

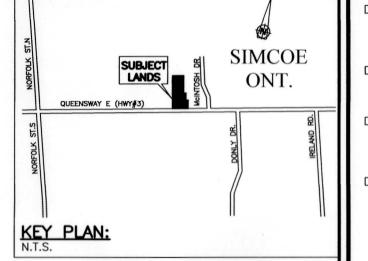
GENERAL NOTES:

1. PRIMARY UNITS ARE METRIC. DIMENSIONS ARE METERS.

PROPER SILTATION MEASURES TO TAKE PLACE. SILT CONTROLS. I.E. SILT FENCING AROUND ALL CONSTRUCTION AREAS ARE TO BE IN PLACE PRIOR TO THE START OF SITE WORKS, AND BE MAINTAINED FOR THE DURATION OF CONSTRUCTION (SILT FENCING TO BE PROPERLY SECURED C/W T BAR POSTS IN GROUND & C/W FILTER FABRIC) FENCING TO BE INSTALLED AROUND ALL CONSTRUCTION AREAS.

- 3. ANY DISCREPANCY(S) BETWEEN INFORMATION ON THIS SITE DRAWING AND ACTUAL FIELD CONDITIONS, WHICH MAY IMPACT ON THE PROPOSED DEVELOPMENT, ARE TO BE REPORTED TO THE SENIOR CONSULTANT / P.ENG.
- 4. REQUIRED SERVICES & SERVICE CONNECTIONS NOT SHOWN ON DRAWING TO BE THE RESPONSIBILITY OF THE CONTRACTOR/OWNER.
- 5. ALL NECESSARY RELOCATIONS OR REMOVALS OF EXISTING PHYSICAL SITE FEATURES INCLUDING U/G SERVICES TO BE THE RESPONSIBILITY OF THE CONTRACTOR/OWNER.
- EXACT LOCATIONS & ELEVATIONS OF ALL EXISTING SERVICES (SANITARY SEWER, WATER, GAS, BELL, ETC.), GRADES, MATERIAL LENGTHS, ELEVATIONS, INVERTS, ETC. TO BE VERIFIED BY CONTRACTOR PRIOR TO COMMENCEMENT OF ANY SITEWORK.
- 7. ANY FILL PLACED ON SITE MUST BE COMPACTED TO TO A MIN. 98% STANDARD PROCTER DENSITY.
- 8. ALL DISTURBED LANDSCAPE AREAS ARE TO BE RE-SODDED
- 9. THE APPROVAL OF THIS PLAN DOES NOT EXEMPT THE OWNER'S BONDED CONTRACTOR FROM THE REQUIREMENTS TO OBTAIN THE VARIOUS PERMITS/APPROVALS NORMALLY REQUIRED TO COMPLETE A CONSTRUCTION PROJECT, SUCH AS, BUT NOT LIMITED TO THE FOLLOWING:
 - -ROAD CUT PERMITS -SEWER PERMITS -RELOCATION OF SERVICES
- 10. THIS DRAWING TO BE READ IN CONJUNCTION WITH ANY AND ALL OTHER DOCUMENTS SUBMITTED FOR MUNICIPAL APPROVAL(S).
- I. RIGID INSULATION (2 LAYERS OF 1" STYROFOAM) IS TO BE PROVIDED OVER ALL NEW STORM PIPE WHERE COVER DOES NOT EXCEED 1.2M. REFER TO OSPD 1109.030
- 12. ALL EXCESS EXCAVATED MATERIAL WILL BE REMOVED FROM THE
- 13. THE EXISTING DRAINAGE PATTERN WILL BE MAINTAINED EXCEPT WHERE NOTED. PROPOSED ELEVATIONS SHOW GENERAL INTENT OF GRADING PLAN.
- 14. ALL WORK WITHIN THE MUNICIPAL RIGHT-OF-WAY TO BE COMPLETED TO THE SATISFACTION OF NORFOLK COUNTY.
- 15. ALL SURFACE DRAINAGE FOR THE SUBJECT SITE IS TO BE SELF-CONTAINED.

