - W10 - 60 MIN.<br><br>INT. FIN.,<br>16mm (5/8") TYPE-X GYP. BD.,<br>38x89mm (2"x4") KD. STUD @406mm (16") o/c MAX.,<br>16mm (5/8") TYPE-X GYP. BD.,<br>INT. FIN.   |
| X6                 |         | <b>INTERIOR WALL ND. FRAMED</b><br>INT. FIN.,<br>13mm (1/2") GYP. BD.,<br>38x89mm (2"x4") KD. STUD @406mm (16") o/c MAX.,<br>13mm (1/2") GYP. BD.,<br>INT. FIN.  |
| X7                 |         | <b>INTERIOR WALL ND. FRAMED</b><br>SB-2 - 1HR (60 MIN.)<br>25mm (1") AIR SPACE,<br>38x89mm (2"x4") KD. STUD @406mm (16") o/c MAX.,<br>16mm (5/8") TYPE 'X' GYP. BD.,<br>INT. FIN.  |

| ROOF TYPE SCHEDULE |         |  |
|--------------------|---------|--|
| TYPE:              | DESIGN: | DESCRIPTION:   |
| R1                 |         | PRE-FIN. PTD. METAL ROOF IV. CONT. RIDGE VENTING,<br>WOOD STRAPPING PER METAL ROOF SPECIFICATIONS,<br>CONT. BREATHABLE UNDERLAYMENT WITH ICE & WATER SHIELD @ VALLEYS,<br>CONT. GALV. EAVE DRIP,<br>13mm (1/2") PLYND. ROOF SHEATHING IV. 'H' CLIPS,<br>ENG'D KD. TRUSS SYSTEM (REGULAR / SCISSOR) @ 610mm o/c MAX.,<br>BLOWN IN INSUL. (R-60),<br>CONT. 6 MIL. VAP. BARRIER,<br>13mm (1/2") RESILIENT CHANNEL @406mm (16") o/c MAX. (OPTIONAL),<br>13mm (1/2") GYP. BD.,<br>INT. FIN.<br><br>** CONTRACTOR TO CONFIRM OPTIONAL ITEMS WITH OWNER |

### TYPICAL NOTES:

#### GENERAL NOTES / FRAMING:

- COORD. IV. FLOOR PLANS FOR PARTITION WITH THE DIMENSIONS - DIM'S ARE TO OUTSIDE OF WALL SYSTEMS TYP.
- COORD. IV. OWNER FOR FINISHES (WHERE RM. FIN. SCH. IS NOTED, COORD. IV. OWNER)
- ALL PARTITIONS / WALL TYPES SHALL EXTEND FROM TOP OF FLOOR TO UNDERSIDE OF FLOOR / ROOF SYSTEM OR FIRE RATED CEILING SYSTEM ABOVE UN/O (ND. & METAL STUD STICK FRAMED CONST.)
- PROVIDE REIN.F.'S & LATERAL BRACING @ TOP OF ALL WALLS & AT TOP OF ALL WALLS IV. LARGE OPENINGS IN THEM (WIDTH & HEIGHT) 1. CONC. BLOCK WALLS TO RECEIVE STEEL ANGLES SECURED TO STRUCTURE 2. STEEL & KD. WALLS TO BE FASTENED TO STRUCT.
- ALL OPENINGS IN INT. & EXT. WALL SYSTEMS TO HAVE RESPECTIVE WALL SYSTEM ABOVE THE OPENING UN/O (PROVIDE REIN.F.'S, BRACINGS, LINTELS & LATERAL BRACING WHERE REQ'D)

#### BLOCKING / BRACING / BRIDGING / LATERAL SUPPORT:

- PROVIDE BLOCKING AS REQ'D FOR INSTALLATION OF WALL / ROOF / FLOOR MOUNTED ITEMS (METAL BLOCKING IN METAL FRAMED SYSTEMS (BAILEY BACKER BAR), KD. BLOCKING IN KD. FRAMED SYSTEMS (30MIN MIN. THICKNESS)) ALL CONFORMING TO OBC FORCES
- ENSURE BLOCKING IN WALLS / DEMISING WALLS ARE NOT STUD DEPTH (OR TOUCHING GYP. BD. ON ONE SIDE TO THE OTHER SIDE) FOR NOISE / VIBRATION TRANSFER TYP.
- BRACING & LATERAL SUPPORT TO BE INSTALLED IN ALL WALL SYSTEMS WHERE REQ'D & AS NOTED, OBC 4.23.10.2
- STRAPPING & BRIDGING TO BE INSTALLED IN ALL ENG'D ROOF JOISTS WHERE REQ'D AS PER MANUF. DNG'S & INSTALLATION INSTRUCTIONS
- STRAPPING & BRIDGING TO BE INSTALLED IN ALL FLR. JOISTS WHERE REQ'D & AS NOTED, OBC SECTION 4.23.4.4

#### BLOCKING / BRACING / BRIDGING / LATERAL SUPPORT:

- PROVIDE BLOCKING AS REQ'D FOR INSTALLATION OF WALL / ROOF / FLOOR MOUNTED ITEMS (METAL BLOCKING IN METAL FRAMED SYSTEMS (BAILEY BACKER BAR), KD. BLOCKING IN KD. FRAMED SYSTEMS (30MIN MIN. THICKNESS)) ALL CONFORMING TO OBC FORCES
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- BRACING & LATERAL SUPPORT TO BE INSTALLED IN ALL WALL SYSTEMS WHERE REQ'D & AS NOTED, OBC 4.23.10.2
- STRAPPING & BRIDGING TO BE INSTALLED IN ALL ENG'D ROOF JOISTS WHERE REQ'D AS PER MANUF. DNG'S & INSTALLATION INSTRUCTIONS
- STRAPPING & BRIDGING TO BE INSTALLED IN ALL FLR. JOISTS WHERE REQ'D & AS NOTED, OBC SECTION 4.23.4.4

- IF THE OWNER / CONTRACTOR INSTALLS DIFFERENT PRODUCTS THAN LISTED, THEY ARE TO CONFIRM THE R-VALUE MEETS THE OBC REQ'S
- SB-2, 2.3.5(2)  
When an exterior wall assembly is required to be rated from the interior side only, such wall assemblies shall have an outer membrane consisting of sheathing and exterior cladding with spaces between the studs filled with insulation conforming to CAN/ULC-S702, "Mineral Fibre Thermal Insulation for Buildings", and having a mass of not less than 1.22 kg/m² of wall surface.

#### RIGID INSUL.

- HERMAL - G.I. (CONT. INSUL.) - ABOVE GRADE, CAVITY WALL LOCATIONS (OVER EXT. SHEATHING, OVER MASONRY OR CONC. SUBSTRATE & ON FRAMED SUBSTRATE SYSTEMS, WHERE THERE IS AN AIR SPACE BETWEEN THE INSUL. & EXT. CLADDING)
- HALO EXTERRA RIGID INSUL. IV. 'R' VALUE OF 5 PER INCH.
- HERMAL - G.I. (CONT. INSUL.) - ABOVE GRADE, CAVITY WALL LOCATIONS (OVER EXT. SHEATHING, OVER MASONRY OR CONC. SUBSTRATE & ON FRAMED SUBSTRATE SYSTEMS, WHERE EXT. CLADDING / FURRING / STRAPPING IS APPLIED DIRECTLY ONTO THE INSUL.)
- HALO EXTERRA RIGID INSUL. IV. 'R' VALUE OF 5 PER INCH.
- HERMAL - G.I. (CONT. INSUL.) - BELOW GRADE, BASEMENT WALL LOCATIONS (ON FRAMED SUBSTRATE SYSTEMS WHERE THERE IS AN AIR SPACE BETWEEN THE INSUL. & THE FDTN. WALL SYSTEM).
- HALO EXTERRA RIGID INSUL. IV. 'R' VALUE OF 5 PER INCH.

#### ND. FRAMING:

- EXT. EXP'D KD. FRAMING MEMBERS ARE P/T NO.1 OR NO.2 SPF MIN. TYP.
- EXT. & INT. WALL SILL PLATES KD. FRAMING MEMBERS ARE P/T NO.1 OR NO.2 SPF MIN. TYP.
- EXT. & INT. KD. FRAMING MEMBERS ARE NO.1 OR NO.2 SPF MIN. TYP.

#### FIRESTOPPING / FIREPROOFING / ACOUSTICAL

- FIRE STOP & SMOKE SEAL ALL WALLS REQ'D TO MAINTAIN A F/R/R. FULL HEIGHT OF ASSEMBLY (COORD. IV. LIFE SAFETY DNG'S FOR LOCATIONS) (COORD. IV. TYP. FIRESTOPPING / SOUND PROOFING / FRAMING DETAILS)
- ACOUSTICAL CAULKING TO BE FIRE RATED @ ALL FIRE RATED ASSEMBLIES TYP.
- ACOUSTICAL CAULK & SOUND SEAL ALL OTHER WALLS THAT DO NOT HAVE F/R/R. FULL HEIGHT OF ASSEMBLY (COORD. IV. TYP. FIRESTOPPING / SOUND PROOFING / FRAMING DETAILS)
- ACOUSTICAL CAULK ALL GYP. BD. CEILING PER'S (CONTROL JT.), WALL PER'S BOTH SIDES, I/O ALL SILL PLATES; ALL TO BE A CONT. BEAD TYP.

#### GYP. BOARD / TILE BACKER BD.:

- ALL GYP. BD. ASSEMBLIES / FIRE SEPARATION ASSEMBLIES (WITH RATINGS) TO BE TYPE 'X' OR 'G' FIRE RATED 12.7mm / 15.9mm GYP. BD. (PROVIDE PAPERLESS IN ALL 'WET' AREAS)
- ALL GYP. BD. ASSEMBLIES (WITHOUT RATINGS) TO BE 12.7mm GYP. BD. (PROVIDE PAPERLESS IN ALL 'WET' AREAS)
- GYP. BD. TO EXTEND BEHIND ALL RECESSED FIXTURES / EQUIP. / RECEPTACLES / PANELS / ETC. FOR REQ'D F/R/R TYP.
- GYP. BD. WALL / PARTITION JOINTS ARE TO BE TAPED & MUDDED FULL HEIGHT OF ASSEMBLY INCLUDING ABOVE ALL FIN. CEILING SYSTEMS, SANDING IS NOT REQ'D ABOVE CEILING'S TYP.
- THERE ARE TO BE NO HOLES / VOIDS IN ANY FINISHED / UNFINISHED WALL SYSTEMS INCLUDING AROUND ALL PENETRATIONS, ETC.; FULL HEIGHT OF ASSEMBLY, ABOVE OR BELOW FINISHED CEILING'S
- TILE BACKER BD. WALL SUBSTRATE @ ALL SHOWER LOCATIONS

#### ACCESS DOORS:

- ALL WALL, CEILING & FLOOR ACCESS DOORS / PANELS TO BE RECESSED & FLUSH FINISH, FIRE RATED WHERE APPLICABLE IV. ULC & LABELING, INSTALL WHERE ANYTHING REQ'S ACCESS TYP.

#### PLYND.

- INSTALL FIRE RETARDANT TREATED 19mm PLYND. ON WALL SUBSTRATES IN IT, MECH., ELEC., & EQUIP. RM.'S OR ANY OTHER LOCATION WHERE REQ'D FOR ANY EQUIP. / PANEL MOUNTING REQ'S

#### PRODUCT MANUFACTURERS

- INSTALL ALL PRE-MANUF. PRODUCTS AS PER MANUF.'S INSTALL INSTRUCTIONS & FASTENING PATTERNS
- BATT INSUL.**

- HERMAL BATT INSUL. & SOUND ATTENUATION: BE INSTALLED IV. MANUFACTURER RECOMMENDED FASTENERS & FASTENING PATTERNS, THICKNESS AS SHOWN ON WALL TYPES OR OTHERWISE INDICATED ON DNG'S. R-VALUE LISTED ASSEMBLIES ARE BASED ON THE FOLLOWING PRODUCTS:

- HERMAL - STUD CAVITY WALL LOCATIONS (EXT. METAL / STEEL & KD. FRAMED WALL SYSTEMS, BETWEEN STUD FRAMING): ROCKWOOL COMFORTBATT SEMI-RIGID STONE WOOL / MINERAL FIBRE BATT INSUL. IV. FLEXIBLE EDGE

- TYP. THICKNESSES:  
89mm WOOD STUD - R14  
140mm WOOD STUD - R22

- ACOUSTIC SOUND / SOUND ATTENUATION BATT INSUL. (INT. METAL / STEEL & KD. FRAMED WALL SYSTEMS, BETWEEN STUD FRAMING & SOUND PROOFING ABOVE CEILING'S): ROCKWOOL SAFE N' SOUND SEMI-RIGID STONE WOOL / MINERAL FIBRE BATT INSUL.

- IF THE OWNER / CONTRACTOR INSTALLS DIFFERENT PRODUCTS THAN LISTED, THEY ARE TO CONFIRM THE R-VALUE MEETS THE OBC REQ'S

- SB-2, 2.3.5(2)  
When an exterior wall assembly is required to be rated from the interior side only, such wall assemblies shall have an outer membrane consisting of sheathing and exterior cladding with spaces between the studs filled with insulation conforming to CAN/ULC-S702, "Mineral Fibre Thermal Insulation for Buildings", and having a mass of not less than 1.22 kg/m² of wall surface.

#### RIGID INSUL.

- HERMAL - G.I. (CONT. INSUL.) - ABOVE GRADE, CAVITY WALL LOCATIONS (OVER EXT. SHEATHING, OVER MASONRY OR CONC. SUBSTRATE & ON FRAMED SUBSTRATE SYSTEMS, WHERE THERE IS AN AIR SPACE BETWEEN THE INSUL. & EXT. CLADDING)
- HALO EXTERRA RIGID INSUL. IV. 'R' VALUE OF 5 PER INCH.
- HERMAL - G.I. (CONT. INSUL.) - ABOVE GRADE, CAVITY WALL LOCATIONS (OVER EXT. SHEATHING, OVER MASONRY OR CONC. SUBSTRATE & ON FRAMED SUBSTRATE SYSTEMS, WHERE EXT. CLADDING / FURRING / STRAPPING IS APPLIED DIRECTLY ONTO THE INSUL.)
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- HERMAL - G.I. (CONT. INSUL.) - BELOW GRADE, BASEMENT WALL LOCATIONS (ON FRAMED SUBSTRATE SYSTEMS WHERE THERE IS AN AIR SPACE BETWEEN THE INSUL. & THE FDTN. WALL SYSTEM).
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#### RIGID INSUL.

- HERMAL - G.I. (CONT. INSUL.) - ABOVE GRADE, CAVITY WALL LOCATIONS (OVER EXT. SHEATHING, OVER MASONRY OR CONC. SUBSTRATE & ON FRAMED SUBSTRATE SYSTEMS, WHERE THERE IS AN AIR SPACE BETWEEN THE INSUL. & EXT. CLADDING)
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- HALO EXTERRA RIGID INSUL. IV. 'R' VALUE OF 5 PER INCH.

#### ND. FRAMING:

- EXT. EXP'D KD. FRAMING MEMBERS ARE P/T NO.1 OR NO.2 SPF MIN. TYP.
- EXT. & INT. WALL SILL PLATES KD. FRAMING MEMBERS ARE P/T NO.1 OR NO.2 SPF MIN. TYP.
- EXT. & INT. KD. FRAMING MEMBERS ARE NO.1 OR NO.2 SPF MIN. TYP.

#### FIRESTOPPING / FIREPROOFING / ACOUSTICAL

- FIRE STOP & SMOKE SEAL ALL WALLS REQ'D TO MAINTAIN A F/R/R. FULL HEIGHT OF ASSEMBLY (COORD. IV. LIFE SAFETY DNG'S FOR LOCATIONS) (COORD. IV. TYP. FIRESTOPPING / SOUND PROOFING / FRAMING DETAILS)
- ACOUSTICAL CAULKING TO BE FIRE RATED @ ALL FIRE RATED ASSEMBLIES TYP.
- ACOUSTICAL CAULK & SOUND SEAL ALL OTHER WALLS THAT DO NOT HAVE F/R/R. FULL HEIGHT OF ASSEMBLY (COORD. IV. TYP. FIRESTOPPING / SOUND PROOFING / FRAMING DETAILS)
- ACOUSTICAL CAULK ALL GYP. BD. CEILING PER'S (CONTROL JT.), WALL PER'S BOTH SIDES, I/O ALL SILL PLATES; ALL TO BE A CONT. BEAD TYP.

#### GYP. BOARD / TILE BACKER BD.:

- ALL GYP. BD. ASSEMBLIES / FIRE SEPARATION ASSEMBLIES (WITH RATINGS) TO BE TYPE 'X' OR 'G' FIRE RATED 12.7mm / 15.9mm GYP. BD. (PROVIDE PAPERLESS IN ALL 'WET' AREAS)
- ALL GYP. BD. ASSEMBLIES (WITHOUT RATINGS) TO BE 12.7mm GYP. BD. (PROVIDE PAPERLESS IN ALL 'WET' AREAS)
- GYP. BD. TO EXTEND BEHIND ALL RECESSED FIXTURES / EQUIP. / RECEPTACLES / PANELS / ETC. FOR REQ'D F/R/R TYP.
- GYP. BD. WALL / PARTITION JOINTS ARE TO BE TAPED & MUDDED FULL HEIGHT OF ASSEMBLY INCLUDING ABOVE ALL FIN. CEILING SYSTEMS, SANDING IS NOT REQ'D ABOVE CEILING'S TYP.
- THERE ARE TO BE NO HOLES / VOIDS IN ANY FINISHED / UNFINISHED WALL SYSTEMS INCLUDING AROUND ALL PENETRATIONS, ETC.; FULL HEIGHT OF ASSEMBLY, ABOVE OR BELOW FINISHED CEILING'S
- TILE BACKER BD. WALL SUBSTRATE @ ALL SHOWER LOCATIONS

#### ACCESS DOORS:

- ALL WALL, CEILING & FLOOR ACCESS DOORS / PANELS TO BE RECESSED & FLUSH FINISH, FIRE RATED WHERE APPLICABLE IV. ULC & LABELING, INSTALL WHERE ANYTHING REQ'S ACCESS TYP.

#### PLYND.

- INSTALL FIRE RETARDANT TREATED 19mm PLYND. ON WALL SUBSTRATES IN IT, MECH., ELEC., & EQUIP. RM.'S OR ANY OTHER LOCATION WHERE REQ'D FOR ANY EQUIP. / PANEL MOUNTING REQ'S

#### STRUCTURAL

- COMPRESSIVE STRENGTH, EXPOSURE CLASSIFICATION & REN. OF CONC.
- 28 DAY COMPRESSIVE STRENGTH TYP.
- EXPOSURE CLASSIFICATIONS:
  - C-1 REINFORCED WALLS
  - C-2 EXTERIOR SIDEWALKS & GARAGE / CARPORT SLABS
  - F-2 FOUNDATIONS & FTG.'S
  - N INTERIOR FLOOR SLABS, COMPS, NO AIR
- REIN. SLABS IV. 152x152- MX10.7/MX10.7 FLAT SHEETS WHERE NOTED - COORD. IV. FLR. TYPES
- COORD. IV. CSA A23.1 - TABLE 2

#### CONG. COVER OF REIN. REBAR

- 75mm (3") WHERE EXP'D TO WEATHER,
- 50mm (2") ALL OTHER CONDITIONS

| NO. | DATE       | ISSUANCE                   |
|-----|------------|----------------------------|
| 4   | 2024.11.15 | ISSUED FOR BUILDING PERMIT |
| 3   | 2024.11.05 | ISSUED FOR COORDINATION    |
| 2   | 2024.10.25 | ISSUED FOR REVIEW          |
| NO. | DATE       | ISSUANCE                   |

- IF THE OWNER / CONTRACTOR INSTALLS DIFFERENT PRODUCTS THAN LISTED, THEY ARE TO CONFIRM THE R-VALUE MEETS THE OBC REQ'S
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When an exterior wall assembly is required to be rated from the interior side only, such wall assemblies shall have an outer membrane consisting of sheathing and exterior cladding with spaces between the studs filled with insulation conforming to CAN/ULC-S702, "Mineral Fibre Thermal Insulation for Buildings", and having a mass of not less than 1.22 kg/m² of wall surface.

#### RIGID INSUL.

- HERMAL - G.I. (CONT. INSUL.) - ABOVE GRADE, CAVITY WALL LOCATIONS (OVER EXT. SHEATHING, OVER MASONRY OR CONC. SUBSTRATE & ON FRAMED SUBSTRATE SYSTEMS, WHERE THERE IS AN AIR SPACE BETWEEN THE INSUL. & EXT. CLADDING)
- HALO EXTERRA RIGID INSUL. IV. 'R' VALUE OF 5 PER INCH.
- HERMAL - G.I. (CONT. INSUL.) - ABOVE GRADE, CAVITY WALL LOCATIONS (OVER EXT. SHEATHING, OVER MASONRY OR CONC. SUBSTRATE & ON FRAMED SUBSTRATE SYSTEMS, WHERE EXT. CLADDING / FURRING / STRAPPING IS APPLIED DIRECTLY ONTO THE INSUL.)
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- HERMAL - G.I. (CONT. INSUL.) - BELOW GRADE, BASEMENT WALL LOCATIONS (ON FRAMED SUBSTRATE SYSTEMS WHERE THERE IS AN AIR SPACE BETWEEN THE INSUL. & THE FDTN. WALL SYSTEM).
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#### RIGID INSUL.

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#### ND. FRAMING:

- EXT. EXP'D KD. FRAMING MEMBERS ARE P/T NO.1 OR NO.2 SPF MIN. TYP.
- EXT. & INT. WALL SILL PLATES KD. FRAMING MEMBERS ARE P/T NO.1 OR NO.2 SPF MIN. TYP.
- EXT. & INT. KD. FRAMING MEMBERS ARE NO.1 OR NO.2 SPF MIN. TYP.

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- ALL GYP. BD. ASSEMBLIES (WITHOUT RATINGS) TO BE 12.7mm GYP. BD. (PROVIDE PAPERLESS IN ALL 'WET' AREAS)
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- TILE BACKER BD. WALL SUBSTRATE @ ALL SHOWER LOCATIONS

#### ACCESS DOORS:

- ALL WALL, CEILING & FLOOR ACCESS DOORS / PANELS TO BE RECESSED & FLUSH FINISH, FIRE RATED WHERE APPLICABLE IV. ULC & LABELING, INSTALL WHERE ANYTHING REQ'S ACCESS TYP.

#### PLYND.

- INSTALL FIRE RETARDANT TREATED 19mm PLYND. ON WALL SUBSTRATES IN IT, MECH., ELEC., & EQUIP. RM.'S OR ANY OTHER LOCATION WHERE REQ'D FOR ANY EQUIP. / PANEL MOUNTING REQ'S

#### STRUCTURAL

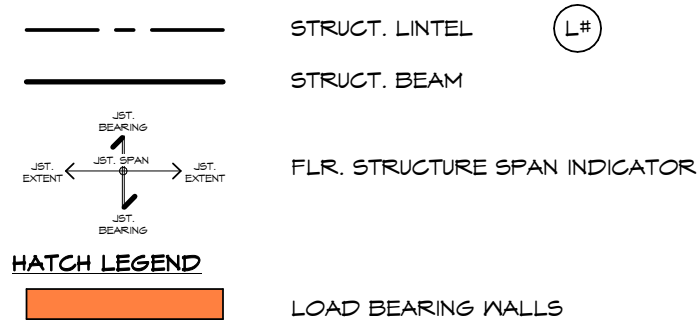
- COMPRESSIVE STRENGTH, EXPOSURE CLASSIFICATION & REN. OF CONC.
- 28 DAY COMPRESSIVE STRENGTH TYP.
- EXPOSURE CLASSIFICATIONS:
  - C-1 REINFORCED WALLS
  - C-2 EXTERIOR SIDEWALKS & GARAGE / CARPORT SLABS
  - F-2 FOUNDATIONS & FTG.'S
  - N INTERIOR FLOOR SLABS, COMPS, NO AIR
- REIN. SLABS IV. 152x152- MX10.7/MX10.7 FLAT SHEETS WHERE NOTED - COORD. IV. FLR. TYPES
- COORD. IV. CSA A23.1 - TABLE 2

#### CONG. COVER OF REIN. REBAR

- 75mm (3") WHERE EXP'D TO WEATHER,
- 50mm (2") ALL OTHER CONDITIONS

UNIT 1 & UNIT 2  
241 GROVE STREET,  
SIMCOE, ONTARIO

LEVEL FLR. FRAMING & LINTEL PLAN LEGEND



LEVEL FRAMING & LINTEL NOTES:

- ALL DIM.'S ARE OUTSIDE OF WALL SYSTEMS

GENERAL NOTES:

- SHOP DWS.'S ARE TO BE DIMENSIONED IN METRIC UNITS (IMPERIAL & METRIC BOTH SHOWN IS ACCEPTABLE)
- GENERAL CONTRACTOR TO COORD. MECH. / ELEC. OPENINGS SO NO OPENING IS LOCATED DIRECTLY BELOW BEAM OR JOIST BEARING LOCATIONS
- ALL INTERIOR DOOR LINTELS TO BE L1 UNLESS OTHERWISE INDICATED

CONCRETE PIER SCHEDULE

| MARK | DESCRIPTION               | T/O PIER          |   |
|------|---------------------------|-------------------|---|
| ST1  | 305mm (12") DIA. SONOTUBE | TOP OF FDTN. WALL | ○ |

NOTES:

- ALL PIERS SHALL BE CENTERED UNDER COLUMNS / POSTS. CONTRACTOR TO COORD. PAD LOCATIONS W/ DIMENSIONS LOCATING COLUMNS
- SQUARE OFF TOP OF SONOTUBES WHERE EXP.'D / ABOVE GRADE TYP.

LINTEL SCHEDULE

| MARK | DESCRIPTION                           | DETAIL | WALL TYPE                        |
|------|---------------------------------------|--------|----------------------------------|
| L1   | 2-PLY 38mm x 89mm (2"x4") W.D. STUD   |        | 89mm (4") W.D. STUD              |
| L2   | 2-PLY 38mm x 140mm (2"x6") W.D. STUD  |        | 89mm & 140mm (4" & 6") W.D. STUD |
| L3   | 2-PLY 38mm x 184mm (2"x6") W.D. STUD  |        | 140mm (6") W.D. STUD             |
| L4   | 2-PLY 38mm x 235mm (2"x10") W.D. STUD |        | 140mm (6") W.D. STUD             |
| L5   | 3-PLY 38mm x 235mm (2"x10") W.D. STUD |        | 140mm (6") W.D. STUD             |

LINTEL NOTES:

- STRUCT. LINTEL (L#)
- 2-PLY W.D. LINTELS W/ SPANS LESS THAN 3m (9'-10") REQ. 38mm (1.5") MIN. BEARING LENGTH @ EACH END. SPANS GREATER THAN 3m (9'-10") REQ. 76mm (3") MIN. BEARING LENGTH. INSTALL BUILT UP COLUMNS TO MATCH WALL STUD WIDTH AS REQ.'D
- 3-PLY W.D. LINTELS / BEAMS W/ SUPPORTED LENGTHS GREATER THAN 4.2m REQ. MIN. BEARING LENGTH OF 114mm (4.5"). ALL OTHER BEAMS REQ. MIN. BEARING LENGTH OF 76mm (3"). INSTALL BUILT UP COLUMNS TO MATCH WALL STUD WIDTH AS REQ.'D
- 4 & 5-PLY W.D. LINTELS / BEAMS W/ SUPPORTED LENGTHS GREATER THAN 3m REQ. BEARING LENGTH OF 114mm (4.5") MIN. ALL OTHER BEAMS REQ. BEARING LENGTH OF 76mm (3") MIN. INSTALL BUILT UP COLUMNS TO MATCH WALL STUD WIDTH AS REQ.'D
- WHERE NOTED, LINTELS MUST BEAR UPON ENTIRE WIDTH OF BUILT-UP COLUMNS INDICATED W/ ADDITIONAL TRIMMER STUD FASTENED TO COLUMN AS PER TYP. ROUGH OPENING FRAMING
- ALL LINTELS THAT REQ. SPACERS ARE TO BE SPACED THE SAME AS THE WALL TYPE THEY ARE LOCATED IN. SPACERS ARE TO BE INSTALLED BETWEEN THE PLY'S

COLUMN / POST SCHEDULE - WOOD

| MARK | DESCRIPTION          |
|------|----------------------|
| C1A  | 3-PLY 38x89 (2"x4")  |
| C1B  | 4-PLY 38x89 (2"x4")  |
| C2A  | 3-PLY 38x140 (2"x6") |
| C2B  | 4-PLY 38x140 (2"x6") |
| 5XG1 | 140x140 (6"x6")      |

NOTES:

- CR - BUILT UP COLUMN
- SNCF - SOLID WOOD COLUMN
- WHERE COLUMNS ARE NOT LOCATED IN A LOAD BEARING WALL THEY SHALL BE CENTERED ON PAD FTG.'S BELOW
- ALL EXT. EXP.'D COLUMNS TO BE PRESSURE TREATED LUMBER (P/T)
- ALL EXT. COLUMNS TO BE ANCHORED TO FDTN. SYSTEM, WALL BELOW OR CONC. ENT. SLAB TYP.
- VERIFY ANY GIRDER TRUSS PLY W/ TRUSS MANUF. & INSTALL BUILT UP COLUMNS TO MATCH THE NUMBER OF GIRDER PLY'S
- VERIFY ANY FLR. / ROOF FRAMING POINT LOADS W/ FLR. / ROOF MANUF. & INSTALL BUILT UP COLUMNS TO MATCH THE NUMBER OF FRAMING PLY'S
- INSTALL BUILT UP COLUMNS TO MATCH WIDTH OF BEAM OR NUMBER OF PLY'S OF BUILT UP BEAM FOR BEARING TRANSFER TO BELOW TYP.
- ALL BUILT UP COLUMNS TO BE TRANSFERRED TO FDTN. SYSTEMS. INSTALL BUILT UP COLUMNS IN WALL / FLR. SYSTEM(S) SO LOADS ARE TRANSFERRED TO FDTN. SYSTEM BELOW WHETHER SHOWN OR NOT TYP.

