

**For Office Use Only:**

File Number	_____	Public Notice Sign	_____
Related File Number	_____	Application Fee	\$12496
Pre-consultation Meeting	Aug 14, 19	Conservation Authority Fee	_____
Application Submitted	Mar 11, 20	Well & Septic Info Provided	_____
Complete Application	_____	Planner	_____

**Check the type of planning application(s) you are submitting.**

- ☐ Official Plan Amendment
- ☐ Zoning By-Law Amendment
- ☐ Temporary Use By-law
- ☐ Draft Plan of Subdivision/Vacant Land Condominium
- ☐ Condominium Exemption
- ☒ Site Plan Application
- ☐ Consent/Severance
- ☐ Minor Variance
- ☐ Easement/Right-of-Way
- ☐ Extension of a Temporary Use By-law
- ☐ Part Lot Control
- ☐ Cash-in-Lieu of Parking
- ☐ Renewable Energy Project or Radio Communication Tower

Please explain the desired end result of this application (for example: a special zoning provision on the subject lands, changing the zone and/or official plan designation of the subject lands, creating a certain number of lots, or similar)

To Retrofit an existing building into a production facility for Cannabis and obtain a letter of support from Norfolk County for Health Canada.

Property Assessment Roll Number: 49101739000

### A. Applicant Information

Name of Owner

James Lucas

It is the responsibility of the owner or applicant to notify the planner of any changes in ownership within 30 days of such a change.

Address

1438 Windham Road 10

Town and Postal Code

Windham Centre, ON NOE 2A0

Phone Number

519-428-8611

Cell Number

519-428-8611

Email

jluccas@gintec-shade.com

Name of Applicant

James Lucas

Address

1438 Windham Road 10

Town and Postal Code

Windham Centre, ON NOE 2A0

Phone Number

Cell Number

519-428-8611

Email

jluccas@gintec-shade.com

Name of Agent

Address

Town and Postal Code

Phone Number

Cell Number

Email

Please specify to whom all communications should be sent. Unless otherwise directed, all correspondence and notices in respect of this application will be forwarded to the agent noted above.



Owner



Agent



Applicant

Names and addresses of any holder of any mortgagees, charges or other encumbrances on the subject lands:

**B. Location, Legal Description and Property Information**

1. Legal Description (include Geographic Township, Concession Number, Lot Number, Block Number and Urban Area or Hamlet):

Concession 10, Part Lots 5 & 6, Windham Centre  
Township of Delhi

Municipal Civic Address: 1482 Windham Road 10,

Present Official Plan Designation(s): \_\_\_\_\_

Present Zoning: Agriculture

2. Is there a special provision or site specific zone on the subject lands?

☐ Yes ☒ No If yes, please specify:

3. Present use of the subject lands:

Agriculture

4. Please describe all existing buildings or structures on the subject lands and whether they are to be retained, demolished or removed. If retaining the buildings or structures, please describe the type of buildings or structures, and illustrate the setback, in metric units, from front, rear and side lot lines, ground floor area, gross floor area, lot coverage, number of storeys, width, length, and height on your attached sketch which must be included with your application:

Retaining all buildings including greenhouse, bunkhouse, house, and farm storage buildings.

5. If an addition to an existing building is being proposed, please explain what it will be used for (for example: bedroom, kitchen, or bathroom). If new fixtures are proposed, please describe.

N/A

6. Please describe **all proposed** buildings or structures/additions on the subject lands. Describe the type of buildings or structures/additions, and illustrate the setback, in metric units, from front, rear and side lot lines, ground floor area, gross floor area, lot coverage, number of storeys, width, length, and height on your attached sketch which must be included with your application:

see plans.

7. Are any existing buildings on the subject lands designated under the *Ontario Heritage Act* as being architecturally and/or historically significant? Yes ☐ No ☒

If yes, identify and provide details of the building:

8. If known, the length of time the existing uses have continued on the subject lands:

9. Existing use of abutting properties:

Agriculture

10. Are there any existing easements or restrictive covenants affecting the subject lands?

☐ Yes ☒ No If yes, describe the easement or restrictive covenant and its effect:

Note: Please complete all that apply.

1. Please explain what you propose to do on the subject lands/premises which makes this development application necessary:

Retrofit an existing building to comply with Health Canada and Norfolk County to operate a Cannabis Production & Processing Facility.

2. Please explain why it is not possible to comply with the provision(s) of the Zoning By-law/and or Official Plan:

NA

3. Does the requested amendment alter all or any part of the boundary of an area of settlement in the municipality or implement a new area of settlement in the municipality? ☐ Yes ☒ No If yes, describe its effect:

4. Does the requested amendment remove the subject land from an area of employment? ☐ Yes ☒ No If yes, describe its effect:



5. Does the requested amendment alter, replace, or delete a policy of the Official Plan?  
☐ Yes ☒ No If yes, identify the policy, and also include a proposed text of the policy amendment (if additional space is required, please attach a separate sheet):

6. Description of land intended to be severed in metric units:

Frontage: \_\_\_\_\_

Depth: \_\_\_\_\_

Width: \_\_\_\_\_ N/A

Lot Area: \_\_\_\_\_

Present Use: \_\_\_\_\_

Proposed Use: \_\_\_\_\_

Proposed final lot size (if boundary adjustment): \_\_\_\_\_

If a boundary adjustment, identify the assessment roll number and property owner of the lands to which the parcel will be added: \_\_\_\_\_

Description of land intended to be retained in metric units:

Frontage: \_\_\_\_\_

Depth: \_\_\_\_\_

Width: \_\_\_\_\_ N/A

Lot Area: \_\_\_\_\_

Present Use: \_\_\_\_\_

Proposed Use: \_\_\_\_\_

Buildings on retained land: \_\_\_\_\_

7. Description of proposed right-of-way/easement:

Frontage: \_\_\_\_\_

Depth: \_\_\_\_\_

Width: \_\_\_\_\_

Area: \_\_\_\_\_

Proposed use: \_\_\_\_\_

8. Name of person(s), if known, to whom lands or interest in lands to be transferred, leased or charged (if known):

**9. Site Information****Existing****Proposed**

Please indicate unit of measurement, for example: m, m<sup>2</sup> or %

Lot frontage	MIN. 59.05' / 18.0m'	561.5' / 171.14m'
Lot depth	/	602.0' / 183.50m'
Lot width	/	463.0' / 132.92m'
Lot area	MIN. 0.34 Ac / 0.34 Ha	5.4 Ac / 2.18 Ha
Lot coverage		FFA / WSA - 6.2%
Front yard	MIN. 42.65' / 13.00m'	343.4' / 104.66m'
Rear yard	MIN. 29.53' / 9.00m'	62.9' / 19.18m'
Left Interior side yard	MIN. 42.65' / 13.00m'	61.0' / 18.60m'
Right Interior side yard	MIN. 42.65' / 13.00m'	140.75' / 42.90m'
Exterior side yard (corner lot)	/	/
Landscaped open space		2.0 Ac / 0.81 Ha
Entrance access width		24.0' / 7.32m'
Exit access width		24.0' / 7.32m'
Size of fencing or screening		/
Type of fencing		/

**10. Building Size**

Number of storeys		1
Building height	MAX. 36.09' / 11.00m'	27.7' / 8.43m'
Total ground floor area		16271SF / 1512m <sup>2</sup>
Total gross floor area		16271SF / 1512m <sup>2</sup>
Total useable floor area		15860SF / 1473m <sup>2</sup>

**11. Off Street Parking and Loading Facilities**

Number of off street parking spaces		/
Number of visitor parking spaces		129
Number of accessible parking spaces		4
Number of off street loading facilities		1

12. Residential (if applicable)

Number of buildings existing: \_\_\_\_\_

Number of buildings proposed: N/A

Is this a conversion or addition to an existing building? ☐ Yes ☒ No

If yes, describe: \_\_\_\_\_

Type	Number of Units	Floor Area per Unit in m <sup>2</sup>
Single Detached	_____	_____
Semi-Detached	_____	_____
Duplex	_____	_____
Triplex	_____	_____
Four-plex	<u>N/A</u>	_____
Street Townhouse	_____	_____
Stacked Townhouse	_____	_____
Apartment - Bachelor	_____	_____
Apartment - One bedroom	_____	_____
Apartment - Two bedroom	_____	_____
Apartment - Three bedroom	_____	_____

Other facilities provided (for example: play facilities, underground parking, games room, or swimming pool): \_\_\_\_\_

13. Commercial/Industrial Uses (if applicable)

Number of buildings existing: N/A

Number of buildings proposed: \_\_\_\_\_

Is this a conversion or addition to an existing building? ☐ Yes ☐ No

If yes, describe: \_\_\_\_\_

Indicate the gross floor area by the type of use (for example: office, retail, storage): \_\_\_\_\_

Seating Capacity (for assembly halls or similar): \_\_\_\_\_

Total number of fixed seats: \_\_\_\_\_

Describe the type of business(es) proposed: \_\_\_\_\_ N/A

Total number of staff proposed initially: \_\_\_\_\_

Total number of staff proposed in five years: \_\_\_\_\_

Maximum number of staff on the largest shift: \_\_\_\_\_

Is open storage required: ☐ Yes ☐ No

Is a residential use proposed as part of, or accessory to commercial/industrial use?

☐ Yes ☐ No If yes please describe:

14. Institutional (if applicable)

Describe the type of use proposed: \_\_\_\_\_

Seating capacity (if applicable): \_\_\_\_\_

Number of beds (if applicable): \_\_\_\_\_ N/A

Total number of staff proposed initially: \_\_\_\_\_

Total number of staff proposed in five years: \_\_\_\_\_

Maximum number of staff on the largest shift: \_\_\_\_\_

Indicate the gross floor area by the type of use (for example: office, retail, or storage):

15. Describe Recreational or Other Use(s) (if applicable)



#### D. Previous Use of the Property

1. Has there been an industrial or commercial use on the subject lands or adjacent lands? ☐ Yes ☒ No ☐ Unknown

If yes, specify the uses (for example: gas station or petroleum storage):

2. Is there reason to believe the subject lands may have been contaminated by former uses on the site or adjacent sites? ☐ Yes ☒ No ☐ Unknown

3. Provide the information you used to determine the answers to the above questions:

Property has been owned by self or family members since 1980's - Agriculture Use.

4. If you answered yes to any of the above questions in Section D, a previous use inventory showing all known former uses of the subject lands, or if appropriate, the adjacent lands, is needed. Is the previous use inventory attached? ☐ Yes ☒ No

#### E. Provincial Policy

1. Is the requested amendment consistent with the provincial policy statements issued under subsection 3(1) of the *Planning Act, R.S.O. 1990, c. P. 13*? ☒ Yes ☐ No

If no, please explain:

2. It is owner's responsibility to be aware of and comply with all relevant federal or provincial legislation, municipal by-laws or other agency approvals, including the Endangered Species Act, 2007. Have the subject lands been screened to ensure that development or site alteration will not have any impact on the habitat for endangered or threatened species further to the provincial policy statement subsection 2.1.7? ☒ Yes ☐ No

If no, please explain:

3. Have the subject lands been screened to ensure that development or site alteration will not have any impact on source water protection? ☒ Yes ☐ No

If no, please explain:

Note: If in an area of source water Wellhead Protection Area (WHPA) A, B or C please attach relevant information and approved mitigation measures from the Risk Manager Official.

4. Are any of the following uses or features on the subject lands or within 500 metres of the subject lands, unless otherwise specified? Please check boxes, if applicable.

