

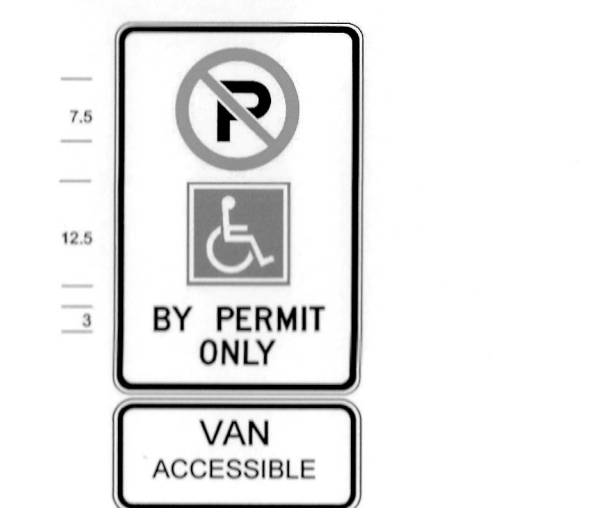
SITE STATISTICS COMMERCIAL SITE

ZONING:	GENERAL INDUSTRIAL (MG)	REQUIRED	PROVIDED	% LOT COVERAGE
TOTAL LOT AREA			3241.77m ²	100%
TOTAL GROUND FLOOR AREA OF BUILDINGS:			570.00m ²	18%
PAVED AREA (HARD SURFACES)			919.65m ²	28%
LANDSCAPED OPEN SPACE			1752.12m ²	54%
LOT FRONTAGE	30m (MIN)		30.48m	
FRONT YARD SET BACK	6m *		24.63m	
SIDE YARD (NORTH)	3m *		3m	
SIDE YARD (SOUTH)	3m *		6.14m	
REAR YARD SET BACK	7.5m *		45.85m	
BUILDING HEIGHT: 45 DEGREE ANGULAR PLANE FROM ANY RESIDENTIAL, COMMERCIAL OR INSTITUTIONAL ZONED LOT.	N/A		5.7m	
PARKING SPACES (COMMERCIAL)				
WAREHOUSE: 1 SPACE / 180m ² = 228m ² :180	2	2		
OFFICE: 1 SPACE / 35m ² = 42m ² :35m ²	2	2		
WHOLESALE: 1 SPACE / 180m ² = 300m ² :180m ²	2	5		
BARRIER-FREE PARKING:				
TYPE 'A' - 3.4m X 5.8m				
1-25 SPACES= 1 REQUIRED				
TYPE 'B' - 2.4m X 5.8m				
1-25 SPACES= 0 REQUIRED				
ACCESSIBLE AISLE - 1.5m (ADJACENT TO ABOVE)				
TOTAL	=3 REQUIRED (INCLUDING 1 BARRIER-FREE)	9 PROVIDED (INCLUDING 1 BARRIER-FREE)		
LOADING SPACES:	N/A	=1		

SPECIFICATIONS

ITEM	REFER TO DETAIL
1 CONCRETE SIDEWALK	OPSD 310.010, OPSD 310.020, OPSD 310.030
2 CONCRETE SIDEWALK ADJACENT TO CURB	OPSD 310.020,
3 CONCRETE SIDEWALK RAMPS	OPSD 310.030
4 LIGHT DUTY ASPHALT PAVING (PARKING LOT ONLY)	(CAR PARKING AREAS) 60mm HL3, 300mm GRANULAR 'A'(COMPACTED TO 98% STD. PROCTOR DENSITY)
5 HEAVY DUTY ASPHALT PAVING (ENTRANCE AND DRIVEWAY)	(ENTRANCE & LANEWAYS / TRUCK ACCESS) 75mm HL8, 50mm HL3, 150mm GRANULAR 'A', 300mm GRANULAR 'B'(COMPACTED TO 98% STD. PROCTOR DENSITY)
6 NEW GRASSED AREAS	SEEDDED
7 SODDED	
8 PAINTED LINEWORK ON PAVEMENT	AT LOCATIONS AS SHOWN, INCLUDING WHEELCHAIR ACCESSIBLE SYMBOL
9 BARRIER-FREE EXCLUSIVE PARKING SIGNAGE	TO BE PER NORFOLK COUNTY STANDARDS (SEE DETAIL THIS PAGE)
10 DRIVEWAY ENTRANCE	ALL WORK WITHIN THE MUNICIPAL RIGHT-OF-WAY TO BE COMPLETED TO THE SATISFACTION OF NORFOLK COUNTY
11 BICYCLE RACK	BICYCLE RACK FOR 2 BICYCLES "BIKE HITCH" BY DERO OR EQUIVALENT
12 FIRE ROUTE SIGNAGE	"NO PARKING FIRE ACCESS ROUTE" (TO BE PER NORFOLK COUNTY STANDARDS (SEE DETAIL THIS PAGE)

DISABLED PARKING PERMIT Sign (VAN ACCESSIBLE TYPE 'A')



Rb-93 30 cm x 45 cm
Font Helvetica Bold Condensed
Colour Interdictory Symbol - Red Reflective
Symbol of Access and Symbol Border - Blue Reflective
Legend & Border - Black
Background - White Reflective

BARRIER-FREE SIGN

N.T.S.