This is not a legal plan of survey and shall not be used for any purpose except for the purpose indicated in the title block. The employees of M. C. Engineering are not licensed Ontario Land Surveyors, therefore in accordance with the Surveyors Act R.S.O. 1990, c.29, (as amended 2009) please refer to stamped O.L.S. drawing(s) for all survey data, including but not limited to, bearings and distances, property bars and monuments and any other real property boundary information, pertaining to the subject lands and or other lands adjoining the same. M.C. Engineering assumes no responsibility for the use of, or reliance on, all real property information shown (or not shown) on this plan. property information shown (or not shown) on this plan.



IMPORTANT PLEASE READ THE FOLLOWING NOTES IN CONJUNCTION WITH ALL SITE DRAWINGS

BUILDING INTERIOR WALLS/ROOMS: REFER TO ARCHITECTURAL / STRUCTURAL DRAWINGS FOR ROOM LAYOUT AND DIMENSIONS

REFUSE STORAGE/GARBAGE: TO BE LOCATED AT INTÉRIOR OF BUILDING

BUILDING / SITE LIGHTING: EXTERIOR LIGHT FIXTURES OR LIGHT STANDARDS ARE PROPOSED.

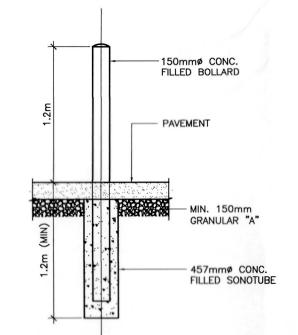
NOTE: LIGHT FIXTURES TO BE DARK-SKY COMPLIANT - NO EXTERIOR LIGHTING ARRAY BE DIRECTED OFF PROPERTY TO ROAD ALLOWANCE OR ADJACENT PROPERTIES. ALL LIGHTING ARRAY DIRECTIONS TO SHINE INTERNALLY TOWARD SUBJECT PROPERTY. REFER TO ELECTRICAL DRAWINGS FOR BUILDING / SITE LIGHTING FIXTURE LOCATIONS, FIXTURE TYPES AND STYLES AND SPECIFICATIONS.

FUNCTIONAL SERVICING:

IMPROVEMENT OR ALTERATIONS TO EXISTING SITE SERVICES INCLUDING, BUT NOT LIMITED TO. STORM WATER AND SANITARY SEWER AND MUNICIPAL WATER. THE PROPOSED ADDITIONS WILL NOT NEGATIVELY IMPACT EXISTING MUNICIPAL

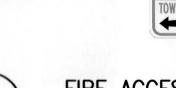
LANDSCAPED AREAS:

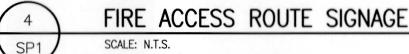
E MAJORITY OF THE SITE CONSISTS OF EXISTING ASPHALTED AREAS IN BOTH FRONT YARI AND SIDE YARD SETBACKS. THE CURRENT PROPOSED PROJECT WILL NOT REQUIRE ANY ALTERATIONS TO THESE AREAS, THEREFORE NO NEW LANDSCAPED AREAS ARE PROPOSED. PLANTING BOXES MAY BE PLACED AROUND THE ENTRANCE AT THE FRONT OF THE EXISTING BUILDING, AT OWNERS DISCRETION, AND IF SPACE IS AVAILABLE AND BARRIER-FREE ACCESS IS NOT IMPACTED.











LEGEND

PROPERTY LINE OTHER BOUNDARY EASEMENT LINE ---- ez. POST MOUNTED SIGN APPROX. LOCATION OF SURVEYOR'S "IRON BAR" AS INDICATED ON DRAWINGS BY

O.L.S. FOR EXACT SURVEY REFERENCE OVER-HEAD DOOR LOCATION MANDOOR EXIT/ENTRANCE

CONCRETE FILLED BOLLARD REFER TO DETAIL 3 ON SP1 DENOTES EXISTING SIDEWALK

DENOTES CATCH BASIN DENOTES FIRE HYDRANT

SR GAS VALVE / REG. STN./METER

Tel: 519-428-6790 Fax: 519-426-8960 E-mail: mail@mcengineering.net A DIVISION OF 392583 ALBERTA LTD.