**Livestock facility or stockyard** (submit MDS Calculation with application)

☐ On the subject lands or ☐ within 500 meters – distance           x          

**Wooded area**

☐ On the subject lands or ☐ within 500 meters – distance           x          

**Municipal Landfill**

☐ On the subject lands or ☐ within 500 meters – distance           x          

**Sewage treatment plant or waste stabilization plant**

☐ On the subject lands or ☐ within 500 meters – distance           x          

**Provincially significant wetland (class 1, 2 or 3) or other environmental feature**

☐ On the subject lands or ☐ within 500 meters – distance           x          

**Floodplain**

☐ On the subject lands or ☐ within 500 meters – distance           x          

**Rehabilitated mine site**

☐ On the subject lands or ☐ within 500 meters – distance           x          

**Non-operating mine site within one kilometre**

☐ On the subject lands or ☐ within 500 meters – distance           x          

**Active mine site within one kilometre**

☐ On the subject lands or ☐ within 500 meters – distance           x          

**Industrial or commercial use (specify the use(s))**

☐ On the subject lands or ☐ within 500 meters – distance           x          

**Active railway line**

☐ On the subject lands or ☐ within 500 meters – distance           x          

**Seasonal wetness of lands**

☐ On the subject lands or ☐ within 500 meters – distance           x          

**Erosion**

☐ On the subject lands or ☐ within 500 meters – distance           x          

**Abandoned gas wells**

☐ On the subject lands or ☐ within 500 meters – distance           x

## F. Servicing and Access

1. Indicate what services are available or proposed:

Water Supply

- ☐ Municipal piped water  
☒ Individual wells

- ☐ Communal wells  
☐ Other (describe below)
- 

Sewage Treatment

- ☐ Municipal sewers  
☒ Septic tank and tile bed in good working order
- ☐ Communal system  
☐ Other (describe below)
- 

Storm Drainage

- ☐ Storm sewers  
☐ Other (describe below)
- ☒ Open ditches
- 

2. Existing or proposed access to subject lands:

- ☒ Municipal road  
☐ Unopened road
- ☐ Provincial highway  
☐ Other (describe below)

Name of road/street: Windham Road 10

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## G. Other Information

1. Does the application involve a local business? ☐ Yes ☐ No

If yes, how many people are employed on the subject lands?

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2. Is there any other information that you think may be useful in the review of this application? If so, explain below or attach on a separate page.

## **H. Supporting Material to be submitted by Applicant**

In order for your application to be considered complete, **folded** hard copies (number of paper copies as directed by the planner) and an **electronic version (PDF) of the properly named site plan drawings, additional plans, studies and reports** will be required, including but not limited to the following details:

1. Concept/Layout Plan
2. All measurements in metric
3. Key map
4. Scale, legend and north arrow
5. Legal description and municipal address
6. Development name
7. Drawing title, number, original date and revision dates
8. Owner's name, address and telephone number
9. Engineer's name, address and telephone number
10. Professional engineer's stamp
11. Existing and proposed easements and right of ways
12. Zoning compliance table – required versus proposed
13. Parking space totals – required and proposed
14. All entrances to parking areas marked with directional arrows
15. Loading spaces, facilities and routes (for commercial developments)
16. All dimensions of the subject lands
17. Dimensions and setbacks of all buildings and structures
18. Location and setbacks of septic system and well from all existing and proposed lot lines, and all existing and proposed structures
19. Gross, ground and useable floor area
20. Lot coverage
21. Floor area ratio
22. Building entrances, building type, height, grades and extent of overhangs
23. Names, dimensions and location of adjacent streets including daylighting triangles
24. Driveways, curbs, drop curbs, pavement markings, widths, radii and traffic directional signs
25. All exterior stairways and ramps with dimensions and setbacks
26. Retaining walls including materials proposed
27. Fire access and routes
28. Location, dimensions and number of parking spaces (including visitor and accessible) and drive aisles
29. Location of mechanical room, and other building services (e.g. A/C, HRV)
30. Refuse disposal and storage areas including any related screening (if indoors, need notation on site plan)
31. Winter snow storage location



32. Landscape areas with dimensions
33. Natural features, watercourses and trees
34. Fire hydrants and utilities location
35. Fencing, screening and buffering – size, type and location
36. All hard surface materials
37. Light standards and wall mounted lights (plus a note on the site plan that all outdoor lighting is to be dark sky compliant)
38. Business signs (make sure they are not in sight lines)
39. Sidewalks and walkways with dimensions
40. Pedestrian access routes into site and around site
41. Bicycle parking
42. Architectural elevations of all building sides
43. All other requirements as per the pre-consultation meeting

In addition, the following additional plans, studies and reports, including but not limited to, **may** also be required as part of the complete application submission:

- ☐ Zoning Deficiency Form
- ☐ On-Site Sewage Disposal System Evaluation Form (to verify location and condition)
- ☐ Architectural Plan
- ☐ Buildings Elevation Plan
- ☐ Cut and Fill Plan
- ☐ Erosion and Sediment Control Plan
- ☐ Grading and Drainage Control Plan (around perimeter and within site) (existing and proposed)
- ☐ Landscape Plan
- ☐ Photometric (Lighting) Plan
- ☐ Plan and Profile Drawings
- ☐ Site Servicing Plan
- ☐ Storm water Management Plan
- ☐ Street Sign and Traffic Plan
- ☐ Street Tree Planting Plan
- ☐ Tree Preservation Plan
- ☐ Archaeological Assessment
- ☐ Environmental Impact Study

- ☐ Geotechnical Study / Hydrogeological Review
- ☐ Minimum Distance Separation Schedule
- ☐ Noise or Vibration Study
- ☐ Record of Site Condition
- ☐ Storm water Management Report
- ☒ Traffic Impact Study – please contact the Planner to verify the scope required

Site Plan applications will require the following supporting materials:

1. Two (2) complete sets of the site plan drawings folded to 8½ x 11 and an electronic version in PDF format ✓
2. Letter requesting that the Holding be removed (if applicable) N/A
3. A cost estimate prepared by the applicant's engineer - Step 2
4. An estimate for Parkland dedication by a certified land appraiser - Step 2
5. Property Identification Number (PIN) printout - Step 2

Standard condominium exemptions will require the following supporting materials:

- ☐ Plan of standard condominium (2 paper copies and 1 electronic copy)
- ☐ Draft condominium declaration
- ☐ Property Identification Number (PIN) printout

Your development approval might also be dependent on Ministry of Environment and Climate Change, Ministry of Transportation or other relevant federal or provincial legislation, municipal by-laws or other agency approvals.

**All final plans must include the owner's signature as well as the engineer's signature and seal.**

#### **I. Development Agreements**

A development agreement may be required prior to approval for site plan, subdivision and condominium applications. Should this be necessary for your development, you will be contacted by the agreement administrator with further details of the requirements including but not limited to insurance coverage, professional liability for your engineer, additional fees and securities.

#### **J. Transfers, Easements and Postponement of Interest**

The owner acknowledges and agrees that if required it is their solicitor's responsibility on behalf of the owner for the registration of all transfer(s) of land to the County, and/or transfer(s) of easement in favour of the County and/or utilities. Also, the owner further acknowledges and agrees that it is their solicitor's responsibility on behalf of the owner for the registration of postponements of any charges in favour of the County.

#### **K. Permission to Enter Subject Lands**

Permission is hereby granted to Norfolk County officers, employees or agents, to enter the premises subject to this application for the purposes of making inspections associated with this application, during normal and reasonable working hours.

#### **L. Freedom of Information**

For the purposes of the *Municipal Freedom of Information and Protection of Privacy Act*, I authorize and consent to the use by or the disclosure to any person or public body any information that is collected under the authority of the *Planning Act, R.S.O. 1990, c. P. 13* for the purposes of processing this application.

\_\_\_\_\_  
Owner/Applicant Signature

March 3 2020  
Date

#### **M. Owner's Authorization**

If the applicant/agent is not the registered owner of the lands that is the subject of this application, the owner(s) must complete the authorization set out below.

I/We \_\_\_\_\_ am/are the registered owner(s) of the lands that is the subject of this application.

I/We authorize \_\_\_\_\_ to make this application on my/our behalf and to provide any of my/our personal information necessary for the processing of this application. Moreover, this shall be your good and sufficient authorization for so doing.

\_\_\_\_\_  
Owner

\_\_\_\_\_  
Date

\_\_\_\_\_  
Owner

\_\_\_\_\_  
Date

**N. Declaration**

I, James Lucas of Windham Centre

solemnly declare that:

all of the above statements and the statements contained in all of the exhibits transmitted herewith are true and I make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath and by virtue of *The Canada Evidence Act*.

Declared before me at:

185 Robinson St.

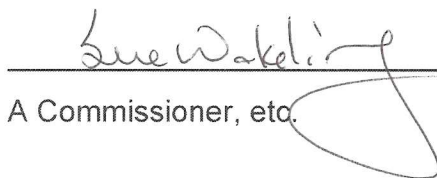


Owner/Applicant Signature

In Norfolk County

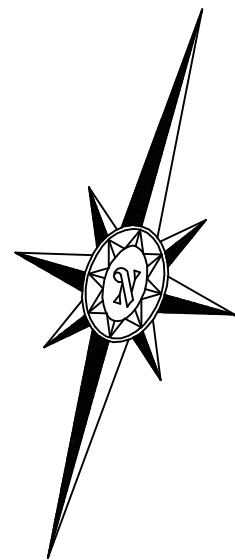
This 3rd day of March

A.D., 2020

  
A Commissioner, etc.

Susan Diana Wakeling, a  
Commissioner, etc., Province of Ontario,  
for the Corporation of Norfolk County.  
Expires March 11, 2022.





PARTIAL  
TOPOGRAPHIC SITE PLAN  
OF PART OF  
1476 WINDHAM ROAD 10  
WINDHAM CENTRE

PIN 50186-0210 (LT)

SCALE: 1 : 250



JEWITT AND DIXON LTD.

SITE B.M.#1  
MARK ON BOLLARD  
AT SOUTH ENTRANCE  
ELEV = 239.812  
(GEODETIC)

LEGEND

BELL BOX	SHOWN	BBX	□
BENCH MARK	SHOWN	BM	⊙
CATCH BASIN	SHOWN	CB	▣
TOP OF FOUNDATION	SHOWN	TOF	▤
OVERHEAD HYDRO LINE	SHOWN	O/H	—
WATER VALVE	SHOWN	WV	⚙
HYDRO POLE	SHOWN	HP	⚙
GAS METER	SHOWN	GM	⚙
MANHOLE	SHOWN	MH	⚙

METAL CLAD BUILDING

SITE B.M.#1  
239.812

CONCRETE PAD

PROPERTY DESCRIPTION:

PART OF LOTS 5 & 6  
CONCESSION 10  
GEOGRAPHIC TOWNSHIP OF WINDHAM  
COUNTY OF NORFOLK

CAUTION

THIS IS NOT A PLAN OF SURVEY OR SURVEYOR'S REPORT AND SHALL NOT BE USED  
FOR TRANSACTION OR FINANCING PURPOSES

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NOVEMBER 28, 2019

KIM HUSTED, O.L.S.  
THIS COPY IS NOT VALID UNLESS  
EMBOSSD WITH THE SURVEYOR'S SEAL.

JEWITT AND DIXON LTD.  
ONTARIO LAND SURVEYORS

R.R.1, SIMCOE, ONTARIO, N3Y 4J9  
(51 PARK ROAD)