THE CORPORATION OF NORFOLK COUNTY
APPROVED SITE PLAN

Date: August 20, 2018
File: SPPL2018068
Agreement Number: AGNPL2018131
Registration Date: SEP 13 2018
Instrument Number: NK 113424

Notes:
1. This site plan does not provide relief from the provisions of any applicable by-law, code, rule, regulation, or agreement.
2. Grading, drainage, landscaping, and lighting are to be in accordance with this approved site plan drawing.
3. Separate approved plans and permits may be required for water, sewer, and utility connections and access.
Approved by: Mat Vaughan, BES, MCIP, RPP, CMML
Principal Planner



FIRE ACCESS ROUTE SIGN

N.T.S.

GENERAL NOTES:

- PRIMARY UNITS ARE METRIC. DIMENSIONS ARE METERS.
- PROPER SILTATION MEASURES TO TAKE PLACE. SILT CONTROLS, I.E. SILT FENCING AROUND ALL CONSTRUCTION AREAS ARE TO BE IN PLACE PRIOR TO THE START OF SITE WORKS, AND BE MAINTAINED FOR THE DURATION OF CONSTRUCTION (SILT FENCING TO BE PROPERLY SECURED C/W T BAR POSTS IN GROUND & C/W FILTER FABRIC) FENCING TO BE INSTALLED AROUND ALL CONSTRUCTION AREAS. (REFER TO OPSD 219-130).
- ANY DISCREPANCY(S) BETWEEN INFORMATION ON THIS SITE DRAWING AND ACTUAL FIELD CONDITIONS, WHICH MAY IMPACT ON THE PROPOSED DEVELOPMENT, ARE TO BE REPORTED TO THE SENIOR CONSULTANT / P.ENG.
- REQUIRED SERVICES & SERVICE CONNECTIONS NOT SHOWN ON DRAWING TO BE THE RESPONSIBILITY OF THE CONTRACTOR/OWNER.
- ALL NECESSARY RELOCATIONS OR REMOVALS OF EXISTING PHYSICAL SITE FEATURES INCLUDING U/G SERVICES TO BE THE RESPONSIBILITY OF THE CONTRACTOR/OWNER.
- EXACT LOCATIONS & ELEVATIONS OF ALL EXISTING SERVICES (SANITARY SEWER, WATER, GAS, BELL, ETC.), GRADES, MATERIAL LENGTHS, ELEVATIONS, INVERTS, ETC. TO BE VERIFIED BY CONTRACTOR PRIOR TO COMMENCEMENT OF ANY SITEWORK.
- ANY FILL PLACED ON SITE MUST BE COMPACTED TO A MIN. 98% STANDARD PROCTOR DENSITY.
- THE APPROVAL OF THIS PLAN DOES NOT EXEMPT THE OWNER'S BONDED CONTRACTOR FROM THE REQUIREMENTS TO OBTAIN THE VARIOUS PERMITS/APPROVALS NORMALLY REQUIRED TO COMPLETE A CONSTRUCTION PROJECT, SUCH AS, BUT NOT LIMITED TO THE FOLLOWING:
-ROAD CUT PERMITS
-SEWER PERMITS
-RELOCATION OF SERVICES
- THIS DRAWING TO BE READ IN CONJUNCTION WITH ANY AND ALL OTHER DOCUMENTS SUBMITTED FOR MUNICIPAL APPROVAL(S).
- RIGID INSULATION (2 LAYERS OF 1" STYROFOAM) IS TO BE PROVIDED OVER ALL NEW STORM PIPE WHERE COVER DOES NOT EXCEED 1.2m.
- ALL EXCESS EXCAVATED MATERIAL WILL BE REMOVED FROM THE SITE.
- THE EXISTING DRAINAGE PATTERN WILL BE MAINTAINED EXCEPT WHERE NOTED. PROPOSED ELEVATIONS SHOW GENERAL INTENT OF GRADING PLAN.
- ALL WORK WITHIN THE MUNICIPAL RIGHT-OF-WAY TO BE COMPLETED TO THE SATISFACTION OF NORFOLK COUNTY

REFUSE STORAGE/GARBAGE:

TO BE LOCATED AT INTERIOR OF BUILDING

BUILDING / SITE LIGHTING:

ALL EXTERIOR LIGHT FIXTURES TO BE DARK-SKY COMPLIANT - NO EXTERIOR LIGHTING ARRAY TO BE DIRECTED OFF PROPERTY TO ROAD ALLOWANCE OR ADJACENT PROPERTIES. ALL LIGHTING ARRAY DIRECTIONS TO SHINE INTERNALLY TOWARD SUBJECT PROPERTY. REFER TO ELECTRICAL DRAWINGS FOR BUILDING / SITE LIGHTING FIXTURE LOCATIONS, FIXTURE TYPES AND STYLES AND SPECIFICATIONS.

