

For Office Use Only:

File Number

SPPL2022063

Related File Number

Pre-consultation Meeting

November 3, 2021

Application Submitted

February 14, 2022

Complete Application

March 1, 2022

Public Notice Sign

Application Fee

Conservation Authority Fee

Well & Septic Info Provided

Planner

Check the type of planning application(s) you are submitting.

- ☐ Official Plan Amendment
- ☐ Zoning By-Law Amendment
- ☐ Temporary Use By-law
- ☐ Draft Plan of Subdivision/Vacant Land Condominium
- ☐ Condominium Exemption
- ☒ Site Plan Application
- ☐ Extension of a Temporary Use By-law
- ☐ Part Lot Control
- ☐ Cash-in-Lieu of Parking
- ☐ Renewable Energy Project or Radio Communication Tower

Please summarize the desired end result of this application (for example: a special zoning provision on the subject lands to include additional use(s), changing the zone and/or official plan designation of the subject lands, creating a certain number of lots, or similar)

The addition of two storeys over an existing one storey commercial building with basement. Work includes change of use of part of the existing ground floor to provide one commercial suite (119.8 sq.m.) at the front of the ground floor and two residential units at the rear of the ground floor, and 8 new residential suites on the second and third floors, 4 units on each floor.

Proposed work also includes parking layout modifications and landscape works at the rear of the property.

Property Assessment Roll Number: 49200109900

A. Applicant Information

Name of Owner Sentry Property Group

It is the responsibility of the owner or applicant to notify the planner of any changes in ownership within 30 days of such a change.

Address 224, Colborne St. W

Town and Postal Code Brantford, ON

Phone Number 519-757-9360

Cell Number _____

Email darrink@sentrypropertygroup.ca

Name of Applicant Cynthia Zahoruk Architect Inc.

Address 3077 New Street

Town and Postal Code L7N 1M6, Burlington, ON

Phone Number 905-331-4480

Cell Number _____

Email cz@czarchitect.com

Name of Agent Cynthia Zahoruk Architect Inc.

Address 3077 New Street

Town and Postal Code L7N 1M6, Burlington, ON

Phone Number 905-331-4480

Cell Number _____

Email cz@czarchitect.com

Please specify to whom all communications should be sent. Unless otherwise directed, all correspondence and notices in respect of this application will be forwarded to both owner and agent noted above.

☐ Owner

☐ Agent

☒ Applicant

Names and addresses of any holder of any mortgagees, charges or other encumbrances on the subject lands:

Sandra Beneteau

5640 Concession 5 South, Amherstburg, Ontario

B. Location, Legal Description and Property Information

1. Legal Description (include Geographic Township, Concession Number, Lot Number, Block Number and Urban Area or Hamlet):

Part of Lot 1, Block 15, Registered Plan 189 (Delhi) - Norfolk County

Municipal Civic Address: 124 King street

Present Official Plan Designation(s): Downtown

Present Zoning: Central Business District

2. Is there a special provision or site specific zone on the subject lands?

☐ Yes ☒ No If yes, please specify corresponding number:

3. Present use of the subject lands:

Commercial Use

4. Please describe **all existing** buildings or structures on the subject lands and whether they are to be retained, demolished or removed. If retaining the buildings or structures, please describe the type of buildings or structures, and illustrate the setback, in metric units, from front, rear and side lot lines, ground floor area, gross floor area, lot coverage, number of storeys, width, length, and height on your attached sketch which must be included with your application:

Ground floor and basement levels are existing and will remain. The foundation will be strengthened to prepare it to receive 2 new storeys. Please see attached site plan Sheet A0.1 for the development statistics chart listing floor area, setbacks, number of storeys and all site details.

5. If an addition to an existing building is being proposed, please explain what it will be used for (for example: bedroom, kitchen, or bathroom). If new fixtures are proposed, please describe.

There will be a 2-storey addition to provide 8 residential units, 4 on each floor.

6. Please describe **all proposed** buildings or structures/additions on the subject lands. Describe the type of buildings or structures/additions, and illustrate the setback, in metric units, from front, rear and side lot lines, ground floor area, gross floor area, lot coverage, number of storeys, width, length, and height on your attached sketch which must be included with your application:

Please see attached site plan drawing which has all the proposed building details.

7. Are any existing buildings on the subject lands designated under the *Ontario Heritage Act* as being architecturally and/or historically significant? Yes ☐ No ☒

If yes, identify and provide details of the building:

8. If known, the length of time the existing uses have continued on the subject lands:

The building has been vacant for 10+ years

9. Existing use of abutting properties:

Commercial use on the east and south sides - Residential use on the west side.

10. Are there any easements or restrictive covenants affecting the subject lands?

☐ Yes ☒ No If yes, describe the easement or restrictive covenant and its effect:

C. Purpose of Development Application

Note: Please complete all that apply.

1. Please explain what you propose to do on the subject lands/premises which makes this development application necessary:

Addition of 2 new storeys over existing ground floor, to provide one commercial unit on ground floor(front),
2 residential units on ground floor (rear), and 8 residential units on second and third floors.

2. Please explain why it is not possible to comply with the provision(s) of the Zoning By-law/and or Official Plan:

The proposed work is in compliance with all the CBD zoning regulations as shown on the development statistics chart on Sheet A0.1

3. Does the requested amendment alter all or any part of the boundary of an area of settlement in the municipality or implement a new area of settlement in the municipality? ☐ Yes ☒ No If yes, describe its effect:

4. Does the requested amendment remove the subject land from an area of employment? ☐ Yes ☒ No If yes, describe its effect:

5. Does the requested amendment alter, replace, or delete a policy of the Official Plan?
☐ Yes ☒ No If yes, identify the policy, and also include a proposed text of the policy amendment (if additional space is required, please attach a separate sheet):

6. Description of land intended to be severed in metric units:

Frontage: _____

Depth: _____

Width: _____

Lot Area: _____

Present Use: _____

Proposed Use: _____

Proposed final lot size (if boundary adjustment): _____

If a boundary adjustment, identify the assessment roll number and property owner of the lands to which the parcel will be added: _____

Description of land intended to be retained in metric units:

Frontage: _____

Depth: _____

Width: _____

Lot Area: _____

Present Use: _____

Proposed Use: _____

Buildings on retained land: _____

7. Description of proposed right-of-way/easement:

Frontage: _____

Depth: _____

Width: _____

Area: _____

Proposed use: _____

8. Name of person(s), if known, to whom lands or interest in lands to be transferred, leased or charged (if known):

9. Site Information**Zoning****Proposed**

Please indicate unit of measurement, for example: m, m² or %

Lot frontage	<u>n/a</u>	<u>15.24</u>
Lot depth	<u>n/a</u>	<u>49.89</u>
Lot width	<u>n/a</u>	<u>15.24</u>
Lot area	<u>n/a</u>	<u>871.58 m2</u>
Lot coverage	<u>80%</u>	<u>31.78%</u>
Front yard	<u>0 m</u>	<u>0 m (Existing)</u>
Rear yard	<u>0 m</u>	<u>26.1 m (Existing)</u>
Left Interior side yard	<u>1.2 m</u>	<u>3.6 m (Existing)</u>
Right Interior side yard	<u>0 m</u>	<u>0 m (Existing)</u>
Exterior side yard (corner lot)	<u>n/a</u>	<u></u>
Landscaped open space	<u>n/a</u>	<u></u>
Entrance access width	<u>n/a</u>	<u>3.6 m (Existing)</u>
Exit access width	<u>n/a</u>	<u>3.6 m (Existing)</u>
Size of fencing or screening	<u>n/a</u>	<u></u>
Type of fencing	<u>n/a</u>	<u>Existing wood fence</u>

10. Building Size

Number of storeys	<u>6 storeys max.</u>	<u>3 Storeys (1 Exist. + 2 New)</u>
Building height	<u>n/a</u>	<u>10.72 m</u>
Total ground floor area	<u>n/a</u>	<u>277 m2</u>
Total gross floor area	<u>n/a</u>	<u>831 m2</u>
Total useable floor area	<u>n/a</u>	<u>831 m2</u>

11. Off Street Parking and Loading Facilities

Number of off street parking spaces	<u>n/a</u>	<u>9 spaces</u>
Number of visitor parking spaces	<u>n/a</u>	<u>n/a</u>
Number of accessible parking spaces	<u>n/a</u>	<u>1 Space</u>
Number of off street loading facilities	<u>n/a</u>	<u>n/a</u>

12. Residential (if applicable)

Number of buildings existing: 1

Number of buildings proposed: 1

Is this a conversion or addition to an existing building? ☒ Yes ☐ No

If yes, describe: Conversion and addition to provide 10 apartments and 1 commercial unit

Type	Number of Units	Floor Area per Unit in m2
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Single Detached _____

Semi-Detached _____

Duplex _____

Triplex

Four-plex

Street Townhouse

Stacked Townhouse

Apartment - Bachelor _____

Apartment - One bedroom	5	47 m2 and 48 m2
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Apartment - Two bedroom	5	67 m2 and 70 m2
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Apartment - Three bedroom

Other facilities provided (for example: play facilities, underground parking, games room, or swimming pool):

13. Commercial/Industrial Uses (if applicable)

Number of buildings existing:

Number of buildings proposed: _____

Is this a conversion or addition to an existing building? ☐ Yes ☐ No

If yes, describe:

Indicate the gross floor area by the type of use (for example: office, retail, or storage):

Seating Capacity (for assembly halls or similar): _____

Total number of fixed seats: _____

Describe the type of business(es) proposed: _____

Total number of staff proposed initially: _____

Total number of staff proposed in five years: _____

Maximum number of staff on the largest shift: _____

Is open storage required: ☐ Yes ☐ No

Is a residential use proposed as part of, or accessory to commercial/industrial use?

☐ Yes ☐ No If yes please describe:

14. Institutional (if applicable)

Describe the type of use proposed: _____

Seating capacity (if applicable): _____

Number of beds (if applicable): _____

Total number of staff proposed initially: _____

Total number of staff proposed in five years: _____

Maximum number of staff on the largest shift: _____

Indicate the gross floor area by the type of use (for example: office, retail, or storage):

15. Describe Recreational or Other Use(s) (if applicable)

D. Previous Use of the Property

1. Has there been an industrial or commercial use on the subject lands or adjacent lands? ☒ Yes ☐ No ☐ Unknown

If yes, specify the uses (for example: gas station or petroleum storage):

Commercial Use, Hardware store to the east

2. Is there reason to believe the subject lands may have been contaminated by former uses on the site or adjacent sites? ☐ Yes ☒ No ☐ Unknown

3. Provide the information you used to determine the answers to the above questions:

Geotechnical Report was completed, with zero findings.

4. If you answered yes to any of the above questions in Section D, a previous use inventory showing all known former uses of the subject lands, or if appropriate, the adjacent lands, is needed. Is the previous use inventory attached? ☐ Yes ☒ No

E. Provincial Policy

1. Is the requested amendment consistent with the provincial policy statements issued under subsection 3(1) of the *Planning Act*, R.S.O. 1990, c. P. 13? ☒ Yes ☐ No

If no, please explain:

2. It is owner's responsibility to be aware of and comply with all relevant federal or provincial legislation, municipal by-laws or other agency approvals, including the Endangered Species Act, 2007. Have the subject lands been screened to ensure that development or site alteration will not have any impact on the habitat for endangered or threatened species further to the provincial policy statement subsection 2.1.7? ☒ Yes ☐ No

If no, please explain:

3. Have the subject lands been screened to ensure that development or site alteration will not have any impact on source water protection? ☒ Yes ☐ No

If no, please explain:

Note: If in an area of source water Wellhead Protection Area (WHPA) A, B or C please attach relevant information and approved mitigation measures from the Risk Manager Official.

4. Are any of the following uses or features on the subject lands or within 500 metres of the subject lands, unless otherwise specified? Please check boxes, if applicable.

Livestock facility or stockyard (submit MDS Calculation with application)

☐ On the subject lands or ☐ within 500 meters – distance _____

Wooded area

☐ On the subject lands or ☒ within 500 meters – distance 250m

Municipal Landfill

☐ On the subject lands or ☐ within 500 meters – distance _____

Sewage treatment plant or waste stabilization plant

☐ On the subject lands or ☐ within 500 meters – distance _____

Provincially significant wetland (class 1, 2 or 3) or other environmental feature

☐ On the subject lands or ☐ within 500 meters – distance _____

Floodplain

☐ On the subject lands or ☐ within 500 meters – distance _____

Rehabilitated mine site

☐ On the subject lands or ☐ within 500 meters – distance _____

Non-operating mine site within one kilometre

☐ On the subject lands or ☐ within 500 meters – distance _____

Active mine site within one kilometre

☐ On the subject lands or ☐ within 500 meters – distance _____

Industrial or commercial use (specify the use(s))

☒ On the subject lands or ☐ within 500 meters – distance _____

Active railway line

☐ On the subject lands or ☐ within 500 meters – distance _____

Seasonal wetness of lands

☐ On the subject lands or ☐ within 500 meters – distance _____

Erosion

☐ On the subject lands or ☐ within 500 meters – distance _____

Abandoned gas wells

☐ On the subject lands or ☐ within 500 meters – distance _____

F. Servicing and Access

1. Indicate what services are available or proposed:

Water Supply

☒ Municipal piped water

☐ Individual wells

☐ Communal wells

☐ Other (describe below)

Sewage Treatment

☒ Municipal sewers

☐ Septic tank and tile bed in good working order

☐ Communal system

☐ Other (describe below)

Storm Drainage

☒ Storm sewers

☐ Other (describe below)

☐ Open ditches

2. Existing or proposed access to subject lands:

☒ Municipal road

☐ Unopened road

☐ Provincial highway

☐ Other (describe below)

Name of road/street: _____

G. Other Information

1. Does the application involve a local business? ☐ Yes ☒ No

If yes, how many people are employed on the subject lands?

2. Is there any other information that you think may be useful in the review of this application? If so, explain below or attach on a separate page.

H. Supporting Material to be submitted by Applicant

In order for your application to be considered complete, **folded** hard copies (number of paper copies as directed by the planner) and an **electronic version (PDF) of the properly named site plan drawings, additional plans, studies and reports** will be required, including but not limited to the following details:

1. Concept/Layout Plan
2. All measurements in metric
3. Key map
4. Scale, legend and north arrow
5. Legal description and municipal address
6. Development name
7. Drawing title, number, original date and revision dates
8. Owner's name, address and telephone number
9. Engineer's name, address and telephone number
10. Professional engineer's stamp
11. Existing and proposed easements and right of ways
12. Zoning compliance table – required versus proposed
13. Parking space totals – required and proposed
14. All entrances to parking areas marked with directional arrows
15. Loading spaces, facilities and routes (for commercial developments)
16. All dimensions of the subject lands
17. Dimensions and setbacks of all buildings and structures
18. Location and setbacks of septic system and well from all existing and proposed lot lines, and all existing and proposed structures
19. Gross, ground and useable floor area
20. Lot coverage
21. Floor area ratio
22. Building entrances, building type, height, grades and extent of overhangs
23. Names, dimensions and location of adjacent streets including daylighting triangles
24. Driveways, curbs, drop curbs, pavement markings, widths, radii and traffic directional signs
25. All exterior stairways and ramps with dimensions and setbacks
26. Retaining walls including materials proposed
27. Fire access and routes
28. Location, dimensions and number of parking spaces (including visitor and accessible) and drive aisles
29. Location of mechanical room, and other building services (e.g. A/C, HRV)
30. Refuse disposal and storage areas including any related screening (if indoors, need notation on site plan)
31. Winter snow storage location

32. Landscape areas with dimensions
33. Natural features, watercourses and trees
34. Fire hydrants and utilities location
35. Fencing, screening and buffering – size, type and location
36. All hard surface materials
37. Light standards and wall mounted lights (plus a note on the site plan that all outdoor lighting is to be dark sky compliant)
38. Business signs (make sure they are not in sight lines)
39. Sidewalks and walkways with dimensions
40. Pedestrian access routes into site and around site
41. Bicycle parking
42. Architectural elevations of all building sides
43. All other requirements as per the pre-consultation meeting

In addition, the following additional plans, studies and reports, including but not limited to, **may** also be required as part of the complete application submission:

- ☐ Zoning Deficiency Form
- ☐ On-Site Sewage Disposal System Evaluation Form (to verify location and condition)
- ☒ Architectural Plan
- ☒ Buildings Elevation Plan
- ☐ Cut and Fill Plan
- ☒ Erosion and Sediment Control Plan
- ☒ Grading and Drainage Control Plan (around perimeter and within site) (existing and proposed)
- ☒ Landscape Plan
- ☐ Photometric (Lighting) Plan
- ☐ Plan and Profile Drawings
- ☒ Site Servicing Plan
- ☒ Storm water Management Plan
- ☐ Street Sign and Traffic Plan
- ☐ Street Tree Planting Plan
- ☐ Tree Preservation Plan
- ☐ Archaeological Assessment
- ☐ Environmental Impact Study

- ☒ Functional Servicing Report
- ☐ Geotechnical Study / Hydrogeological Review
- ☐ Minimum Distance Separation Schedule
- ☐ Noise or Vibration Study
- ☐ Record of Site Condition
- ☐ Storm water Management Report
- ☐ Traffic Impact Study – please contact the Planner to verify the scope required

Site Plan applications will require the following supporting materials:

1. Two (2) complete sets of the site plan drawings folded to 8½ x 11 and an electronic version in PDF format
2. Letter requesting that the Holding be removed (if applicable)
3. A cost estimate prepared by the applicant's engineer
4. An estimate for Parkland dedication by a certified land appraiser
5. Property Identification Number (PIN) printout

Standard condominium exemptions will require the following supporting materials:

- ☐ Plan of standard condominium (2 paper copies and 1 electronic copy)
- ☐ Draft condominium declaration
- ☐ Property Identification Number (PIN) printout

Your development approval might also be dependent on Ministry of Environment and Climate Change, Ministry of Transportation or other relevant federal or provincial legislation, municipal by-laws or other agency approvals.