STRUCTURAL FLOOR LOADING

FLOOR LOADS:

RESIDENTIAL - LIVE - 1.9 kPa (40psf) FOR ALL AREAS  
- DEAD - 1.0 kPa (20.1psf) FOR ALL AREAS

WALL FOOTING SCHEDULE

| MARK | DESCRIPTION  |
|------|--|
| WF1  | 457mm (18") WIDE x 200mm (8") DEEP C/W 2-15M BOTTOM CONTINUOUS |
| WF2  | 457mm (18") WIDE x 200mm (8") DEEP C/W 2-15M BOTTOM CONTINUOUS |
| WF3  | 762mm (30") WIDE x 200mm (8") DEEP C/W 3-15M BOTTOM CONTINUOUS |

NOTES:

- TYP. VERT. DOCKELS ARE 15M 150mm (6") LEG & 450mm (18") LONG. @ 610mm (24") O/C MAX. W/V/O
- ALL STRIP FTG.'S SHALL BE CENTERED UNDER CONC. FDTN. WALLS & INT. LOAD BEARING STUD WALLS. CONTRACTOR SHALL COORD. FTG. & WALL DIM.'S ON PLANS & REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO CONST.
- WHERE REINF. OF THE FDTN. WALLS IS REQ.'D, ALL RE-BAR SHALL BE DOCKELED INTO FTG.'S 50mm (2") MIN. EMBEDMENT (600mm (2) LAP LENGTH FOR TIE-IN DOCKELS)

ALTERNATIVE STEP FOOTING DETAIL

SCALE 1 : 10

NOTE:

STEP FOOTINGS DOWN AS REQ'D TO MAINTAIN MIN. 1.2m FROST COVER TO U/S FOOTING.

ALTERNATIVELY, CONTRACTOR TO PROVIDE A 25mm (1") THICK LAYER OF POLYSTYRENE INSULATION ON THE TOP OF THE FOOTING TO THE EXTERIOR SIDE OF THE WALL AND AT THE EXTERIOR VERTICAL FACE OF THE STRIP FOOTING (THERMALLY EQUIVALENT TO 600mm OF SOIL COVER)

COLUMN PAD FOOTING SCHEDULE

| MARK | DESCRIPTION (LXWxD)                                      |
|------|--|
| CF1  | 600 (2') x 600 (2') x 305 (12") W/ 4-15M RE-BAR EACH WAY |

NOTES:

- ALL FTG. PADS SHALL BE CENTERED UNDER COLUMNS / POSTS / PIERS. CONTRACTOR TO COORD. PAD LOCATIONS W/ DIMENSIONS LOCATING COLUMNS

CONCRETE WALL REINFORCING SCHEDULE

| WALL TYPE                | HORIZONTAL                          |
|--------------------------|-------------------------------------|
| 203mm (8") CONCRETE WALL | 2-15M CONT. AT TOP & BOTTOM OF WALL |
| 229mm (9") CONCRETE WALL | 2-15M CONT. AT TOP & BOTTOM OF WALL |

NOTES:

- 15mm (3") COVER @ EXTERIOR CONDITIONS, 50mm (2") COVER @ INTERIOR CONDITIONS

FOOTING, FOUNDATION & SOG LEGEND

|     |  |
|-----|--|
| --- | 5/0/6 SAN CUT LINES (SC) (4.5m (14'-6") O/C MAX.)            |
| WF# | WALL FOOTING TAG & IDENTIFICATION (COORD. W/ WALL FTG. SCH.) |
| FN# | FOUNDATION WALL TAG & IDENTIFICATION (COORD. W/ FDTN. SCH.)  |

GENERAL NOTES:

- REFERENCE - FIN. FLR. ELEV. OF LEVEL 1 IS 0000
- FTG. THICKNESS(ES) SHOWN ARE MIN. ALL SIDES OF FTG.'S ARE TO BE PROPERLY FORMED TO PREVENT OUTWARD FLOW OF CONC. BELOW FORMWORK
- ALL SLABS ON GRADE SHALL BE AS PER FLR. TYPES ON: GRANULAR 'A' BACKFILL @ ALL HARD SURFACES COMPACTED TO 100% SPMD, ON UNDISTURBED NATIVE SOIL / ENG.'D FILL (COORD. W/ ARCH. FOR UNDER SLAB NSUL. LOCATIONS)
- INSTALL SAWCUT CONTROL JOINTS IN CONC. 5/0/6 @ 4500mm MAX. SPACING W/V/O. COORD. W/ TYP. SAW CUT CONTROL JOINT DETAIL; SAW CUTS TO BE PROVIDED @ ALL DOOR OPENINGS
- INSTALL SLEEVES IN ALL WALLS FOR STORM & SANITARY LINES
- ALL FTG.'S SHALL BEAR ON UNDISTURBED SOIL OR APPROVED ENG.'D FILL W/ A MIN. SOIL BEARING CAPACITY OF 75KPa. MIN. (COORD. W/ GEOTECHNICAL ENG. / SOILS REPORT)
- APPROVED GRANULAR FILL UNDER ALL NEW FTG.'S SHALL BE COMPACTED IN 150mm LAYERS TO 100% SPMD. TO BE CONFIRMED BY GEO. ENG. / TESTING & INSPECTION COMPANY PRIOR TO POURING FTG.'S

KEEPPING TILE LEGEND

|       |   |
|-------|---|
|       | BELOW GRADE PERFORATED KEEPPING TILE SYSTEM C/W FILTER FABRIC IN FREE DRAINING GRANULAR FILL (6m (20') GRID TYP.) CONNECTED TO SUMP PIT W/ PUMP & DRAIN LINES |
| ----- | BELOW GRADE PERFORATED KEEPPING TILE  |

LEVEL PLAN LEGEND

| ROOM NAME |  | ROOM TAG, NUMBERING & IDENTIFICATION (COORD. W/ RM. FIN. SCH.)                                |
|-----------|--|---|
| ###       |  | DOOR TAG & IDENTIFICATION (COORD. W/ SCH.'S)  |
|           |  | NEW DOOR  |
|           |  | WALL TAG & IDENTIFICATION   |
|           |  | CURTAIN WALL / WINDOW TAG & IDENTIFICATION  |
|           |  | FLOOR TAG & IDENTIFICATION  |
|           |  | SCREEN TAG & IDENTIFICATION   |
|           |  | ELEC. CABINET PROVIDE 19mm FIRE RATED PLYND. BEHIND ALL PANELS AS REQ.'D IN MECH. / ELEC. RM. |
|           |  | HYDRO METER & MAST (OWNER TO CONFIRM ABOVE / BELOW GRADE)                                     |
|           |  | RAIN WATER LEADER   |
|           |  | HOSE BIB (500mm A/F GRADE)  |
|           |  | FLR. DRAIN  |
|           |  | WATER METER   |
|           |  | LAVATORIES DOUBLE, SINGLE   |
|           |  | LAVATORY (IN VANITY)  |
|           |  | WATER CLOSET  |
|           |  | HOT WATER HEATER  |
|           |  | CONDENSING UNIT   |

HATCH IDENTIFICATION LEGEND

|  |  |
|--|--|
|  | OPEN TO ABOVE / BELOW  |
|  | MILLWORK / FIXTURES NOT IN CONTRACT (N/A/C) (COORD. W/ A400 SERIES DWG.'S) |
|  | MILLWORK / FIXTURES IN CONTRACT (COORD. W/ A400 SERIES DWG.'S)             |

WALL IDENTIFICATION LEGEND

|  |  |
|--|--|
|  | NEW EXT. INSUL. WALL SYSTEM (COORD. W/ WALL TYPES) |
|  | NEW CONC. BLOCK WALL SYSTEM (COORD. W/ WALL TYPES) |
|  | NEW CONC. WALL SYSTEM (COORD. W/ WALL TYPES)       |
|  | NEW GYP. BD. WALL SYSTEM (COORD. W/ WALL TYPES)    |

GENERAL NOTES:

- ALL DIM.'S ARE TO OUTSIDE OF WALL SYSTEMS

| NO. | DATE       | ISSUANCE                   |
|-----|------------|----------------------------|
| 4   | 2024.11.15 | ISSUED FOR BUILDING PERMIT |
| 3   | 2024.11.05 | ISSUED FOR COORDINATION    |
| 2   | 2024.10.25 | ISSUED FOR REVIEW          |
| NO. | DATE       | ISSUANCE                   |

vallee Consulting Engineers, Architects & Planners

G. DOUGLAS VALLEE LIMITED

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SIMCOE ONTARIO N3Y 3W4  
(519) 426-6270

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ALL DWG.'S ARE TO BE READ IN COLOUR

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STAMP ARCH.

(NOT APPLICABLE)

STAMP STRUCT.

LICENSING PROFESSIONAL ENGINEER  
B.D. BUCHWALD  
10/11/1995  
PROVINCE OF ONTARIO

Ontario Ministry of Municipal Affairs & Housing

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER

REQUIRED UNLESS DESIGN IS EXEMPT UNDER DIVISION C SECTION 3.2 OF THE O.B.C.

Lesley Hutton-Rhona

LESLEY HUTTON  
G. DOUGLAS VALLEE LTD.

33161  
124239

PROJECT TITLE:  
GROVE STREET

UNIT 1 & UNIT 2  
241 GROVE STREET,  
SIMCOE, ONTARIO

DRAWING TITLE:  
FOUNDATION PLAN,  
DIMENSIONS, FLOOR/WALL  
TYPES, SCHEDULES (PRIMARY /  
ATTACHED ARDU)

CHECKED BY:  
LHR

DRAWING SCALE:  
As indicated

PROJECT NO.:  
23-195

DRAWN BY:  
BH/BM

DRAWING NO.:  
A200

FILE PATH: \\vallee-nash\DATA\Projects\2023\23-195 241 Grove St Plunkett Simcoe\Drawings\Arch\23-195 Grove St\_Sem\_1 & 2.rvt DATE PLOTTED 11/13/2024 11:28:37 AM PROJECT NUMBER & NAME: 23-195 GROVE STREET

LEVEL FLR. FRAMING & LINTEL PLAN LEGEND

STRUCT. LINTEL (L#)  
STRUCT. BEAM  
FLR. STRUCTURE SPAN INDICATOR

HATCH LEGEND  
LOAD BEARING WALLS

LEVEL FRAMING & LINTEL NOTES:

ALL DIM.'S ARE OUTSIDE OF WALL SYSTEMS

GENERAL NOTES:

- SHOP DWG.'S ARE TO BE DIMENSIONED IN METRIC UNITS (IMPERIAL & METRIC BOTH SHOWN IS ACCEPTABLE)
- GENERAL CONTRACTOR TO COORD. MECH. / ELEC. OPENINGS SO NO OPENING IS LOCATED DIRECTLY BELOW BEAM OR JOIST BEARING LOCATIONS
- ALL INTERIOR DOOR LINTELS TO BE L1 UNLESS OTHERWISE INDICATED

LINTEL SCHEDULE

| MARK | DESCRIPTION                             | DETAIL | WALL TYPE                             |
|------|---|--------|---------------------------------------|
| L1   | 2-PLY 38mm x 89mm (2"x4")<br>WD. STUD   |        | 89mm (4")<br>WD. STUD                 |
| L2   | 2-PLY 38mm x 140mm (2"x6")<br>WD. STUD  |        | 89mm & 140mm<br>(4" & 6")<br>WD. STUD |
| L3   | 2-PLY 38mm x 184mm (2"x8")<br>WD. STUD  |        | 140mm (6")<br>WD. STUD                |
| L4   | 2-PLY 38mm x 235mm (2"x10")<br>WD. STUD |        | 140mm (6")<br>WD. STUD                |
| L5   | 3-PLY 38mm x 235mm (2"x10")<br>WD. STUD |        | 140mm (6")<br>WD. STUD                |

LINTEL NOTES:

- STRUCT. LINTEL (L#)
- 2-PLY WD. LINTELS W/ SPANS LESS THAN 3m (9'-10") REQ. 38mm (1.5") MIN. BEARING LENGTH @ EACH END. SPANS GREATER THAN 3m (9'-10") REQ. 76mm (3") MIN. BEARING LENGTH. INSTALL BUILT UP COLUMNS TO MATCH WALL STUD WIDTH AS REQ'D
- 3-PLY WD. LINTELS / BEAMS W/ SUPPORTED LENGTHS GREATER THAN 4.2m REQ. MIN. BEARING LENGTH OF 114mm (4.5"). ALL OTHER BEAMS REQ. MIN. BEARING LENGTH OF 76mm (3"). INSTALL BUILT UP COLUMNS TO MATCH WALL STUD WIDTH AS REQ'D
- 4 & 5-PLY WD. LINTELS / BEAMS W/ SUPPORTED LENGTHS GREATER THAN 3m REQ. BEARING LENGTH OF 114mm (4.5") MIN. ALL OTHER BEAMS REQ. BEARING LENGTH OF 76mm (3") MIN. INSTALL BUILT UP COLUMNS TO MATCH WALL STUD WIDTH AS REQ'D
- WHERE NOTED, LINTELS MUST BEAR UPON ENTIRE WIDTH OF BUILT-UP COLUMNS INDICATED W/ ADDITIONAL TRIMMER STUD FASTENED TO COLUMN AS PER TYP. ROUGH OPENING FRAMING
- ALL LINTELS THAT REQ. SPACERS ARE TO BE SPACED THE SAME AS THE WALL TYPE THEY ARE LOCATED IN. SPACERS ARE TO BE INSTALLED BETWEEN THE PLY'S

COLUMN / POST SCHEDULE - WOOD

| MARK | DESCRIPTION          |
|------|----------------------|
| C1A  | 3-PLY 38x89 (2"x4")  |
| C1B  | 4-PLY 38x89 (2"x4")  |
| C2A  | 3-PLY 38x140 (2"x6") |
| C2B  | 4-PLY 38x140 (2"x6") |
| SNC1 | 140x140 (6"x6")      |

NOTES:

- CA - BUILT UP COLUMN
- SNC# - SOLID WOOD COLUMN
- WHERE COLUMNS ARE NOT LOCATED IN A LOAD BEARING WALL THEY SHALL BE CENTERED ON PAD FTG.'S BELOW
- ALL EXT. EXP'D COLUMNS TO BE PRESSURE TREATED LUMBER (P/T)
- ALL EXT. COLUMNS TO BE ANCHORED TO FDTN. SYSTEM, WALL BELOW OR CONC. ENT. SLAB TYP.
- VERIFY ANY GIRDER TRUSS PLY W/ TRUSS MANUF. & INSTALL BUILT UP COLUMNS TO MATCH THE NUMBER OF GIRDER PLY'S
- VERIFY ANY FLR. / ROOF FRAMING POINT LOADS W/ FLR. / ROOF MANUF. & INSTALL BUILT UP COLUMNS TO MATCH THE NUMBER OF FRAMING PLY'S
- INSTALL BUILT UP COLUMNS TO MATCH WIDTH OF BEAM OR NUMBER OF PLY'S OF BUILT UP BEAM FOR BEARING TRANSFER TO BELOW TYP.
- ALL BUILT UP COLUMNS TO BE TRANSFERRED TO FDTN. SYSTEMS. INSTALL BUILT UP COLUMNS IN WALL / FLR. SYSTEM(S) SO LOADS ARE TRANSFERRED TO FDTN. SYSTEM BELOW WHETHER SHOWN OR NOT TYP.

BEAM SCHEDULE - WOOD

| MARK | DESCRIPTION  |
|------|--|
| WB1  | 3-PLY 38mm x 192mm (2"x8")                                     |
| WB2  | 2-PLY 38mm x 235mm (2"x10")<br>FLR. JST. RM / HEADER / TRIMMER |
| WB3  | 3-PLY P.T. 38x235mm (2"x10")                                   |

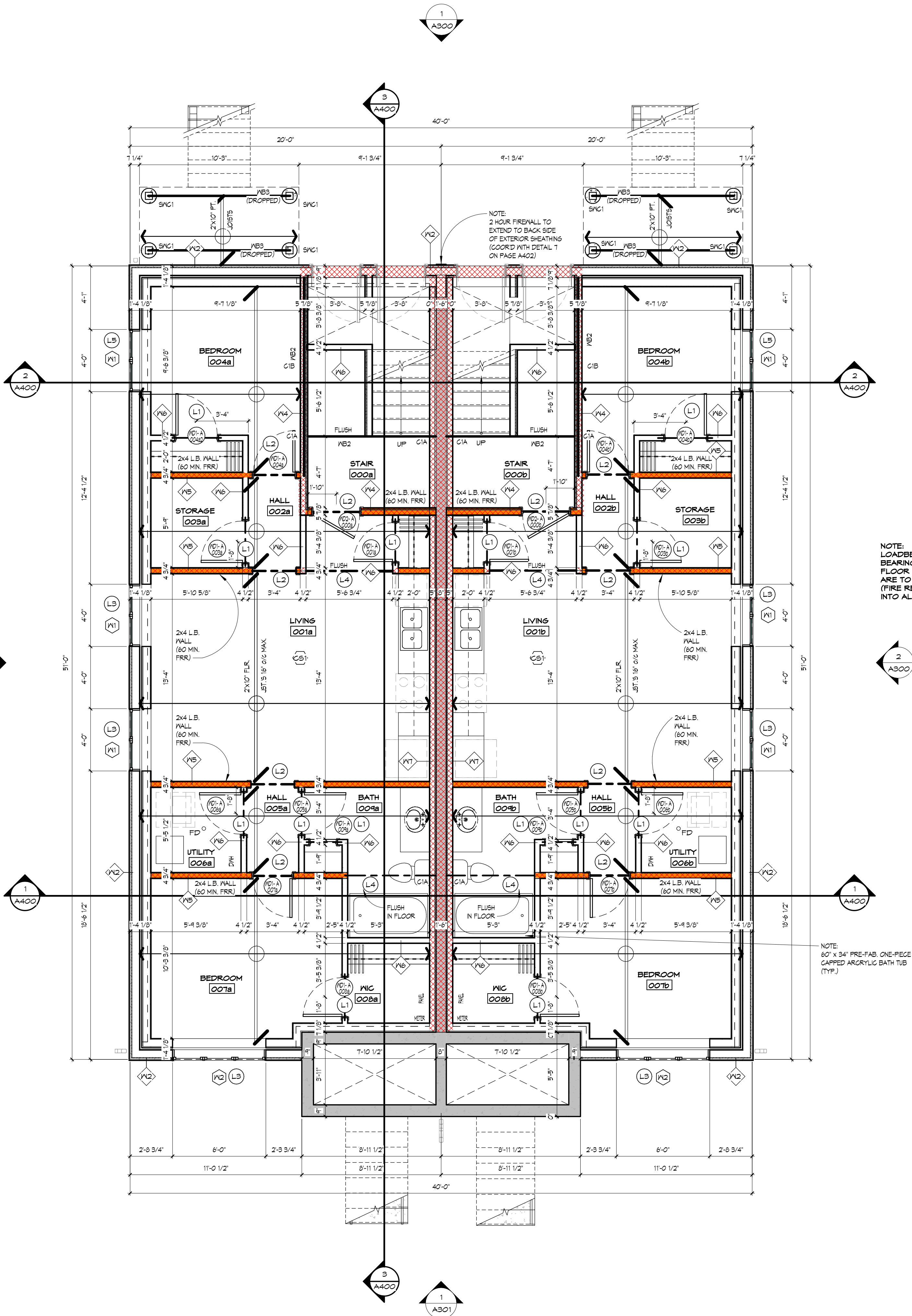
NOTES:

- WB - WOOD BEAM
- 3-PLY BEAMS REQUIRE MIN. BEARING LENGTH OF 114mm. 4-PLY & 5-PLY BEAMS WITH SUPPORTED LENGTHS GREATER THAN 3m REQUIRE MIN. BEARING LENGTH OF 114mm. ALL OTHER BEAMS REQUIRE MIN. BEARING LENGTH OF 76mm UNLESS FASTENED TO EACH SIDE OF WD. POST
- 2-PLY FLR. JST. HEADER / TRIMMER FRAMING MIN. AROUND ALL FLR. OPENINGS W/ NO. COORD. W/ ENG'D FLR. FRAMING FOR PARALLAM / MICROLAM / RIM BD. SURROUNDS
- ALL EXT. EXP'D BEAMS TO BE PRESSURE TREATED LUMBER (P/T)
- INSTALL BUILT UP COLUMNS TO MATCH WIDTH OF BEAM OR NUMBER OF PLY'S OF BUILT UP BEAM FOR BEARING TRANSFER TO BELOW TYP.

STRUCTURAL FLOOR LOADING

FLOOR LOADS:

RESIDENTIAL - LIVE - 1.9 kPa (40psf) FOR ALL AREAS  
- DEAD - 1.0 kPa (20.1psf) FOR ALL AREAS



NOTE:  
LOAD BEARING WALLS (INTERIOR & EXTERIOR) &  
BEARING ELEMENTS SUPPORTING RATED  
FLOOR ASSEMBLIES OVER  
ARE TO BE RATED MIN. 60 MIN.  
(FIRE RESISTANCE RATING TO EXTEND  
INTO ALL OPENINGS THROUGH WALL)

LEVEL PLAN LEGEND

| ROOM NAME  | ROOM TAG, NUMBERING & IDENTIFICATION<br>(COORD. W/ RM. FIN. SCH.)                                  |
|--|--|
| ###  | DOOR TAG & IDENTIFICATION<br>(COORD. W/ SCH.S)   |
| NEW DOOR   | NEW DOOR   |
| WALL TAG & IDENTIFICATION  | WALL TAG & IDENTIFICATION  |
| CURTAIN WALL / WINDOW TAG & IDENTIFICATION   | CURTAIN WALL / WINDOW TAG & IDENTIFICATION   |
| FLOOR TAG & IDENTIFICATION   | FLOOR TAG & IDENTIFICATION   |
| SCREEN TAG & IDENTIFICATION  | SCREEN TAG & IDENTIFICATION  |
| ELEC. CABINET<br>PROVIDE 18mm FIRE RATED PLYND. BEHIND ALL PANELS<br>AS REQ'D IN MECH. / ELEC. RM. | ELEC. CABINET<br>PROVIDE 18mm FIRE RATED PLYND. BEHIND ALL PANELS<br>AS REQ'D IN MECH. / ELEC. RM. |
| HYDRO METER & MAST<br>(OWNER TO CONFIRM ABOVE / BELOW GRADE)                                       | HYDRO METER & MAST<br>(OWNER TO CONFIRM ABOVE / BELOW GRADE)                                       |
| R/L  | RAIN WATER LEADER  |
| HB   | HOSE BIB<br>(500mm A/F GRADE)  |
| FD   | FLR. DRAIN   |
| WM   | WATER METER  |
| LAV.   | LAVATORIES<br>DOUBLE<br>SINGLE   |
| LAV.   | LAVATORY (IN VANITY)   |
| FLR.   | WATER CLOSET   |
| HWH  | HOT WATER HEATER   |
| CU   | CONDENSING UNIT  |

HATCH IDENTIFICATION LEGEND

|   |   |
|---|---|
| OPEN TO ABOVE / BELOW   | OPEN TO ABOVE / BELOW   |
| MILLWORK / FIXTURES NOT IN CONTRACT (N/I/C)<br>(COORD. W/ A400 SERIES DWG.'S) | MILLWORK / FIXTURES NOT IN CONTRACT (N/I/C)<br>(COORD. W/ A400 SERIES DWG.'S) |
| MILLWORK / FIXTURES IN CONTRACT<br>(COORD. W/ A400 SERIES DWG.'S)             | MILLWORK / FIXTURES IN CONTRACT<br>(COORD. W/ A400 SERIES DWG.'S)             |

WALL IDENTIFICATION LEGEND

|   |   |
|---|---|
| NEW EXT. INSUL. WALL SYSTEM<br>(COORD. W/ WALL TYPES) | NEW EXT. INSUL. WALL SYSTEM<br>(COORD. W/ WALL TYPES) |
| NEW CONC. BLOCK WALL SYSTEM<br>(COORD. W/ WALL TYPES) | NEW CONC. BLOCK WALL SYSTEM<br>(COORD. W/ WALL TYPES) |
| NEW CONC. WALL SYSTEM<br>(COORD. W/ WALL TYPES)       | NEW CONC. WALL SYSTEM<br>(COORD. W/ WALL TYPES)       |
| NEW GYP. BD. WALL SYSTEM<br>(COORD. W/ WALL TYPES)    | NEW GYP. BD. WALL SYSTEM<br>(COORD. W/ WALL TYPES)    |

GENERAL NOTES:

- ALL DIM.'S ARE TO OUTSIDE OF WALL SYSTEMS

| NO. | DATE       | ISSUANCE                   |
|-----|------------|----------------------------|
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| NO. | DATE       | ISSUANCE                   |



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VERIFY AT ALL BUILT CONDITIONS

ALL DWG.'S ARE TO BE READ IN COLOUR  
ORIGINAL PAGE SIZE ARCH 'D' - 24" x 36"

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STAMP STRUCT.  
LICENSED PROFESSIONAL ENGINEER  
B.D. BUCHWALD  
10/12/1995  
PROVINCE OF ONTARIO

Ontario Ministry of Municipal  
Affairs & Housing  
THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND  
HAS THE QUALIFICATIONS SET OUT IN THE ONTARIO BUILDING CODE TO BE A  
DESIGNER.  
REQUIRED UNLESS DESIGN IS EXEMPT UNDER DIVISION 'C' SECTION 3.2 OF THE O.B.C.  
Lesley Hutton-Rhona  
LESLEY HUTTON  
G. DOUGLAS VALLEE LTD.  
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124239

PROJECT TITLE:  
**GROVE STREET**  
**UNIT 1 & UNIT 2**  
**241 GROVE STREET,**  
**SIMCOE, ONTARIO**  
DRAWING TITLE:  
**LEVEL 0 FLOOR PLAN,**  
**DIMENSIONS, FLOOR/WALL**  
**TYPES, SCHEDULES (PRIMARY /**  
**ATTACHED ARDU)**

CHECKED BY:  
LHR  
DRAWING SCALE:  
As indicated  
PROJECT NO.:  
23-195  
DRAWN BY:  
BH/BM  
DRAWING NO.:  
**A201**

FILE PATH: \\vallee-nash\DATA\Projects\2023\23-195 241 Grove St Plunkett Simcoe\Drawings\Mch\23-195 Grove St\_Sem1\_1 & 2.rvt DATE PLOTTED 11/13/2024 11:28:40 AM PROJECT NUMBER & NAME: 23-195 GROVE STREET

LEVEL FLR. FRAMING & LINTEL PLAN LEGEND

STRUCT. LINTEL (L#)  
STRUCT. BEAM  
FLR. STRUCTURE SPAN INDICATOR

HATCH LEGEND  
LOAD BEARING WALLS

LEVEL FRAMING & LINTEL NOTES:

ALL DIM.'S ARE OUTSIDE OF WALL SYSTEMS

GENERAL NOTES:

- SHOP DWG.'S ARE TO BE DIMENSIONED IN METRIC UNITS (IMPERIAL & METRIC BOTH SHOWN IS ACCEPTABLE)
- GENERAL CONTRACTOR TO COORD. MECH. / ELEC. OPENINGS SO NO OPENING IS LOCATED DIRECTLY BELOW BEAM OR JOIST BEARING LOCATIONS
- ALL INTERIOR DOOR LINTELS TO BE L1 UNLESS OTHERWISE INDICATED

LINTEL SCHEDULE

| MARK | DESCRIPTION                             | DETAIL | WALL TYPE                             |
|------|---|--------|---------------------------------------|
| L1   | 2-PLY 38mm x 89mm (2"x4")<br>WD. STUD   |        | 89mm (4")<br>WD. STUD                 |
| L2   | 2-PLY 38mm x 140mm (2"x6")<br>WD. STUD  |        | 89mm & 140mm<br>(4" & 6")<br>WD. STUD |
| L3   | 2-PLY 38mm x 184mm (2"x8")<br>WD. STUD  |        | 140mm (6")<br>WD. STUD                |
| L4   | 2-PLY 38mm x 235mm (2"x10")<br>WD. STUD |        | 140mm (6")<br>WD. STUD                |
| L5   | 3-PLY 38mm x 235mm (2"x10")<br>WD. STUD |        | 140mm (6")<br>WD. STUD                |

LINTEL NOTES:

- STRUCT. LINTEL (L#)
- 2-PLY WD. LINTELS IV SPANS LESS THAN 3m (9'-10") REQ. 38mm (1.5") MIN. BEARING LENGTH @ EACH END. SPANS GREATER THAN 3m (9'-10") REQ. 76mm (3") MIN. BEARING LENGTH. INSTALL BUILT UP COLUMNS TO MATCH WALL STUD WIDTH AS REQ'D
- 3-PLY WD. LINTELS / BEAMS IV SUPPORTED LENGTHS GREATER THAN 4.2m REQ. MIN. BEARING LENGTH OF 114mm (4.5"). ALL OTHER BEAMS REQ. MIN. BEARING LENGTH OF 76mm (3"). INSTALL BUILT UP COLUMNS TO MATCH WALL STUD WIDTH AS REQ'D
- 4 & 5-PLY WD. LINTELS / BEAMS IV SUPPORTED LENGTHS GREATER THAN 3m REQ. BEARING LENGTH OF 114mm (4.5") MIN. ALL OTHER BEAMS REQ. BEARING LENGTH OF 76mm (3") MIN. INSTALL BUILT UP COLUMNS TO MATCH WALL STUD WIDTH AS REQ'D
- WHERE NOTED, LINTELS MUST BEAR UPON ENTIRE WIDTH OF BUILT-UP COLUMNS INDICATED IV ADDITIONAL TRIMMER STUD FASTENED TO COLUMN AS PER TYP. ROUGH OPENING FRAMING
- ALL LINTELS THAT REQ. SPACERS ARE TO BE SPACED THE SAME AS THE WALL TYPE THEY ARE LOCATED IN. SPACERS ARE TO BE INSTALLED BETWEEN THE PLY'S

COLUMN / POST SCHEDULE - WOOD

| MARK  | DESCRIPTION          |
|-------|----------------------|
| C1A   | 3-PLY 38x89 (2"x4")  |
| C1B   | 4-PLY 38x89 (2"x4")  |
| C2A   | 3-PLY 38x140 (2"x6") |
| C2B   | 4-PLY 38x140 (2"x6") |
| SN/C1 | 140x140 (6"x6")      |

NOTES:

- CA - BUILT UP COLUMN
- SN/C - SOLID WOOD COLUMN
- WHERE COLUMNS ARE NOT LOCATED IN A LOAD BEARING WALL THEY SHALL BE CENTERED ON PAD FTG.'S BELOW
- ALL EXT. EXP'D COLUMNS TO BE PRESSURE TREATED LUMBER (P/T)
- ALL EXT. COLUMNS TO BE ANCHORED TO FDTN. SYSTEM, WALL BELOW OR CONC. ENT. SLAB TYP.
- VERIFY ANY GIRDER TRUSS PLY IV TRUSS MANUF. & INSTALL BUILT UP COLUMNS TO MATCH THE NUMBER OF GIRDER PLY'S
- VERIFY ANY FLR. / ROOF FRAMING POINT LOADS IV FLR. / ROOF MANUF. & INSTALL BUILT UP COLUMNS TO MATCH THE NUMBER OF FRAMING PLY'S
- INSTALL BUILT UP COLUMNS TO MATCH WIDTH OF BEAM OR NUMBER OF PLY'S OF BUILT UP BEAM FOR BEARING TRANSFER TO BELOW TYP.
- ALL BUILT UP COLUMNS TO BE TRANSFERRED TO FDTN. SYSTEMS. INSTALL BUILT UP COLUMNS IN WALL / FLR. SYSTEM(S) SO LOADS ARE TRANSFERRED TO FDTN. SYSTEM BELOW WHETHER SHOWN OR NOT TYP.

