

THE FOLLOWING DRAWINGS AND NOTES TO BE CONSIDERED AS PART OF THE CONSTRUCTION DRAWINGS:

- ☐ CONTRACTOR MUST VERIFY ALL JOB DIMENSIONS, ALL DRAWINGS, DETAILS AND SPECIFICATIONS, AND REPORT ANY DISCREPANCIES TO ENGINEER BEFORE PROCEEDING WITH THE WORK.
- ☐ ANY DISCREPANCY BETWEEN THIS DRAWING AND ACTUAL FIELD CONDITIONS WHICH MAY IMPACT WORK IS TO BE REPORTED TO ENGINEER.
- ☐ ALL DRAWINGS AND SPECIFICATIONS ARE INSTRUMENTS OF SERVICE AND THE PROPERTY OF M C ENGINEERING OR CONSULTANTS WHICH MUST BE RETURNED AT THE COMPLETION OF THE WORK.
- ☐ THE DRAWINGS AND SPECIFICATIONS ARE TO BE USED ONLY FOR THE PROJECT SO NOTED. REPRODUCTION OF THE DOCUMENTS IN PART OR IN WHOLE FOR ANY OTHER PURPOSE, OTHER THAN THIS PROJECT, WITHOUT THE WRITTEN CONSENT OF M C ENGINEERING IS PROHIBITED. DRAWINGS ISSUED FOR GENERAL PURPOSE, NEGOTIATION, LEASE ETC. CARRY ALL THE ABOVE COPYRIGHT PROTECTION.
- ☐ PRIMARY DIMENSIONS ARE METRIC.

LEGAL DESCRIPTION:

PARTS 1, 2, 3 OF 37R-9460
PART OF LOT 2 CONCESSION 14
GEOGRAPHIC TOWNSHIP OF
TOWNSHIP OF SIMCOE,
NORFOLK COUNTY

LEGAL PROPERTY BOUNDARY INFORMATION:

THE LEGAL PROPERTY BOUNDARY INFORMATION FOR THIS DRAWING IS BASED ON SURVEY DRAWING P03 4891 PREPARED BY JEWITT AND DIXON LTD., SURVEYORS REGISTERED APR. 13TH, 2006, AS PLAN 37R-9460. REFER TO THIS DRAWING FOR FURTHER INFORMATION REGARDING PROPERTY BOUNDARIES AND MONUMENTS AND THEIR DESCRIPTIONS.

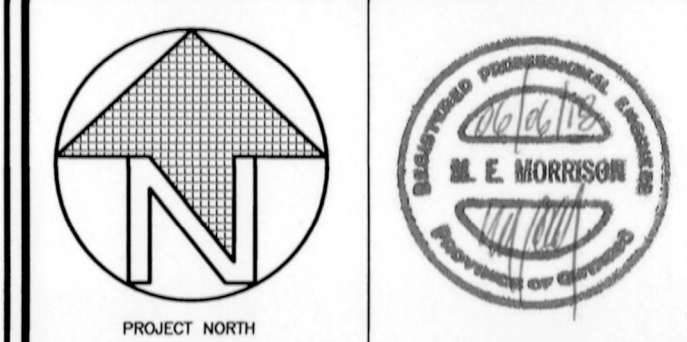
BENCHMARK: ELEV. 226.51

TOP OF NORTH OUTLET ON EXISTING FIRE HYDRANT ADJACENT TO SOUTH-WEST CORNER OF SUBJECT PROPERTY

NO.	DESCRIPTION	DATE	BY
4	ISSUED FOR 3RD SUBMISSION	JUNE 7th, 2018	A.D.
3	ISSUED FOR 2ND SUBMISSION	MAY 14th, 2018	A.D.
2	ISSUED FOR 1ST SUBMISSION	MAR. 21st, 2018	A.D.
1	ISSUED FOR PRECONSULTATION	FEB. 14th, 2018	A.D.
A	ISSUED FOR CLIENT REVIEW	JAN. 24th, 2018	A.D.

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DO NOT SCALE DRAWINGS: THESE DRAWINGS SHOW INTENT OF THE DESIGN ONLY OR EXISTING CONDITIONS AND MAY NOT REFLECT EXACT LOCATIONS.



M C ENGINEERING P.O. Box 1002, Simcoe, Ont. N3Y 5E3
Tel: 519-428-8790 Fax: 519-428-8960
E-mail: mcl@mcengineering.net
A DIVISION OF 392583 ALTA. LTD.

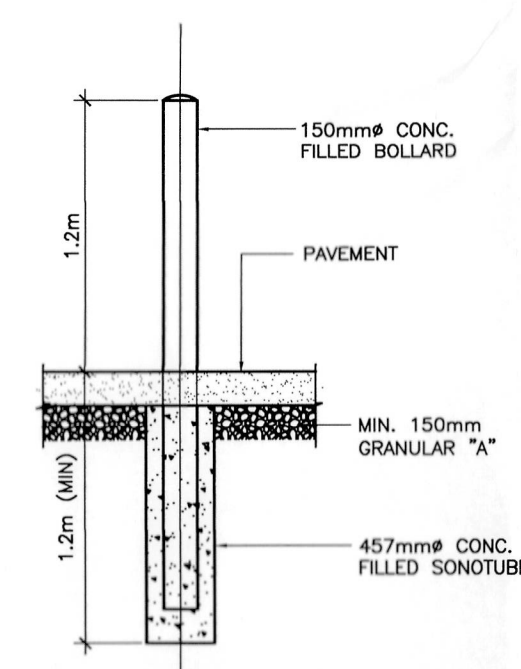
PROJECT NAME
PROPOSED BUILDING
ADDITIONS
SIMCOE HYUNDAI
853340 ONTARIO LIMITED
#121 QUEENSWAY E. (HIGHWAY #3)
SIMCOE, ONTARIO
CONTACT: KYLE KOWTALUK
PHONE: 519-426-2777

SHEET TITLE: SITE PLAN

SCALE: AS SHOWN	PROJECT NO.: 6630
DRAWN BY: R.M./C.B.	DWG. NO.: SP1
CHECKED BY: M.E.M.	REV. NO.: 4
DATE: FEB. 2018	
FILE NAME: 6630.dwg	

GENERAL NOTES:

- PRIMARY UNITS ARE METRIC. DIMENSIONS ARE METERS.
- PROPER SILTATION MEASURES TO TAKE PLACE. SILT CONTROLS, I.E. SILT FENCING AROUND ALL CONSTRUCTION AREAS ARE TO BE IN PLACE PRIOR TO THE START OF SITE WORKS, AND BE MAINTAINED FOR THE DURATION OF CONSTRUCTION (SILT FENCING TO BE PROPERLY SECURED C/W 1 BAR POSTS IN GROUND & C/W FILTER FABRIC) FENCING TO BE INSTALLED AROUND ALL CONSTRUCTION AREAS.
- ANY DISCREPANCY(S) BETWEEN INFORMATION ON THIS SITE DRAWING AND ACTUAL FIELD CONDITIONS, WHICH MAY IMPACT ON THE PROPOSED DEVELOPMENT, ARE TO BE REPORTED TO THE SENIOR CONSULTANT / P.ENG.
- REQUIRED SERVICES & SERVICE CONNECTIONS NOT SHOWN ON DRAWING TO BE THE RESPONSIBILITY OF THE CONTRACTOR/OWNER.
- ALL NECESSARY RELOCATIONS OR REMOVALS OF EXISTING PHYSICAL SITE FEATURES INCLUDING U/G SERVICES TO BE THE RESPONSIBILITY OF THE CONTRACTOR/OWNER.
- EXACT LOCATIONS & ELEVATIONS OF ALL EXISTING SERVICES (SANITARY SEWER, WATER, GAS, BELL, ETC.), GRADES, MATERIAL LENGTHS, ELEVATIONS, INVERTS, ETC. TO BE VERIFIED BY CONTRACTOR PRIOR TO COMMENCEMENT OF ANY SITEWORK.
- ANY FILL PLACED ON SITE MUST BE COMPACTED TO A MIN. 98% STANDARD PROCTOR DENSITY.
- ALL DISTURBED LANDSCAPE AREAS ARE TO BE RE-SODDED.
- THE APPROVAL OF THIS PLAN DOES NOT EXEMPT THE OWNER'S BONDED CONTRACTOR FROM THE REQUIREMENTS TO OBTAIN THE VARIOUS PERMITS/APPROVALS NORMALLY REQUIRED TO COMPLETE A CONSTRUCTION PROJECT, SUCH AS, BUT NOT LIMITED TO THE FOLLOWING:
 - ROAD CUT PERMITS
 - SEWER PERMITS
 - RELOCATION OF SERVICES
- THIS DRAWING TO BE READ IN CONJUNCTION WITH ANY AND ALL OTHER DOCUMENTS SUBMITTED FOR MUNICIPAL APPROVAL(S).
- RIGID INSULATION (2 LAYERS OF 1" STYROFOAM) IS TO BE PROVIDED OVER ALL NEW STORM PIPE WHERE COVER DOES NOT EXCEED 1.2M. REFER TO OSPD 1109.030
- ALL EXCESS EXCAVATED MATERIAL WILL BE REMOVED FROM THE SITE.
- THE EXISTING DRAINAGE PATTERN WILL BE MAINTAINED EXCEPT WHERE NOTED. PROPOSED ELEVATIONS SHOW GENERAL INTENT OF GRADING PLAN.
- ALL WORK WITHIN THE MUNICIPAL RIGHT-OF-WAY TO BE COMPLETED TO THE SATISFACTION OF NORFOLK COUNTY.
- ALL SURFACE DRAINAGE FOR THE SUBJECT SITE IS TO BE SELF-CONTAINED.



3 CONCRETE-FILLED PIPE BOLLARD
SCALE: N.T.S.

4 FIRE ACCESS ROUTE SIGNAGE
SCALE: N.T.S.

LEGEND

- PROPERTY LINE — P/L —
- OTHER BOUNDARY / EASEMENT LINE — — —
- POST MOUNTED SIGN —
- APPROX. LOCATION OF SURVEYOR'S "IRON BAR" AS INDICATED ON DRAWINGS BY OTHERS. REFER TO ACTUAL DRAWING BY O.L.S. FOR EXACT SURVEY REFERENCE AND TYPE.
- OVER-HEAD DOOR LOCATION — O.H.D. —
- MANDOOR EXIT/ENTRANCE —
- CONCRETE FILLED BOLLARD REFER TO DETAIL 3 ON SP1
- DENOTES EXISTING SIDEWALK RAMP — SR —
- DENOTES CATCH BASIN — CB —
- DENOTES FIRE HYDRANT — FH —
- DENOTES MAN HOLE — MH —
- GAS VALVE / REG. STN./METER —

SITE STATISTICS

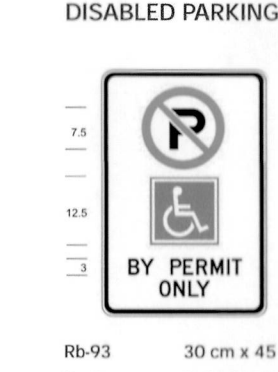
	REQUIRED	PROVIDED	% LOT COVERAGE
ZONING — SERVICE COMMERCIAL (CS)	—	—	100 %
TOTAL LOT AREA	—	4,047 m ²	
GROSS FLOOR AREA OF BLDG. ADDITION(S)	—	851.00 m ²	
GROSS FLOOR AREA OF BLDG. ADDITION(S)	—	234 m ²	
PROPOSED BUILDING GROSS FLOOR AREA	1416.45m	1,085 m ²	
MAXIMUM BUILDING LOT COVERAGE	35% (MAX)	—	27 %
BUILDING HEIGHT	11m (MAX.)	5m	
PAVED AREAS	—	1,785 m ²	44 %
LANDSCAPED OPEN SPACE	—	1,177 m ²	25 %
FRONT YARD SET BACK	3m (MIN)	30.36m	
SIDE YARD EAST	3m (MIN)	10.79m	
SIDE YARD WEST	3m (MIN)	3.06m	
REAR YARD	9m (MIN)	64.21m	
PARKING SPACES	—	—	
1 PARKING SPACE PER 35m ² PER G.F.A.	32 (INCL. 2 B/T SPACES)	32 (INCL. 2 B/T SPACES)	
BARRIER-FREE PARKING	—	—	
(1) TYPE "A" AND (1) TYPE "B" BARRIER-FREE PARKING SPACES	2	2	

Van Accessible Type 'A' Barrier-free Parking Space



5 BARRIER-FREE PARKING SIGNAGE
SCALE: N.T.S.

Car Accessible Type 'B' Barrier-free Parking Space



DISABLED PARKING PERMIT Sign



RB-93 30 cm x 45 cm
Font Colour
Helvetica Bold Condensed
Interlocking Symbol — Red Reflective
Symbol of Access and Symbol Border — Blue Reflective
Legend & Border — Black
Background — White Reflective

Date: 04/07/2018
File: SPPL2018060
Agreement Number: AGNPL2018074
Registration Date: SEP 21, 2018
Instrument Number: NK113663

Notes:
1. This site plan does not provide relief from the provisions of any applicable by-law, code, rule, regulation, or agreement.
2. Grading, drainage, landscaping, and lighting are to be in accordance with this approved site plan drawing.
3. Separate approved plans and permits may be required for water, sewer, and utility connections and access.