PHONE: (519) 426-0842 FAX: (519) 426-1034  
E-mail: surveyors@amtelecom.net

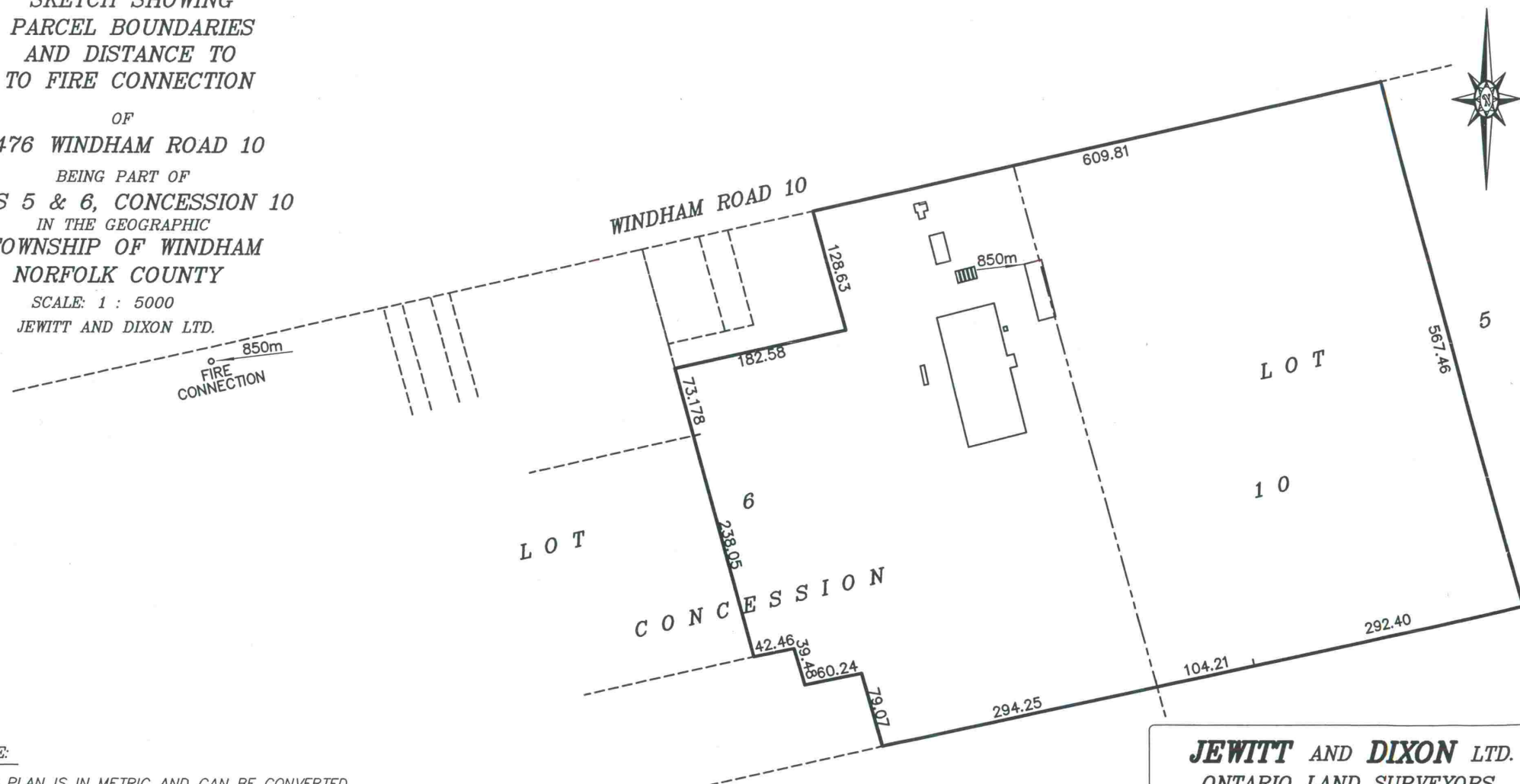
F.W.	—	J.D.
BOOK	—	LL
CALC.	—	J.L.M.
PLAN	—	J.L.M.
CHECK	—	K.H.
CLIENT	—	LUCAS
PROJECT No.	—	16-1058
P19 03 A1298		

SKETCH SHOWING  
PARCEL BOUNDARIES  
AND DISTANCE TO  
TO FIRE CONNECTION

OF  
1476 WINDHAM ROAD 10

BEING PART OF  
LOTS 5 & 6, CONCESSION 10  
IN THE GEOGRAPHIC  
TOWNSHIP OF WINDHAM  
NORFOLK COUNTY

SCALE: 1 : 5000  
JEWITT AND DIXON LTD.



**NOTE:**

THIS PLAN IS IN METRIC AND CAN BE CONVERTED  
TO IMPERIAL BY MULTIPLYING BY 3.2808

**CAUTION:**

THIS IS NOT A PLAN OF SURVEY AND SHALL NOT  
BE USED FOR PURPOSES OTHER THAN THE  
PURPOSE INDICATED IN THE TITLE BLOCK.

**JEWITT AND DIXON LTD.**

**ONTARIO LAND SURVEYORS**

R.R.1, SIMCOE, ONTARIO, N3Y 4J9  
(51 PARK ROAD)

PHONE: (519) 426-0842 FAX: (519) 426-1034  
E-mail: [surveyors@amtelecom.net](mailto:surveyors@amtelecom.net)

JOB # 16-1058 LUCAS



WORK SITE AREA  
21,847.5 m<sup>2</sup> / 235,164.9 Sq. Ft.

GROSS FLOOR AREA

EXISTING BARN REMAIN 1,317.9 m<sup>2</sup> / 14,185.6 Sq. Ft.  
BE TRANSFORMED TO  
OFFICE, GROUT AREA  
EXISTING HOUSE REMAIN 193.7 m<sup>2</sup> / 2,085.4 Sq. Ft.  
BE TRANSFORMED TO  
OFFICE, SECURITY FACILITY  
TOTAL 1,511.6 m<sup>2</sup> / 16,271.0 Sq. Ft.

FOOTPRINT FLOOR AREA

EXISTING BARN REMAIN 1,165.9 m<sup>2</sup> / 12,549.6 Sq. Ft.  
BE TRANSFORMED TO  
OFFICE, GROUT AREA  
EXISTING HOUSE REMAIN 193.7 m<sup>2</sup> / 2,085.4 Sq. Ft.  
BE TRANSFORMED TO  
OFFICE, SECURITY FACILITY  
TOTAL 1,359.6 m<sup>2</sup> / 14,634.0 Sq. Ft.

LOT COVERAGE

FOOTPRINT FLOOR AREA 6.22 %  
WORK SITE AREA

FLOOR AREA RATIO

GROSS FLOOR AREA 6.92 %  
WORK SITE AREA

PROPOSED LANDSCAPE

SODDING AREA (L.A.)  
1,427.7 m<sup>2</sup> / 15,336. Sq. Ft.

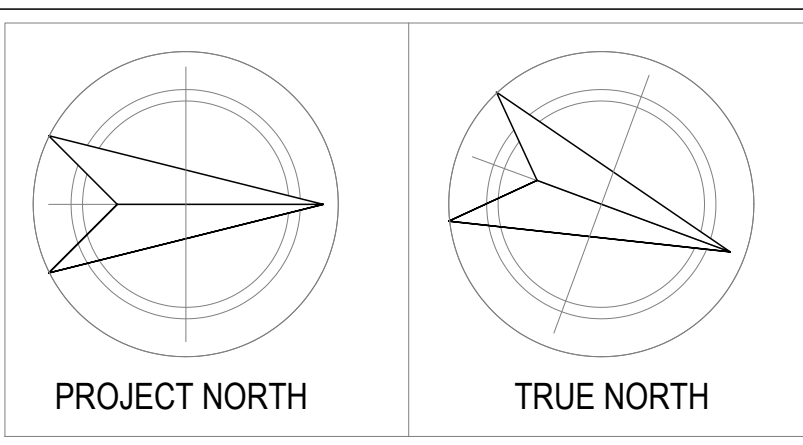
PROPOSED PARKING

19 SPOTS, 1 BARRIER FREE  
PROPOSED SNOW  
STORAGE AREA  
174.0 m<sup>2</sup> / 1,872.7 Sq. Ft.

SITE STATISTIC

SITE DATA	SQ.FT.	m <sup>2</sup>	%
WORK LOT AREA	235,164.9	21,847.5	100%

ZONING INFO - AGRICULTURAL ZONE (A)				
SET BACKS	REQUESTED	PROPOSED		
	M	FT.	FT.	M
FRONT	13.00	42.65'	343.40'	104.66
REAR	9.00	29.53'	62.93'	19.18
SIDE	13.00	42.65'	140.75'	42.90
SIDE	13.00	42.65'	61.00'	18.60
MAX. HEIGHT	11.00	36.09'	27.66'	8.43

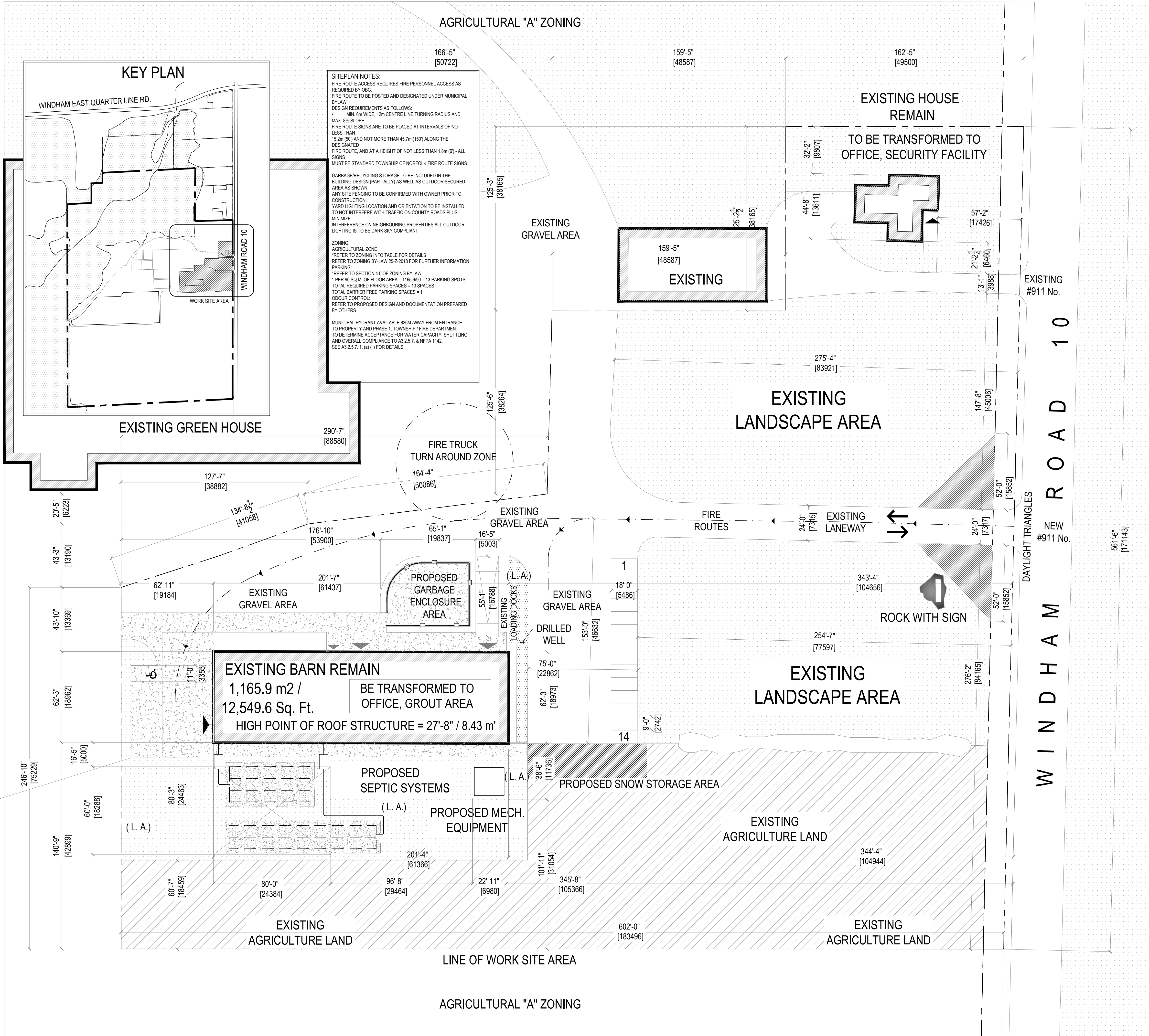


5m 0m 5m 10m 15m 30m

1 SITE PLAN

SCALE: 1'-0" = 1/32"

SCALE= 1 : 400



**AM**  
**ALEKSANDAR V. MARKOVIC**  
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Issued \_\_\_\_\_  
ISSUED FOR PERMIT

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**REGISTRATION INFORMATION**  
Required unless design is exempt under 2.17.4.1. of the Ontario Building Code  
LJILJANA MARKOVIC 33107  
Name BCDN #  
Signature Aleksandar V. Markovic 34372  
Practice Name BCDN#



Revised \_\_\_\_\_  
NO. REVISIONS DATE  
1 AS PER ZONING EXAMINER'S NOTES JULY 2019  
2

Client \_\_\_\_\_

James Lucas

Cannerie  
Pharmaceutical Ltd.

Project Name and Address \_\_\_\_\_  
PROPOSED 2 STOREY DWELLING  
LUCAS GREENHOUSE  
DEVELOPMENT

1476 WINDHAM ROAD 10,  
WINDHAM CENTRE, ON.

Drawing Title \_\_\_\_\_

SITE PLAN,  
WORK SITE AREA

Checked by \_\_\_\_\_

A.M.

Scale \_\_\_\_\_

AS NOTED

Drawing/Sheet No. \_\_\_\_\_

A-1

Project No. \_\_\_\_\_

20-04





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Drawing Title \_\_\_\_\_

EXISTING  
PLANS

Checked by \_\_\_\_\_

A.M.