LEGEND

- PROPERTY LINE
- POST MOUNTED SIGN
- CONCRETE FILLED BOLLARD
- MANDOOR EXIT/ENTRANCE
- OVER-HEAD DOOR LOCATION
- OVER-HEAD DOOR LOCATION
- DENOTES SIDEWALK RAMP AND TACTILE SURFACE REFER TO OPSD 310.030
- APPROX. LOCATION OF SURVEYOR'S "IRON BAR" AS INDICATED ON DRAWINGS BY OTHERS. REFER TO ACTUAL DRAWING BY O.L.S. FOR EXACT SURVEY REFERENCE AND TYPE.
- DENOTES EXISTING DECIDUOUS TREE
- DENOTES EXISTING CONIFEROUS TREE
- DENOTES CATCH BASIN
- DENOTES FIRE HYDRANT
- DENOTES MAN HOLE
- PROPOSED WALL-MOUNTED LIGHT FIXTURE. REFER TO NOTE RE: LIGHTING THIS PAGE. LOCATION, TYPE AND STYLE OF FIXTURE TO BE VERIFIED AS PER BUILDING ELECTRICAL DRAWINGS.
- DENOTES RAIN WATER LEADER
- PROPOSED PLANTING BED

DISCLAIMER:
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THE FOLLOWING DRAWINGS AND NOTES TO BE CONSIDERED AS PART OF THE CONSTRUCTION DRAWINGS:

- CONTRACTOR MUST VERIFY ALL JOB DIMENSIONS, ALL DRAWINGS, DETAILS AND SPECIFICATIONS, AND REPORT ANY DISCREPANCIES TO ENGINEER BEFORE PROCEEDING WITH THE WORK.
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- ALL DRAWINGS AND SPECIFICATIONS ARE INSTRUMENTS OF SERVICE AND THE PROPERTY OF M. C. ENGINEERING OR CONSULTANTS WHICH MUST BE RETURNED AT THE COMPLETION OF THE WORK.
- THE DRAWINGS AND SPECIFICATIONS ARE TO BE USED ONLY FOR THE PROJECT SO NOTED. REPRODUCTION OF THE DOCUMENTS IN PART OR IN WHOLE FOR ANY OTHER PURPOSE, OTHER THAN THIS PROJECT, WITHOUT THE WRITTEN CONSENT OF M. C. ENGINEERING IS PROHIBITED. DRAWINGS ISSUED FOR GENERAL PURPOSE, NEGOTIATION, LEASE ETC. CARRY ALL THE ABOVE COPYRIGHT PROTECTION.
- PRIMARY DIMENSIONS ARE METRIC.

KEY PLAN:
N.T.S.

LEGAL DESCRIPTION:
PART 6 AND 21, PLAN 37R-4154
PART LOT 3, CONCESSION 14
GEOGRAPHIC TOWNSHIP OF WINDHAM
TOWN OF SIMCOE
NORFOLK COUNTY

LEGAL PROPERTY BOUNDARY INFORMATION:
THE LEGAL PROPERTY BOUNDARY INFORMATION FOR THIS DRAWING IS BASED ON SURVEY DRAWING P67 04-3820 PREPARED BY JEWETT AND DIXON LTD. O.L.S. REGISTERED AS PLAN 37R-4154 AUGUST 12TH, 1988. GROUND ELEVATION / TOP INFORMATION IS BASED ON REFERENCE TO THIS DRAWING FOR FURTHER INFORMATION REGARDING PROPERTY BOUNDARIES AND MONUMENTS AND THEIR DESCRIPTIONS.

TBM#1 BENCHMARK: 222.061 (GEO)
TOP NUT OF EXISTING FIRE HYDRANT LOCATED APPROX. 14m SOUTH OF SUBJECT PROPERTY, ON EAST SIDE OF PARK ROAD.

NO.	REVISION	DESCRIPTION	DATE
5	ISSUED FOR 3RD SUBMISSION	AUG. 15th 2018	
4	ISSUED FOR 2ND SUBMISSION	JUL. 11th 2018	
3	ISSUED FOR 1ST SUBMISSION	MAR. 23rd 2018	
2	ISSUED FOR APPROVAL	DEC. 15th, 2017	
1	ISSUED FOR PRECONSULT MEETING WITH NORFOLK COUNTY	SEPT. 27th, 2017	
A	ISSUED FOR PRELIMINARY CLIENT REVIEW	SEPT. 5th, 2017	

DO NOT SCALE DRAWINGS: THESE DRAWINGS SHOW INTENT OF THE DESIGN ONLY OR EXISTING CONDITIONS AND MAY NOT REFLECT EXACT LOCATIONS.

M. C. ENGINEERING P.O. Box 1002, Simcoe, Ont. N3Y 5B3
Tel: 519-428-6790 Fax: 519-428-8960
E-mail: mail@mcengineering.net
A DIVISION OF 392583 ALTA LTD.