Approved by: Alisha Cull, BES, MCIP, RPP
Senior Planner

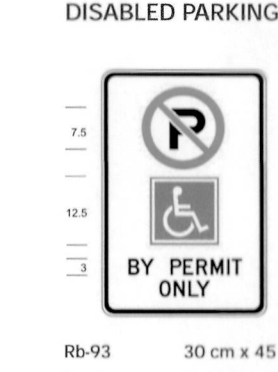


Van Accessible Type 'A' Barrier-free Parking Space



5 BARRIER-FREE PARKING SIGNAGE
SCALE: N.T.S.

Car Accessible Type 'B' Barrier-free Parking Space



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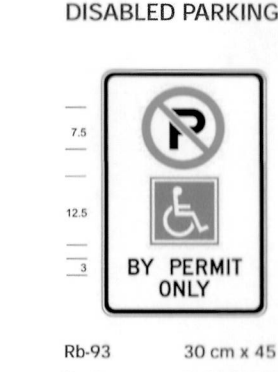


Van Accessible Type 'A' Barrier-free Parking Space



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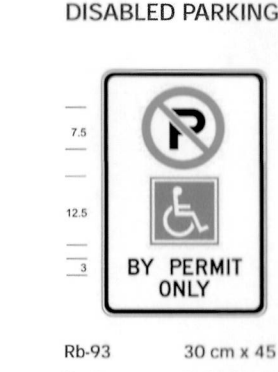


Van Accessible Type 'A' Barrier-free Parking Space



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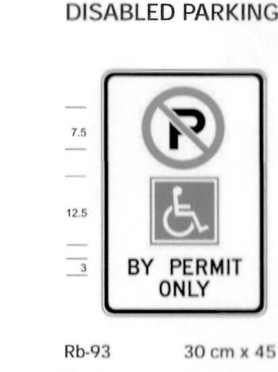


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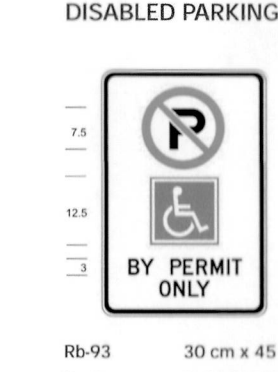


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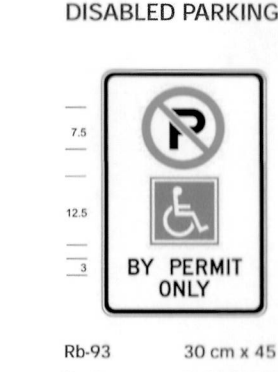


Van Accessible Type 'A' Barrier-free Parking Space



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Car Accessible Type 'B' Barrier-free Parking Space



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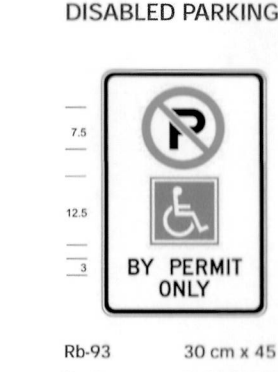


Van Accessible Type 'A' Barrier-free Parking Space



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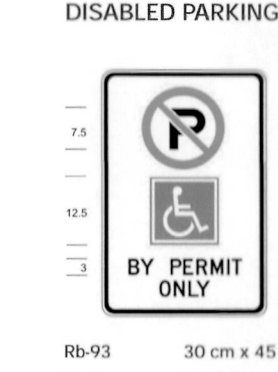


Van Accessible Type 'A' Barrier-free Parking Space



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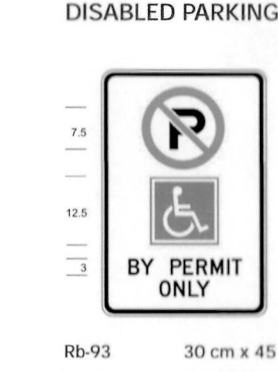


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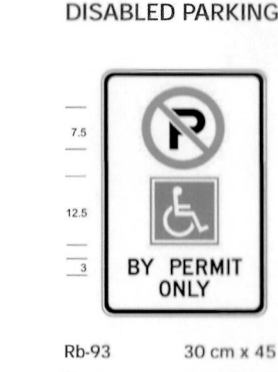