BEAM SCHEDULE - WOOD

| MARK | DESCRIPTION   |
|------|---|
| WB1  | 3-PLY 38mm x 192mm (2"x8")                                    |
| WB2  | 2-PLY 38mm x 235mm (2"x10")<br>FLR. ST. RM / HEADER / TRIMMER |
| WB3  | 3-PLY P.T. 38x235mm (2"x10")                                  |

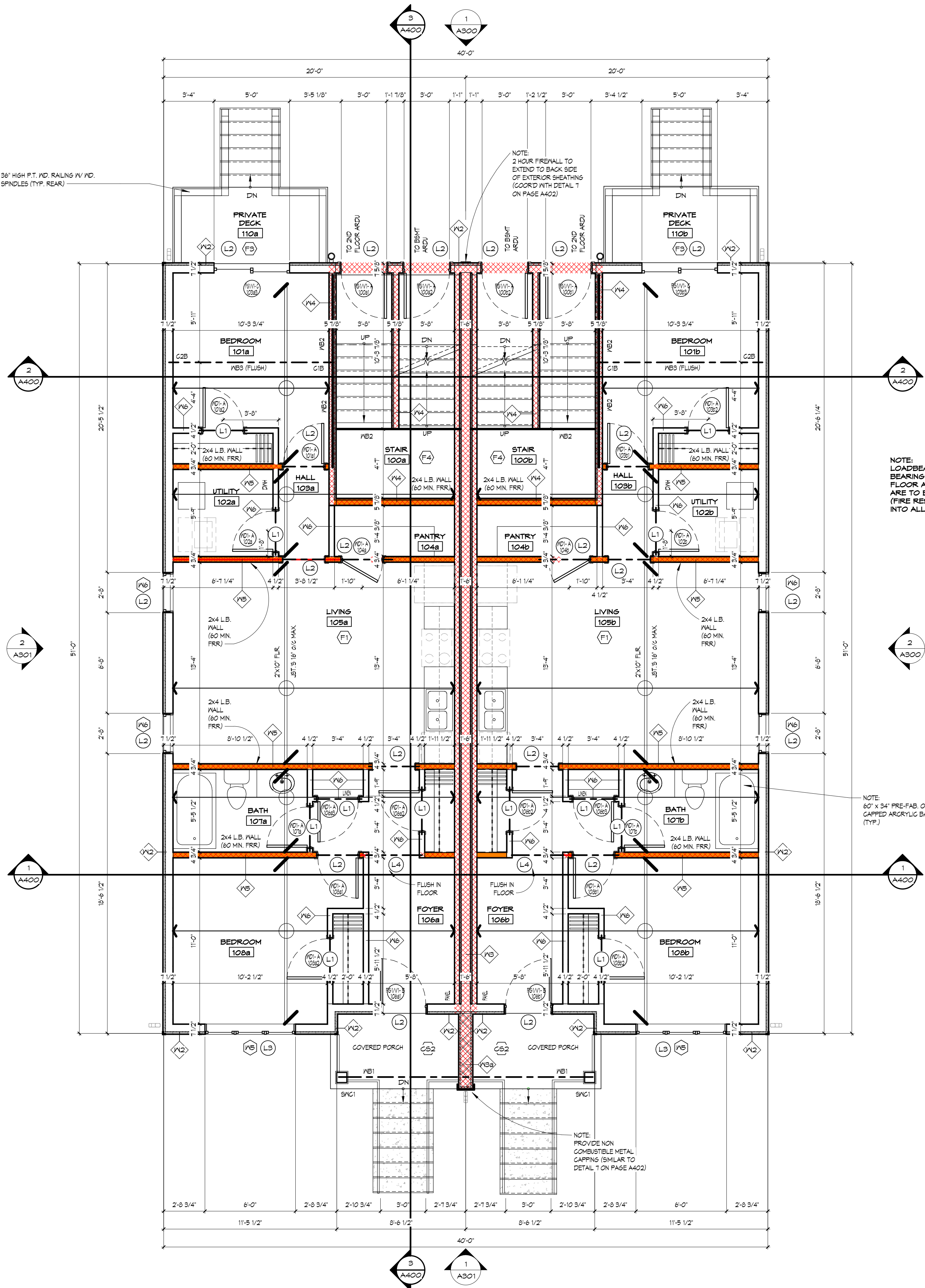
NOTES:

- WB - WOOD BEAM
- 3-PLY BEAMS REQUIRE MIN. BEARING LENGTH OF 114mm. 4-PLY & 5-PLY BEAMS WITH SUPPORTED LENGTHS GREATER THAN 3m REQUIRE MIN. BEARING LENGTH OF 114mm. ALL OTHER BEAMS REQUIRE MIN. BEARING LENGTH OF 76mm UNLESS FASTENED TO EACH SIDE OF WD. POST
- 2-PLY FLR. JST. HEADER / TRIMMER FRAMING MIN. AROUND ALL FLR. OPENINGS W/O. COORD. IV ENG.'D FLR. FRAMING FOR PARALLAM / MICROLAM / RM BD. SURROUNDS
- ALL EXT. EXP'D BEAMS TO BE PRESSURE TREATED LUMBER (P/T)
- INSTALL BUILT UP COLUMNS TO MATCH WIDTH OF BEAM OR NUMBER OF PLY'S OF BUILT UP BEAM FOR BEARING TRANSFER TO BELOW TYP.

STRUCTURAL FLOOR LOADING

FLOOR LOADS:

RESIDENTIAL - LIVE - 1.9 kPa (40psf) FOR ALL AREAS  
- DEAD - 1.0 kPa (20.1psf) FOR ALL AREAS



NOTE:  
LOAD BEARING WALLS (INTERIOR & EXTERIOR) & BEARING ELEMENTS SUPPORTING RATED FLOOR ASSEMBLIES OVER ARE TO BE RATED MIN. 60 MIN. (FIRE RESISTANCE RATING TO EXTEND INTO ALL OPENINGS THROUGH WALL)

LEVEL PLAN LEGEND

- ROOM NAME  
###  
ROOM TAG, NUMBERING & IDENTIFICATION (COORD. IV RM. FIN. SCH.)  
DOOR TAG & IDENTIFICATION (COORD. IV SCH.S)  
NEW DOOR  
WALL TAG & IDENTIFICATION  
CURTAIN WALL / WINDOW TAG & IDENTIFICATION  
FLOOR TAG & IDENTIFICATION  
SCREEN TAG & IDENTIFICATION  
ELEC. CABINET  
PROVIDE 18mm FIRE RATED PLYND. BEHIND ALL PANELS AS REQ'D IN MECH. / ELEC. RM.  
HYDRO METER & MAST  
(OWNER TO CONFIRM ABOVE / BELOW GRADE)  
RAIN WATER LEADER  
HOSE BIB  
(500mm A/F GRADE)  
FLR. DRAIN  
WATER METER  
LAVATORIES  
DOUBLE  
SINGLE  
LAVATORY (IN VANITY)  
WATER CLOSET  
HOT WATER HEATER  
CONDENSING UNIT

HATCH IDENTIFICATION LEGEND

- OPEN TO ABOVE / BELOW  
MILLWORK / FIXTURES NOT IN CONTRACT (N/V/C)  
(COORD. IV A400 SERIES DWG.'S)  
MILLWORK / FIXTURES IN CONTRACT  
(COORD. IV A400 SERIES DWG.'S)

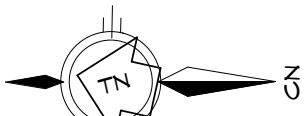
WALL IDENTIFICATION LEGEND

- NEW EXT. INSUL. WALL SYSTEM  
(COORD. IV WALL TYPES)  
NEW CONC. BLOCK WALL SYSTEM  
(COORD. IV WALL TYPES)  
NEW CONC. WALL SYSTEM  
(COORD. IV WALL TYPES)  
NEW GYP. BD. WALL SYSTEM  
(COORD. IV WALL TYPES)

GENERAL NOTES:

- ALL DIM.'S ARE TO OUTSIDE OF WALL SYSTEMS

| NO. | DATE       | ISSUANCE                   |
|-----|------------|----------------------------|
| 4   | 2024.11.15 | ISSUED FOR BUILDING PERMIT |
| 3   | 2024.11.05 | ISSUED FOR COORDINATION    |
| 2   | 2024.10.25 | ISSUED FOR REVIEW          |
| NO. | DATE       | ISSUANCE                   |



DO NOT SCALE DRAWINGS. CALL FOR ANY CLARIFICATIONS THAT ARE REQUIRED. FIELD VERIFY AT ALL BUILT CONDITIONS  
ALL DWG.'S ARE TO BE READ IN COLOUR  
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**vallee**  
Consulting Engineers,  
Architects & Planners  
**G. DOUGLAS VALLEE LIMITED**  
2 TALBOT STREET NORTH  
SIMCOE ONTARIO N3Y 3W4  
(519) 426-6270

STAMP ARCH.  
(NOT APPLICABLE)  
STAMP STRUCT.  
LICENSED PROFESSIONAL ENGINEER  
B.D. BUCHWALD  
10/12/1995  
PROVINCE OF ONTARIO

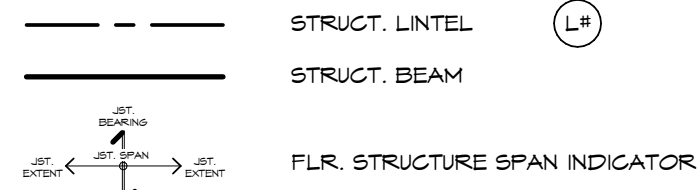
Ontario Ministry of Municipal Affairs & Housing  
THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.  
REQUIRED UNLESS DESIGN IS EXEMPT UNDER DIVISION 'C' SECTION 3.2 OF THE O.B.C.  
Lesley Hutton-Rhona  
LESLEY HUTTON  
G. DOUGLAS VALLEE LTD.  
33161  
124239

PROJECT TITLE:  
**GROVE STREET**  
UNIT 1 & UNIT 2  
241 GROVE STREET,  
SIMCOE, ONTARIO  
DRAWING TITLE:  
LEVEL 1 FLOOR PLAN,  
DIMENSIONS, FLOOR/WALL  
TYPES, SCHEDULES (PRIMARY /  
ATTACHED ARDU)

CHECKED BY:  
LHR  
DRAWING SCALE:  
As indicated  
PROJECT NO.:  
23-195  
DRAWN BY:  
BH/BM  
DRAWING NO.:  
**A202**

FILE PATH: \\vallee-nash\DATA\Projects\2023\23-195 241 Grove St Plunkett Simcoe\Drawings\Arch\23-195 Grove St\_Sem1\_1 & 2.rvt DATE PLOTTED 11/13/2024 11:28:44 AM PROJECT NUMBER & NAME: 23-195 GROVE STREET

LEVEL FLR. FRAMING & LINTEL PLAN LEGEND



LEVEL FRAMING & LINTEL NOTES:

- ALL DIM.'S ARE OUTSIDE OF WALL SYSTEMS

GENERAL NOTES:

- SHOP DWG.'S ARE TO BE DIMENSIONED IN METRIC UNITS (IMPERIAL & METRIC BOTH SHOWN IS ACCEPTABLE)
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- ALL INTERIOR DOOR LINTELS TO BE L1 UNLESS OTHERWISE INDICATED

LINTEL SCHEDULE

| MARK | DESCRIPTION                             | DETAIL | WALL TYPE                             |
|------|---|--------|---------------------------------------|
| L1   | 2-PLY 38mm x 89mm (2"x4")<br>WD. STUD   |        | 89mm (4")<br>WD. STUD                 |
| L2   | 2-PLY 38mm x 140mm (2"x6")<br>WD. STUD  |        | 89mm & 140mm<br>(4" & 6")<br>WD. STUD |
| L3   | 2-PLY 38mm x 184mm (2"x8")<br>WD. STUD  |        | 140mm (6")<br>WD. STUD                |
| L4   | 2-PLY 38mm x 235mm (2"x10")<br>WD. STUD |        | 140mm (6")<br>WD. STUD                |
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LINTEL NOTES:

- STRUCT. LINTEL (L#)
- 2-PLY WD. LINTELS W/ SPANS LESS THAN 3m (9'-10") REQ. 38mm (1.5") MIN. BEARING LENGTH @ EACH END. SPANS GREATER THAN 3m (9'-10") REQ. 76mm (3") MIN. BEARING LENGTH. INSTALL BUILT UP COLUMNS TO MATCH WALL STUD WIDTH AS REQ'D
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COLUMN / POST SCHEDULE - WOOD

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| C1B  | 4-PLY 38x89 (2"x4")  |
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| C2B  | 4-PLY 38x140 (2"x6") |
| SNK1 | 140x140 (6"x6")      |

NOTES:

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- SNK1 - SOLID WOOD COLUMN
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- VERIFY ANY FLR. / ROOF FRAMING POINT LOADS W/ FLR. / ROOF MANUF. & INSTALL BUILT UP COLUMNS TO MATCH THE NUMBER OF FRAMING PLY'S
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| WB2  | 2-PLY 38mm x 235mm (2"x10")<br>FLR. ST. RM / HEADER / TRIMMER |
| WB3  | 3-PLY P.T. 38x235mm (2"x10")                                  |

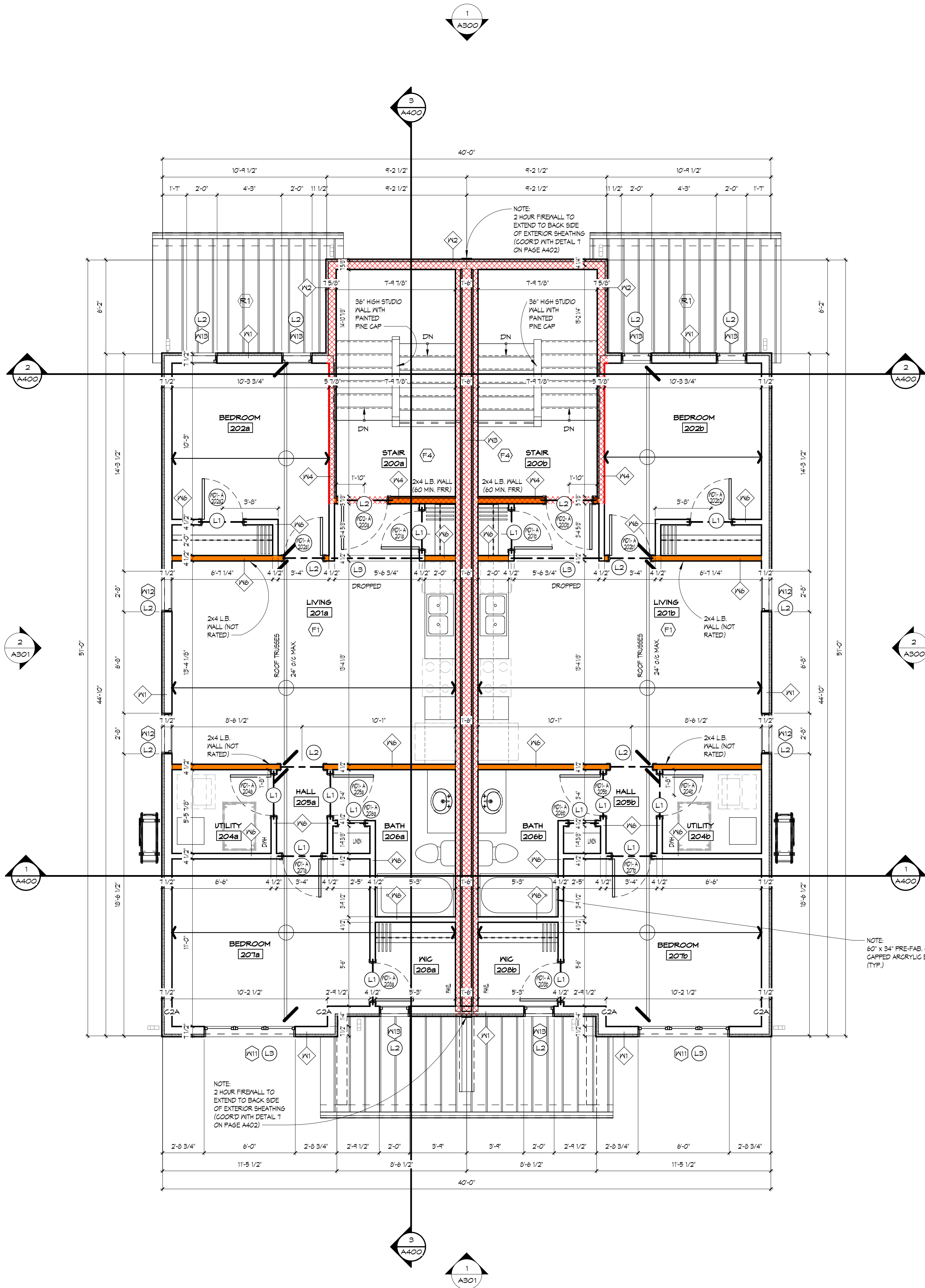
NOTES:

- WB - WOOD BEAM
- 3-PLY BEAMS REQUIRE MIN. BEARING LENGTH OF 114mm. 4-PLY & 5-PLY BEAMS WITH SUPPORTED LENGTHS GREATER THAN 3m REQUIRE MIN. BEARING LENGTH OF 114mm. ALL OTHER BEAMS REQUIRE MIN. BEARING LENGTH OF 76mm UNLESS FASTENED TO EACH SIDE OF WD. POST
- 2-PLY FLR. JST. HEADER / TRIMMER FRAMING MIN. AROUND ALL FLR. OPENINGS W/ W/O. COORD. W/ ENG.'D FLR. FRAMING FOR PARALLAM / MICROLAM / RIM BD. SURROUNDS
- ALL EXT. EXP'D BEAMS TO BE PRESSURE TREATED LUMBER (P.T.)
- INSTALL BUILT UP COLUMNS TO MATCH WIDTH OF BEAM OR NUMBER OF PLY'S OF BUILT UP BEAM FOR BEARING TRANSFER TO BELOW TYP.

STRUCTURAL FLOOR LOADING

FLOOR LOADS:

RESIDENTIAL - LIVE - 1.9 kPa (40psf) FOR ALL AREAS  
- DEAD - 1.0 kPa (20.1psf) FOR ALL AREAS



1 LEVEL 2 PLAN  
A203 SCALE 1/4" = 1'-0"

LEVEL PLAN LEGEND

| ROOM NAME | ROOM TAG, NUMBERING & IDENTIFICATION<br>(COORD. W/ RM. FIN. SCH.)                                       |
|-----------|---|
| ###       | DOOR TAG & IDENTIFICATION<br>(COORD. W/ SCH.'S)   |
|           | NEW DOOR  |
|           | WALL TAG & IDENTIFICATION   |
|           | CURTAIN WALL / WINDOW TAG & IDENTIFICATION  |
|           | FLOOR TAG & IDENTIFICATION  |
|           | SCREEN TAG & IDENTIFICATION   |
|           | ELEC. CABINET<br>PROVIDE 1/8" MIN. FIRE RATED PLYND. BEHIND ALL PANELS<br>AS REQ'D IN MECH. / ELEC. RM. |
|           | HYDRO METER & MAST<br>(OWNER TO CONFIRM ABOVE / BELOW GRADE)  |
|           | RAIN WATER LEADER   |
|           | HOSE BIB<br>(500mm A/F GRADE)   |
|           | FLR. DRAIN  |
|           | WATER METER   |
|           | LAVATORIES<br>DOUBLE  |
|           | LAVATORY (IN VANITY)  |
|           | WATER CLOSET  |
|           | HOT WATER HEATER  |
|           | CONDENSING UNIT   |

HATCH IDENTIFICATION LEGEND

|  |   |
|--|---|
|  | OPEN TO ABOVE / BELOW   |
|  | MILLWORK / FIXTURES NOT IN CONTRACT (N/I/C)<br>(COORD. W/ A300 SERIES DWG.'S) |
|  | MILLWORK / FIXTURES IN CONTRACT<br>(COORD. W/ A300 SERIES DWG.'S)             |

WALL IDENTIFICATION LEGEND

|  |   |
|--|---|
|  | NEW EXT. INSUL. WALL SYSTEM<br>(COORD. W/ WALL TYPES) |
|  | NEW CONC. BLOCK WALL SYSTEM<br>(COORD. W/ WALL TYPES) |
|  | NEW CONC. WALL SYSTEM<br>(COORD. W/ WALL TYPES)       |
|  | NEW GYP. BD. WALL SYSTEM<br>(COORD. W/ WALL TYPES)    |

GENERAL NOTES:

- ALL DIM.'S ARE TO OUTSIDE OF WALL SYSTEMS

| NO. | DATE       | ISSUANCE                   |
|-----|------------|----------------------------|
| 4   | 2024.11.13 | ISSUED FOR BUILDING PERMIT |
| 3   | 2024.11.05 | ISSUED FOR COORDINATION    |
| 2   | 2024.10.25 | ISSUED FOR REVIEW          |
| 1   | 2024.09.17 | ISSUED FOR CLIENT REVIEW   |
| NO. | DATE       | ISSUANCE                   |



DO NOT SCALE DRAWINGS, CALL FOR ANY  
CLARIFICATIONS THAT ARE REQUIRED, FIELD  
VERIFY AT ALL BUILT CONDITIONS  
ALL DWG.'S ARE TO BE READ IN COLOUR  
ORIGINAL PAGE SIZE ARCH 'D' - 24" x 36"



G. DOUGLAS VALLEE LIMITED  
2 TALBOT STREET NORTH  
SIMCOE ONTARIO N3Y 3W4  
(519) 426-6270

STAMP ARCH.

STAMP STRUCT.

(NOT APPLICABLE)



Ontario Ministry of Municipal  
Affairs & Housing  
THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND  
HAS THE QUALIFICATIONS SET OUT IN THE ONTARIO BUILDING CODE TO BE A  
DESIGNER.

REQUIRED UNLESS DESIGN IS EXEMPT UNDER DIVISION 'C' SECTION 3.2 OF THE O.B.C.

Lesley Hutton-Rhona  
LESLEY HUTTON  
G. DOUGLAS VALLEE LTD.

PROJECT TITLE:  
GROVE STREET

UNIT 1 & UNIT 2  
241 GROVE STREET,  
SIMCOE, ONTARIO

DRAWING TITLE:  
LEVEL 2 FLOOR PLAN,  
DIMENSIONS, FLOOR/WALL  
TYPES, SCHEDULES (PRIMARY /  
ATTACHED ARDU)

CHECKED BY:

DRAWN BY:

LHR

BH/BM

DRAWING SCALE:

DRAWING NO.:

As indicated

PROJECT NO.:

23-195

A203

FILE PATH: \\valleer-nash\DATA\Projects\2023\23-195 241 Grove St Plunkett Simcoe\Drawings\Arch\23-195 Grove St\_Semi\_1 & 2.dwg DATE PLOTTED 11/13/2024 11:28:45 AM PROJECT NUMBER & NAME: 23-195 GROVE STREET

## STRUCTURAL ROOF LOADING

### LOCATION:

SIMCOE, ONTARIO, CANADA

### SNOW LOADS:

CALCULATION AS PER O.B.C. [B] 9.4.2.2. AND SB-1.

$S = (C_s \times S_g) + S_r$

### WHERE

$C_s$  = basic snow load factor  
= 0.45 for entire width of roof spans less than 4.3m  
= 0.55 for roof spans in excess of 4.3m  
 $S_g$  = 1 in 50 year ground snow load in kPa as per SB-1  
 $S_r$  = 1 in 50 year rain load in kPa as per SB-1

IN NO CIRCUMSTANCES, SHOULD THE SPECIFIED SNOW LOAD BE LESS THAN 1 kPa.

$S = (0.45 \times 1.5) + 0.4$

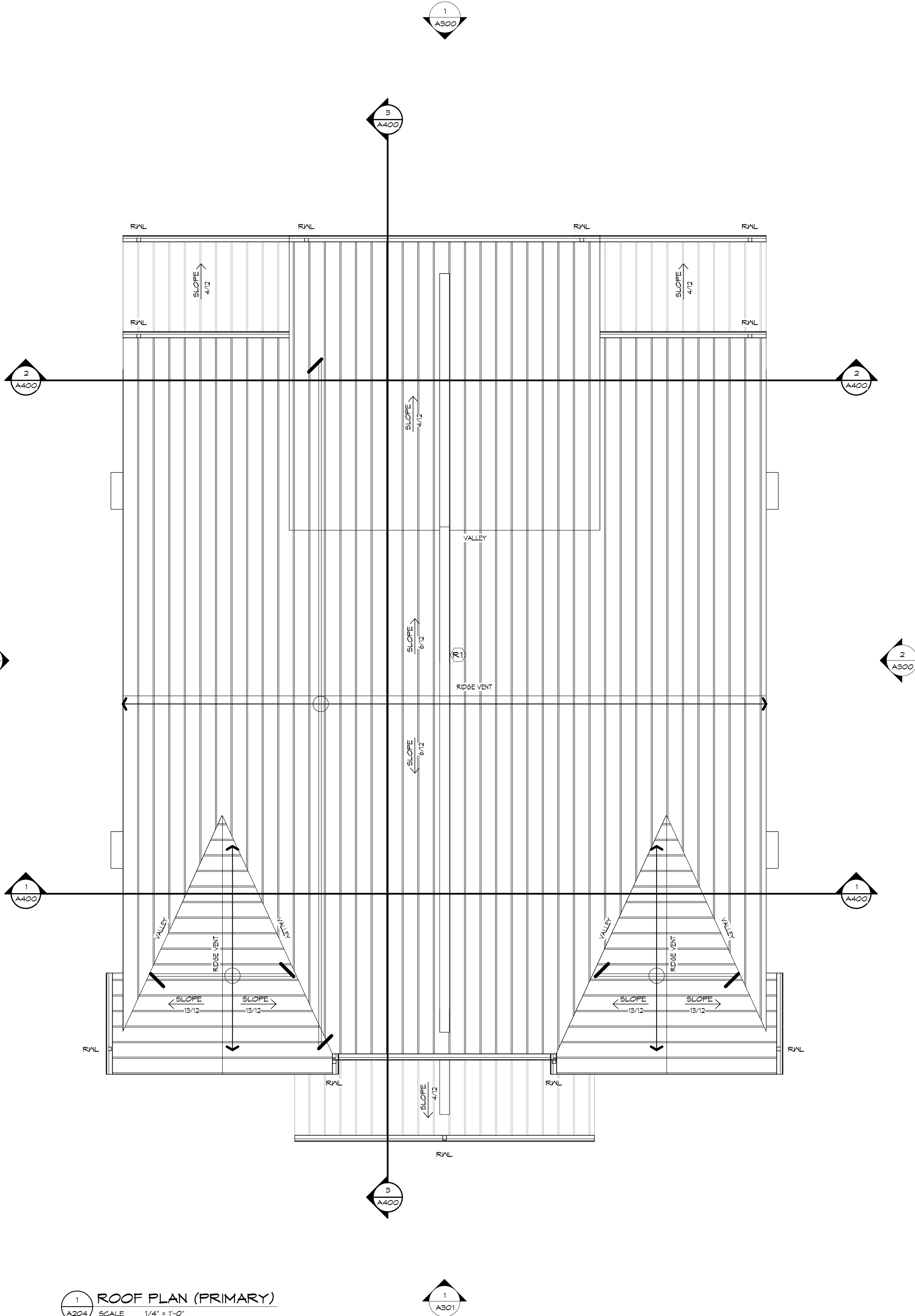
**$S = 0.995 - 1 \text{ kPa GOVERNS}$**

$S = (0.55 \times 1.5) + 0.4$

**$S = 1.115 \text{ kPa}$**

### ROOF LOADS:

RESIDENTIAL - LIVE - 1.0 kPa FOR ALL AREAS  
- DEAD - 1.0 kPa FOR ALL AREAS



1  
A204  
ROOF PLAN (PRIMARY)  
SCALE 1/4" = 1'-0"

## ROOF VENTING LEGEND

(Updated January 1, 2020)

### 6.2.2.7. Crawl Spaces and Attic or Roof Spaces

(1) Every crawl space and every attic or roof space shall be ventilated by natural or mechanical means.