PROPOSED BUILDING **ADDITIONS** SIMCOE HYUNDAI

THE FOLLOWING DRAWINGS AND NOTES TO BE CONSIDERED

CONTRACTOR MUST VERIFY ALL JOB DIMENSIONS,

ANY DISCREPANCY BETWEEN THIS DRAWING AND

ACTUAL FIELD CONDITIONS WHICH MAY IMPACT

ALL DRAWINGS AND SPECIFICATIONS ARE INSTRUMENTS

OR CONSULTANTS WHICH MUST BE RETURNED AT THE

THE DRAWINGS AND SPECIFICATIONS ARE TO BE USED

ONLY FOR THE PROJECT SO NOTED. REPRODUCTION OF THE DOCUMENTS IN PART OR IN WHOLE FOR ANY

THE WRITTEN CONSENT OF M C ENGINEERING IS PROHIBITED. DRAWINGS ISSUED FOR GENERAL PURPOSE,

NEGOTIATION, LEASE ETC. CARRY ALL THE ABOVE

OTHER PURPOSE, OTHER THAN THIS PROJECT, WITHOUT

OF SERVICE AND THE PROPERTY OF M C ENGINEERING

WORK IS TO BE REPORTED TO P.ENGINEER.

ALL DRAWINGS, DETAILS AND SPECIFICATIONS, AND

REPORT ANY DISCREPANCIES TO ENGINEER BEFORE

AS PART OF THE CONSTRUCTION DRAWINGS:

PROCEEDING WITH THE WORK.

COMPLETION OF THE WORK.

COPYRIGHT PROTECTION.

LEGAL DESCRIPTION:

PARTS 1,2,3 OF 37R-9460 PART OF LOT 2 CONCESSION 14

GEOGRAPHIC TOWNSHIP OF

TOWNSEND.

TOWN OF SIMCOE.

NORFOLK COUNTY

THEIR DESCRIPTIONS.

OF SUBJECT PROPERTY

BENCHMARK: ELEV. 226.51

ISSUED FOR 3RD SUBMISSION

ISSUED FOR 1ST SUBMISSION

ISSUED FOR CLIENT REVIEW

DESCRIPTION

DO NOT SCALE DRAWINGS; THESE DRAWINGS SHOW INTENT OF THE DESIGN ONLY OR EXISTING CONDITIONS AND MAY NOT REFLECT EXACT LOCATIONS.

JUNE 7th, 2018

MAY. 14th, 2018

MAR. 21st, 2018

JAN. 24th, 2018

DATE

TOP OF NORTH OUTLET ON EXISTING

PRIMARY DIMENSIONS ARE METRIC.

LEGAL PROPERTY BOUNDARY INFORMATION:

THE LEGAL PROPERTY BOUNDARY INFORMATION FOR THIS DRAWING IS BASED ON SURVEY DRAWING PO6 03 A891

PREPARED BY JEWITT AND DIXON LTD., SURVEYORS,

REGISTERED APR. 13TH, 2006, AS PLAN 37R-9460.

REFER TO THIS DRAWING FOR FURTHER INFORMATION

FIRE HYDRANT ADJACENT TO SOUTH-WEST CORNER

REGARDING PROPERTY BOUNDARIES AND MONUMENTS AN

853340 ONTARIO LIMITEI #121 QUEENSWAY E. (HIGHWAY #3)

SIMCOE, ONTARIO CONTACT: KYLE KOWTALUK PHONE: 519-426-2777

SITE PLAN

AS SHOWN R.M./C.B. CHECKED DWG. NO.: REV. NO. FEB. 2018 FILE NAME: 6630.dwg

BARRIER-FREE PARKING (1) TYPE 'A' AND (1) TYPE 'B' BARRIER-FREE PARKING SPACES



Car Accessible Type 'B' Barrier-free

REGISTERED

PLANNER

EX.T/LID=225.66

N.INV.=224.72 S.INV.=224.72

Norfolk

THE CORPORATION OF NORFOLK COUNTY

APPROVED SITE PLAN

Registration Date: Sept 21,2018

1. This site plan does not provide relief from the provisions of any applicable by-law, code, rule, regulation, or

2. Grading, drainage, landscaping, and lighting are to be in

3. Separate approved plans and permits may be required

for water, sewer, and utility connections and access.

accordance with this approved site plan drawing.