Scale \_\_\_\_\_

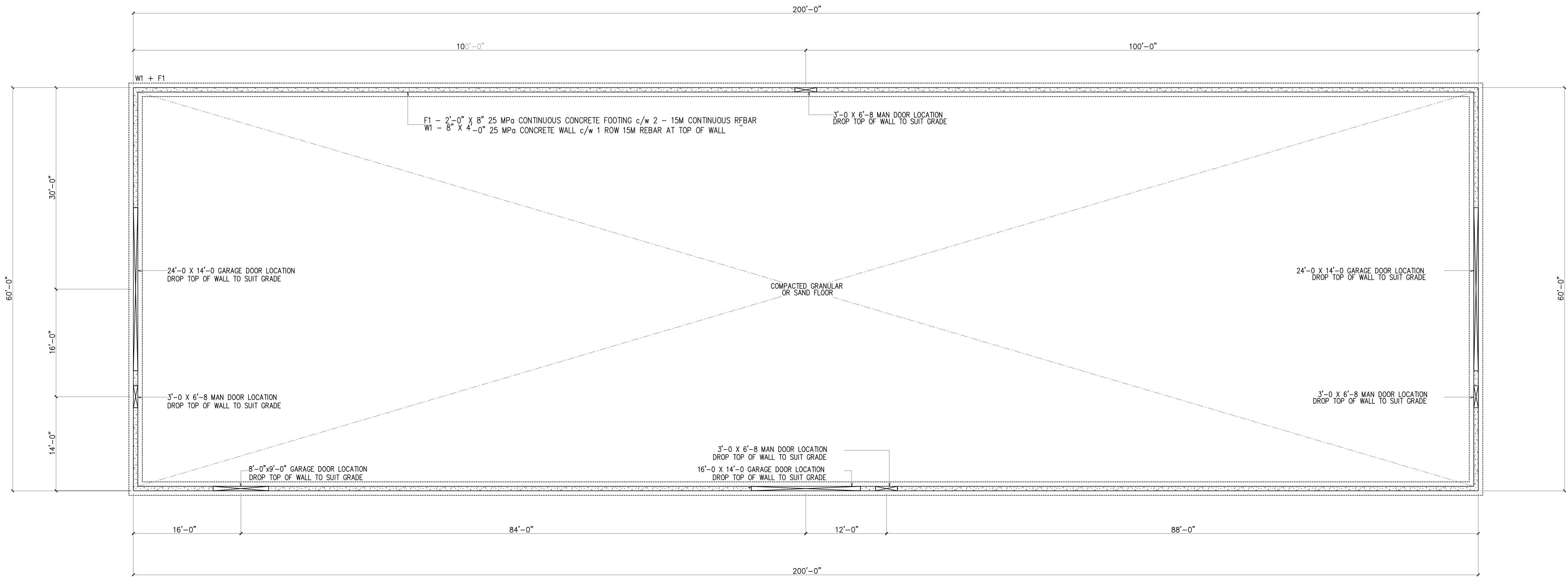
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Drawing/Sheet No \_\_\_\_\_

A-2

Project No: \_\_\_\_\_

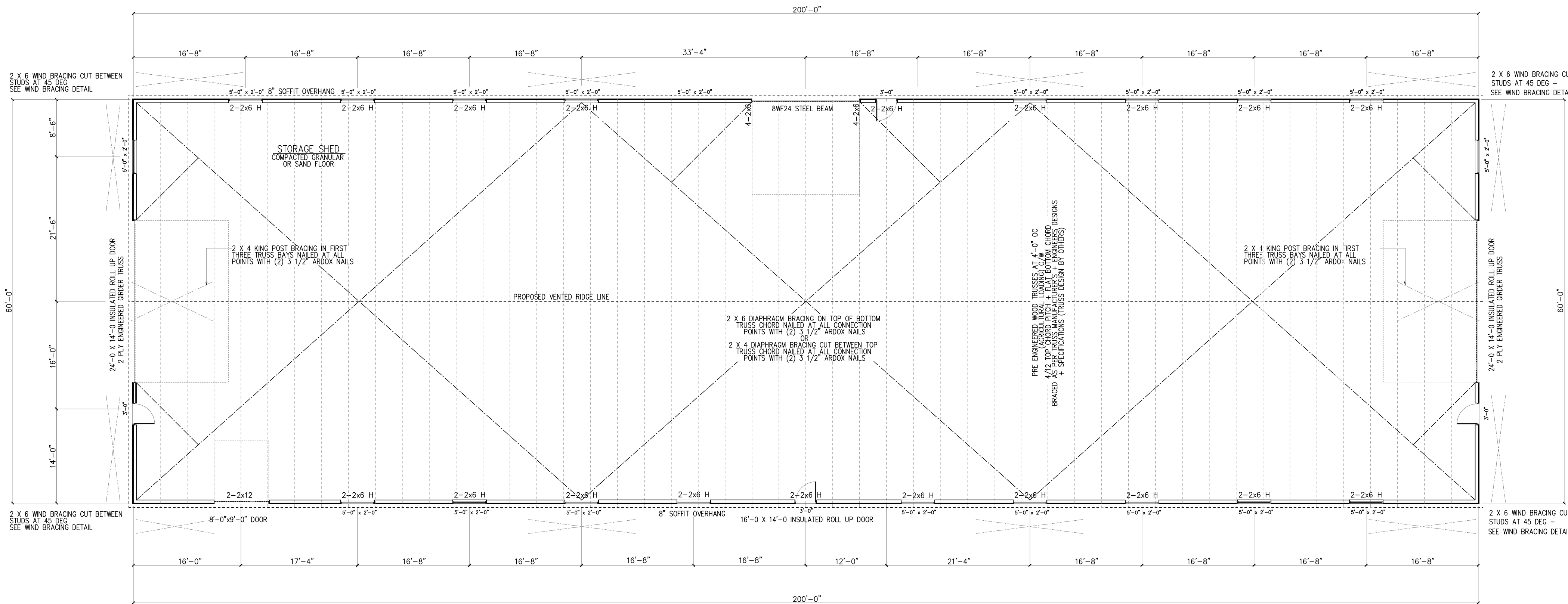
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#### FOOTING + FOUNDATION PLAN

SCALE: 3/16" = 1'-0"

ALL FOOTINGS TO BE POURED DIRECTLY ON UNDISTURBED SOIL. THE SOIL BEARING CAPACITY HAS BEEN DESIGNED FOR 2500 psf. THE SOIL BEARING CAPACITY IS TO BE TESTED BY A QUALIFIED SOIL CONSULTANT AT FOOTING LEVEL PRIOR TO POURING CONCRETE FOOTING. THE DIRECTION OF THE SOIL CONSULTANT IS TO BE STRICTLY FOLLOWED.



#### FRAMING + BRACING PLAN

SCALE: 3/16" = 1'-0"

THE CONTRACTOR IS RESPONSIBLE FOR ALL ASPECTS OF TEMPORARY BRACING  
THE ENGINEER DOES NOT TAKE RESPONSIBILITY FOR TEMPORARY BRACING DURING CONSTRUCTION  
ALL TRUSS BRACING TO BE INSTALLED AS PER TRUSS MANUFACTURER'S DESIGN + SPECIFICATIONS  
AND AS PER ENGINEER'S DESIGN + SPECIFICATIONS

CROSS BRACE WEB LATERAL BRACING AS FOLLOWS:  
SINGLE BRACING - EVERY 75'  
DOUBLE BRACE - EVERY 50'  
TRIPLE BRACE - EVERY 20'

#### AGRICULTURAL CONCRETE REQUIREMENT NOTES:

1. THE FOLLOWING MINIMUM CONCRETE REQUIREMENTS FOR AGRICULTURAL PROJECTS ARE BASED ON THE REQUIREMENTS OF THE ONTARIO BUILDING CODE, THE NATIONAL FARM BUILDING CODE OF ONTARIO, CSA A23.1 - CONCRETE MATERIALS AND METHODS OF CONCRETE CONSTRUCTION, AND THE NUTRIENT MANAGEMENT ACT 2002.

CONCRETE APPLICATION	CLASS OF CONCRETE	MAXIMUM W/CM	MINIMUM 28 DAY STRENGTH	AIR ENTRAINMENT CATEGORY	REFERENCES
STRUCTURALLY REINFORCED CONCRETE THAT IS EXPOSED TO SEVERE MANURE AND/OR SLURG CASES WITH OR WITHOUT FREEZE-THAW EXPOSURE. EXAMPLES: REINFORCED BEAMS, SLABS, AND COLUMNS OVER MANURE PITS AND SLURGS, CANALS, PIG SLABS, ACCESS HOLES, EXPOSED CHAMBERS, AND PILES PARTIALLY FILLED WITH EFFLUENTS.	A-1	0.40	35 MPa	1 OR 2	CSA A23.1
STRUCTURALLY REINFORCED CONCRETE THAT IS EXPOSED TO MODERATE TO SEVERE MANURE AND/OR SLURG CASES AND LIQUIDS WITH OR WITHOUT FREEZE-THAW EXPOSURE. EXAMPLES: REINFORCED WALLS IN EXTERIOR MANURE TANKS, BODS AND FEED BUNKERS, AND EXTERIOR SLABS.	A-2	0.45	32 MPa	1	CSA A23.1
STRUCTURALLY REINFORCED CONCRETE THAT IS EXPOSED TO MODERATE TO SEVERE MANURE AND/OR SLURG CASES AND LIQUIDS WITH OR WITHOUT FREEZE-THAW EXPOSURE IN A CONTINUOUSLY SUBMERGED CONDITION. EXAMPLES: INTERIOR OUTER WALLS, BEAMS, SLABS, COLUMNS AND STANDING PIPES THAT ARE NOT EXPOSED.	A-3	0.50	30 MPa	2	CSA A23.1
NON-STRUCTURALLY REINFORCED CONCRETE EXPOSED TO MODERATE MANURE AND/OR SLURG CASES AND LIQUIDS WITHOUT FREEZE-THAW EXPOSURE. EXAMPLES: INTERIOR SLABS ON GRADE.	A-4	0.55	25 MPa	2	CSA A23.1
PLAIN UNREINFORCED CONCRETE NOT IN CONTACT WITH MANURE OR MANURE CASES. EXAMPLES: FOOTINGS, INTERIOR WALLS, BEAMS, COLUMNS, AND SLABS NOT EXPOSED TO AGRICULTURAL WASTE.	N	0.55	25 MPa	-	CSA GUIDELINES

#### MASONRY NOTES:

- MASONRY MEMBERS OF PLAIN & REINFORCED MASONRY SHALL CONFORM TO CSA - S304.1 - DESIGN OF MASONRY STRUCTURES.
- MASONRY UNITS SHALL COMPLY WITH CSA A165.1 CONCRETE BLOCK MASONRY UNITS.
- MINIMUM COMPRESSIVE STRENGTH OF CONCRETE BLOCKS OVER NET AREA:  
SOLID OR HOLLOW CORE EXPOSED TO WEATHER - 15 MPa  
NOT EXPOSED - 10 MPa
- MORTAR - EXTERIOR ABOVE GROUND (LOAD BEARING) - TYPE S / (NON LOAD BEARING) - TYPE S OR N  
- INTERIOR ABOVE GROUND (LOAD BEARING) / (NON LOAD BEARING) - TYPE N  
MIX PROPORTIONS TO CONFORM TO O.B.C. TABLE 9.20.3.2.B.
- JOINTS - 3/8" (10mm) THICKNESS.
- SUPPORT - MASONRY UNITS SHALL BE SUPPORTED ON CONCRETE, MASONRY, OR STEEL.
- LINTELS:

BLOCK SIZE:	SPAN:	LINTEL SIZE:
4" BLOCK NON LOAD BEARING (SUPPORTING MASONRY OVER OPENING ONLY)	3'-0" SPAN	3"x5"x1/4" STEEL ANGLES (76mmx125mmx6mm STEEL ANGLES)
	4'-0" SPAN	3"x5"x1/4" STEEL ANGLES (76mmx125mmx6mm STEEL ANGLES)
	5'-0" SPAN	3"x5"x5/16" STEEL ANGLES (76mmx125mmx8mm STEEL ANGLES)
	6'-0" SPAN	3"x5"x3/8" STEEL ANGLES (76mmx125mmx10mm STEEL ANGLES)
4" BLOCK LOAD BEARING	3'-0" SPAN	3"x5"x1/4" STEEL ANGLES (76mmx125mmx6mm STEEL ANGLES)
	4'-0" SPAN	3"x5"x5/16" STEEL ANGLES (76mmx125mmx8mm STEEL ANGLES)
	5'-0" SPAN	3"x5"x3/8" STEEL ANGLES (76mmx125mmx10mm STEEL ANGLES)
	6'-0" SPAN	3 1/2"x6"x3/8" STEEL ANGLES (90mmx150mmx10mm STEEL ANGLES)
6" BLOCK NON LOAD BEARING (SUPPORTING MASONRY OVER OPENING ONLY)	3'-0" SPAN	(2) 2 1/2"x3 1/2"x1/4" STEEL ANGLES (2) 63.5mmx90mmx6mm STEEL ANGLES
	4'-0" SPAN	(2) 2 1/2"x3 1/2"x1/4" STEEL ANGLES (2) 63.5mmx90mmx6mm STEEL ANGLES
	5'-0" SPAN	(2) 2 1/2"x3 1/2"x5/16" STEEL ANGLES (2) 63.5mmx90mmx8mm STEEL ANGLES
	6'-0" SPAN	(2) 2 1/2"x5"x5/16" STEEL ANGLES (2) 63.5mmx125mmx8mm STEEL ANGLES
6" BLOCK LOAD BEARING	3'-0" SPAN	(2) 2 1/2"x3 1/2"x1/4" STEEL ANGLES (2) 63.5mmx90mmx6mm STEEL ANGLES
	4'-0" SPAN	(2) 2 1/2"x3 1/2"x5/16" STEEL ANGLES (2) 63.5mmx90mmx8mm STEEL ANGLES
	5'-0" SPAN	(2) 2 1/2"x5"x5/16" STEEL ANGLES (2) 63.5mmx125mmx8mm STEEL ANGLES
	6'-0" SPAN	(2) 2 1/2"x5"x3/8" STEEL ANGLES (2) 63.5mmx125mmx10mm STEEL ANGLES

8. MINIMUM BEARING FOR LINTELS - 6" (150mm)

9. HORIZONTAL REINFORCING - LADDER TYPE - 9mm (BLOK-BL10 OR EQUIVALENT) EVERY 3 COURSES.

1 EXISTING  
PLANS

SCALE: 1'-0" =  $\frac{3}{32}$ " / 1 : 125





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LJILIANA MARKOVIC  
Name 33107  
Aleksandar V. Markovic BCDN #  
Signature  
Practice Name 34372  
BCDN#



Revised		
NO.	REVISIONS	DATE
1	AS PER ZONING EXAMINER'S NOTES	JULY, 2019
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DEVELOPMENT

1476 WINDHAM ROAD 10,  
WINDHAM CENTRE, ON.

Drawing Title \_\_\_\_\_

EXIST. SECTIONS,  
ELEVATIONS

Checked by \_\_\_\_\_

A.M.

Scale \_\_\_\_\_

AS NOTED

Drawing/Sheet No \_\_\_\_\_

A-3

Project No \_\_\_\_\_

20-04

## SOILS AND FOUNDATION NOTES:

1. ALLOWABLE SOIL BEARING CAPACITY FOR THIS PROJECT MUST BE 2500 psf (120 kPa). TO BE VERIFIED BY SOIL CONSULTANT BEFORE POURING FOOTINGS.
2. THE CONTRACTOR SHALL REPORT ANY UNSTABLE SOIL CONDITIONS TO THE ENGINEER. FOOTINGS SHALL NOT BE POURED UNTIL THE EXCAVATION HAS BEEN INSPECTED AND APPROVED BY THE SOIL CONSULTANT.
3. THE DIRECTION OF THE SOIL CONSULTANT SHALL BE STRICTLY FOLLOWED.
4. ALL EXTERIOR FOOTINGS SHALL BE POURED ON UNDISTURBED NATIVE SOIL (OR APPROVED ENGINEERED FILL) AT A MINIMUM DEPTH OF 4'-0" (1.20m) BELOW FINISHED GRADE AND AT THE GRADES SHOWN ON THE DRAWINGS.
5. EXCAVATIONS SHALL CONFORM TO THE LATEST EDITIONS OF THE OCCUPATIONAL HEALTH AND SAFETY ACT AND THE MINISTRY OF LABOUR REGULATIONS FOR CONSTRUCTION PROJECTS.
6. WALLS TO BE BACKFILLED ON BOTH SIDES SHALL BE BACKFILLED EVENLY UNLESS SHORED ON ONE SIDE TO THE SATISFACTION OF THE ENGINEER. PIT WALLS SHALL NOT BE BACKFILLED UNLESS BRACED AT THE TOP TO THE SATISFACTION OF THE ENGINEER. BACKFILL SHALL BE APPROVED MATERIAL COMPACTED TO 95% S.P.D. UNLESS OTHERWISE NOTED.
7. INSTALLATION DETAILS FOR WATERSTOPS AT WALL/FOOTING INTERFACE AND IN VERTICAL JOINTS SHALL BE PROVIDED BY THE CONTRACTOR AND APPROVED BY THE ENGINEER PRIOR TO INSTALLATION.
8. WALLS AND PIERS SHALL BE CENTRED ON FOOTINGS WITHIN THE MIDDLE THIRD OF THE FOOTING.

## WOOD NOTES:

1. STRUCTURAL WOOD ELEMENTS SHALL BE FABRICATED AND ERECTED IN ACCORDANCE WITH CAN/CSA 086-01 "ENGINEERING DESIGN IN WOOD" AND THE WOOD DESIGN MANUAL (CANADIAN WOOD COUNCIL) LATEST EDITIONS.
2. WOOD TRUSSES SHALL BE DESIGNED AND STAMPED BY A LICENSED PROFESSIONAL ENGINEER (PROVINCE OF ONTARIO). THE CONTRACTOR SHALL SUBMIT TRUSS SHOP DRAWINGS TO ENGINEER FOR REVIEW PRIOR TO CONSTRUCTION.
3. WOOD STUDS, JOISTS, NAILERS, BLOCKING, BUILT-UP BEAMS, AND COLUMNS SHALL BE S.P.F. No. 2 (CONSTRUCTION GRADE) OR BETTER - CONFORMING TO CAN/CSA-041-91 "SOFT WOOD LUMBER". GRADING SHALL CONFORM TO THE NATIONAL LUMBER GRADES AUTHORITY "STANDARD GRADING RULES FOR CANADIAN LUMBER". WOOD FRAME CONSTRUCTION SHALL CONFORM TO THE ONTARIO BUILDING CODE 2006 - SECTION 9.2.3.
4. PLYWOOD SHEATHING SHALL CONFORM TO CSA STANDARD 0121-M1978 "DOUGLAS FIR PLYWOOD" AND 0151-M1978 "CANADIAN SOFT WOOD PLYWOOD".
5. WATERBOARD AND O.S.B. SHALL CONFORM TO CSA STANDARD CAN3-0437.1-M85 "WATERBOARD AND STRANDBOARD".
6. FASTENING DEVICES (NAILS) SHALL CONFORM TO CSA STANDARD B111-1974 "WIRE NAILS, SPIKES, AND STAPLES".
7. TRUSSES, TIE DOWNS, JOIST HANGERS, ETC. SHALL CONFORM TO "ACCEPTANCE CRITERIA FOR JOIST HANGERS AND SIMILAR DEVICES" (THE INTERNATIONAL CONFERENCE OF BUILDING OFFICIALS) AND SHALL BE A MINIMUM OF 20 GAUGE GALVANIZED STEEL.

## CONCRETE AND REINFORCED CONCRETE NOTES:

1. ALL CONCRETE SHALL CONFORM TO CAN/CSA-A23.1, "CONCRETE MATERIALS AND METHODS OF CONCRETE CONSTRUCTION" WITH A MAXIMUM AGGREGATE SIZE OF 3/4" (19mm), TYPE 10 NORMAL PORTLAND CEMENT (UNLESS OTHERWISE NOTED), AND A COMPRESSIVE STRENGTH AT 28 DAYS.
2. SUPPLY AND PLACE CONCRETE AS FOLLOWS:  
FOOTINGS - 25 MPa MAX. W/C RATIO OF 0.50, AIR CONTENT 6% +/- 1%  
FOUNDATION WALLS - 25 MPa MAX. W/C RATIO OF 0.50, AIR CONTENT 6% +/- 1%  
PIERS - 30 MPa MAX. W/C RATIO OF 0.45, AIR CONTENT 6% +/- 1%  
SLABS ON GRADE - 25 MPa MAX. W/C RATIO OF 0.50, NO AIR CONTENT REQUIRED  
PIT WALLS & FLOORS (SUBJECT TO ACID ATTACK) - 32 MPa TYPE 50 CEMENT (OR EQUIVALENT)  
SIDEWALKS, EXPOSED CURBS, AND OTHER CONCRETE - 32 MPa MAX. W/C RATIO OF 0.40, AIR CONTENT 6% +/- 1%  
SEALERS - 30 MPa MAX. W/C RATIO OF 0.45, AIR CONTENT 6% +/- 1%  
SEALERS - 30 MPa MAX. W/C RATIO OF 0.45, AIR CONTENT 6% +/- 1%
3. ALL REINFORCEMENT SHALL CONFORM TO CSA G30.3, G30.5 & G30.18 (LATEST EDITION) WITH A YIELD STRENGTH OF 400 MPa FOR DEFORMED BARS OR 360 MPa FOR WELDED WIRE MESH.
4. MINIMUM CORNER REINFORCING SHALL BE 24"x24" (600mmx600mm) "L"-BARS.
5. MINIMUM COVER ON REINFORCING FOR FORMED CONCRETE EXPOSED TO EARTH OR WEATHER SHALL BE 2" (50mm) FOR 20M OR LARGER BARS, 1 1/2" (38mm) FOR 15M OR SMALLER BARS, 1" (25mm) FOR REINFORCING IN FOOTINGS, AND UNIFORMED CONCRETE AGAINST EARTH, (25mm) FOR SLABS AND WALLS NOT EXPOSED TO EARTH OR WEATHER, 1 1/2" (38mm) FOR REINFORCING IN BEAMS, AND 2" (50mm) FOR MAIN PIER STEEL.
6. CONDUITS OR PIPES IN SLABS SHALL NOT EXCEED 1/3 OF THE SLAB THICKNESS IN DIAMETER AND SHALL HAVE A MINIMUM COVER OF 1" (25mm).
7. CONTROL JOINTS SHALL BE INSTALLED AS SHOWN OR AS NOTED ON DRAWINGS WITH A MAXIMUM SPACING OF 30'-0" (9.00m) IN WALLS, MAXIMUM SLAB POUR LENGTH OF 100'-0" (30.00m). ALL SAW CUTS SHALL BE A MINIMUM OF 1/3 OF THE SLAB DEPTH AND SHALL BE CUT WITHIN 24 HOURS OF THE POUR.