(Updated January 1, 2020)

### 4.14.1. Venting

#### 4.14.1.1. Required Venting

(1) Except where it can be shown to be unnecessary, where insulation is installed between a ceiling and the underside of the roof sheathing, a space shall be provided between the insulation and the sheathing, and vents shall be installed to permit the movement of air from the space to the exterior.

#### 4.14.1.2. Vent Requirements

(1) Except as provided in Sentence (2), the unobstructed vent area shall be not less than 1/300 of the insulated ceiling area.  
(2) Where the roof slope is less than 1 in 6 or in roofs that are constructed with roof joists, the unobstructed vent area shall be not less than 1/150 of the insulated ceiling area.  
(3) Required vents are permitted to be roof type, eave type, gable-end type or any combination of them, and shall be distributed,  
(a) uniformly on opposite sides of the building,  
(b) with not less than 25% of the required openings located at the top of the space, and  
(c) with not less than 25% of the required openings located at the bottom of the space.  
(4) Except where each roof joist space referred to in Sentence (2) is separately vented, roof joist spaces shall be interconnected by installing purlins not less than 38 mm by 38 mm on the top of the roof joists.  
(5) Vents shall comply with CAN3-A93-M, "Natural Airflow Ventilators For Buildings".

#### 4.14.1.3. Clearances

(1) Except as provided in Sentence (2), where venting is provided to a roof joist space, not less than 63 mm of space shall be provided between the top of the insulation and the underside of the roof sheathing.  
(2) Where venting is provided at the junction of sloped roofs and exterior walls and where preformed baffles are used to contain the insulation, the baffles shall:  
(a) provide an unobstructed air space between the insulation and the underside of the roof sheathing, that is:  
(i) not less than 25 mm in dimension, and  
(ii) of sufficient cross area to meet the attic or roof space venting requirements of Article 4.14.1.2, and  
(b) extend vertically not less than 50 mm above the top of the insulation.  
(3) Ceiling insulation shall be installed in a manner that will not restrict a free flow of air through roof vents or through any portion of the attic or roof space.

#### 4.14.1.4. Mansard or Gambrel Roof

(1) The lower portion of a mansard or gambrel style roof need not be ventilated.  
(2) The upper portion of roofs described in Sentence (1) shall be ventilated in conformance with the requirements in Articles 4.14.1.1. to 4.14.1.3.

## PROTECTION OF SOFFITS LEGEND

(Updated January 1, 2020)

### 4.10.12.4. Protection of Soffits

(1) This Article applies to the portion of any soffit enclosing a projection that is,  
(a) less than 2.5 m vertically above a window or door, and  
(b) less than 1.2 m from either side of the window or door.  
(2) Except as provided in Sentences (4) and (5), the soffit described in Sentence (1) shall be protected in accordance with Sentence (3) where the soffit encloses,  
(a) a common attic or roof space that spans more than 2 suites of residential occupancy and projects beyond the exterior wall of the building,  
(b) a floor space where an upper storey projects beyond the exterior wall of a lower storey, and a fire separation is required at the floor between the two storeys, or  
(c) a floor space where an upper storey projects beyond the exterior wall of a lower storey, and the projection is continuous across a vertical fire separation separating two suites.  
(3) Protection required by Sentence (2) shall be provided by,  
(a) noncombustible material having a minimum thickness of 0.38 mm and a melting point not below 650°C,  
(b) not less than 12.7 mm thick gypsum soffit board or gypsum wallboard installed according to CSA A82.31-M, "Gypsum Board Application",  
(c) not less than 11 mm thick plywood,  
(d) not less than 12.5 mm thick OSB or waferboard, or  
(e) not less than 11 mm thick lumber.  
(4) In the case of a soffit described in Sentence (1) that is at the edge of an attic or roof space, and completely separated from the remainder of the attic or roof space by fire blocks, the requirements in Sentence (2) do not apply.  
(5) Where all suites spanned by a common attic or roof space or situated above or below the projecting floor are sprinklered, the requirements in Sentence (2) do not apply provided that all rooms, including closets and bathrooms, having openings in the wall beneath the soffit are sprinklered, notwithstanding any exceptions in the sprinkler standards referenced in Article 3.2.5.13.

## ROOF FRAMING LEGEND



**HATCH LEGEND**  
LOAD BEARING WALLS

### ROOF FRAMING & LINTEL NOTES:

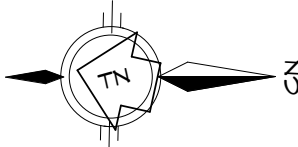
- GENERAL CONTRACTOR TO COORD. MECH. / ELEC. OPENINGS SO NO OPENING IS LOCATED DIRECTLY BELOW BEAM OR JOIST BEARING LOCATIONS
- PRE-ENGINEERED ROOF **TRUSSES/JOISTS**, LINTELS, BEAMS & GIRDERS TO BE DESIGNED / ENG'D / CONFIRMED BY THE **TRUSSES/JOISTS** MANUFACTURER & SUBMITTED IN SHOP DWG.'S TO THE ARCHITECT & STRUCT. ENG. FOR REVIEW
- **TRUSSES/JOISTS** SHOP DRAWINGS MUST BE SEALED BY P.ENG. (PEO) AND SUBMITTED TO ARCHITECT & STRUCT. ENG. FOR REVIEW OF ANY POINT LOADING / LOADING ON STRUCT. PRIOR TO CONSTRUCTION

## ROOF PLAN LEGEND

- ROOF TYPE (COORD. IV ROOF TYPE SCH.)
- DIRECTION OF ROOF DRAINAGE / SLOPES PROVIDE POSITIVE ROOF SLOPES TOWARD ROOF DRAIN. SLOPE TO BE MIN. 1:5-2%
- RAIN WATER LEADERS & EAVESTROUGHS (GUTTER) & PROVIDE OUT TURNS TO SPILL ONTO GRADE IV SPLASH PADS
- PRE-FIN. PTD. CONT. METAL ROOF RIDGE VENT (RV) TO MATCH COLOUR OF NEW ROOF
- PRE-FIN. PTD. CONT. METAL ROOF 'W' VALLEY TO MATCH COLOUR OF NEW ROOF

**HATCH IDENTIFICATION LEGEND**  
 PRE-FIN. PTD. METAL ROOF SYSTEM (COORD. IV OWNER FOR PROFILE & COLOUR)

| NO. | DATE       | ISSUANCE                   |
|-----|------------|----------------------------|
| 4   | 2024.11.13 | ISSUED FOR BUILDING PERMIT |
| 3   | 2024.11.05 | ISSUED FOR COORDINATION    |
| 2   | 2024.10.25 | ISSUED FOR REVIEW          |
| 1   | 2024.09.17 | ISSUED FOR CLIENT REVIEW   |
| NO. | DATE       | ISSUANCE                   |



DO NOT SCALE DRAWINGS, CALL FOR ANY CLARIFICATIONS THAT ARE REQUIRED, FIELD VERIFY AT ALL BUILT CONDITIONS

ALL DWG.'S ARE TO BE READ IN COLOUR  
ORIGINAL PAGE SIZE ARCH 'D' - 24" x 36"

**vallee**  
Consulting Engineers,  
Architects & Planners

G. DOUGLAS VALLEE LIMITED  
2 TALBOT STREET NORTH  
SIMCOE ONTARIO N3Y 3W4  
(519) 426-6270

STAMP ARCH.

STAMP STRUCT.

(NOT APPLICABLE)



Ontario Ministry of Municipal Affairs & Housing  
THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

REQUIRED UNLESS DESIGN IS EXEMPT UNDER DIVISION 'C' SECTION 3.2 OF THE O.B.C.

*Lesley Hutton-Rhona*  
LESELY HUTTON  
G. DOUGLAS VALLEE LTD.

PROJECT TITLE:  
GROVE STREET

UNIT 1 & UNIT 2  
241 GROVE STREET,  
SIMCOE, ONTARIO

DRAWING TITLE:  
ROOF PLAN

CHECKED BY:

DRAWN BY:

LHR

BH/BM

DRAWING SCALE:

DRAWING NO.:

As indicated  
PROJECT NO.:  
23-195

A204

| DOOR INFORMATION    |          |        | DOOR LEAF SIZE |        | DOOR LEAF |          |        | DOOR FRAME |          |        | COMMENTS          |
|---------------------|----------|--------|----------------|--------|-----------|----------|--------|------------|----------|--------|-------------------|
| DOOR IDENTIFICATION | LOCATION |        | WIDTH          | HEIGHT | TYPE      | MATERIAL | FINISH | TYPE       | MATERIAL | FINISH |                   |
|                     | FROM RM. | TO RM. |                |        |           |          |        |            |          |        |                   |
| 0009                | 000a     | 001a   | 3'-0"          | 6'-8"  | A         | ND       | P      | ND2        | ND       | P      | 45 MIN FRR/CLOSER |
| 0009                | 001b     | 000b   | 3'-0"          | 6'-8"  | A         | ND       | P      | ND2        | ND       | P      |                   |
| 001a                | 001b     | 001a   | 2'-6"          | 6'-8"  | A         | ND       | P      | ND1        | ND       | P      | 45 MIN FRR/CLOSER |
| 001b                | 001b     |        | 2'-6"          | 6'-8"  | A         | ND       | P      | ND1        | ND       | P      |                   |
| 003a                | 002a     | 003a   | 2'-8"          | 6'-8"  | A         | ND       | P      | ND1        | ND       | P      |                   |
| 003b                | 002b     | 002b   | 2'-8"          | 6'-8"  | A         | ND       | P      | ND1        | ND       | P      |                   |
| 004a                | 002a     | 004b   | 2'-8"          | 6'-8"  | A         | ND       | P      | ND1        | ND       | P      |                   |
| 004a2               | 002a     | 004a   | 2'-8"          | 6'-8"  | A         | ND       | P      | ND1        | ND       | P      |                   |
| 004b1               | 004b     | 002b   | 2'-8"          | 6'-8"  | A         | ND       | P      | ND1        | ND       | P      |                   |
| 004b2               | 004b     |        | 2'-8"          | 6'-8"  | A         | ND       | P      | ND1        | ND       | P      |                   |
| 005a                | 005a     | 004a   | 2'-8"          | 6'-8"  | A         | ND       | P      | ND1        | ND       | P      |                   |
| 005b                | 004b     | 005b   | 2'-8"          | 6'-8"  | A         | ND       | P      | ND1        | ND       | P      |                   |
| 006a                | 006a     | 006a   | 2'-8"          | 6'-8"  | A         | ND       | P      | ND1        | ND       | P      |                   |
| 006b                | 006b     | 006b   | 2'-8"          | 6'-8"  | A         | ND       | P      | ND1        | ND       | P      |                   |
| 007a                | 005a     | 007a   | 2'-6"          | 6'-8"  | A         | ND       | P      | ND1        | ND       | P      |                   |
| 007b                | 007b     | 005b   | 2'-6"          | 6'-8"  | A         | ND       | P      | ND1        | ND       | P      |                   |
| 008a                | 007a     | 008a   | 2'-6"          | 6'-8"  | A         | ND       | P      | ND1        | ND       | P      |                   |
| 008b                | 008b     | 007b   | 2'-6"          | 6'-8"  | A         | ND       | P      | ND1        | ND       | P      |                   |
| 009a                | 009a     |        | 1'-8"          | 6'-8"  | A         | ND       | P      | ND1        | ND       | P      |                   |
| 009b                | 009b     |        | 1'-8"          | 6'-8"  | A         | ND       | P      | ND1        | ND       | P      |                   |
| LEVEL 1             |          |        |                |        |           |          |        |            |          |        |                   |
| 100a1               |          |        | 3'-0"          | T'-0"  | A         | FG/V     | -      | FG1/V1     | FG/V     | -      |                   |
| 100a2               |          |        | 3'-0"          | T'-0"  | A         | FG/V     | -      | FG1/V1     | FG/V     | -      |                   |
| 100b1               |          |        | 3'-0"          | T'-0"  | A         | FG/V     | -      | FG1/V1     | FG/V     | -      |                   |
| 100b2               |          |        | 3'-0"          | T'-0"  | A         | FG/V     | -      | FG1/V1     | FG/V     | -      |                   |
| 101a1               | 103a     | 101a   | 2'-8"          | 6'-8"  | A         | ND       | P      | ND1        | ND       | P      |                   |
| 101a2               |          | 101a   | 2'-8"          | 6'-8"  | A         | ND       | P      | ND1        | ND       | P      |                   |
| 102a                | 103a     | 102a   | 2'-8"          | 6'-8"  | A         | ND       | P      | ND1        | ND       | P      |                   |
| 102b                | 102b     |        | 2'-8"          | 6'-8"  | A         | ND       | P      | ND1        | ND       | P      |                   |
| 103a3               |          | 101a   | 5'-0"          | 6'-10" | C         | FG/V     | -      | FG1/V1     | FG/V     | -      |                   |
| 103b1               | 101b     | 103b   | 2'-8"          | 6'-8"  | A         | ND       | P      | ND1        | ND       | P      |                   |
| 103b2               | 101b     |        | 2'-8"          | 6'-8"  | A         | ND       | P      | ND1        | ND       | P      |                   |
| 103b3               | 101b     |        | 5'-0"          | 6'-10" | C         | ND       | P      | FG1/V1     | ND       | P      |                   |
| 104a                | 104a     | 105a   | 2'-8"          | 6'-8"  | A         | ND       | P      | ND1        | ND       | P      |                   |
| 104b                | 104b     | 105b   | 2'-8"          | 6'-8"  | A         | ND       | P      | ND1        | ND       | P      |                   |
| 106a1               |          | 106a   | 3'-0"          | 6'-8"  | B         | FG/V     | -      | FG1/V1     | ND       | -      |                   |
| 106a2               |          | 106a   | 2'-8"          | 6'-8"  | A         | ND       | P      | ND1        | ND       | P      |                   |
| 106a3               |          | 106a   | 2'-8"          | 6'-8"  | A         | ND       | P      | ND1        | ND       | P      |                   |
| 106b1               | 106b     |        | 3'-0"          | 6'-8"  | B         | FG/V     | -      | FG1/V1     | FG/V     | -      |                   |
| 106                 |          |        |                |        |           |          |        |            |          |        |                   |

(Updated January 1, 2020)  
**9.9.3.3. Doorways and Doors**  
 (1) Every doorway that is located in a barrier-free path of travel shall have a clear width of not less than 800mm when the door is in the open position. (See Appendix 1)

**Appendix A**  
 9.9.3.3.1) Doorway Width  
 Every doorway that is located in a barrier-free path of travel must have a clear width of not less than 800mm when the door is in the open position and, therefore, it is important that this dimension be measured correctly. The 800mm clear dimension has been developed from research which shows that this dimension provides access for 95% of wheeled mobility devices.

The clear width of not less than 800mm is measured from the face of the door to the outside edge of the stop on the door frame. It is not sufficient just to measure the inside width of the door frame or the width of the door panel. There should be no projections into the required clear opening wider than 50mm above the finished floor or 200mm above the finished floor. The clear opening width between the door and 200mm above the finished floor or ground should not exceed 100mm.

Other factors, including location of door stops other than on the door frame, and the installation of door closers and exit devices, should be taken into account. The intrusion of a door handle into the space is of minor importance. The overall goal is that there are many doors that are frame and door mounts but the overall objective is to maintain a clear width of not less than 800mm.

**UNDERLINED STATEMENT ABOVE IS WHY EXIT (PANIC) DEVICES ARE NOT INCORPORATED INTO THE CLEAR WIDTH CALCULATION. ALL EXIT (PANIC) DEVICES ARE 100MM MAX. IN DEPTH**  
**(GOVERNANCE HARDWARE SCH. 1 SUPPLIERS)**



**COORD.:**

- IT IS THE RESPONSIBILITY OF THE WINDOW & HARDWARE MANUF. / CONTRACTOR & OWNER TO COORD. & EXECUTE THEIR WORK TOGETHER
- COORD. W/ FLR. PLANS, ELEVATIONS & SCHEDULES FOR LOCATIONS, QUANTITY OF CURTAIN WALLS, ENT. STOREFRONT FRAMING & WINDOWS

**FINISH HARDWARE:**

**HARDWARE:**

- ALL FINISH HARDWARE & HARDWARE REQ.'S SHOWN / NOT SHOWN TO BE COORDINATED & VERIFIED W/ THE MANUF. / CONTRACTOR & OWNER

**FRAMING:**

- FRAMING - COORD. W/ OWNER

**GLAZING:**

- GLAZING - COORD. W/ OWNER

**FINISH:**

- FINISH - COORD. W/ OWNER

**SIZINGS:**

- OPENINGS - DIM.'S INDICATED ARE R/O OF STD. SIZING MANUF. U/N/O - VERIFY ALL OPENING DIM.'S & R/O SIZING PRIOR TO FABRICATION & ORDERING.

**ENERGY EFFICIENCY:**

- ENERGY EFFICIENCY OF OPENING INFILLS IN CONDITIONED / SEMI-CONDITIONED SPACES TO MEET OR EXCEED THE CBC MATRIX ENERGY EFFICIENCY REQ.'S



**Updated January 1, 2020)**

**4.10.1.1. Egress Windows or Doors for Bedrooms**

- (1) Except within a bedroom, a window or door shall be provided in the bedroom that provides access to the exterior, every floor level containing a bedroom in a suite shall be provided with at least one outside window that:
  - (a) is operable from the inside without the use of tools,
  - (b) provides an individual, unobstructed open travel way having a minimum area of 0.35 m<sup>2</sup> with no dimension less than 380 mm, and
  - (c) shall have a self-closing device or a device to allow the window to be held open for additional support.
- (2) Except for basement areas, the window required in Sentence (1) shall have a minimum opening dimension of 1130 mm.
- (3) When sliding windows are used, the minimum dimension required in Sentence (1) shall apply to the open portion of the window.
- (4) When a window is provided in a bedroom, it shall be a mezzanine window with no obstructions more than 1 070 mm above the floor; the window required in Sentence (1) may be provided on the main level of the unit, provided that the window is not located in the area of the *live/work unit* or 20 m<sup>2</sup>; whichever is less, and an unobstructed direct path of travel is provided from the mezzanine to the window.
- (5) Where a window required in Sentence (1) opens into a window well, a clearance of not less than 950 mm shall be provided in front of the window well.
- (6) Where the sash of a window referred to in Sentence (5) swings towards the window well, the operation of the sash shall not reduce the minimum clear opening required in Sentence (5).
- (7) Where a protective enclosure is installed over the window well referred to in Sentence (5), such enclosure shall be operable from inside the unit and shall be capable of being opened by the use of keys, tools or special knowledge of the opening mechanism.

 VISION GLAZING (MAY NOT BE LABELLED  
GL, MAY BE COLOURED LIGHT BLUE)

 HORIZ. VINYL SIDING  
(DIFF. COLOURS WILL BE LABELLED)

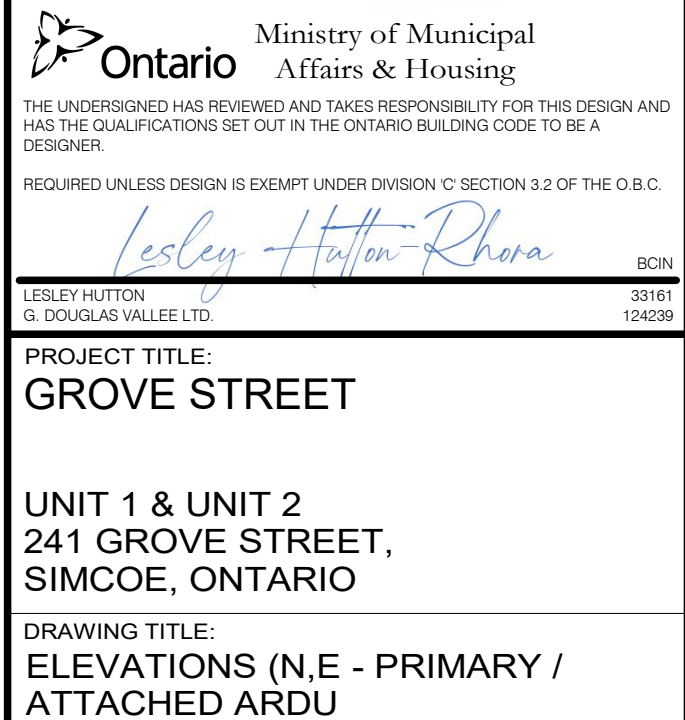
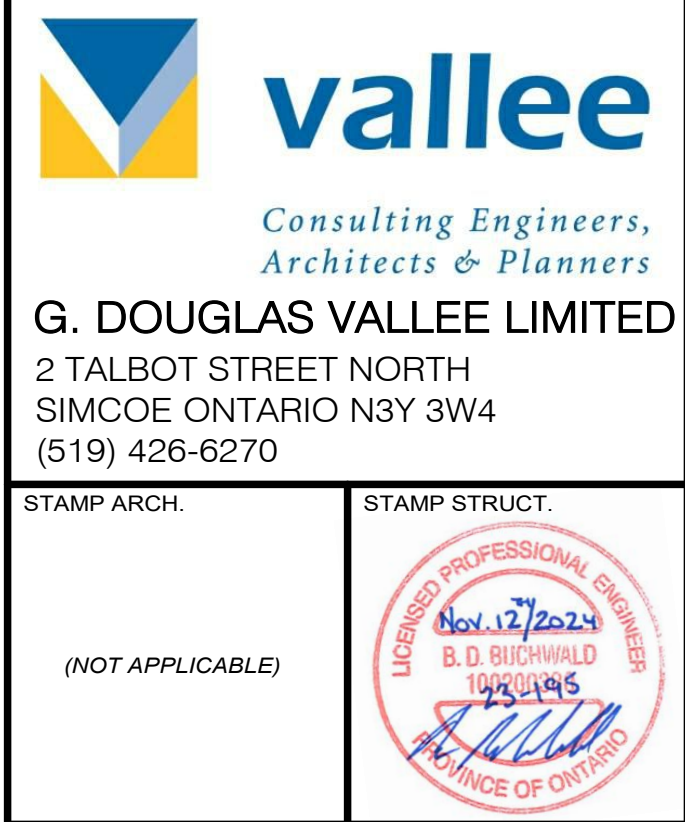
- ALL GLAZING LOWER THAN 1070mm IN HEIGHT TO BE DESIGNED TO WITHSTAND THE LOADING ON GUARDS AS PER OBC SB-13, WHERE THE DIFFERENCE IN ELEV. BETWEEN THE ADJACENT GROUND OR FLR. LEVEL IS MORE THAN 600mm TYP.

| NO. | DATE       | ISSUANCE                   |
|-----|------------|----------------------------|
| 4   | 2024.11.19 | ISSUED FOR BUILDING PERMIT |
| 3   | 2024.11.05 | ISSUED FOR COORDINATION    |
| 2   | 2024.10.25 | ISSUED FOR REVIEW          |
| 1   | 2024.09.17 | ISSUED FOR CLIENT REVIEW   |
| NO. | DATE       | ISSUANCE                   |

DO NOT SCALE DRAWINGS, CALL FOR ANY  
CLARIFICATIONS THAT ARE REQUIRED, FIELD  
VERIFY AT ALL BUILT CONDITIONS

ALL DWG.'S ARE TO BE READ IN COLOUR

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DRAWING NO.:

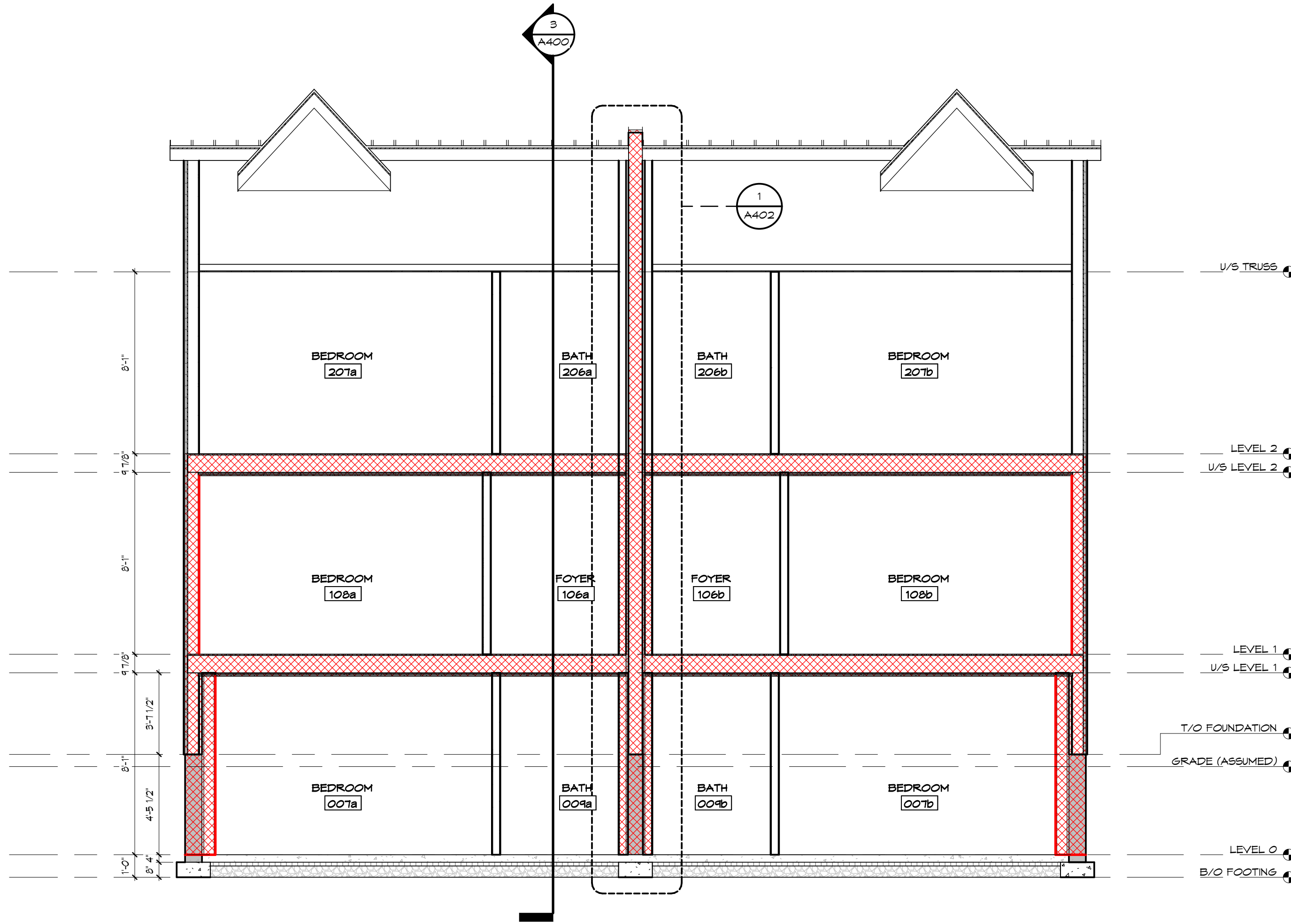
23-195

# A300

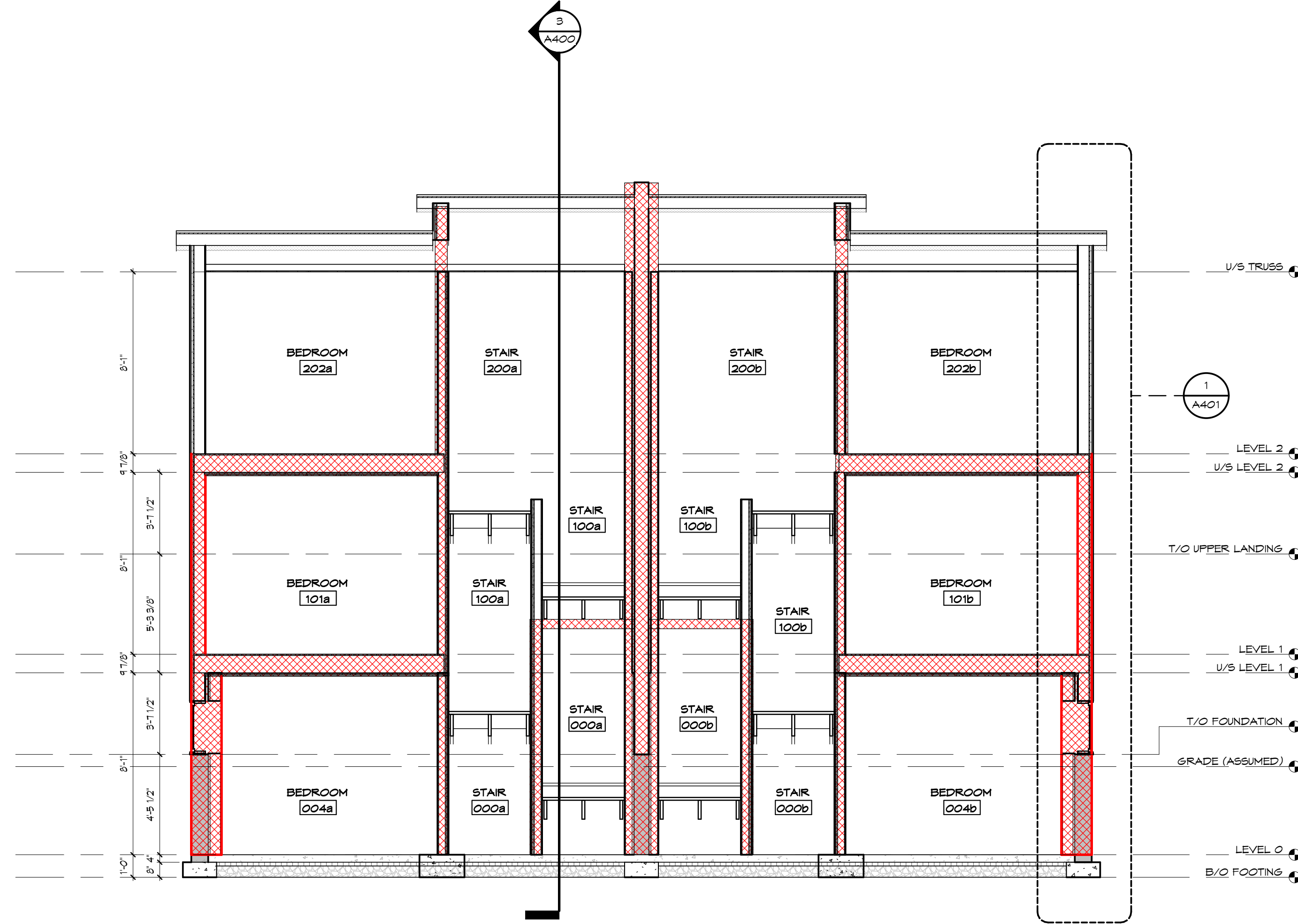


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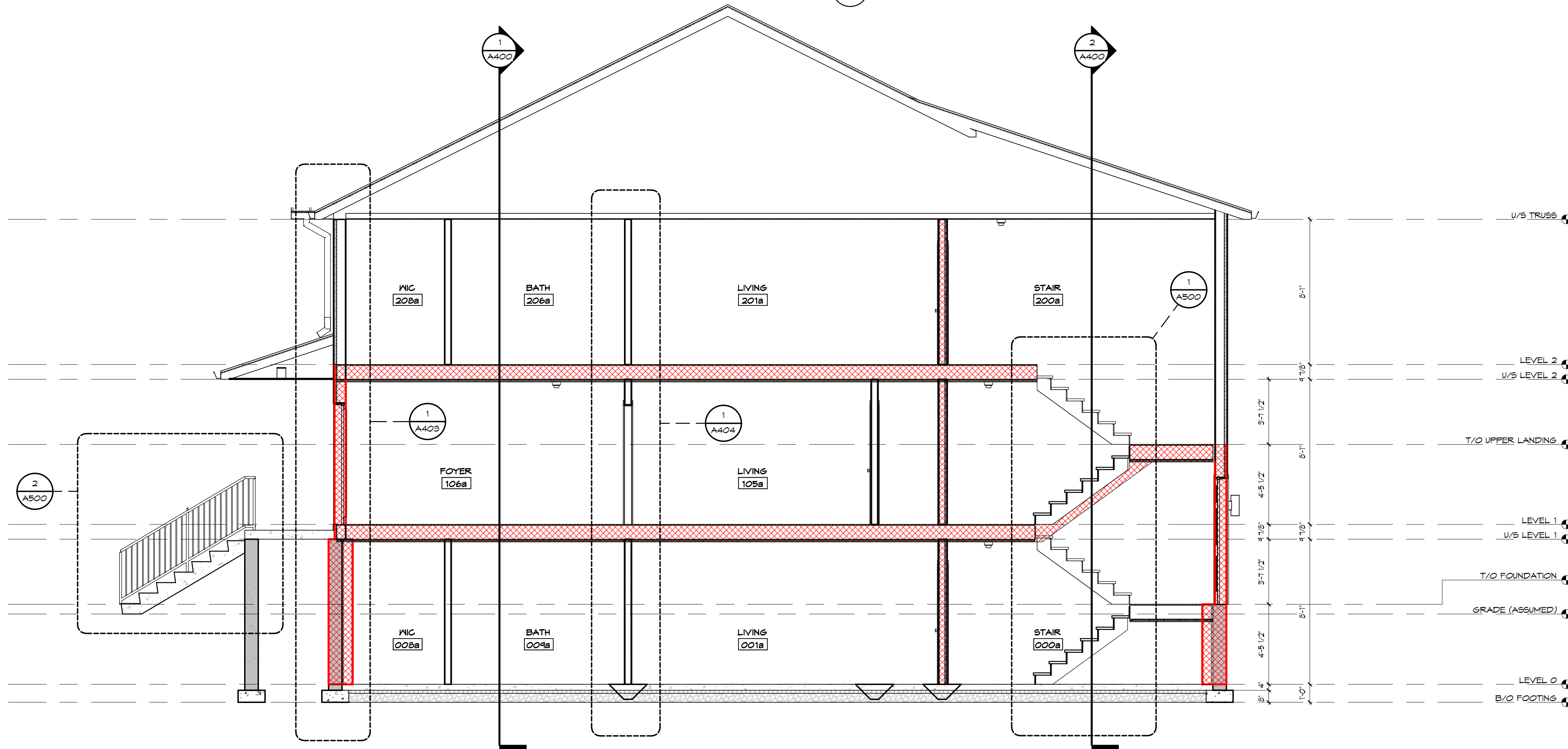
DATE PLOTTED 11/13/2024 11:28:54 AM PROJECT NUMBER & NAME 23-195 GROVE STREET



1 EAST-WEST FRONT BUILDING SECTION  
A400 SCALE 1/4" = 1'-0"



2 EAST-WEST REAR BUILDING SECTION  
A400 SCALE 1/4" = 1'-0"



3 NORTH-SOUTH BUILDING SECTION  
A400 SCALE 1/4" = 1'-0"

| NO. | DATE       | ISSUANCE                   |
|-----|------------|----------------------------|
| 4   | 2024.11.13 | ISSUED FOR BUILDING PERMIT |
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| 2   | 2024.10.25 | ISSUED FOR REVIEW          |
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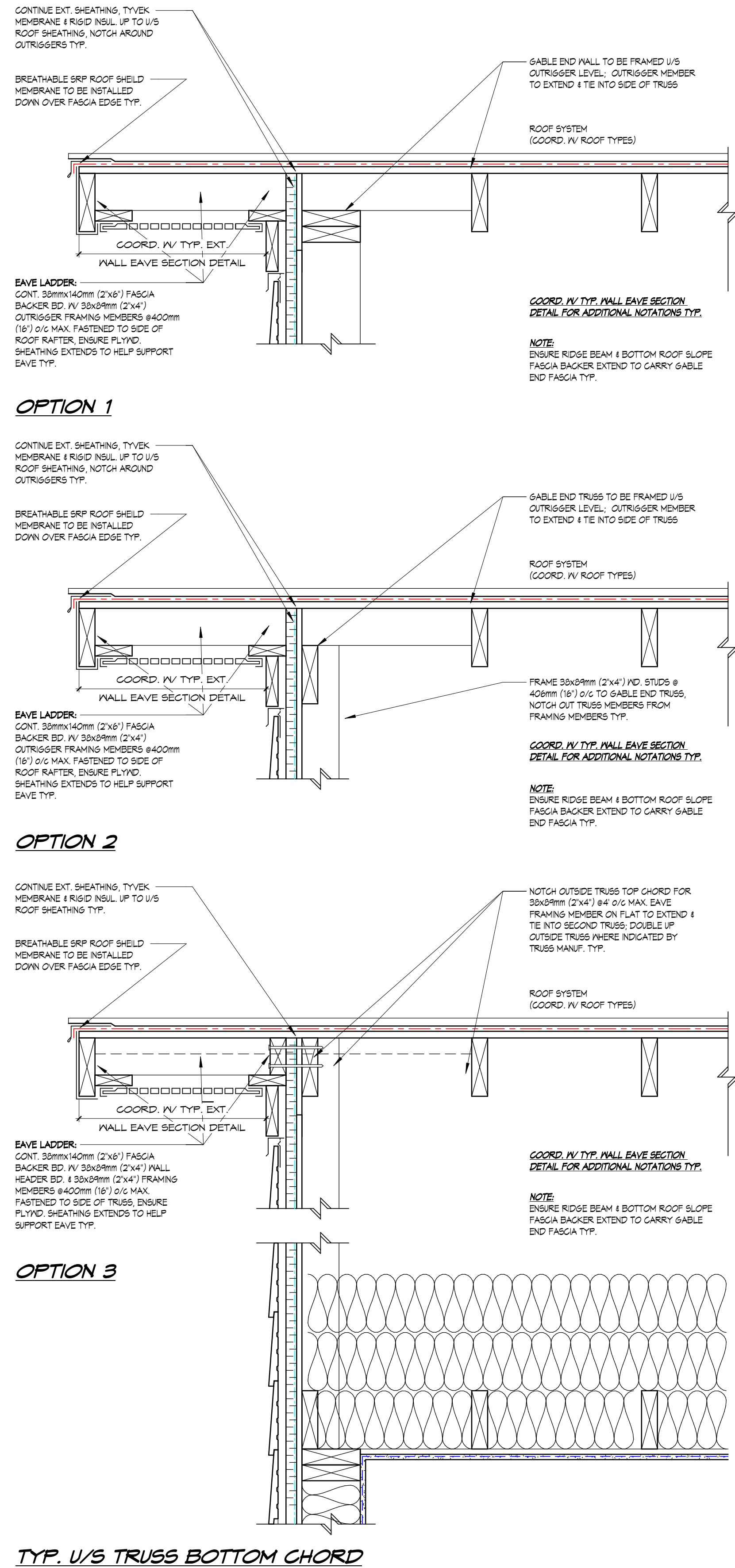
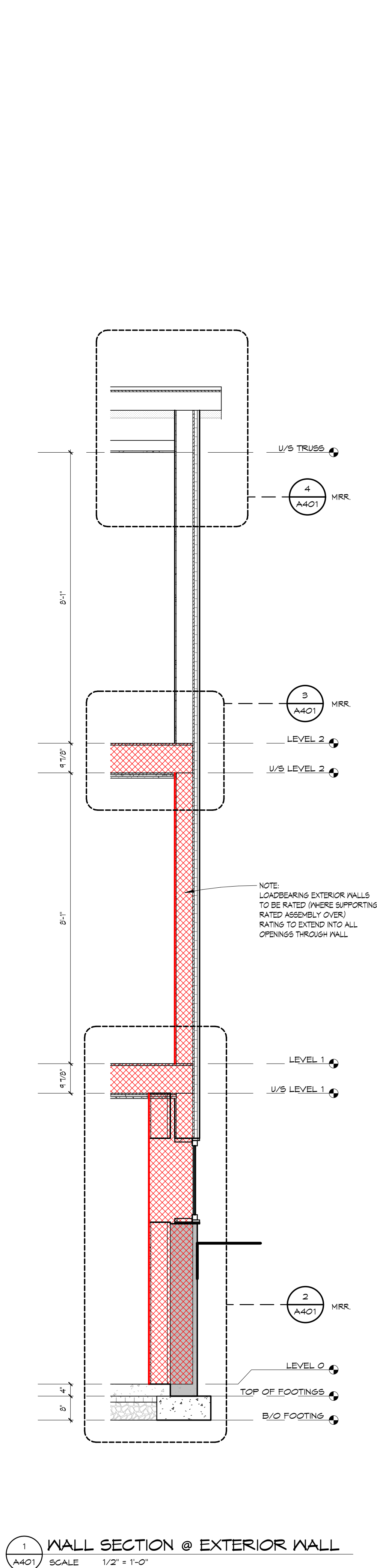
**vallee**  
Consulting Engineers,  
Architects & Planners  
G. DOUGLAS VALLEE LIMITED  
2 TALBOT STREET NORTH  
SIMCOE ONTARIO N3Y 3W4  
(519) 426-6270

STAMP ARCH. (NOT APPLICABLE)  
STAMP STRUCT. (PROFESSIONAL SEAL)  
B.D. BUCHWALD  
10/2/1995  
PROFESSIONAL ENGINEER  
PROVINCE OF ONTARIO

Ontario Ministry of Municipal Affairs & Housing  
THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.  
REQUIRED UNLESS DESIGN IS EXEMPT UNDER DIVISION 'C' SECTION 3.2 OF THE O.B.C.  
Lesley Hutton-Rhona  
LESLEY HUTTON  
G. DOUGLAS VALLEE LTD.  
33161  
124239

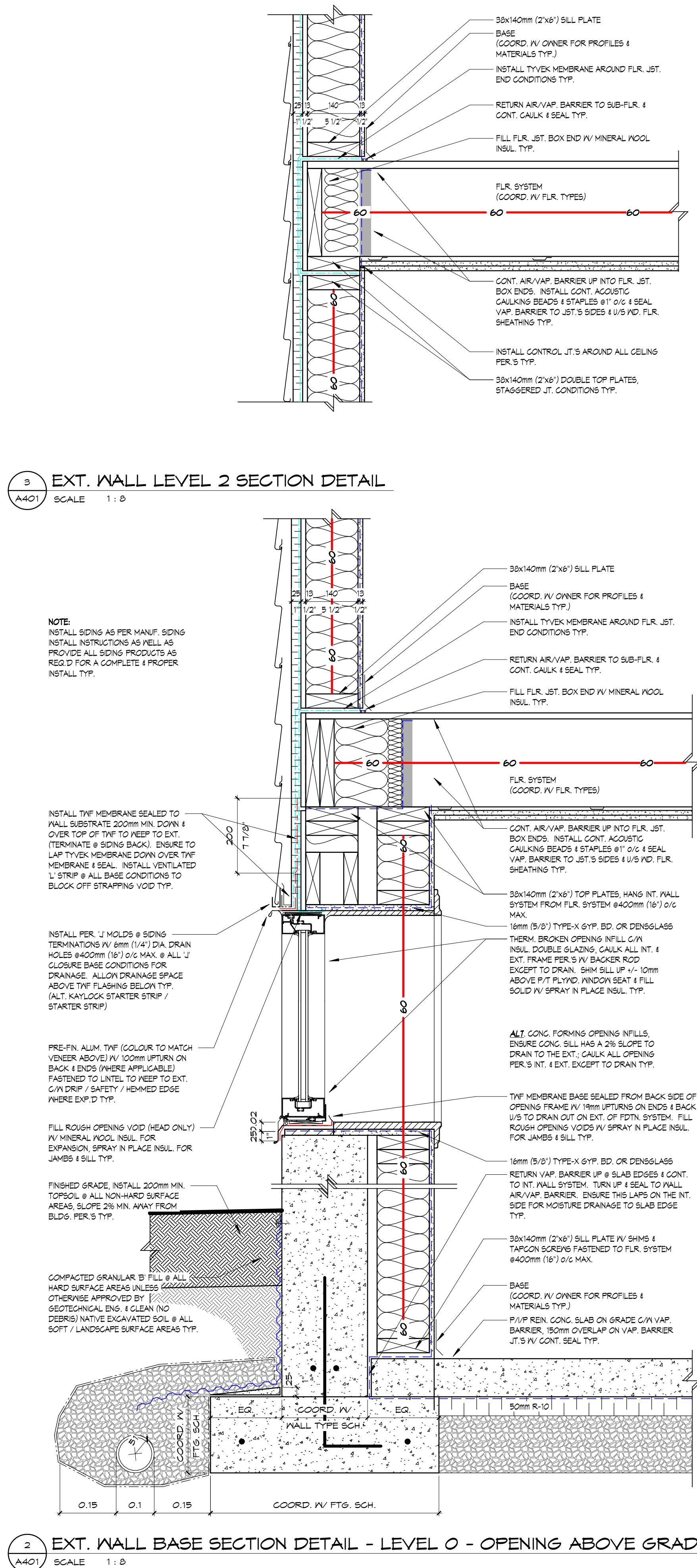
PROJECT TITLE:  
GROVE STREET  
UNIT 1 & UNIT 2  
241 GROVE STREET,  
SIMCOE, ONTARIO  
DRAWING TITLE:  
BUILDING SECTIONS (PRIMARY / ATTACHED ARDU)

CHECKED BY: LHR  
DRAWN BY: BH  
DRAWING SCALE: 1/4" = 1'-0"  
PROJECT NO.: 23-195  
A400



TYP. U/S TRUSS BOTTOM CHORD


4 EXT. WALL GABLE END SECTION DETAIL - EAVE FRAMING - TRUSS SCALE 1/2" = 1'-0"



2 EXT. WALL BASE SECTION DETAIL - LEVEL 0 - OPENING ABOVE GRADE SCALE 1:1

| NO. | DATE       | ISSUANCE                   |
|-----|------------|----------------------------|
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Architects & Planners

**G. DOUGLAS VALLEE LIMITED**  
2 TALBOT STREET NORTH  
SIMCOE ONTARIO N3Y 3W4  
(519) 426-6270

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(NOT APPLICABLE)

STAMP STRUCT.

PROFESSIONAL ENGINEER  
B.D. BUCHWALD  
10/12/1995  
12/12/2024  
PROVINCE OF ONTARIO

Ontario Ministry of Municipal Affairs & Housing

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

REQUIRED UNLESS DESIGN IS EXEMPT UNDER DIVISION 'C' SECTION 3.2 OF THE O.B.C.

*Lesley Hutton-Rhona*

LESLEY HUTTON  
G. DOUGLAS VALLEE LTD.

33161  
124239

PROJECT TITLE:  
GROVE STREET

UNIT 1 & UNIT 2  
241 GROVE STREET,  
SIMCOE, ONTARIO

DRAWING TITLE:  
WALL SECTION & DETAILS  
(EXTERIOR WALL)