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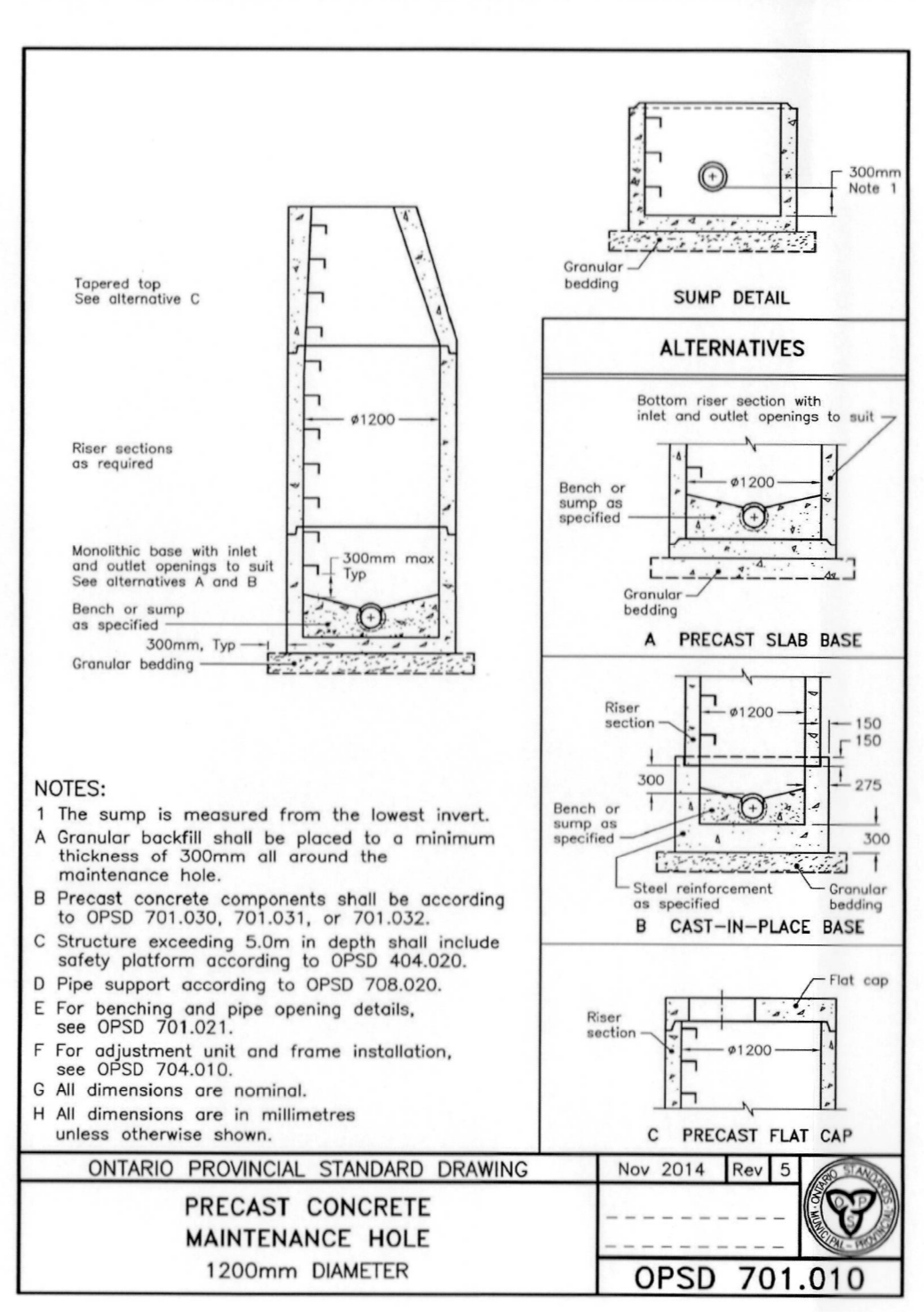
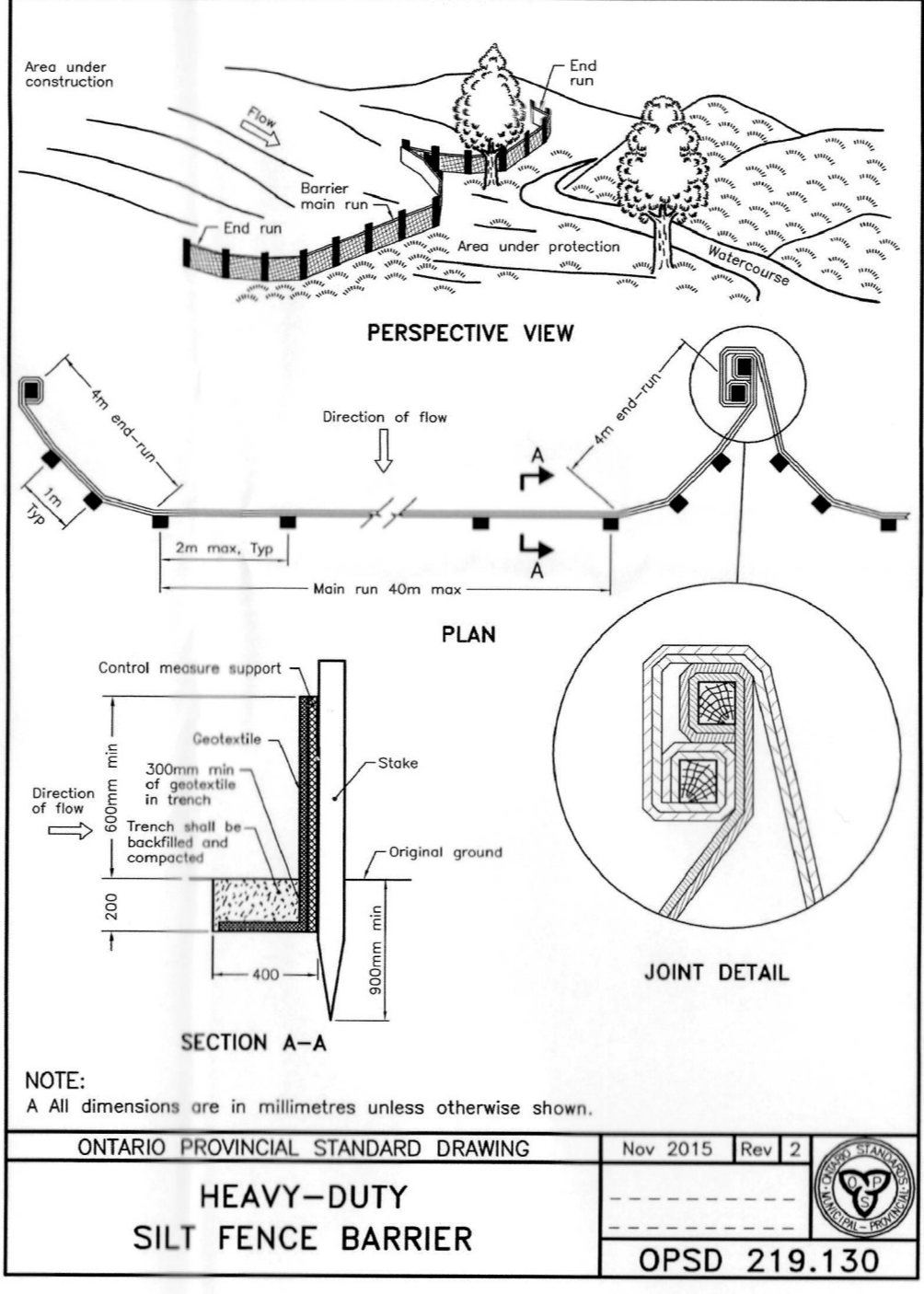
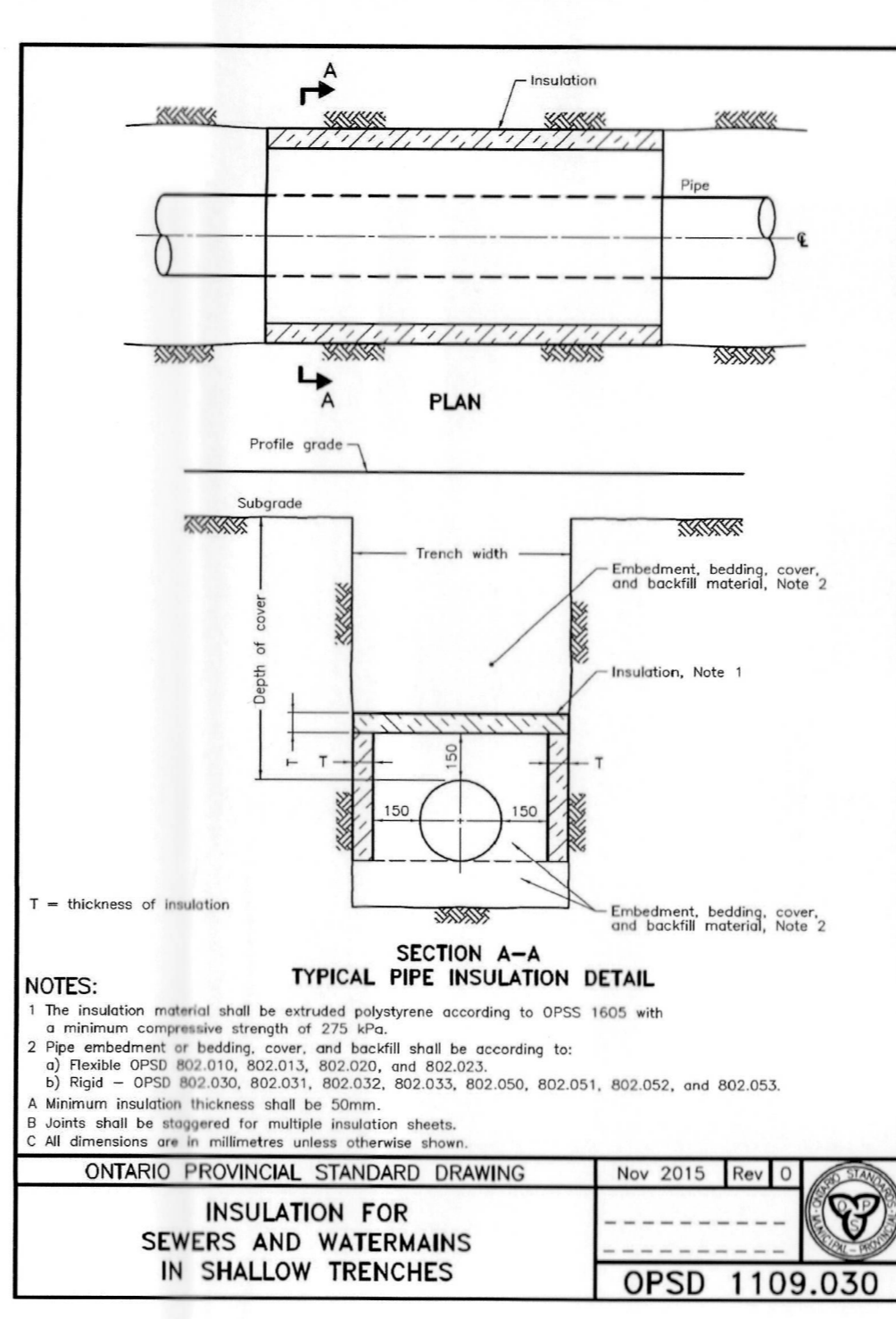
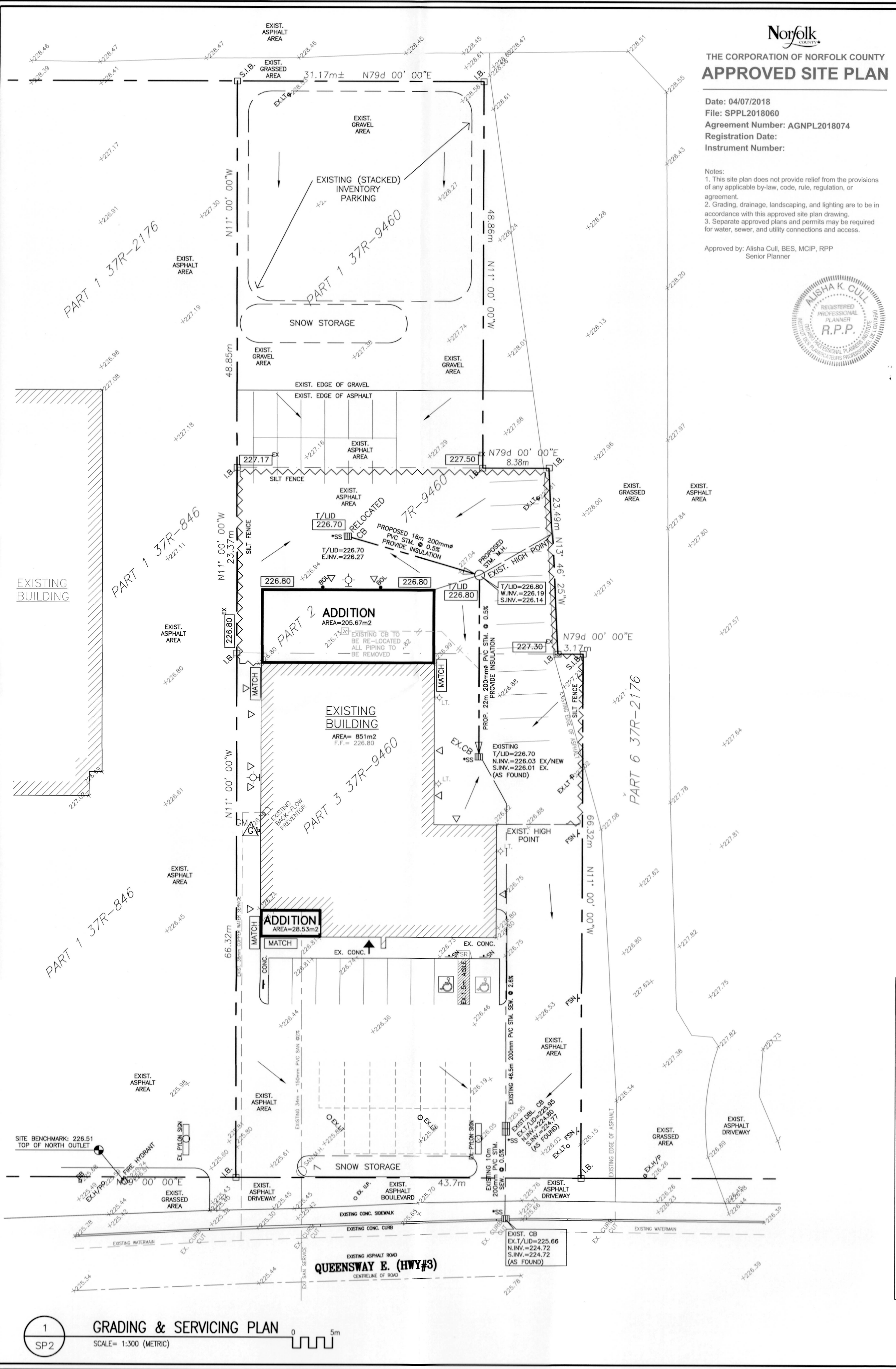
