

August 27, 2018

Mr. Mat Vaughan
Principal Planner Norfolk County
Development & Cultural Services
22 Albert Street,
Langton, ON
N0E 1G0

Description of Proposal: Cannabis Production and Processing Facility (BHS Greenhouses Ltd.)

Property location: 92 Luscombe Drive, Simcoe NY3 0A2

Roll Number: 40302504920

Dear Mr. Vaughn,

Please find attached **Site Plan Application** as per the instructions outlined in the Norfolk County Pre-Consultation Minutes held on June 13, 2018. A summary chart as per the fees By-law and a securities cost estimate prepared by CJD Consulting Engineers is also enclosed.

As noted in the minutes, the subject lands are presently under site plan control. There is an existing approved site plan and development agreement in place for a greenhouse business on the subject lands. For this application, Phase 1, BHS Greenhouses Limited is utilizing the existing greenhouse. Please note that the existing Functional Servicing Report is still relevant to this site and is being utilized for this proposed site plan submission as there are no changes to servicing requirements and existing infrastructure is being utilized. Only the crop grown in the existing building and processing methods are changing.

I am submitting with this application, an updated site plan and the original Functional Servicing Report including accompanying plans/studies for this site plan. The relevant professionals have certified that the enclosed plans and studies are still applicable, and that no further changes are required.

In terms of acquiring the land to the south of 92 Luscombe Drive by BHS Greenhouses Limited, it is my understanding from staff that the offer to purchase the land to the south of 92 Luscombe Drive is conditional on the 'site plan' approval for Phase 1 – i.e. to get the greenhouse back up and running. It is my intent to proceed with this with site plan approval as per agreement.

Phase 2 and Phase 3 Site Plan Applications will be forthcoming as the expansion plans are developed. Please contact me at any time for any additional information or clarification.

Sincerely,



Joel Capin - Owner
BHS Greenhouses Limited
92 Luscombe Drive
Simcoe, Ontario
NY3 0A2

BHS Greenhouses Limited
92 Luscombe Drive
Simcoe, Ontario N3 0A2
August 27, 2018

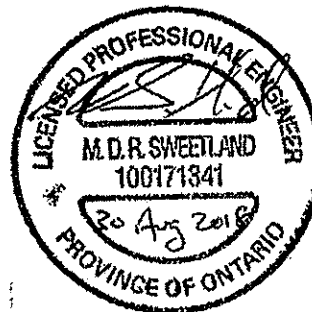
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Summary of Fees and Securities Required

Details	\$ Amount	\$ Total
<u>Fees</u> \$250 - Pre-consultation fee is credited against future planning applications.	250	
<u>Site Plan Fees</u> \$728.00 Site plan application amendment \$885.00 Site Plan and Development Initial Review \$1,682.00 Site Plan Agreement \$306.00 Financial Administration	728 885 1682 306	
Please note that there will be an additional \$500.00 for recirculation of site plan (at third and every recirculation thereafter).	3851	3851
<u>Totals</u>		\$3851

COST ESTIMATE
NORFOLK COUNTY
CANNABIS PRODUCTION FACILITY
92 Luscombe Drive

18091					30-Aug-18
ITEM	DESCRIPTION	UNIT	QUANTITY	UNIT PRICE	TOTAL
Part 1 - Site Work					
1.1	Garbage and Recycling Units	L/S	1.0	\$2,000.00	\$2,000.00
1.2	Parking Curbs	ea	5.0	\$250.00	\$1,250.00
1.3	1.8m High Chain Link Fence with Anticlimb (Installed)	m	185.0	\$60.00	\$11,100.00
1.4	6.0m Wide Chain Link Gate (Installed)	LS	1.0	\$1,500.00	\$1,500.00
Subtotal - Part 1					\$15,850.00
Part 2 - Off Site Work					
2.1	N/A				\$0.00
Subtotal - Part 2					\$0.00
Part 3 - Landscaping					
3.1	N/A				\$0.00
Subtotal - Part 3					\$0.00
Part 4 - Air Treatment Control System					
4.1	Airbox 32 Commercial Carbon Scrubber	ea	1.0	\$11,155.00	\$11,155.00
4.2	Extraction fan with charcoal filtration	ea	3.0	\$1,765.00	\$5,295.00
Subtotal - Part 4					\$16,450.00
Part 5 - Internal Light Shading System					
5.1	Ceiling blackout fabric	LS	1.0	\$11,660.00	\$11,660.00
5.2	Wall blackout fabric	ea	10.0	\$302.50	\$3,025.00
5.3	External plastic sheeting	ea	2.0	\$280.00	\$560.00
Subtotal - Part 5					\$15,245.00
Total					\$47,545.00
10% Security for On-Site Work (Part 1)					\$1,585.00
100% Security for Off-Site Work (Part 2)					\$0.00
100% Security for Landscaping (Part 3)					\$0.00
100% Security for Air Treatment Control (Part 4)					\$16,450.00
100% Security for Internal Light Shading (Part 5)					\$15,245.00
Total Security Required					\$33,280.00





Pre-Consultation Meeting Minutes

Description of Proposal: Cannabis Production and Processing Facility (BHS Greenhouses Ltd.)

Property location: 92 Luscombe Drive, Simcoe

Roll Number: 40302504920

As a result of the information shared at the pre-consultation meeting dated June 13 2018, the following applications and qualified professional documents / reports may be required as part of the development review process.

Please note that various fees are associated with each application and there are also costs for qualified professionals retained to complete various documents / reports. All requirements identified are minimum and determined as of the date of the pre-consultation meeting with the information available at that time. As the proposal proceeds and more information is made available, additional applications, studies, reports, etc. may be required.

This checklist is applicable for a period of one (1) year from the date of meeting. If an application is not received within that time frame, a subsequent pre-consultation meeting may be required due to changes in policies and technical requirements.

Attendance

Proponent	Joel Capin, BHS Greenhouses Bill Mates, BHS Greenhouses
Planning	Mat Vaughan, Principal Planner Alisha Cull, Senior Planner (Chair)
Building & Bylaw	Roxanne Koot, Zoning By-Law Administrator
Development Engineering	Krystina Topp, Development Technologist
Community Services – Paramedic Services	Dean Casement, Deputy Chief
Community Services – Forestry	Adam Biddle, Supervisor of Forestry
Corporate Support Services – Realty Services	Lydia Harrison, Realty Services Coordinator
Tourism and Economic Development	Chris Garwood, Economic Development Supervisor
Ontario Provincial Police	Staff Sargent John Fashing, Operations Manager

Privileged Information and Without Prejudice

Planning

Planning application(s) required to proceed		Required		
Official Plan Amendment Application				
Zoning By-law Amendment Application				
Site Plan Application (revise and resubmit approved plans)			x	
Subdivision Application				
Condominium Application				
Part Lot Control Application				
Consent/ Severance Application				
Minor Variance Application				
Removal of Holding Application				
Temporary Use By-law Application				
Other -				
Planning requirements for a complete application	Required at OPA/ Zoning Stage	Required at Site Plan Stage	Potentially Required	
The below items are to be submitted as part of the identified Planning Application(s). ** electronic/PDF copies of all plans, studies and reports are required**				
Proposed Site Plan / Drawing		x		
Planning Impact Analysis Report / Justification Report				
Environmental Impact Study (Full or Scoped)				
Agricultural Impact Assessment Report				
Archaeological Assessment				
Heritage Impact Assessment				
Market Impact Analysis				
Dust, Noise and/or Vibration Study				
MOE D-Series Guidelines Analysis				
Landscaping Plan – on site plan		x		
Elevation Plans		x		
Photometrics (Lighting) Plan – <i>lighting plan required if free-standing lights proposed</i>		x		
Shadow Analysis Report				
Record of Site Condition				
Contaminated Site Study				
Minimum Distance Separation Schedule				

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Parking Assessment		x	
Hydrogeological Study			
Restricted Land Use Screening Form			
Additional Planning requirements		Required	
Development Agreement – in addition to public works and engineering requirements, securities will be required for internal light shading and air treatment control.		x	

Notes:

Provincial Policy Statement, 2014

Section 1.3.2 of the PPS speaks to the Employment Area policies. Specifically, 1.3.2 Section 1.3.2.1 states that "Planning authorities shall plan for, protect and preserve employment areas for current and future uses and ensure that the necessary infrastructure is provided to support current and projected needs."

The subject lands are presently designated Industrial Business Park, and will become protected Industrial Business Park as part of the new Official Plan review process. The proposed use is considered by planning staff to be pharmaceutical in nature. The proposed Cannabis Production and Processing facility is consistent with the policies of the PPS.

Norfolk County Official Plan

The subject lands are presently designated Industrial Business Park, and will become protected Industrial Business Park as part of the new Official Plan review process.

Industrial/Business Park areas are characterized by their high visual profile and accessibility and are generally comprised of industrial, employment, accessory commercial and related uses. Industrial/Business Park areas are located along Provincial Highways, and County arterial and collector roads. Generally, these areas are expected to accommodate a wide range of uses requiring high visibility and good accessibility. High quality design will be essential in these areas and some restrictions on uses will be applied to ensure attractive streetscapes. According to Section 4.11.1, of the Official Plan, the predominant use of land shall be a wide range of employment and industrial uses. Industrial uses located adjacent to a Provincial Highway or arterial road shall generally be limited to self-contained uses that produce and/or store a product where there is a low probability of significant emissions.

Adequate off-street parking and loading facilities shall be provided for all permitted uses for employees and visitors. Vehicle access shall be oriented such that industry-related traffic will be discouraged from using local roads where other options are available. Loading facilities and service areas shall be located to avoid conflict between pedestrian circulation, service vehicles and movement along the public rights-of-way.

Privileged Information and Without Prejudice

The provision of appropriate and adequate landscaping and/or other forms of buffering shall be provided to:

- i) enhance all parking lots, and outdoor loading, storage and service areas; and
- ii) provide separation between the use and any adjacent use, where appropriate.

Industrial uses shall be developed in such a manner to ensure protection and screening of outdoor storage areas from all adjacent roads.

The proposed Cannabis Production and Processing facility conforms to the policies of the Official Plan. The site plan process will enable the planning of landscaping, lighting, parking and screening of the site.

Norfolk County Zoning By-law 1-Z-2014

The subject lands are zoned General Industrial (MG) zone, with special provision 14.881.

14.881 In addition to the uses permitted in the MG Zone, an agricultural greenhouse operation shall also be permitted. In lieu of the corresponding provisions of the MG Zone, the following shall apply:

- a) minimum front yard setback - 10.2 metres
- b) minimum number of parking spaces – twenty six (26). [14-Z-2015]

A Cannabis Production and Processing use is permitted in the General Industrial (MG) zone, subject to General Provisions 3.21 [25-Z-2018]

The following policy relates to a Cannabis Production and Processing use:

3.21 Cannabis Production and Processing Notwithstanding any other provision of this By-law, any Cannabis Production and Processing shall be subject to the following provisions:

- a) No lands, building or structure or portion thereof used for Cannabis Production and Processing purposes that is equipped with air treatment control situated in the General Industrial Zone (MG), Light Industrial Zone (ML), Rural Industrial Zone (MR) may be located closer to any Residential Zone, Institutional Zone, or Open Space Zone than 70 metres.
- b) No lands, building or structure or portion thereof used for Cannabis Production and Processing purposes that is equipped with air treatment control situated in the Agricultural Zone (A) may be located closer to any Residential Zone, Institutional Zone, or Open Space Zone than 150 metres.
- c) No lands, building or structure or portion thereof used for Cannabis Production and Processing purposes that is equipped with air treatment control situated in

Privileged Information and Without Prejudice

the General Industrial Zone (MG), Light Industrial Zone (ML), Rural Industrial Zone (MR) may be located closer to any dwelling, public school, private school, place of worship, or day care nursery than 150 metres.

- d) No lands, building or structure or portion thereof used for Cannabis Production and Processing purposes that is equipped with air treatment control situated in the Agricultural Zone (A) may be located closer to any dwelling, public school, private school, place of worship, or day care nursery than 150 metres.
- e) No lands, building or structure or portion thereof used for Cannabis Production and Processing purposes that is not equipped with air treatment control situated in the Agricultural Zone (A), General Industrial Zone (MG), Light Industrial Zone (ML), Rural Industrial Zone (MR) may be located closer to any dwelling, public school, private school, place of worship, or day care nursery than 300 metres.
- f) A building or structure used for security purposes for Cannabis Production and Processing may be located in the required front yard and does not have to comply with the required minimum front yard, side yard, and rear yard setbacks.
- g) Outdoor storage is prohibited on the property in which the Cannabis Production and Processing is located.
- h) Cannabis Production and Processing shall only be permitted within the Norfolk County Zoning By-Law 1-Z-2014 46 zones as explicitly indicated in this Zoning By-law.
- i) All development in relation to the establishment of or expansion to a Cannabis Production and Processing shall be subject to Site Plan Control. [25-Z-2018]

Parking

Please see section 4.0 of the Norfolk County Zoning By-law for off-street parking requirements.

Site Plan Control

The subject lands are presently under site plan control. Please see Schedule H of the Norfolk County development application form for a list of all of the site plan requirements.

Please note that there is an existing approved site plan and development agreement in place for a greenhouse business on the subject lands. Please note that to proceed with only utilizing the existing greenhouse, you can change the ownership details on the approved plans and studies and resubmit the plans and any accompanying plans/studies for your site plan application.

In addition, in order to proceed with the existing plans, you will be required to have the relevant professionals certify that the plans and studies are still applicable, and that no changes are required.

Furthermore, the Site Plan Agreement registered on title will be lifted and a new agreement put in place with revised provisions.

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Please note that in addition to public works and engineering requirements, securities will be required for internal light shading and air treatment control as part of the site plan control process.

Application requirements and Site Plan Agreement

The formal application for site plan control must include:

1. A properly completed and signed development application from;
2. 3 complete sets of the site plan drawings folded to 8 ½ x 11 and an electronic version in PDF format;
3. A cheque payable to Norfolk County in the amount set in the fees By-law (with a letter breaking down the amount owed);
4. A cost estimate prepared by the applicant's engineer
5. Any other drawings (i.e. drainage, elevations, etc.) outlined by the planner or development engineering during the pre-consultation meeting;
6. Any other reports and studies (i.e. geotechnical, stormwater, traffic study, etc.) outlined by the planner or development engineering during the pre-consultation meeting.
7. Proof that property taxes to be paid up to date.
8. Proof of Insurance – insurance to legal services:
 - a. Commercial General Liability satisfactory to the County must include:
 - i. A limit of liability of not less than two million (\$2,000,000) per occurrence (or \$5,000,000 as determined by Staff for large developments). For example: if the applicant is a "mom and pop" operation in the agricultural area and has little impact on public sidewalks, roads, etc. then planning staff may only request a limit of liability of not less than \$2,000,00 per occurrence. If the applicant is large organization and it's development will have impact on public sidewalks, roads, etc. that could damage Norfolk County, then planning staff may request a limit of liability of \$5,000,000. This includes large developments such as Walmart and M6.
 - ii. The Corporation of Norfolk County shall be named as an additional insurer.
 - iii. The policy shall contain a provision for cross liability in respect of the name insurer.
 - iv. Non-owned automobile coverage with a limit of at least two million dollars (\$2,000,000) including contractual non-owned coverage.
 - v. Errors and omissions liability with a limit of at least two million dollars (\$2,000,000).
 - vi. Products and completed operations coverage.
 - vii. Certificate of Insurance must be in the same name as that on the PIN and site plan agreement.
 - b. Certificate of Insurance for Professional

Privileged Information and Without Prejudice

- c. Certificate of Insurance for Owner
- 9. Written Legal Description of Property:
 - a. The applicant must submit an up-to-date Property Identification Number (PIN).
- 10. Postponement Agreement (if there are mortgagees)
- 11. Transfers/easements or agreements related to the subject lands

All digital files must be received in the following naming format:

FILENUMBER Developmentname Planname Engineersplannumber datereceivedorstampedyr.m.da

For example
SPPL2017308 DairyQueenPD Site 11979-1 17.12.21

Reports and studies can be renamed as

FILENUMBER Developmentname Reportname Preparerofreport datereceivedorcreatedyr.m.da

For example
SPPL2017308 DairyQueenPD Traffic WSP 17.12.15

Cost Estimate – The cost estimate is prepared by the applicant's engineer and includes a cost estimate for :

- 100% of all on-site works,
- 10% of all off-site works,
- 100% of all landscaping,
- 100% of the cost of an air treatment control system
- 100% of the cost of an internal light shading system

The cost estimate is reviewed by Development Engineering staff for completeness and accuracy.

When paying for the securities: Certified cheques and bank drafts need to be in the applicant's name (and not the bank name)

Fees

\$250 Pre-consultation fee is credited against future planning applications.

Site Plan Fees

\$728.00	Site plan application amendment
\$885.00	Site Plan and Development Initial Review
\$1,682.00	Site Plan Agreement
\$306.00	Financial Administration

Please note that there will be an additional \$500.00 for recirculation of site plan (at third and every recirculation thereafter).

Privileged Information and Without Prejudice

Development Engineering

Development Engineering requirements to proceed The below requirements are to be submitted as part of the Planning application.	Required at OPA/ Zoning Stage	Required at Site Plan Stage	Potentially Required
General			
Concept Plan	X	X	
Existing Conditions/Contour Plan		X	
Rough Grading Plan		X	
Lot Grading Plan		X	
Siltation Control Plan		X	
General Plan of Services		X	
Plan and Profile Drawings			X
Geotechnical Report			X
Hydrological Study			X
Functional Servicing Report		X	
Ministry of Environment and Climate Change approvals			X
Water			
Water Servicing Plan (fire and domestic)		X	
Independent Water Pressure and Flow Testing Report		X	
Extension of Water Service			X
Watermain looping			X
Easement and/or block registration			X
Disconnection of water service(s) to property line			X
Disconnection of water service(s) to main			X
Separate Fire Service Line			X
Backflow (RPZ)		X	
Wastewater			
Sanitary Servicing Plan		X	
Sanitary Details Design Information		X	
Sanitary Flow Analysis of receiving collection		X	
Pumping Station Design			X

Privileged Information and Without Prejudice

Extension of wastewater service			X
Easement and/or block registration			X
Disconnection of sanitary service(s) to property line			X
Disconnection of sanitary service(s) to main			X
Property line inspection manhole		X	
Stormwater			
Stormwater Management Report (including calculations)		X	
Stormwater Servicing Plan		X	
Stormwater Detail Design Information		X	
Drainage and Grading Plan		X	
Established Overland Flow Routes		X	
Establish/Confirm Legal and Adequate Outlet		X	
Anticipated flow/analysis to receiving collection system		X	
Extension of Stormwater Service			X
Municipal Drainage			X
Transportation			
Traffic Impact Study		X	
Entrance Permit			X
Ministry of Transportation Jurisdiction			X
Street Signage/Traffic Control Plan			X
Secondary Access for Emergency Services			X
Improvements to Existing Roads (urbanization, pavement structure, widening)			X
Improvements to Existing Sidewalks (replacement, upgrade, extension, accessibility)			X

Notes:

- Securities are required. 10% of all site work and 100% of all work to be completed within the County road allowance. This is to be provided in the form of a schedule.
- Only one water, storm and sanitary connection will be permitted to the site.
- The driveway apron needs to be paved from the property line to the road.
- Water and sanitary modelling may be required at the developer's expense for the proposed addition.

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- Only domestic waste can be discharged into the waste water system as per Norfolk County's Sewer Use By-Law. Run-off from any crops will not be permitted.
- A copy of the Sewer Use By-Law is provided.

Privileged Information and Without Prejudice

Building and By-law

Building and By-law requirements to proceed The below requirements are to be submitted as part of the Planning application.	Required at OPA/ Zoning Stage	Required at Site Plan Stage	Required at Building Permit Stage
Zoning Requirements/Site Statistics (show on plan)			
Parking Requirements			
Septic Evaluation			
Sign Permit – <i>required if any signs proposed for the site</i>			
Zoning Deficiency Form			
Development Charges (Development Charges pamphlet attached) – <i>required at time of building permit application</i>			

Notes:

Zoning Administrator:

Property in Well Head Protection Area C – they will need to review from Engineering for source water protection

Refer to 4.6 parking by law

For construction of new buildings the MG zoning setbacks will apply unless doing a zoning amendment

Fire and Rescue Services & Paramedic Services

Fire and Rescue & Paramedic Services requirements to proceed The below requirements are to be submitted as part of the Planning application.	Required at OPA/ Zoning Stage	Required at Site Plan Stage	Required at Building Permit Stage
Emergency Services Plan/ Route			
Secondary Access for Emergency Purposes			
Fire Safety Plan			
Fire Hydrant Service Map (showing service envelope of each hydrant)			
Fire Flows Analysis			

Notes:

No comments.

Privileged Information and Without Prejudice

Parks, Facilities and Recreation

Parks, Facilities and Recreation requirements to proceed The below requirements are to be submitted as part of the Planning application.	Required at OPA/ Zoning Stage	Required at Site Plan Stage	Potentially Required
Residential Parkland Dedication (5% of appraised value)			
Commercial, Industrial or Mixed Use Parkland Dedication (2% of appraised value)		X	
Park Plan			

Notes:

1. Parks and Recreation will be looking for two percent (2%) Cash-in-Lieu of the appraised value of the land prior to any construction.
2. The cost of the appraisal report shall be the responsibility of the Landowner.
3. The Appraisal Report must be completed by a qualified appraiser approved by the County.
4. The Appraisal report will be reviewed by County staff and the Landowner will be notified of the required payment.

Forestry

Forestry requirements to proceed The below requirements are to be submitted as part of the Planning application.	Required at OPA/ Zoning Stage	Required at Site Plan Stage	Potentially Required
Tree Management Plan			
Landscaping Plan			
Street Tree Planting			

Notes:

The proposed phase 2 and phase 3 expansions should include a street tree planting plan for trees to be planted in the County right-of-way along Luscombe Dr., following Norfolk County's design criteria (attached). The proponent shall submit to the County \$475 per tree and Norfolk County- Community Services will undertake the planting of the trees.

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Corporate Support Services – Realty Services

This property is PIN 50190-0132 presently owned by Norfolk County. The applicant has entered into an agreement of purchase and sale with the County for the purchase of the property.

Any future mortgage registered on the property will need to be postponed to the subsequently registered Site Plan Agreement.

Planning has noted that once purchased this property is to merge with the abutting parcel at 92 Luscombe Drive which the applicant presently owns. Merger will only be possible if the County retains a small 1 foot square portion of the parcel, to do this will require the preparation and deposit of a reference plan.

Haldimand-Norfolk Health and Social Services

The HNHU requires that the proposed development take such actions as necessary to ensure its operations do not pose a public health hazard. In addition, given our experience with odour complaints regarding such operations, the HNHU strongly recommends that the applicant and the facility's operators take such actions as necessary to mitigate or eliminate odours originating from the development's operations.

Ontario Provincial Police

No comments.

Ministry of Transportation

The subject property is beyond MTO's limits of permit control. MTO review, approval and permits for site development will not be required.

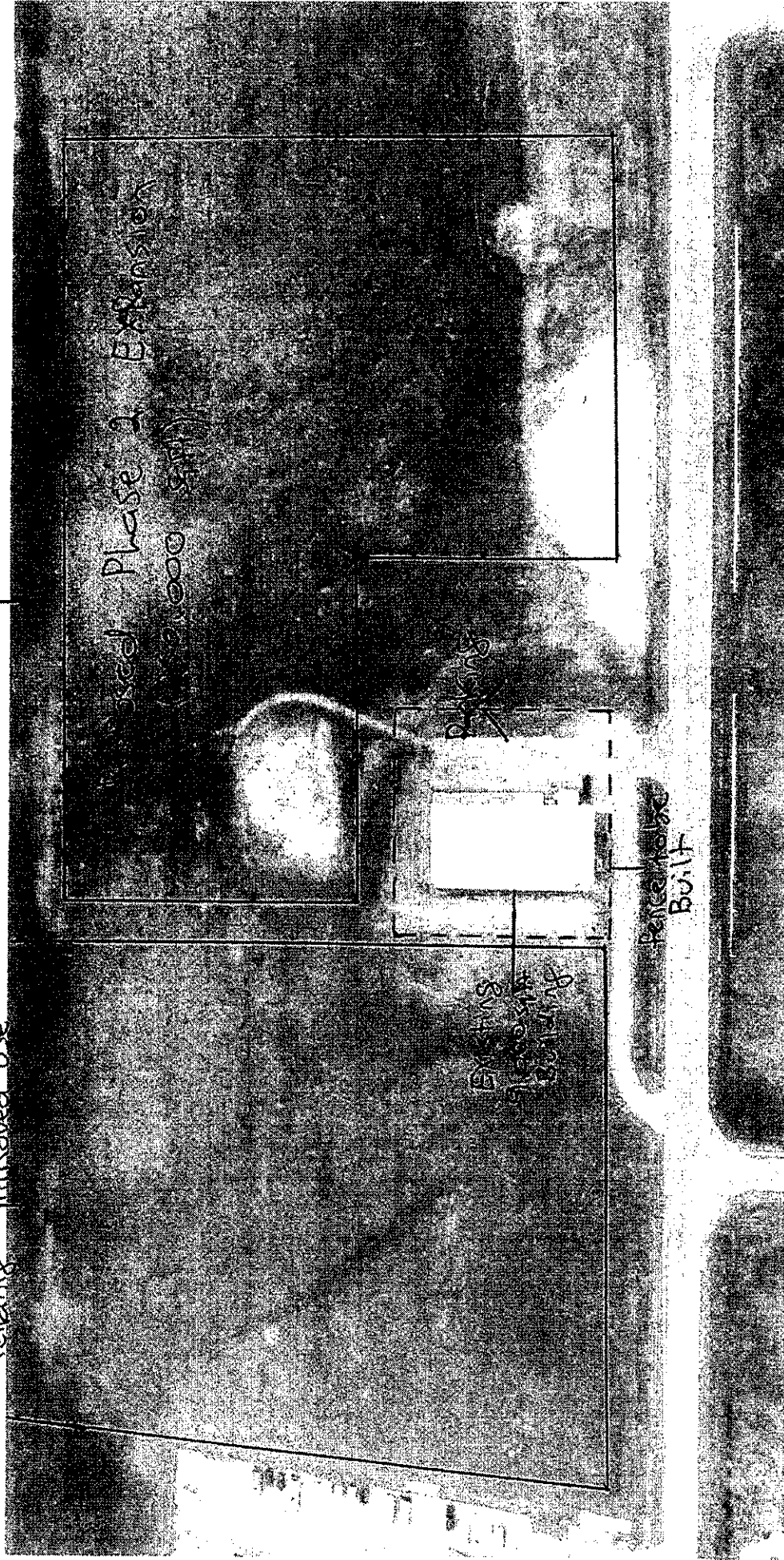
Please note:

There appear to be other planned developments in the vicinity with access to the intersection of Highway 3 and Rob Blake Way / Luscombe Drive. The Approval Authority should ensure that various owners are made aware of other planned developments which may have a compounding impact on trip generation at the Highway 3 intersection. This will require owners to work cooperatively as it relates to any Traffic Impact Study prepared with recommendations to the provincial highway intersection.