Approved by: Alisha Cull, BES, MCIP, RPP

Senior Planner

Van Accessible

Parking Space

BY PERMIT

Type 'A' Barrier-free

Instrument Number: NK 113 663

Agreement Number: AGNPL2018074

Date: 04/07/2018 File: SPPL2018060



Parking Space

EXIST. ASPHALT

30 cm x 45 cm Helvetica Bold Condensed Interdictory Symbol – Red Reflective Symbol of Access and Symbol Border Legend & Border – Black Background – White Reflective

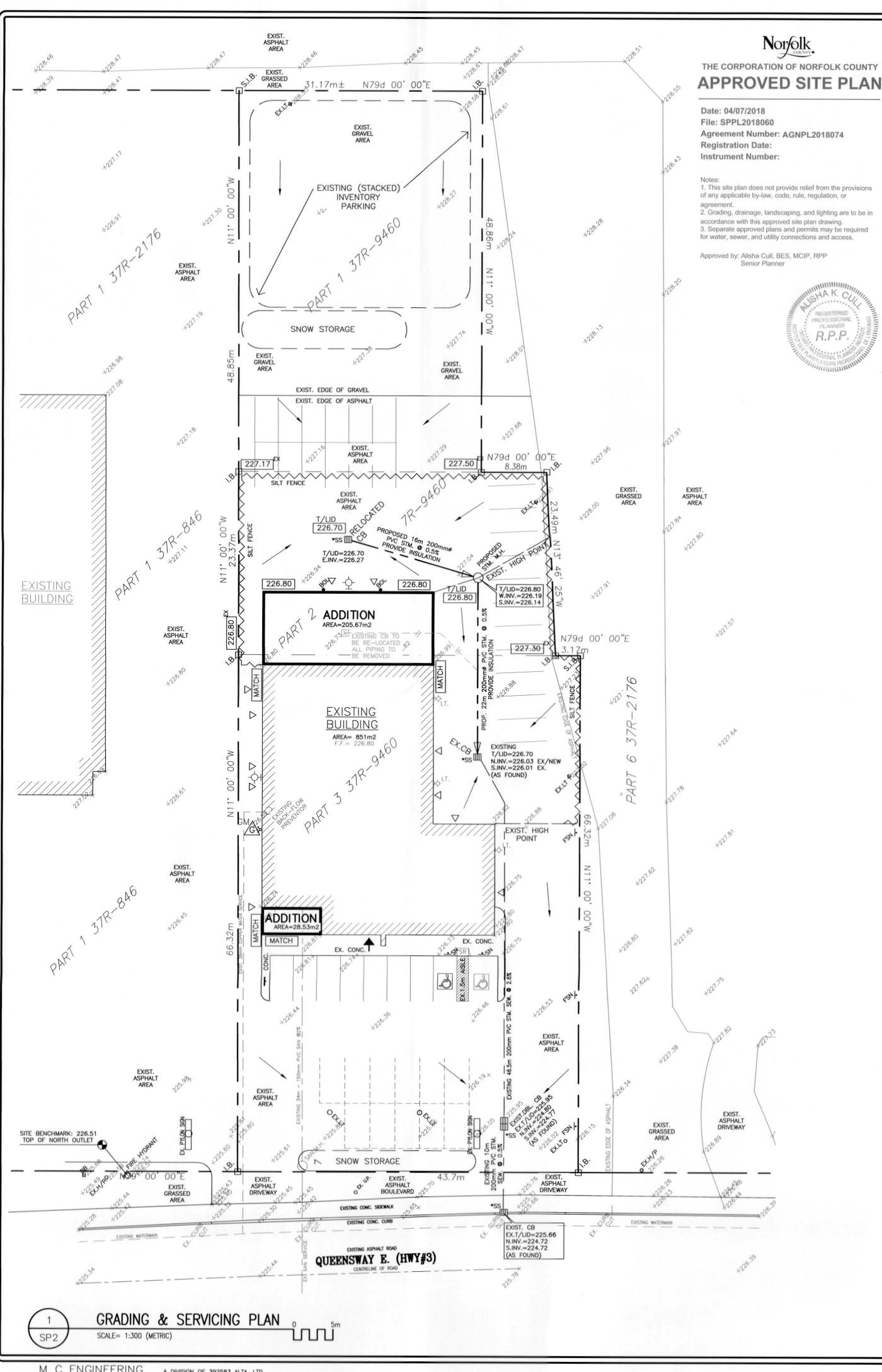


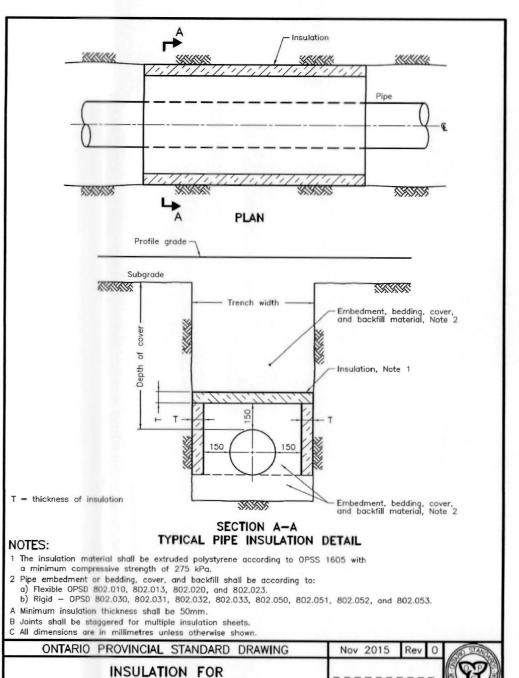


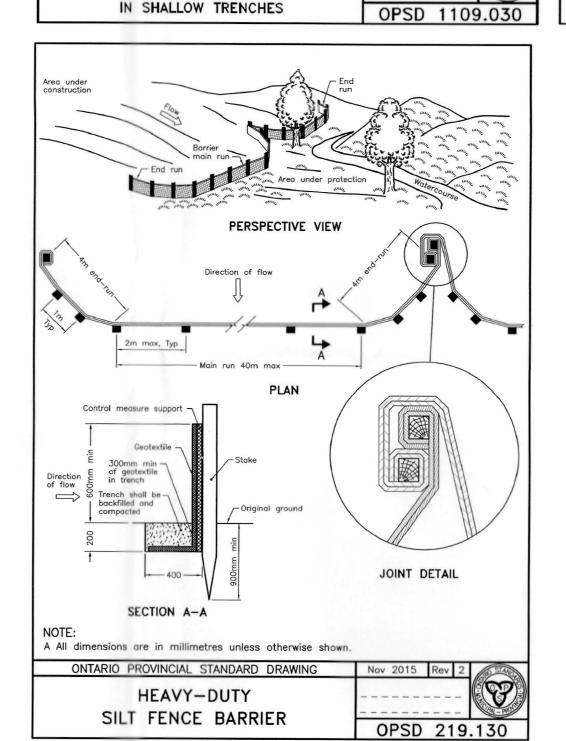
SITE STATISTICS REQUIRED PROVIDED OTHERS. REFER TO ACTUAL DRAWING BY

B/F SPACES) B/F SPACES)