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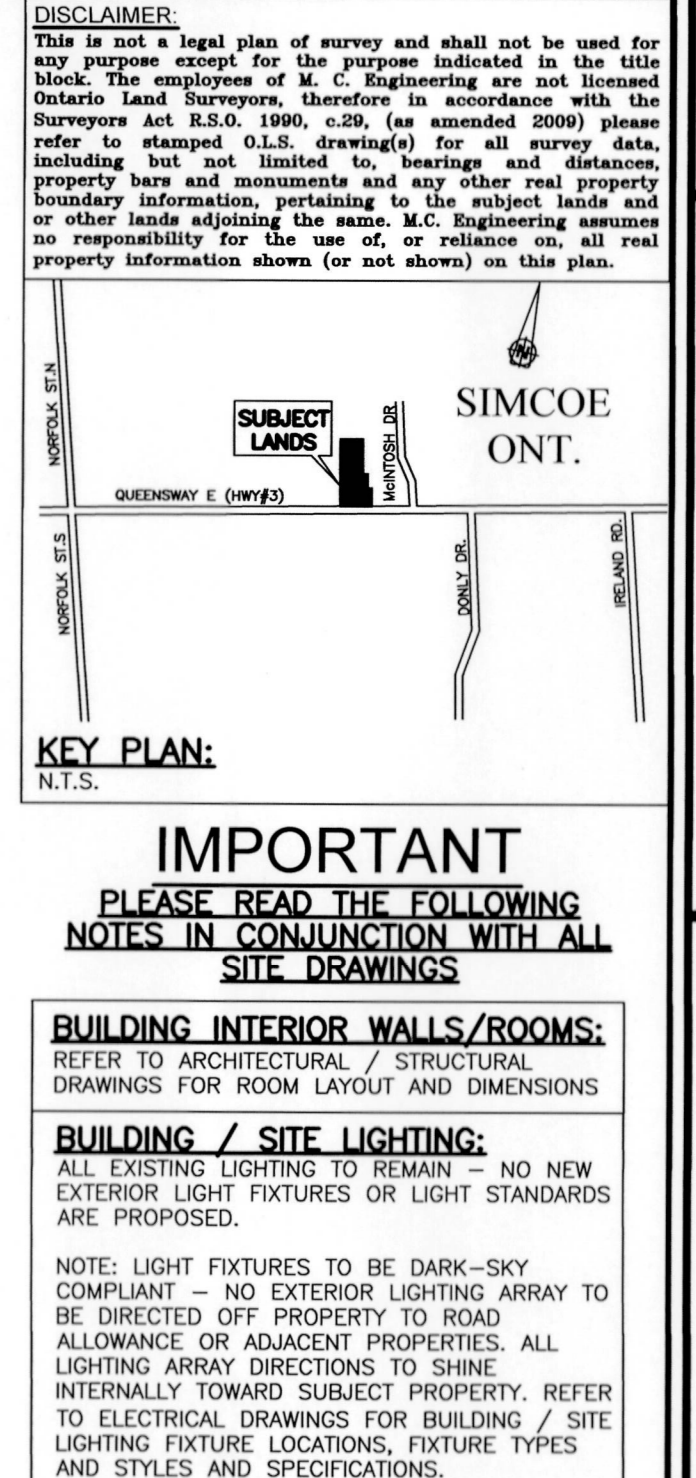
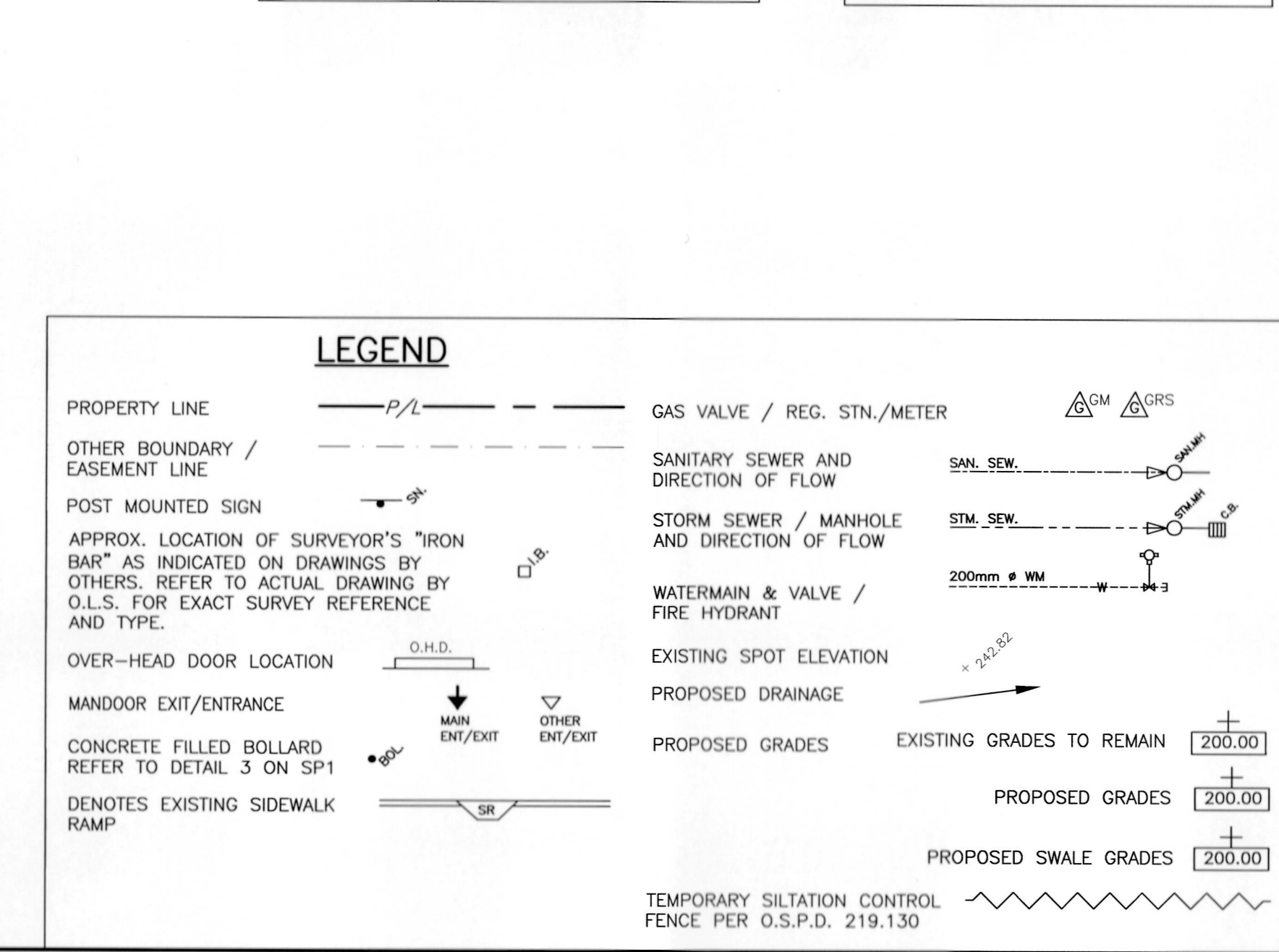
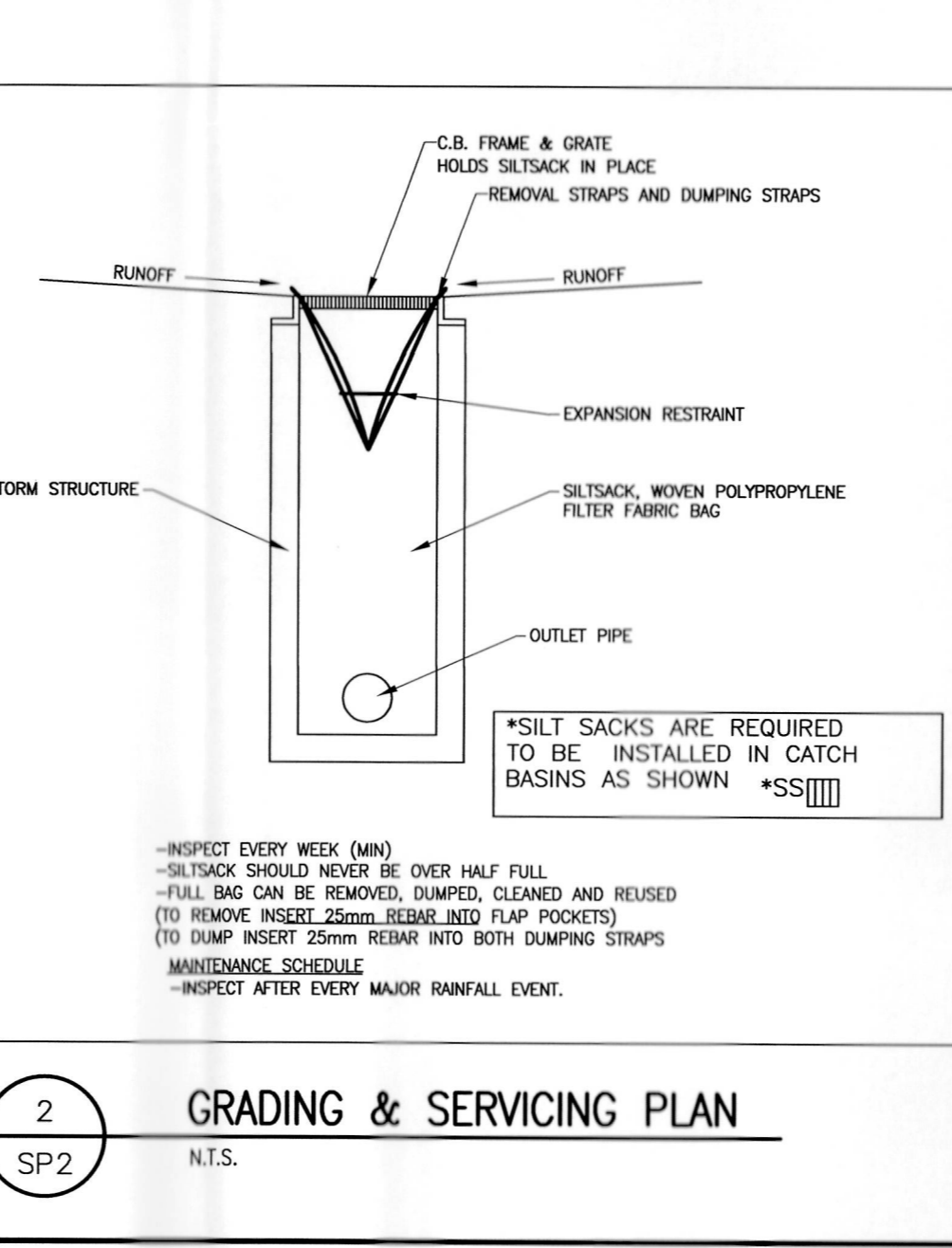
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Notes