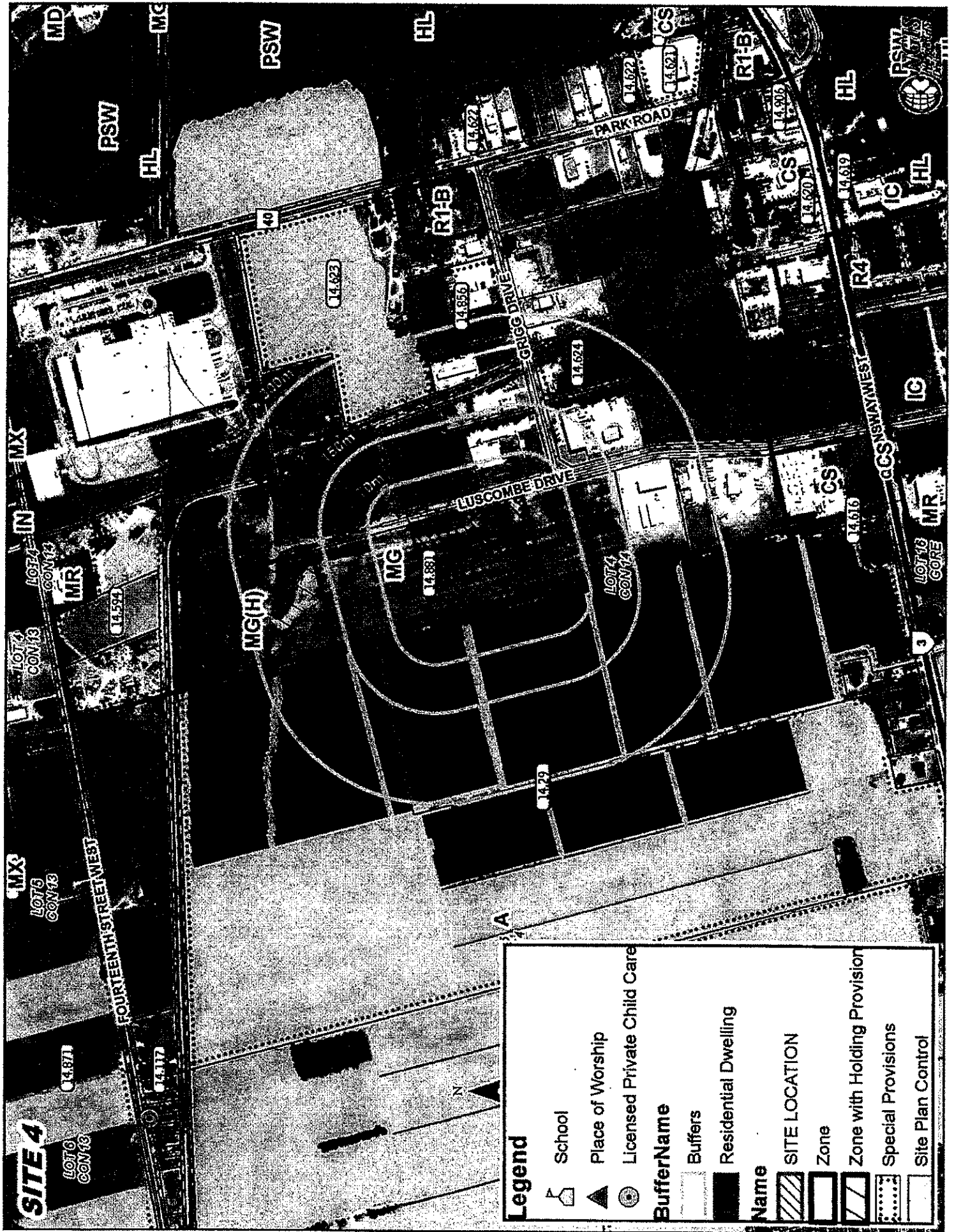
I have attached a copy of MTO's Traffic Impact Study Guideline for your use.

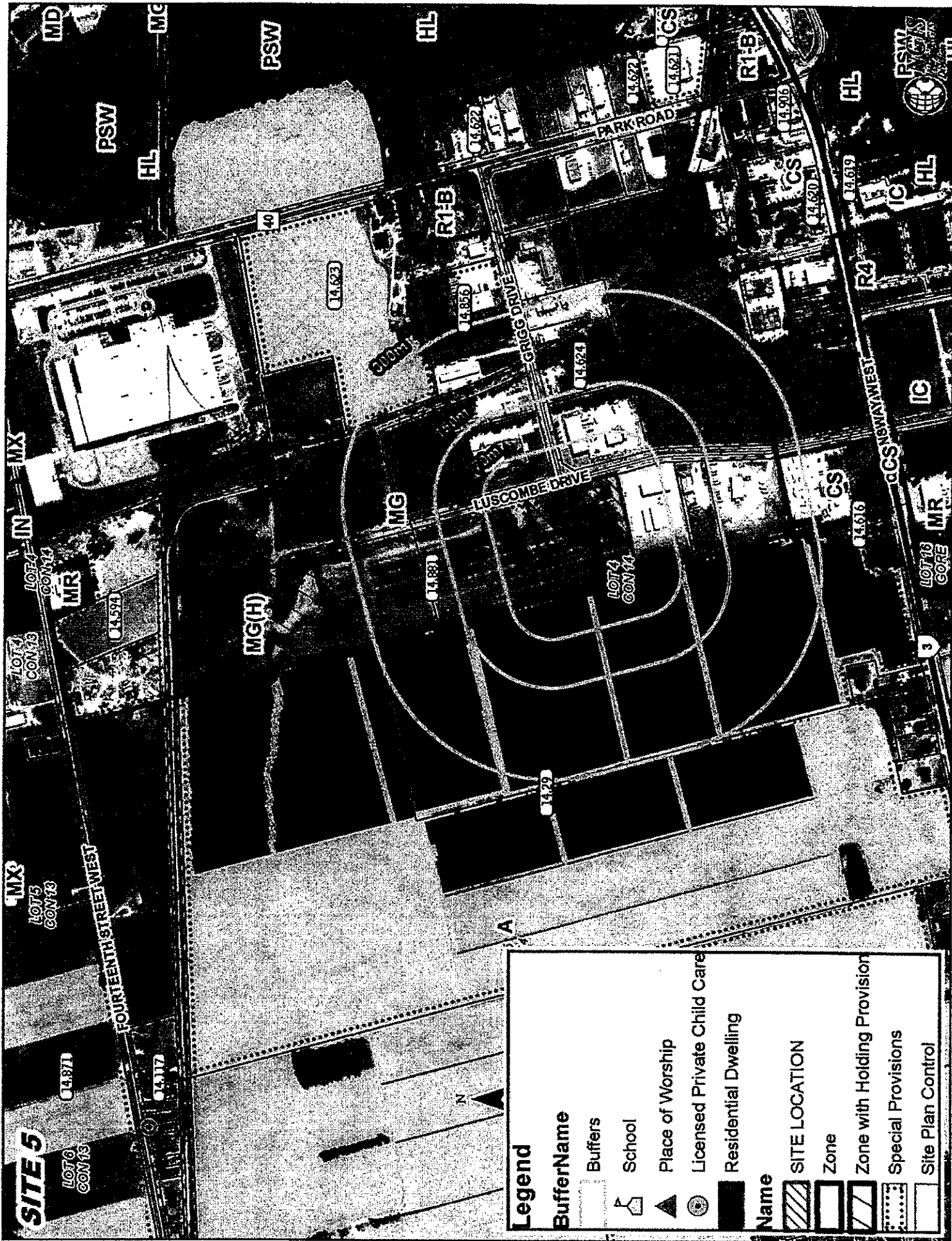
South Lot To Be Purchased,
(Phase 3 Development)
Pending Approved use

92 Lunscombe Dr.
Owned By B.N.S Greenhouses.



* AS site plan expands, The fence will be built to close in full site.





BHS Greenhouses LTD
1080 Concession 14 Townsend
Simcoe, ON
N3Y 4K3

Re: 92 Luscombe Drive Simcoe, ON N3Y 4J9

Description of the proposal

- **What is being proposed and what is your vision?**

Proposing site plan approval to convert 92 Luscombe Drive into a federally licensed medical cannabis production facility. I am also looking for site plan approval for phase 2 expansion of 250,000 sq. ft. Also, I am looking for zoning approval for the lot to the south of 92 Luscombe Drive (which we intend to purchase if approved)

- **Location, type of use, rebuild, renovation, etc.**

Location is to the south of 92 Luscombe Drive. There is currently a vegetable greenhouse on the property that will be converted over. It will be used for a federally licensed medical cannabis facility. We then want to do a brand new construction of our phase 2 plan

- **History (what exists today, historical uses)**

There is a vegetable greenhouse on the property that will be converted into a federally licensed medical cannabis production facility. It was purchased by BHS Greenhouses in April with the intent to produce medical cannabis.

- **Designation and zoning being proposed**

This property is Zoned Industrial which permits medical cannabis production, as well as it adheres to the new set backs set out by the county. First we want to have our existing building approved, then looking to expand to 250,000 sq. ft. on existing property currently owned by BHS, and proposing zoning approval for the lot south of 92 Luscombe Drive.

- **Servicing (how will the development be serviced)**

The site already has adequate 3 Phase power and adequate water supply from the County.

- **Number of units**

The site will have multiple buildings on the site. It is built in different phases.

- **Number of parking spaces**

The site currently has 10 parking spots, but as site expands so will the parking.

- **Phasing, if applicable**

We are planning on developing this site in 3 phases. First, is to get the existing building approved as a proof of concept; the second is to develop the additional 250,000 sq. ft. on the rest of our property (92 Luscome site) which to our understanding has been approved by the County. And the 3rd phase is to develop the lot south of 92 which we are preparing an offer to purchase conditional on the approval from the county.

- **Significant features (environmental, heritage, etc.)**

The zoning of our project falls into the zoning requirements set out by the County's new regulations, and our specific greenhouse is already compliant with the county's rules regarding capturing and proper disposal of the waste water for zero impact on the environment. We will work closely with the County to make sure we are compliant on every aspect of this project.



Application to Community Planning

Complete Application

A complete development application consists of the following:

1. A properly completed and signed application form (signature must be original in planners file);
2. Supporting information adequate to illustrate your proposal as indicated in **Section H** of this application form (plans are required in paper copy and digital PDF format);
3. Written authorization from the registered owner of the subject lands where the applicant is not the owner as per Section N; and,
4. Cash, debit or cheque payable to Norfolk County in the amount set out in the user fees By-Law.

The above information is required to ensure that your application is given full consideration. An incomplete or improperly prepared application will not be accepted and may result in delays during the processing of the application. This application must be typed or printed in ink and completed in full.

Pre-Consultation

A pre-consultation meeting with staff is required for all applications; however, minor applications may be exempted depending on the nature of the proposal. The purpose of a pre-consultation meeting is to provide the applicant with an opportunity to present the proposed application, discuss potential issues, and identify the required information and materials to be submitted with the application in order for it to be considered complete by staff. The applicant has the opportunity to make revisions to the application prior to submission, without the additional costs of recirculation fees. It may be necessary to seek the assistance of independent professional help (e.g. planning consultant, engineer, etc.) for complex applications. If a pre-consultation meeting has been held to discuss your development, please provide a copy of the minutes that addressed the outcomes of the meeting with your completed application. It should be noted that pre-consultation minutes are valid for one year after the meeting date.

Processing the Development Application

Once an application has been deemed complete by a planner, it will be circulated to public agencies and County departments for review and comments. Notice of the application is also provided to adjacent land owners. The comments received assist the planner with the review and recommendation/approval of your application. The time involved in processing an application varies depending upon its complexity and its acceptability to the other agencies.

An additional fee will be required if a review by the Long Point Region Conservation Authority or by the Grand River Conservation Authority is deemed necessary by planning staff and/or by the Authority. A separate cheque payable to the Long Point Region Conservation Authority or the Grand River Conservation Authority is required in accordance with their fee schedule at the same time your application is submitted.

Additional studies required as part of the complete application shall be at the sole expense of the applicant. It should also be noted that in some instances peer reviews may be necessary to review particular studies and that the cost shall be at the expense of the applicant. The company to complete the peer review shall be selected by the County.

If the application is withdrawn prior to the circulation to commenting agencies, the entire original fee will be refunded. If withdrawn after the circulation to agencies, half the original fee will be refunded. If your drawings are required to be recirculated there will be an additional fee. Also, please note that if your engineering drawings require more than three reviews due to revisions by the owner or failure to revise your engineering drawings as requested, an additional fee will be charged.

Notification Sign Requirements

For the purpose of public notification and in order for staff to locate your lands for appropriate applications (zoning, subdivision, condominium or official plan) you will be given a sign to indicate the intent and purpose of your development application. It is your responsibility to:

1. Post one sign per frontage in a conspicuous location on the subject lands;
2. Ensure one sign is posted at the front of the subject lands at least three feet above ground level, not on a tree;
3. Notify the Planner when the sign is in place in order to avoid processing delays; and
4. Maintain the sign until the development application is finalized and thereafter removed.

For consent and minor variance applications, Community Planning staff post the sign on the subject lands.

Contact Us

For additional information or assistance in completing this application, please contact a planner at 519-426-5870 or 519-875-4485 extension 1290 or planning@norfolkcounty.ca. Please submit the completed application and fees to:

185 Robinson Street, Suite 200, Simcoe, ON N3Y 5L6
or
22 Albert Street, Langton, ON N0E 1G0

For Office Use Only:

File Number	_____	SPRT Meeting	_____
Related File Number	_____	Application Fee	_____
Pre-consultation Meeting	_____	Conservation Authority Fee	_____
Application Submitted	_____	OSSD Form Provided	_____
Complete Application	_____	Planner	_____
Public Notice Sign	_____		

Check the type of planning application(s) you are submitting.

- | | |
|-------------------------------------|---|
| <input type="checkbox"/> | Official Plan Amendment |
| <input type="checkbox"/> | Zoning By-Law Amendment |
| <input type="checkbox"/> | Temporary Use By-law |
| <input type="checkbox"/> | Draft Plan of Subdivision/Vacant Land Condominium |
| <input type="checkbox"/> | Condominium Exemption |
| <input checked="" type="checkbox"/> | Site Plan Application |
| <input type="checkbox"/> | Consent/Severance |
| <input type="checkbox"/> | Minor Variance |
| <input type="checkbox"/> | Easement/Right-of-Way |
| <input type="checkbox"/> | Extension of a Temporary Use By-law |
| <input type="checkbox"/> | Part Lot Control |
| <input type="checkbox"/> | Cash-in-Lieu of Parking |
| <input type="checkbox"/> | Renewable Energy Project or Radio Communication Tower |

Property Assessment Roll Number: 40302504920**A. Applicant Information****Name of Owner** Mr. Joel Capin

It is the responsibility of the owner or applicant to notify the planner of any changes in ownership within 30 days of such a change.

Address 92 Luscombe Drive**Town and Postal Code** Simcoe Ontario N3Y 0A2**Phone Number** 905 531 8201**Cell Number** 905 531 8201**Email** joel@doverdistillers.com

Name of Applicant Mr. Joel Capin
Address 92 Luscombe Drive
Town and Postal Code Simcoe Ontario N3Y 0A2
Phone Number 905 531 8201
Cell Number 905 531 8201
Email joel@doverdistilleriers.com

Name of Agent CJDL Engineers - Peter Penner P.Eng.
Address 261 Broadway
Town and Postal Code Tillsonburg Ontario N4G 4H8
Phone Number 519 688 1000
Cell Number 519 842 0107
Email ppenner@cjdleeng.com

Please specify to whom all communications should be sent. Unless otherwise directed, all correspondence, notices, etc., in respect of this application will be forwarded to the agent noted above.

☐ Owner ☐ Agent ☒ Applicant

Names and addresses of any holder of any mortgagees, charges or other encumbrances on the subject lands:

Titan Mortgage Capital Partners Inc. 13 King Street West Stoney Creek Ontario L8G 1G9

B. Location, Legal Description and Property Information

1. Legal Description (include Geographic Township, Concession Number, Lot Number, Block Number and Urban Area or Hamlet):
 Part of Lot 4, Concession 14, Geographic Township of Winham, NORFOLK COUNTY
 Existing greenhouse is Part 3 of RP 37R-10645

Municipal Civic Address: 92 Luscombe Drive Simcoe Ontario N3Y 0A2

Present Official Plan Designation(s): Industrial Business Park

Present Zoning: General Industrial - MG



2. Is there a special provision or site specific zone on the subject lands?

☒ Yes ☐ No If yes, please specify:

Front yard setback 13 m to 10.2 m and Reduced parking spaces from 255 to 26

3. Present use of the subject lands:

Agricultural - greenhouse operation. from February 2015 to December 2017, the existing greenhouse owned by The Local Vegetable Company Inc. produced and shipped leafy greens and salad mixes to the GTA and local markets. It ceased operation in December 2017, was put up for sale and BHS Greenhouses Limited purchased said property in April 2018. Prior to the Local Vegetable Company Inc., the land was a watermelon patch.

4. Please describe **all existing** buildings or structures on the subject lands and whether they are to be retained, demolished or removed. If retaining the buildings or structures, please describe the type of buildings or structures, and illustrate the setback, in metric units, from front, rear and side lot lines, ground floor area, gross floor area, lot coverage, number of storeys, width, length, height, etc. on your attached sketch which must be included with your application:

Please see attached CJDL Engineers plan with all the details outlined. There is one existing building. A greenhouse one story 18 ft. (5.49 m) high, 8267 sq. ft. (768 m sq.).

5. If an addition to an existing building is being proposed, please explain what will it be used for (e.g. bedroom, kitchen, bathroom, etc.). If new fixtures are proposed, please describe.

N/A

6. Please describe **all proposed** buildings or structures/additions on the subject lands. Describe the type of buildings or structures/additions, and illustrate the setback, in metric units, from front, rear and side lot lines, ground floor area, gross floor area, lot coverage, number of storeys, width, length, height, etc. on your attached sketch which must be included with your application:

N/A

7. Are any existing buildings on the subject lands designated under the *Ontario Heritage Act* as being architecturally and/or historically significant? Yes ☐ No ☒

If yes, identify and provide details of the building:

8. If known, the length of time the existing uses have continued on the subject lands:
The existing greenhouse was built in 2015.

9. Existing use of abutting properties:

Vacant industrial land to the south and north, farm land to the west with ginseng planted in 2016 and across the street to the east is the DND Armouries 56th Field Artillery Regiment.

10. Are there any easements or restrictive covenants affecting the subject lands?

☐ Yes ☒ No If yes, describe the easement or restrictive covenant and its effect:
Not that we are aware of.

C. Purpose of Development Application

Note: Please complete all that apply.

1. Please explain what you propose to do on the subject lands/premises which makes this development application necessary:

The application will outline converting the existing greenhouse from a leafy greens and salad mix production facility operation to a Federally licensed medical cannabis production facility.

2. Please explain why it is not possible to comply with the provision(s) of the Zoning By-law/and or Official Plan:

N/A

3. Does the requested amendment alter all or any part of the boundary of an area of settlement in the municipality or implement a new area of settlement in the municipality? ☐ Yes ☒ No If yes, describe its effect:

N/A

4. Does the requested amendment remove the subject land from an area of employment? ☐ Yes ☒ No If yes, describe its effect:

N/A

5. Does the requested amendment alter, replace, or delete a policy of the Official Plan?

☐ Yes ☒ No If yes, identify the policy, and also include a proposed text of the policy amendment (if additional space is required, please attach a separate sheet):

N/A

6. Description of land intended to be severed in metric units:

Frontage: N/A

Depth: _____

Width: _____

Lot Area: _____

Present Use: _____

Proposed Use: _____

Proposed final lot size (if boundary adjustment): _____

If a boundary adjustment, identify the assessment roll number and property owner of the lands to which the parcel will be added: N/A

Description of land intended to be retained in metric units:

Frontage: N/A

Depth: _____

Width: _____

Lot Area: _____

Present Use: _____

Proposed Use: _____

7. Description of proposed right-of-way/easement:

Frontage: N/A

Depth: _____

Width: _____

Area: _____

Proposed use: _____

8. Name of person(s), if known, to whom lands or interest in lands to be transferred, leased or charged (if known):

Mr. Joel Capin BHS Greenhouses Limited

9. Site Information**Existing****Proposed**

Please indicate unit of measurement, i.e. m, m² or %, etc.

Lot frontage	192.463 m	No change
Lot depth	84.19 m av	
Lot width	192.463 m	
Lot area	3.23 ha	
Lot coverage	39.7%	
Front yard	11.3 m	
Rear yard	33.22 m	
Left Interior side yard	4.0 m	
Right Interior side yard	169.26	
Exterior side yard (corner lot)	N/A	
Landscaped open space	3.07 ha	
Entrance access width	7.3 m	
Exit access width	6.0 m	
Size of fencing or screening	1.83 m high 5cm	
Type of fencing	chain link	

10. Building Size

Number of storeys	1	No change
Building height	5.49 m	
Total ground floor area	768 m sq.	
Total gross floor area	768 m sq.	
Total useable floor area	768 m sq.	

11. Off Street Parking and Loading Facilities

Number of off street parking spaces	9	No change
Number of visitor parking spaces	2	
Number of accessible parking spaces	1	
Number of off street loading facilities	1	

12. Multiple Family Residential (if applicable)

Number of buildings existing:	N/A
-------------------------------	-----

Number of buildings proposed: N/A

Is this a conversion or addition to an existing building? ☒ Yes ☐ No

If yes, describe: Conversion to a Federally licensed medical cannabis prod

Type

Number of Units

Floor Area per Unit in m²

Bachelor

One bedroom _____

Two bedroom _____

Three bedroom _____

Townhouse

Other facilities provided (e.g. play facilities, underground parking, games room, swimming pool etc.):

13. Commercial/Industrial Uses (if applicable)

Number of buildings existing: 1

Number of buildings proposed: 0

Is this a conversion or addition to an existing building? ☒ Yes ☐ No

If yes, describe:

Conversion to a Federally licensed medical cannabis production facility

Indicate the gross floor area by the type of use (e.g. office, retail, storage, etc.):

Growing Area = 468 sq. m and office, storage, hall etc. = 300 sq. m

Total Greenhouse = 768 sq. m

Seating Capacity (for assembly halls, etc.): N/A

Total number of fixed seats:	N/A
------------------------------	-----

Describe the type of business(es) proposed: Federally licensed medical cannabis



Total number of staff proposed initially: 9
Total number of staff proposed in five years: 100 plus with expansion phase 2
Maximum number of staff on the largest shift: 9
Is open storage required: ☐ Yes ☒ No
Is a residential use proposed as part of, or accessory to commercial/industrial use?
☐ Yes ☒ No If yes please describe:

14. Institutional (if applicable)

Describe the type of use proposed: N/A
Seating capacity (if applicable): _____
Number of beds (if applicable): _____
Total number of staff proposed initially: _____
Total number of staff proposed in five years: _____
Maximum number of staff on the largest shift: _____

Indicate the gross floor area by the type of use (e.g. office, retail, storage, etc.):

Growing Area = 468 sq. m and office, storage, hall etc. = 300 sq. m

Total Greenhouse = 768 sq. m

15. Describe Recreational or Other Use(s) (if applicable)

N/A



D. Previous Use of the Property

1. Has there been an industrial or commercial use on the subject lands or adjacent lands? ☒ Yes ☐ No ☐ Unknown

If yes, specify the uses (example: gas station, petroleum storage, etc.):

Agricultural on subject lands - was a greenhouse production facility and operation for leafy greens and salad mixes from 2016 to 2017. Vacant industrial land to the south and north. Farm land to the west and DND Armouries to the east.