All final plans must include the owner's signature as well as the engineer's signature and seal.

I. Development Agreements

A development agreement may be required prior to approval for site plan, subdivision and condominium applications. Should this be necessary for your development, you will be contacted by the agreement administrator with further details of the requirements including but not limited to insurance coverage, professional liability for your engineer, additional fees and securities.

J. Transfers, Easements and Postponement of Interest

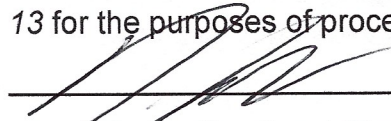
The owner acknowledges and agrees that if required it is their solicitor's responsibility on behalf of the owner for the registration of all transfer(s) of land to the County, and/or transfer(s) of easement in favour of the County and/or utilities. Also, the owner further acknowledges and agrees that it is their solicitor's responsibility on behalf of the owner for the registration of postponements of any charges in favour of the County.

K. Permission to Enter Subject Lands

Permission is hereby granted to Norfolk County officers, employees or agents, to enter the premises subject to this application for the purposes of making inspections associated with this application, during normal and reasonable working hours.

L. Freedom of Information

For the purposes of the *Municipal Freedom of Information and Protection of Privacy Act*, I authorize and consent to the use by or the disclosure to any person or public body any information that is collected under the authority of the *Planning Act, R.S.O. 1990, c. P. 13* for the purposes of processing this application.



Owner/Applicant Signature

2022/02/09

Date

M. Owner's Authorization

If the applicant/agent is not the registered owner of the lands that is the subject of this application, the owner(s) must complete the authorization set out below.

I/We Dawn Knill am/are the registered owner(s) of the lands that is the subject of this application.

I/We authorize Cynthia Zahrouk Architect Inc. to make this application on my/our behalf and to provide any of my/our personal information necessary for the processing of this application. Moreover, this shall be your good and sufficient authorization for so doing.



Owner

2022/02/09

Date

Owner

Date

N. Declaration

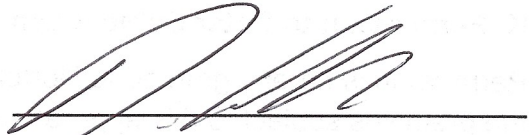
I, Darren Knill of Brantford ON

solemnly declare that:

all of the above statements and the statements contained in all of the exhibits transmitted herewith are true and I make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath and by virtue of *The Canada Evidence Act*.

Declared before me at:

224 Colborne St W



Owner/Applicant Signature

In Brantford ON

This 9th day of February

A.D., 2022

A Commissioner, etc.



February 14, 2022

Nicole Goodbrand
Senior Planner
Planning and Community Development Division
Norfolk County

Subject: 124 King Street, Delhi – Site Plan Application

Dear Nicole,

Kindly find attached our Site Plan application documents for the two-storey addition over an existing one storey building with the following attachments:

1. Development application form.
2. Architectural Site plan, Floor plans and elevations by Cynthia Zahoruk Architect Inc.
3. Landscape Plan by Cynthia Zahoruk Architect Inc and Henley Design Ltd.
4. Civil engineering plans and Storm water management reports and calculations by Henley Design Ltd
5. Topo survey by Kim Husted Surveying Ltd.

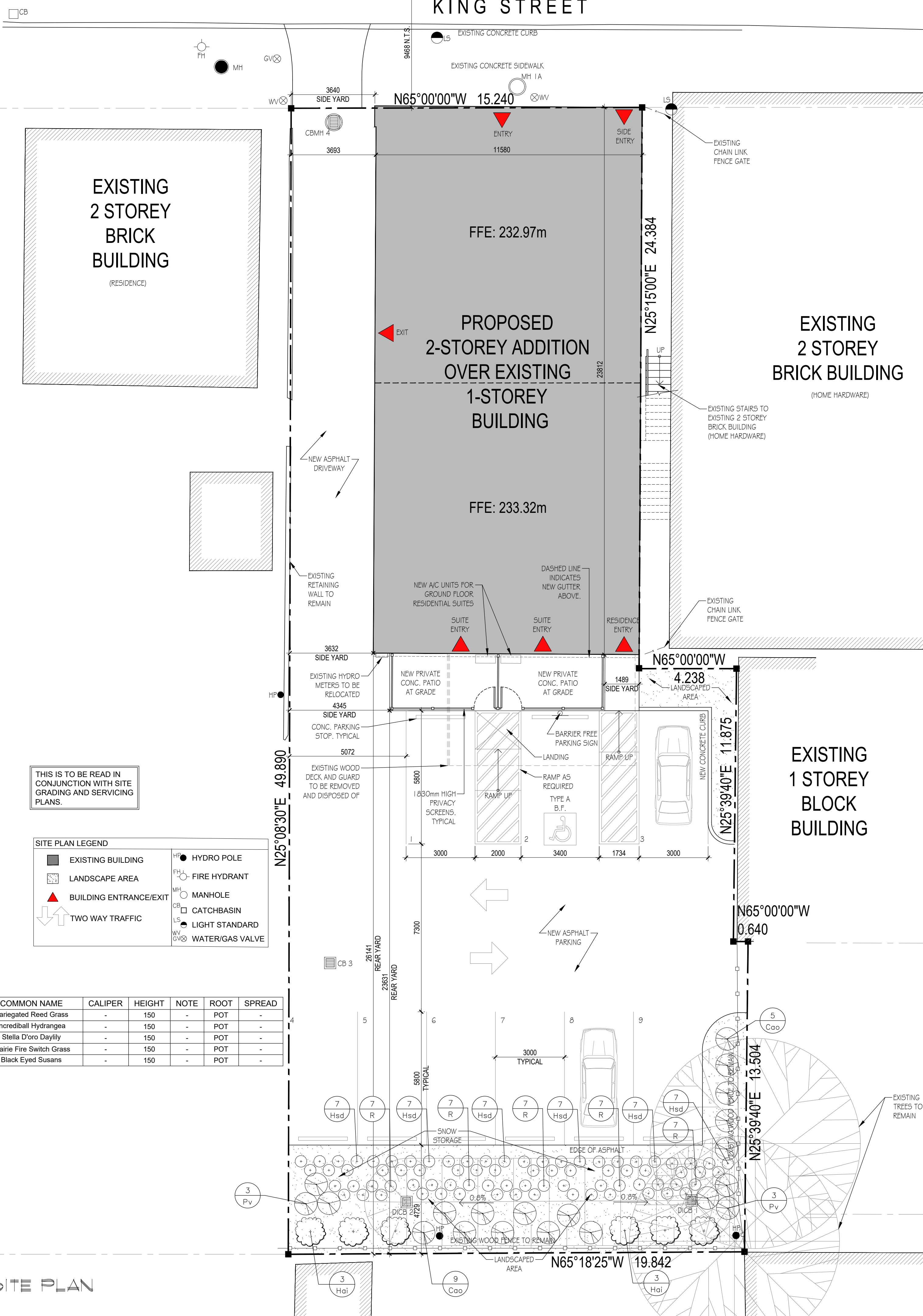
We hope you find the above satisfactory and please do not hesitate to contact us with any questions or comments.

Sincerely,

Cynthia Zahoruk

O.A.A., MRAIC, LEED Ap
B.E.S., B. Arch

Per/ *Nevine Soliman*

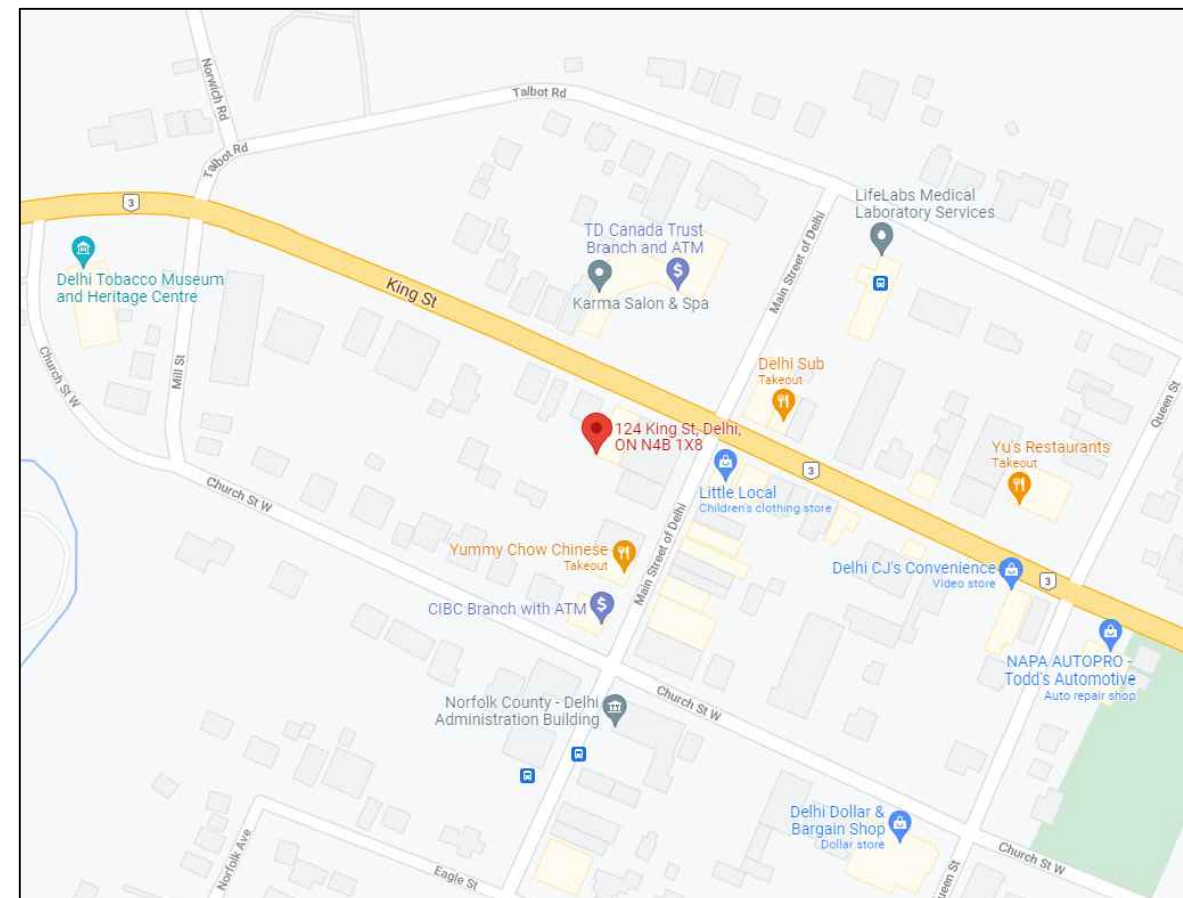


KING STREET

GENERAL NOTES

- CONTRACTOR or OWNER ACTING AS GENERAL CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL DIMENSIONS ON SITE PRIOR TO PROCEEDING WITH ANY WORK AND REPORT ANY DISCREPANCIES TO THE ARCHITECT. ARCHITECT IS NOT RESPONSIBLE FOR ANY CHANGES TO THE PROJECT, IN LAYOUT OR MATERIALS UNLESS APPROVED BY THE ARCHITECT PRIOR TO THE CHANGE.
- CONTRACTOR TO OBTAIN WORKER'S COMPENSATION INSURANCE AND REGISTER NOTICE OF PROJECT WITH WSIB IN ACCORDANCE WITH LEGISLATION PROVIDE ALL NECESSARY HEALTH AND SAFETY DEVICES AND BARRIERS.
- CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND INSPECTIONS AS REQUIRED BY CURRENT LEGISLATION.
- LINEAR DIMENSIONS INDICATING NEW CONSTRUCTION ARE TO FACE OF THE STUD. ALL EXISTING DIMENSIONS PROVIDED ARE TO BE USED AS REFERENCE ONLY.
- ALL CONSTRUCTION TO BE CARRIED OUT IN ACCORDANCE WITH THE ONTARIO BUILDING CODE 2012 EDITION AND APPLICABLE BYLAWS AND LEGISLATION FOR THE MUNICIPALITY AND PROVINCE.
- THICKNESS OF CONCRETE BLOCK WALLS SHALL BE AS NOTED ON DRAWINGS. HEIGHTS OF THESE WALLS TO BE U/S OF ROOF/FLOOR DECK ABOVE. (UNLESS NOTED OTHERWISE) ALL BLOCK WALLS TO HAVE SOLID TOP COURSE AND ARE TO BE Laterally SUPPORTED AT ALL CHASES.
- WHERE SOUND ATTENUATION BLANKET IS SPECIFIED, APPLY ACOUSTICAL SEALANT TO PARTITION PERIMETER ON BOTH SIDES, TOP & BOTTOM.