SERVICING SPECIFICATIONS	
ITEM	REFER TO DETAIL
STORM SEWER	PVC SDR 35
CATCH BASINS	OPSD 705.020 & OPSD 705.010
MANHOLES	OPSD 701.010
SITE LIGHTING FIXTURES	REFER TO ELECTRICAL DRAWINGS FOR BUILDING / SITE LIGHTING FIXTURES AND FIXTURE LOCATIONS AND SPECIFICATIONS. NO EXTERIOR LIGHTING ARRAY TO BE DIRECTED OFF PROPERTY TO ROAD ALLOWANCE OR ADJACENT PROPERTIES. ALL LIGHTING ARRAY DIRECTIONS TO SHINE INTERNALLY TOWARD SUBJECT PROPERTY.
INTERIOR PLUMBING / PLUMBING FIXTURES	REFER TO MECHANICAL DRAWINGS FOR ALL INTERIOR PLUMBING, PLUMBING FIXTURES AND PIPING
BUILDING / SITE HYDRO ELECTRICAL / COMMUNICATIONS	REFER TO ELECTRICAL DRAWINGS FOR BUILDING / SITE HYDRO ELECTRICAL AND COMMUNICATIONS (BELL/ROGERS ETC.) CONDUIT SERVICES, LOCATIONS, EQUIPMENT, FIXTURE TYPES AND SPECIFICATIONS.
BUILDING / SITE NATURAL GAS LINES, FIXTURES AND EQUIPMENT	REFER TO MECHANICAL DRAWINGS FOR NATURAL GAS SERVICES, LOCATIONS, EQUIPMENT, FIXTURE TYPES AND SPECIFICATIONS.
ROOF RAIN WATER LEADERS	ROOF RAIN WATER LEADERS TO BE DIRECTED TO EXISTING INTERNAL SITE STORM SEWER SYSTEM.
INTERIOR FLOOR DRAINS	INTERNAL FLOOR DRAINS AT NEW ADDITION TO DISCHARGE TO INTERNAL EXISTING OIL INTERCEPTOR AND EXISTING SANITARY SYSTEM.