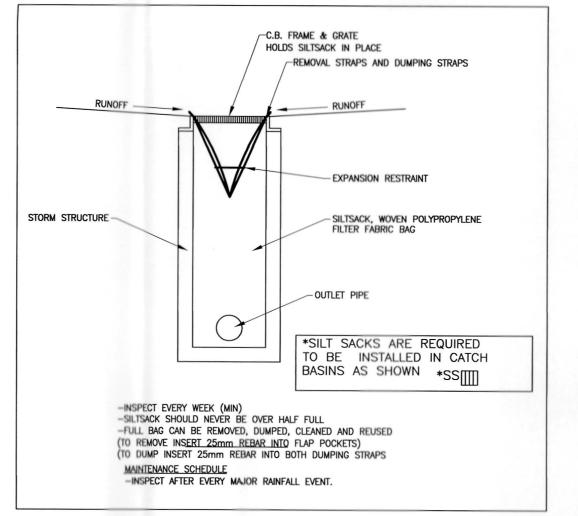
DENOTES MAN HOLE





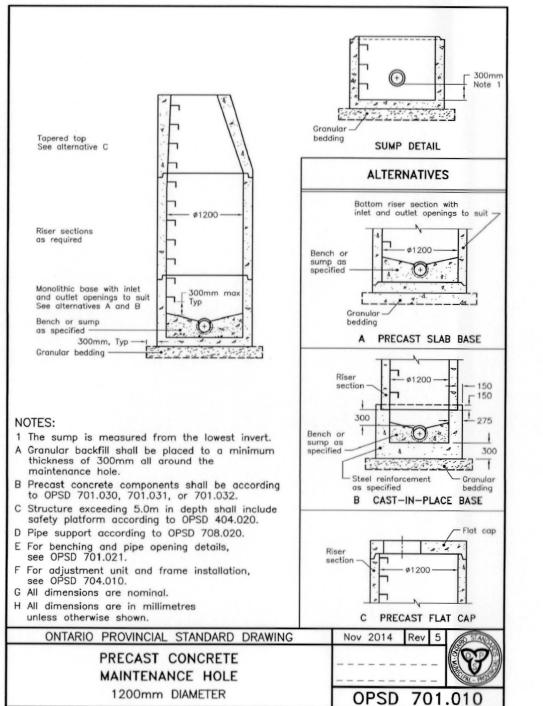


SEWERS AND WATERMAINS





GRADING & SERVICING PLAN



SERVICING SPECIFICATIONS

ITEM	REFER TO DETAIL
STORM SEWER	PVC SDR 35
CATCH BASINS	OPSD 705.020 & OPSD 705.010
MANHOLES	OPSD 701.010
SITE LIGHTING FIXTURES	REFER TO ELECTRICAL DRAWINGS FOR BUILDING / SITE LIGHTING FIXTURES AND FIXTURE LOCATIONS AND SPECIFICATIONS. NO EXTERIOR LIGHTING ARRAY TO BE DIRECTED OFF PROPERTY TO ROAD ALLOWANCE OR ADJACENT PROPERTIES. ALL LIGHTING ARRAY DIRECTIONS TO SHINE INTERNALLY TOWARD SUBJECT PROPERTY.
INTERIOR PLUMBING / PLUMBING FIXTURES	REFER TO MECHANICAL DRAWINGS FOR ALL INTERIOR PLUMBING, PLUMBING FIXTURES AND PIPING
BUILDING / SITE HYDRO ELECTRICAL / COMMUNICATIONS	REFER TO ELECTRICAL DRAWINGS FOR BUILDING/ SITE HYDRO ELECTRICAL AND COMMUNICATIONS (BELL/ROGERS ETC.) CONDUIT SERVICES, LOCATIONS, EQUIPMENT, FIXTURE TYPES AND SPECIFICATIONS.
BUILDING / SITE NATURAL GAS LINES, FIXTURES AND EQUIPMENT	REFER TO MECHANICAL DRAWINGS FOR NATURAL GAS SERVICES, LOCATIONS, EQUIPMENT, FIXTURE TYPES AND SPECIFICATIONS.
ROOF RAIN WATER LEADERS	ROOF RAIN WATER LEADERS TO BE DIRECTED TO EXISTING INTERNAL SITE STORM SEWER SYSTEM.
INTERIOR FLOOR DRAINS	INTERNAL FLOOR DRAINS AT NEW ADDITION TO DISCHARGE TO INTERNAL EXISTING OIL INTERCEPTOR AND EXISTING SANITARY SYSTEM.

LEGEND

ENT/EXIT ENT/EXIT

PROPERTY LINE

EASEMENT LINE

AND TYPE.