## STRUCTURAL PRE-CAST CONCRETE NOTES:

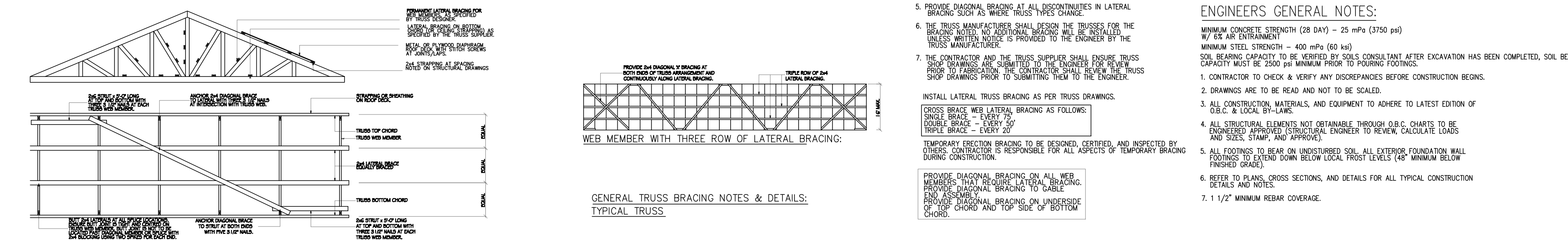
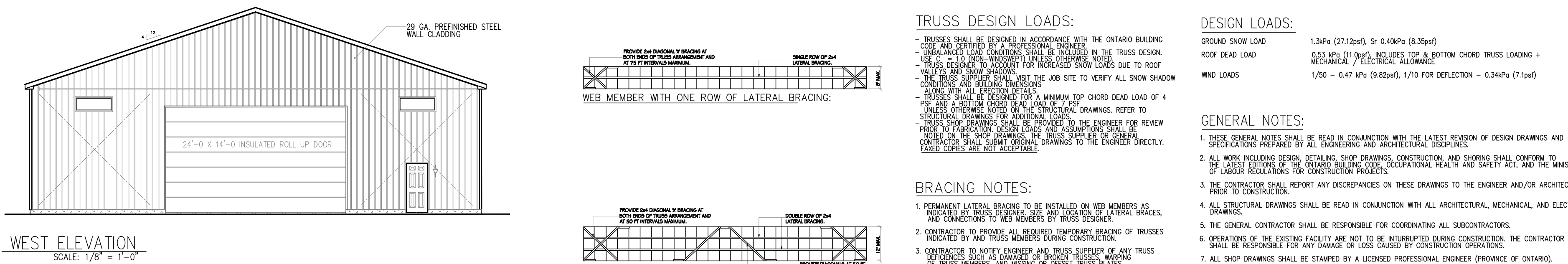
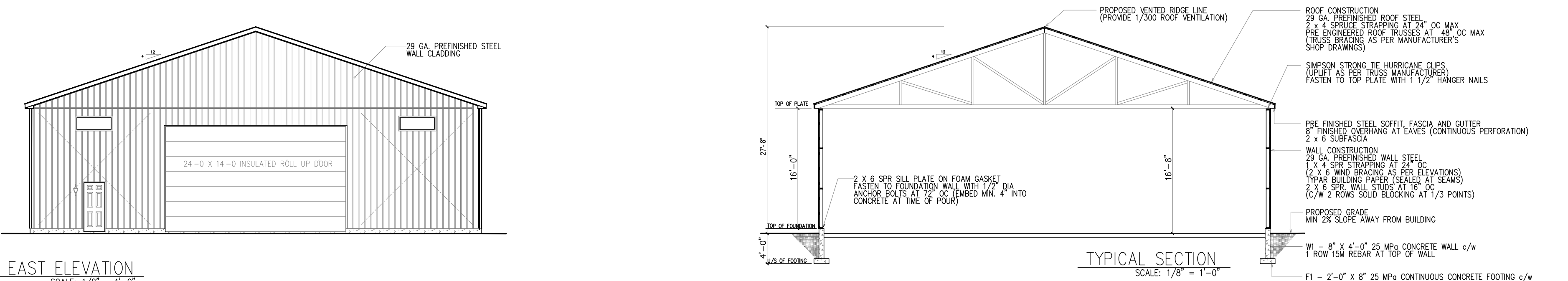
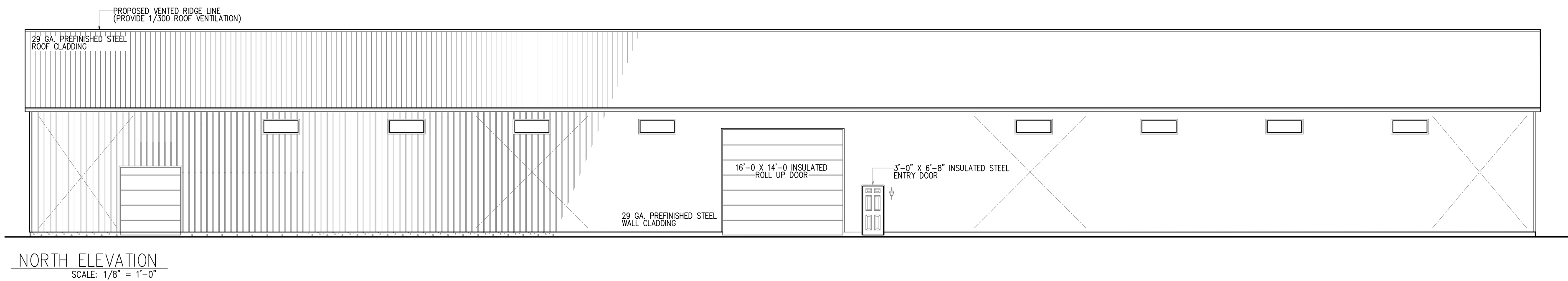
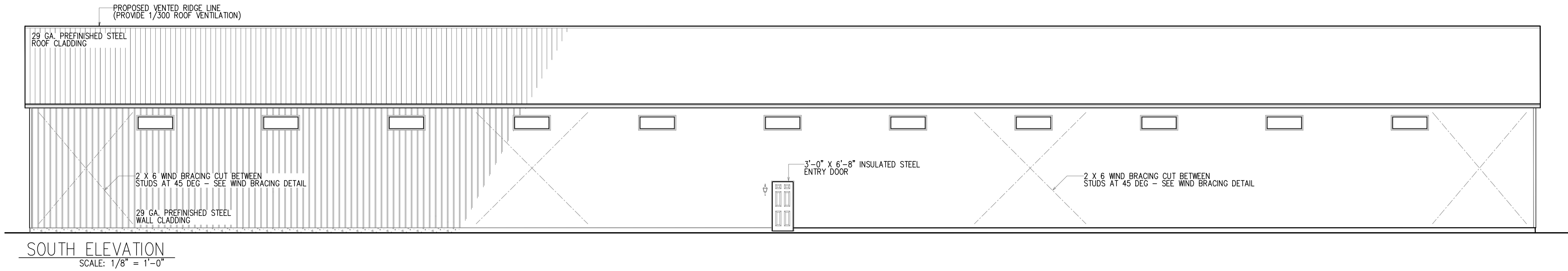
1. STRUCTURAL PRE-CAST CONCRETE SHALL CONFORM TO CSA A23.4 "PRE-CAST CONCRETE MATERIALS AND CONSTRUCTION".
2. STRUCTURAL PRE-CAST CONCRETE SHOP DRAWINGS SHALL BE STAMPED BY A LICENSED PROFESSIONAL ENGINEER (PROVINCE OF ONTARIO) AND SHALL BE SUBMITTED TO THE ENGINEER FOR REVIEW PRIOR TO CONSTRUCTION.
3. STRUCTURAL PRE-CAST CONCRETE MEMBERS SHALL BE DESIGNED BY A LICENSED PROFESSIONAL ENGINEER (PROVINCE OF ONTARIO) TO CARRY THE LOADS SHOWN ON THE DRAWINGS.

## STRUCTURAL STEEL NOTES:

1. STRUCTURAL STEEL SHALL CONFORM TO CAN/CSA-S16-01 "LIMIT STATES DESIGN OF STEEL STRUCTURES" AND SUPPLEMENT S16S1-05.
2. STEEL BEAMS AND COLUMNS SHALL CONFORM TO CAN/CSA-G40.21-04 "QUALITY STRUCTURAL STEEL" WITH A YIELD STRENGTH OF 267 MPa (40000 psi) FOR BEAMS AND WIDE FLANGE COLUMNS, AND 333 MPa (50000 psi) FOR H.S.S. SECTIONS.
3. BOLTS FOR STRUCTURAL STEEL CONNECTIONS SHALL CONFORM TO ASTM A325. BOLTS AND THREADED ROD FOR WOOD CONNECTIONS SHALL CONFORM TO ASTM A307.
4. WELDING SHALL BE PERFORMED BY PERSONS CERTIFIED BY THE CANADIAN WELDING BUREAU IN CONFORMANCE WITH THE LATEST CSA STANDARD FOR WELDING - CLAUSE 24.3 OF S16-01.
5. SHOP DRAWINGS FOR ALL FABRICATED STEEL MEMBERS SHALL BE STAMPED BY A LICENSED PROFESSIONAL ENGINEER (PROVINCE OF ONTARIO) AND SUBMITTED TO THE ENGINEER PRIOR TO CONSTRUCTION.

## ENGINEERING NOTES:

1. NOTIFY THE ENGINEER A MINIMUM OF 24 HOURS IN ADVANCE FOR THE FOLLOWING INSPECTIONS:  
A. EXCAVATION - PRIOR TO POURING FOOTINGS \*\* SOIL TEST REQUIRED BY SOIL CONSULTANT TO VERIFY SOIL BEARING CAPACITY.  
B. ALL CONCRETE POURS IN WHICH REINFORCING STEEL IS SPECIFIED. CONCRETE TEST MAY BE REQUIRED.  
C. ROUGH FRAMING - PRIOR TO CLOSE-IN.  
D. TRUSS FRAMING AND BRACING - PRIOR TO CLOSE-IN.  
E. ERECTION OF STRUCTURAL STEEL & WELDING - PRIOR TO CLOSE-IN.  
F. FINAL INSPECTION FOR CERTIFICATION, TO BE COMPLETED WITH CONTRACTOR & OWNER.  
2. CONTRACTOR OR OWNER TO COMPLETE AND SUBMIT COPIES OF ALL CONCRETE TESTS AS PER C.S.A. A23.1 - ONE TEST REQUIRED PER 100M<sup>3</sup> MINIMUM.  
3. CONTRACTOR OR OWNER TO SUBMIT TRUSS DRAWINGS FOR REVIEW BEFORE FRAMING INSPECTION.  
4. CONTRACTOR OR OWNER TO SUBMIT SHOP DRAWINGS OF ALL PRECAST AND / OR PRE-ENGINEERED ELEMENTS FOR REVIEW BEFORE INSTALLATION.  
5. CONTRACTOR OR OWNER TO NOTIFY ENGINEER OF ANY CONFLICTS OR DISCREPANCIES BETWEEN ANY DOCUMENTS.  
6. THE DESIGN ON THESE DRAWINGS IS THE PROPERTY OF THE ENGINEER AND IS NOT TO BE USED OR COPIED WITHOUT CONSENT IN WRITING.  
7. CHANGES OR SUBSTITUTIONS ARE NOT TO BE MADE WITHOUT WRITTEN PERMISSION FROM THE ENGINEER.



### TRUSS DESIGN LOADS:

- TRUSSES SHALL BE DESIGNED IN ACCORDANCE WITH THE ONTARIO BUILDING CODE AND DESIGNED BY A PROFESSIONAL ENGINEER.
- UNBALANCED LOAD CONDITIONS SHALL BE CONSIDERED IN THE TRUSS DESIGN.
- TRUSS DESIGNER TO ACCOUNT FOR INCREASED SNOW LOADS DUE TO ROOF WIND MANIPULATIONS.
- CONTRACTOR SHALL VERIFY THE JOB SITE TO VERIFY ALL SNOW SHADOWS.
- TRUSSES SHALL BE DESIGNED FOR A MINIMUM TOP CHORD DEAD LOAD OF 4 PSF (0.19 kPa) AND A MINIMUM BOTTOM CHORD DEAD LOAD OF 4 PSF (0.19 kPa).
- UNLESS OTHERWISE NOTED ON THE STRUCTURAL DRAWINGS, REFER TO THE TRUSS MANUFACTURER'S SHOP DRAWINGS FOR TRUSS DESIGN.
- TRUSS SHOP DRAWINGS SHALL BE PROVIDED TO THE ENGINEER FOR REVIEW PRIOR TO CONSTRUCTION.
- THE TRUSS MANUFACTURER SHALL ENSURE TRUSS SHOP DRAWINGS ARE SUBMITTED TO THE ENGINEER FOR REVIEW PRIOR TO FABRICATION. THE CONTRACTOR SHALL REVIEW THE TRUSS SHOP DRAWINGS PRIOR TO SUBMITTING THEM TO THE ENGINEER.