2. Is there reason to believe the subject lands may have been contaminated by former uses on the site or adjacent sites? ☐ Yes ☒ No ☐ Unknown

3. Provide the information you used to determine the answers to the above questions:

The subject lands are located in the Judd Industrial Park. From 2015 to 2017 the land was owned by The Local Vegetable Company Inc. for an agricultural greenhouse operation. Prior to that, it is our understanding that the land was rented out to a farmer by Norfolk County and it was a watermelon patch. This should also answer question 4 below.

4. If you answered yes to any of the above questions in Section D, a previous use inventory showing all known former uses of the subject lands, or if appropriate, the adjacent lands, is needed. Is the previous use inventory attached? ☐ Yes ☒ No

E. Provincial Policy

1. Is the requested amendment consistent with the provincial policy statements issued under subsection 3(1) of the *Planning Act*, R.S.O. 1990, c. P. 13? ☒ Yes ☐ No

If no, please explain:

2. It is owner's responsibility to be aware of and comply with all relevant federal or provincial legislation, municipal by-laws or other agency approvals, including the Endangered Species Act, 2007. Have the subject lands been screened to ensure that development or site alteration will not have any impact on the habitat for endangered or threatened species further to the provincial policy statement subsection 2.1.7? ☐ Yes ☒ No

If no, please explain:

It is our understanding that this was undertaken when the Industrial Park was developed.

3. Have the subject lands been screened to ensure that development or site alteration will not have any impact on source water protection? ☐ Yes ☒ No

If no, please explain:

It is our understanding that this was undertaken when the Industrial Park was developed.

Note: If in an area of source water WHPA A, B or C please attach relevant information and approved mitigation measures from the Risk Manager Official.

4. Are any of the following uses or features on the subject lands or within 500 metres of the subject lands, unless otherwise specified? Please check boxes, if applicable.

Livestock facility or stockyard (submit MDS Calculation with application)

☐ On the subject lands or ☐ within 500 meters – distance N/A

Wooded area

☐ On the subject lands or ☒ within 500 meters – distance 20 m

Municipal Landfill

☐ On the subject lands or ☐ within 500 meters – distance N/A

Sewage treatment plant or waste stabilization plant

☐ On the subject lands or ☐ within 500 meters – distance N/A

Provincially significant wetland (class 1, 2 or 3) or other environmental feature

☐ On the subject lands or ☐ within 500 meters – distance N/A

Floodplain

☐ On the subject lands or ☐ within 500 meters – distance N/A

Rehabilitated mine site

☐ On the subject lands or ☐ within 500 meters – distance N/A

Non-operating mine site within one kilometre

☐ On the subject lands or ☐ within 500 meters – distance N/A

Active mine site within one kilometre

☐ On the subject lands or ☐ within 500 meters – distance N/A

Industrial or commercial use (specify the use(s))

☐ On the subject lands or ☒ within 500 meters – distance 20 m

Active railway line

☐ On the subject lands or ☐ within 500 meters – distance N/A

Seasonal wetness of lands

☐ On the subject lands or ☐ within 500 meters – distance N/A

Erosion

☐ On the subject lands or ☐ within 500 meters – distance N/A

Abandoned gas wells

☐ On the subject lands or ☐ within 500 meters – distance N/A - see

F. Servicing and Access

1. Indicate what services are available or proposed:

Water Supply

- ☒ Municipal piped water
☐ Communal wells
☐ Individual wells
☐ Other (describe below)
-

Sewage Treatment

- ☒ Municipal sewers
☐ Communal system
☐ Septic tank and tile bed
☐ Other (describe below)
-

Storm Drainage

- ☐ Storm sewers
☒ Open ditches
☐ Other (describe below)
-

2. Existing or proposed access to subject lands:

☐ Municipal road

☐ Provincial highway

☐ Unopened road

☐ Other (describe below)

Name of road/street:

G. Other Information

1. Does the application involve a local business? ☐ Yes ☐ No

If yes, how many people are employed on the subject lands?

9

2. Is there any other information that you think may be useful in the review of this application? If so, explain below or attach on a separate page.

BHS Greenhouses Limited are excited to be a small part of the Industrial Park contri

H. Supporting Material to be submitted by Applicant

All digital files must be received in the following naming format:

Developmentname Plannname Engineersplannumber yr.m.da [date received or stamped]

For example: DairyQueenPD Site 11979-1 17.12.21

Reports and studies can be renamed in the following format:

Developmentname Reportname Reportpreparer yr.m.da [date received or created]

For example: DairyQueenPD Traffic WSP 17.12.15

In order for your application to be considered complete, **folded** hard copies (number of paper copies as directed by the planner) and an **electronic version (PDF) of the properly named site plan drawings, additional plans, studies and reports** will be required, including but not limited to the following details:

1. Concept/Layout Plan
2. All measurements in metric
3. Key map
4. Scale, legend and north arrow
5. Legal description and municipal address
6. Development name
7. Drawing title, number, original date and revision dates
8. Owner's name, address and telephone number

9. Engineer's name, address and telephone number
10. Professional engineer's stamp
11. Existing and proposed easements and right of ways
12. Zoning compliance table – required versus proposed
13. Parking space totals – required and proposed
14. All entrances to parking areas marked with directional arrows
15. Loading spaces, facilities and routes (for commercial developments)
16. All dimensions of the subject lands
17. Dimensions and setbacks of all buildings and structures
18. Gross, ground and useable floor area
19. Lot coverage
20. Floor area ratio
21. Building entrances, building type, height, grades and extent of overhangs
22. Names, dimensions and location of adjacent streets including daylighting triangles
23. Driveways, curbs, drop curbs, pavement markings, widths, radii and traffic directional signs
24. All exterior stairways and ramps with dimensions and setbacks
25. Retaining walls including materials proposed
26. Fire access and routes
27. Location, dimensions and number of parking spaces (including visitor and accessible) and drive aisles
28. Location of mechanical room, and other building services (e.g. A/C, HRV)
29. Refuse disposal and storage areas including any related screening (if indoors, need notation on site plan)
30. Winter snow storage location
31. Landscape areas with dimensions
32. Natural features, watercourses and trees
33. Fire hydrants and utilities location
34. Fencing, screening and buffering – size, type and location
35. All hard surface materials
36. Light standards and wall mounted lights (plus a note on the site plan that all outdoor lighting is to be dark sky compliant)
37. Business signs (make sure they are not in sight lines)
38. Sidewalks and walkways with dimensions
39. Pedestrian access routes into site and around site
40. Bicycle parking
41. Architectural elevations of all building sides
42. All other requirements as per the pre-consultation meeting

In addition, the following additional plans, studies and reports, including but not limited to, **may** also be required as part of the complete application submission:

- ☐ Zoning Deficiency Form
- ☐ On-Site Sewage Disposal System Evaluation Form
- ☐ Architectural Plan
- ☐ Buildings Elevation Plan
- ☐ Cut and Fill Plan
- ☐ Erosion and Sediment Control Plan
- ☐ Grading and Drainage Control Plan (around perimeter and within site) (existing and proposed)
- ☐ Landscape Plan
- ☐ Photometric (Lighting) Plan
- ☐ Plan and Profile Drawings
- ☐ Site Servicing Plan
- ☐ Storm water Management Plan
- ☐ Street Sign and Traffic Plan
- ☐ Street Tree Planting Plan
- ☐ Tree Preservation Plan
- ☐ Archaeological Assessment
- ☐ Environmental Impact Study
- ☐ Functional Servicing Report
- ☐ Geotechnical Study / Hydrogeological Review
- ☐ Minimum Distance Separation Schedule
- ☐ Noise or Vibration Study
- ☐ Record of Site Condition
- ☐ Storm water Management Report
- ☐ Traffic Impact Study – please contact the Planner to verify the scope required

Site Plan applications will require the following supporting materials:

1. Two (2) complete sets of the site plan drawings folded to 8½ x 11 and an electronic version in PDF format
2. Letter requesting that the Holding be removed (if applicable)
3. A cost estimate prepared by the applicant's engineer
4. An estimate for Parkland dedication by a certified land appraiser
5. Proof that property taxes to be paid up to date



6. Proof of insurance:

a. Commercial General Liability satisfactory to the County must include:

- i. A limit of liability not less than two million dollars (\$2,000,000) per occurrence
- ii. The Corporation of Norfolk County shall be named as an additional insurer
- iii. The policy shall contain a provision for cross liability in respect of the name insurer
- iv. Non-owned automobile coverage with a limit of at least two million dollars (\$2,000,000) including contractual non-owned coverage
- v. Errors and omissions liability with a limit of at least two million dollars (\$2,000,000)
- vi. Products and completed operations coverage
- vii. Certificate of Insurance must be in the same name as that on the PIN and site plan agreement

b. Certificate of Insurance for Professional

c. Certificate of Insurance for Owner

7. Written Legal Description of the Property and the Property Identification Number (PIN)

8. Postponement (if there are mortgagees)

9. Transfers/easements or agreements related to the subject lands

Standard condominium exemptions will require the following supporting materials:

- ☐ Plan of standard condominium (2 paper copies and 1 electronic copy)
- ☐ Draft condominium declaration

Your development approval might also be dependent on Ministry of Environment and Climate Change, Ministry of Transportation or other relevant federal or provincial legislation, municipal by-laws or other agency approvals.

All final plans must include the owner's signature as well as the engineer's signature and seal.

I. Development Agreements

A development agreement may be required prior to approval for site plan, subdivision and condominium applications. Should this be necessary for your development, you will be contacted by the agreement administrator with further details of the requirements including but not limited to insurance coverage, professional liability for your engineer, additional fees and securities.

J. Transfers, Easements and Postponement of Interest

The owner acknowledges and agrees that if required it is their solicitor's responsibility on behalf of the owner for the registration of all transfer(s) of land to the County, and/or transfer(s) of easement in favour of the County and/or utilities. Also, the owner further acknowledges and agrees that it is their solicitor's responsibility on behalf of the owner for the registration of postponements of any charges in favour of the County.

K. Permission to Enter Subject Lands

Permission is hereby granted to Norfolk County officers, employees or agents, to enter the premises subject to this application for the purposes of making inspections associated with this application, during normal and reasonable working hours.

L. Freedom of Information

For the purposes of the *Municipal Freedom of Information and Protection of Privacy Act*, I authorize and consent to the use by or the disclosure to any person or public body any information that is collected under the authority of the *Planning Act, R.S.O. 1990, c. P. 13* for the purposes of processing this application.



Owner/Applicant Signature

AUGUST 27, 2018


Date

M. Owner's Authorization

If the applicant/agent is not the registered owner of the lands that is the subject of this application, the owner(s) must complete the authorization set out below.

I/We MR. JOEL CAPIN am/are the registered owner(s) of the lands that is the subject of this application for site plan approval.

I/We authorize MR. JOEL CAPIN to make this application on my/our behalf and to provide any of my/our personal information necessary for the processing of this application. Moreover, this shall be your good and sufficient authorization for so doing.



Owner

AUGUST 27, 2018

Date

Owner

Date

N. Declaration

I, _____ of _____

solemnly declare that:

all of the above statements and the statements contained in all of the exhibits transmitted herewith are true and I make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath and by virtue of *The Canada Evidence Act*.

Declared before me at:

Owner/Applicant Signature

In _____

This _____ day of _____

A.D., 20____

A Commissioner, etc.

FUNCTIONAL SERVICING REPORT

PROPOSED GREENHOUSE DEVELOPMENT LUSCOMBE DRIVE, SIMCOE

PREPARED FOR:
THE LOCAL VEGETABLE COMPANY

BY:

CJDL
Consulting Engineers

1415
15 December 2014
Revised 28 April 2015

CYRIL J. DEMEYERE LIMITED
Consulting Engineers
261 Broadway, P.O. Box 460
Tillsonburg, Ontario. N4G 4H8

John D. Wiebe, P. Eng.
Peter J. Pinner, P. Eng.
T. Paul Tuff, P. Eng.
Andrew Givney, P. Eng.

email: cjdl@cjdlang.com
www.cjdlang.com

CJDL

Consulting Engineers

Cyril J. Demeyere Limited
P.O. Box 488, 261 Broadway
Tillamook, Ontario, M4G 4B8
Tel: (519) 498-2000
Toll Free: 1-866-383-0886
Fax: (519) 543-8236

15 December 2014

FUNCTIONAL SERVICING REPORT **PROPOSED GREENHOUSE DEVELOPMENT** **LUSCOMBE DRIVE, SIMCOE**

INTRODUCTION:

The Local Vegetable Company is proposing to develop a greenhouse facility for horticultural crop production within Alfred W. Judd Industrial Park in Simcoe, Norfolk County. The preference to locate the proposed greenhouse operation within the industrial park was due to the availability of services including municipal water and sewers, as well as hydro, natural gas, and communication.

The proposed land use is classified as Agricultural (A), not General Industrial (MG) land use as identified for the subject property in the Comprehensive Zoning By-Law for Norfolk County; therefore, the developer is applying for Zoning By-Law and Official Plan Amendments as required. It is understood that the developer is seeking "Special Provision" approval to allow the proposed greenhouse/agricultural land use to be permitted on the subject property which would remain General Industrial (MG) zoned land.

Cyril J. Demeyere Limited (CJDL) has been retained by the Local Vegetable Company to prepare this Functional Servicing Report to confirm that the proposed greenhouse development is feasible within the Alfred Judd Industrial Park.

SUBJECT PROPERTY:

The subject property is located on the west side of Luscombe Drive road allowance having a lot frontage of 192± m and a depth of 169± m, comprising a total area of 3.24 ha (8 ac). The south limit of the proposed lot is approximately 65 m north of the existing road centreline of Grigg Drive. It is understood that the prospective land purchase will include a condition for optional purchase (within first 5 years of initial operation) of an additional 2.83 ha (7 ac) directly adjacent to the north limit of the initial parcel, having a lot frontage of approximately 168± m and a depth of 169± m.

Records indicate that the subject property has most recently been used for conventional crop cultivation. The property is bounded to the north by future industrial park land and woodland/ravine; to the south by vacant serviced industrial lands; to the west by agricultural land (believed to be currently used for ginseng production); and to the east by General Industrial (Canada National Defense – The Sergeant Frederick Hobson VC Armoury) and vacant industrial park lands and woodland/ravine. There is a vegetated knoll along the property frontage (25± m wide) which will need to be cleared and regraded to accommodate development. This knoll is identified as "Significant Woodland" on Natural Heritage Schedule "C-4" of the Norfolk County Official Plan; however, a large portion of this woodland has already been cleared and regraded within the future Luscombe Drive road allowance. Therefore it is understood that:

- The County has approval to clear woodland conflicting with the proposed development.
- Clearing will be completed by Norfolk County (Developer of the Industrial Subdivision).

CJDL

Consulting Engineers

CONCEPTUAL BUILDING LAYOUTS:

Conceptual building layouts (see Appendix 'A') for the initial 3.24 ha (8 ac) lot have been provided by two (2) prospective greenhouse suppliers/builders – Danish Greenhouse Supply (DGS), and Havecon. Please note that the preferred supplier and building layout would be selected by the developer during the detailed design phase.

Phase 1 would include approximately 1 ha (2.5 ac) of growing area under glass (10,692 m² per Havecon plan versus 7,200 m² per DGS plan) and approximately 0.2 ha (0.5 ac) of subsidiary area, herein referred to as "processing area", which would include: a germination room, boiler room, irrigation/pump room, cold storage area, packaging area, washrooms, office space, and corridor hallway. The greenhouse building will have an approximate height of 7 m.

Phase 2 would see the growing area under glass double to approximately 2 ha (5 ac), which would reach building footprint capacity for the initial 3.24 ha lot purchased. No additional processing area is anticipated for Phase 2. The first expansion (i.e. Phase 2) is anticipated during the first five (5) years of operation.

Phase 3 (i.e. ultimate build-out) may include development of the optional 2.83 ha (7 ac) of land directly north of the initial lot (Phases 1 and 2). This possible future development would include further expansion of the growing area, as well as additional processing area.

For simplicity, a summary of development phasing is approximated as follows:

<u>Phase</u>	<u>Greenhouse Growing Area</u>
1	1 ha (2.5 ac)
2	2 ha (5 ac)
3	4 ha (10 ac)

Unless otherwise indicated, forecasted servicing demands are generally dependent on these estimated growing areas.

BUILDING CONSTRUCTION DETAILS:

The growing area would be constructed of steel "pole" framing completed with glass panels. The roof structure over the growing area will consist of multiple "A" frames connected along the eaves. Gutters along the valleys are proposed to drain from west to east. The greenhouse structures are manufactured in modular sizes (e.g. 4.5 m x 12 m per Havecon plan) to accommodate growing equipment which come in set sizes. The floor of the growing area will consist of soil with a slight slope from west to east to suit the roof grade. Geotextile is proposed to be placed over the floor to prevent infiltration of any irrigation water in event of a leak.

The processing area of the greenhouse facility will be of slab-on-grade construction completed with foundation walls and footings extending below the depth of frost.

EXISTING SITE TOPOGRAPHY:

A topographic survey of the proposed 3.24 ha (8 ac) lot was completed by G. Douglas Vallee Limited; see drawing completed with contours in Appendix 'B'. The lot currently has a rolling/undulating topography, overall sloping slightly to the east/southeast. The south half of the optional 2.83 ha (7 ac) appears to generally slope to the south (tributary to initial 8 ac lot), while the north half slopes to a ravine to the north. Existing rolling/undulating farmland to the west appears to be contained with an overall slope to the south.

ENVIRONMENTAL IMPACTS AND SOIL CONDITIONS:

An Environmental Site Assessment (ESA) was completed for Norfolk County by Peto MacCallum Limited for vacant industrial park lands, comprising of 17.8 ha (44 ac) adjacent to the future extension of Luscombe Drive, including the proposed greenhouse development property.

The initial ESA (Phase 1) completed in 2012 identified some areas of potential environmental concern (APECs) on the proposed greenhouse site and adjacent lands. Quality testing of soil and groundwater (i.e. Phase 2) was recommended to address potential for contaminants to exist within the various areas of potential environmental concerns.

Phase 2 of the ESA was completed in 2013, which included sampling and chemical testing to confirm quality of soil and groundwater. The concentration of chemicals (e.g. metals, inorganic compounds, polycyclic aromatic hydrocarbons, etc.) in tested samples met applicable Ontario Regulation 153/04 standards. In summary, the ESA concluded that the site is not considered to be environmentally sensitive, and proposed land use will be less sensitive than existing land use (which was used for conventional agricultural including possible pesticide application).

A total of six (6) boreholes and ten (10) test pits were completed during the Phase 2 ESA. Soils were generally found to be coarse textured comprised of fill (silty sand and silty sand topsoil), native silty sand, and sand. Ground water monitoring found the water table at depths of 5.8 m to 6.2 m below grade.

It should be noted that the part of the proposed lot is within the Wellhead Protection Zone "C" for the Simcoe Well Supply (Cedar Street & Chapel Street Wellfields), as identified in the Long Point Region Source Protection Plan. The Local Vegetable Company originally intended on acquiring land further south on Luscombe Drive; however, southerly land is within Wellhead Protection Zone "B", which identifies pesticides, commercial fertilizers, and agricultural source materials as prescribed drinking water threats. The County therefore requested that the proposed development be located within Zone "C", and that the processing area (includes storage area for fertilizers) of the greenhouse be located at the north limit of the lot. The County's requests have been accommodated by the developer. Although pesticides and fertilizers are not identified as prescribed drinking water threats on the proposed lot (within Zone "C"), best management practices will still be implemented to reduce possible release and infiltration of fertilizers/chemicals into the ground. Further details are provided in the Sanitary Sewage section of this report.

GEOTECHNICAL RECOMMENDATIONS:

LVM was retained by the developer to review the Phase 2 ESA report prepared by Peto MacCallum Limited and to provide a Recommendation Letter (**see Appendix 'C'**) supporting that soil conditions are adequate for the proposed greenhouse construction. Based on the borehole findings, LVM recommends that foundations founded on approved native sand subgrades compacted with a plate tamper to 98% of the material's maximum standard Proctor dry density may be designed using a maximum serviceability limits states design pressure of 96 kPa (2,000 psf). The letter also recommends that as a minimum requirement, the top and bottom of the foundation walls be provided with two (2) continuous 15M reinforcing steel bars. For ultimate limit states design, a factored geotechnical resistance value of 144 kPa (3,000 psf) may be used, where the resistance factor is equal to 0.5.

A geotechnical consultant will be retained during construction to confirm that subsurface conditions do not deviate materially from those encountered in the borehole/test holes, and to test compaction.

EXTENSION OF LUSCOMBE DRIVE AND MUNICIPAL SERVICES:

Luscombe Drive currently dead-ends approximately 20 m north of Grigg Drive. The road, including roadside ditches, will need to be extended approximately 300 m northerly to suit the proposed parking lot layout located at the north limit of the initial 3.24 ha (8 ac) lot parcel. Watermain, storm sewer, overhead hydro, gas, and communication services will also require extension within the road allowance. It is understood that costs associated with design and construction of the road and service extensions will be borne by Norfolk County since they are the developer of the Alfred Judd Industrial Park.

A sanitary sewer already exists along the frontage of the initial proposed lot, which was installed to provide service for Toyotetsu Canada Inc. located northeasterly on Park Road. Part of the road allowance was cleared and regraded to accommodate installation of the sanitary sewer.

PRELIMINARY DESIGN DRAWINGS:

CJDL has prepared a **Preliminary Site Plan (Drawing No. 1 in Appendix 'D')** and a **Preliminary Grading & Site Servicing Plan (Drawing No. 2 in Appendix 'D')** in conjunction with the proposed Building Layout Plan provided by prospective building supplier Havecon. It is important to note that the Havecon Plan was chosen over the DGS Plan since the proposed building area is larger (i.e. more demanding for stormwater management calculations and lot grading constraints) and yard setbacks are more stringent.

Noteworthy assumption/details regarding the preliminary design plans are as follows:

- Information (diameters, grades, alignments) for existing municipal services was transferred from the as-constructed drawing for the Luscombe Drive Sanitary Sewer Extension (Project No. PW-E-06-038, 2006) as prepared by Norfolk County. It is understood that sewers, ditches, and future road will drain towards/are tributary to Grigg Drive. The existing sanitary sewer manhole located at the intersection of Grigg Drive has arbitrarily been identified as Station 1+000 m on the prepared Preliminary Design Drawings. A longitudinal road/ditch grade of 0.5% has been used from Station 1+000 m to 1+050 m, and a grade of 1.0% has been used north of Station 1+050 m; this is similar to the "Future Road Centreline Profile" shown on the referenced County as-constructed drawing.
- Existing/proposed road shoulders (believed to be 1± m wide have not been shown on the prepared plans).
- Proposed utilities (gas, hydro, communication) are not shown on the plans; alignment of mains and services will be confirmed with the County and utility providers during detailed design.
- Lot grading has been designed considering proposed cuts/fills on the lot and within the right-of-way. It is anticipated that surplus material generated within the road allowance can be used to fill low areas on the lot, in attempt to achieve an earth balance.
- Back-to-front drainage design has been used for the proposed lot; therefore, all drainage will be contained on the lot. The same concept is anticipated when adjacent industrial park lands to the north (possible Phase 3 expansion) and south are developed. Until the northerly vacant land is developed, the proposed lot will receive "pre-development" runoff from approximately 1.7 ha; this has been accommodated in the lot storm drainage design. Existing agricultural land to the west is not believed to be tributary to the lot; however, property line grades will be matched regardless (i.e. any modest runoff quantities from the west will be not be obstructed).
- Proposed ditch inlets within the road allowance have only been shown at proposed storm sewer outlets for the greenhouse lot. Additional ditch inlets not directly influencing storm sewer requirements for the proposed greenhouse facility have not been shown on the plan, and will be addressed in the Extension of Luscombe Drive design by Norfolk County.

Only one (1) municipal hydrant has been shown on the Preliminary Grading & Site Servicing Plan, which is located approximately 300 m north of an existing hydrant on Luscombe Drive (south of Grigg Drive – not shown/within boundary of proposed plan). This proposed hydrant satisfies Ontario Building Code Regulation 9.6.5.4 (1) which requires a hydrant within 90 m of the building face on which the principal entrance is located. Other municipal hydrant location(s) not directly influencing servicing requirements for the proposed greenhouse facility have not been shown on the plan, and can be addressed in the Extension of Luscombe Drive design by Norfolk County.