LEGEND	
PROPERTY LINE	P/L
OTHER BOUNDARY / EASEMENT LINE	---
POST MOUNTED SIGN	+
APPROX. LOCATION OF SURVEYOR'S "IRON BAR" AS INDICATED ON DRAWINGS BY OTHERS. REFER TO ACTUAL DRAWING BY O.L.S. FOR EXACT SURVEY REFERENCE AND TYPE.	+
OVER-HEAD DOOR LOCATION	O.H.D.
MANDOOR ENT/EXIT	ENT/EXIT
CONCRETE FILLED BOLLARD REFER TO DETAIL 3 ON SP1	+
DENOTES EXISTING SIDEWALK RAMP	SR
GAS VALVE / REG. STN./METER	GM GR
SANITARY SEWER AND DIRECTION OF FLOW	SAN. SEW.
STORM SEWER / MANHOLE AND DIRECTION OF FLOW	STM. SEW.
WATERMAIN & VALVE / FIRE HYDRANT	W.M.
EXISTING SPOT ELEVATION	+
PROPOSED DRAINAGE	+
PROPOSED GRADES	+
EXISTING GRADES TO REMAIN	+
PROPOSED SWALE GRADES	+
TEMPORARY SILTATION CONTROL FENCE PER O.S.P.D. 219.130	+