### BRACING NOTES:

1. PERMANENT LATERAL BRACING TO BE INSTALLED ON WEB MEMBERS AS INDICATED BY TRUSS DESIGNER, SIZE AND LOCATION OF LATERAL BRACES, AND CONNECTIONS TO WEB MEMBERS BY TRUSS DESIGNER.
2. CONTRACTOR TO PROVIDE ALL REQUIRED TEMPORARY BRACING OF TRUSSES INDICATED BY AND TRUSS MEMBERS DURING CONSTRUCTION.
3. CONTRACTOR TO NOTIFY ENGINEER AND TRUSS SUPPLIER OF ANY TRUSS DEFICIENCIES SUCH AS DAMAGED OR BROKEN TRUSSES, WARPING OF TRUSS MEMBERS, AND MISSING OR OFFSET TRUSS PLATES.
4. DIAGONAL BRACING MUST BE PROVIDED ON ALL WEB MEMBERS THAT REQUIRE LATERAL BRACING. DIAGONAL BRACING SHALL BE LOCATED AT EACH END OF THE TRUSS ASSEMBLY AND SHOWN AS NOTED IN THE ATTACHED DRAWINGS. LATERAL BRACING SHALL BE PROVIDED AT TOP OF MEMBERS UNLESS NOTED OTHERWISE.
5. PROVIDE DIAGONAL BRACING AT ALL DISCONTINUITIES IN LATERAL BRACING SUCH AS WHERE TRUSS TYPES CHANGE.
6. THE TRUSS MANUFACTURER SHALL DESIGN THE TRUSSES FOR THE BRACING NOTES. NO ADDITIONAL BRACING WILL BE INSTALLED UNLESS WRITTEN NOTICE IS PROVIDED TO THE ENGINEER BY THE TRUSS MANUFACTURER.
7. THE CONTRACTOR AND THE TRUSS SUPPLIER SHALL ENSURE TRUSS SHOP DRAWINGS ARE SUBMITTED TO THE ENGINEER FOR REVIEW PRIOR TO FABRICATION. THE CONTRACTOR SHALL REVIEW THE TRUSS SHOP DRAWINGS PRIOR TO SUBMITTING THEM TO THE ENGINEER.

INSTALL LATERAL TRUSS BRACING AS PER TRUSS DRAWINGS.

CROSS BRACE WEB LATERAL BRACING AS FOLLOWS:  
SINGLE BRACE - EVERY 20'  
DOUBLE BRACE - EVERY 20'  
TRIPLE BRACE - EVERY 20'

TEMPORARY ERECTION BRACING TO BE DESIGNED, CERTIFIED, AND INSPECTED BY OTHER CONTRACTOR. IS RESPONSIBLE FOR ALL ASPECTS OF TEMPORARY BRACING DURING CONSTRUCTION.

PROVIDE DIAGONAL BRACING ON ALL WEB MEMBERS THAT REQUIRE LATERAL BRACING.

PROVIDE DIAGONAL BRACING TO DABLE

PROVIDE DIAGONAL BRACING ON UNDISTURBED

PROVIDE DIAGONAL BRACING ON UNDISTURBED

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PROVIDE DIAGONAL BRACING ON UNDISTURBED

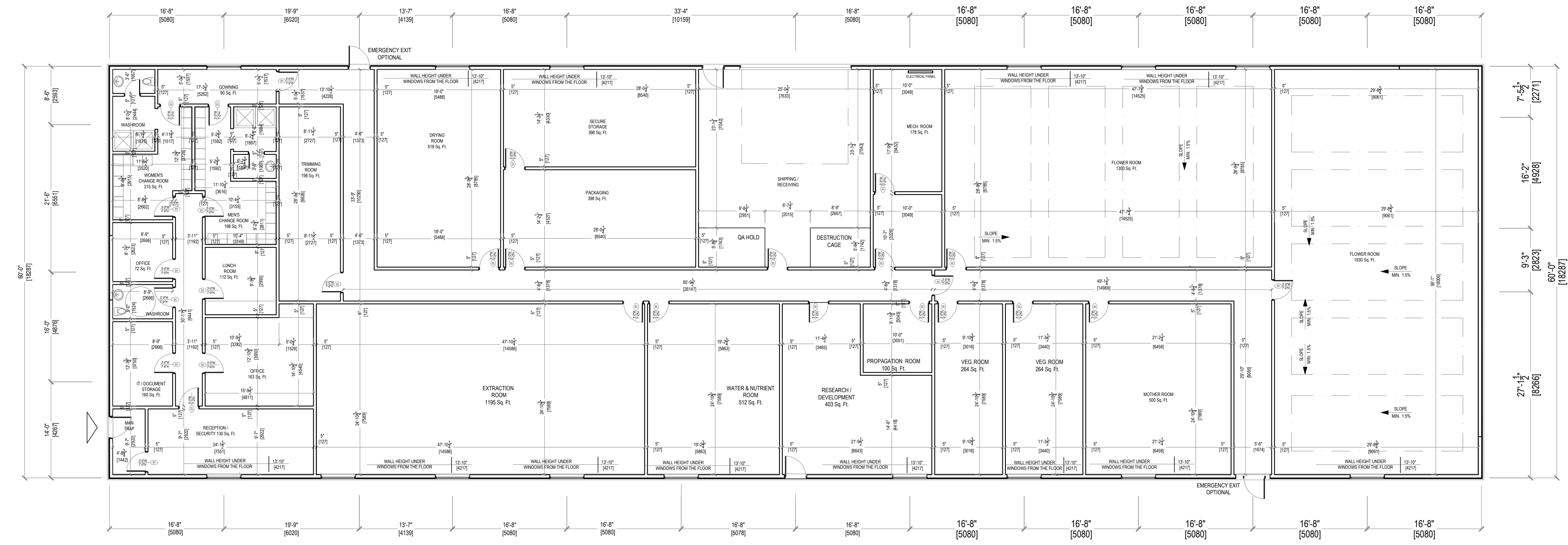
PROVIDE DIAGONAL BRACING ON UNDISTURBED

1 EXISTING ELEVATIONS  
SECTIONS  
SCALE: 1'-0" =  $\frac{3}{32}$ " / 1 : 125



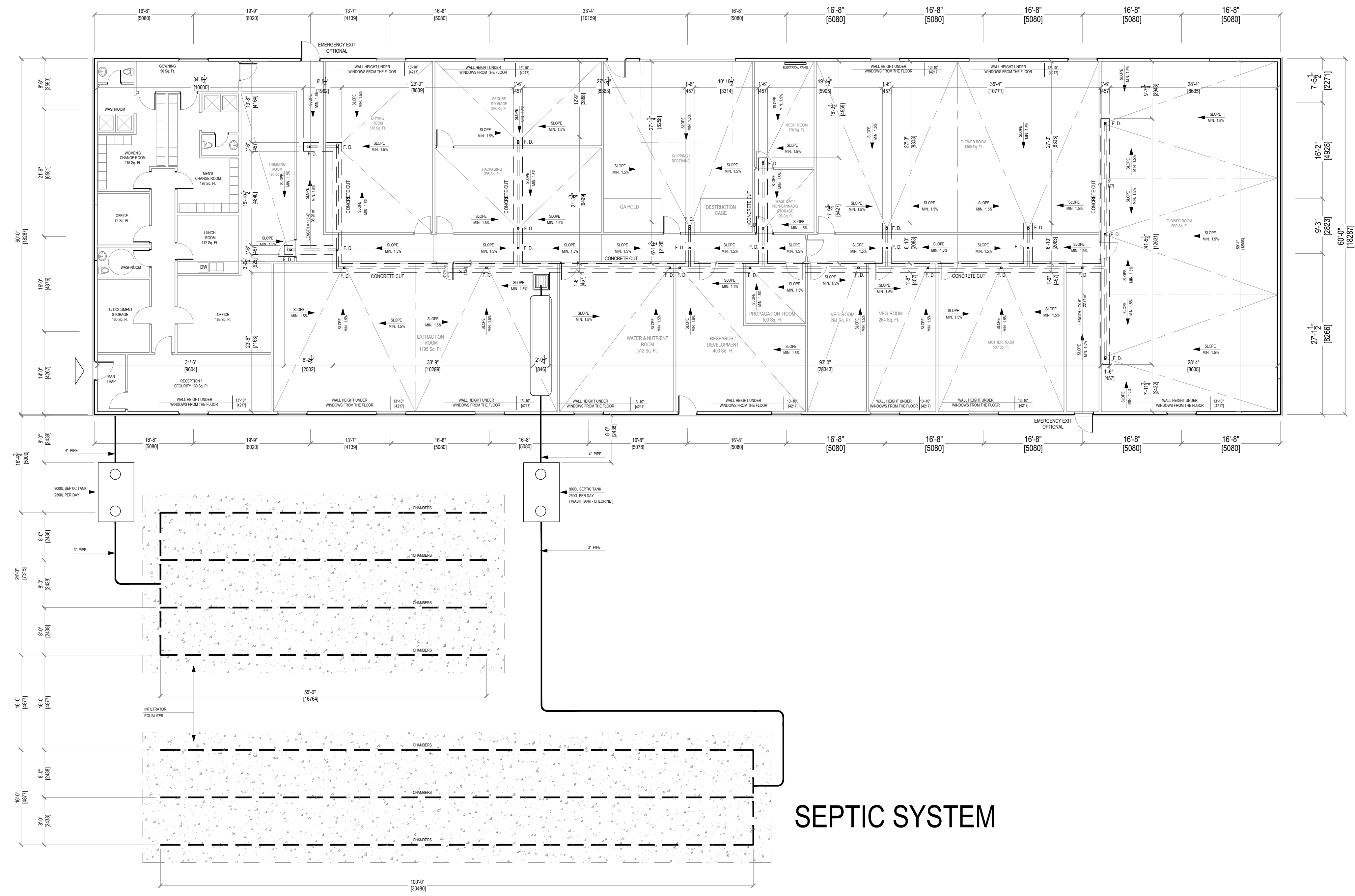
# 1 PROPOSED FLOOR PLAN

SCALE: 1'-0" =  $\frac{3}{32}$ " / 1 : 125



# 2 PROPOSED DRAINAGE SEPTIC SYSTEM

SCALE: 1'-0" =  $\frac{3}{32}$ " / 1 : 125



SEPTIC SYSTEM

THIS DRAWING MUST BE READ IN THE CONTEXT OF ALL OTHER DRAWINGS WHICH CONSTITUTE THE CONSTRUCTION DOCUMENT.  
THIS DRAWING WAS DEVELOPED FOR A SPECIFIC PURPOSE. USE FOR ANY OTHER PURPOSE IS NOT PERMITTED.  
THIS DRAWING SHALL NOT BE REPRODUCED IN WHOLE OR IN PART WITHOUT WRITTEN CONSENT OF THE DESIGNER.  
ALL DIMENSIONS ARE TO BE VERIFIED ON SITE PRIOR TO FABRICATION, INSTALLATION OR COMMENCING WITH WORK. ANY DISCREPANCIES ARE TO BE REPORTED TO THE DESIGNER FOR CLARIFICATION.  
DO NOT SCALE THE DRAWINGS.

Issued \_\_\_\_\_  
ISSUED FOR PERMIT

The undersigned has reviewed & taken responsibility for this design and has the Qualifications and meets the Requirements set out in the Ontario Building Code to be a designer.  
**REGISTRATION INFORMATION**  
Required unless design is exempt under 2.17.4.1. of the Ontario Building Code  
LJILJANA MARKOVIC 33107  
Name BCDN #  
Signature Aleksandar V. Markovic 34372  
Practice Name BCDN#



NO.	REVISIONS	DATE
1	AS PER ZONING EXAMINER'S NOTES	JULY, 2019
2		

Client \_\_\_\_\_

**James Lucas**  
**Cannerie**  
**Pharmaceutical Ltd.**

Project Name and Address \_\_\_\_\_  
PROPOSED 2 STOREY DWELLING  
LUCAS GREENHOUSE  
DEVELOPMENT

1476 WINDHAM ROAD 10,  
WINDHAM CENTRE, ON.

Drawing Title \_\_\_\_\_

**PROPOSED PLAN,**  
**SEPTIC SYSTEM**

Checked by \_\_\_\_\_

A.M.