- Locations for the proposed sanitary private drain connection (PDC) and water service are subject to change during detailed design.
- Provided setbacks meet setbacks required by Norfolk County - General Industrial (MG) zoning regulations.
- A total of twenty-six (26) parking spaces including one (1) accessible type 'A' (van) space is provided. The number of provided spaces is reflective of actual parking spaces deemed required by the developer for Phases 1 and 2. Proposed parking is perpendicular having an aisle width of 7.3 m and parking space depths of 5.8 m. A Minor Variance will be required to reflect the reduced parking requirements.
- The proposed accessible type 'A' (van) space has a total width of 5.0 m, while the remaining twenty-five (25) spaces have a width of 3.0 m.
- The proposed driveway entrance is 7.3 m wide.
- Loading dock details will be confirmed during detailed design.
- The oil storage tank is for back-up heat production in the event that natural gas service is interrupted. A propane tank may alternatively be considered; details will be confirmed during detailed design.
- The rainwater harvesting basin is for capturing rainwater from building downspouts. Captured rainwater will be pumped and used for irrigation. Basin lining material, size, etc. will be confirmed during detailed design.
- The "processing" area of the greenhouse (consisting of a total area of 2,163 m²) will be slab-on-grade with a level floor elevation set 0.15 m (min.) above exterior adjacent grades. The growing area will have a soil ground surface sloping slightly (at 0.2± %) to the east to suit the roof gutter slope.

STORMWATER MANAGEMENT (INITIAL 3.24 ha – 8 ac LOT, PHASES 1 AND 2):

There is an existing 900 mm Ø concrete storm sewer stub located 30± m north of Grigg Drive centreline which requires extension along the frontage of the proposed greenhouse property to provide service for two (2) proposed "private" storm sewer outlets. Drainage from the proposed greenhouse lot (and future Luscombe Drive development) will be conveyed via storm sewers southerly to Grigg Drive, then easterly on Grigg Drive to an existing retention pond located southwest of the Grigg Drive & Park Road intersection. The retention pond subsequently discharges to Patterson Creek. In accordance with the Feasibility Study ("draft" version, prepared by Proctor & Redfern Limited, 1979), the discharge to Patterson Creek is controlled to the pre-development runoff based on a 25-year design storm.

Based on the Feasibility Study and consultation with Norfolk County Engineering Department, it is understood that **the municipal storm sewer system was designed for a 2-year storm using a runoff coefficient "C" value of 0.6. Therefore, onsite stormwater management – quantity control is required if "post-development" conditions have an average runoff coefficient greater than C = 0.6 (i.e. considered "pre-development" conditions) for a 2-year design storm.** Per the Feasibility Study, "storms greater than a 2-year return period will be accommodated in swales along both sides of the roads and for more intense storms by the roadway itself. Swales and roads will be designed to receive runoff from the developable areas." Therefore, it may not be required to provide onsite storage for a storm event greater than a 2-year return period; however, to satisfy current municipal standards (believed to be 5-year design storm per Norfolk County standards), additional onsite storage has been provided.

Refer to the Preliminary & Site Servicing Plan, and further information below:

Proposed Catchment Area 1 (Tributary to CB1):

The entire 2.3 ha of proposed building area for Phases 1 and 2, and 0.33 ha of grassed area is tributary to catchbasin CB1 located in the southeast quadrant of the lot. This equates to an **average post-development runoff coefficient $C = 0.86$** for the 2.63 ha catchment area. Using the Airport Formula with a watershed length of 250m and a watershed slope of 1.0%, the pre-development ($C=0.6$) and post-development ($C=0.86$) time of concentration is 25.8 minutes and 12.6 minutes, respectively. Using the Rational Method, this results in a pre-development runoff equal to $0.185 \text{ m}^3/\text{s}$, and a post-development runoff equal to $0.403 \text{ m}^3/\text{s}$. A proposed 200 mm \varnothing orifice outlet at CB1 will restrict 2-year storm post-development outflows to $0.169 \text{ m}^3/\text{s}$, (slightly less than pre-development runoff flows); **170 m^3 of onsite storage is required to accommodate a 2-year design storm.** In accordance with the Preliminary Lot Grading & Site Servicing Plan, approximately **400 m^3 of onsite storage volume has been provided** alongside the south half of the Phase 2 greenhouse building. Since the 200 mm \varnothing orifice control is sized to attenuate 2-year storm post-development flows to pre-development flows, more intense storms will be "over-controlled" (i.e. outflows through the orifice will be less to significantly less than pre-development flows for these more intense storms). **The proposed 2-year design orifice and 400 m^3 of onsite storage can accommodate the required storage (360 m^3) for a 10-year design storm without any overflow occurring to the roadside ditch on Luscombe Drive.** If the orifice was sized to suit pre-development flows produced during a 100-year storm, adequate storage would be provided (362 m^3 required for 100-year pre-development runoff of $0.403 \text{ m}^3/\text{s}$); however, since the orifice size is selected based on the 2-year storm, the proposed storage area will overflow to the Luscombe Drive roadside ditch during the more intense initial stages of the 100-year storm.

It should be noted that the proposed storage area for Catchment Area 1 is not required until the greenhouse facility is expanded during Phase 2, since the average post-development runoff coefficient for Phase 1 (includes 1.29 ha building area) would only be $C = 0.57$, less than $C = 0.6$ for the proposed 3.24 ha (8 ac) lot.

Rainwater Harvesting:

Runoff from the rooftop of the greenhouse facility may be piped to a rainwater harvesting basin. Details (dimensions, capacity, material, etc.) for the basin will be confirmed prior to detailed site plan submission. The basin would be constructed with an overflow pipe draining to the storage area within Catchment Area 1. For stormwater management calculations, the basin was considered to be full at all times, therefore all rooftop runoff would outlet via the basin overflow to the proposed storage area; however, in reality, the tank would not likely be full at the beginning of a rain event; thus, additional storage would actually be provided by the basin.

The 1979 Feasibility Study included completion of a Hydrogeological Study by International Water Consultants Ltd. Assuming a uniform distribution of buildings and pavement (covering 70 acres of 127 acres total park lands = 55% hard surface/building coverage), the hydrogeological study estimated that a maximum of 43,400 US gallons/d ($164,290 \text{ l/d}$) would be lost to the Cedar Street well field; however, the maximum anticipated loss of recharge ($43,400 \text{ US gallons/d}$) would be equivalent to less than 2.5% of the well field ratings/capacity (equal to $1,860,000 \text{ US gallons/d}$ in 1979).

Based on the foregoing, loss of groundwater recharge due to the proposed rainwater harvesting system is considered to have negligible impact on the Cedar Street Well Field capacity.

Proposed Catchment Area 2 (Tributary to CB2):

The total lot area tributary to CB2 (located north of the building) is 0.61 ha, consisting of the parking lot (0.2 ha) and grassed area (0.41 ha). **The average post-development runoff coefficient $C = 0.45$ is less than pre-development $C=0.6$; therefore, quantity control/onsite storage is not required for Catchment Area 2.** To be conservative, a runoff coefficient of 0.95 (i.e. asphalt surface) was used for the parking lot; although a gravel surface may be selected.

To address quality control for parking lot runoff, a retention/infiltration area is proposed north of the parking lot. This will be achieved by setting the catchbasin grate 0.2m (8") above the ground surface; thereby allowing runoff to filter into the ground rather than releasing parking lot contaminants directly to the municipal storm sewer. A "rain garden"/vegetation could be planted within the retention area to provide further treatment through plant transpiration. During intense storms, runoff will pond up to 0.2 m prior to overflowing to CB2 and subsequently to the municipal storm sewer system. A 300 mm \varnothing storm sewer outlet from CB2 is proposed, which has adequate capacity to accommodate 100-year design storm flows for the 0.61 ha catchment area on the lot (having a runoff coefficient $C=0.45$) as well as $1.7\pm$ ha of undeveloped land to the north (having a runoff coefficient $C=0.2$) i.e. possible Phase 3 future development property.

Please see Appendix 'E' for Tributary Areas/Drainage Plan and Stormwater Management Design Spreadsheets for Catchment Areas 1 and 2. Similar stormwater management design can be accommodated for possible Phase 3 expansion.

WATER:

Municipal water will be used for washrooms and washing product/equipment. Municipal water will also be used to supplement harvested rainwater for plant irrigation. Under normal operations, municipal water for irrigation purposes will be mixed with harvested rainwater in an underground tank within the building (not identified on attached site drawings) for chemical balancing. The volume of the balancing tank is estimated to be 200m^3 . Estimated municipal water demands are as follows:

ESTIMATED WATER DEMANDS				
PHASE(S)	TYPE OF DEMAND	AVERAGE DAILY DEMAND m^3/d (l/s)	MAX DAILY DEMAND m^3/d (l/s)	PEAK HOUR DEMAND m^3/hr (l/s)
1	IRRIGATION	50.0 (0.58)	150.0 (1.74)	TOTAL
	WASH WATER & DOMESTIC WATER	13.3 (0.15)	15.0 (0.17)	
	TOTAL	63.3 (0.73)	165.0 (1.91)	
1 & 2	IRRIGATION	100 (1.16)	300 (3.47)	TOTAL
	WASH WATER & DOMESTIC WATER	26.6 (0.31)	30.0 (0.35)	
	TOTAL	126.6 (1.47)	330.0 (3.82)	
1 & 2 & 3	IRRIGATION	200 (2.32)	600 (6.94)	TOTAL
	WASH WATER & DOMESTIC WATER	53.2 (0.62)	60.0 (0.69)	
	TOTAL	253.2 (2.94)	660.0 (5.73)	

A 100 mm \varnothing water service can provide adequate flows and velocity (with acceptable head losses) to meet the estimated domestic demands provided above. A meter and backflow preventor will be provided within the building.

An existing 300 mm \varnothing watermain currently ends approximately 30 \pm m north of Grigg Drive. It is understood that the 300 mm \varnothing watermain will be extended to at least the north limit of the proposed greenhouse lot.

Hydraulic Modeling:

R.V. Anderson (RVA) Associates Limited on behalf of Norfolk County used the existing Simcoe Water Distribution Model to review the impact of the proposed greenhouse development on the water system. The following points summarize the assumptions and analysis that was completed by RVA:

- Fire protection to the proposed development will be provided from proposed hydrants on the future extension of Luscombe Drive.
- A 100 mm \varnothing service connection will be provided from the 300 mm \varnothing watermain on Luscombe Drive to service the development for domestic use.
- Simulations were completed to estimate the pressure in the system during peak hour demands and available fire flows during maximum day demands. The simulations were completed using the scenarios in the existing model.

Results of the hydraulic analysis are as follows:

- The pressures in the vicinity of the proposed development during peak hour demand conditions are between 40 and 60 psi.
- The available fire flow during max day demand at the existing 300 mm \varnothing stub on Luscombe Drive north of Grigg Drive is 157 L/s (Future looping of the water system, per the 1979 Feasibility Study, is assumed to improve available fire flows).

In conclusion, the proposed development does not negatively impact the pressures or available fire flows in the rest of the Simcoe water distribution system. See Appendix 'F' for a copy of RVA's Water Modeling Report.

Required Fire Protection/Discussion:

Some discussion with regards to fire protection for the proposed greenhouse development at Alfred Judd Industrial Park in Simcoe:

Ontario Building Code (OBC) Section A-3.2.5.7 – Water Supply for Fire-Fighting states that an adequate water supply for fire-fighting is to be provided for every building; however, farm buildings of low human occupancy under the National Farm Building Code of Canada 1995 are exempted.

OBC Section A-1.1.3.2 – Farm Buildings include but are not limited to produce storage and packing facilities, greenhouses, etc. Farm buildings may be classed as low or high occupancy depending on the occupant load. Low Human Occupancy is defined as a situation where the occupant load is not more than one person per 40m². The developer has estimated that each hectare under glass will require about 5 to 8 people (i.e. one person per 1,250m² max.); thus, the operation would be considered low human occupancy.

A prospective greenhouse builder/supplier has indicated that almost all greenhouses around the world have no fire-flow protection. It's important to note that flammable materials within the growing area are very limited. Most important is that energy screen materials used within the growing area will be fire resistant (B1 fire rating per European regulations).

In addition to the production area, the greenhouse facility will also include subsidiary use areas (i.e. germination room, boiler room, office space/storage, cold storage, irrigation room, food processing, and corridor connecting to greenhouse area). It is our understanding that chemicals used for plant nutrients are not explosive. Storage/processing areas would contain some flammable items (e.g. packaging materials).

If we consider **OBC Section A-3.2.5.7 – Water Supply for Fire-Fighting**, making assumptions for subsidiary occupancy use:

In accordance with the building layout plan prepared by Havecon, the largest subsidiary room – “Food Processing/Packaging” has an area of 868m². Assuming a building height of 7m, the total volume = 6,076 m³. Assuming a “low hazard industrial occupancy classification” (F-3), an associated average Water Supply Coefficient, K = 19; and total of spatial coefficient values from property line exposures, S = 1.2:

From **OBC A-3.2.5.7.3(a)** the minimum supply of required “onsite” water,
 $Q = (19)(6,076\text{m}^3)(1.2) = 138,533 \text{ litres.}$

Per **OBC A-3.2.5.7.3(c)**, the water supply required in Item 3(a) should not be less than that needed to provide the minimum flow rate specified in Table 2 (= 4,500 L/min, if Q > 135,000 L and < 162,000 L) for a minimum duration of 30 minutes. $4,500 \text{ L/min} \times 30\text{min} = 135,000 \text{ L.}$

Therefore for 30 minutes of fire department hose stream (pumper) use, the required fire flow rate would be **77 L/s** (138,533 l/30 mins/60 s) governed by 3(a) at a minimum pressure of 20 psi. This assumes municipal fire protection being provided for the largest size subsidiary building room. Based on these assumptions, this required fire flow is not expected to change for Phase 2 since no additional processing/subsidiary area is anticipated.

Gary Houghton, Manager of Engineering, Norfolk County forwarded CJD L’s approach used to calculate required fire flows to Norfolk’s Building Department for comment.

Since the available fire flow for the area is 157 l/s (as confirmed by RVA), adequate fire protection is available to meet the assumed fire flow requirement (for largest subsidiary building room) equal to 77 l/s.

Furthermore, if the entire volume of the greenhouse building was considered in the **OBC A-3.2.5.7.3(a)** calculation, Q would be greater than 270,000 L; thus, per Table 2, a flow rate of 150 l/s (i.e. the highest flow indicated in Table 2) would be required – this can be achieved by the modeled available municipal fire flow = 157 l/s.

SANITARY SEWAGE:

Sanitary sewage discharges generated from the greenhouse facility will be discharged to an existing 300 mm Ø PVC SDR35 sanitary sewer on Luscombe Drive. Under normal operation, discharges will comprise only of wash water (used daily for washing produce and equipment) and domestic sewage (washroom use). It is important to note that the proposed irrigation system is a closed system (i.e. under normal operation, no irrigation water will be released to the sanitary sewer). It is estimated that the irrigation solution (containing water and diluted fertilizers) being “recycled” within the closed system will need to be refreshed at most four (4) times per year; maximum day and peak hour discharges will occur at these times only.

The irrigation system will include a tank (20m³ to 35m³ in volume per hectare of growing area) for mixing of fertilizers/plant nutrients with water, pumps, and distribution lines to the growing area. Irrigation solution not consumed by the plants will be returned to the mixing tank via a gutter system located below the growing lines, and recycled accordingly (i.e. a closed system).

To be conservative in the estimate of max daily sewage discharge, 40m³/day (per hectare of growing area) of irrigation solution has been used in the following table of Estimated Discharges & Infiltration:

ESTIMATED DISCHARGES & INFILTRATION				
PHASE(S)	TYPE OF DISCHARGE	AVERAGE DAILY DISCHARGE m³/d (l/s)	MAX DAILY DISCHARGE m³/d (l/s)	PEAK HOUR DISCHARGE m³/hr (l/s)
1	IRRIGATION SOLUTION	0.44 (0.005)**	40.0 (0.46)*	TOTAL
	WASH WATER & DOMESTIC SEWAGE	13.3 (0.15)	15.0 (0.18)	
	TOTAL (EXCL. INFILTRATION)	13.7 (0.155)	55.0 (0.64)	5.0 (1.39)***
	INFILTRATION (3.24 ha lot area)	78.6 (0.91)	78.6 (0.91)	3.3 (0.91)
	TOTAL (INCL. INFILTRATION)	92.3 (1.07)	133.6 (1.55)	8.3 (2.30)
1 & 2	IRRIGATION SOLUTION	0.88 (0.01)**	80.0 (0.93)*	TOTAL
	WASH WATER & DOMESTIC SEWAGE	26.6 (0.31)	30.0 (0.35)	
	TOTAL (EXCL. INFILTRATION)	27.5 (0.32)	110.0 (1.28)	10.0 (2.75)***
	INFILTRATION (3.24 ha lot area)	78.6 (0.91)	78.6 (0.91)	3.3 (0.91)
	TOTAL (INCL. INFILTRATION)	106.08 (1.23)	188.6 (2.19)	13.3 (3.69)
1 & 2 & 3	IRRIGATION SOLUTION	1.76 (0.02)**	160.0 (1.85)*	TOTAL
	WASH WATER & DOMESTIC SEWAGE	53.2 (0.62)	60.0 (0.69)	
	TOTAL (EXCL. INFILTRATION)	55.0 (0.64)	220.0 (2.54)	20.0 (5.56)***
	INFILTRATION (6.07 ha lot area)	146.9 (1.70)	146.9 (1.70)	6.1 (1.70)
	TOTAL (INCL. INFILTRATION)	201.9 (2.34)	366.9 (4.24)	26.1 (7.26)

TABLE NOTES:

* DISCHARGING OF IRRIGATION SOLUTION WILL OCCUR AT MOST FOUR (4) TIMES PER YEAR WHEN SOLUTION NEEDS TO BE REFRESHED

** AVERAGE DAY DISCHARGES OF IRRIGATION SOLUTION = (MAX. DAY DISCHARGE X 4) / 365 DAYS

*** TOTAL PEAK HOUR DISCHARGES (IRRIGATION SOLUTION AND/OR WASHWATER & DOMESTIC SEWAGE) WILL BE REGULATED

It should be noted that estimated water demands (as indicated in the **WATER Section** of this report) are equal to estimated discharges for "wash water & domestic use". For irrigation, estimated discharges are less than 1% the estimated water demand required (e.g. for Phase 1, annual water demand for irrigation = 18,250 m³ versus annual discharge = 160 m³) since the water is consumed by the plants and evaporation. Approximately 22% of total municipal water consumed (for wash water, domestic water, and irrigation) will be discharged to the sanitary sewer.

Infiltration allowances have been determined in accordance with Section 9.2.04 of Norfolk County Design Criteria (i.e. = 0.28 l/s/ha). The ground water table was monitored at depths of 5.8 m to 6.2 m below grade during Phase 2 of the ESA (by Peto MacCallum Ltd); therefore, infiltration is not anticipated, which would reduce estimated peak hour design flows by 25% to 40%.

A 150 mm \varnothing (minimum size per County Design Criteria) private sanitary service at 2.0% grade having a capacity of 21.54 l/s and full flow velocity of 1.22 m/s is proposed for the greenhouse, which can adequately accommodate peak hour discharges. Depending on the building design and associated plumbing layout for possible future expansion in Phase 3, it may be practical and cost effective to install a second sanitary service at that time.

The existing 300 mm \varnothing sanitary sewer at 0.30 \pm % grade on Luscombe Drive has a capacity of 52.97 l/s; therefore, peak (hourly) design flows including infiltration allowances of 2.30 l/s (Phase 1), 3.69 l/s (Phases 1 and 2 combined) and 7.26 l/s (Ultimate Build-Out) would comprise 4.0% (Phase 1), 7.0% (Phases 1 and 2), and 13.7% (Ultimate Build-Out) of the mainline sewer capacity. It's believed that the 300 mm \varnothing sewer on Luscombe Drive may provide future service for a total upstream tributary area of approximately 32 \pm ha (80 ac), which is assumed to include the proposed greenhouse facility (15 ac), future northerly development on the west side of Luscombe Drive (10 ac), existing Petro Canada (1.5 ac) and Deming Floyd George (13 ac) properties off Fourteenth Street, and the Toyotetsu plant (40.5 ac). **The ultimate lot area for the greenhouse development accounts for 19 \pm % of the total assumed tributary area for the sewer; however, peak sewage discharges from the greenhouse will account for only 14 \pm % of the sewer capacity. Therefore, it is believed that the Luscombe Drive sanitary sewer can accommodate peak flows from the greenhouse development and other future development. This assumption should be reviewed by the County.**

Comparison of Estimated Discharges Using Norfolk County Design Criteria

Using current Norfolk County Design Criteria for industrial land use, design peak flows for a lot area size equal to Phases 1 and 2 (combined) and Phase 3/Ultimate Build-out would be 7.55 l/s and 13.72 l/s, respectively; therefore, **estimated peak hour discharges for the greenhouse are approximately 50% of these calculated flows.**

For additional information and design calculations, please see the Sanitary Sewer Design Spreadsheet in **Appendix 'G'**.

Quality of Sanitary Sewer Discharges:

It is understood that sanitary sewer discharges shall be regulated in accordance with current Norfolk County By-law No. 83-74. Through consultation with the developer, chemicals contained in irrigation system fertilizers and wash water solutions are to be in diluted form which can be flushed into the sewage system as their concentrations are within regulated limits. Refer to the table below for typical chemical concentrations to be used:

CHEMICAL ELEMENT (ALL USED IN FERTILIZER SOLUTION; EXCEPT CHLORIDE)	CHEMICAL SYMBOL	CONCENTRATION OF CHEMICALS IN DILUTED FERTILIZER SOLUTIONS (mg/l)	ALLOWABLE CONCENTRATION PER SECTION 6.1 (m) OF BY-LAW No. 83-74 (mg/l)
NITROGEN	N	150	NO REFERENCE
PHOSPHORUS	P	30	NO REFERENCE
POTASSIUM	K	250	NO REFERENCE
CALCIUM	Ca	100	NO REFERENCE
MAGNESIUM	Mg	30	NO REFERENCE
IRON	Fe	2	NO REFERENCE
MAGANESE	Mg	0.5	NO REFERENCE
COPPER	Cu	0.05	3
ZINC	Zn	0.1	3
CHLORIDE (WASHWATER)	Cl	200	1500

Irrigation flows within the greenhouse growing area (under glass) will consist only of diluted chemical in accordance with aforementioned table above. Spillage/leakage of this diluted irrigation solution is not anticipated within the growing area; however, geotextile (plastic tarp) installation on the floor of the growing area is proposed to capture any leakage to the floor. Spills can then be manually cleaned up as required.

Stock solutions of irrigation fertilizers and chlorine for wash water will be stored within the processing area of the greenhouse facility which will have impervious concrete floors. Only chlorine and hydrochloric acid will come in liquid form; all other substances will be in solid form. Stock solutions are estimated to be in the range of one hundred (100) times more concentrated than the final diluted solutions. Individual container sizes are estimated to generally range from 10 litres jugs to 200 litre totes.

Concrete floors in the processing/storage areas can be sloped to a floor drain(s) which will outlet to a containment tank(s) in the event of a chemical spill. The containment tank would be plumbed/located upstream of the sanitary sewer outlet (to municipal sewer); a valve would be located at the tank outlet to isolate outflow from entering the sewer if/as required. Another containment option could include raising the door sill of a chemical storage room to a required height; thereby creating adequate storage/containment within the room itself. Containment will be in accordance with applicable MOE regulations. If there is a spill, the solution within the containment will be pumped out to a container/truck and exported offsite to an approved disposal facility.

Under normal conditions, sanitary sewer discharges will only consist of wash water and domestic sewage (washroom use); therefore only low concentrations of chlorine (200 ppm) used for wash water will be directed to the sewer system. The wash water will be low in dissolved solids because produced leafy greens produced hydroponically do not collect much dirt, especially compared to production from the field. The wash water may have some small amounts of residual leafy greens but Biochemical Oxygen Demand (BOD) would be contained within acceptable limits.

The fertilizer solution being recycled within the closed irrigation system will be refreshed at most four (4) times per year. Approximately 40m^3 (per hectare of growing area) will be discharged each time the irrigation solution is refreshed. For Phase 1, 160m^3 of irrigation solution is estimated to be released per year. As an example, the concentration of calcium within the fertilizer solution is estimated to be 100 mg/l; therefore, the total mass of calcium being released to sewer system per year is: $100\text{ mg/l} \times 160,000\text{ l} / 1,000,000\text{ mg/kg} = 16\text{ kg}$.

In accordance with Section 6.5 of By-law No. 83-74, a sanitary manhole will be installed at the property limit (or as directed by the County) to facilitate observation, sampling, and measurement of waste by Norfolk County staff. The developer proposes to adopt environmentally responsible practices including a standard protocol to monitor the quality of discharges to ensure compliance with limits specified in the applicable County By-Law.

SOLID WASTE:

The greenhouse operation will generate two (2) main types of solid waste. Vegetable crop production in the greenhouse will generate organic compostable material mixed with some soil like material consisting of plant residues and used growing media. This material will be accumulated after harvest in bins to be taken away for processing and recycling. The other type of solid waste will consist of containers and packaging material for inputs to the operation. This material will be collected and classified into recyclable and non-recyclable waste in bins to be taken away for processing and disposal.