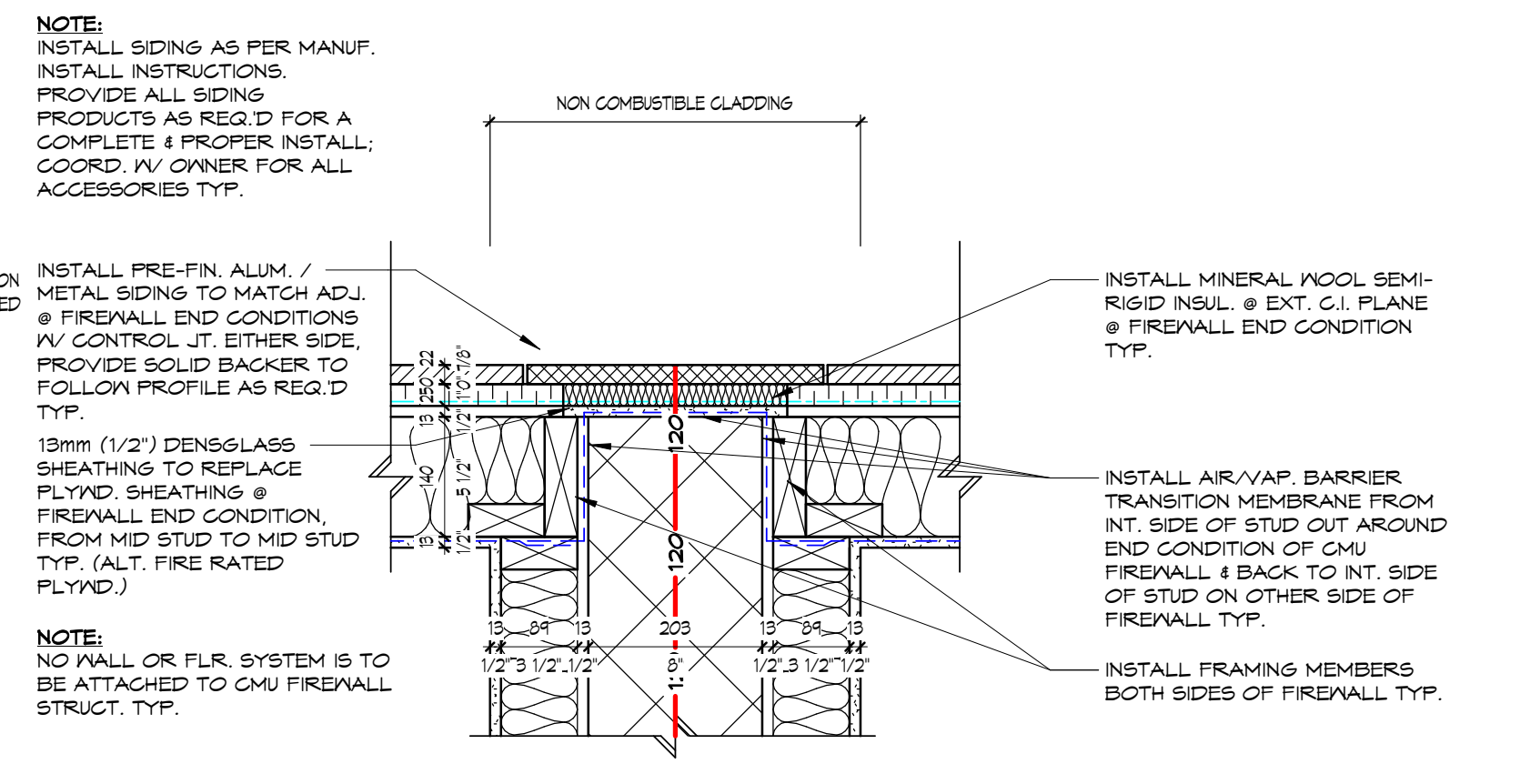
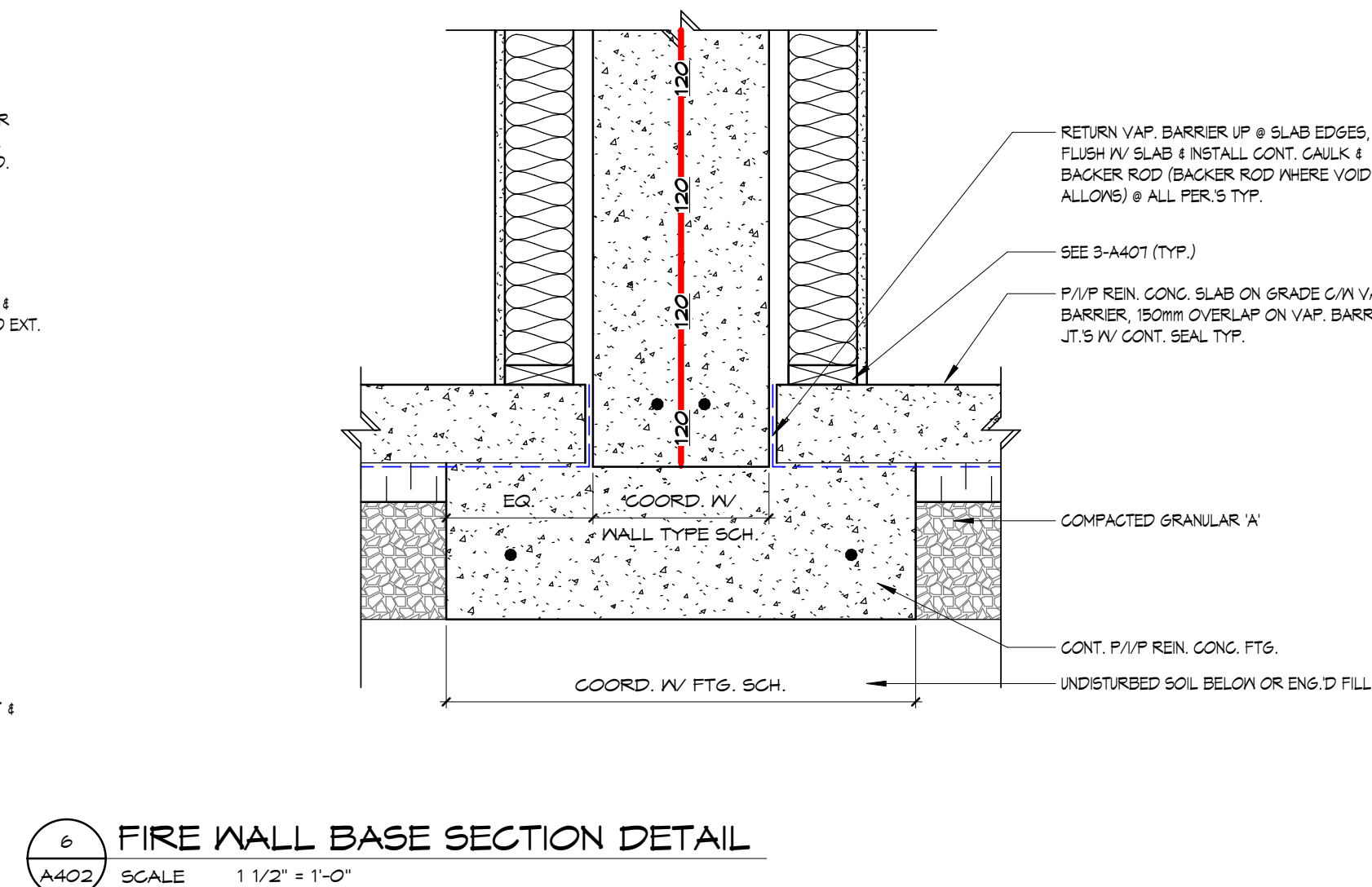
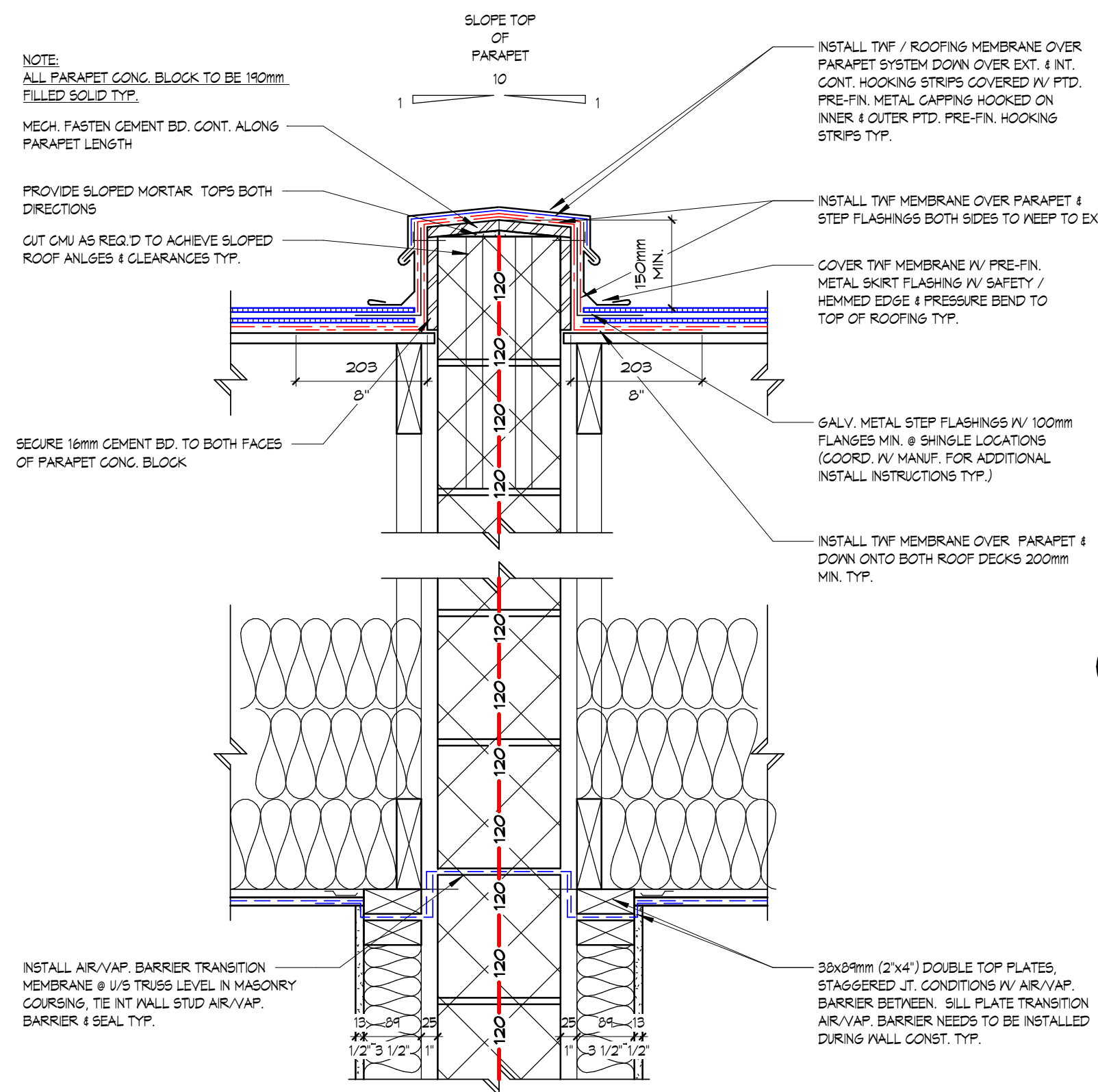
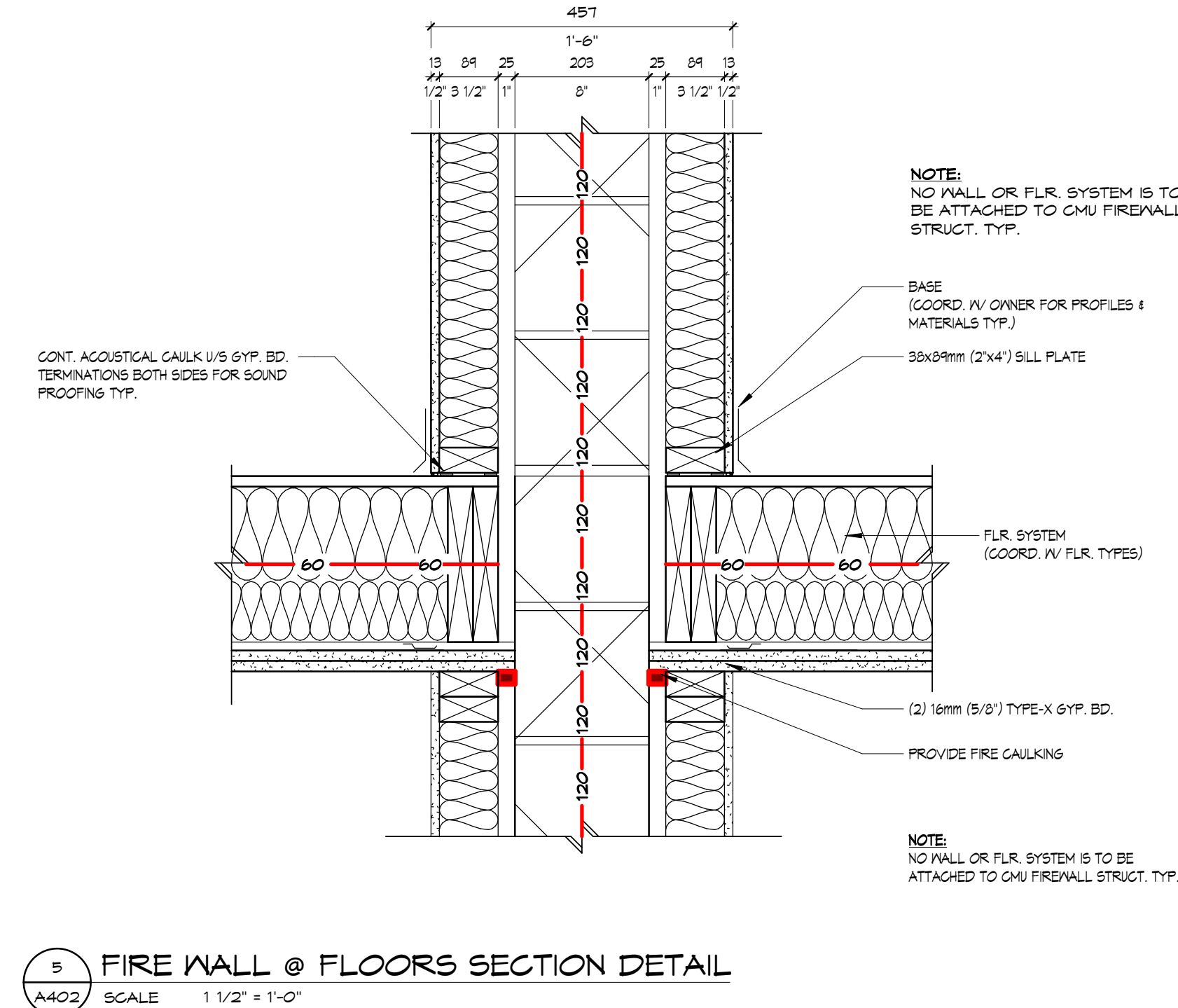
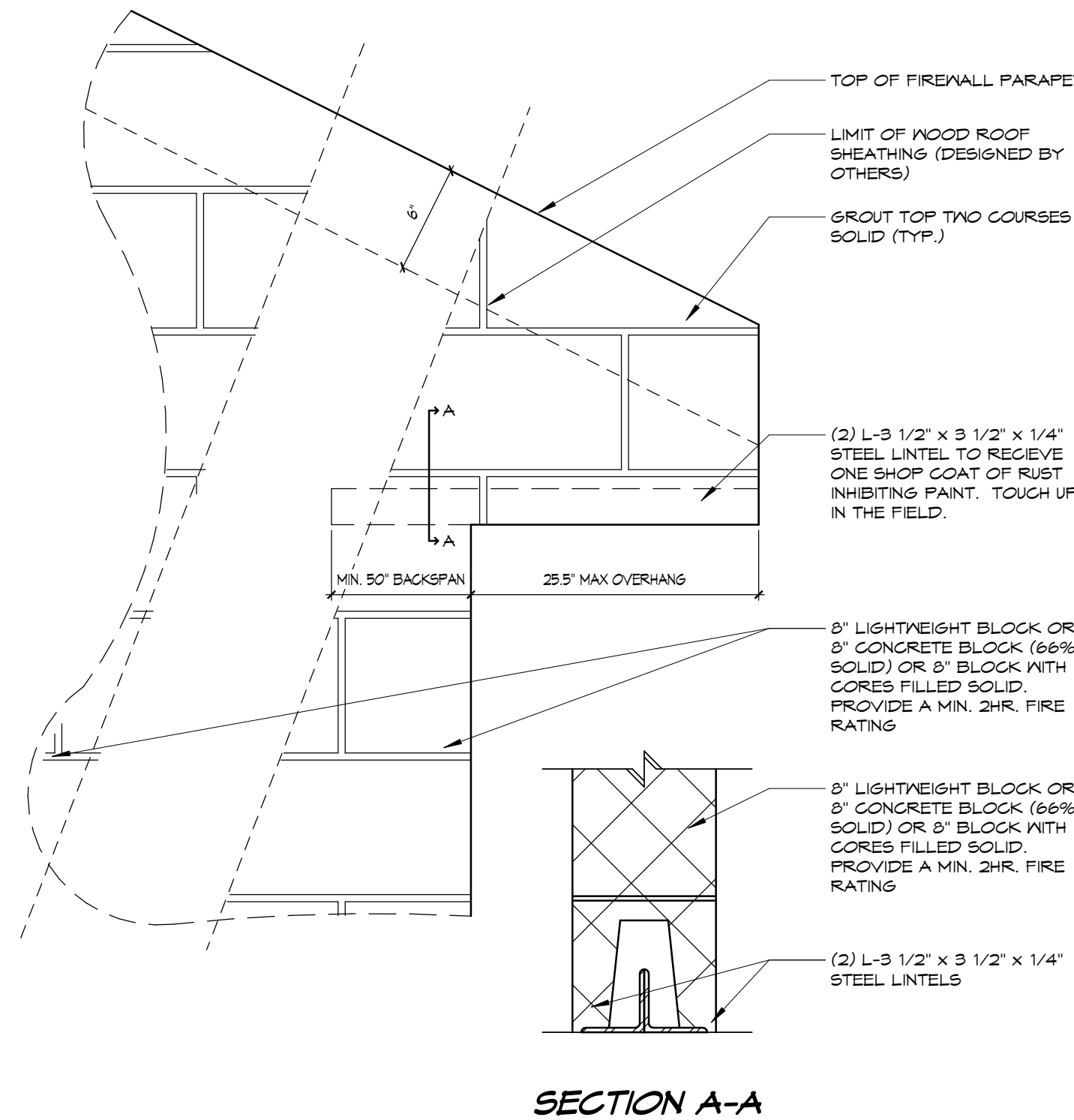
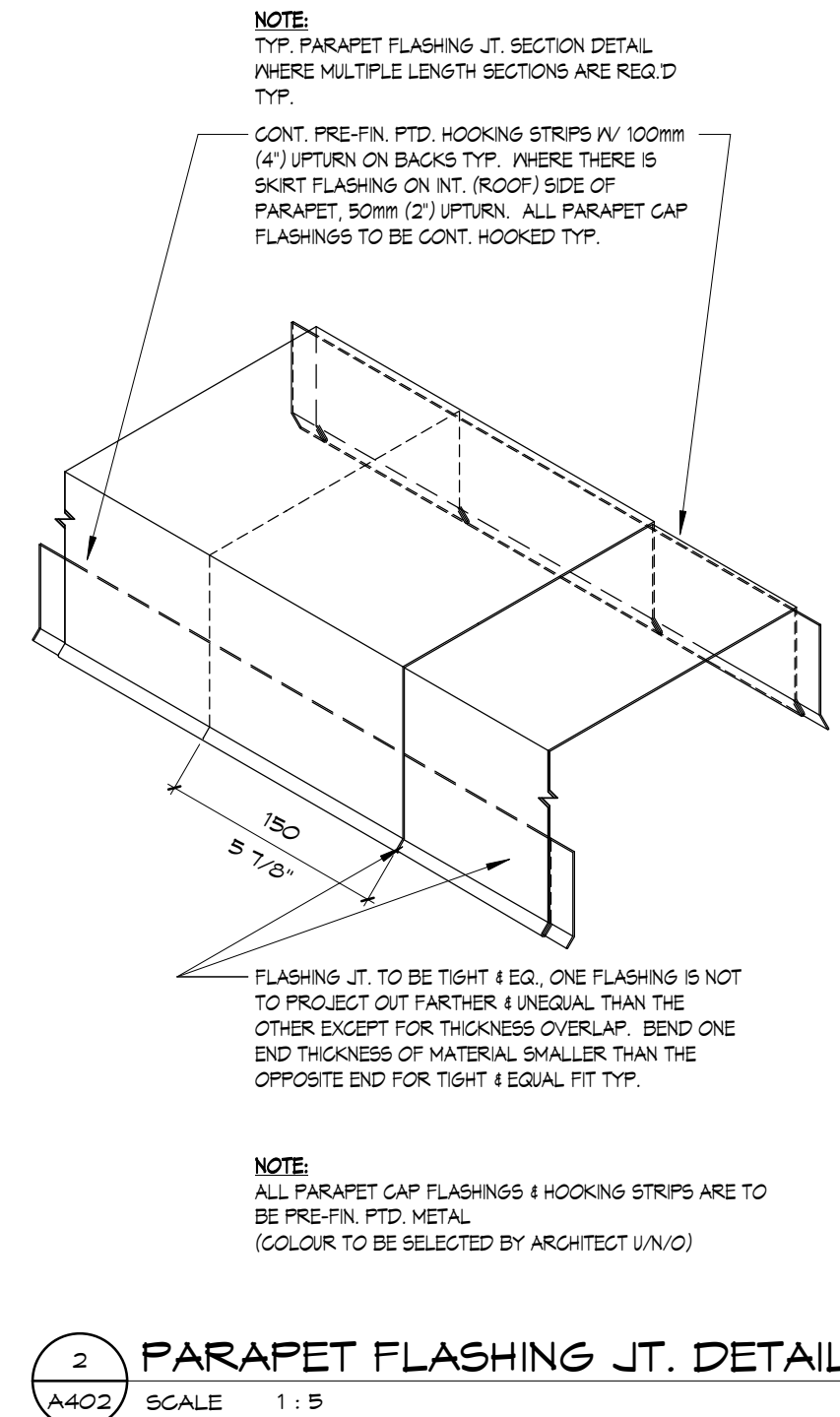
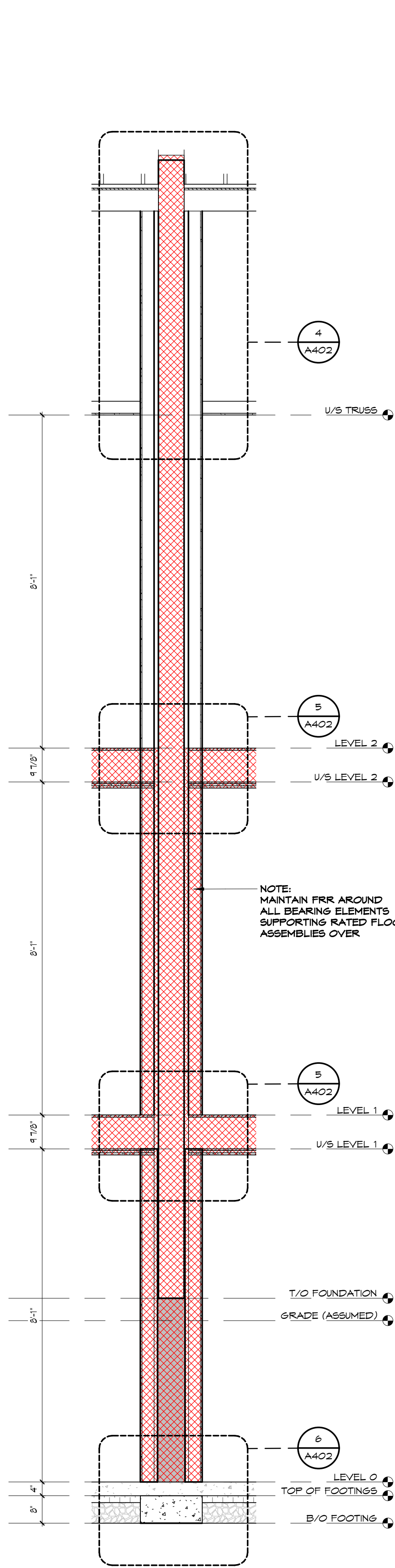
CHECKED BY:  
LHR

DRAWING SCALE:  
As indicated

PROJECT NO.:  
23-195

DRAWN BY:  
BM

DRAWING NO.:  
A401



| CMU FIREWALL REINFORCEMENT   |  |
|--|--|
| HORIZONTAL   | VERTICAL   |
| STAND. WEIGHT LADDER REINF. @ 400 O.C.<br>SIRE SIZE 3.6DIA x 3.6DIA + STAND. BOND BEAM @ 2400 MAX. TOP OF WALL | 1-20M @ END OF EACH WALL<br>BALANCE: 30M @ 1200 O.C. (PARTIALLY GROUTED) |

| NO. | DATE       | ISSUANCE                   |
|-----|------------|----------------------------|
| 4   | 2024.11.15 | ISSUED FOR BUILDING PERMIT |
| 3   | 2024.11.05 | ISSUED FOR COORDINATION    |
| 2   | 2024.10.25 | ISSUED FOR REVIEW          |
| NO. | DATE       | ISSUANCE                   |

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2 TALBOT STREET NORTH  
SIMCOE ONTARIO N3Y 3W4  
(519) 426-6270

STAMP ARCH. STAMP STRUCT.

(NOT APPLICABLE)

LICENSED PROFESSIONAL ENGINEER  
B.D. BUCHWALD  
10/2/1995  
PROVINCE OF ONTARIO

Ontario Ministry of Municipal Affairs & Housing

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

REQUIRED UNLESS DESIGN IS EXEMPT UNDER DIVISION 'C' SECTION 3.2 OF THE O.B.C.

*Lesley Hutton-Rhona*

LESLIE HUTTON  
G. DOUGLAS VALLEE LTD.

33161  
124239

PROJECT TITLE:  
**GROVE STREET**

UNIT 1 & UNIT 2  
241 GROVE STREET,  
SIMCOE, ONTARIO


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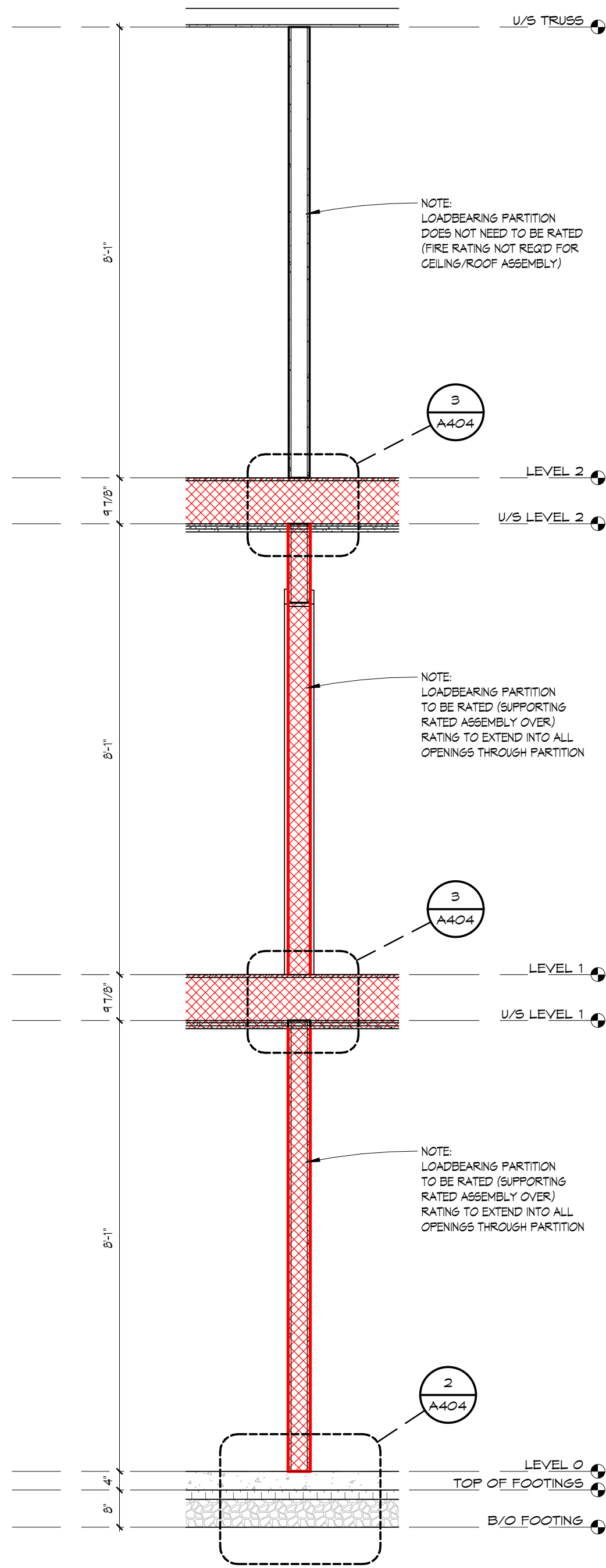
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| PROJECT NO.:                   | <b>A402</b>     |
| 23-195                         |                 |



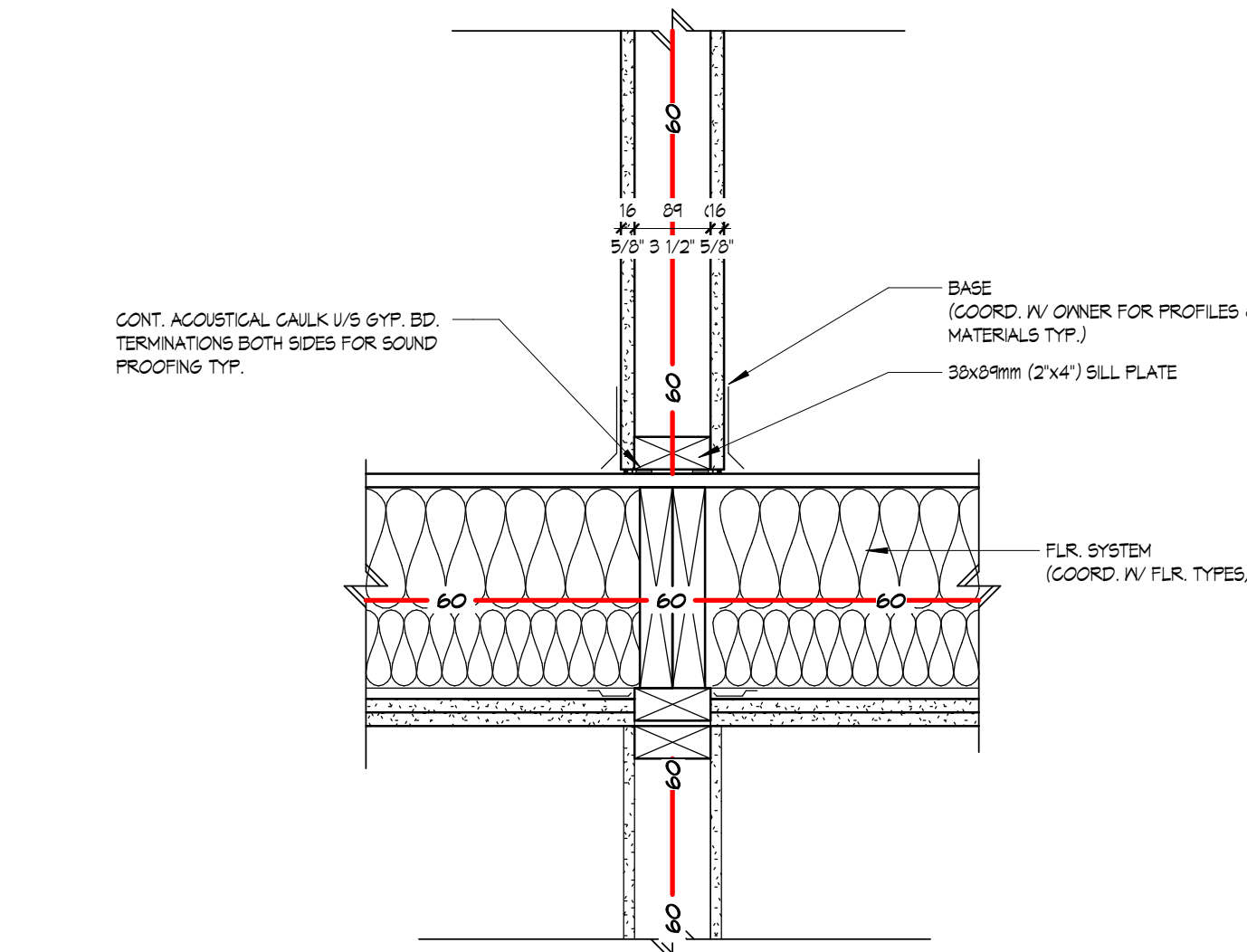
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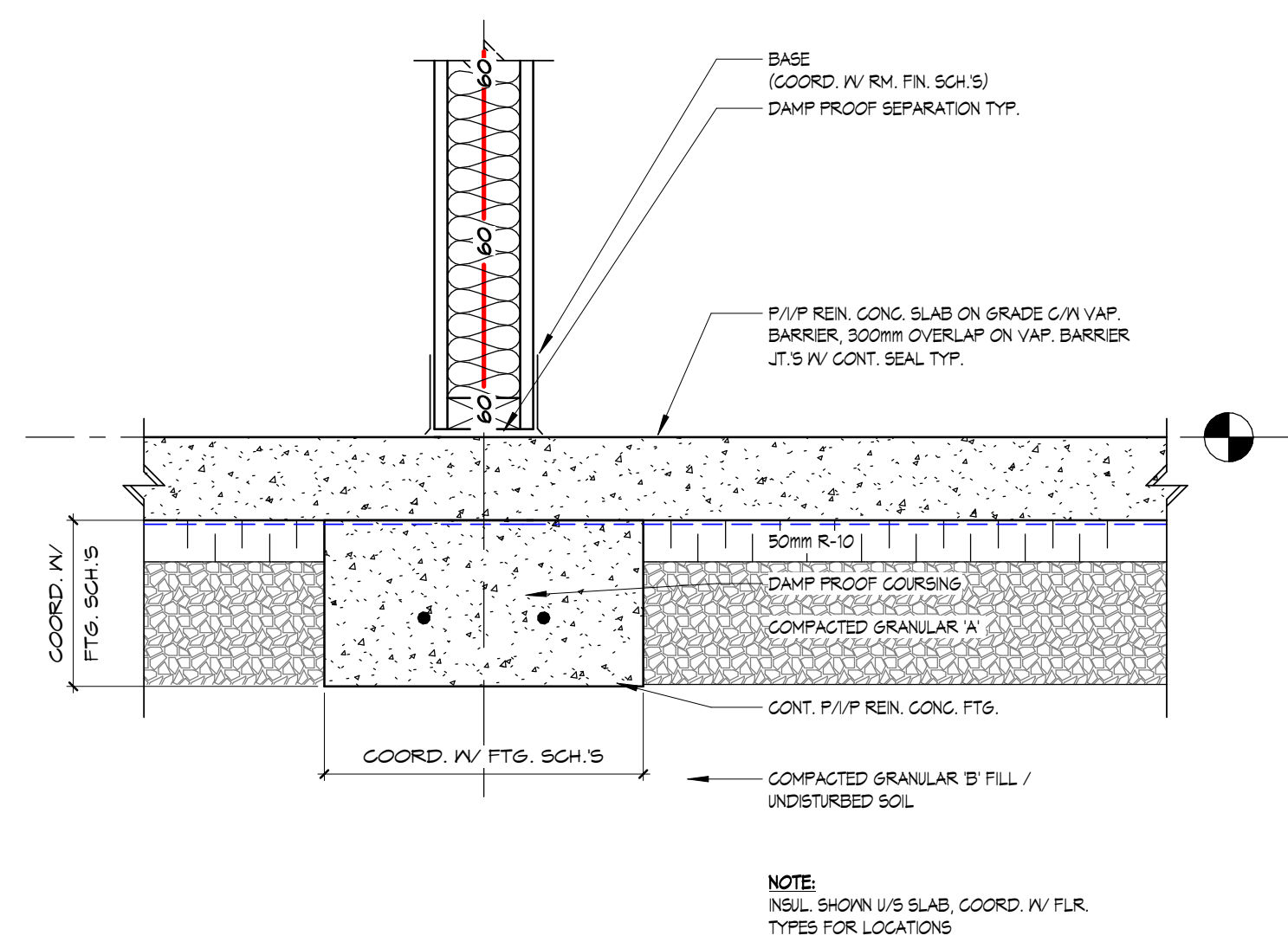
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|  <b>Ontario</b>  |  | <b>Ministry of Municipal<br/>Affairs &amp; Housing</b>                                |  |
| THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND<br>HAS THE QUALIFICATIONS SET OUT IN THE ONTARIO BUILDING CODE TO BE A<br>DESIGNER. |  |   |  |
| REQUIRED UNLESS DESIGN IS EXEMPT UNDER DIVISION 'C' SECTION 3.2 OF THE O.B.C.   |  |   |  |
| <i>Lesley Hutton-Rhora</i>  |  | BCIN  |  |
| LESLEY HUTTON<br>C. DOUGLAS VALLEE LTD.   |  | 33161<br>104209   |  |
| <b>PROJECT TITLE:</b><br><b>GROVE STREET</b>  |  |   |  |
| <b>UNIT 1 &amp; UNIT 2</b><br><b>241 GROVE STREET,</b><br><b>SIMCOE, ONTARIO</b>  |  |   |  |
| <b>DRAWING TITLE:</b><br><b>WALL SECTION &amp; DETAILS</b><br><b>(PORCH/FRONT ENTRY PRIMARY</b><br><b>/ ATTACHED ARDU)</b>                                    |  |   |  |
| <b>CHECKED BY:</b><br><br>LHR   |  | <b>DRAWN BY:</b><br><br>BM  |  |
| <b>DRAWING SCALE:</b><br><br>As indicated   |  | <b>DRAWING NO.:</b><br><br><div style="font-size: 2em; font-weight: bold;">A403</div> |  |
| <b>PROJECT NO.:</b><br><div style="font-size: 1.5em; font-weight: bold;">23-195</div>   |  |   |  |