DWG/DETAIL REFERENCE	IDENTIFICATION REFERENCE
DWG/DETAIL REFERENCE X AXX DWG. REF. NO. DWG. ON PAGE	WINDOW IDENTIFICATION DOOR IDENTIFICATION SCREEN IDENTIFICATION WALL IDENTIFICATION GRID MARKER REVISION NUMBER ROOM NUMBER
SECTION/DWG REFERENCE X AXX DWG. REF. NO. DWG. ON PAGE	INTERCONNECTED SMOKE & CO ALARM INTERCONNECTED SMOKE ALARM EXHAUST FAN EMERGENCY LIGHT
ELEVATION REFERENCE X AXX DWG. REF. NO. DWG. ON PAGE	

3 LOCATION MAP
N.T.S.

DEVELOPMENT STATISTICS				January 07, 2022
Municipal Address	124 King St., Delhi			
Legal Description	Plan 189 BLK 15 PT Lot 1			
Existing Zoning	CBD – Central Business District			
Existing Use	Commercial Unit			
Proposed Use	Residential Apartments and Commercial Units			
ZONING REGULATIONS	CBD	Existing/Proposed	Compliance ✓ or ✗	
Site Data				
Lot Area	N/A	871.58 m ²	✓	
Lot Coverage	80% max.	31.78 %	✓	
Yards & Setbacks				
Front Yard (North)	0.0 m min., 3.0 m max.	0.0 m	✓	
Interior Side Yard (East)	0.0 m min., 1.2 m min. if abutting residential zone (N/A)	0.0 m	✓	
Interior Side Yard (West)	0.0 m min., 1.2 m min. if abutting residential zone (N/A)	3.6 m	✓	
Rear Yard (South)	0.0 m 6.0 m if abutting residential zone (N/A)	26.1 m	✓	
Building Size & Use				
Height	6 Storeys max.	3 Storeys (1 Existing + 2 New)	✓	
Location of First Storey	Any dwelling units shall not occupy more than 50 percent of the usable floor area of the first storey.	Usable floor area = 277 m ² Area of First storey dwelling units = 115.07 m ² = 41.54%	✓	
Use of First Storey	Frontage of first storey shall be dedicated to retail, office or service uses.	Frontage of first storey is dedicated to retail use.	✓	
Parking				
Number of Parking Spaces	No parking spaces are required for lands identified in the CBD Zone.	9 spaces	✓	
Barrier Free Parking	No barrier free parking spaces are required.	1 Type A space	✓	
	3.40 m(W)x5.80 m(L) 1.50 m Access aisle	3.40 m(W)x5.80 m(L) 2.00 m Access aisle	✓	
Deck Encroachment & Setbacks				
Interior Side Yard (East)	1.2m min.	1.4 m	✓	
Interior Side Yard (West)	1.2m min	4.4 m	✓	
Rear Yard (South)	3.0m min.	23.7 m	✓	
Floor Area				
Ground Floor		277 m ²		
Second Floor		277 m ²		
Third Floor		277 m ²		
Total		831 m ²		
Basement Floor		275 m ²		
Number of Residential Units				
First Floor		2 Units		
Second Floor		4 Units		
Third Floor		4 Units		
Total		10 Units		

2 DEVELOPMENT STATISTICS CHART
N.T.S.

**CYNTHIA
ZAHORUK
ARCHITECTS**

3077 NEW STREET,
BURLINGTON, ON L7N1M6
905.331.4480



NOTES:
1. THE CONTRACTOR OR PROJECT MANAGER WILL CHECK AND VERIFY ALL DIMENSIONS AND JOB CONDITIONS ON THE JOB AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. COORDINATION OF WORK IS THE RESPONSIBILITY OF THE CONTRACTOR OR OWNER/CONTRACTOR.
2. THIS DRAWING MUST NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL SIGNED BY THE ARCHITECT.
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05/01/2022	2	ISSUED FOR COORDINATION
25/01/2022	3	ISSUED FOR DEMOLITION/ALTERATION PERMIT
09/02/2022	4	ISSUED FOR SPA

SCALE: AS NOTED

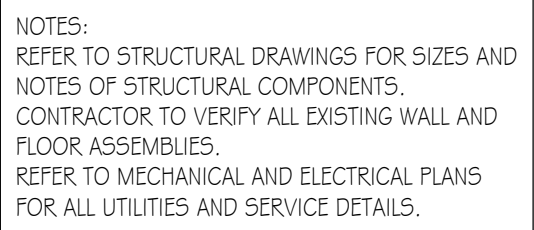
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PRINT DATE: 14/02/2022




**DELHI - SENTRY
MIXED USE BUILDING**
RENOVATION, ADDITION,
& CHANGE OF USE
124 KING STREET
DELHI, ONTARIO N4B 1X8








PROPOSED SITE PLAN
DEVELOPMENT STATS.
LOCATION MAP

A0.1



WALL TYPES

	EXISTING TO REMAIN
	EXISTING TO BE DEMOLISHED
	NEW

FIRE ASSEMBLY RATING & LIFE SAFETY LEGEND	
	TRAVEL DISTANCE
	45 MINUTE SEPARATION
	1 HOUR SEPARATION
	2 HOUR SEPARATION
	EXISTING F.R.R.
 	EXIT



ONTARIO ASSOCIATION
OF
ARCHITECTS

CYNTHIA ZAHORUK
LICENCE
4488

ONTARIO ASSOCIATION
OF ARCHITECTS

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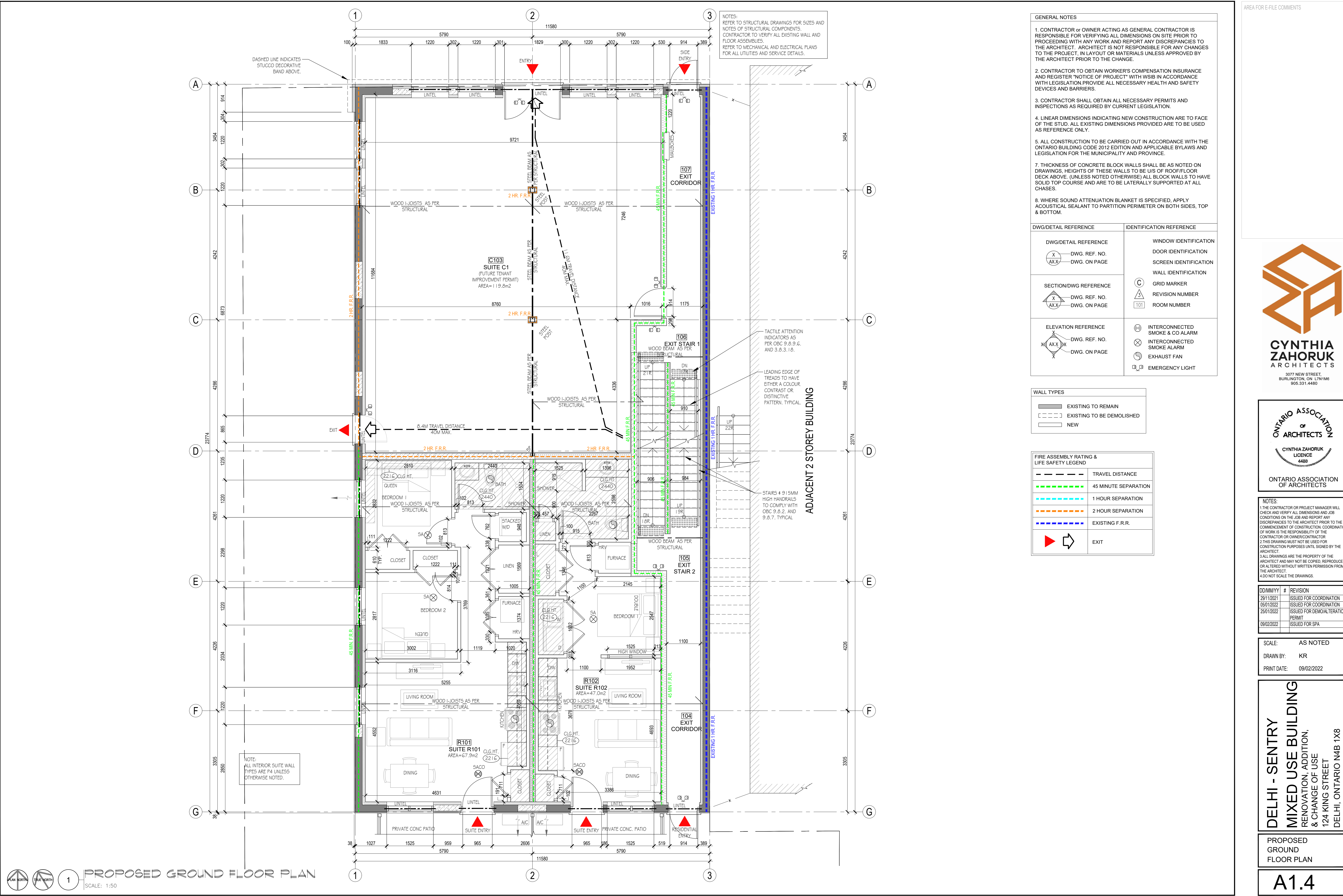
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DRAWN BY:	KR
PRINT DATE:	09/02/2022

**DELHI - SENTRY
MIXED USE BUILDING
RENOVATION, ADDITION,
& CHANGE OF USE
124 KING STREET
DELHI, ONTARIO N4B 1X8**

PROPOSED
BASEMENT
FLOOR PLAN

A1.3



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<div><div><div>SECTION/DWG REFERENCE</div><div>DWG. REF. NO.</div><div>DWG. ON PAGE</div></div><div><div>X</div><div>AXX</div></div></div>	<div>GRID MARKER</div> <div>REVISION NUMBER</div> <div>ROOM NUMBER</div>
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WALL TYPES	
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<div><div></div><div>NEW</div></div>	

FIRE ASSEMBLY RATING & LIFE SAFETY LEGEND	
<div><div></div><div>TRAVEL DISTANCE</div></div>	
<div><div></div><div>45 MINUTE SEPARATION</div></div>	
<div><div></div><div>1 HOUR SEPARATION</div></div>	
<div><div></div><div>2 HOUR SEPARATION</div></div>	
<div><div></div><div>EXISTING F.R.R.</div></div>	
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AREA FOR E-FILE COMMENTS



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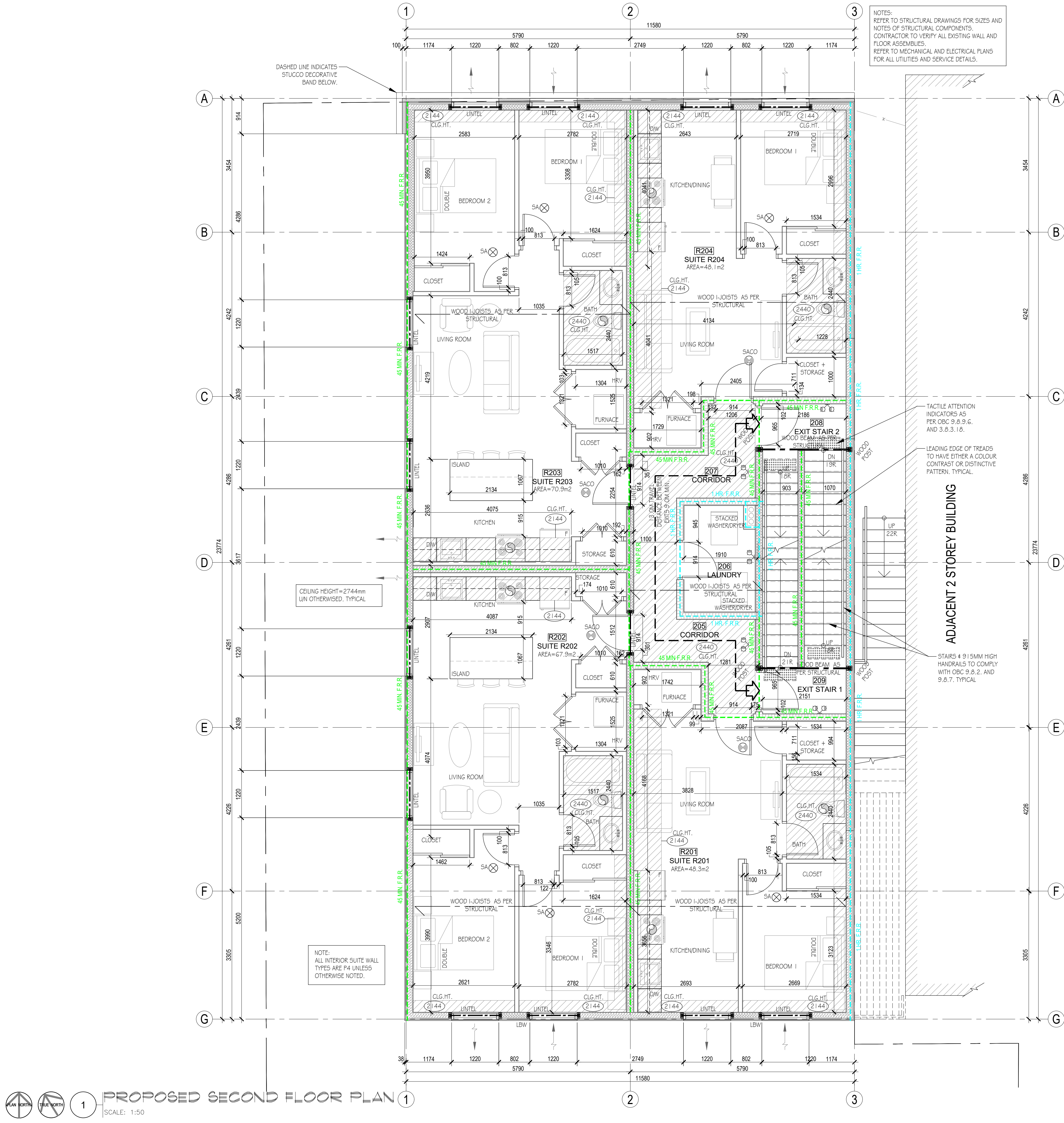
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SCALE:	AS NOTED
DRAWN BY:	KR
PRINT DATE:	09/02/2022

DELHI - SENTRY
MIXED USE BUILDING
RENOVATION, ADDITION,
& CHANGE OF USE
124 KING STREET
DELHI, ONTARIO N4B 1X8

PROPOSED
GROUND
FLOOR PLAN

A1.4



NOTES:
REFER TO STRUCTURAL DRAWINGS FOR SIZES AND
NOTES OF STRUCTURAL COMPONENTS.
CONTRACTOR TO VERIFY ALL EXISTING WALL AND
FLOOR ASSEMBLIES.
REFER TO MECHANICAL AND ELECTRICAL PLANS
FOR ALL UTILITIES AND SERVICE DETAILS.

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WALL TYPES	
EXISTING TO REMAIN	
EXISTING TO BE DEMOLISHED	
NEW	

FIRE ASSEMBLY RATING & LIFE SAFETY LEGEND	
TRAVEL DISTANCE	
45 MINUTE SEPARATION	
1 HOUR SEPARATION	
2 HOUR SEPARATION	
EXISTING F.R.R.	
EXIT	

AREA FOR E-FILE COMMENTS



CYNTHIA
ZAHORUK
ARCHITECTS

3077 NEW STREET,
BURLINGTON, ON L7N1M6
905.331.4480



ONTARIO ASSOCIATION
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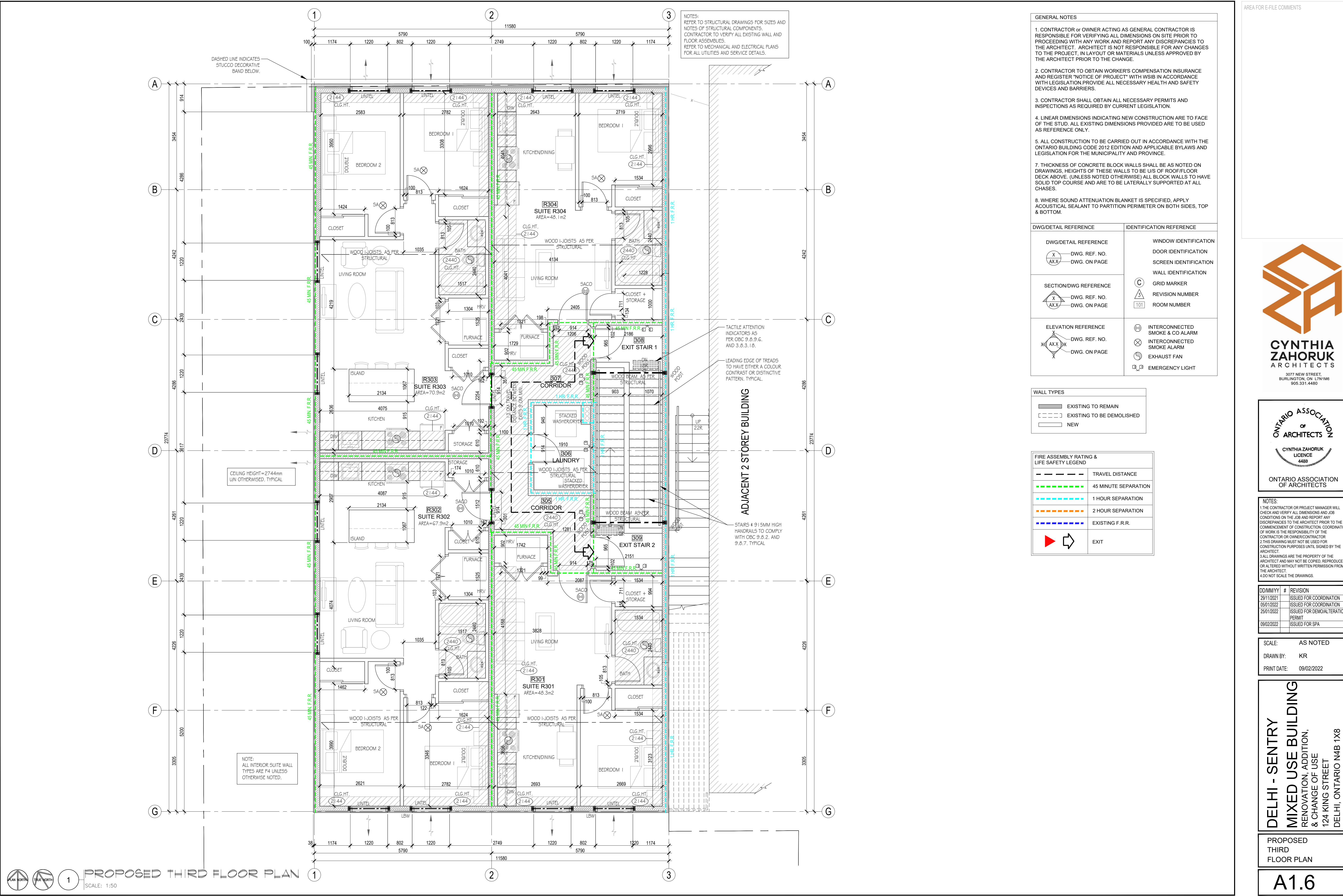
DRAWN BY: KR