PROJECT NAME: PROPOSED WAREHOUSE BUILDING FOR NUFLOORS SIMCOE

SITE: 41 PARK ROAD, SIMCOE ON.

CONTACT: GORD VANDEN BEUKEL
456 QUEENSWAY WEST, SIMCOE ON., N3Y 2N3 - PHONE: 519-426-2619

SPPL2018068

SHEET TITLE: SITE PLAN

SCALE:	(AS SHOWN)	PROJECT NO.:	6444
DRAWN BY:	R.M./C.B.	CHECKED BY:	M.E.M.
DATE:	AUG. 2017	DWG. NO.:	SP1
FILE NAME:	6444.dwg	REV. NO.:	5

M. C. ENGINEERING A DIVISION OF 392583 ALTA LTD.

PARK ROAD (CO. RD. #40)

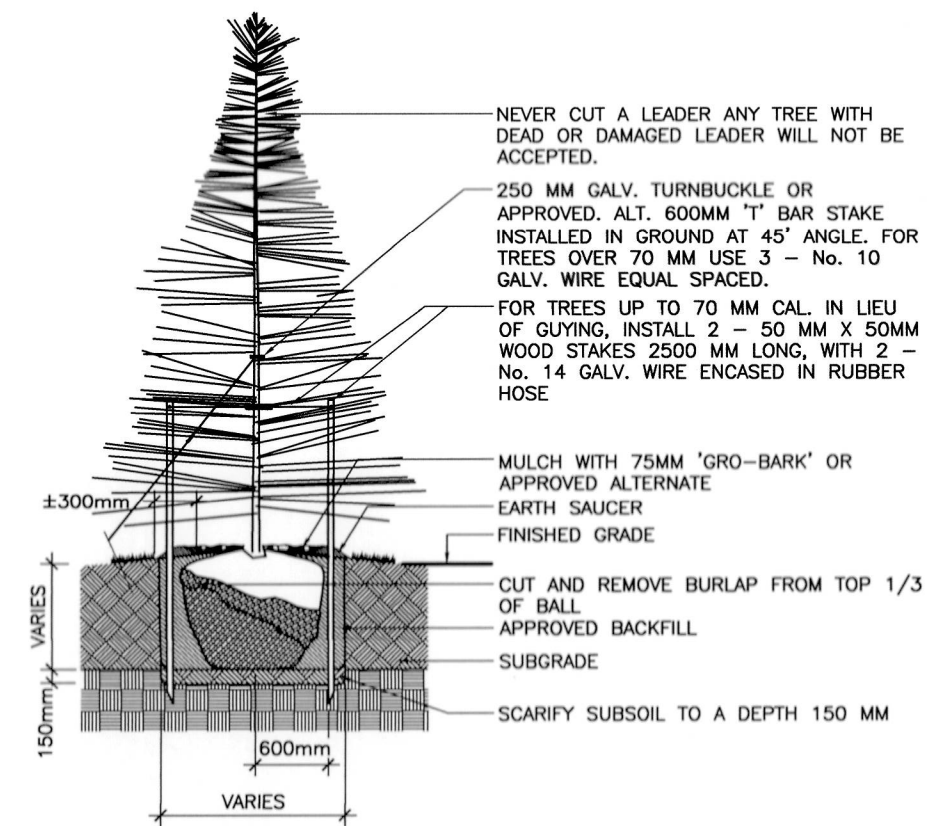
1
SP3

LANDSCAPE PLAN

SCALE= 1:200 (METRIC)