OTHER BOUNDARY

POST MOUNTED SIGN

APPROX. LOCATION OF SURVEYOR'S "IRON

BAR" AS INDICATED ON DRAWINGS BY

O.L.S. FOR EXACT SURVEY REFERENCE

OVER-HEAD DOOR LOCATION

CONCRETE FILLED BOLLARD

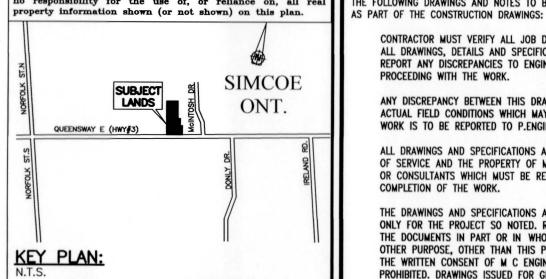
REFER TO DETAIL 3 ON SP1

MANDOOR EXIT/ENTRANCE

OTHERS. REFER TO ACTUAL DRAWING BY

DENOTES EXISTING SIDEWALK

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PLEASE READ THE FOLLOWING NOTES IN CONJUNCTION WITH ALL

BUILDING INTERIOR WALLS/ROOMS REFER TO ARCHITECTURAL / STRUCTURAL

BUILDING / SITE LIGHTING: ALL EXISTING LIGHTING TO REMAIN — NO NEW EXTERIOR LIGHT FIXTURES OR LIGHT STANDARDS

NOTE: LIGHT FIXTURES TO BE DARK-SKY COMPLIANT - NO EXTERIOR LIGHTING ARRAY T BE DIRECTED OFF PROPERTY TO ROAD ALLOWANCE OR ADJACENT PROPERTIES. ALL LIGHTING ARRAY DIRECTIONS TO SHINE INTERNALLY TOWARD SUBJECT PROPERTY. REFER TO ELECTRICAL DRAWINGS FOR BUILDING / SITE LIGHTING FIXTURE LOCATIONS, FIXTURE TYPES AND STYLES AND SPECIFICATIONS.

HYDRO ELECTRIC/COMMUNICATIONS: REFER TO ELECTRICAL DRAWINGS FOR BUILDING SITE ELECTRICAL AND COMMUNICATIONS (BELL/ROGERS ETC.) CONDUIT SERVICES, LOCATIONS, EQUIPMENT, FIXTURE TYPES AND SPECIFICATIONS.

DRAINAGE PATTERNS ARE TO REMAIN. STORM ACCUMULATIONS ARE TO DRAIN AS EXISTING. BECAUSE THERE IS NO EXPECTED INCREASE IN NEW CONTROLS ARE PROPOSED. A REGISTERED SYSTEM MUST BE REGISTERED.

IMPROVEMENT OR ALTERATIONS TO EXISTING SITE SERVICES INCLUDING, BUT NOT LIMITED TO. STORM WATER AND SANITARY SEWER AND MUNICIPAL WATER. THE PROPOSED ADDITIONS WILL NOT NEGATIVELY IMPACT EXISTING MUNICIPAL

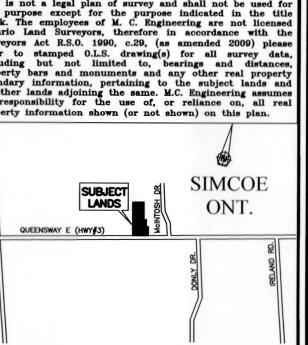
SERVICES.

DISCHARGES TO EXISTING STORM SEWER ON SITE THE ADDITIONAL PROPOSED RAIN WATER FROM THE NEW ADDITION WILL ALSO DISCHARGE TO STORM SEWER.

PROPOSED INTERIOR FLOOR DRAINS WITHIN NEW ADDITION TO DISCHARGE TO EXISTING INTERIOR

OIL INTERCEPTOR AND EXISTING SANITARY CONNECTION. SILTATION CONTROLS:
PROPER SILTATION MEASURES TO TAKE PLACE.

SILT CONTROLS, I.E. SILT FENCING AROUND ALL CONSTRUCTION AREAS ARE TO BE IN PLACE PRIOR TO THE START OF SITE WORKS, AND BE MAINTAINED FOR THE DURATION OF CONSTRUCTION (SILT FENCING TO BE PROPERLY SECURED C/W T BAR POSTS IN GROUND & C/W FILTER FABRIC) FENCING TO BE INSTALLED AROUND ALL CONSTRUCTION AREAS. REFER TO DETAIL SHOWING TEMPORARY SILT SACKS AT CATCHBASINS 2 ON SP2.



IMPORTANT SITE DRAWINGS

DRAWINGS FOR ROOM LAYOUT AND DIMENSIONS

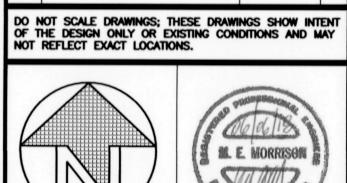
ARE PROPOSED.