PRINT DATE: 09/02/2022

DELHI - SENTRY
MIXED USE BUILDING
RENOVATION, ADDITION,
& CHANGE OF USE
124 KING STREET
DELHI, ONTARIO N4B 1X8

PROPOSED
SECOND
FLOOR PLAN

A1.5



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WALL TYPES	
	EXISTING TO REMAIN
	EXISTING TO BE DEMOLISHED
	NEW

FIRE ASSEMBLY RATING & LIFE SAFETY LEGEND	
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	45 MINUTE SEPARATION
	1 HOUR SEPARATION
	2 HOUR SEPARATION
	EXISTING F.R.R.
	EXIT

AREA FOR E-FILE COMMENTS



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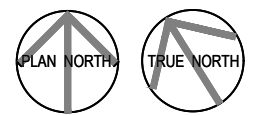
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SCALE: AS NOTED
DRAWN BY: KR
PRINT DATE: 09/02/2022

DELHI - SENTRY
MIXED USE BUILDING
RENOVATION, ADDITION,
& CHANGE OF USE
124 KING STREET
DELHI, ONTARIO N4B 1X8

PROPOSED
THIRD
FLOOR PLAN

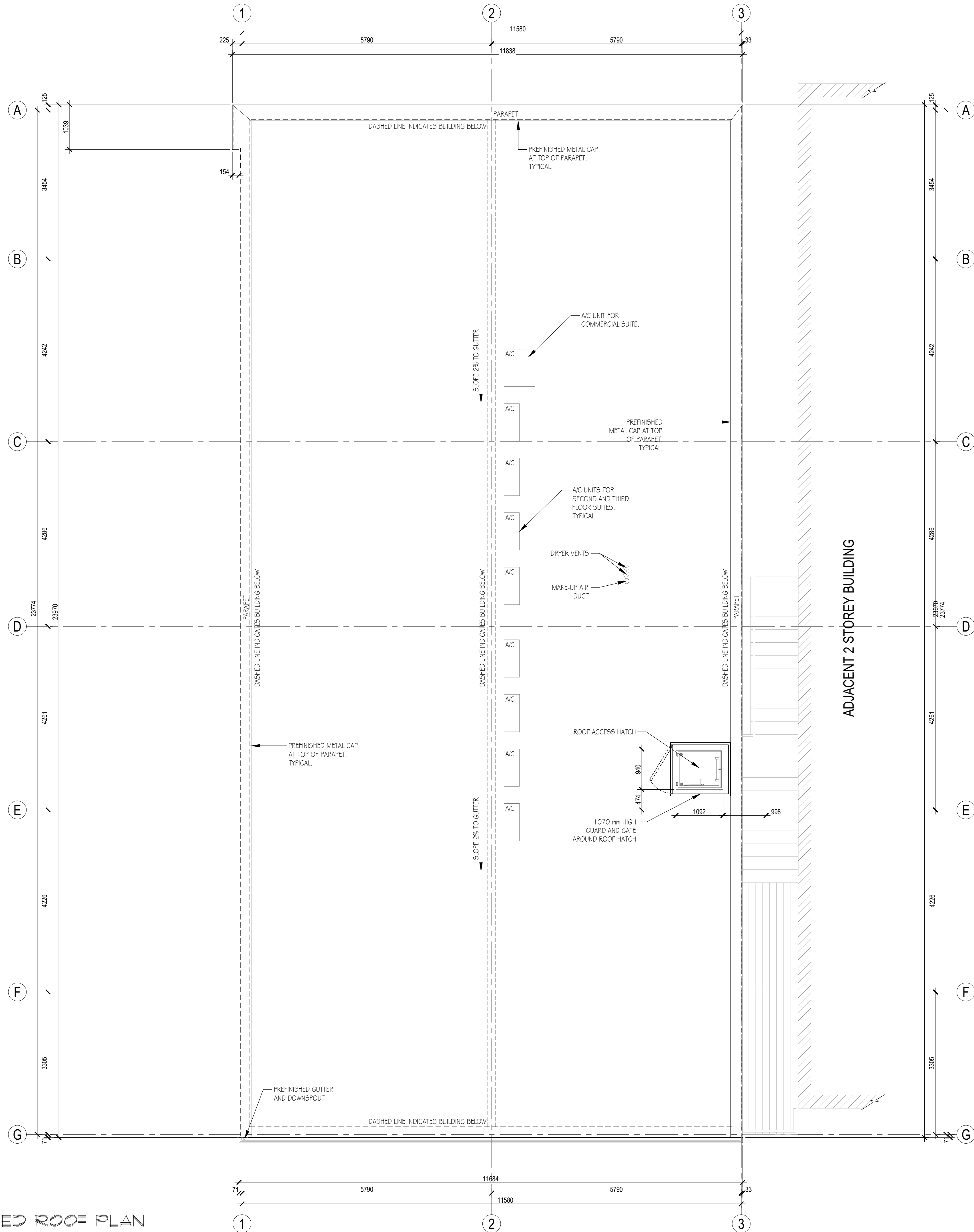
A1.6



1

PROPOSED ROOF PLAN

SCALE: 1:50



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WALL TYPES	
	EXISTING TO REMAIN
	EXISTING TO BE DEMOLISHED
	NEW

AREA FOR E-FILE COMMENTS



CYNTHIA
ZAHORUK
ARCHITECTS

3077 NEW STREET,
BURLINGTON, ON L7N1M6
905.331.4480



CYNTHIA ZAHORUK
LICENCE
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ONTARIO ASSOCIATION
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SCALE: AS NOTED

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DELHI - SENTRY
MIXED USE BUILDING
RENOVATION, ADDITION,
& CHANGE OF USE
124 KING STREET
DELHI, ONTARIO N4B 1X8

PROPOSED
ROOF PLAN

A1.7



CYNTHIA
ZAHORUK
ARCHITECTS

3077 NEW STREET,
BURLINGTON, ON L7N1M6
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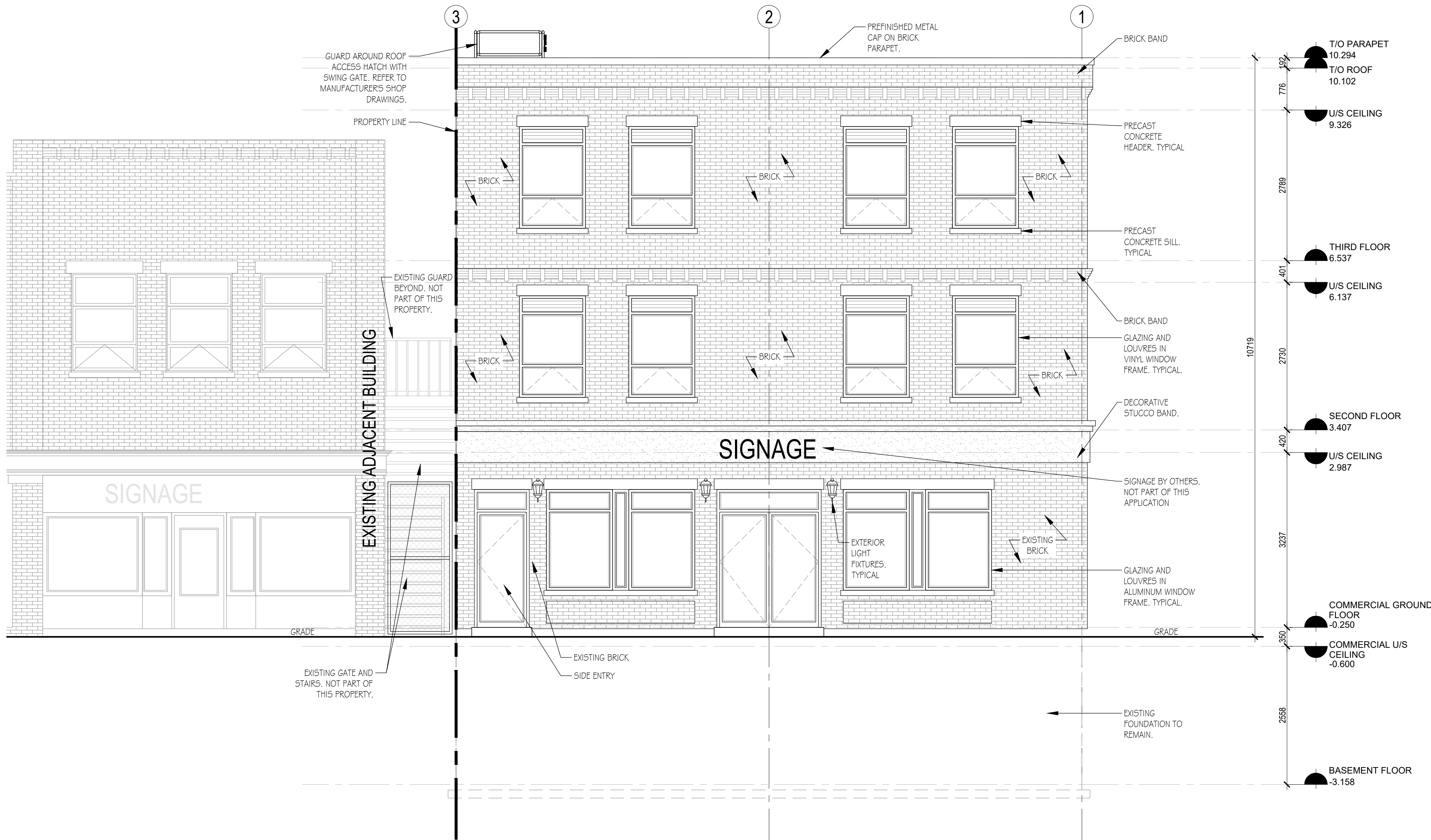
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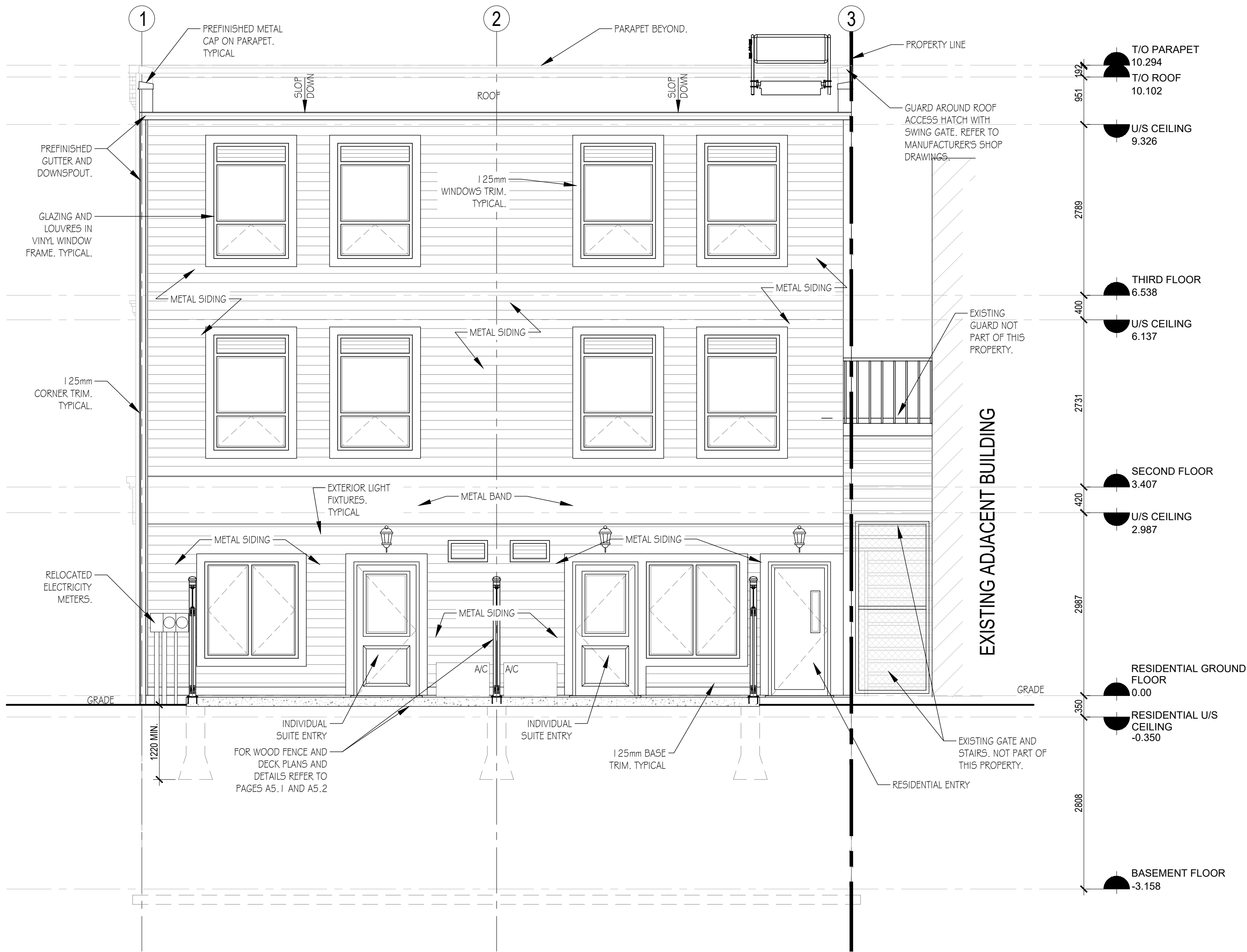
PROPOSED
ELEVATION

A2.3

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1 PROPOSED NORTH ELEVATION
SCALE: 1:50



SOUTH				
SPATIAL SEPARATION (9.10.14.4.)				
LIMITING DISTANCE	EXPOSED BLDG FACE	AREA OPENINGS UNPROTECTED	MAXIMUM % UNPROTECTED OPENINGS	% UNPROTECTED OPENINGS PROVIDED
26.14 M	110.65 M2	24.60 M2	100%	22.2%
CONSTRUCTION OF E.B.F. (9.10.14.5.)				
FIRE RESISTANCE OF EXPOSED BUILDING FACE	CONSTRUCTION TYPE PERMITTED	CLADDING PERMITTED		
N/A	N/A	N/A		

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ELEVATION REFERENCE X AXX DWG. ON PAGE	INTERCONNECTED SMOKE & CO ALARM INTERCONNECTED SMOKE ALARM EXHAUST FAN EMERGENCY LIGHT

AREA FOR E-FILE COMMENTS



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DELHI - SENTRY
MIXED USE BUILDING
RENOVATION, ADDITION,
& CHANGE OF USE
124 KING STREET
DELHI, ONTARIO N4B 1X8