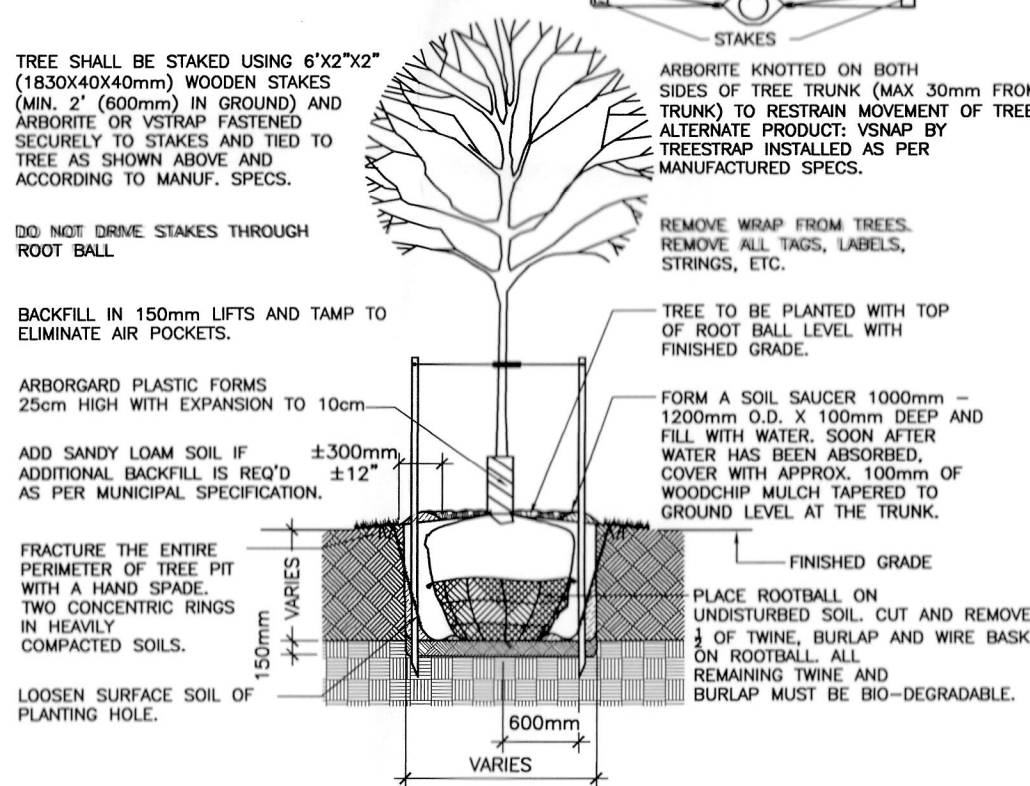
0m 5m 10m

NOTE: CONTRACTOR TO REFER TO SPECIFICATIONS



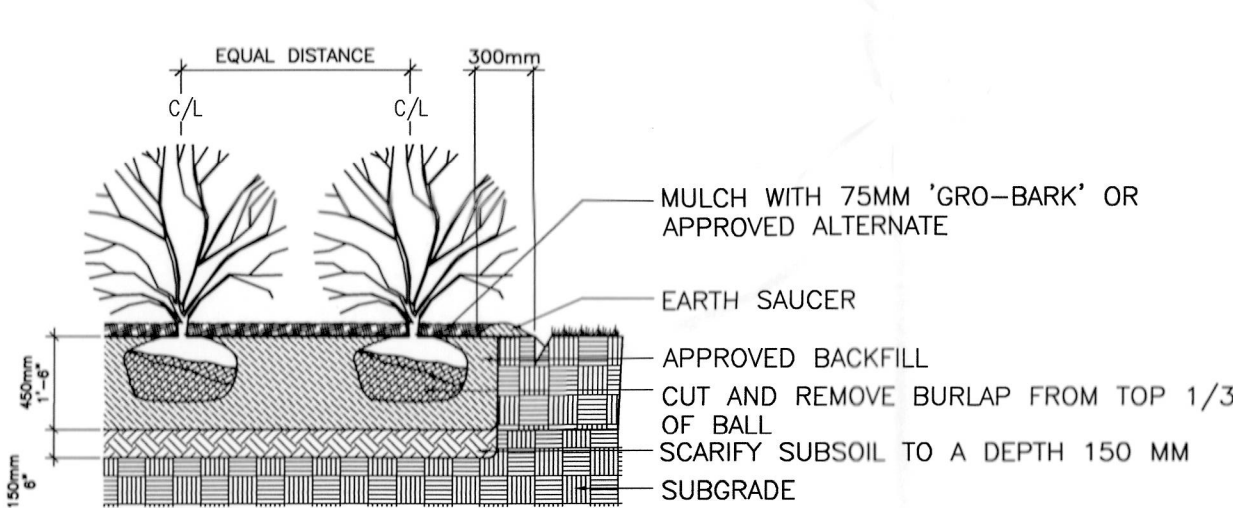
- NOTES:
- DO NOT ALLOW AIR POCKETS WHEN BACKFILLING.
 - DO NOT DAMAGE MAIN ROOTS WHEN INSTALLING STAKES.
 - POSITION CROWN OF ROOT BALL 50MM ABOVE FINISHED GRADE TO ALLOW FOR SETTLING.
 - FOR TREES PLANTED WITHIN PLANTING OR SHRUB BEDS, DELETE EARTH SAUCER.
 - ALL DIMENSIONS SHOWN IN MILLIMETERS.
 - TREES UNDER 70MM REQUIRE TWO STAKES; TREES 70MM CALIPER AND OVER REQUIRE THREE STAKES.
 - TREES 2000MM IN HEIGHT AND LESS REQUIRE ONE STAKE.
 - NO TREE PITS SHALL BE LEFT OPEN OVERNIGHT.
 - THE ABOVE DOES NOT REPRESENT ANY PARTICULAR SPECIES.

NOTE: CONTRACTOR TO REFER TO SPECIFICATIONS



- NOTE:
- TREES ARE SUBJECT TO ACCEPTANCE BY THE CITY. REJECTED TREES SHALL BE REMOVED FROM WORK SITE.
 - TREES SHALL BE REJECTED FOR ANY ONE OF THE FOLLOWING CRITERIA: DOUBLE LEADERS, DAMAGED ROOT BALLS, TRUNK DAMAGE, SPECIES NON-CORRESPONDING TO SPECIFICATIONS, GIRDLED TRUNKS, POORLY DEVELOPED CROWN, ROOT BALL NOT SIZED ACCORDING TO CANADIAN NURSERIES TRADE ASSOCIATION (C.N.T.A.), EXCESSIVELY DRIED LEAVES.