THE FOLLOWING DRAWINGS AND NOTES TO BE CONSIDERED AS PART OF THE CONSTRUCTION DRAWINGS:

CONTRACTOR MUST VERIFY ALL JOB DIMENSIONS, ALL DRAWINGS, DETAILS AND SPECIFICATIONS, AND REPORT ANY DISCREPANCIES TO ENGINEER BEFORE PROCEEDING WITH THE WORK.

ANY DISCREPANCY BETWEEN THIS DRAWING AND ACTUAL FIELD CONDITIONS WHICH MAY IMPACT WORK IS TO BE REPORTED TO P.ENGINEER.

ALL DRAWINGS AND SPECIFICATIONS ARE INSTRUMENTS OF SERVICE AND THE PROPERTY OF M.C. ENGINEERING OR CONSULTANTS WHICH MUST BE RETURNED AT THE COMPLETION OF THE WORK.

THE DRAWINGS AND SPECIFICATIONS ARE TO BE USED ONLY FOR THE PROJECT SO NOTED. REPRODUCTION OF THE DOCUMENTS IN PART OR IN WHOLE FOR ANY OTHER PURPOSE, OTHER THAN THIS PROJECT, WITHOUT THE WRITTEN CONSENT OF M.C. ENGINEERING IS PROHIBITED. DRAWINGS ISSUED FOR GENERAL PURPOSE, NEGOTIATION, LEASE ETC. CARRY ALL THE ABOVE COPYRIGHT PROTECTION.

PRIMARY DIMENSIONS ARE METRIC.

LEGAL DESCRIPTION:

PARTS 1,2,3 OF 37R-9460
PART OF LOT 2 CONCESSION 14
GEOGRAPHIC TOWNSHIP OF
TOWNSHIP OF
TOWN OF SIMCOE,
NORFOLK COUNTY.

LEGAL PROPERTY BOUNDARY INFORMATION:

THE LEGAL PROPERTY BOUNDARY INFORMATION FOR THIS DRAWING IS BASED ON SURVEY DRAWING P06 Q3 A891 PREPARED BY JEWITT AND DIXON LTD., SURVEYORS, REGISTERED APR. 13TH, 2006, AS PLAN 37R-9460. REFER TO THIS DRAWING FOR FURTHER INFORMATION REGARDING PROPERTY BOUNDARIES AND MONUMENTS AND THEIR DESCRIPTIONS.

BENCHMARK: ELEV. 226.51
TOP OF NORTH OUTLET ON EXISTING
FIRE HYDRANT ADJACENT TO SOUTH-WEST CORNER
OF SUBJECT PROPERTY

NO.	REVISION	DESCRIPTION	DATE	BY
4	ISSUED FOR 3RD SUBMISSION		JUNE 6th, 2018	A.D.
3	ISSUED FOR 2ND SUBMISSION		MAY. 14th, 2018	A.D.
2	ISSUED FOR APPROVAL		MAR. 21st, 2018	A.D.
1	ISSUED FOR PRECONSULTATION		FEB. 14th, 2018	A.D.
A	ISSUED FOR CLIENT REVIEW		JAN. 24th, 2018	A.D.

DO NOT SCALE DRAWINGS. THESE DRAWINGS SHOW INTENT OF THE DESIGN ONLY OR EXISTING CONDITIONS AND MAY NOT REFLECT EXACT LOCATIONS.

PROJECT NORTH

M C ENGINEERING P.O. Box 1002, Simcoe, Ont. N3Y 5B3
Tel: 519-428-6790 Fax: 519-428-8960
E-mail: mail@mcengineering.net
A DIVISION OF 392583 ALBERTA LTD.

PROJECT NAME

PROPOSED BUILDING ADDITIONS

SIMCOE HYUNDAI
853340 ONTARIO LIMITED
#121 QUEENSWAY E. (HIGHWAY #3)
SIMCOE, ONTARIO
CONTACT: KYLE KOWALUK
PHONE: 519-426-2777

SHEET TITLE: SITE GRADING AND SERVICING

SCALE: AS SHOWN
DRAWN BY: R.M./C.M.
CHECKED BY: M.E.M.
DATE: FEB. 2018
FILE NAME: 6630.dwg

PROJECT NO.: 6630
DWG. NO.: SP2
REV. NO.: 4

M C ENGINEERING A DIVISION OF 392583 ALTA. LTD.