PROPOSED
ELEVATIONS

A2.4

2 PROPOSED SOUTH ELEVATION
SCALE: 1:50

WEST-FRONT THIRD FLOOR-RESIDENTIAL				
SPATIAL SEPARATION (9.10.14.4.)				
LIMITING DISTANCE	EXPOSED BLDG FACE	AREA OPENINGS UNPROTECTED	MAXIMUM % UNPROTECTED OPENINGS	% UNPROTECTED OPENINGS PROVIDED
3.63 M	37.32 M2	4.60 M2	28.7%	12.3%
CONSTRUCTION OF E.B.F. (9.10.14.5.)				
FIRE RESISTANCE OF EXPOSED BUILDING FACE	CONSTRUCTION TYPE PERMITTED	CLADDING PERMITTED		
45 MIN. F.R.R.	COMBUSTIBLE OR NONCOMBUSTIBLE	COMBUSTIBLE OR NONCOMBUSTIBLE		














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SPATIAL SEPARATION (9.10.14.4.)				
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FIRE RESISTANCE OF EXPOSED BUILDING FACE	CONSTRUCTION TYPE PERMITTED	CLADDING PERMITTED		
45 MIN. F.R.R.	COMBUSTIBLE OR NONCOMBUSTIBLE	COMBUSTIBLE OR NONCOMBUSTIBLE		

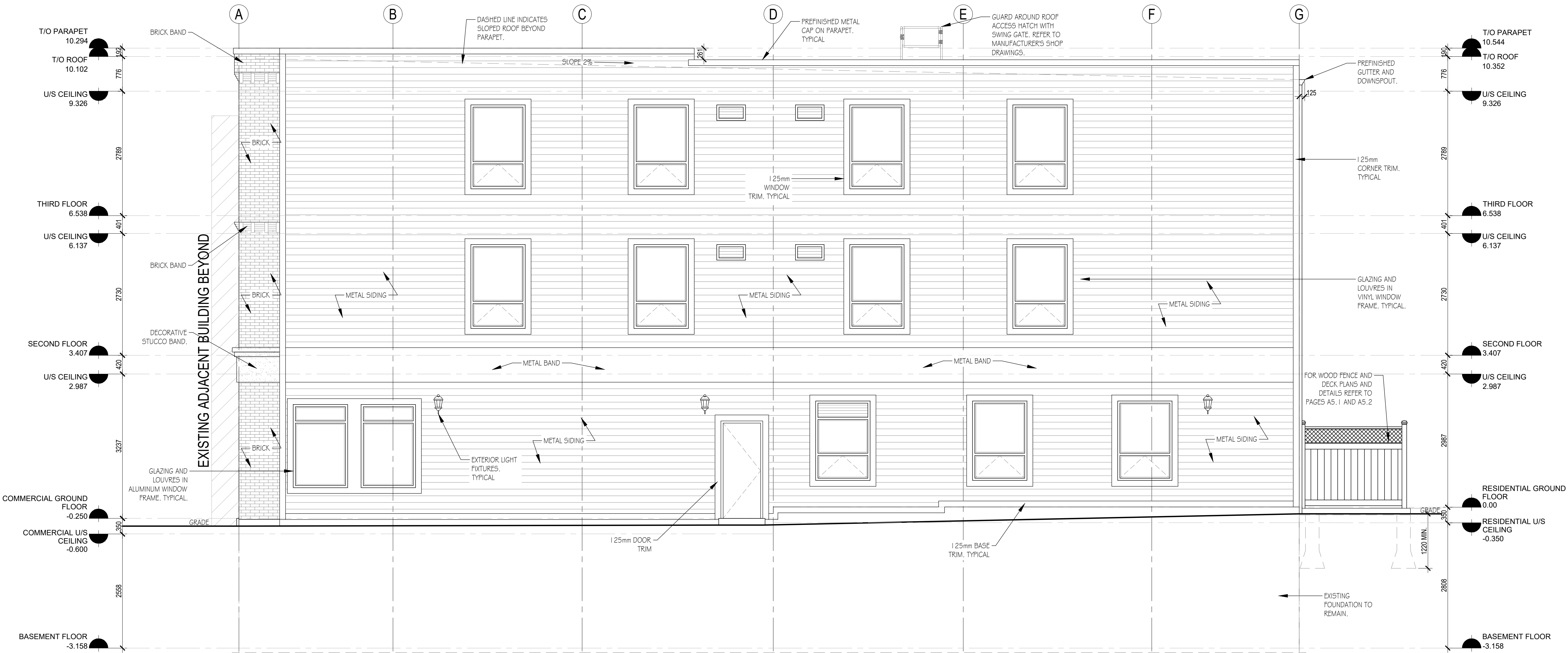
WEST-FIRST FLOOR-MERCANTILE				
SPATIAL SEPARATION (9.10.14.4.)				
LIMITING DISTANCE	EXPOSED BLDG FACE	AREA OPENINGS UNPROTECTED	MAXIMUM % UNPROTECTED OPENINGS	% UNPROTECTED OPENINGS PROVIDED
3.63 M	39.07 M2	4.40 M2	13.9%	11.3%
CONSTRUCTION OF E.B.F. (9.10.14.5.)				
FIRE RESISTANCE OF EXPOSED BUILDING FACE	CONSTRUCTION TYPE PERMITTED	CLADDING PERMITTED		
2 HR. F.R.R.	COMBUSTIBLE OR NONCOMBUSTIBLE	NONCOMBUSTIBLE		

WEST-REAR THIRD FLOOR-RESIDENTIAL				
SPATIAL SEPARATION (9.10.14.4.)				
LIMITING DISTANCE	EXPOSED BLDG FACE	AREA OPENINGS UNPROTECTED	MAXIMUM % UNPROTECTED OPENINGS	% UNPROTECTED OPENINGS PROVIDED
3.63 M	37.12 M2	4.60 M2	28.8%	12.4%
CONSTRUCTION OF E.B.F. (9.10.14.5.)				
FIRE RESISTANCE OF EXPOSED BUILDING FACE	CONSTRUCTION TYPE PERMITTED	CLADDING PERMITTED		
45 MIN. F.R.R.	COMBUSTIBLE OR NONCOMBUSTIBLE	COMBUSTIBLE OR NONCOMBUSTIBLE		

WEST-REAR SECOND FLOOR-RESIDENTIAL				
SPATIAL SEPARATION (9.10.14.4.)				
LIMITING DISTANCE	EXPOSED BLDG FACE	AREA OPENINGS UNPROTECTED	MAXIMUM % UNPROTECTED OPENINGS	% UNPROTECTED OPENINGS PROVIDED
3.63 M	37.31 M2	4.60 M2	28.7%	12.3%
CONSTRUCTION OF E.B.F. (9.10.14.5.)				
FIRE RESISTANCE OF EXPOSED BUILDING FACE	CONSTRUCTION TYPE PERMITTED	CLADDING PERMITTED		
45 MIN. F.R.R.	COMBUSTIBLE OR NONCOMBUSTIBLE	COMBUSTIBLE OR NONCOMBUSTIBLE		

WEST-FIRST FLOOR-RESIDENTIAL				
SPATIAL SEPARATION (9.10.14.4.)				
LIMITING DISTANCE	EXPOSED BLDG FACE	AREA OPENINGS UNPROTECTED	MAXIMUM % UNPROTECTED OPENINGS	% UNPROTECTED OPENINGS PROVIDED
3.63 M	38.86 M2	6.90 M2	27.8%	17.8%
CONSTRUCTION OF E.B.F. (9.10.14.5.)				
FIRE RESISTANCE OF EXPOSED BUILDING FACE	CONSTRUCTION TYPE PERMITTED	CLADDING PERMITTED		
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 DWG. REF. NO.  DWG. ON PAGE	 INTERCONNECTED SMOKE & CO ALARM  INTERCONNECTED SMOKE ALARM  EXHAUST FAN  EMERGENCY LIGHT



1 PROPOSED WEST ELEVATION
SCALE: 1:50



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DELHI - SENTRY
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PROPOSED
ELEVATION

A2.5



CYNTHIA
ZAHORUK
ARCHITECTS

3077 NEW STREET,
BURLINGTON, ON L7N1M6
905.331.4480



ONTARIO ASSOCIATION
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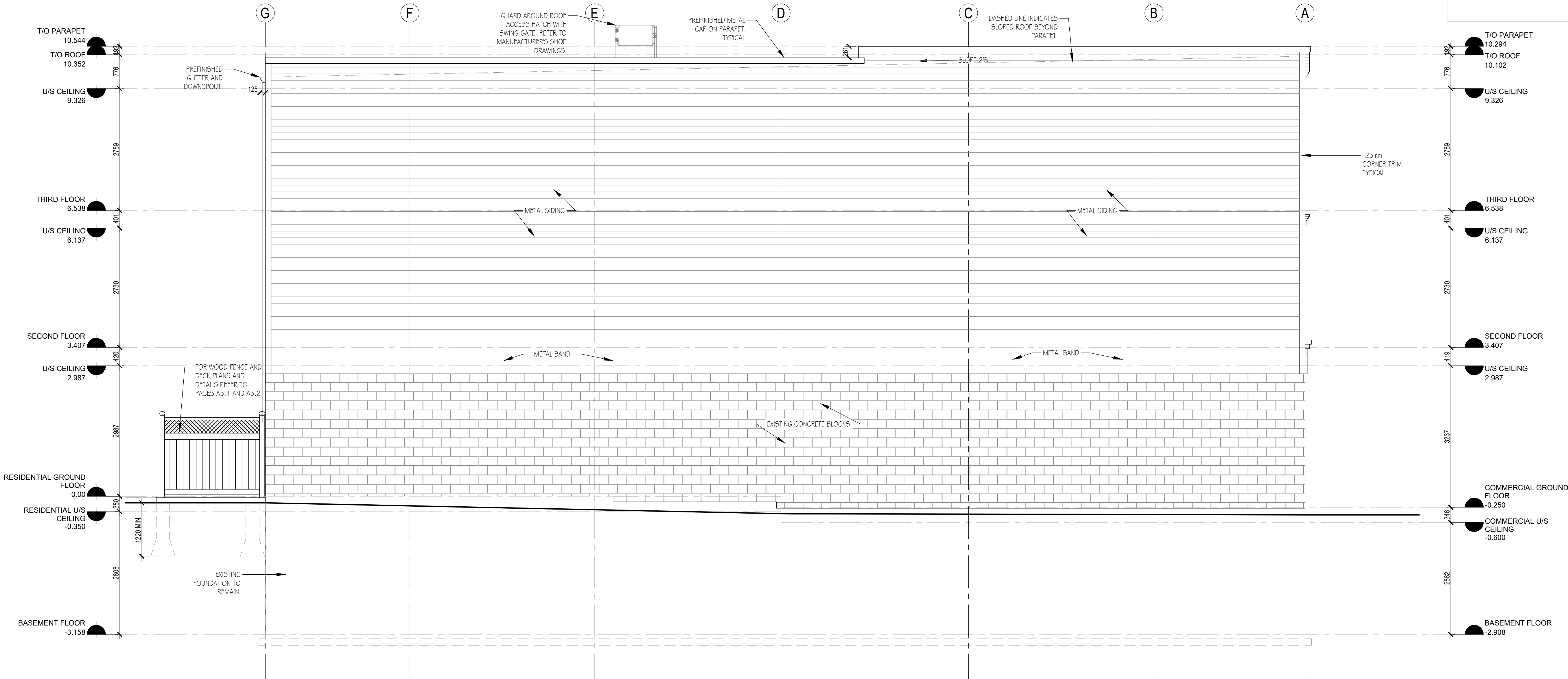
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PROPOSED
ELEVATION

A2.6

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EAST				
SPATIAL SEPARATION (9.10.14.4.)				
LIMITING DISTANCE	EXPOSED BLDG FACE	AREA OPENINGS UNPROTECTED	MAXIMUM % UNPROTECTED OPENINGS	% UNPROTECTED OPENINGS PROVIDED
0.00 M	227.18 M2	0.00 M2	0.0%	0.0%
CONSTRUCTION OF E.B.F. (9.10.14.5.)				
FIRE RESISTANCE OF EXPOSED BUILDING FACE	CONSTRUCTION TYPE PERMITTED	CLADDING PERMITTED		
1 HR.	NONCOMBUSTIBLE	NONCOMBUSTIBLE		



1 PROPOSED EAST ELEVATION
SCALE: 1:50



124 King Street, Dehli
Functional Servicing and Stormwater
Management Report
Sentry Property Group

Project # HD-2201

February 2, 2022

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Appendices

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Drawing FSP	Rear Pocket
Drawing FGP	Rear Pocket

1.0 Introduction and Background

HENLEY DESIGN LTD. has been retained by Sentry Property Group to provide a functional servicing, grading design and a stormwater management (SWM) strategy for the proposed commercial/residential mixed-use development at 124 King Street in Dehli. The subject site is bounded by King Street to the north, Main Street to the east, and existing commercial and residential properties to the west and south. The location of the site, which has a total area of 0.09 hectares (ha), is shown on **Figure 1**. The proposed development will consist of adding two storeys over an existing one-storey commercial building and changing the use of the existing ground floor.

The following documents were reviewed in preparation of this report:

- Stormwater Management Planning and Design Manual (SWMP Manual) prepared by the Ministry of Environment (March 2003)
- Norfolk County Design Criteria (August 2017)
- King Street Reconstruction Plan & Profile and associated storm sewer design (October 23, 2020)



2.0 Existing Conditions

2.1 Site Constraints

2.1.1 Topography and Drainage

Under existing conditions, approximately half of the site area drains towards King Street to the north, with the other half draining south-east and south-west towards Main Street and Church Street. The existing drainage conditions are illustrated on **Figure 2**. The lands have been zoned as CBD – Central Business District and hosts an existing commercial unit.

2.1.2 Sanitary Infrastructure

There is existing sanitary infrastructure within King Street to service the proposed development.

2.1.3 Water Infrastructure

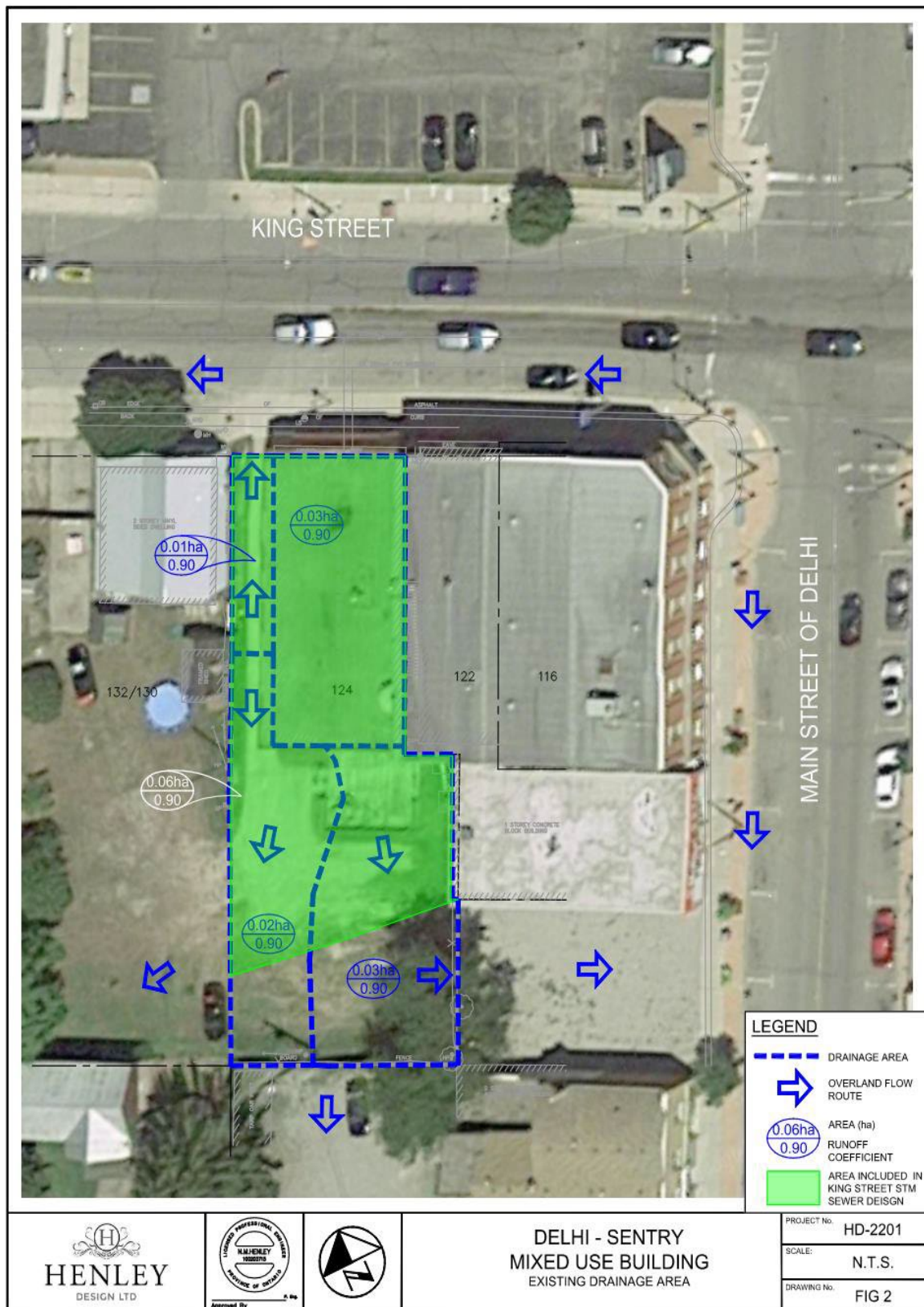
There is existing watermain infrastructure within King Street to service the proposed development.