NOTE: CONTRACTOR TO REFER TO SPECIFICATIONS



- NOTES:
- DO NOT ALLOW AIR POCKETS WHEN BACKFILLING.
 - POSITION CROWN OF ROOT BALL 50MM ABOVE FINISHED GRADE TO ALLOW FOR SETTLING.
 - PLANTING METHOD ILLUSTRATED SHALL APPLY EQUALLY TO BARE ROOT STOCK AND BALLED STOCK.
 - SHRUBS PLANTED IN GROUPS SHALL BE SET IN CONTINUOUS BED.
 - THE ABOVE DETAIL DOES NOT REPRESENT ANY PARTICULAR SPECIES.
 - ALL DIMENSIONS SHOWN IN MILLIMETERS.
 - INSTALL 50MM LAYER OF APPROVED MULCH.

PLANTING SCHEDULE						
KEY	COMMON NAME	BOTANICAL NAME	QUANT	CONDITION	PROPERTIES	SIZE
TREES						
DC1	ARCTIC SPRUCE	PICEA CANADENSIS	2	(B&B) W/B	F, FC, NT	7.5m HT
DC2	CONQUEST NORWAY MAPLE	ACER PLATANOIDES 'CONQUEST'	1	(B&B) W/B	F, FC, NT	9m HT
CF1	MOUNTBATTEN JUNPER	JUNIPERUS CHENSIS	2	(B&B) W/B	NT, SC, ST, DT	3.5m HT
SHRUBS						
CFB1	SILVER MOUND ARTEMISA	ARTEMISA SCHUMIDTIANA	3	(2 GAL) POTTED	NT, DT, ST	300mm HT
CFB2	DMARF ALBERTA SPRUCE	PICEA GLAUCA 'DMARF'	2	(3 GAL) POTTED	ST	3m HT

LEGEND: B(BLOOM); SP(SPRING), SM(SUMMER), F(FALL)
FR: FRAGRANCE W. ATTRACTS WILDLIFE
FC: FALL COLOUR WK: WINTER INTEREST
W/B: WIRE BASKET
ST: SALT TOLERANT
T: TEXTURE
FC: FOLIAGE COLOUR
DT: DROUGHT TOLERANT
B&B: B&B & BURLAP
NT: NATIVE

Norfolk
THE CORPORATION OF NORFOLK COUNTY
APPROVED SITE PLAN

Date: August 20, 2018
File: SPPL2018068
Agreement Number:
Registration Date:
Instrument Number:

Notes:
1. This site plan does not provide relief from the provisions of any applicable by-law, code, rule, regulation, or agreement.
2. Grading, drainage, landscaping, and lighting are to be in accordance with this approved site plan drawing.
3. Separate approved plans and permits may be required for water, sewer, and utility connections and access.

Approved by: Mat Vaughan, BES, MCIP, RPP, CMML
Principal Planner

RECORD DRAWINGS:

CONTRACTOR TO VERIFY AND RECORD ALL EXISTING SERVICE CONDITIONS, INCLUDING EXISTING SANITARY AND WATER MAIN CROSSING AND EXISTING SANITARY INVERT AT THE SANITARY MAIN. SUBMIT AS-CONSTRUCTED DRAWINGS CERTIFIED BY ENGINEER OF RECORD AT COMPLETION OF THE WORK.

DISCLAIMER:

M.C. ENGINEERING ASSUMES NO RESPONSIBILITY FOR THE USE OF, OR RELIANCE ON, ALL DATA OR INFORMATION PERTAINING TO EXISTING INFRASTRUCTURE AND SERVICES SHOWN (OR NOT SHOWN) WITHIN THE MUNICIPAL RIGHT-OF-WAY ON THIS DRAWING, INCLUDING, BUT NOT LIMITED TO, UNDERGROUND SEWERS, SERVICES AND STRUCTURES AND OVERHEAD UTILITIES. CONTRACTOR TO VERIFY LOCATIONS, INVERTS, HEIGHTS AND EXISTING CONDITIONS OF SAME PRIOR TO CONSTRUCTION.