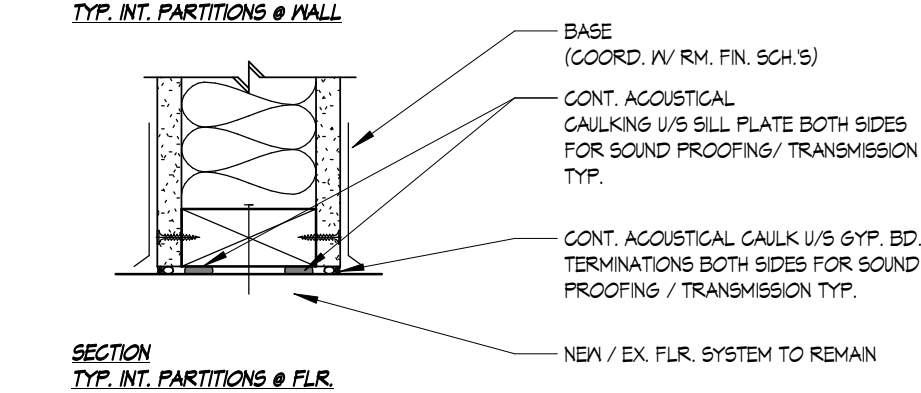
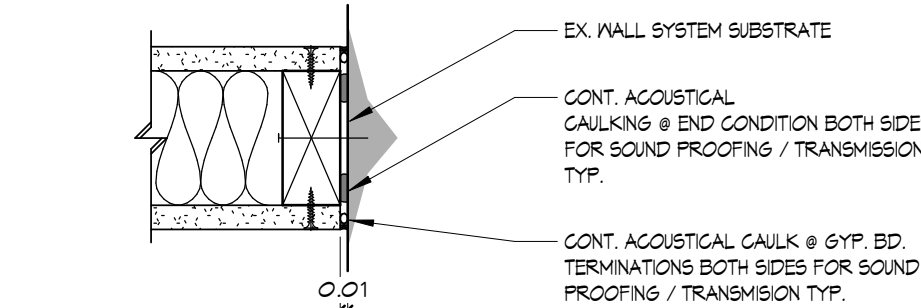
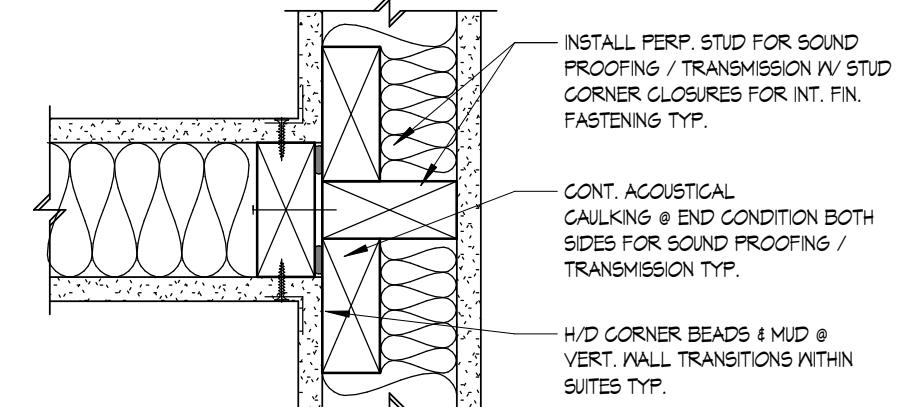
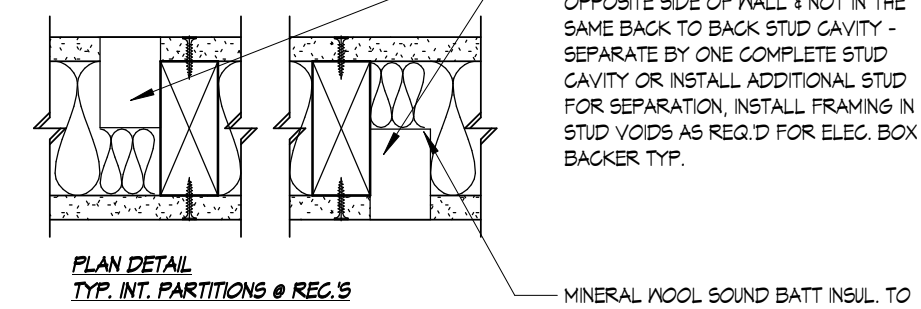
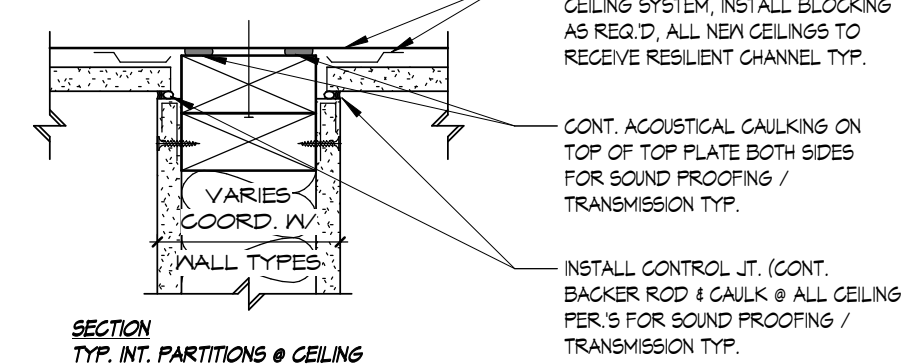
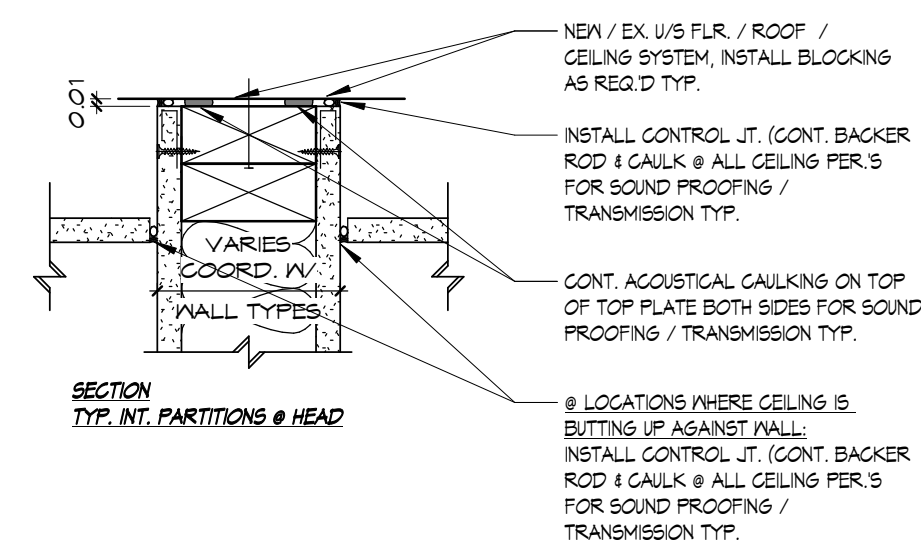
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A404 SCALE 1/2" = 1'-0"



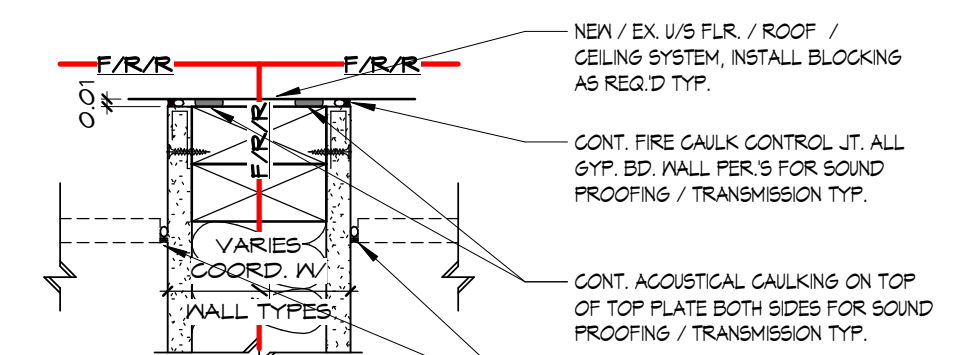
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A404 SCALE 1/2" = 1'-0"



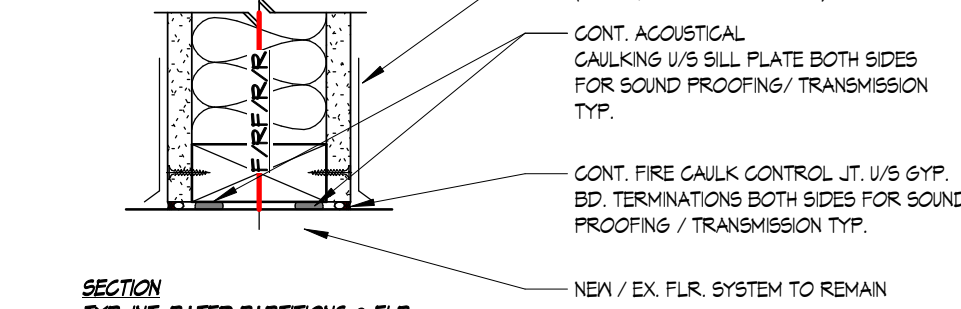
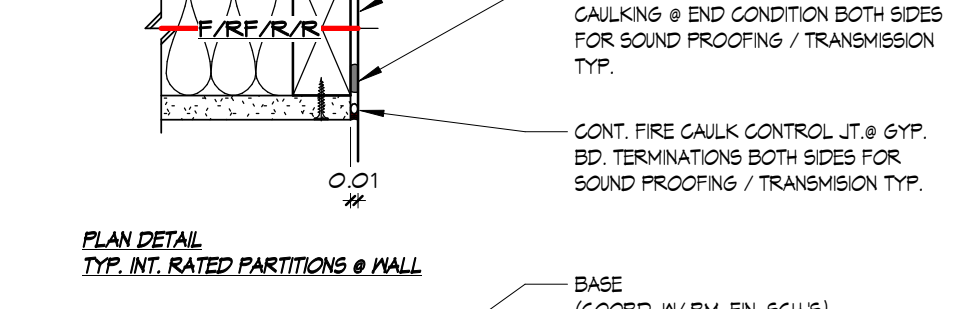
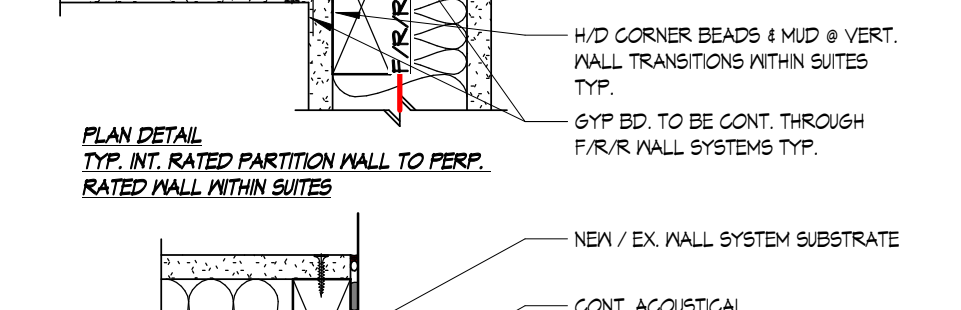
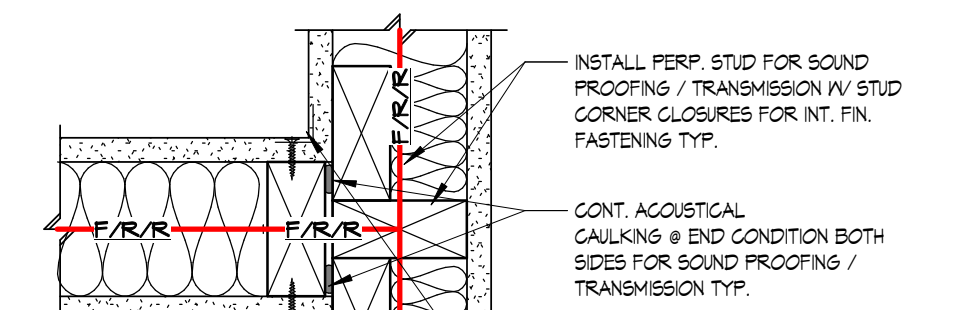
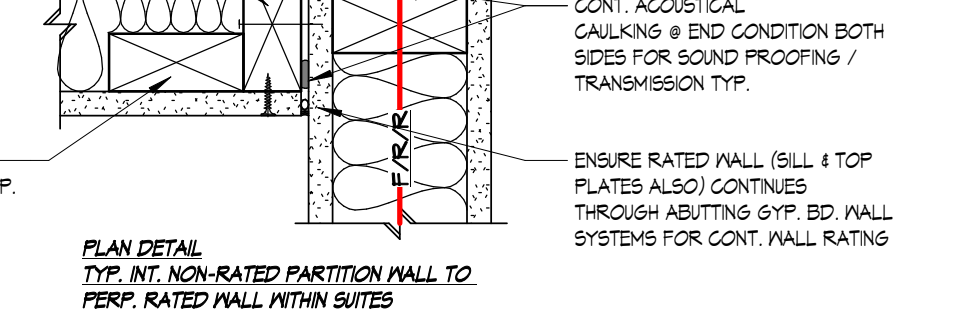
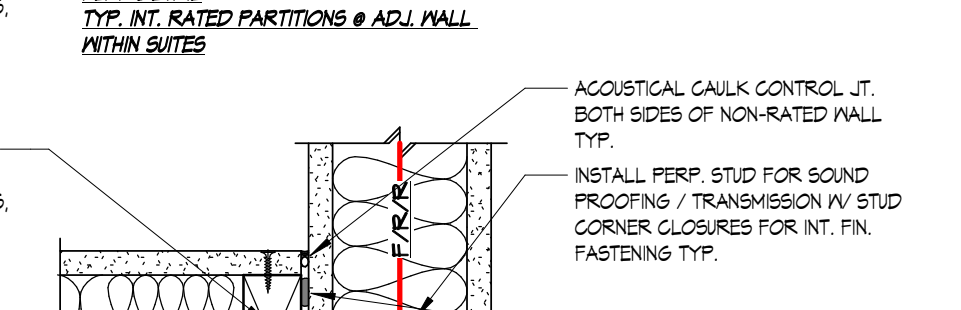
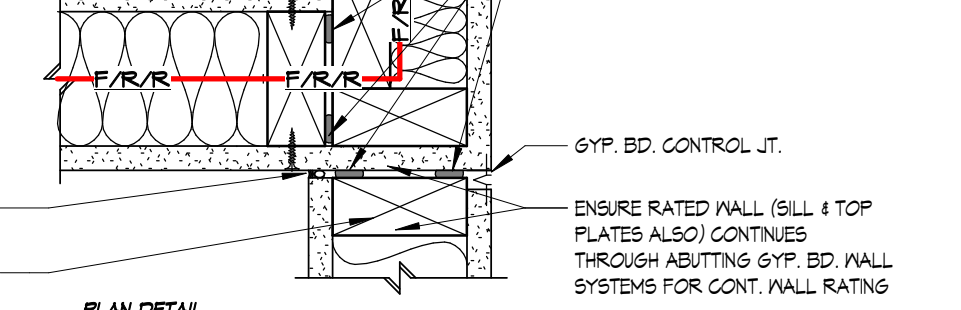
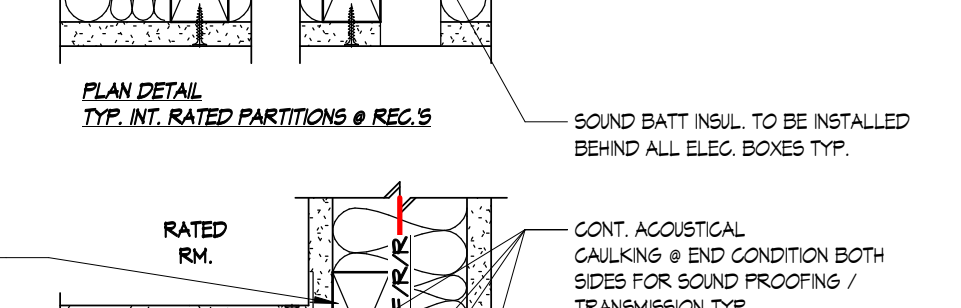
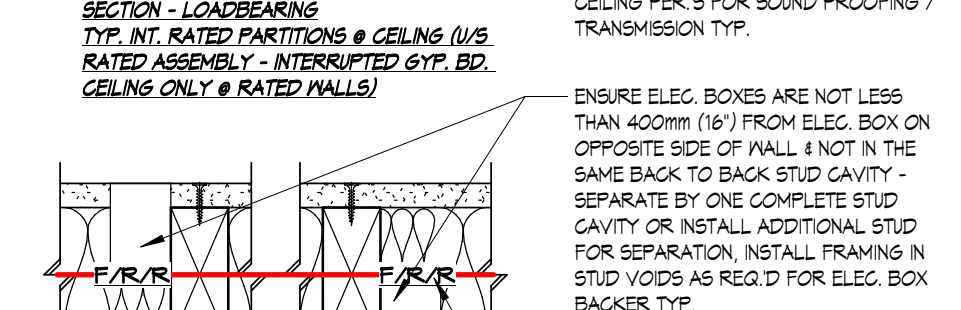
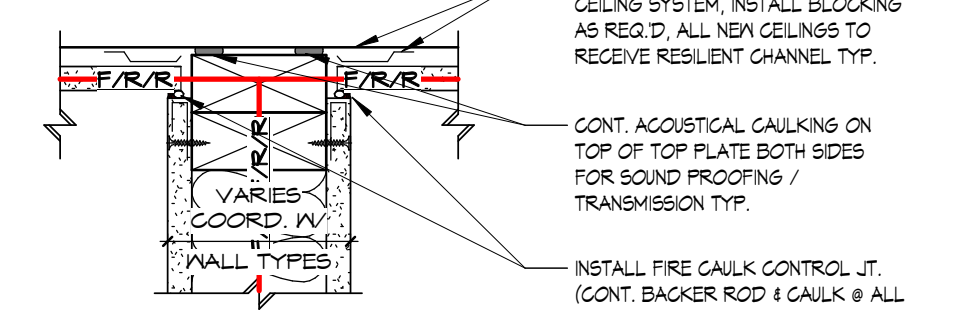
2 INT. WALL THICKENED SLAB SECTION DETAIL - WD.  
A404 SCALE 1/2" = 1'-0"



4 WALL DETAILS - WD. STUD - INT. SUITE PARTITION WALLS  
A404 SCALE 1 : 5



NOTE: THIS DETAIL ALSO DEPICTS A NON-RATED WALL. FIRE CAULK TO BE SUBSTITUTED FOR ACOUSTICAL CAULK TYP.  
SECTION - NON-LOADBEARING TYP. INT. RATED PARTITIONS @ HEAD (U/S RATED ASSEMBLY - INT. INTERRUPTED GYP. BD. CEILING)



NOTE: VERIFY WALL TYPE IV WALL TYPE SCH'S & PLANS  
NOTE: COORD. IV TYP. INT. PARTITIONS @ WALL FOR ADDITIONAL NOTATIONS TYP.  
NOTE: ALL RATED CAULKING TO BE RED IN COLOUR

5 WALL DETAILS - WD. STUD - INT. SUITE PARTITION WALLS - F/R/R  
A404 SCALE 1 : 5

| NO. | DATE       | ISSUANCE                   |
|-----|------------|----------------------------|
| 4   | 2024.11.13 | ISSUED FOR BUILDING PERMIT |
| 3   | 2024.11.05 | ISSUED FOR COORDINATION    |
| 2   | 2024.10.25 | ISSUED FOR REVIEW          |
| 1   | 2024.09.17 | ISSUED FOR CLIENT REVIEW   |
| NO. | DATE       | ISSUANCE                   |

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G. DOUGLAS VALLEE LIMITED  
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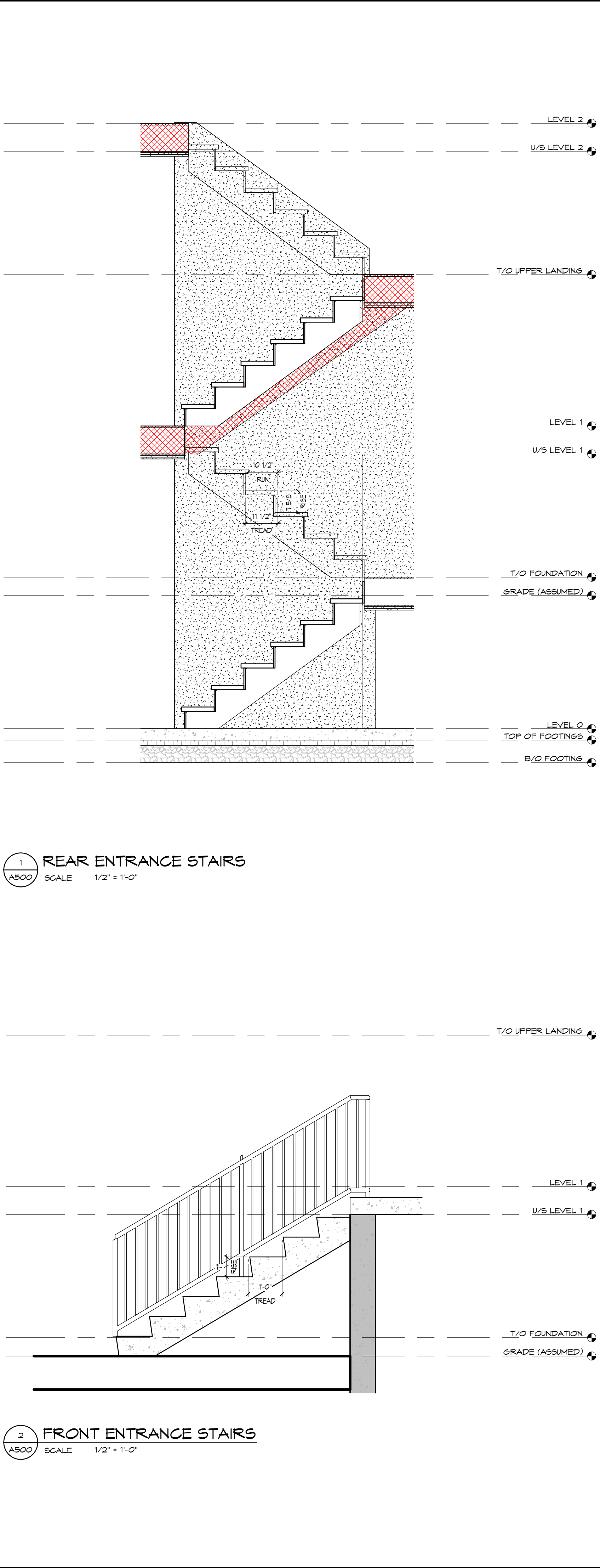
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LISCENSED PROFESSIONAL ENGINEER  
B.O. BUCHWALD  
10/12/1995  
PROVINCE OF ONTARIO

Ontario Ministry of Municipal  
Affairs & Housing  
THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND  
HAS THE QUALIFICATIONS SET OUT IN THE ONTARIO BUILDING CODE TO BE A  
DESIGNER.  
Lesley Hutton-Rhona  
LESLEY HUTTON  
G. DOUGLAS VALLEE LTD.  
33161  
124239

PROJECT TITLE:  
GROVE STREET  
UNIT 1 & UNIT 2  
241 GROVE STREET,  
SIMCOE, ONTARIO  
DRAWING TITLE:  
WALL SECTION & DETAILS (FIRE  
SEPARATION @ REAR & TYP.  
WD. STUD)

CHECKED BY:  
LHR  
DRAWING SCALE:  
As indicated  
PROJECT NO.:  
23-195  
DRAWN BY:  
BM  
DRAWING NO.:  
A404

FILE PATH: \\vallee-nash\DATA\Projects\2023\23-195-241 Grove St Plunkett Simcoe\Drawings\Arch\23-195 Grove St\_Sect\_1 & 2.dwg  
DATE PLOTTED: 11/13/2024 11:28:59 AM PROJECT NUMBER & NAME: 23-195 GROVE STREET



## STAIR, GUARD & HANDRAIL LEGEND

**NOTE:** VERIFY ALL HEIGHTS W/ F.L.R. LEVEL DATUMS & GRADES TO VERIFY RISE & RUN; THE STAIR SHOWN INDICATES STD. RISE & RUN DIM.'S - F.V. TO BE AS CLOSE AS POSSIBLE TYP.

**NOTE:** DUE TO THE ARCHITECT NOT DETAILING THE STAIRS / LANDINGS / HANDRAILS / GUARDS - THESE NOTES ACT AS GUIDANCE FOR THE CONST. & INSTALL. FOR THE CONTRACTOR

**(Updated January 1, 2022)**

**Section 4.8. Stairs, Ramps, Handrails and Guards**

**4.8.1.1. General**

(1) This section applies to the design and construction of interior and exterior stairs, steps, ramps, landings, handrails and guards.

**4.8.1.2. Stairs, Ramps, Landings and Guards in Garages**

(1) Except as provided in Sentence 4.8.6.2, (3), stairs, ramps, landings, handrails and guards in a garage that serves a house or an individual dwelling unit shall conform to the requirements for stairs, ramps, landings, handrails and guards within a dwelling unit.

**4.8.1.3. Exit Stairs, Ramps and Landings**

(1) Where a stair, ramp or landing forms part of an exit, the appropriate requirements in Sections 4.1. and 4.10. shall also apply.

**4.8.2. Stair Dimensions**

**4.8.2.1. Stair Width**

(1) Except as provided in Sentence (2) and Article 4.8.4.5A, required exit stairs and public stairs serving buildings of residential occupancy shall have a width, measured between wall faces or guards, of not less than 900 mm.

(2) Required exit stairs serving a house or an individual dwelling unit shall have a width of not less than 860 mm.

(3) Except as provided in Article 4.8.4.5A, required exit stairs and public stairs serving buildings of other than residential occupancy shall have a width of not less than the greater of,

(a) 400 mm, or

(b) 5 mm per person based on the occupant load limits specified in Table 3.1.11.

(4) Except as provided in Article 4.8.4.5A, at least one stair between each floor level within a dwelling unit and exterior stairs serving a house or an individual dwelling unit shall have a width of not less than 860 mm.

**4.8.2.2. Height over Stairs**

(1) The clear height over stairs shall be measured vertically, over the clear width of the stair, from a straight line tangent to the tread and landing nosings to the lowest point above.

(2) Except as provided in Sentence (3) and Article 4.8.4.5A, the clear height over stairs shall not be less than 2 050 mm.

(3) Except as provided in Article 4.8.4.5A, the clear height over stairs serving a house or an individual dwelling unit shall not be less than 1 950 mm.

**4.8.3. Stair Configurations**

**4.8.3.1. Straight and Curved Runs in Stairs**

(1) Except as permitted in Sentence (2), stairs shall consist of,

(a) straight flights,

(b) curved flights, or

(c) spiral stairs.

(2) Stairs within houses and individual dwelling units may consist of,

(a) flights with rectangular treads and winders provided winders as described in Article 4.8.4.5, are installed between floor levels, or

(b) flights with a mix of rectangular and tapered treads provided all tapered treads within a flight turn in the same direction.

(3) Curved flights in exits shall comply with Sentence 3.4.6.4.(2).

(4) Spiral stairs shall comply with Article 4.8.4.5A.

**4.8.3.2. Minimum Number of Risers**

(1) Except for stairs within a dwelling unit, at least three risers shall be provided in interior flights.

**4.8.3.3. Maximum Height of Stairs**

(1) The vertical height of a flight shall not exceed 3.7 m.

**4.8.4. Step Dimensions**

**4.8.4.1. Dimensions for Risers**

(1) Except as provided in Article 4.8.4.5A, the rise, which is measured as the vertical nosing-to-nosing distance, shall conform to Table 4.8.4.1.

**Table 4.8.4.1.**

**Rise for Rectangular Treads, Tapered Treads and Winders and Run for Rectangular Treads**

Forming Part of Sentences 4.8.4.1.(1) and 4.8.4.2.(1)

| Stair Type  | Max. Rise, mm, For All Steps | Min. Rise, mm, For All Steps | Max. Run, mm, For Rectangular Treads | Min. Run, mm, For Rectangular Treads |
|---|------------------------------|------------------------------|--------------------------------------|--------------------------------------|
| Private stairs <sup>(1)</sup>   | 200                          | 125                          | 385                                  | 285                                  |
| Public stairs <sup>(2)</sup>  | 180                          | 125                          | no limit                             | 280                                  |
| Service stairs <sup>(3)</sup>   | no limit                     | 125                          | 385                                  | no limit                             |
| Stairs to unoccupied attic space <sup>(4)</sup>                           | no limit                     | 125                          | 385                                  | no limit                             |
| Stairs to crawl spaces  | no limit                     | 125                          | 385                                  | no limit                             |
| Stairs that serve mezzanines not exceeding 2081 mm within live/work units | no limit                     | 125                          | 385                                  | no limit                             |
| Column 1  | 2                            | 3                            | 4                                    | 5                                    |

**Notes to Table 4.8.4.1:**

(1) Private stairs are:

(a) interior stairs within a house or an individual dwelling unit,

(b) exterior stairs serving a house or an individual dwelling unit, and

(c) exterior stairs serving a garage that serves a house or an individual dwelling unit.

(2) Public stairs are all stairs not described as service stairs or private stairs.

(3) Service stairs are stairs that serve areas used only as service rooms or service spaces.

(4) Stairs to unoccupied attic space are stairs that serve attics containing no storage or living space.

**4.8.4.2. Dimensions for Runs and Rectangular Treads**

(1) The run for rectangular treads shall conform to Table 4.8.4.1.

(2) The depth of a rectangular tread shall be not less than its run and not more than its run plus 25 mm.

**4.8.4.3. Dimensions for Tapered Treads**

(1) Except as provided in Sentence (2) and Articles 4.8.4.5 and 4.8.4.5A, tapered treads shall have a run that,

(a) is not less than 180 mm at the narrow end of the tread, and

(b) complies with the dimensions for rectangular treads specified in Table 4.8.4.1, when measured at a point 300 mm from the centre line of the inside handrail.

(2) Tapered treads in required exit stairs shall conform to the requirements in Article 3.4.6.4.

(3) The depth of a tapered tread shall be not less than its run at any point and not more than its run at any point plus 25 mm.

**4.8.4.4. Uniformity and Tolerances for Risers and Treads**

(1) Except as provided in Sentence (2), risers shall be of uniform height in any one flight with a maximum tolerance of,

(a) 5 mm between adjacent treads or landings, and

(b) 10 mm between the tallest and shortest risers in a flight.

(2) Except for required exit stairs, where the top or bottom riser in a stair adjoins a sloping finished walking surface such as a driveway, driveway or sidewalk, the height of the riser across the stair shall vary by not more than 1 in 12.

(3) Rectangular treads shall have uniform run with a maximum tolerance of,

(a) 5 mm between adjacent treads, and

(b) 10 mm between the deepest and shallowest treads in a flight.

(4) Tapered treads in a flight shall have a uniform run in accordance with the tolerances described in Sentence (3) when measured at a point 300 mm from the centre line of the inside handrail.

(5) The slope of treads shall not exceed 1 in 50.

**4.8.4.4A. Uniformity of Runs in Flights with Mixed Treads within a House or Dwelling Unit**

(1) Except as provided in Sentence (2) and Article 4.8.4.5, where a flight within a house or individual dwelling unit consists of both tapered treads and rectangular treads, all the treads shall have a uniform run when measured at a point 300 mm from the centre line of the inside handrail.

(2) Where tapered treads are located at the bottom of a mixed-tread flight described in Sentence (1), the run of the tapered treads when measured at a point 300 mm from the centre line of the inside handrail is permitted to exceed the run of the rectangular treads.

**4.8.4.5. Winders**

(1) Stairs within dwelling units are permitted to contain winders that converge to a central point, provided,

(a) the winders turn through an angle of not more than 40°,

(b) individual treads turn through an angle of not less than 30° or not more than 45°, and

(c) adjacent winders turn through the same angle.

(2) Where more than one set of winders described in Sentence (1) is provided in a single stairway between adjacent floor levels, such winders shall be separated in plan by at least 1 200 mm.

**4.8.4.6. Leading Edges of Treads**

(1) Leading edges of treads that are beveled or rounded shall,

(a) not reduce the required tread depth by more than 15 mm, and

(b) not, in any case, exceed 25 mm horizontally.

**4.8.6. Landings**

**4.8.6.1. Application**

(1) This subsection applies to landings, except landings for ramps in a barrier-free path of travel.

(2) Landings for ramps in a barrier-free path of travel shall conform to the requirements in Article 3.8.3.4.

(3) Finished floors, and ground surfaces with a slope not exceeding 1 in 50, at the top and bottom of stairs or ramps shall be considered as landings.