NATURAL GAS:

Natural gas will be used to operate a boiler which will subsequently heat irrigation water and the building when temperatures are low. Estimated demands for natural gas are as follows:

PHASE	ANNUALLY (m ³)	MAX. DAY (m ³)	PEAK HOUR (m ³)
1	50,000	5,000	250
2	100,000	10,000	500
3	200,000	20,000	1,000

Estimated demands were provided to Union Gas to confirm whether or not capacity is available within their existing system. Union Gas' contact for this project is:

Edward (Ted) Collins
New Business Project Coordinator, Union Gas
Telephone: 519-752-5211 Ext. 5052058
Email: ercollins@uniongas.com

Considering that a delivery pressure of 60± psi is required for the boiler, Ted Collins in consultation with engineering services (Chatham) confirmed that Union Gas does not anticipate any issues with projected demands for the proposed greenhouse facility. Extension of a gasmain within the road allowance of Luscombe Drive will be required to suit the greenhouse development. Size of gas service will be confirmed once an application to Union Gas is submitted by the developer's mechanical engineer during the detailed design phase.

HYDRO:

The main use for hydro will be to provide supplementary lighting within the growing area during short days; however, fans, refrigeration, irrigation pumps, and controls & instrumentation will also require electrical energy. Three phase power will be required. Estimated demands for electricity are as follows:

PHASE	ANNUALLY (kWh)	MAX. DAY (kWh)	PEAK HR. (kWh)
1	4,000,000	20,000	1,200
2	8,000,000	40,000	2,400
3	16,000,000	80,000	4,800

Estimated demands were sent to Bob Brewer, Norfolk Hydro to confirm whether or not capacity is available within their existing system. Bob's contact information is as follows:

Bob Brewer
Senior Engineering Technologist, Norfolk Power
Telephone: 519-426-4440 Ext. 2238
Email: bbrewer@norfolkpower.on.ca

Bob confirmed that Norfolk Power has capacity within the neighbourhood for at least Phase 1, if not subsequent phases. Extension of three phase overhead hydro will be required within the road allowance to suit the greenhouse development.

It should be noted that Norfolk Power was in the process of being sold to Hydro One at time of consultation with Bob Brewer. Therefore, topics such as required transformation, financial contributions/rebates, etc. could not be addressed at that time.

The file was later passed on by Bob Brewer to Paul DeBruyn:

Paul DeBruyn
Senior Engineering Technologist, Norfolk Power
Telephone: 519-426-4440 Ext. 2261
Email: pdebruyn@norfolkpower.on.ca

In attempt to obtain a preliminary cost estimate for the hydro service, Paul DeBruyn requested that an Industrial/Commercial Service Request Form be submitted. The form was filled out by the developer in accordance with preliminary technical information provided by a prospective greenhouse supplier. An email completed with the completed application form was sent to engineering@norfolkpower.on.ca as requested; however, a reply/additional information has not been received to date. Additional information will be confirmed during detailed design.

COMMUNICATION:

Communication services will be required for telephone, internet, and control systems (SCADA, etc.) No servicing issues are anticipated; utility companies will be consulted during detailed design.

NOISE:

The developer understands that Norfolk County may regulate noise in accordance with noise by-law provisions; however, noise (from ventilation fans, etc.) is not expected to affect adjacent properties. Additional details/specifications can be provided during detailed design.

TRAFFIC:

The developer has indicated that the operation will employ approximately 20 people (max.) for Phases 1 and 2 combined. Generally, each employee will be limited to one (1) trip generation (to and from work) per day. Large cube vans will generally be used for deliveries (for supplies and exports). Delivery of supplies to the greenhouse are only estimated to occur bi-weekly, while delivery of exports (e.g. finished produce to retailers) are estimated to occur once or twice per day. Due to the estimated low traffic generated by the proposed greenhouse facility, negligible impacts to the road network are anticipated.

CONCLUSION:

From a servicing perspective, no significant concerns are anticipated for the proposed greenhouse development as an agricultural use within the Alfred Judd Industrial Park. Estimated servicing demands can be accommodated by existing/proposed infrastructure owned by the Municipality/Utility providers. The Local Vegetable Company and CJDL will work cooperatively with the County to ensure that the proposed greenhouse design/detailed site plan suits the future design for the Extension of Luscombe Drive.

APPENDED INFORMATION:

APPENDIX 'A'	Havecon Building Layout Danish Greenhouse Supply Building Layout
APPENDIX 'B'	Topographic Survey Incl. Contours (G. Douglas Vallee Limited)
APPENDIX 'C'	Geotechnical Recommendation Letter (LVM)
APPENDIX 'D'	Drawing No. 1 – Preliminary Site Plan Drawing No. 2 – Grading & Site Servicing Plan
APPENDIX 'E'	Stormwater Tributary Areas/Drainage Plan Stormwater Management Design Spreadsheets
APPENDIX 'F'	Water Modeling Report (R.V. Anderson Associates Limited)
APPENDIX 'G'	Sanitary Sewer Design Spreadsheet

**

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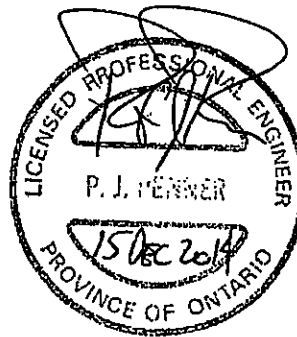
**

If any further information or clarifications are required, please do not hesitate to contact this office.

All of which is respectfully submitted,



Jesse S. Keith, P. Eng.



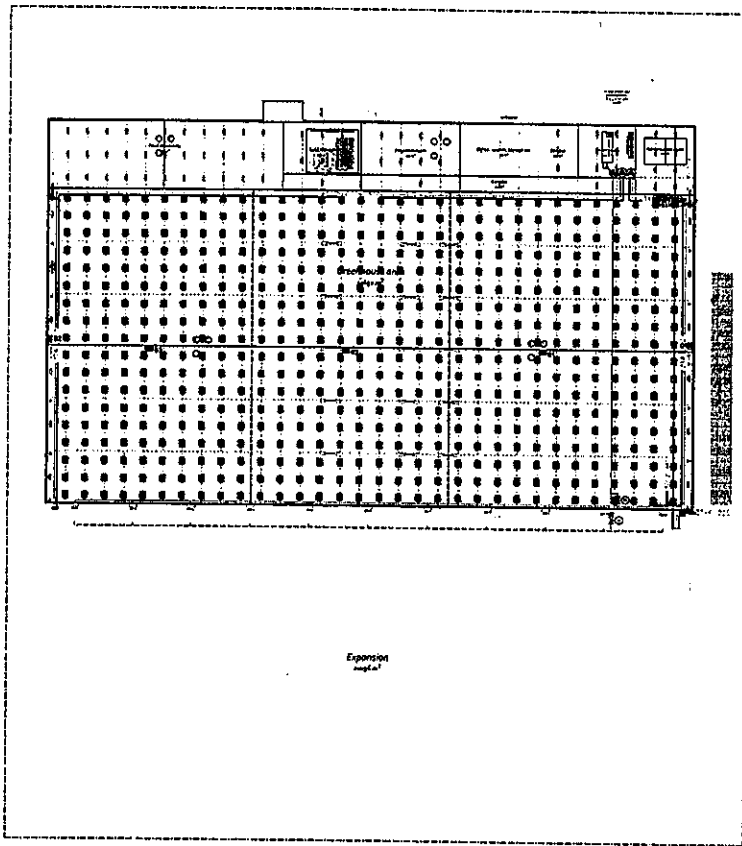
Peter J. Penner, P. Eng.

/JSK

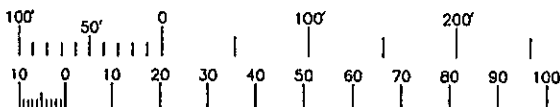
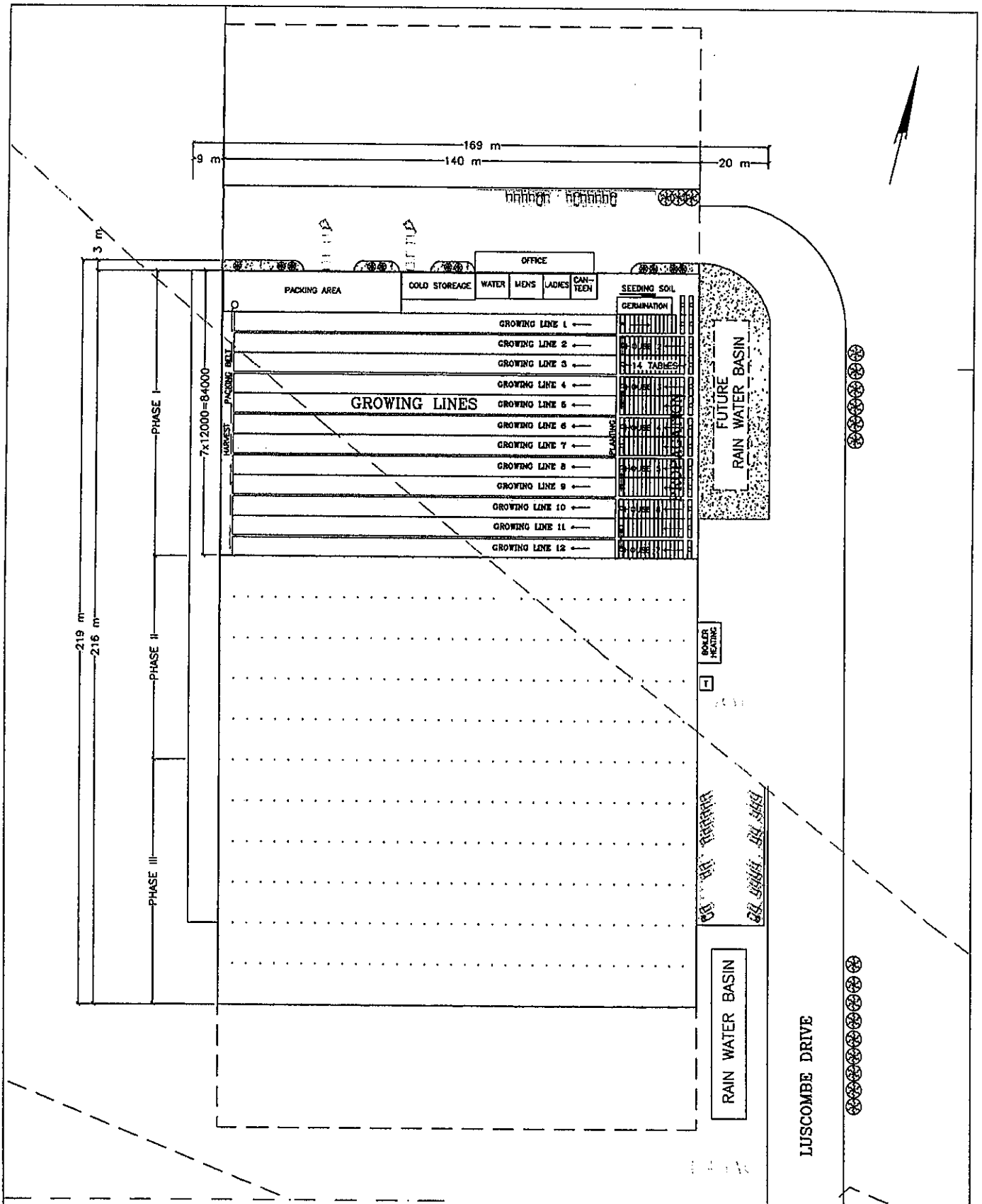
APPENDIX 'A'

HAVECON BUILDING LAYOUT

**DANISH GREENHOUSE SUPPLY BUILDING
LAYOUT**



Project name		Project number	
Local Veg. U		1691	
Sheet number	PLN	of	
Title			
Greenhouseplan			
Drawn by: [Name] Date: [Date] Scale: 1:100			



D G S
DANISH GREENHOUSE SUPPLY
 O-S-S DANISH GREENHOUSE SUPPLY A/S
 Odenavej 36 DK-5600 Tømrup - Denmark
 Tel: (+45) 75 20 14 10 - Fax: (+45) 54 75 24 70
 E-mail: dgs@dgssupply.dk

Name: LOCAL VEGETABLE COMPANY CANADA		Date: 14.05.01
Regarding: GREENHOUSE 2014 LAYOUT, OPERATION AREA - ALTERNATIVE C		Sig: T.H.
Size: A3	Measure: 1:1000	Case num.: 36314
XREF:	XREF:	Drawing num.: 61-27
FILE: 363146127.DWG		

APPENDIX 'B'

**TOPOGRAPHIC SURVEY INCL. CONTOURS
BY G. DOUGLAS VALLEE LIMITED
(IN "POCKET")**

APPENDIX 'C'

GEOTECHNICAL RECOMMENDATION LETTER (LVM)



EMAIL TRANSMISSION

September 24, 2014

Mr. Peter Penner, P.Eng.
CJDL Consulting Engineers
P.O. Box 460
261 Broadway
Tillsonburg, Province N4G 4H8

Subject: Geotechnical Review
Proposed Greenhouse Development
Luscombe Drive, Alfred W. Judd Industrial Park
Simcoe, Ontario
Our ref.: P161-P-0007194-01-100-GE-L-0001-00

Dear Mr. Penner:

As requested, LVM, a division of EnGlobe Corp. (LVM) has reviewed the Phase Two Environmental Site Assessment report for the above captioned site prepared by Peto MacCallum Ltd., Ref. 12HX006, Report 3, dated December, 2013 in order to provide cursory geotechnical recommendations for the planned Greenhouse Development at the above captioned site.

The aforementioned report provides test hole findings for six boreholes and ten test pits. The test holes revealed upper layers of topsoil and sand fill materials, and these layers were penetrated at depths of 0.2 to 1.5 m. Beneath the fill and topsoil materials, the test holes encountered sand materials. The boreholes were terminated within the sand at depths of 6.6 to 8.1 m, and the test pits were terminated within sand at depths of 1.0 to 2.3 m. The borehole findings indicate that the sand at the borehole locations has a loose relative density to depths of 1.0 to 3.5 m, and becomes compact below these depths. Monitoring wells were installed in Boreholes 1 to 5, and groundwater levels were measured in Boreholes 4 and 5 at depths of 5.8 to 6.2 m, and the wells in Boreholes 1 to 3 were dry to the well depths of about 6.0 to 7.5 m.

Based on the borehole findings, it is recommended that foundations founded on approved native sand subgrades compacted with a plate tamper to 98% of the material's maximum standard Proctor dry density (MSPDD) may be designed using a maximum serviceability limits states (SLS) design pressure of 96 kPa (2,000 psf). It is also recommended that as a minimum requirement the top and the bottom of the foundation walls be provided with two continuous 15M reinforcing steel bars. For ultimate limit states design, a factored geotechnical resistance value (ϕR_n) of 144 kPa (3,000 psf) may be used, where the resistance factor (ϕ) is equal to 0.5.



Subject : Geotechnical Review, Proposed Greenhouse Development
Luscombe Drive, Simcoe
P161-P-0007194-01-100-GE-R-0001-00

September 23, 2014

The borehole findings indicate that the founding ground at the site may be categorized as Site Class D in accordance with Table 4.1.8.4.A of the Ontario Building Code.

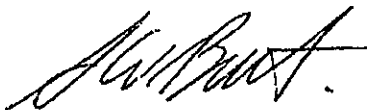
Statement of Limitations

The geotechnical recommendations provided in this cursory review are applicable only to the project described in the text. Since all details of the design may not be known at the time of report preparation, we recommend that we be retained during the final design stage to verify that the geotechnical recommendations have been correctly interpreted in the design. Also, if any further clarification and/or elaboration are needed concerning the geotechnical aspects of the project, LVM should be contacted. We recommend that we be retained during construction to confirm that the subsurface conditions do not deviate materially from those encountered in the test holes and to ensure that our recommendations are properly understood.

The geotechnical recommendations provided in this report are intended for the use of the owner and its retained designer. They are not intended as specifications or instructions to contractors. Any use which a contractor makes of this report, or decisions made based on it, are the responsibility of the contractor. The contractor must also accept the responsibility for means and methods of construction, seek additional information if required, and draw their own conclusions as to how the subsurface conditions may affect their work. LVM accepts no responsibility and denies any liability whatsoever for any damages arising from improper or unauthorized use of the report or parts thereof.

It is important to note that the geotechnical investigation involves a limited sampling of the site gathered at specific test hole locations and the conclusions in this report are based on this information gathered. The subsurface geotechnical, hydrogeological, environmental and geologic conditions between and beyond the test holes will differ from those encountered at the test holes. Also such conditions are not uniform and can vary over time. Should subsurface conditions be encountered which differ materially from those indicated at the test holes, we request that we be notified in order to assess the additional information and determine whether or not changes should be made as a result of the conditions.

Yours very truly,
LVM, a division of EnGlobe Corp.



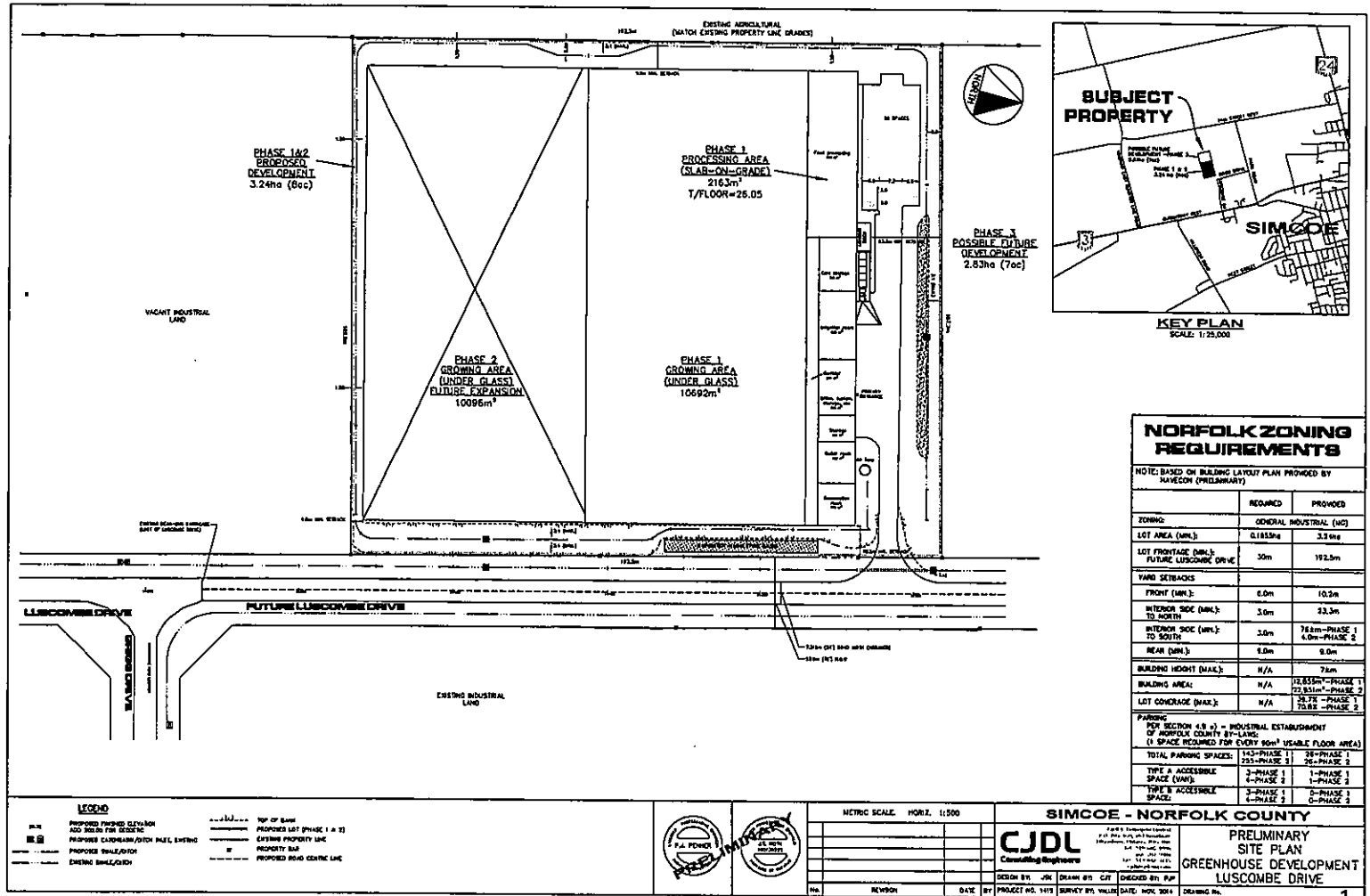
Stephen W. Burt, P.Eng.
Consulting Geotechnical Engineer

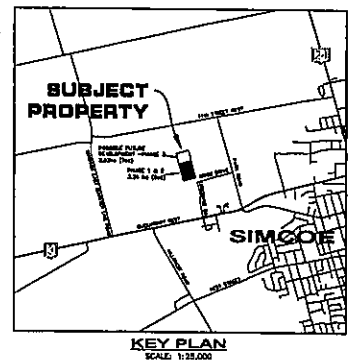
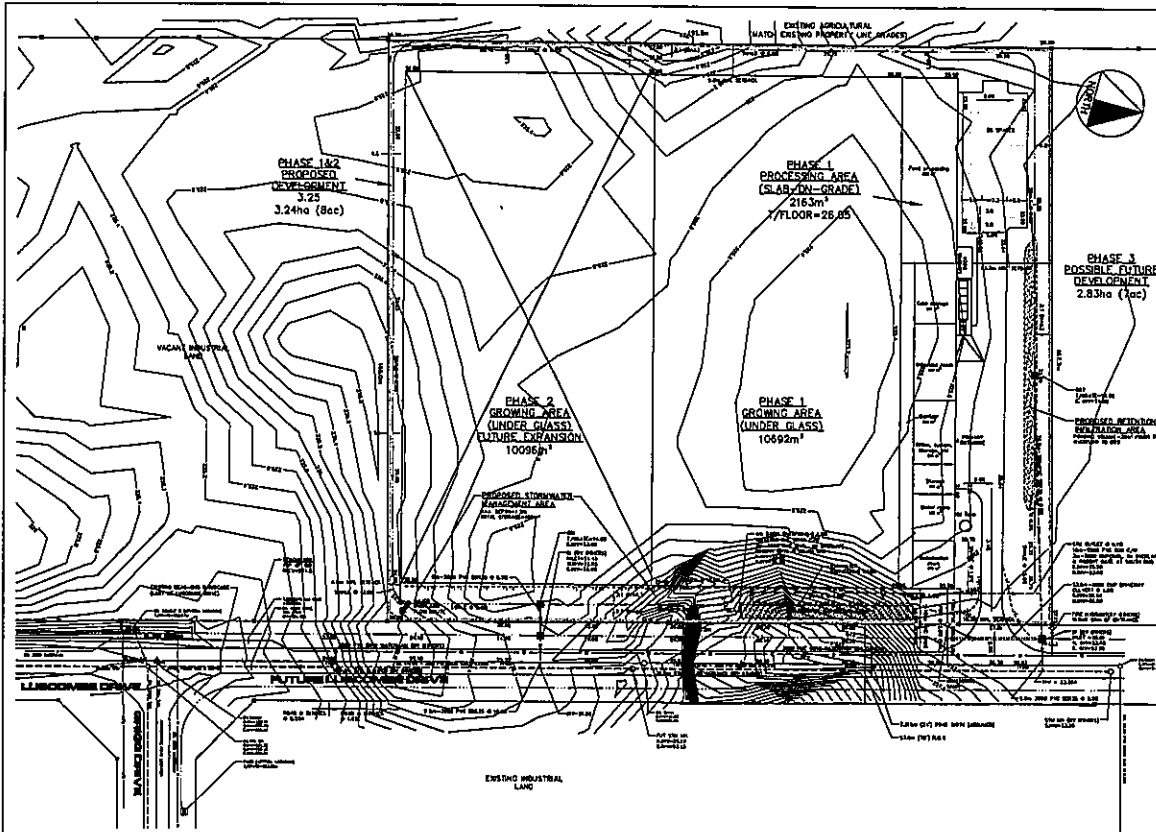


APPENDIX 'D'