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GENERAL PLANTING NOTES:

- TOPSOIL:
ALL SHRUB BEDS AND TREES TO BE BACKFILLED WITH GOOD QUALITY TOPSOIL, SCARIFIED FREE OF ALL STONES, ROOTS, BRANCHES LARGER THAN 1" (25MM) AND COMPACTED TO 85% S.P.D.
ALL SUBSOIL TO BE SCARIFIED TO A DEPTH OF 6" (150 MM) PRIOR TO THE INSTALLATION OF TOPSOIL TO ENSURE NO HARDPAN CONDITIONS.
DIRECT ALL RAINLEADERS AND SUMP LEADERS AWAY FROM PLANTING BEDS AND TO THE DESIGNATED SWALES.
MULCH:
ALL TREE PITS, SHRUB PITS AND PLANTING AREAS ARE TO BE MULCHED WITH MIN. 75MM OF MEDIUM MULCH, UNLESS OTHERWISE NOTED.
PLANTING MATERIAL:
CONTRACTOR TO VERIFY ALL PLANT MATERIAL ON DRAWING(S) AND PLANT MATERIAL LIST(S). REPORT ALL DISCREPANCIES.
PLANTINGS MAY BE ADJUSTED TO SUIT UTILITIES STRUCTURES AND AESTHETIC CONCERNS.
DO NOT INSTALL PLANT MATERIAL IN DRAINAGE SWALES.
ALL TREES TO BE PROPERLY STAKED WITH HOSE COATED WIRE. REMOVE ALL GUY WIRES AFTER 2 FULL GROWING SEASONS.
SOD:
UPON INSTALLATION AREAS SHOULD BE WATERED SO AS TO SATURATE SOD AND THE UPPER 4" (100MM) OF BACKFILL TOPSOIL. AFTER SOD AND SOIL HAVE DRIED SUFFICIENTLY TO PREVENT DAMAGE, IT SHALL BE ROLLED WITH A ROLLER.

LANDSCAPE NOTES:

- ANY PLANT MATERIAL REQUIRES THE APPROVAL OF NORFOLK COUNTY.
- PLANT MATERIAL OR FENCING SHALL BE MINIMUM TO BE PROVIDED BY THE OWNER. ANY ADDITIONS MUST COMPLY WITH THE ZONING BY-LAW.
- ANY SODDING, PLANTING, OR WORK ON LANDS ADJUTING THE PROPERTY FROM THE LOT LINES TO SIDEWALK AND CURBING, SHALL BE TO THE SATISFACTION OF THE CITY.
- ALL LANDSCAPING SHALL BE INSTALLED PRIOR TO THE END OF THE FIRST GROWING SEASON FOLLOWING OCCUPANCY OF THE DEVELOPMENT.
- UNLESS OTHERWISE SPECIFIED ALL LANDSCAPED AREAS TO BE SODDED.
- UNLESS OTHERWISE SPECIFIED ALL UNDEVELOPED AREAS SHALL BE UNDISTURBED AND KEPT FREE AND CLEAR OF DEBRIS AND MAINTAINED.
- ALL PLANTING BEDS TO BE PROPERLY MULCHED.

PLANT MATERIALS:

- ALL TREE PITS SHALL BE AT LEAST 2 FT. (600MM) WIDER THAN BALL OF THE TREE TO BE PLANTED AND SHALL BE DEEP ENOUGH SO THAT THE TOP OF BALL IS AT THE SAME LEVEL AS SURROUNDING GRADE. A MINIMUM OF 6" (150MM) OF BACKFILL SHALL BE PLACED UNDER BALL. TREE PITS ARE NOT TO BE LEFT OPEN OVER NIGHT.
- SHRUB BEDS SHALL BE EXCAVATED TO A DEPTH OF 18" (450MM) AND FILLED WITH APPROVED BACKFILL MATERIAL.
- ALL TREES SHALL HAVE AN EARTH SAUCER AT ITS BASE WITH A DIAMETER AS LARGE AS EXCAVATED AREA TO SHAPE TO RETAIN WATER. SEE DETAIL EARTH SAUCER TO HAVE APPROVED MULCH INSTALLED TO A MINIMUM DEPTH OF 2.5" (63MM).
- ALL BURLAP SHALL BE CUT AND BURIED BELOW SURFACE DURING PLANTING.
- ALL EVERGREENS ARE TO BE WRAPPED THE FIRST WINTER.

OWNER'S SIGNATURE:

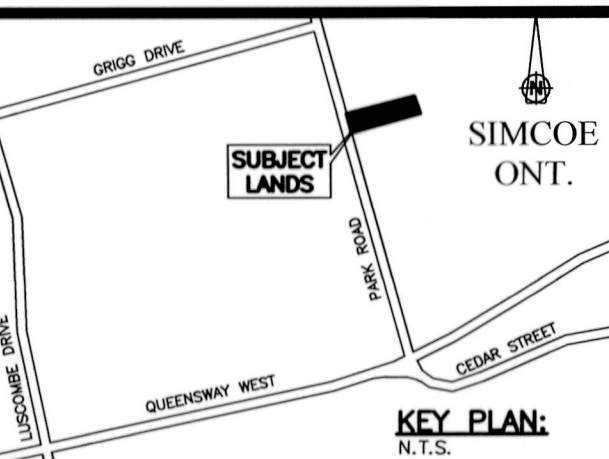
DATE: Aug 23, 2018
OWNER (SIGNATURE): Gord Van Beukel
OWNER (PRINTED): Gord Van Beukel E. Van Beukel