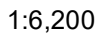
Scale \_\_\_\_\_

AS NOTED  
Drawing/Sheet No \_\_\_\_\_

**A-4**  
Project No: \_\_\_\_\_

**20-04**

Geographic Township of  
**WINDHAM**



**KEY MAP**

WINDHAM CENTRE ROAD

WINDHAM ROAD 9

WINDHAM ROAD 10

WINDHAM ROAD 11

WINDHAM ROAD 12

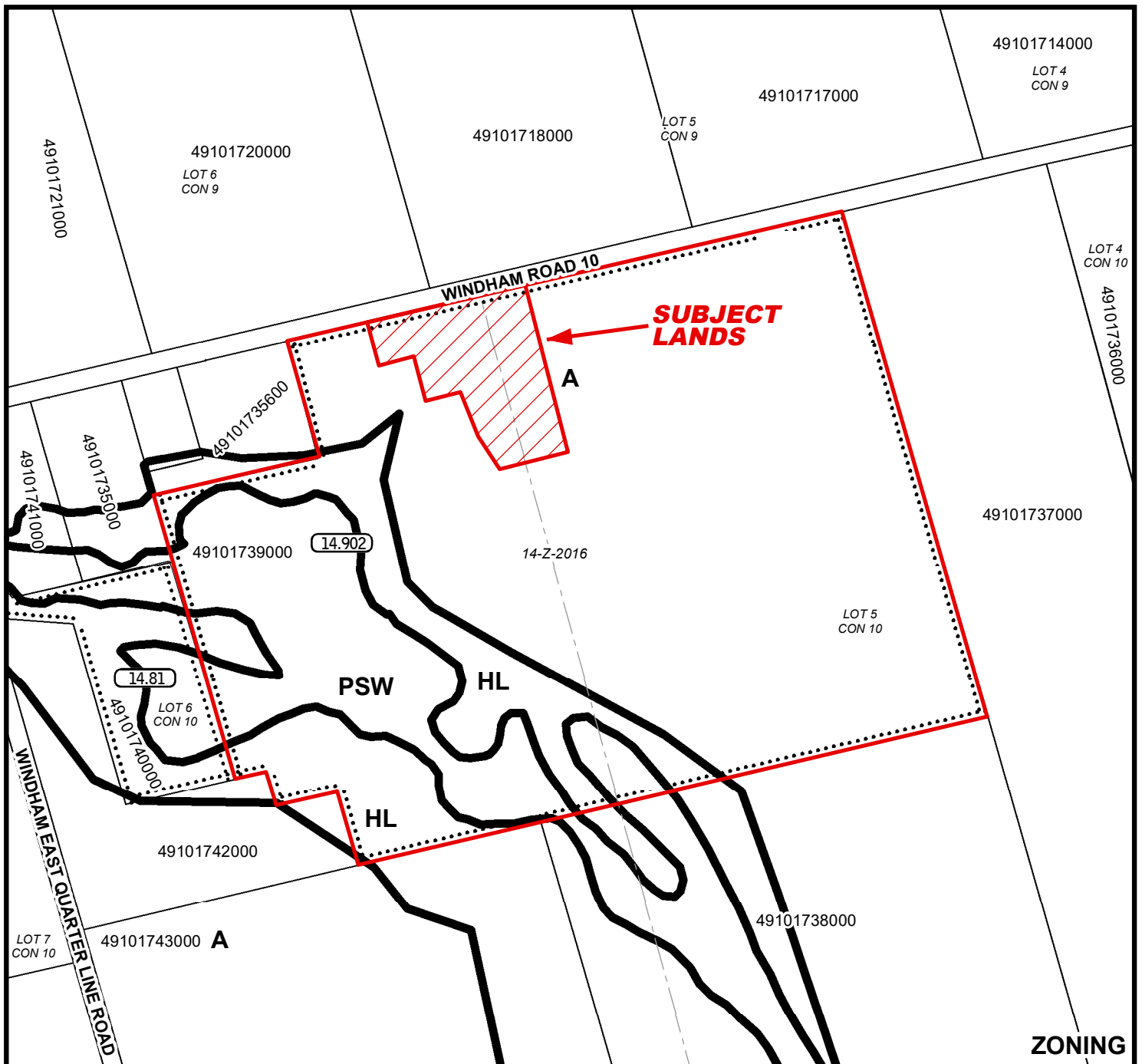
LYNNVILLE

RATTLESNAKE HARBOUR

NIXON ROAD

HIGHWAY 9

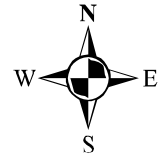
HIGHWAY 24



# MAP 2

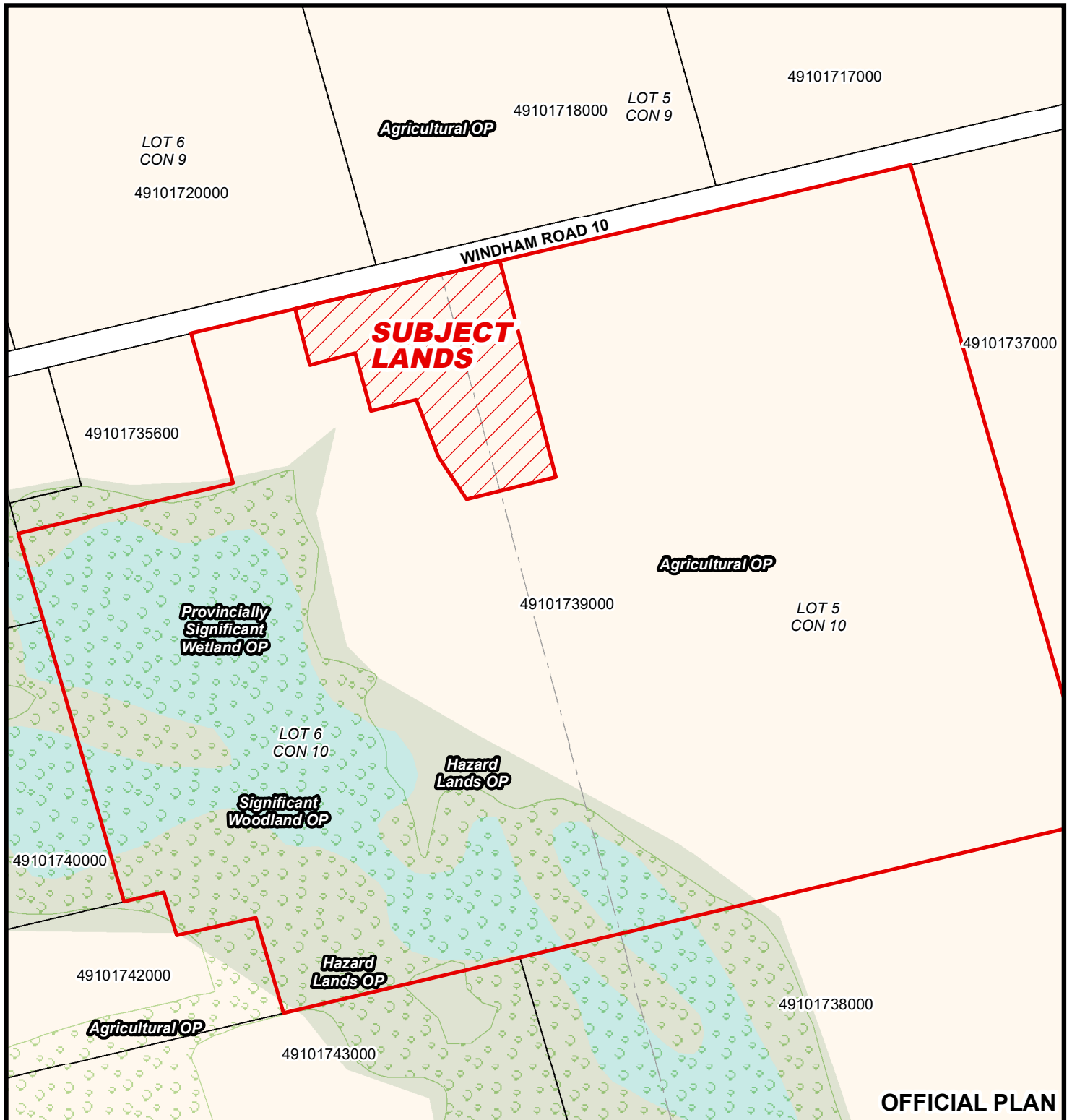
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Geographic Township of WINDHAM



20 10 0 20 40 60 80 Meters

1:4,500



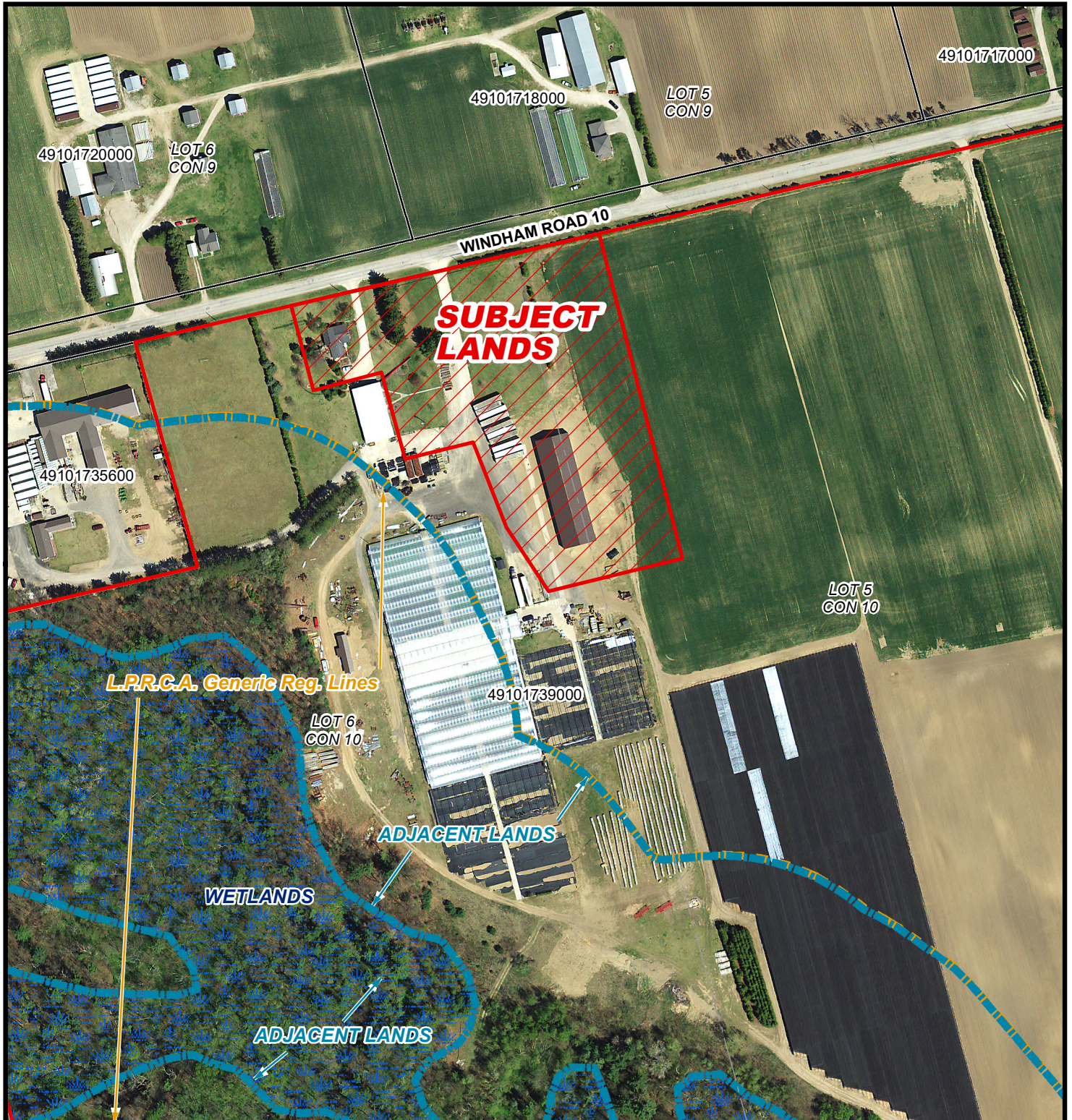
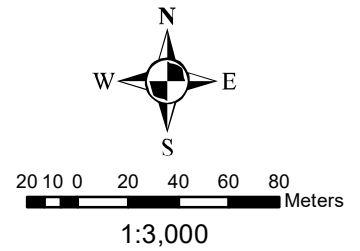
5/25/2020



# MAP 3

File Number: SPPL2020101

Geographic Township of WINDHAM

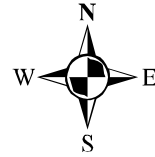




# MAP 4

File Number: SPPL2020101

Geographic Township of WINDHAM



8 4 0 8 16 24 32 Meters

1:2,000