**DRAWING NO. 1 – PRELIMINARY SITE PLAN
(IN “POCKET”)**

**DRAWING NO. 2 – PRELIMINARY GRADING &
SITE SERVICING PLAN
(IN “POCKET”)**





GENERAL NOTES

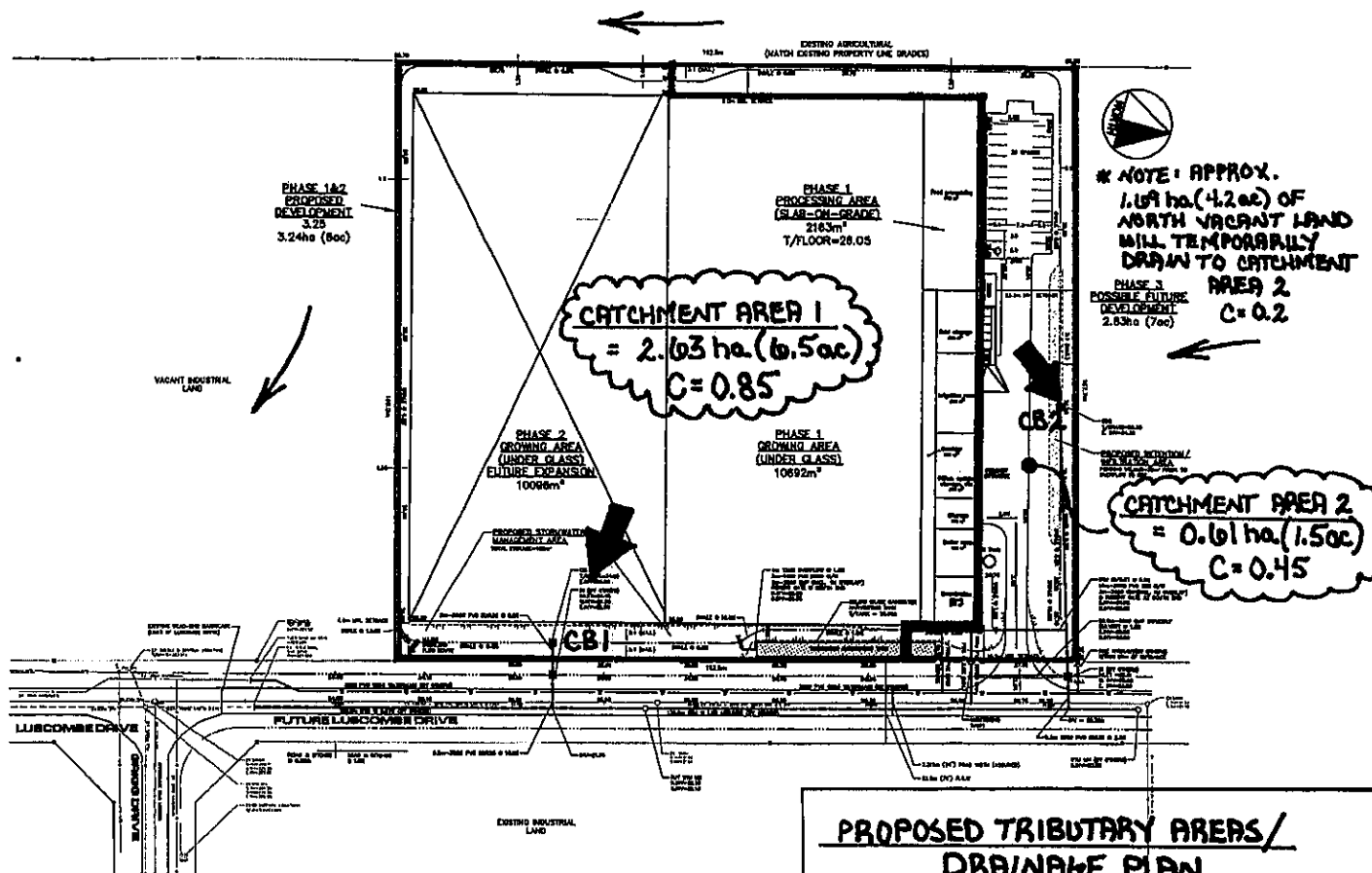
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LEGEND				METRIC SCALE, HORIZ. 1:500		SIMCOE - NORFOLK COUNTY	
PROPOSED PAVED DRIVEWAY AND DRIVE FOR ROADS	EXISTING HYDRO POLE	EXISTING WATERMAIN	TOP OF BANK			CJDL Consulting Engineers	PRELIMINARY GRADING & SITE SERVING PLAN GREENHOUSE DEVELOPMENT LUSCOMBE DRIVE
PROPOSED CATCHMENT/STORM PILE, EXISTING	EXISTING OVERHEAD HYDRO	PROPOSED WATERMAIN	PROPOSED LOT (PHASE 1 & 2)				
PROPOSED BRIDGE/STORM	EXISTING UNDERGROUND HYDRO	EXISTING SANITARY SEWER	PROPOSED WATER VALVE, EXISTING			DESIGN BY: JDL	DATE: 01/01/2011
EXISTING DRIVE/STORM	EXISTING DRAINAGE/BRIDGE	PROPOSED SANITARY SEWER				DESIGN BY: JDL	DATE: 01/01/2011
	EXISTING SANITARY TELEPHONE	EXISTING STORM SEWER				DESIGN BY: JDL	DATE: 01/01/2011
	PROPERTY LINE	PROPOSED STORM SEWER				DESIGN BY: JDL	DATE: 01/01/2011

APPENDIX 'E'

**STORMWATER TRIBUTARY AREAS/
DRAINAGE PLAN**

**STORMWATER MANAGEMENT DESIGN
SPREADSHEETS**



PROPOSED GREENHOUSE DEVELOPMENT (CATCHMENT AREA 1 - TO SWM AREA)
STORMWATER MANAGEMENT CALCULATIONS - 2 YEAR STORM
2-YEAR STORM USING 2-YEAR DESIGN ORIFICE

CJDL
Consulting Engineers

Project No: 1415
Date: 14 November 2014

Design By: JSK
Checked By: _____

SITE CHARACTERISTICS

TRIBUTARY AREA (A) =	2.63 Ha
WATERSHED LENGTH (L) =	250 m
WATERSED SLOPE (S) =	1.00 %

PRE-DEVELOPMENT

PRE - DEVELOPMENT RUNOFF COEF. =	0.80
PRE - DEVELOPMENT Tc(pre) =	25.8 minutes
INTENSITY AT Tc(pre) =	41.7 mm/hour
PRE - DEVELOPMENT RUN-OFF (Qpre) =	0.1845 m³/s

POST - DEVELOPMENT

POST - DEVELOPMENT RUNOFF COEF. =	0.86
POST - DEVELOPMENT Tc(post) =	12.5825 minutes
INTENSITY AT Tc(post) =	63.9 mm/hour
POST - DEVELOPMENT RUN-OFF (Qpost) =	0.4030 m³/s
POST - DEVELOPMENT OUTFLOW =	0.1692 m³/s

OUTLET DESIGN (AT CB1)

ORFICE USED	200 mm
Q FOR ORFICE USED	0.1692 m³/s

CALCULATIONS

$$Q(\text{pre/post}) = 0.0028 \cdot C \cdot I \cdot A$$

$$\text{Intensity (I)} = a(Tc+b)^c$$

$$\text{Time of Concentration (Tc)} = (3.28 \cdot (1.1 - I^0.05) \cdot (L)^{1/2} / Sw^{1/3}) - \text{AIRPORT FORMULA}$$

Pre-Development Runoff Coefficient

Item	Area (Ha)	C Value
Gravel	0.00	0.70
Building	0.00	0.95
Turfstone	0.00	0.30
Sod	0.00	0.20
Asphalt	0.00	0.95
Total	2.63	0.6000

USE **0.60**

[Norfolk County Design Guidelines, S. 7.4.04b]

Post-Development Runoff Coefficient

Item	Area (Ha)	C Value
Gravel	0.00	0.70
Building	2.30	0.95
Turfstone	0.00	0.30
Sod	0.33	0.20
Asphalt	0.00	0.95
Total	2.63	0.8558

USE **0.86**

Rainfall Intensity

Norfolk County - 2 Year Design Storm

a=	629.711
b=	4.501
c=	0.745

IDF Values, Per Norfolk County Design Guidelines, S. 7.4.02

	2 year	5 year	10 year	25 year	50 year	100 year
a:	629.711	583.017	670.324	721.533	766.038	801.041
b:	4.501	3.007	3.007	2.253	1.898	1.501
c:	0.745	0.703	0.698	0.679	0.688	0.657

STORAGE CALCULATIONS

TIME [hrs]	RAINFALL INTENSITY [mm/hr]	TOTAL VOLUME [m³]	INFLOW [m³/s]	RATE OF RELEASE [m³/s]	VOLUME RELEASED [m³]	VOLUME STORED [m³]
0.083	99.15	185	0.620	0.1692	51	135
0.167	72.17	271	0.451	0.1692	102	170
0.333	48.91	367	0.306	0.1692	203	164
0.50	37.88	426	0.237	0.1692	305	122
0.667	31.32	470	0.196	0.1692	408	84
0.833	26.95	505	0.169	0.1692	508	-2
1	23.76	535	0.149	0.1692	609	-74
1.5	17.88	604	0.112	0.1692	914	-310
2	14.56	655	0.091	0.1692	1219	-583
3	10.86	733	0.068	0.1692	1828	-1094
4	8.81	793	0.055	0.1692	2437	-1644
5	7.48	842	0.047	0.1692	3046	-2205
6	6.54	883	0.041	0.1692	3656	-2772
7	5.84	920	0.037	0.1692	4265	-3345
8	5.29	953	0.033	0.1692	4874	-3922
9	4.85	983	0.030	0.1692	5484	-4501
10	4.49	1010	0.028	0.1692	6093	-5083
11	4.18	1035	0.026	0.1692	6702	-5667
12	3.92	1059	0.025	0.1692	7312	-6253
14	3.50	1102	0.022	0.1692	8530	-7428
16	3.17	1141	0.020	0.1692	9749	-8608
18	2.90	1178	0.018	0.1692	10967	-9791
20	2.68	1208	0.017	0.1692	12186	-10977
22	2.50	1239	0.016	0.1692	13404	-12166
24	2.34	1267	0.015	0.1692	14623	-13356

MAXIMUM STORAGE REQUIRED: **170**

STORAGE PROVIDED: **400**

PROPOSED GREENHOUSE DEVELOPMENT (CATCHMENT AREA 1 - TO SWM AREA)
ORIFICE DESIGN - BASED ON 2 YEAR STORM PRE-DEVELOPMENT FLOWS

CJDL
Consulting Engineers

Project No: 1415 Design By: JSK
Date: 14 November 2014 Checked By: _____

PRE - DEVELOPMENT FLOW 0.1845 [m³/s]

$$Q = CA \sqrt{2gH_1}$$
$$d = \sqrt{\left(\frac{4Q}{3.14C \sqrt{2gH_1}} \right)}$$
$$H_1 = E_1 - E_2$$

MAXIMUM PONDING ELEVATION (E1) = 25.3 m
CENTERLINE OF ORFICE OUTLET (E2) = 23.1 m
HEAD ABOVE ORFICE (H1) = 2.2 m
CONSTANT (C) = 0.82
GRAVITATIONAL CONSTANT (g) = 9.81 m/s²
MAX. ORIFICE SIZE ALLOWABLE (d) = 0.209 m

DIAMETER OF ORFICE TO BE USED = 0.200 m (MINIMUM RECOMMENDED DIAMETER: 75mm)
OUTFLOW Q = 0.1692 [m³/s] (LESS THAN PRE-DEVELOPMENT FLOW FOR 2-YEAR STORM)

PROPOSED GREENHOUSE DEVELOPMENT (CATCHMENT AREA 1 - TO SWM AREA)
STORMWATER MANAGEMENT CALCULATIONS
10-YEAR STORM "OVER-CONTROLLED" USING 2-YEAR DESIGN ORIFICE

CJDL
 Consulting Engineers

Project No: 1415
 Date: 14 November 2014

Design By: JSK
 Checked By: _____

SITE CHARACTERISTICS

TRIBUTARY AREA (A) =	2.63 Ha
WATERSHED LENGTH (L) =	250 m
WATERSED SLOPE (S) =	1.00 %

PRE-DEVELOPMENT

PRE - DEVELOPMENT RUNOFF COEF. =	0.60
PRE - DEVELOPMENT Tc(pre) =	25.6 minutes
INTENSITY AT Tc(pre) =	64.2 mm/hour
PRE - DEVELOPMENT RUN-OFF (Qpre) =	0.2839 m³/s

POST - DEVELOPMENT

POST - DEVELOPMENT RUNOFF COEF. =	0.86
POST - DEVELOPMENT Tc(post) =	12.5825 minutes
INTENSITY AT Tc(post) =	98.6 mm/hour
POST - DEVELOPMENT RUN-OFF (Qpost) =	0.8212 m³/s
POST - DEVELOPMENT CBFLOW =	0.1692 m³/s

OUTLET DESIGN (AT CB1)

ORFICE USED (SIZED FOR 2 YEAR PRE-DEV. FLOWS)	200 mm
Q FOR ORFICE USED	0.1692 m³/s

CALCULATIONS

$$Q(\text{pre/post}) = 0.0028 \cdot C \cdot I \cdot A$$

$$\text{Intensity (I)} = a(Tc+b)^c$$

$$\text{Time of Concentration (Tc)} = (3.25 \cdot (1.1 \cdot I^c) \cdot (L)^{1/2}) / S^{1/3} - \text{AIRPORT FORMULA}$$

Pre-Development Runoff Coefficient

Item	Area (Ha)	C Value
Gravel	0.00	0.70
Building	0.00	0.95
Turfstone	0.00	0.30
Sod	0.00	0.20
Asphalt	0.00	0.95
Total	2.63	0.6000

USE 0.60

(Norfolk County Design Guidelines, S. 7.4.04b))

Post-Development Runoff Coefficient

Item	Area (Ha)	C Value
Gravel	0.00	0.70
Building	2.30	0.95
Turfstone	0.00	0.30
Sod	0.33	0.20
Asphalt	0.00	0.95
Total	2.63	0.8559

USE 0.86

Rainfall Intensity

Norfolk County - 10 Year Design Storm

a=	670.324
b=	3.007
c=	0.698

IDF Values, Per Norfolk County Design Guidelines, S. 7.4.02

	2 year	5 year	10 year	25 year	50 year	100 year
a:	529.711	583.017	670.324	721.533	766.038	801.041
b:	4.501	3.007	3.007	2.253	1.898	1.501
c:	0.745	0.703	0.698	0.679	0.668	0.657

STORAGE CALCULATIONS

TIME [hrs]	RAINFALL INTENSITY [mm/hr]	TOTAL VOLUME [m³]	INFLOW [m³/s]	RATE OF RELEASE [m³/s]	VOLUME RELEASED [m³]	VOLUME STORED [m³]
0.083	157.19	294	0.983	0.1692	51	243
0.167	111.72	420	0.699	0.1692	102	318
0.333	75.16	563	0.470	0.1692	203	360
0.50	58.38	657	0.365	0.1692	305	352
0.667	48.52	729	0.303	0.1692	406	322
0.833	41.96	787	0.262	0.1692	508	279
1	37.18	837	0.232	0.1692	609	228
1.5	28.33	957	0.177	0.1692	914	43
2	23.31	1049	0.146	0.1692	1219	-169
3	17.66	1193	0.110	0.1692	1828	-635
4	14.49	1305	0.091	0.1692	2437	-1132
5	12.42	1398	0.078	0.1692	3046	-1648
6	10.95	1479	0.068	0.1692	3658	-2177
7	9.84	1551	0.062	0.1692	4265	-2714
8	8.97	1616	0.056	0.1692	4874	-3259
9	8.27	1675	0.052	0.1692	5484	-3809
10	7.68	1730	0.048	0.1692	6093	-4363
11	7.19	1781	0.045	0.1692	6702	-4921
12	6.77	1829	0.042	0.1692	7312	-5483
14	6.08	1917	0.038	0.1692	8530	-6613
16	5.54	1996	0.035	0.1692	9749	-7752
18	5.11	2069	0.032	0.1692	10967	-8898
20	4.75	2136	0.030	0.1692	12186	-10050
22	4.44	2199	0.028	0.1692	13404	-11205
24	4.18	2258	0.026	0.1692	14623	-12365

MAXIMUM STORAGE REQUIRED: 360

STORAGE PROVIDED: 400

PROPOSED GREENHOUSE DEVELOPMENT (CATCHMENT AREA 1 - TO SWM AREA)
STORMWATER MANAGEMENT CALCULATIONS
100-YEAR STORM (OUTFLOW EQUAL TO 100-YEAR PRE-DEV. FLOWS)

CJDL
Consulting Engineers

Project No: 1415
Date: 14 November 2014

Design By: JSK
Checked By: _____

SITE CHARACTERISTICS

TRIBUTARY AREA (A) =	2.63 Ha
WATERSHED LENGTH (L) =	250 m
WATERSED SLOPE (S) =	1.00 %

PRE-DEVELOPMENT

PRE - DEVELOPMENT RUNOFF COEF. =	0.80
PRE - DEVELOPMENT Tc(pre) =	25.8 minutes
INTENSITY AT Tc(pre) =	91.3 mm/hour
PRE - DEVELOPMENT RUN-OFF (Qpre) =	0.4033 m³/s

POST - DEVELOPMENT

POST - DEVELOPMENT RUNOFF COEF. =	0.86
POST - DEVELOPMENT Tc(post) =	12.5825 minutes
INTENSITY AT Tc(post) =	140.9 mm/hour
POST - DEVELOPMENT RUN-OFF (Qpost) =	0.8881 m³/s
POST - DEVELOPMENT OUTFLOW =	0.4033 m³/s

OUTLET DESIGN

ORFICE USED	N/A mm
OUTFLOW Q (EQUAL TO PRE-DEV. FLOW)	0.4033 m³/s

CALCULATIONS

$$Q(\text{pre/post}) = 0.0028 * C * I * A$$

$$\text{Intensity (I)} = a(Tc+b)^{-0.08}$$

$$\text{Time of Concentration (Tc)} = (3.28 * (1.1 - I^{0.05}) * L^{1/2}) / S^{1/3} - \text{AIRPORT FORMULA}$$

Pre-Development Runoff Coefficient

Item	Area (Ha)	C Value
Gravel	0.00	0.70
Building	0.00	0.95
Turfstone	#REF!	0.30
Sod	0.00	0.20
Asphalt	0.00	0.95
Total	2.63	0.8000

USE 0.80

[Norfolk County Design Guidelines, S. 7.4.04b]

Post-Development Runoff Coefficient

Item	Area (Ha)	C Value
Gravel	0.00	0.70
Building	2.30	0.95
Turfstone	0.00	0.30
Sod	0.33	0.20
Asphalt	0.00	0.95
Total	2.63	0.8559

USE 0.86

Rainfall Intensity

Norfolk County - 100 Year Design Storm

a=	801.041
b=	1.501
c=	0.657

IDF Values, Per Norfolk County Design Guidelines, S. 7.4.02

	2 year	5 year	10 year	25 year	50 year	100 year
a:	529.711	583.017	670.324	721.533	786.038	801.041
b:	4.501	3.007	3.007	2.253	1.898	1.501
c:	0.745	0.703	0.698	0.679	0.668	0.657

STORAGE CALCULATIONS

TIME (hrs)	RAINFALL INTENSITY [mm/hr]	TOTAL VOLUME [m³]	INFLOW [m³/s]	RATE OF RELEASE [m³/s]	VOLUME RELEASED [m³]	VOLUME STORED [m³]
0.083	234.84	438	1.487	0.4033	121	318
0.167	180.79	604	1.005	0.4033	242	362
0.333	108.78	800	0.868	0.4033	483	317
0.50	83.03	935	0.519	0.4033	726	209
0.667	69.26	1040	0.433	0.4033	968	71
0.833	60.13	1128	0.378	0.4033	1209	-82
1	53.50	1204	0.335	0.4033	1452	-248
1.5	41.21	1391	0.258	0.4033	2178	-786
2	34.20	1540	0.214	0.4033	2904	-1384
3	26.28	1774	0.184	0.4033	4358	-2581
4	21.78	1981	0.138	0.4033	5808	-3846
5	18.83	2119	0.118	0.4033	7280	-5141
6	16.71	2257	0.104	0.4033	8711	-6455
7	15.11	2380	0.094	0.4033	10183	-7783
8	13.84	2493	0.087	0.4033	11815	-9123
9	12.81	2596	0.080	0.4033	13087	-10471
10	11.96	2692	0.075	0.4033	14519	-11827
11	11.23	2782	0.070	0.4033	15971	-13189
12	10.61	2868	0.068	0.4033	17423	-14558
14	9.59	3023	0.060	0.4033	20327	-17304
16	8.79	3165	0.055	0.4033	23231	-20068
18	8.13	3296	0.051	0.4033	26134	-22839
20	7.59	3417	0.047	0.4033	29038	-25621
22	7.13	3531	0.045	0.4033	31942	-28411
24	6.73	3638	0.042	0.4033	34846	-31208

*MAXIMUM STORAGE REQUIRED: 362

* IF ORFICE IS SIZED BASED ON 100 YEAR PRE-DEVELOPMENT FLOWS

STORAGE PROVIDED: 400

PROPOSED GREENHOUSE DEVELOPMENT (CATCHMENT AREA 2)
STORMWATER MANAGEMENT CALCULATIONS
100-DESIGN STORM (STORAGE IS NOT REQUIRED)

CJDL
Consulting Engineers

Project No: 1415 Design By: JSK
Date: 14 November 2014 Checked By: _____

FOR PHASE 1 AND 2 LOT (0.61 ha)

SITE CHARACTERISTICS

TRIBUTARY AREA (A) = 0.61 Ha
WATERSHED LENGTH (L) = 200 m
WATERSED SLOPE (S) = 1.00 %

PRE-DEVELOPMENT

PRE - DEVELOPMENT RUNOFF COEF. = 0.60
PRE - DEVELOPMENT Tc(pre) = 23.1 minutes
INTENSITY AT Tc(pre) = 97.8 mm/hour
PRE - DEVELOPMENT RUN-OFF (Qpre) = 0.1002 m³/s

POST - DEVELOPMENT

POST - DEVELOPMENT RUNOFF COEF. = 0.45
POST - DEVELOPMENT Tc(post) = 30.1561 minutes
INTENSITY AT Tc(post) = 82.8 mm/hour
POST - DEVELOPMENT RUN-OFF (Qpost) = 0.0630 m³/s

FOR TRIBUTARY NORTH LAND (TEMPORARY)

SITE CHARACTERISTICS

TRIBUTARY AREA (A) = 1.69 Ha
WATERSHED LENGTH (L) = 200 m
WATERSED SLOPE (S) = 1.00 %

PRE-DEVELOPMENT/POST-DEVELOPMENT

RUNOFF COEF. = 0.20
Tc(pre) = 41.5 minutes
INTENSITY AT Tc(pre) = 67.7 mm/hour
RUN-OFF (Qpre) = 0.0641 m³/s

TOTALS FOR PHASE 1 AND 2 LOT AND TEMPORARY TRIBUTARY AREA

TOTAL PRE - DEVELOPMENT RUN-OFF (Qpre) = 0.1643 m³/s
TOTAL POST - DEVELOPMENT RUN-OFF (Qpost) = 0.1271 m³/s

OUTLET DESIGN (AT CB2)

ORFICE USED 300 mm
CAPACITY Q FOR ORFICE USED 0.2631 m³/s

CALCULATIONS

$$Q(\text{pre/post}) = 0.0028 \cdot C \cdot I \cdot A$$

$$\text{Intensity (I)} = a(Tc+b)^c$$

$$\text{Time of Concentration (Tc)} = (3.28 \cdot (1.1 \cdot I^C)^{1/2} \cdot L^{1/2}) / Sw^{1/3} - \text{AIRPORT FORMULA}$$

Rainfall Intensity

Norfolk County - 100 Year Design Storm

a=	801.041
b=	1.501
c=	0.657

IDF Values, Per Norfolk County Design Guidelines, S. 7.4.02

	2 year	5 year	10 year	25 year	50 year	100 year
a:	529.711	583.017	670.324	721.533	768.038	801.041
b:	4.501	3.007	3.007	2.253	1.899	1.501
c:	0.745	0.703	0.698	0.679	0.668	0.657

FOR PHASE 1 AND 2 LOT

Pre-Development Runoff Coefficient

Item	Area (Ha)	C Value
Gravel	0.00	0.70
Building	0.00	0.95
Turfstone	0.00	0.30
Sod	0.00	0.20
Asphalt	0.00	0.95
Total	0.61	0.6000

USE 0.60

[Norfolk County Design Guidelines, S. 7.4.04b)]

Post-Development Runoff Coefficient

Item	Area (Ha)	C Value
Gravel	0.00	0.70
Building	0.00	0.95
Turfstone	0.00	0.30
Sod	0.41	0.20
Asphalt	0.20	0.95
Total	0.61	0.4459

USE 0.45

FOR TRIBUTARY NORTH LAND (TEMPORARY)

* NOTE: APPROXIMATELY 1.69 ha (169m x 100 m) OF VACANT LAND TO THE NORTH WILL TEMPORARILY DRAIN TO CATCHMENT AREA 2 UNTIL THE LAND IS DEVELOPED (AT WHICH TIME LOT DRAINAGE WILL BE CONTAINED)

* SINCE PRE-DEVELOPMENT (SUBDIVISION WAS DESIGNED USING C = 0.6) RUNOFF IS GREATER THAN POST-DEVELOPMENT RUNOFF, ONSITE STORAGE IS NOT REQUIRED FOR CATCHMENT AREA 2; HOWEVER, AN INFILTRATION/RETENTION AREA IS PROPOSED TO ADDRESS QUALITY CONTROL

* THE 300 mm STORM OUTLET (ORFICE) HAS CAPACITY TO ACCOMMODATE ESTIMATED POST-DEVELOPMENT FLOWS (INCLUDING TEMPORARY TRIBUTARY LAND TO NORTH)

PROPOSED GREENHOUSE DEVELOPMENT (CATCHMENT AREA 2)
ORIFICE DESIGN

CJDL
Consulting Engineers

Project No: 1415 Design By: JSK
Date: 14 November 2014 Checked By: _____

POST - DEVELOPMENT FLOW 0.1271 [m³/s]

$$Q = CA \sqrt{2gH_1}$$
$$d = \sqrt{\frac{4Q}{3.14C\sqrt{2gH_1}}}$$
$$H_1 = E_1 - E_2$$

MAXIMUM PONDING ELEVATION (E1) = 25.2 m
CENTERLINE OF ORFICE OUTLET (E2) = 24.15 m
HEAD ABOVE ORFICE (H1) = 1.05 m
CONSTANT (C) = 0.82
GRAVITATIONAL CONSTANT (g) = 9.81 m/s²
MIN. SIZE ORFICE REQUIRED (d) = 0.209 m

DIAMETER OF ORIFICE TO BE USED = 0.300 m (MINIMUM RECOMMENDED DIAMETER: 75mm)
OUTFLOW Q = 0.2631 [m³/s]

APPENDIX 'F'

**WATER MODELING REPORT
(R.V. ANDERSON ASSOCIATES LIMITED)**

07 November 2014

RVA 132866-16

EMAILED 07 November 2014

Norfolk County
183 Main Street
Delhi, ON N4B 2M3

Attention: Mr. Gary Houghton, P.Eng.