2.1.4 Storm Infrastructure

There is an existing 525mm diameter storm sewer on King Street that conveys flows from the site west, eventually discharging to Big Creek. As indicated on the Storm Drainage Area Plan for the King Street Reconstruction project (G. Douglas Vallee Ltd., 2019) the downstream storm sewer system has been sized to accommodate a drainage area of 0.06 ha from the site at a runoff coefficient of 0.90 (refer to **Appendix A**).

2.1.5 Stormwater Management

The proposed development will feature a new storm connection to the existing sewer on King Street to convey minor flows (5-year) up to the allowable release rate. The site has been graded to match existing conditions and therefore major flows match existing drainage patterns. A small diameter orifice will be located at the most downstream site manhole to provide quantity controls. The required storage volume will be provided in the proposed on-site manholes and sewers. Water quality treatment will be provided via an enhanced grass swale and through infiltration.



3.0 Design Criteria

3.1 Guidelines

Design guidance is provided in the following documents:

- Norfolk County Design Criteria (August 2017)
- MOE Stormwater Management Planning and Design Manual (2003)

3.2 Sanitary Sewers and Watermains

Sanitary sewers and watermains are to be designed in accordance with the Norfolk County Design Criteria.

3.3 Stormwater Management

The criteria for SWM for the subject site are as follows:

- Quantity Control
- Peak flows discharging from the site shall not increase as a result of the proposed development for the 2 through 100-year storm events.
 - A portion of the site has been accounted for in the design of the existing King Street storm sewer (5-year event). The allowable release rate to the sewer can be calculated using the Rational Method.

$$Q_{allowable} = C \times i \times A; \text{ where } C = 0.90, A = 0.06, i = 135\text{mm/hr (A = 583.017, B = 3.0, C = 0.703, } t_c = 5\text{min)}$$

$$Q_{allowable} = 0.90 \times 135 \times 0.06$$

$$Q_{allowable} = 0.0203 \text{ m}^3/\text{s}$$

- Quality Control
- An “Enhanced” level of protection as per Ministry of Environment guidelines is required (minimum 80% total suspended solids removal).

- Runoff Volume Control
- Provide runoff volume control via infiltration as feasible for the site.

4.0 Proposed Conditions

4.1 Grading

The proposed site grading is shown on **Drawing SG-1**. The majority of the site is graded towards the rear landscaped area as this will allow for stormwater to be treated and controlled prior to discharging to the municipal sewer network. In general, the site matches the pre-development drainage patterns.

4.2 Sanitary System

The existing sanitary service connecting to the 200mm diameter sanitary sewer on King Street will be used to service the proposed development. A new manhole will be installed at the property line as shown on **Drawing SS-1**.

4.3 Water Distribution System

The existing water service connecting to the 250mm diameter watermain on King Street will be used to service the proposed development as shown on **Drawing SS-1**.

4.4 Storm Drainage

4.4.1 Minor System

The minor system for the proposed development will be designed to comply with the Norfolk County design criteria to convey the 5-year storm event. The storm sewers are proposed to connect into the existing storm sewer connection on King Street. The routing and sizing of the storm sewer to service the development is shown on **Drawing SS-1**.

4.4.2 Major System

Major flows from the site will match existing drainage patterns. The site has been zoned with commercial uses and was assigned a runoff coefficient of 0.90 which correlates to 100% impervious cover. The proposed development will feature a landscaped area at the rear property which would reduce the runoff coefficient below 0.90, therefore the site will not increase major flows compared to existing conditions. The proposed grades are shown on **Drawing SG-1**.

4.5 Stormwater Management

4.5.1 Quantity Control

As noted previously, the minor system for the proposed development will outlet to the existing 525mm diameter storm sewer on King Street. The existing sewer was sized to accommodate 0.06ha of site area at a runoff coefficient of 0.90. Minor flows from the entire site (0.09ha) will be conveyed towards the King Street sewer therefore some flow control will be required. Overland flows (above the 5-year) will continue to match existing drainage patterns.

The proposed conditions drainage pattern is delineated by one catchment area and is shown on **Figure 3**.

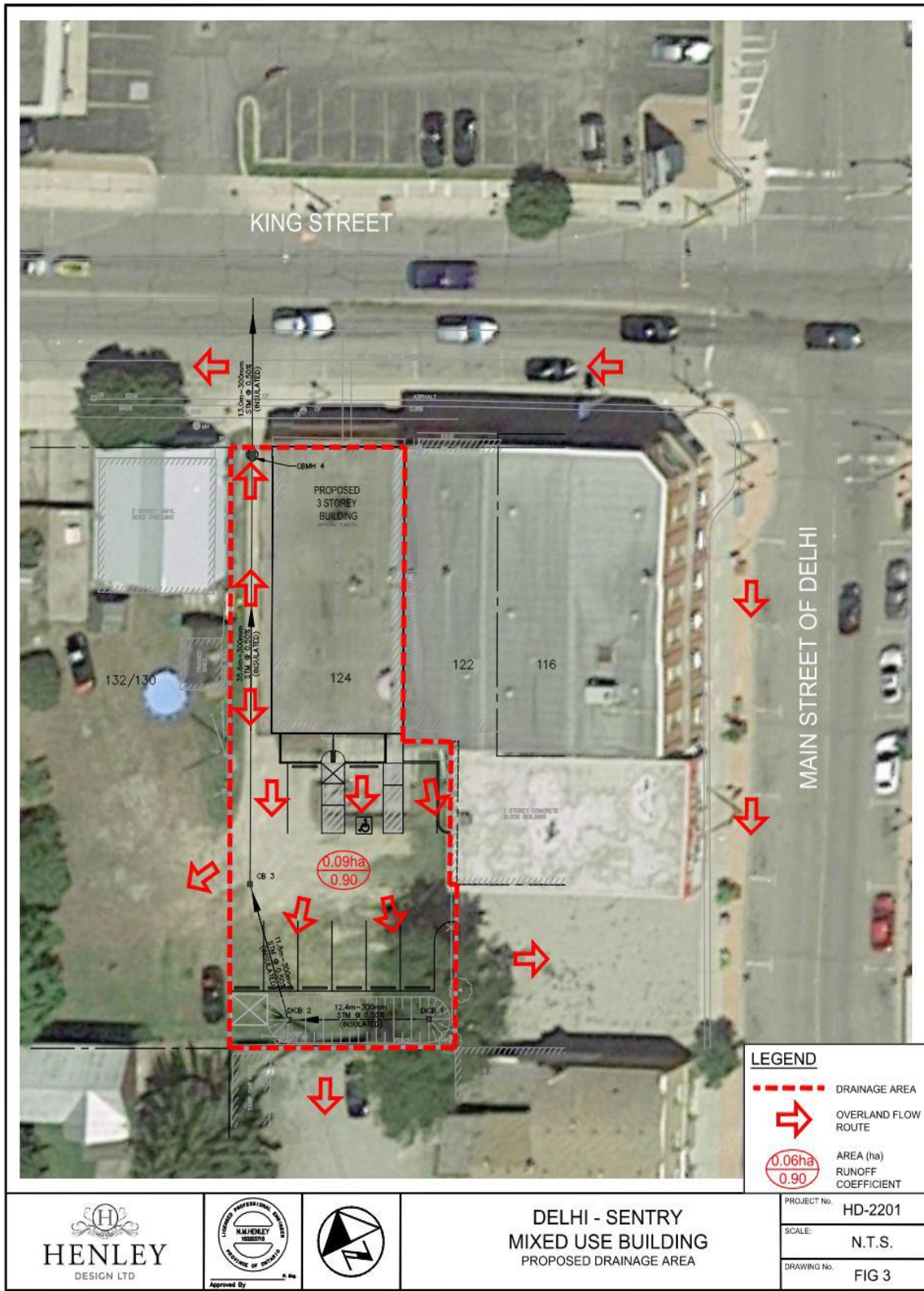
Table 4.1 – Proposed Conditions Storm Catchment Areas

Catchment ID	Description	Area (ha)	Runoff Coefficient (C)
201	Site	0.09	0.90 ^A
^A The site has been conservatively assigned a runoff coefficient of 0.90. Since the site has landscaped areas, the actual runoff coefficient would be less than 0.90.			

Stormwater management quantity controls for the site will be provided by using a small diameter orifice plate located on the most downstream manhole coupled with volume storage in the sewers and manholes. The table below summarizes the stage-storage-discharge relationship for the site.

Table 4.2 – Stage-Storage-Discharge Relationship

Elevation (m)	Head, H (m)	Cumulative Storage Volume (m ³) ^A	Discharge, Q (m ³ /s) ^B	Comments
231.34	---	0	0	Invert of 100mm orifice
231.39	---	0	0	CL of 100mm orifice
232.05	0.66	4.2	0.018	Top of storm sewers
232.35	0.96	5.5	0.021	T/G CB in landscaped areas
^A Storage volume provided by on-site storm sewers and manholes. ^B From orifice equation $Q = CA (2gH)^{0.5}$ for a 100mm diameter orifice. Where C = 0.63, A = cross-sectional area, g = 9.81, H = pressure head.				



The Modified Rational method was used to determine the required volume to control the 5-year flow to the allowable release rate of 0.0203 m³/s. The results are summarized in the table below.

Table 4.3 – Volume Requirements

Storm Event	Allowable Discharge Rate (m ³ /s) ^A	Required Storage Volume (m ³) ^B	Total Storage Volume Provided (m ³) ^C
5-year	0.0203	3.2	5.5
^A Calculated based on existing storm drainage area plan for King Street. A = 0.06ha, C = 0.90. See Section 3.3 and Appendix A. ^B Calculated using Modified Rational Method for the 5-year design storm. A = 0.09ha, C = 0.90. See Appendix B. ^C See Table 4.2.			

As shown in the table above, a small amount of storage is required and the on-site pipes and manholes are able to provide it. This is to be expected for a small site area where only an additional 0.03ha of area is being directed to the King Street sewer when compared to the design values. Stormwater controls are only being provided for the minor event because the major flows (above the 5-year event) will continue to match existing conditions.

4.5.2 Quality Control

As noted in Section 3.4, an “Enhanced” level of protection as presented in Table 3.2 of the MOE Stormwater Management Planning and Design Manual (SWMP Manual, March 2003) is required for the proposed development. Site drainage will be directed towards a landscaped area which will provide the initial treatment via vegetation. The area has been graded flat to allow for infiltration with a perforated pipe system to allow additional exfiltration.

4.5.3 Runoff Volume Control

Some runoff volume control will be provided via infiltration within the landscaped area. However due to the tight soils in the area and the use of the site, it is not practical or feasible to provide additional infiltration measures.

4.6 Sediment and Erosion Control

Sediment and erosion control practices during construction will include, but not be limited to, standard devices such as silt fences, mud mats, and catchbasin buffers. Detailed Sediment and Erosion Control Plans are shown on **Drawing ERS-1**.


5.0 Conclusions

The servicing and stormwater management for the King Street development can be accomplished by the following:

- Site grading to match existing grades along the property limit.
- The existing sanitary service will be used to service the development. A new manhole will be installed at the property line.
- The existing water service will be used to service the development.
- The storm sewer system will be designed to convey the 5-year post-development flows to the existing storm sewer system on King Street.
- Quantity control will be provided through the use of an orifice plate on King Street to control 5-year post-development flows to the available sewer capacity. The required storage will be provided within the proposed storm sewers and manhole structures.
- Quality control will be provided via a vegetated filter strip and infiltration/exfiltration.
- Sediment and Erosion Control practices will be implemented during construction.

Report prepared by:

HENLEY DESIGN LTD. LIMITED



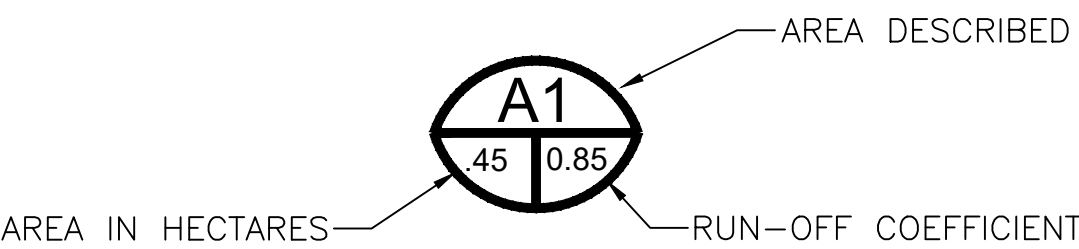
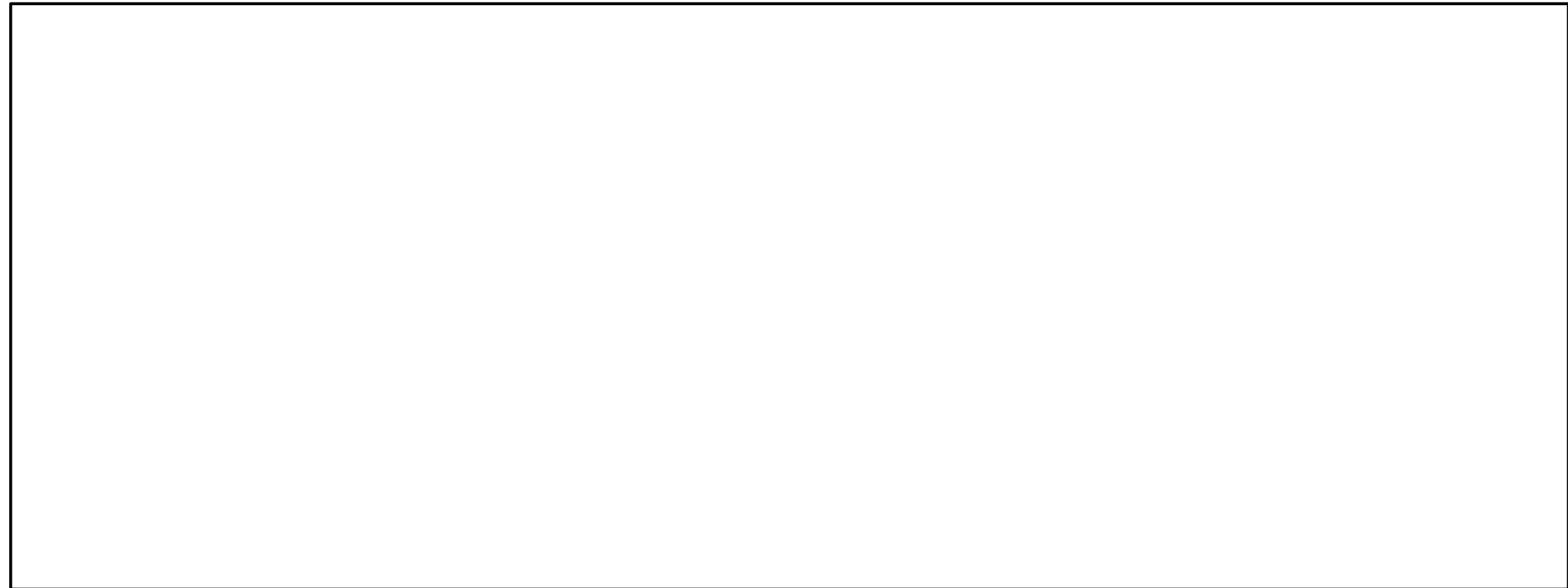
Nick Henley, P.Eng.
Project Manager

Encl.