STORM WATER MANAGEMENT: WILL NOT CHANGE. (I.E. NO NEW HARD SURFACE IS PROPOSED). SITE TOPOGRAPHY AND EXISTING POST DEVELOPMENT STORM ACCUMULATIONS, NO AGREEMENT REGARDING COMMON STORM SEWER

FUNCTIONAL SERVICING: THE PROPOSED ADDITIONS DO NOT REQUIRE ANY

ROOF RAIN WATER: EXISTING ROOF RAIN WATER CURRENTLY

INTERIOR FLOOR DRAINS:



THE FOLLOWING DRAWINGS AND NOTES TO BE CONSIDERED

CONTRACTOR MUST VERIFY ALL JOB DIMENSIONS,

ALL DRAWINGS, DETAILS AND SPECIFICATIONS, AND

REPORT ANY DISCREPANCIES TO ENGINEER BEFORE

ANY DISCREPANCY BETWEEN THIS DRAWING AND

ALL DRAWINGS AND SPECIFICATIONS ARE INSTRUMENTS

OF SERVICE AND THE PROPERTY OF M C ENGINEERING

R CONSULTANTS WHICH MUST BE RETURNED AT THE

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ONLY FOR THE PROJECT SO NOTED. REPRODUCTION OF

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NEGOTIATION, LEASE ETC. CARRY ALL THE ABOVE

OTHER PURPOSE, OTHER THAN THIS PROJECT, WITHOUT

ACTUAL FIELD CONDITIONS WHICH MAY IMPACT

WORK IS TO BE REPORTED TO P.ENGINEER.

PROCEEDING WITH THE WORK.

COMPLETION OF THE WORK.

COPYRIGHT PROTECTION.

LEGAL DESCRIPTION:

GEOGRAPHIC TOWNSHIP OF

TOWNSEND,

TOWN OF SIMCOE,

NORFOLK COUNTY

THEIR DESCRIPTIONS.

OF SUBJECT PROPERTY

PARTS 1,2,3 OF 37R-9460 PART OF LOT 2 CONCESSION 14

LEGAL PROPERTY BOUNDARY INFORMATION:

BENCHMARK: ELEV. 226.51

ISSUED FOR 3RD SUBMISSION

ISSUED FOR 2ND SUBMISSION

ISSUED FOR PRECONSULTATION

ISSUED FOR CLIENT REVIEW

ISSUED FOR APPROVAL

JUNE 6th, 2018

MAY. 14th, 2018

FEB. 14th, 2018

IAN. 24th, 2018

DATE

HE LEGAL PROPERTY BOUNDARY INFORMATION FOR THIS

DRAWING IS BASED ON SURVEY DRAWING PO6 03 A891

PREPARED BY JEWITT AND DIXON LTD., SURVEYORS,

REGISTERED APR. 13TH, 2006, AS PLAN 37R-9460.

REFER TO THIS DRAWING FOR FURTHER INFORMATION

TOP OF NORTH OUTLET ON EXISTING FIRE HYDRANT ADJACENT TO SOUTH-WEST CORNER

REGARDING PROPERTY BOUNDARIES AND MONUMENTS AN

PRIMARY DIMENSIONS ARE METRIC.

PROJECT NORTH

C ENGINEERING P.O. Box 1002, Simcoe, Ont. N3Y 58 Tel: 519-428-6790 Fax: 519-426-8960 E-mail: mail@mcengineering.net

A DIVISION OF 392583 ALBERTA LTD.

PROPOSED BUILDING **ADDITIONS**

SIMCOE HYUNDA 853340 ONTARIO LIMITED

#121 QUEENSWAY E. (HIGHWAY #3) SIMCOE, ONTARIO CONTACT: KYLE KOWTALUK PHONE: 519-426-2777

SITE GRADING AND SERVICING

200.00	DRAWN BY:
200.00	CHECKED BY:
	DATE:

DWG. NO.: REV. NO.:

M.E.M. FEB. 2018 FILE NAME: 6630.dwg

AS SHOWN

R.M./C.M.

M C ENGINEERING A DIVISION OF 392583 ALTA. LTD.

SANITARY SEWER AND DIRECTION OF FLOW STORM SEWER / MANHOLE AND DIRECTION OF FLOW WATERMAIN & VALVE / FIRE HYDRANT EXISTING SPOT ELEVATION PROPOSED DRAINAGE EXISTING GRADES TO REMAIN 200.00

PROPOSED GRADES PROPOSED GRADES

PROPOSED SWALE GRADES TEMPORARY SILTATION CONTROL FENCE PER O.S.P.D. 219.130