Dear Mr. Houghton:

**RE: Review the Impact of the proposed Luscombe Drive Greenhouse Development
on Simcoe's Water Distribution System – Revision 1**

Introduction

As per our discussions, R.V. Anderson Associates Limited (RVA) has conducted an analysis of the impact of the "Luscombe Drive Greenhouse" development on the water distribution system in Simcoe. This letter summarizes our approach to completing the hydraulic analysis and provides our findings.

Background

The proposed development is at the north-west corner of Simcoe. The proposed works includes constructing a 3.24 ha greenhouse development on the west side of Luscombe Drive. The proposed development will connect to a 300mm diameter water main on Luscombe Drive, north of Grigg Drive.

RVA was provided with a general layout of the development area prepared by Cyril J. Demeyere Limited (September 2014). RVA was also provided with the Simcoe Water Distribution Model that was developed as part of the Simcoe Water Distribution System Master Plan (RVA 2011). This model has scenarios for average day, maximum day, and peak hour demand.

Summary of the Water Main Hydraulic Analysis

RVA used the existing Simcoe Water Distribution Model to review the impact of the proposed development on the system. The following points summarize the assumptions and analysis that was completed by RVA:

- Fire protection to the proposed development will be provided from hydrants on Luscombe Drive. The existing 300mm watermain on Luscombe Drive ends just north of Grigg Drive.
- A 100mm connection will be provided from the 300mm watermain on Luscombe Drive to service the development for domestic use.
- Simulations were completed to estimate the pressure in the system during peak hour demands and available fire flows during maximum day demands. The simulations were completed using the scenarios in the existing model.

Results of the Hydraulic Analysis

The following points summarize the results of the analysis completed by RVA:

- The pressures in the vicinity of the proposed development during peak hour demand conditions are between 40 and 60 psi (refer to Figure 1).
- The available fire flow during maximum day demand conditions in the vicinity of the proposed development exceed 150 L/sec. (refer to Figure 2).
- The available fire flow during max day demand at the existing 300mm stub on Luscombe Drive north of Grigg Drive is 157 L/sec.
- The proposed development does not negatively impact the pressures during peak hour demand conditions or the available fire flows during maximum day demand conditions in the rest of the system (refer to Figures 3 and 4).

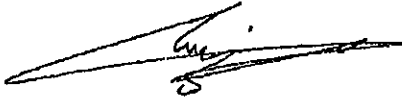
Discussion

The lowest available fire flows in the Simcoe Water Distribution System are in the south west corner of Simcoe (refer to Figure 2). The proposed development does not negatively impact the pressures or available fire flows in the rest of the Simcoe water distribution system.

We trust that the hydraulic analysis summarized in this letter is sufficient for your purposes. Please contact the undersigned if you have any questions.

Yours very truly,

R.V. ANDERSON ASSOCIATES LIMITED



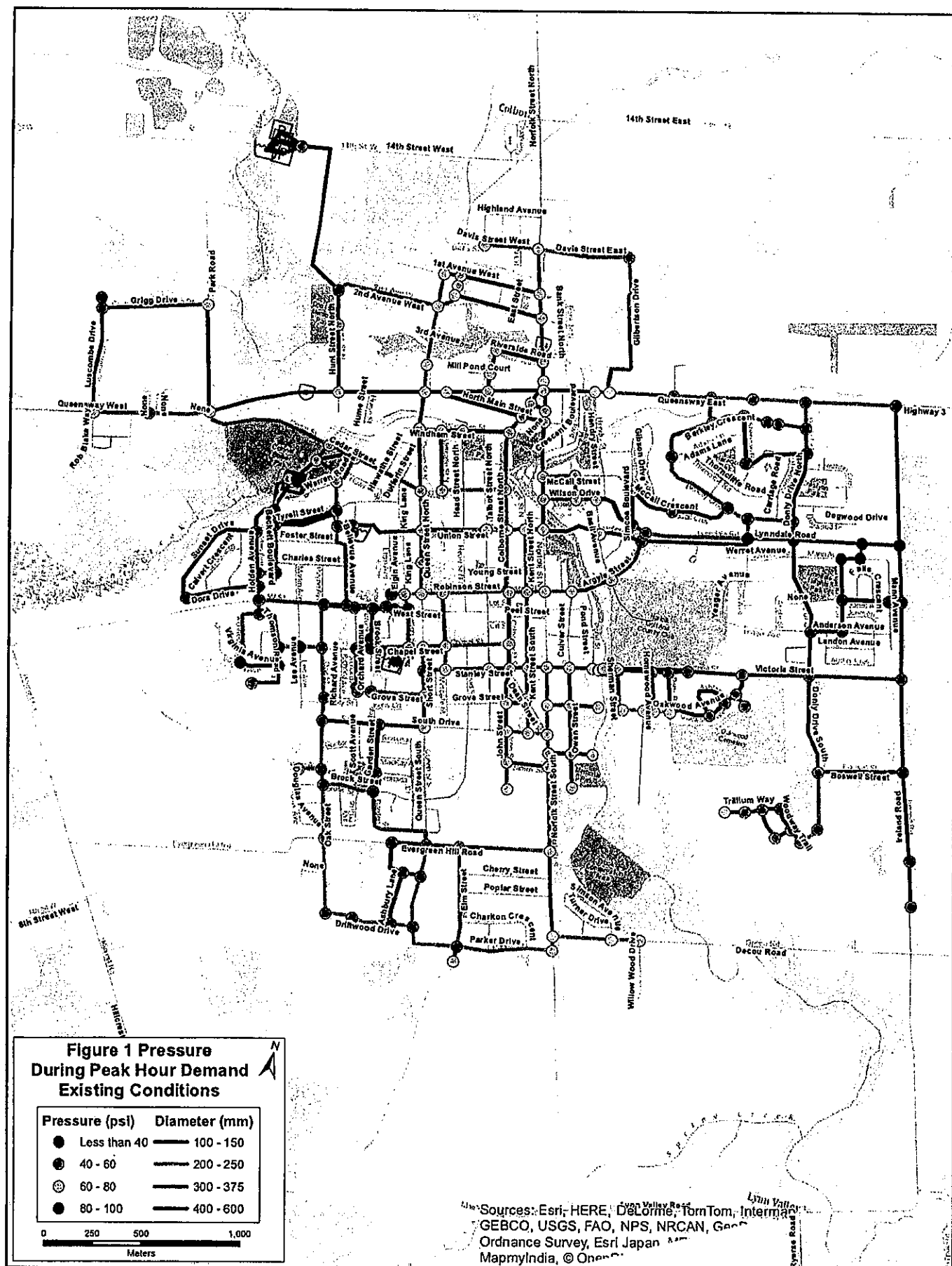
Muhannad Bagajati, B.E.Sc.
Project Manager

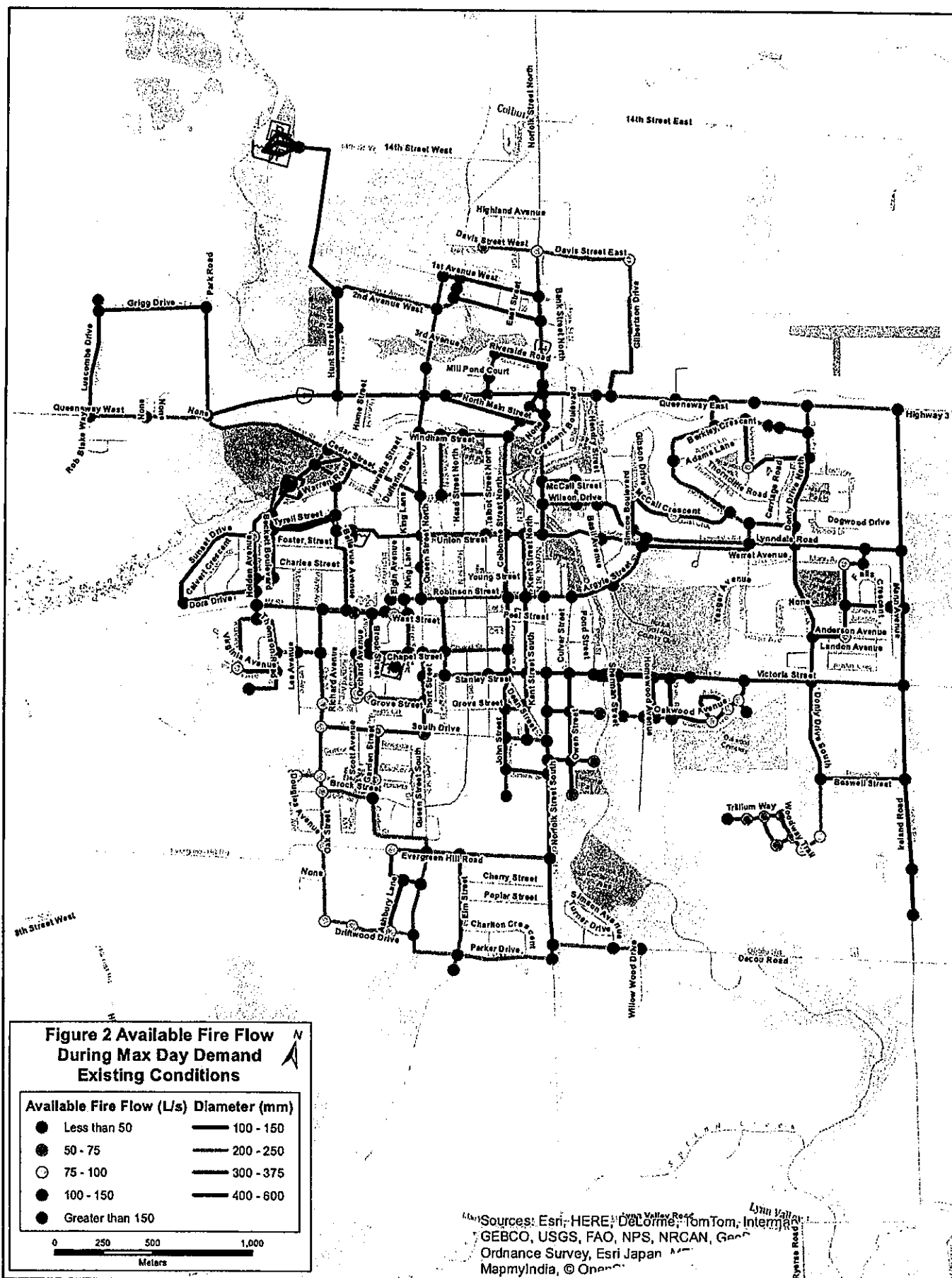
cc: David Evans, P.Eng.

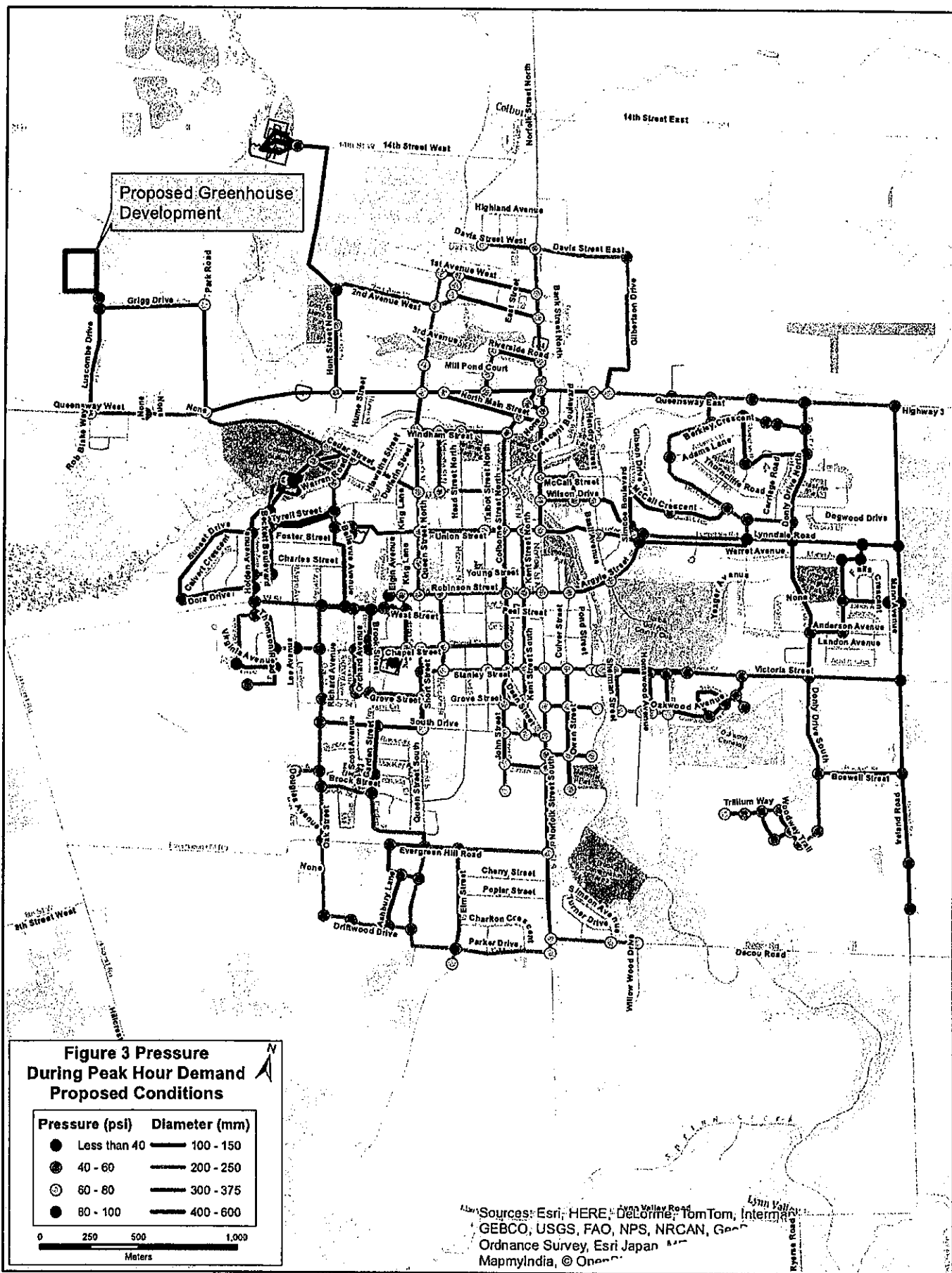
Enclosures:

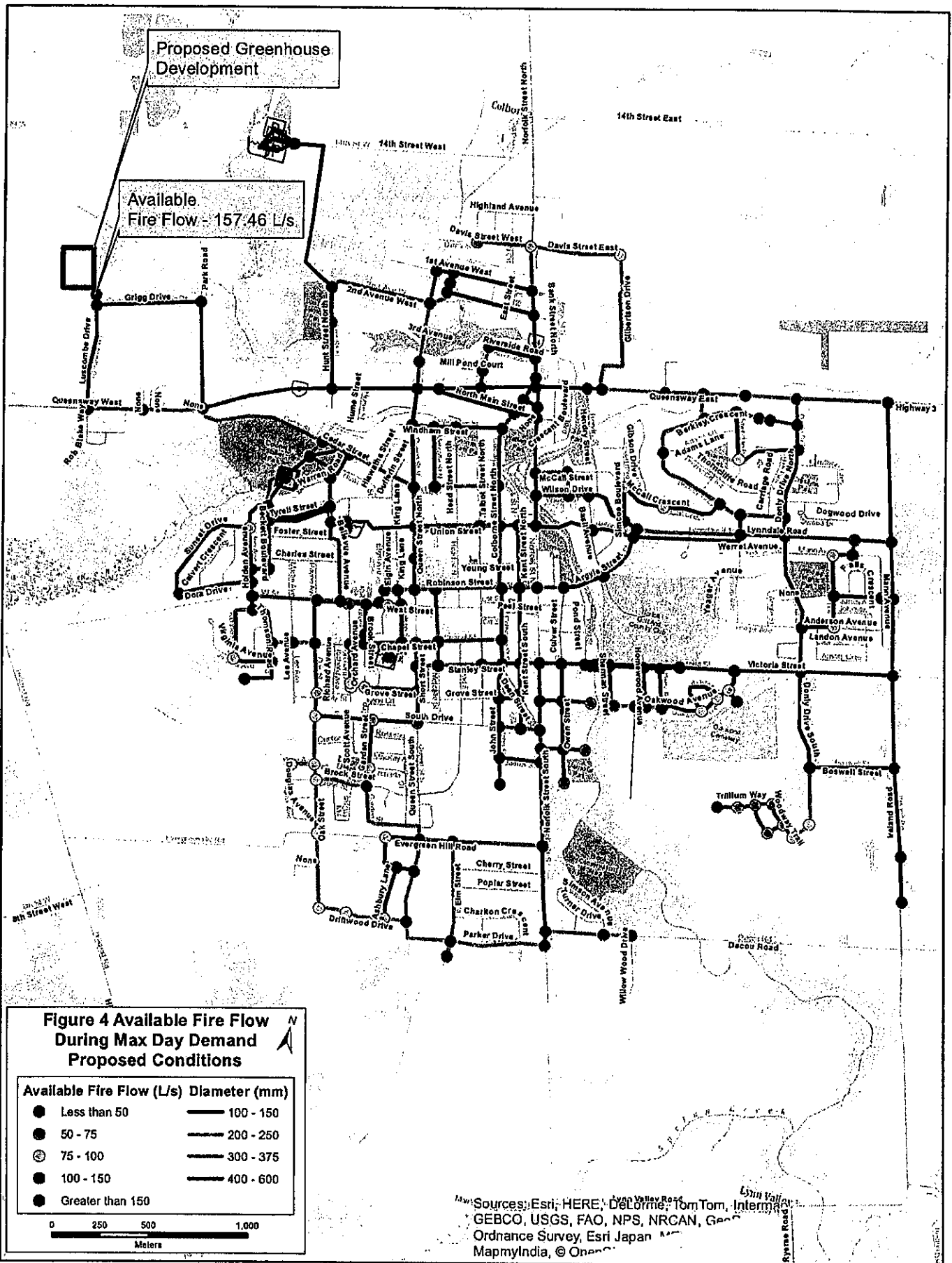
1. Figure 1 – Pressure during Peak Hour Demand – Existing Conditions
2. Figure 2 – Available Fire Flow during Maximum Day Demand – Existing Conditions
3. Figure 3 – Pressure during Peak Hour Demand – Proposed Conditions
4. Figure 4 – Available Fire Flow during Maximum Day Demand – Proposed Conditions

REVISIONS AND PUBLICATION REGISTER			
Revision #	Date	Details	Distribution
00	04 November 2014	Report Issued via email	Gary Houghton, Norfolk County
01	07 November 2014	Revised Report	Gary Houghton, Norfolk County









APPENDIX 'G'

SANITARY SEWER DESIGN SPREADSHEET

CYRIL J. DEMEYER LIMITED
CONSULTING ENGINEERS
BOX 480, TILLSONBURG, N4G 4H8
PHONE: (519) 688-1000
FAX: (519) 842-3233
e-mail: cjd@cjdeng.com
website: www.cjdeng.com

SANITARY SEWER DESIGN SHEET - METRIC

PROJECT: GREENHOUSE DEVELOPMENT, SIMCOE (PRELIMINARY)

$$Cap = 1000n^4 A^{2.487} s^{0.54} \quad (Vs)$$

MUNICIPALITY: NORFOLK COUNTY

DATE: 15-Dec-14

DESIGNED BY: JSK

CHECKED BY:

CJDL JOB No.: 1415

SHEET: 1 of 1

R=Hydraulic radius (=D/4) (m)

A=Pipe cross-sectional area (m²)

s=Slope of pipe

Estimated Greenhouse Demands

Notes: - Sewage Flows Based on Growing (Production) Area

- Infiltration Based on Lot Area

Avg. Day Sewage Flow: 13.7 m³/ha/day

Max. Day Sewage Flow: 55.0 m³/ha/day

Peak Sewage Flow: 5.0 m³/ha/h

Phase 1 Growing Area: 1.00 ha

Phases 1 and 2 (Combined) Growing Area: 2.00 ha

Phases 1, 2, and 3 (Combined/Ultimate Build-Out) Growing Area: 4.00 ha

Infiltration: 0.28 l/s/ha

Per Current Norfolk County Design Guidelines

Note: Sewage Flows Based on Lot Area

Infiltration: 0.28 l/s/ha

Avg. Sewage Flow: 55 m³/ha/Day

Tributary Population (Industrial): 120 Persons/ha

Peaking Factor (Industrial): $M = 0.87(1 + 14(4 + p^{0.5})^{-1})$

P=Population in thousands

NO	REVISION	DATE	BY

	LOT AREA			POPULATION			Peaking Factor, M	Sewage (l/s)	Infiltration (l/s)	Peak Design Flow (l/s)	EXISTING/PROPOSED SEWER						
	Net or Gross	Δ Area (ha)	Total Area (ha)	Pop per Hectare	Δ Pop	Total Pop.					Length (m)	Pipe Size (mm)	Type of Pipe	n	Slope (%)	Capacity (l/s)	Full Flow Velocity (m/s)
Avg. Day Demands (16.7 m ³ /ha of Growing Area)																	
Phase 1	Gross	3.24	3.24				n/a	0.15	0.91	2.67							
Phases 1 and 2 Combined	Gross	0.00	3.24				n/a	0.32	0.91	4.00							
Phases 1, 2, and 3 Combined (Ultimate Build-Out)	Gross	2.83	6.07				n/a	0.63	1.70	7.28							
Max. Day Demands (55 m ³ /ha of Growing Area)																	
Phase 1	Gross	3.24	3.24				4.00	0.64	0.91	4.64							
Phases 1 and 2 Combined	Gross	0.00	3.24				3.97	1.27	0.91	5.24							
Phases 1, 2, and 3 Combined (Ultimate Build-Out)	Gross	2.83	6.07				4.05	2.55	1.70	6.59							
Peak Hour Demands (5 m ³ /ha of Growing Area)																	
Phase 1	Gross	3.24	3.24				8.69	1.39	0.91	9.77							
Phases 1 and 2 Combined	Gross	0.00	3.24				8.69	2.78	0.91	11.36							
Phases 1, 2, and 3 Combined (Ultimate Build-Out)	Gross	2.83	6.07				8.83	5.56	1.70	14.72							
											Existing Sanitary Sewer of Luscombe Drive						
											138.1	300	PVC	0.013	0.30	52.97	0.76
											Proposed Sanitary Service						
											20 ±	150	PVC	0.013	2.00	21.54	1.22
Per Current Norfolk County Design Guidelines (55 m ³ /ha/day - Avg Flow)																	
Phases 1 and 2 Combined	Gross	3.24	3.24	120	369	369	3.22	6.64	0.91	7.55							
Phases 1, 2, and 3 Combined (Ultimate Build-Out)	Gross	2.83	6.07	120	340	728	3.11	12.02	1.70	13.72							



HUGH WOOD CANADA LTD.
Global Independent Insurance Brokers

Suite 201
4120 Yonge Street
Toronto, ON M2P 2B8
T: (416) 229 6600
F: (416) 229 6800
1 800 240 7055
www.hwcanada.com

CERTIFICATE OF INSURANCE

ISSUED TO: **TO WHOM IT MAY CONCERN**

NAMED INSURED: Cyril J. Demeyere Limited
INSUREDS ADDRESS: 261 Broadway, P.O Box 460
Tillsonburg, ON, N4G 4H8
POLICY PERIOD: November 26, 2017- November 26, 2018


PROFESSIONAL LIABILITY

LIMIT OF LIABILITY: \$2,000,000. Each Claim
\$2,000,000. Aggregate
INSURER: Berkley Insurance Company
POLICY #: BC 40000866

This certificate provides the above Named Insured with coverage under the aforementioned policy on file with the Insurer, and subject to the above limits of liability.

IN WITNESS WHEREOF the Insurer through their representative, HUGH WOOD CANADA LTD., have executed and signed this Certificate of Insurance.

HUGH WOOD CANADA LTD.