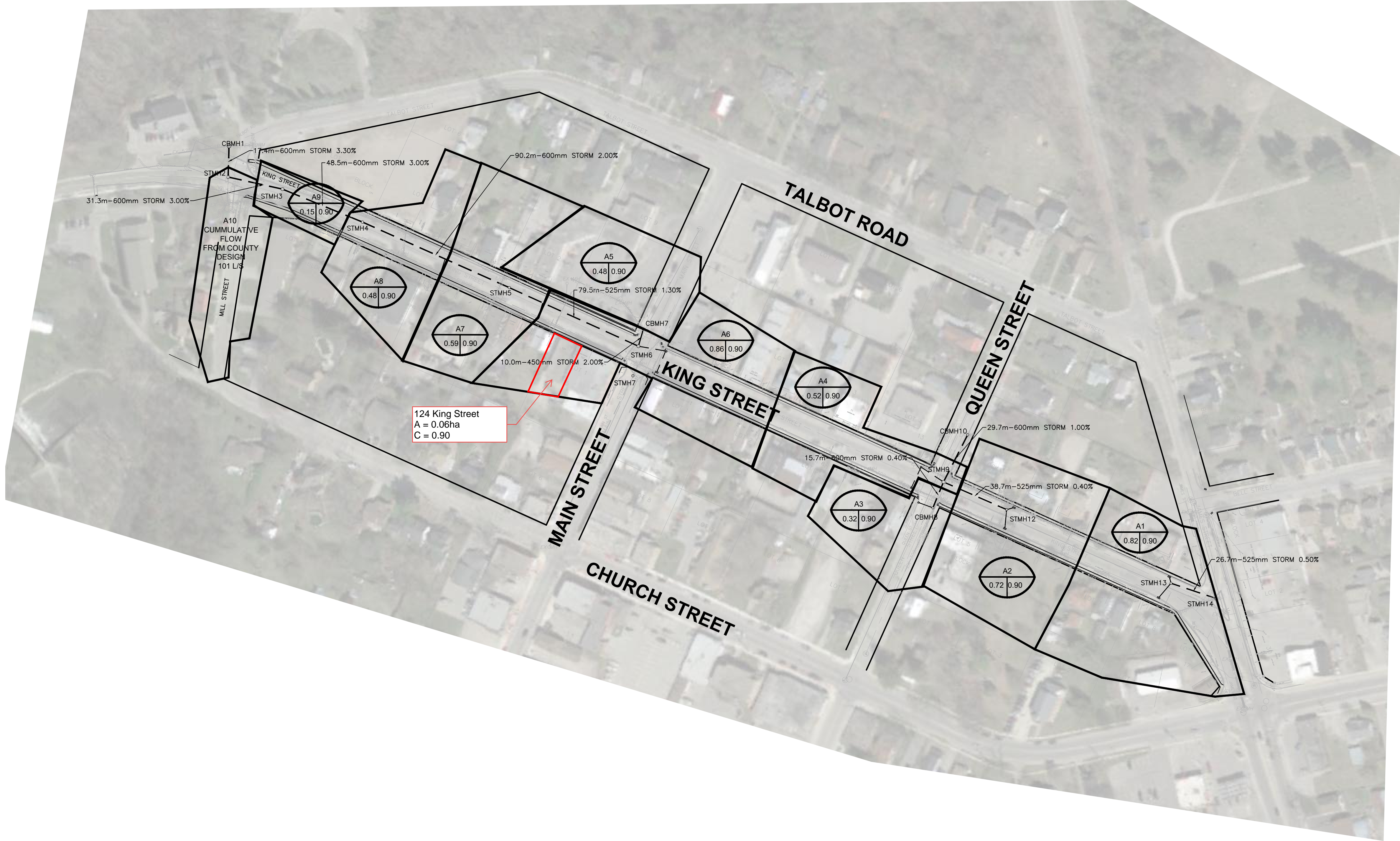
cc: Sentry Property Group, Attn: Mr. Darrin Knill

APPENDIX A

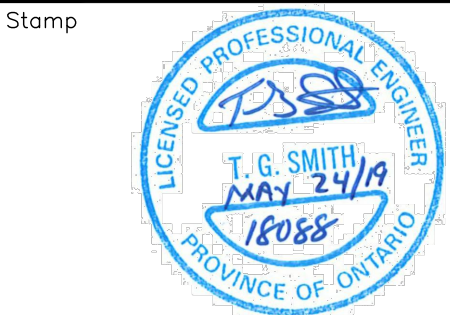
Background Information



REV. No.	DATE	REVISION
0	02/15/2019	ISSUED FOR COUNTY REVIEW
1	05/08/2019	ISSUED FOR COUNTY REVIEW
2	05/24/2019	ISSUED FOR TENDER



G. DOUGLAS VALLEE LIMITED
2 TALBOT STREET NORTH
SIMCOE, ONTARIO N3Y 3W4
(519) 426-6270



Project Title
PW-E-19-65
KING ST RECONSTRUCTION
KING STREET
DELHI - NORFOLK COUNTY

Drawing Title	
STORM AREAS	
Designed by : RCS	Drawn By : MG
Checked by : TGS	Date Started : January 15, 2019
Drawing Scale : 1:1250	Drawing No. STM
Project No. 18-088	

APPENDIX B

Stormwater Management Calculations

Table B.1 – Storage Volume Calculations

PIPE STORAGE		
Size (mm)	Length (m)	Volume (m ³)
300	59.8	4.2

STRUCTURE STORAGE				
Structure	Diameter (mm)	Invert (m)	T/G (m)	Volume (m ³)
DICB 1	300	231.76	232.35	0
DICB 2	300	231.65	232.35	0.1
CB 3	300	231.54	232.35 ^A	0.1
CBMH 4	1200	231.34	232.35 ^A	1.1
TOTAL				1.3
^A Storage for CB3 and CBMH4 are only calculated up to an elevation equivalent to the rim elevation of the lowest structures in the system because they are hydraulically connected. The actual T/G elevation is higher than that listed.				

Total Storage = 4.2m³ + 1.3m³ = 5.5m³

Table B.2 – Modified Rational Method Calculations

Runoff Coefficient (C)	0.9
Area (ha)	0.09029
Allowable Release Rate (m ³ /s)	0.0203
Time Step (min)	1
Design Storm	5
Rainfall Intensity Factor A	583.017
Rainfall Intensity Factor B	3
Rainfall Intensity Factor C	0.703

Time (min)	Rainfall Intensity (mm/hr)	Q _{Peak} (m ³ /s)	Q _{Release} (m ³ /s)	Total Vol. (m ³)	Max. Storage (m ³)
0	269.3177493	0.061	0.0203	0.0	
1	220.00525	0.050	0.0203	1.8	
2	188.0638425	0.042	0.0203	2.7	
3	165.4401402	0.037	0.0203	3.1	
4	148.4490068	0.034	0.0203	3.2	3.176154
5	135.1477929	0.031	0.0203	3.1	
6	124.408122	0.028	0.0203	2.8	
7	115.5263942	0.026	0.0203	2.4	
8	108.0393993	0.024	0.0203	2.0	
9	101.6288011	0.023	0.0203	1.4	
10	96.06806466	0.022	0.0203	0.8	
11	91.1912585	0.021	0.0203	0.2	

APPENDIX C

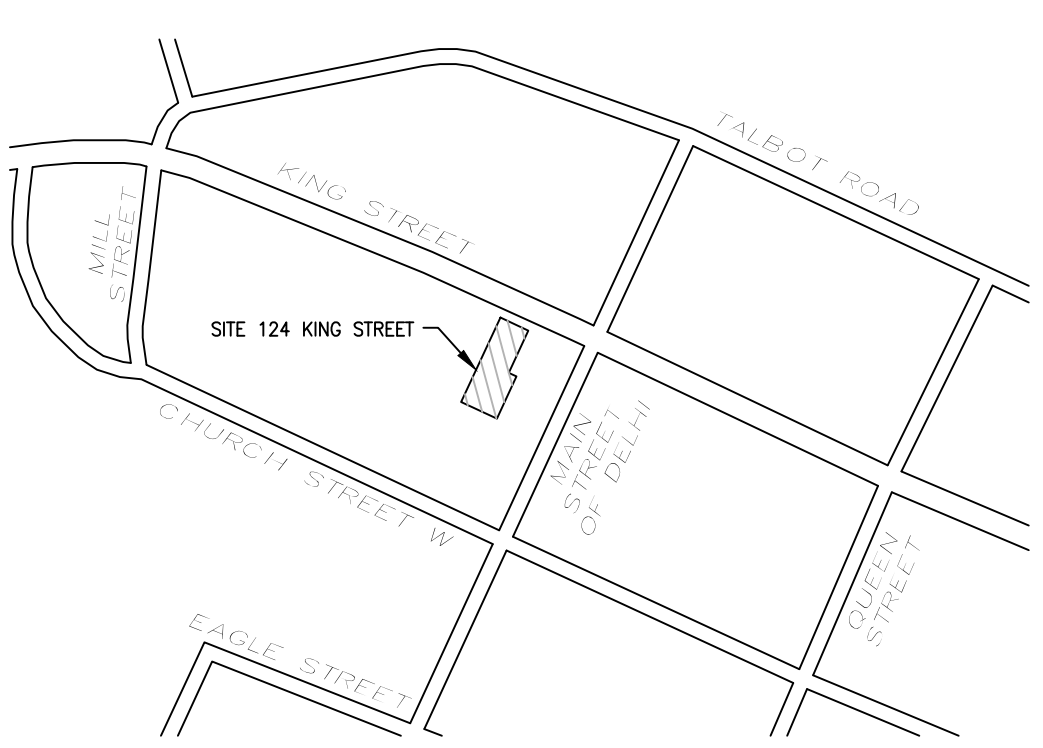
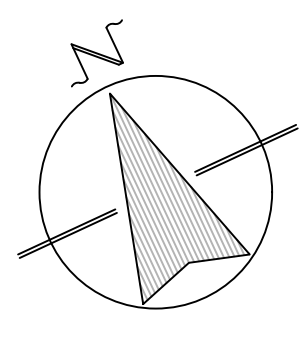
Drawings

KING STREET

MAIN STREET OF DELHI

LEGEND

- SANITARY MANHOLE
- STORM MANHOLE
- CATCHBASIN
- ⊗ FIRE HYDRANT
- ⊗ WATER VALVE
- EXISTING STORM MANHOLE
- EXISTING SANITARY MANHOLE
- ⊗ EXISTING WATER VALVE
- LIMIT OF DEVELOPMENT
- STREET LIGHT
- ⊗ BELL PEDESTAL
- ⊗ STOP SIGN (RA-1)
- ⊗ HANDICAP SIGN
- 87.0 EXISTING GROUND CONTOUR
- + 123.45 PROPOSED FINISHED GRADE
- EXISTING GROUND GRADE
- 2.0% SLOPE LABEL
- T/C TOP OF CURB ELEVATION
- B/C BOTTOM OF CURB ELEVATION (GUTTER ELEVATION)



KEY PLAN

GENERAL NOTES

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- PAVEMENT DESIGN AS FOLLOWS:
 - 40mm HLB SURFACE COURSE
 - 75mm HLB BASE COURSE
 - 150mm OF GRANULAR 'A'
 - 225mm OF GRANULAR 'B'

5.				
4.				
3.				
2.				
1.	ISSUED FOR SUBMISSION	MON YYYY	X.X.	
No.	REVISIONS	Date	By	Approved



Designed By:

Approved By



DELHI - SENTRY
MIXED USE BUILDING
124 KING STREET, DELHI, ONTARIO

SITE GRADING PLAN

Scale: 1:100

Project No.

HD-2201

Drawn By: C.G.

Designed By: C.G.

Drawing No.

SG-1

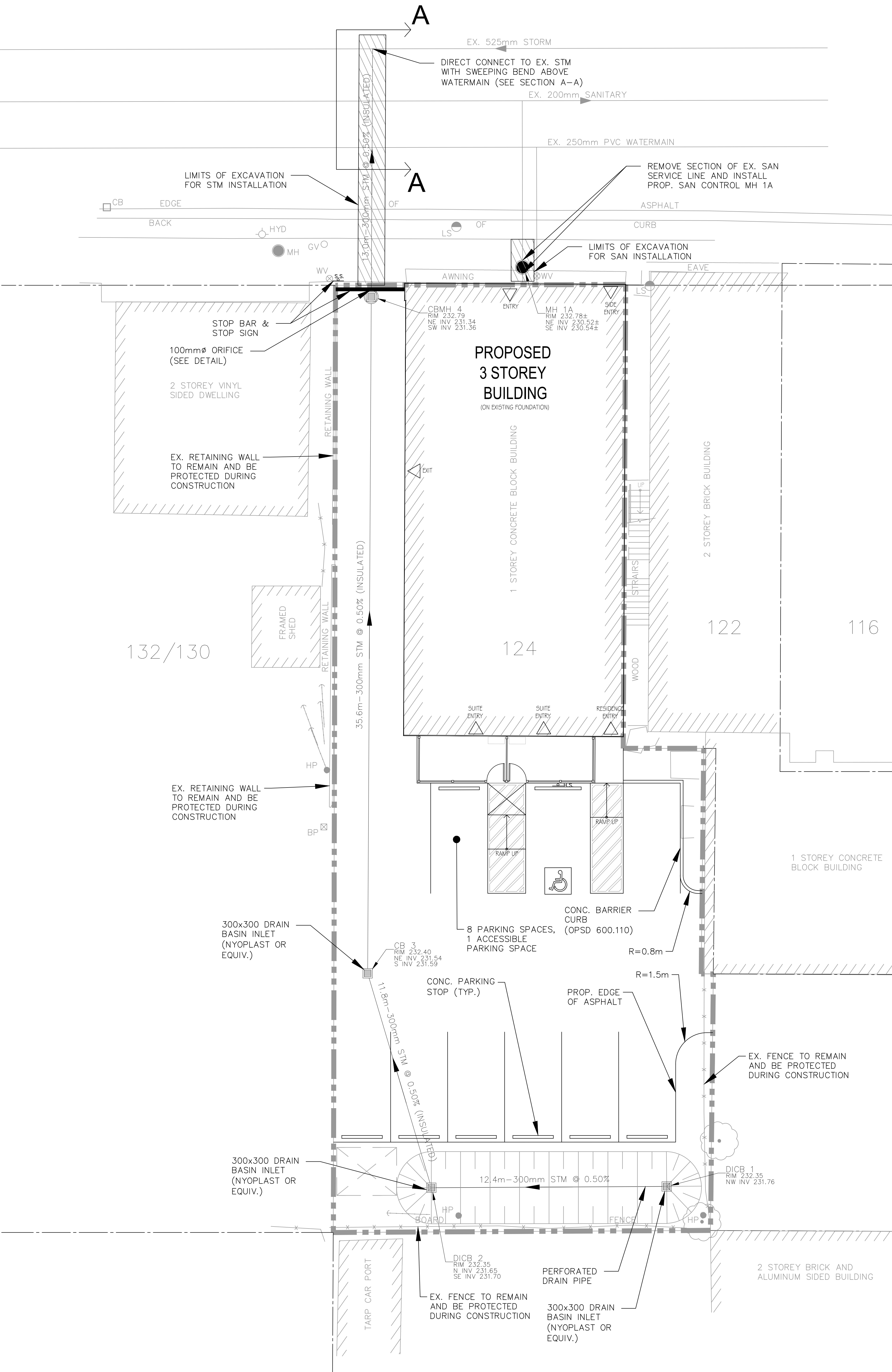
Checked By: N.H.

Date: JANUARY 2022

SITE BENCHMARK BENCHMARK LOCATION ELEV. 233.66m
TOP NUT OF FIRE HYDRANT LOCATED WEST OF SUBJECT PROPERTY.
ELEVATIONS ARE REFERRED TO CANADIAN GEODETIC DATUM, CGVD 1928 VERTICAL DATUM.