**4.8.6.2. Required Landings**

(1) Except as provided in Sentences (2), (3) and (4) and Sentence 4.8.6.2(2), a landing shall be provided,

(a) at the top and bottom of each flight of interior and exterior stairs, including stairs in garages,

(b) at the top and bottom of every ramp with a slope greater than 1 in 50, and

(c) where a doorway opens onto a stair or ramp.

(2) Where a door at the top of a stair in a dwelling unit swings away from the stair, no landing is required between the doorway and the stair.

(3) A landing may be omitted at the top of an exterior stair serving a garage or a secondary entrance to a house or an individual dwelling unit, including an entrance from an attached garage, provided,

(a) the stair does not contain more than three risers,

(b) except as provided in clause (c), the door is a sliding door or swings away from the stair, and

(c) where a storm or screen door is provided, it may swing over the stair if it is equipped with hardware to hold it open.

(3.1) Sentence (3) does not apply to an exterior stair serving a secondary entrance to a house that is also a main entrance to a dwelling unit in the house.

(4) A landing may be omitted at the bottom of an exterior stair or ramp provided there is no obstruction, such as a gate or door, within the lesser of the width of the stair or ramp, or,

(a) 900 mm for stairs or ramps serving a house or an individual dwelling unit, and

(b) 1 100 mm for stairs or ramps not serving a house or an individual dwelling unit.

**4.8.6.3. Dimensions of Landings**

(1) Except as provided in Sentences (2) to (7), landings shall be,

(a) at least as wide as the width of the stair or ramp in which they occur, and

(b) at least as long as the width of the stair or ramp in which they occur.

**Table 4.8.6.3.**

**Dimensions of Landings**

Forming Part of Sentence 4.8.6.3.(1)

| Item | Column 1<br>Application   | Column 2<br>Landing Configuration   | Column 3<br>Min. Width, mm  | Column 4<br>Length, mm   |
|------|---|---|---|--|
| 1.   | Stairs and ramps serving a house or an individual dwelling unit     | In straight-run stair or ramp, or landing turning through less than 30°, within a dwelling unit | Width of stair or ramp  | Not less than 860 mm   |
|      |   | In straight-run exterior stair or ramp, or exterior landing turning through less than 30°       | Width of stair or ramp  | Not less than 400 mm   |
|      |   | Landing turning through an angle of 30° or more, but less than 40°                              | Width of stair or ramp measured at right angle to path of travel                | (a) Not less than 230 mm measured at the inside edge of the landing, and<br>(b) Not less than 370 mm measured 230 mm from the inside edge of landing or handrail |
|      |   | Landing turning through 30° or more   | Width of stair or ramp measured at right angle to path of travel                | Not less than width of stair or ramp landing   |
| 2.   | Stairs and ramps not serving a house or an individual dwelling unit | In straight-run stair or ramp, or landing turning through less than 30°                         | Width of stair or clear width of ramp   | Lesser of required width of stair or clear width of ramp, or 1 100   |
|      |   | Landing turning through 30° or more   | Width of stair or clear width of ramp measured at right angle to path of travel | Not less than width of stair or clear width of ramp  |

(2) Where the landing in a stair or ramp does not turn or turns less than 40°, the length of the landing shall be not less than the lesser of,

(a) the required width of the stair or ramp, or

(b) 1 100 mm.

(3) The length of a landing described in Sentence (2) shall be measured perpendicular to the nosings of adjacent treads or to the end of the ramp, at a distance equal to half the length required by Sentence (2) from the narrow edge of the landing.

(4) Where flights or ramps of different widths adjoin a single landing, the minimum width of the landing shall be,

(a) not less than the greater required stair or ramp width, where one or more of the stair or ramp widths do not exceed their respective required widths, or

(b) not less than the lesser actual stair or ramp width, where all of the widths of the stairs or ramps exceed their respective required widths.

(5) Where a door swings toward a stair, the full arc of the swing shall be over the landing.

(6) The slope of landings shall not exceed 1 in 50.

(7) Where a doorway or stair opens onto the side of a ramp, the landing shall extend for a distance of not less than 300 mm on either side of the doorway or stair, except on a side abutting an end wall.

**4.8.6.4. Height over Landings**

(1) The clear height over landings shall be not less than,

(a) 1 950 mm for landings serving a house or an individual dwelling unit, and

(b) 2 050 mm for landings not serving a house or an individual dwelling unit.

**4.8.7. Handrails**

**4.8.7.1. Required Handrails**

(1) Except as provided in Sentences (2) to (5), a handrail shall be installed on stairs and ramps in conformance with Table 4.8.7.1.

**Table 4.8.7.1.**

**Handrails for Stairs and Ramps**

Forming Part of Sentence 4.8.7.1.(1)

| Item | Column 1<br>Location of Stair or Ramp | Column 2<br>Handrails Serving Stairs | Column 3<br>Stairs <1100 mm Wide            | Column 4<br>Stairs >1100 mm Wide | Column 5<br>Ramps <100 mm Wide | Column 6<br>Ramps >100 mm Wide |
|------|---------------------------------------|--------------------------------------|---|----------------------------------|--------------------------------|--------------------------------|
|      |                                       |                                      | Straight                                    | Curved                           | All                            | Straight or Curved             |
|      |                                       |                                      | Number of Sides Required to have a handrail |                                  |                                |                                |
| 1.   | Within a dwelling unit                | 1                                    | 1   | 1                                | 1                              | 2                              |
| 2.   | All other locations                   | 1                                    | 2   | 2                                | 2                              | 2                              |

(2) Where a stair or a ramp is required to be at least 2 200 mm wide due to the occupant load, a handrail shall be installed such that no position on the stair or ramp is more than 825 mm from a handrail.

(3) A handrail is not required for stairs and ramps serving a house or an individual dwelling unit, where,

(a) interior stairs have not more than two risers,

(b) exterior stairs have not more than three risers, or

(c) ramps rise not more than 400 mm.

**4.8.7.1A. Uniformity of Handrails**

(1) Only one handrail is required on exterior stairs having more than three risers, provided such stairs serve a house or an individual dwelling unit.

(2) Except for stairs with winders, where a flight of stairs within a house or an individual dwelling unit consists of tapered treads, or a mix of tapered treads and rectangular treads, one handrail shall be installed along the narrow end of the treads.

**4.8.7.2. Continuity of Handrails**

(1) Except for stairs or ramps serving a house or an individual dwelling unit, at least one required handrail shall be continuous throughout the length of the stair or ramp, including at the landings, except where interrupted by doorways.

(2) For stairs or ramps serving a house or an individual dwelling unit, at least one required handrail shall be continuous throughout the length of the stair or ramp, except where interrupted by,

(a) doorways,

(b) landings, or

(c) newel posts at changes in direction.

**4.8.7.3. Termination of Handrails**

(1) Handrails shall be terminated in a manner that will not obstruct pedestrian travel or create a hazard.

(2) Except for stairs and ramps serving a house or an individual dwelling unit, at least one handrail at the sides of a stair or ramp shall extend horizontally not less than 300 mm beyond the top and bottom of each stair or ramp.

**4.8.7.4. Height of Handrails**

(1) The height of handrails on stairs and ramps shall be measured vertically from the top of the handrail to,

(a) a straight line drawn tangent to the tread nosings of the stair served by the handrail, or

(b) the surface of the ramp, floor or landing served by the handrail.

(2) Except as provided in Sentence (3), clause 3.8.3.4.(1)(c) and sentence 4.8.4.5A.(1), handrails shall be 865 mm to 1 070 mm high.

(3) Handrails installed in addition to required handrails need not comply with Sentence (2).

**4.8.7.5. Ergonomic Design**

**4.8.7.5.1. Ergonomic Design**

(1) The clearance between a handrail and any surface behind it shall be not less than,

(a) 60 mm, if the surface behind the handrail is rough or abrasive, or

(b) 50 mm, in all other cases.

(2) All handrails shall be constructed so as to be continually graspable along their entire length with no obstruction on or above them to break a handhold.

**4.8.7.6. Projections into Stairs and Ramps**

(1) Handrails and projections below handrails, including handrail supports and stair stringers, shall not project more than 100 mm into the required width of a stair or ramp.

**4.8.7.7. Design and Attachment of Handrails**

(1) Handrails and their supports shall be designed and constructed to withstand the following loads, which need not be considered to act simultaneously:

(a) a concentrated load of not less than 0.9 kN applied at any point and in any direction for all handrails, and

(b) for handrails other than those serving a house or an individual dwelling unit, a uniform load of not less than 0.7 kN/m.

(2) Where exterior or interior handrails serving a house or an individual dwelling unit are attached to wood studs or blocking, the attachment shall be deemed to comply with Sentence (1), where,

(a) the attachment points are spaced not more than 1.2 m apart measured on the horizontal plane, and

(b) the first attachment point at either end is located not more than 300 mm from the end of the handrail, and

(c) the fasteners consist of not fewer than two No. 8 wood screws at each point, penetrating not less than 52 mm into solid wood.

**HANDRAIL PROFILES:**

• 30-30mm DIA. ROUND SECTION

• 100-155mm PERIMETER NON-ROUND SECTION

• 55mm CROSS SECTION AND 155mm PERIMETER

**4.8.8. Guards**

**4.8.8.1. Required Guards**

(1) Except as provided in Sentence (2), every surface to which access is provided, including but not limited to flights, ramps, exterior landings, porches, balconies, mezzanines, galleries and raised walkways, shall be protected by a guard on each side that is not protected by a wall for the length, where,

(a) there is a difference in elevation of more than 600 mm between the walking surface and the adjacent surface, or

(b) the adjacent surface within 1.2 m from the walking surface has a slope of more than 1 in 2.

(2) Guards are not required,

(a) at loading docks,

(b) at floor pits in repair garages, or

(c) where access is provided for maintenance purposes only.

(3) Reserved.

(4) Doors in buildings of residential occupancy, where the finished floor on one side of the door is more than 600 mm above the floor or other surface or ground level on the other side of the door, shall be protected by,

(a) a guard in accordance with this Subsection, or

(b) a mechanism capable of controlling the free swinging or sliding of the door so as to limit any clear unobstructed opening to not more than 100 mm.

(5) Except as provided in Sentence (6), openable windows in buildings of residential occupancy shall be protected by,

(a) a guard in accordance with this Subsection, or

(b) a mechanism capable of controlling the free swinging or sliding of the openable part of the window so as to limit any clear unobstructed opening to a size that will prevent the passage of a sphere having a diameter more than 100 mm.

(6) Windows need not be protected in accordance with Sentence (5), where,

(a) the window serves a dwelling unit that is not located above another suite,

(b) the only opening having greater dimensions than those allowed by Clause (5)(b) is a horizontal opening at the top of the window,

(c) the top surface of the window sill is located more than 480 mm above the finished floor on one side of the window, or

(d) the window is located in a room or space with the finished floor described in clause (c) located less than 1 800 mm above the floor or ground on the other side of the window.

(7) Except as provided in Sentence (8), glazing installed over stairs, ramps and landings that extends to less than 1 070 mm above the top of the treads, ramp or landing shall be,

(a) protected by guards in accordance with this Subsection, or

(b) non-operable and designed to withstand the specified lateral loads for guards as provided in Article 4.15.14.

(8) In dwelling units, glazing installed over stairs, ramps and landings that extends to less than 400 mm above the surface of the treads, ramp or landing shall be,

(a) protected by guards in accordance with this Subsection, or

(b) non-operable and designed to withstand the specified lateral loads for guards as provided in Article 4.15.14.

(9) Glazing installed in public areas that extends to less than 1 000 mm from the floor and is located above the second story in buildings of residential occupancy shall be,

(a) protected by guards in accordance with this Subsection, or

(b) non-operable and designed to withstand the specified lateral loads for guards as provided in Article 4.15.14.

**4.8.8.2. Loads on Guards**

(1) Except as provided in Sentences (2), (4) and (5), guards shall be designed to resist the specified loads prescribed in Table 4.8.8.2.

**Table 4.8.8.2.**

**Specified Loads for Guards**

Forming Part of Sentence 4.8.8.2.(1)

| Item | Column 1<br>Location of Guard   | Column 2<br>Minimum Specified Loads  | Column 3<br>Horizontal Load Applied Inward or Outward at any Point at the Minimum Required Height of the Guard  | Column 4<br>Horizontal Load Applied Outward on Elements Within the Guards, Including Solid Panels and Pickets | Column 5<br>Evenly Distributed Vertical Load Applied at the Top of the Guard |
|------|---|--|---|---|--|
| 1.   | Guards within dwelling units and exterior guards serving not more than 2 dwelling units | 0.5 kN/m or concentrated load of 1.0 kN applied at any point <sup>(1)</sup>  | 0.5 kN applied over a maximum width of 300 mm and a height of 300 mm <sup>(2)</sup>   | 15 kN/m   |  |
| 2.   | Guards serving access ways to equipment, platforms and stairs                           | Concentrated load of 0.5 kN applied at any point                             | Concentrated load of 0.5 kN applied over any area of 100 mm by 100 mm located at any point on the element or elements so as to produce the most critical effect | 15 kN/m   |  |
| 3.   | All other guards  | 0.75 kN/m or concentrated load of 1.0 kN applied at any point <sup>(1)</sup> | Concentrated load of 0.5 kN applied over any area of 100 mm by 100 mm located at any point on the element or elements so as to produce the most critical effect | 15 kN/m   |  |

**Notes to Table 4.8.8.2:**

(1) The load that creates the most critical condition shall apply.

(2) See Sentence (2).

(3) For guards within dwelling units and in exterior guards serving not more than 2 dwelling units, where the width and spacing of pickets are such that three pickets can be engaged by a load imposed over a 300 mm width, the load shall be imposed thro so to engage three pickets.

(4) None of the specified loads prescribed in Table 4.8.8.2. need be considered to act simultaneously.

(5) For guards within dwelling units and for exterior guards serving not more than 2 dwelling units, Table 4.8.8.2. need not apply where the guard construction has been demonstrated to provide effective performance.

(6) Guards constructed in accordance with the requirements in MMHA Supplementary Standard SB-7, "Guards for Housing and Small Buildings" shall be deemed to satisfy the requirements of Sentence (1).

**SECTION LEGEND**

HATCH IDENTIFICATION LEGEND

REAR ENTRANCE STAIRS

FRONT ENTRANCE STAIRS

| NO. | DATE       | ISSUANCE                   |
|-----|------------|----------------------------|
| 4   | 2024.11.19 | ISSUED FOR BUILDING PERMIT |
| 3   | 2024.11.05 | ISSUED FOR COORDINATION    |
| 2   | 2024.10.25 | ISSUED FOR REVIEW          |
| 1   | 2024.09.17 | ISSUED FOR CLIENT REVIEW   |
| NO. | DATE       | ISSUANCE                   |

DO NOT SCALE DRAWINGS. CALL FOR ANY CLARIFICATIONS THAT ARE REQUIRED. FIELD VERIFY AT ALL BUILT CONDITIONS

ALL DWG.'S ARE TO BE READ IN COLOUR

ORIGINAL PAGE SIZE ARCH "D" - 24" x 36"

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Consulting Engineers, Architects & Planners

**G. DOUGLAS VALLEE LIMITED**

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SIMCOE ONTARIO N3Y 3W4  
(519) 426-6270

STAMP ARCH.

STAMP STRUCT.

(NOT APPLICABLE)

Ontario Ministry of Municipal Affairs & Housing

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER

REQUIRED UNLESS DESIGN IS EXEMPT UNDER DIVISION C SECTION 3.2 OF THE O.B.C.

Lesley Hutton-Rhodes

LESLEY HUTTON  
G. DOUGLAS VALLEE LTD.

PROJECT TITLE:  
GROVE STREET

CHECKED BY:  
LHR

DRAWN BY:  
BH/BM

DRAWING SCALE:  
As indicated

DRAWING NO.:

UNIT 1 & UNIT 2  
241 GROVE STREET,  
SIMCOE, ONTARIO

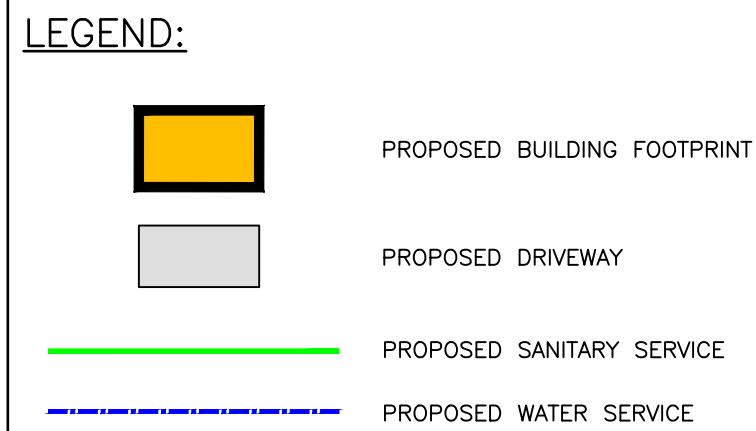
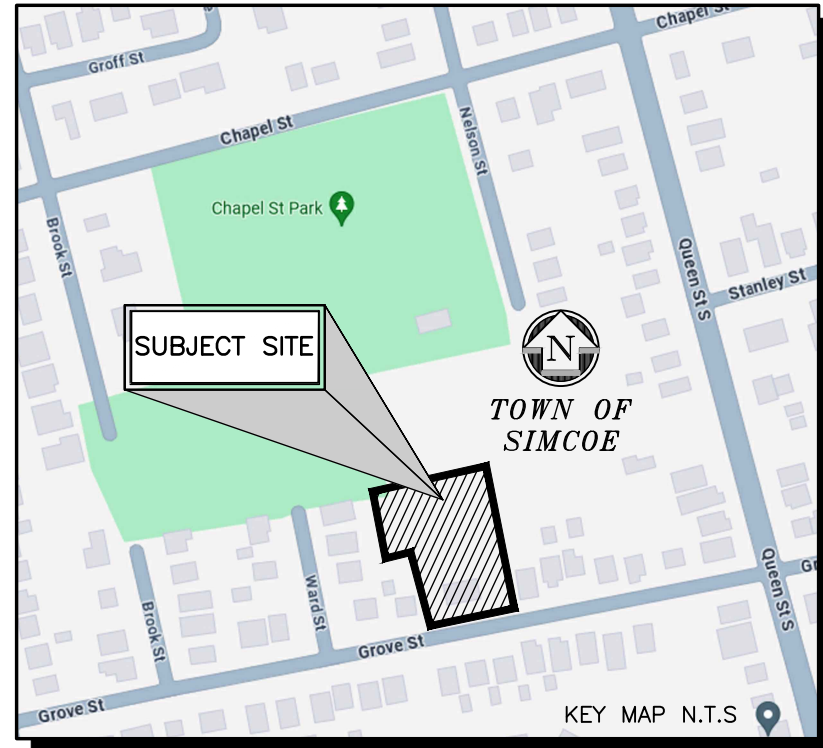
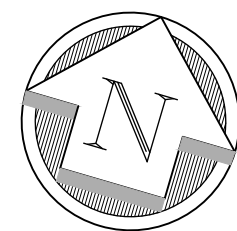
SOURCE TITLE:  
STAIR SECTIONS & DETAILS  
(PRIMARY / ATTACHED ARDU)

PROJECT NO.:  
23-195

A500

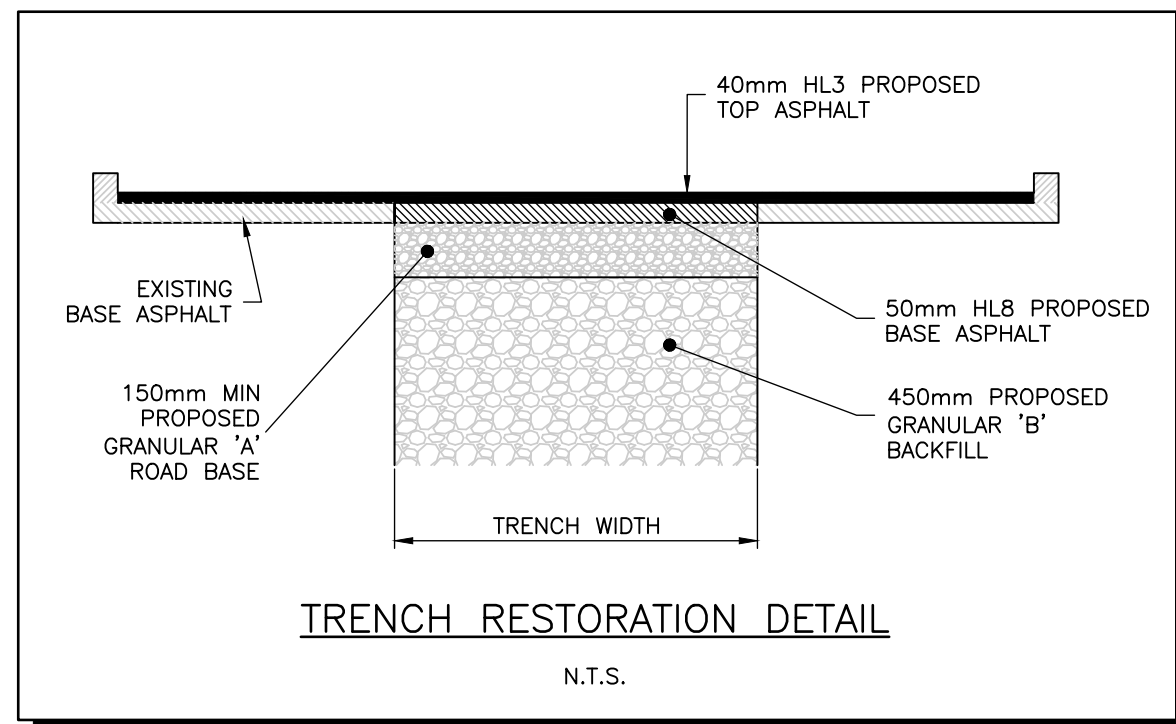
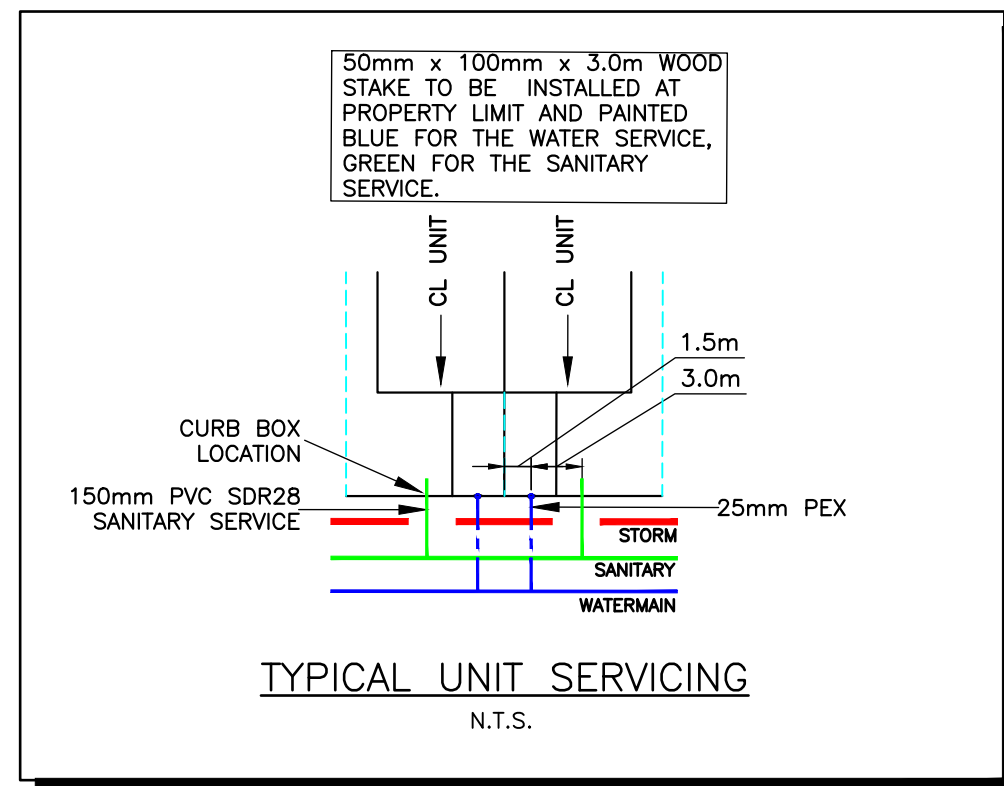






#### GENERAL NOTES

- ALL ASPHALT TO BE SAW CUT PRIOR TO REMOVAL.
- WATER SERVICES TO PASS ABOVE/BELOW STORM SEWER BY A MINIMUM OF 0.5m CLEARANCE.
- SANITARY SERVICES TO PASS ABOVE/BELOW STORM SEWER WITH MINIMUM 0.15m CLEARANCE AS REQUIRED.
- ALL SANITARY SEWER LATERAL CONNECTIONS SHALL BE INSTALLED USING PREFABRICATED TEES. THE USE OF ANY SERVICE SADDLE MUST BE APPROVED BY NORFOLK COUNTY ENVIRONMENTAL SERVICES DIVISION. ALL CONNECTIONS SHALL CONFORM TO CURRENT OPSD 1006.010 AND OPSD 410.
- CONTRACTOR TO NOTIFY NORFOLK COUNTY ENVIRONMENTAL SERVICES STAFF PRIOR TO ANY WATER SERVICE CONNECTIONS. CONTRACTOR TO COORDINATE SCHEDULED CONNECTIONS UNDER SUPERVISION OF A LICENSED WATER OPERATOR.
- ALL WATER SERVICES TO BE 25mm CROSS-LINKED POLYETHYLENE (PEX) PIPE CSA CERTIFIED TO CSA 8137.5 CONFORMING TO AWWA C904 AND SHALL BE SDR9 PRESSURE RATED AS PER NORFOLK COUNTY DESIGN CRITERIA.
- ALL SANITARY SERVICES TO BE 150mm PVC SDR 28 AS PER NORFOLK COUNTY DESIGN CRITERIA.
- PROVIDE 2.5m MINIMUM HORIZONTAL CLEARANCE BETWEEN THE PROPOSED WATER SERVICES AND ANY PARALLEL STORM/SANITARY SEWERS, OR SANITARY SERVICES AS PER NORFOLK COUNTY DESIGN CRITERIA.
- SANITARY SERVICES SHALL BE INSTALLED AT A MINIMUM 2% GRADE AND MAINTAIN A MINIMUM COVER OF 2.15m AND MAXIMUM COVER OF 2.7m, AT THE PROPERTY LINE.
- WATER SERVICES SHALL MAINTAIN A MINIMUM COVER OF 1.7m.



| REV. No. | DATE        | REVISION                          |
|----------|-------------|-----------------------------------|
| 0        | JUL 24/2024 | ISSUE FOR CLEARANCE OF CONDITIONS |
| 1        | DEC 10/2024 | ISSUE FOR BUILDING PERMIT         |
|          |             |                                   |
|          |             |                                   |
|          |             |                                   |
|          |             |                                   |
|          |             |                                   |
|          |             |                                   |
|          |             |                                   |
|          |             |                                   |

**NOTE:**  
THE CONTRACTOR IS CAUTIONED THAT ALL OF THE EXISTING UTILITIES ARE NOT INDICATED ON THIS DRAWING. THE CONTRACTOR MUST ARRANGE FOR LOCATES FROM EACH AREA UTILITY COMPANY PRIOR TO ANY CONSTRUCTION OR EXCAVATION. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES INCLUDING THOSE NOT INDICATED ON THIS DRAWING. G. DOUGLAS VALLEE LTD. CAN NOT ACCEPT RESPONSIBILITY FOR DAMAGE TO ANY EXISTING UTILITY WHICH MAY OR MAY NOT BE INDICATED ON THIS DRAWING.

ALL WORK, MATERIALS AND PROCESSES TO ABIDE TO NORFOLK COUNTY STANDARDS AND SPECIFICATIONS.  
TOPOGRAPHIC SURVEY FOR THE SUBJECT LANDS WAS COMPLETED BY JEWITT & DIXON DATED APRIL 9, 2020. REFER TO PLAN 20-2451-TOPO, PROJECT NUMBER 20-2451.

#### BENCHMARKS

SITE BENCHMARK #1  
ELEV: 228.707m (GEODETIC)

SPIKE IN FACE OF WOOD HYDRO POLE ON SOUTH SIDE OF GROVE STREET BETWEEN #250 GROVE AND #246 GROVE.

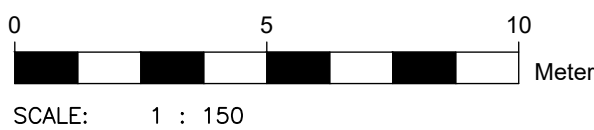
#### LEGAL DESCRIPTION

241 GROVE STREET, PART OF LOT 2, BLOCK 97, REGISTERED PLAN 182, TOWN OF SIMCOE, COUNTY OF NORFOLK

#### APPLICANT INFORMATION

NAME: NICK THOMPSON  
PRINCIPAL PROPERTIES INC.  
ADDRESS: 126 NORTH MAIN STREET  
SIMCOE ON, N3Y 2M3  
PHONE NUMBER: 226-567-6425

**PRELIMINARY**  
NOT TO BE USED  
FOR CONSTRUCTION



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Project Title  
**GROVE STREET**  
241 AND 243 GROVE STREET  
SIMCOE - NORFOLK COUNTY

Drawing Title  
**SITE SERVICING PLAN**

|                              |                                 |
|------------------------------|---------------------------------|
| Designed by :<br>TJC         | Drawn By :<br>TJC               |
| Checked by :<br>JTI          | Date Started :<br>JULY 15, 2024 |
| Drawing Scale :<br>1:150     | Drawing No.<br><b>01</b>        |
| Project No.<br><b>23-195</b> |                                 |