Per: 
Authorized Representative

DATE: November 20th, 2017

Meester Insurance Centre

The Village Square, Regional Rd # 20, P.O. Box 299,
Smithville, Ontario L0R 2A0
Telephone : (905) 957-2333 Fax : (905) 957-2599

Insurance Binder

To: Burns Associates

Attention: Katie Rodrigues

Insured: BHS Greenhouses Limited

Insurance Company: Heartland Farm Mutual Insurance Company

Policy Number: 153942F01

Effective: April 20, 2018 until expiry April 28, 2019

Names And Addresses Of Mortgagees, Lienholders, Payees:
Titan Mortgage Capital Partners Inc.
13 King Street West, Stoney Creek, Ontario L8G 1G9

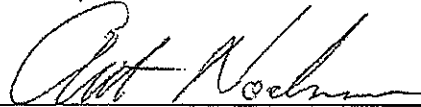
Location Of Property Insured:
92 Luscombe Drive, Simcoe, Ontario N3Y 0A2

Coverages Bound
Greenhouse: \$750,000
Farm Liability: \$2,000,000
Policy Deductible: \$5,000

Conditions: The above coverages are bound in accordance with the terms, conditions and limitations of the policy(ies) in current use by the above listed insurer(s). Acceptance of the terms of this binder will be understood unless the broker indicated is advised immediately to the contrary.

Date: April 19, 2018

X



Albert Nordeman, RIB
Meester Insurance Centre

ADDITIONAL PROVISIONS

1. FIRE INSURANCE
Fire and extended coverage insurance in a form and for an amount acceptable to the mortgagee, is to be taken out with an insurance company approved by the Chargee(s) for the full insurable value of the charged/mortgaged property and assigned to the Chargee(s). Co-insurance is not acceptable. Failure of the Chargor(s) to provide a copy of the policy on demand shall represent default under the mortgage.
2. REGULATIONS
The charge/mortgaged property must comply with all municipal provincial and federal statutes, regulations and requirements. Failure to do so shall constitute default under this mortgage.
3. ACCESS TO THE PROPERTY BY THE CHARGE(S)
The Chargee(s) shall have the right at any reasonable time to inspect the property, whether this mortgage is in default or not, including the building to be held as security for the mortgage as long as any monies remain outstanding under the mortgage. Access shall be on 24 hours notice to the Chargor(s).
4. TAXES
All taxes are to be paid in full as they fall due. Failure by the Chargor(s) to make such payment shall represent default under the mortgage. The Chargee(s) shall have the right to require the Chargor(s) to pay to the Chargee(s) one twelfth (1/12) of the annual taxes monthly, together with the Chargee(s) payment monthly. Failure to make such payment monthly shall represent default under the mortgage.
5. THREE MONTH INTEREST PENALTY
Unless otherwise set out in this mortgage, this mortgage shall be closed. The Chargor(s) may prepay any amount of the principal of this mortgage upon payment of a three month interest penalty. This penalty shall not apply if the payment of the principal of the mortgage takes place on the maturity date of the mortgage. If the Chargee(s) is not paid out on the maturity date, and the mortgage is not renewed, then the three month interest will apply to the mortgage account thereafter. This interest penalty shall apply whether or not the Chargee(s) takes mortgage action or requests payment.
6. ASSIGNMENT OF MORTGAGE
The Chargee(s) may assign or transfer all or any of interest in this commitment or in the accepted commitment or in the mortgage entered pursuant to this commitment and the assignee or transferee shall become the Chargee(s) herein.
7. TRANSFER OF MORTGAGE
This mortgage shall be non-transferrable without the Chargee(s)'s written consent. In the event that the transfer, is allowed, the original Chargor(s) shall remain liable for the mortgage and any arrears and expenses. Provided that upon the Chargor(s) selling, transferring, conveying, assigning, mortgaging or in any way dealing with the equity of redemption or any interest in the lands therein without the express written consent of the Chargee(s) herein, the said principal sum together with all interest thereon shall at the option of the Chargee(s) immediately become due and payable without notice being given or any action being taken by the Chargee(s) and in default the Chargee(s) may exercise any of the remedies available hereunder to enforce payment including the power of entering upon, leasing or selling the said lands..
8. INTEREST ON ADVANCES
Interest shall only accrue on the amounts advanced hereunder the mortgage.
9. DISCHARGE
The mortgage discharge shall be prepared by the Chargee(s)'s solicitor at the Chargor(s)'s expense.
10. RE-ADVANCEMENTS UNDER THE MORTGAGE
This Mortgage shall operate as a continuing security for payment of all monies actually advanced from time to time by the Chargee(s) to the Chargor(s) and outstanding from time to time, and for payment of all your indebtedness and liability to the Chargee(s) whether presently existing or hereafter incurred, and this Mortgage is intended by the Chargor(s) and the Chargee(s) to secure the Chargee(s) in respect of any one or more loans and it shall operate as

security for the Chargee(s) notwithstanding that the Chargor(s) may from time to time make payments to the Chargee(s) and reduce or retire the Chargor(s)'s indebtedness and liability, in whole or in part, on one or more occasions. Notwithstanding any payment on account of any of the Chargor(s)'s indebtedness to the Chargee(s) at any time, any further, new or fresh advance or advances will, together with interest and all other charges/fees be secured by this mortgage notwithstanding the mortgaging or charging of the Land by any intervening or intermediate mortgage, charge or encumbrance ("Intervening Interest") and the mortgage will at all times hold priority over any such Intervening Interest. This mortgage shall be and shall remain valid security for any and all subsequent advances or readvances by the Chargee(s).

11. **MORTGAGE/CHARGE TO ACT AS SECURITY FOR ALL OTHER MONIES AND LIABILITIES OWING IN ADDITION TO PRINCIPAL OF MORTGAGE**

This mortgage also secures, in addition to the amount noted on the face of this mortgage, all monies and liabilities whether direct or contingent, now or hereafter owing or incurred by the Chargor(s), including, but not limited to: further advances, renewal fees, property taxes paid, legal costs and payments made on behalf of the Chargor(s) on both prior and subsequent mortgages.

12. **LOAN AGREEMENT**

The terms and conditions of the Loan Agreement shall continue in effect and be binding upon the Chargor(s), whether or not they are set out in this mortgage. In the event of an inconsistency or conflict between any provision or provisions in the Loan Agreement and any provision or provisions in this charge and any of the related loan documents, the Chargee(s) shall decide which shall prevail.

13. **ABANDONMENT**

IF this mortgage is in arrears, and the property/properties is/are vacant for a period of ten (10) days, it/they shall be deemed to be abandoned, and at the Chargee(s)'s option, they may take immediate possession without notice, change the locks and secure the premises.

14. **EXPENSES OF CHARGE(S) ON COLLECTION**

The Chargee(s) shall be entitled to add to the mortgage account, any expenses incurred, where the mortgage is in default for any reason. Default will include, but shall not be limited to, non-payment of a prior mortgage, default in payment, fire insurance cancellation, non-payment of taxes, allowing criminal activity at the mortgaged premises, and abandoning the mortgaged property. The expenses to be added to the mortgage account will include any fees or costs paid to other parties such as property managers, real estate agents, appraisers, property inspectors, mortgage collection agents, and paralegals.

15. **CHARGE(S) ADMINISTRATION FEES ON DEFAULT**

a)	Bank charges for returned cheques or for missed payment	\$250.00 per cheque
b)	Preparation of demand letter	\$200.00 per letter
c)	Preparation of any mortgage statement	\$350.00 per statement
d)	Renewal fee	\$500.00 or 2% of the principal amount of loan
e)	Default proceeding fee	\$2,000.00
f)	Insurance fee	\$500.00 per occurrence
g)	Property manager fee	\$600.00 or 2% of loan amount per occurrence
h)	Inspection fee	\$200.00
i)	Assumption or transfer fee	\$300.00
j)	First mortgage payment made by the Chargee(s) or any other non-compliance	\$50.00

16. **RENEWAL**

Renewal shall be at the discretion of the Chargee(s) to offer renewal or extension of agreement. Upon renewal or extension, the rate of interest charged may be increased. All applicable legal expenses & disbursements associated with renewal or extension are separate and at the cost of the Chargor(s). The Chargor(s) is to forward to the Chargee(s) on each renewal of the term, of this charge, a copy of a receipted tax bill showing all realty taxes are paid up-to-date.

17. **CHARGE(S)'S OPTION TO RENEW**

Notwithstanding section 16 above, the Chargor(s) agrees that in the event that the mortgage matures and the Chargor(s) fails to payout the mortgage in full on its maturity date, the Chargee(s), at its option, may renew the mortgage for a period of one (1) year, by giving written notice of such renewal by regular mail to the Chargor(s). The terms of the option renewal term shall be as follows:

- a) One (1) year renewal at the rate of 12% on the face of the mortgage with the same monetary payments;
- b) The three (3) month interest penalty shall apply for early or late payout of the mortgage renewal term;
- c) There shall be a renewal fee for the optional renewal term added to the mortgage account equal the greater of the sum of \$500.00 or 5% of the principal amount of the mortgage at the time of the maturity date;
- d) At the end of the renewal period the Chargee(s) shall have the option again of renewing the mortgage on the same terms herein.

18. **LEGAL COSTS**

The Chargee(s) shall add to the mortgage account, in the case of default on the mortgage, all legal expenses incurred on a full indemnity basis.

19. **FORBEARANCE**

Should the Chargee(s) forbear on taking mortgage action, or forbear enforcing any term of the mortgage, this shall not prejudice or prevent the Chargee(s) from adding to the mortgage account, those expenses and the interest penalty as set out in this schedule.

20. **HEADINGS FOR CONVENIENCE ONLY**

The division of this schedule into headings and sections is for convenience of reference only and shall not affect the interpretation or construction of this schedule.

21. **COLLATERAL CLAUSE**

The charge registered on the property municipally known as 92 Lunscombe Drive, Simcoe, Ontario (PIN: 50271-0347); (the "Prime Mortgage"), is collaterally secured to a charge registered on the property municipally known as 1080 Concession 14 Townsend, Simcoe, Ontario (PIN: 50271-0347); (the "Collateral Mortgage"). Payment on account of the Prime Mortgage shall constitute payment on account of the Collateral Mortgage. Default on one shall constitute default of the other. The parties acknowledge that upon payment in full of all amounts owing under the Prime Mortgage, a discharge shall be registered against the Collateral Mortgage.

22. **GUARANTOR CLAUSE**

In consideration of the premises and of the Chargee(s) advancing the said money to the Chargor(s), the Guarantor doth hereby absolutely and unconditionally guarantee to the Chargee(s) and its successors and assigns, the due and punctual payment by the Chargor(s) of all principal moneys, interest and other money owing on the security of this mortgage, and the Guarantor for himself, his heirs, executors and administrators, covenants with the Chargee(s) that if the Chargor(s) shall at any time make default in the punctual payment of any moneys payable hereunder, he or they will pay all such moneys to the Chargee(s) without any demand being required to be made.

AND it is hereby expressly declared that although as between the Guarantor and the Chargor(s), the Guarantor is only surety for the payment by the Chargor(s) of the moneys hereby guaranteed, yet as between the Guarantor and the Chargee(s) the Guarantor shall be considered as primarily liable therefor and that no release or releases of any portion or portions of the mortgaged premises, and no indulgence shown by the Chargee(s) in respect of any default by the Chargor(s) or any successors which may arise under this mortgage, and that no extension or extensions granted by the Chargee(s) to the Chargor(s) or any successor for payment of the mortgage moneys hereby secured or for the doing, observing or performing of any covenant, agreement, matter or thing herein contained to be done, observed or performed by the Chargor(s) or any successor nor any variation in or departure from the provision of this mortgage nor any other dealings between the Chargor(s) or any successor and Chargee(s) nor any release of the Chargor(s) or any other thing whatsoever whereby the Guarantor as surety only would or might have been released shall in any way modify, alter vary or in any way prejudice the Chargee(s) or affect the liability of the Guarantor in any way under this covenant, which shall continue and be binding on the Guarantor, and as well after as before default and after as before maturity of this mortgage, until the said mortgage moneys are fully paid and satisfied. And it is hereby further expressly declared that the Chargee(s) shall not be bound to exhaust its recourse against the Chargor(s) or the mortgaged premises before being entitled to payment from the Guarantor of the amount hereby guaranteed by the Guarantor.

Any payment by the Guarantor of any moneys under his said guarantee shall not in any event

be taken to affect the liability of the Chargor(s) for payment thereof but such liability shall remain unimpaired and enforceable by the Guarantor against the Chargor(s) and the Guarantor shall, to the extent of any such payments made by him, in addition to all other remedies be subrogated as against the Chargor(s) to all the rights, privileges and powers to which the Chargee(s) was entitled prior to payment by such Guarantor; provided, nevertheless, that the Guarantor shall not be entitled in any event to rank for payment against the mortgaged premises in competition with the Chargee(s) and shall not unless and until the whole of the principal, interest and other moneys owing on the security of this mortgage shall have been paid, entitled to any rights or remedies whatsoever in subrogation to the Chargee(s).

And it is further hereby expressly declared that the release of any of the Guarantors from his or their liability hereunder shall not affect the liability of the remaining Guarantor or Guarantors which shall remain unimpaired and still in full force and effect as if the Guarantor or Guarantors so released had not been a party or parties to this Agreement.

All covenants, liabilities and obligations entered into or imposed hereunder upon the Guarantor or Guarantors shall be equally binding upon his, or their heirs executors, administrators and assigns, or successors and assigns as the case may be, and all such covenants and liabilities and obligations shall be joint and several.

The Chargee(s) may vary any agreement or arrangement with the Guarantor and grant extensions of time to or otherwise deal with him his executors or administrators, without any consent on the part of the Chargor(s).

Properties

PIN 50190 - 0132 LT **Interest/Estate** Fee Simple
Description PART OF LOT 4 CON 14 WINDHAM DESIGNATED AS PT 3, 37R10645; TOGETHER
WITH AN EASEMENT OVER PT LT 4, CON 14, PT 6, 37R10645 AS IN NK83751;
NORFOLK COUNTY
Address 92 LUSCOMBE DRIVE
SIMCOE

Chargor(s)

The chargor(s) hereby charges the land to the chargee(s). The chargor(s) acknowledges the receipt of the charge and the standard charge terms, if any.

Name BHS GREENHOUSES LTD.
Address for Service 1080 Concession 14
Townsend,
Ontario
N3Y 4K3

I, Joel Anthony Capin, President, have the authority to bind the corporation.
This document is not authorized under Power of Attorney by this party.

Chargee(s)**Capacity****Share**

Name TITAN MORTGAGE CAPITAL PARTNERS INC.
Address for Service c/o 13 King Street West
Stoney Creek, Ontario
L8G 1G9

Statements

Schedule: See Schedules

Provisions

Principal	\$1,000,000.00	Currency	CDN
Calculation Period	monthly, not in advance		
Balance Due Date	May 1 2019		
Interest Rate	8.75%		
Payments	\$9,208.90		
Interest Adjustment Date	2018 05 01		
Payment Date	first day of each month		
First Payment Date	2018 06 01		
Last Payment Date	2019 05 01		
Standard Charge Terms	200033		
Insurance Amount	Full insurable value		
Guarantor	Anthony Joel Capin		

Signed By

Michael John Paul Luppino	235 Highway 8 Stoney Creek L8G 1E2	acting for Chargor(s)	Signed	2018 04 23
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Tel 905-930-9957

Fax 905-960-9967

I have the authority to sign and register the document on behalf of the Chargor(s).

Submitted By

GRECHI CARTER HAMILTON	235 Highway 8 Stoney Creek L8G 1E2	2018 04 24
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Tel 905-930-9957

Fax 905-960-9967

Fees/Taxes/Payment

Statutory Registration Fee	\$63.65
Total Paid	\$63.65

File Number

Chargee Client File Number : 18-103

Properties

PIN 50190 - 0132 LT
Description PART OF LOT 4 CON 14 WINDHAM DESIGNATED AS PT 3, 37R10645; TOGETHER
WITH AN EASEMENT OVER PT LT 4, CON 14, PT 6, 37R10645 AS IN NK83751;
NORFOLK COUNTY
Address 92 LUSCOMBE DRIVE
SIMCOE

Consideration

Consideration \$2.00

Applicant(s)

The notice is based on or affects a valid and existing estate, right, interest or equity in land

Name BHS GREENHOUSES LTD.
Address for Service 1080 Concession 14, Townsend, Ontario
I, Anthony Joel Capin, A.S.O., have the authority to bind the corporation.
This document is not authorized under Power of Attorney by this party.

Party To(s)**Capacity****Share**

Name TITAN MORTGAGE CAPITAL PARTNERS INC.
Address for Service 13 King Street West, Stoney Creek, Ontario L8G 1G9

I, Joseph Trombetta, A.S.O., have the authority to bind the corporation
This document is not authorized under Power of Attorney by this party.

Statements

This notice is pursuant to Section 71 of the Land Titles Act.

This notice may be deleted by the Land Registrar when the registered instrument, NK109525 registered on 2018/04/24 to which this notice relates is deleted

Schedule: See Schedules

Signed By

Arthur Douglas Burns 21 King Street West, Suite 305 acting for Signed 2018 07 06
Hamilton Applicant(s)
L8P 4W7

Tel 905-522-1381

Fax 905-522-0855

I have the authority to sign and register the document on behalf of the Applicant(s).

Submitted By

A. Douglas Burns Professional Corporation 21 King Street West, Suite 305 2018 07 06
Hamilton
L8P 4W7

Tel 905-522-1381

Fax 905-522-0855

Fees/Taxes/Payment

Statutory Registration Fee \$63.65
Total Paid \$63.65

File Number

Applicant Client File Number : B-1412

This statement contains transaction information only and should not be used in lieu of an official Tax Certificate.

STATEMENT OF ACCOUNT

Norfolk County
50 Colborne Street, South
Simcoe, ON
N3Y 4H3

Date Issued: July 05, 2018

Issued To: BHS GREENHOUSES LTD
1080 CONG 14 TOWNSEND
SIMCOE, ON
N3Y 4K3

Roll #: 403- 025- 04920- 0000

Owners:
BHS GREENHOUSES LTD

Property Address: 92 LUSCOMBE DR

Legal Description: WDM CON 14 PT LOT 4
RP 37R10645 PART 3
8.00AC FR D

District(s):

LOCAL IMPROVEMENTS

PROPERTY ASSESSMENT		Taxation Year: 2018
Assessment Code	Description	Amount
RTEP	Resident Tax Full EP	\$184,191.00
Total Assessment:		\$184,191.00

ACCOUNT BALANCE

Year	Tax Amount	Interest/Penalty	Total Balance
2018	(\$738.24)	\$0.00	(\$738.24)
2017	\$0.00	\$0.00	\$0.00
2016	\$0.00	\$0.00	\$0.00
2015	\$0.00	\$0.00	\$0.00
2014 and prior	\$0.00	\$0.00	\$0.00

TRANSACTION SUMMARY

Year	Tax Levy	Supplemental Taxation	Penalty	Adjustment	Payment	Installments Not Yet Due	Balance
2018	\$1,101.84	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	(\$738.24)
2017	\$2,247.40	(\$1,840.08)	\$0.00	\$0.00	(\$2,247.40)	\$0.00	\$0.00
2016	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
							(\$738.24)

TRANSACTIONS

May 08, 2018 - July 05, 2018

Due Date	Description	Amount	Balance
May 08/2018	Balance Forward		(\$1,288.24)
May 08/2018	Owner: BHS GREENHOUSES LTD	\$0.00	(\$1,288.24)
May 31/2018	Interim Levy 2018-2	\$550.00	(\$738.24)
Total Outstanding July 05, 2018			(\$738.24)



Ontario

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LAND
REGISTRY
OFFICE #37

PARCEL REGISTER (ABBREVIATED) FOR PROPERTY IDENTIFIER

PAGE 1 OF 2

PREPARED FOR Aburns01
ON 2018/08/27 AT 13:10:51

50190-0132 (LT)

* CERTIFIED IN ACCORDANCE WITH THE LAND TITLES ACT * SUBJECT TO RESERVATIONS IN CROWN GRANT *

PROPERTY DESCRIPTION: PART OF LOT 4 CON 14 WINDHAM DESIGNATED AS PT 3, 37R10645; TOGETHER WITH AN EASEMENT OVER PT LT 4, CON 14, PT 6, 37R10645 AS IN NK83751, NORFOLK COUNTY

PROPERTY REMARKS:

ESTATE/QUALIFIER:

FEE SIMPLE

LT CONVERSION QUALIFIED

OWNERS' NAMES

BHS GREENHOUSES LTD.

RECENTLY:

DIVISION FROM 50190-0125

CAPACITY SHARE

ROWN

PIN CREATION DATE:

2015/12/03

REG. NUM.	DATE	INSTRUMENT TYPE	AMOUNT	PARTIES FROM	PARTIES TO	CERT/ CHKD
** PRINTOUT	INCLUDES ALL DOCUMENT TYPES AND DELETED INSTRUMENTS SINCE 2015/12/03 **					
**SUBJECT,	ON FIRST REGISTRATION UNDER THE LAND TITLES ACT, TO					
**	SUBSECTION 44(1) OF THE LAND TITLES ACT, EXCEPT PARAGRAPH 11, PARAGRAPH 14, PROVINCIAL SUCCESSION DUTIES *					
**	AND ESCHEATS OR FORFEITURE TO THE CROWN.					
**	THE RIGHTS OF ANY PERSON WHO WOULD, BUT FOR THE LAND TITLES ACT, BE ENTITLED TO THE LAND OR ANY PART OF					
**	IT THROUGH LENGTH OF ADVERSE POSSESSION, PRESCRIPTION, MISDESCRIPTION OR BOUNDARIES SETTLED BY					
**	CONVENTION.					
**	ANY LEASE TO WHICH THE SUBSECTION 70(2) OF THE REGISTRY ACT APPLIES.					
**DATE OF CONVERSION TO LAND TITLES: 2006/08/21 **						
NK67239	2013/12/13	APL ANNEX REST COV		*** DELETED AGAINST THIS PROPERTY *** THE CORPORATION OF NORFOLK COUNTY THE CORPORATION OF NORFOLK COUNTY		
37R10645	2014/03/27	PLAN REFERENCE			THE LOCAL VEGETABLE COMPANY INC.	C
NK83751	2015/10/22	TRANSFER				
NK85361	2015/12/14	LR'S ORDER		*** COMPLETELY DELETED *** LAND REGISTRAR, NORFOLK LAND REGISTRY OFFICE		
REMARKS: DELETE	NK67239					
NK85901	2016/01/07	CHARGE		*** COMPLETELY DELETED *** THE LOCAL VEGETABLE COMPANY INC.	NORFOLK DISTRICT BUSINESS DEVELOPMENT CORPORATION THE CORPORATION OF NORFOLK COUNTY	C
NK86556	2016/02/01	NOTICE	\$1	THE LOCAL VEGETABLE COMPANY INC.		

NOTE: ADJOINING PROPERTIES SHOULD BE INVESTIGATED TO ASCERTAIN DESCRIPTIVE INCONSISTENCIES, IF ANY, WITH DESCRIPTION REPRESENTED FOR THIS PROPERTY.

NOTE: ENSURE THAT YOUR PRINTOUT STATES THE TOTAL NUMBER OF PAGES AND THAT YOU HAVE PICKED THEM ALL UP.



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PARCEL REGISTER (ABBREVIATED) FOR PROPERTY IDENTIFIER

LAND
REGISTRY
OFFICE #37

PAGE 2 OF 2
PREPARED FOR Aburns01
ON 2018/06/27 AT 13:10:51

50190-0132 (LT)

* CERTIFIED IN ACCORDANCE WITH THE LAND TITLES ACT * SUBJECT TO RESERVATIONS IN CROWN GRANT *

REG. NUM.	DATE	INSTRUMENT TYPE	AMOUNT	PARTIES FROM	PARTIES TO	CERT/ CHKD
NK86557	2016/02/01	POSTPONEMENT		*** COMPLETELY DELETED *** NORFOLK DISTRICT BUSINESS DEVELOPMENT CORPORATION	THE CORPORATION OF NORFOLK COUNTY	
NK109524	REMARKS: NK85901 TO NK86556 2018/04/24	TRANSFER	\$955,000	THE LOCAL VEGETABLE COMPANY INC.	BHS GREENHOUSES LTD.	C
NK109525	2018/04/24	CHARGE	\$1,000,000	BHS GREENHOUSES LTD.	TITAN MORTGAGE CAPITAL PARTNERS INC.	C
NK109526	2018/04/24	NO ASSGN RENT GEN REMARKS: NK109525.		BHS GREENHOUSES LTD.	TITAN MORTGAGE CAPITAL PARTNERS INC.	C
NK109583	2018/04/25	DISCH OF CHARGE		*** COMPLETELY DELETED *** NORFOLK DISTRICT BUSINESS DEVELOPMENT CORPORATION		
NK111582	2018/07/06	NOTICE REMARKS: NK109525	\$2	BHS GREENHOUSES LTD.	TITAN MORTGAGE CAPITAL PARTNERS INC.	C

NOTE: ADJOINING PROPERTIES SHOULD BE INVESTIGATED TO ASCERTAIN DESCRIPTIVE INCONSISTENCIES, IF ANY, WITH DESCRIPTION REPRESENTED FOR THIS PROPERTY.
NOTE: ENSURE THAT YOUR PRINTOUT STATES THE TOTAL NUMBER OF PAGES AND THAT YOU HAVE PICKED THEM ALL UP.