LEGEND

- PROPERTY LINE
POST MOUNTED SIGN
CONCRETE FILLED BOLLARD
MANDOOR EXIT/ENTRANCE
OVER-HEAD DOOR LOCATION
OVER-HEAD DOOR LOCATION
DENOTES SIDEWALK RAMP AND TACTILE SURFACE REFER TO OPSD 310.030
APPROX. LOCATION OF SURVEYOR'S "IRON BAR" AS INDICATED ON DRAWINGS BY OTHERS. REFER TO ACTUAL DRAWING BY O.L.S. FOR EXACT SURVEY REFERENCE AND TYPE.
DENOTES EXISTING DECIDUOUS TREE
DENOTES EXISTING CONIFEROUS TREE
DENOTES CATCH BASIN
DENOTES FIRE HYDRANT
DENOTES MAN HOLE
PROPOSED WALL-MOUNTED LIGHT FIXTURE. REFER TO NOTE RE: LIGHTING THIS PAGE. LOCATION, TYPE AND STYLE OF FIXTURE TO BE VERIFIED AS PER BUILDING ELECTRICAL DRAWINGS.
DENOTES TREE-PROTECTION HOARDING / SILTATION CONTROL FENCE REFER TO DETAILS ON SP4.

THE FOLLOWING DRAWINGS AND NOTES TO BE CONSIDERED AS PART OF THE CONSTRUCTION DRAWINGS:

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- PRIMARY DIMENSIONS ARE METRIC.



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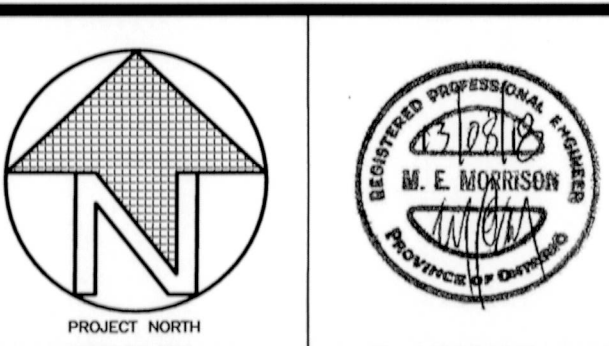
PART 6 AND 21, PLAN 37R-4154
PART LOT 3, CONCESSION 14
GEORGIAN TOWNSHIP OF WHINHAM
TOWN OF SIMCOE
NORFOLK COUNTY

LEGAL PROPERTY BOUNDARY INFORMATION:
THE LEGAL PROPERTY BOUNDARY INFORMATION FOR THIS DRAWING IS BASED ON SURVEY DRAWING PB7 04-3820 PREPARED BY JEWITT AND DIXON LTD. O.L.S. REGISTERED AS PLAN 37R-4154 AUGUST 12TH, 1988. GROUND ELEVATION / TOPO INFORMATION IS BASED ON REFERENCE TO THIS DRAWING FOR FURTHER INFORMATION REGARDING PROPERTY BOUNDARIES AND MONUMENTS AND THEIR DESCRIPTIONS.

BM#1 BENCHMARK: 222.061 (GEO)
TOP RIGHT OF EXISTING FIRE HYDRANT LOCATED APPROX. 14m SOUTH OF SUBJECT PROPERTY, ON EAST SIDE OF PARK ROAD.

NO.	REVISION	DESCRIPTION	DATE
5	ISSUED FOR 3RD SUBMISSION		AUG. 15th 2018
4	ISSUED FOR 2ND SUBMISSION		JUL. 11th 2018
3	ISSUED FOR 1ST SUBMISSION		MAR. 23rd 2018
2	ISSUED FOR APPROVAL		DEC. 15th 2017
1	ISSUED FOR PRECONSTRUCTION MEETING WITH NORFOLK COUNTY		SEPT. 27th, 2017
A	ISSUED FOR PRELIMINARY CLIENT REVIEW		SEPT. 5th, 2017

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M C ENGINEERING P.O. Box 1002, Simcoe, Ont. N3Y 5B3
Tel: 519-426-6790 Fax: 519-426-6960
E-mail: mcl@mcengineering.net
A DIVISION OF 392583 ALTA. LTD.

PROJECT NAME: PROPOSED WAREHOUSE BUILDING FOR NUFLOORS SIMCOE
SITE: 41 PARK ROAD, SIMCOE ON.
CONTACT: GORD VANDEN BEUKEL
456 QUEENSWAY WEST, SIMCOE ON.
N3Y 2N3 - PHONE: 519-426-2619
#SPPL2018068
SHEET TITLE: LANDSCAPE PLAN AND CROSS-SECTION

SCALE: (AS SHOWN)
DRAWN BY: R.M./C.B.
CHECKED BY: M.E.M.
DATE: AUG. 2017
FILE NAME: 6444.dwg
PROJECT NO.: 6444
DWG. NO.: SP3
REV. NO.: 5