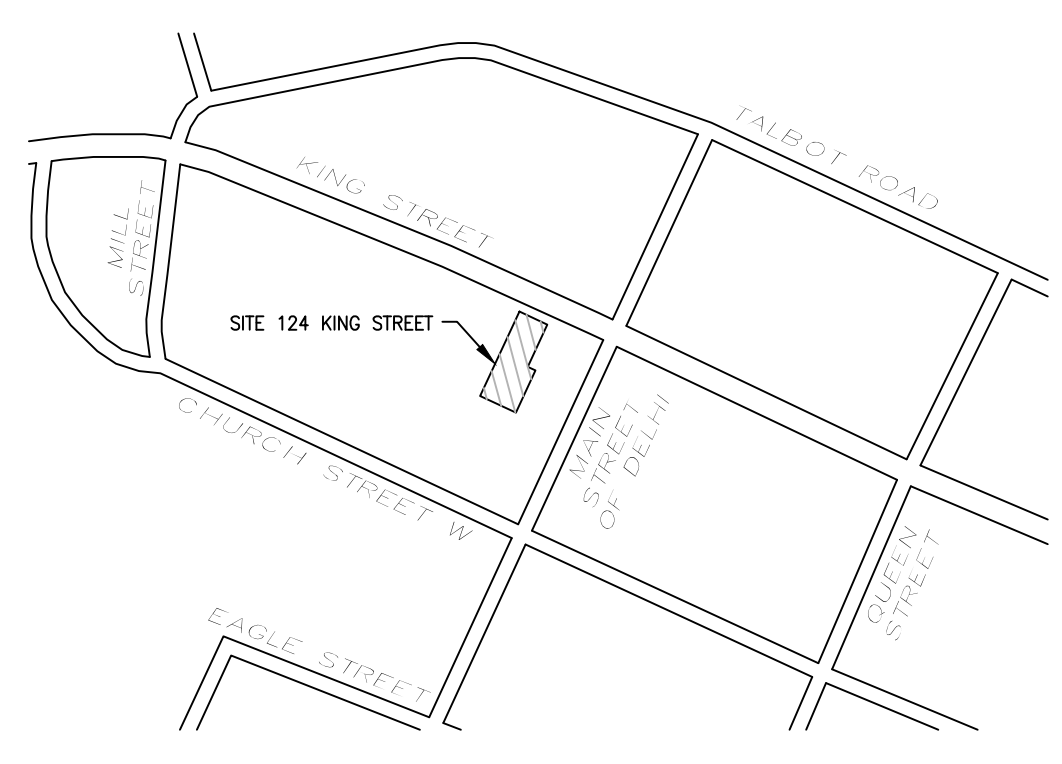
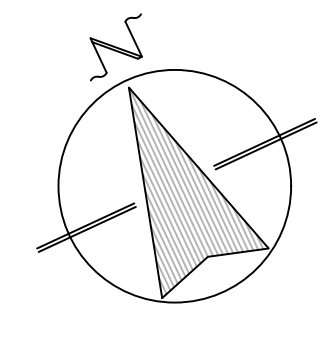
KING STREET

MAIN STREET OF DELHI



LEGEND

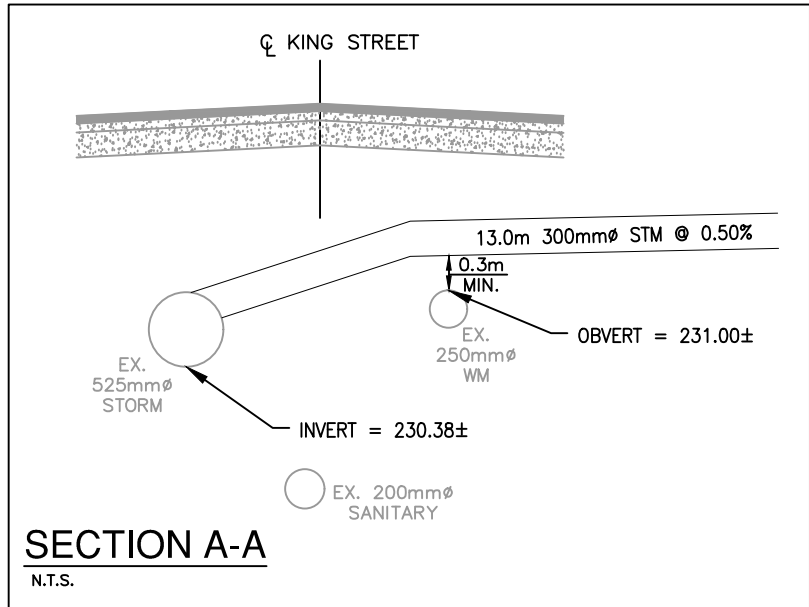
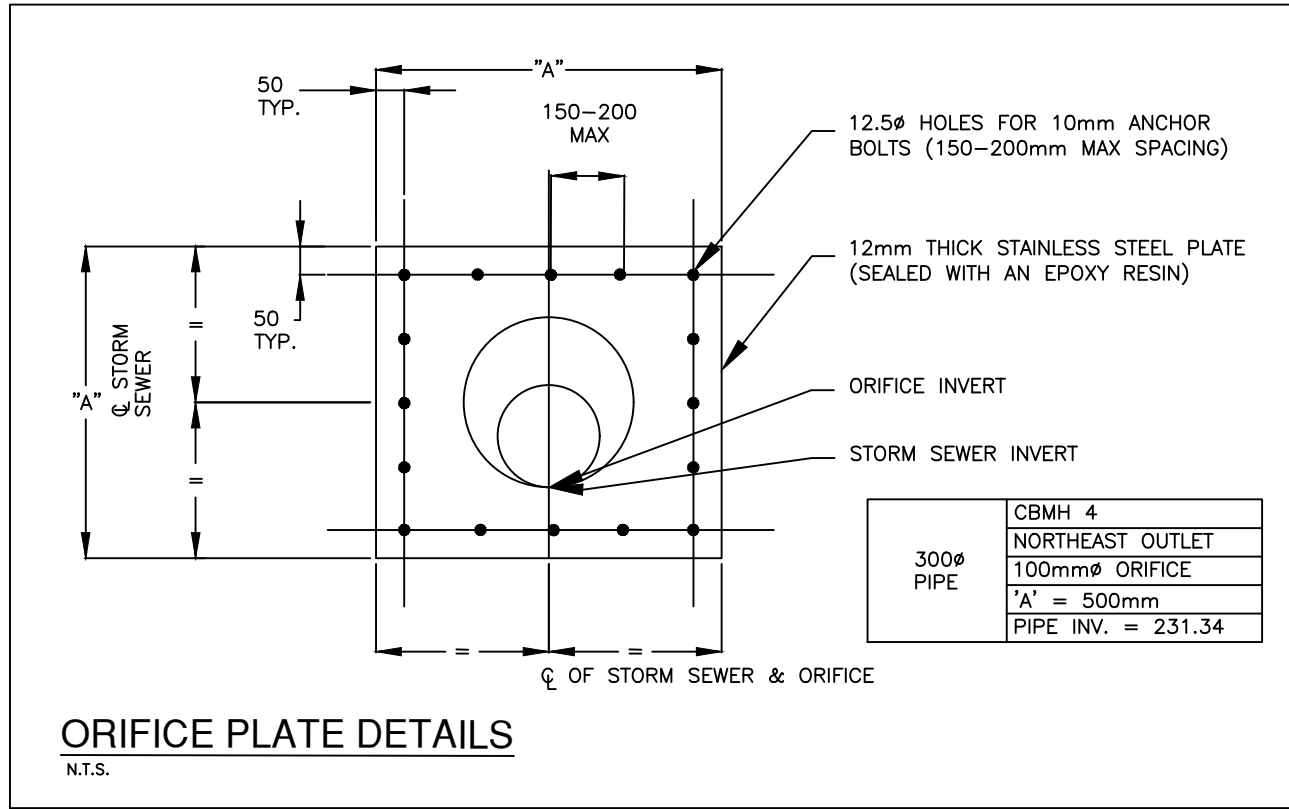
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- STORM MANHOLE
- CATCHBASIN
- FIRE HYDRANT
- WATER VALVE
- EXISTING STORM MANHOLE
- EXISTING SANITARY MANHOLE
- EXISTING WATER VALVE
- LIMIT OF DEVELOPMENT
- STREET LIGHT
- BELL PEDESTAL
- STOP SIGN (RA-1)
- H.S.
- HANDICAP SIGN



KEY PLAN
N.T.S.

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 - 75mm HLB BASE COURSE
 - 150mm OF GRANULAR 'A'
 - 225mm OF GRANULAR 'B'



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1.	ISSUED FOR SUBMISSION	MON YYYY	X.X.	
No.	REVISIONS	Date	By	Approved



Designed By:

Approved By

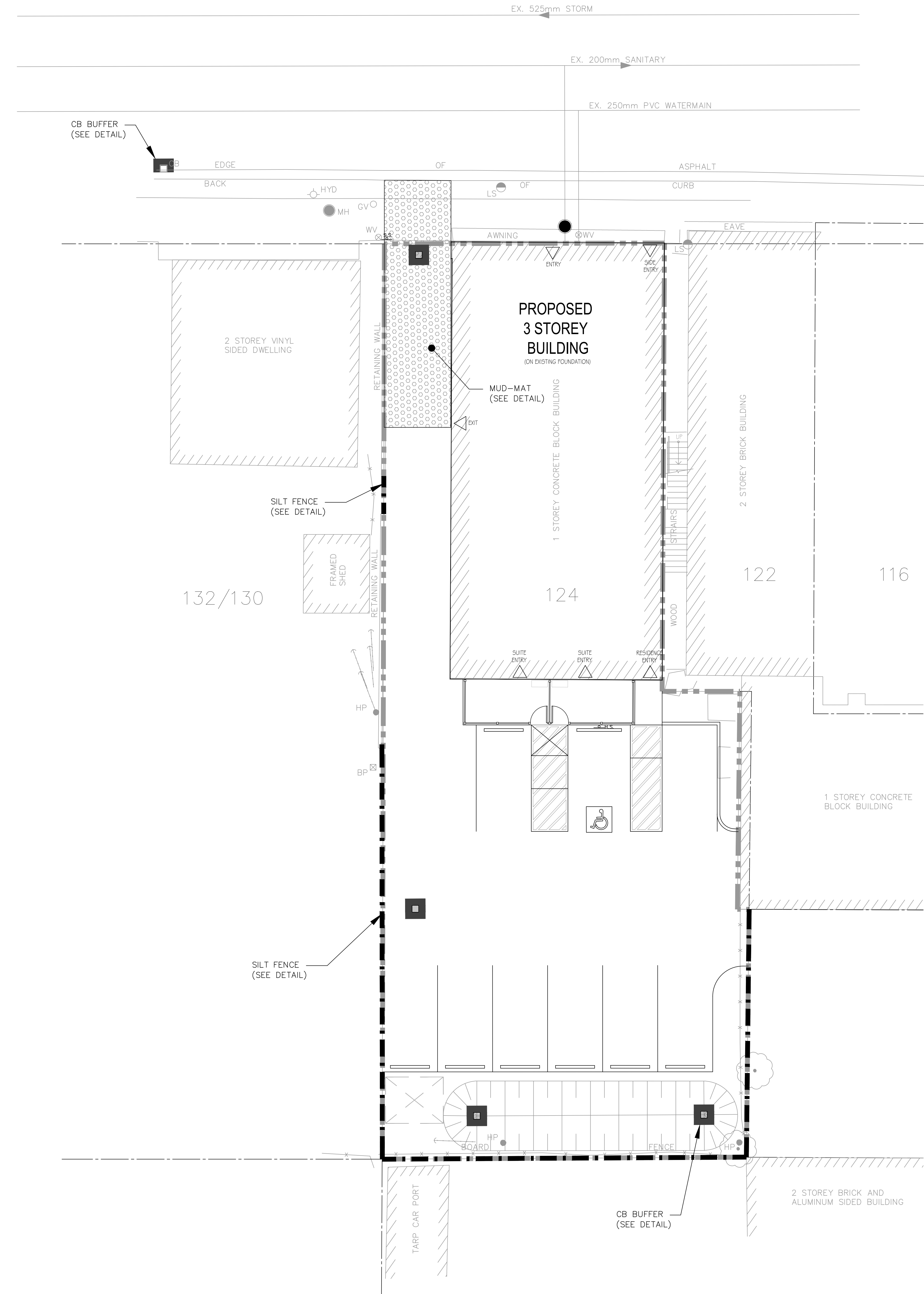


**DELHI - SENTRY
MIXED USE BUILDING**
124 KING STREET, DELHI, ONTARIO

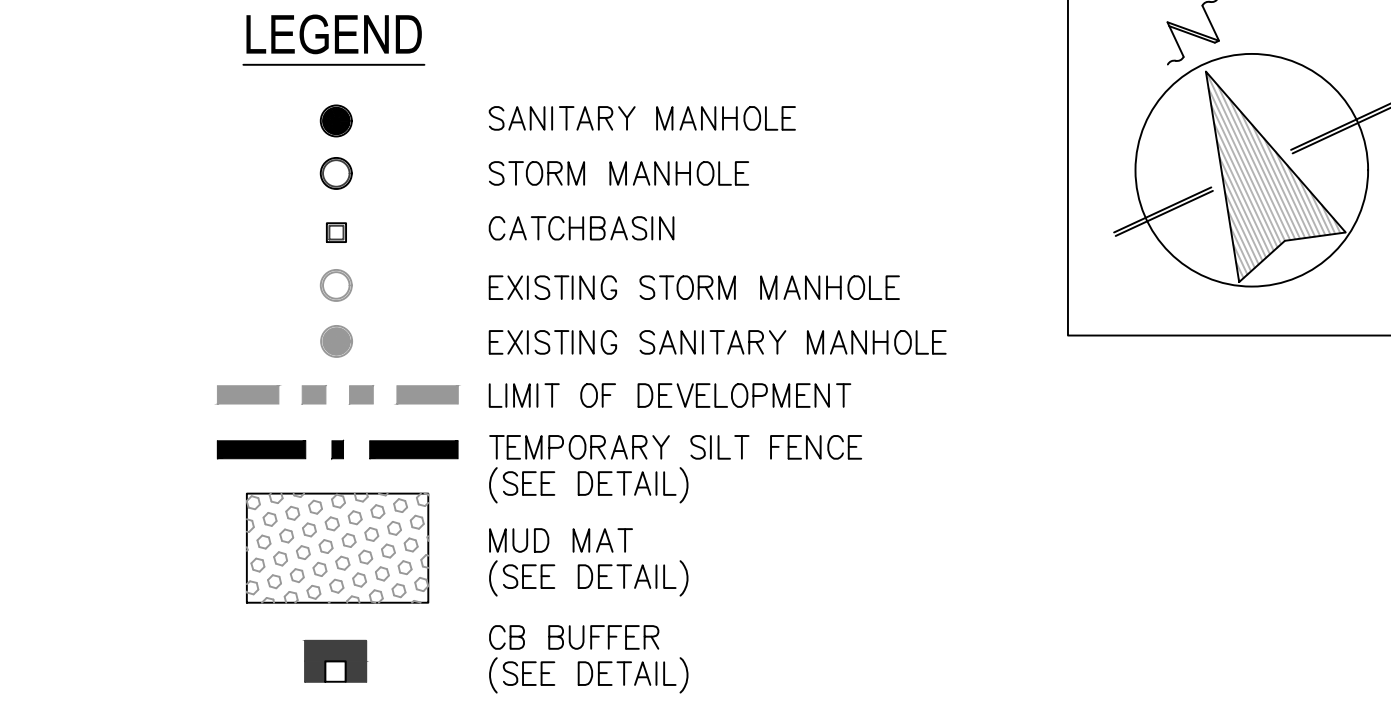
SITE SERVICING PLAN

Scale:	1:100	Project No.	HD-2201
Drawn By:	C.G.	Drawing No.	SS-1
Designed By:	J.A.		
Checked By:	N.H.		
Date:	JANUARY 2022		

KING STREET



MAIN STREET OF DELHI



TEMPORARY EROSION AND SEDIMENT CONTROL GENERAL NOTES

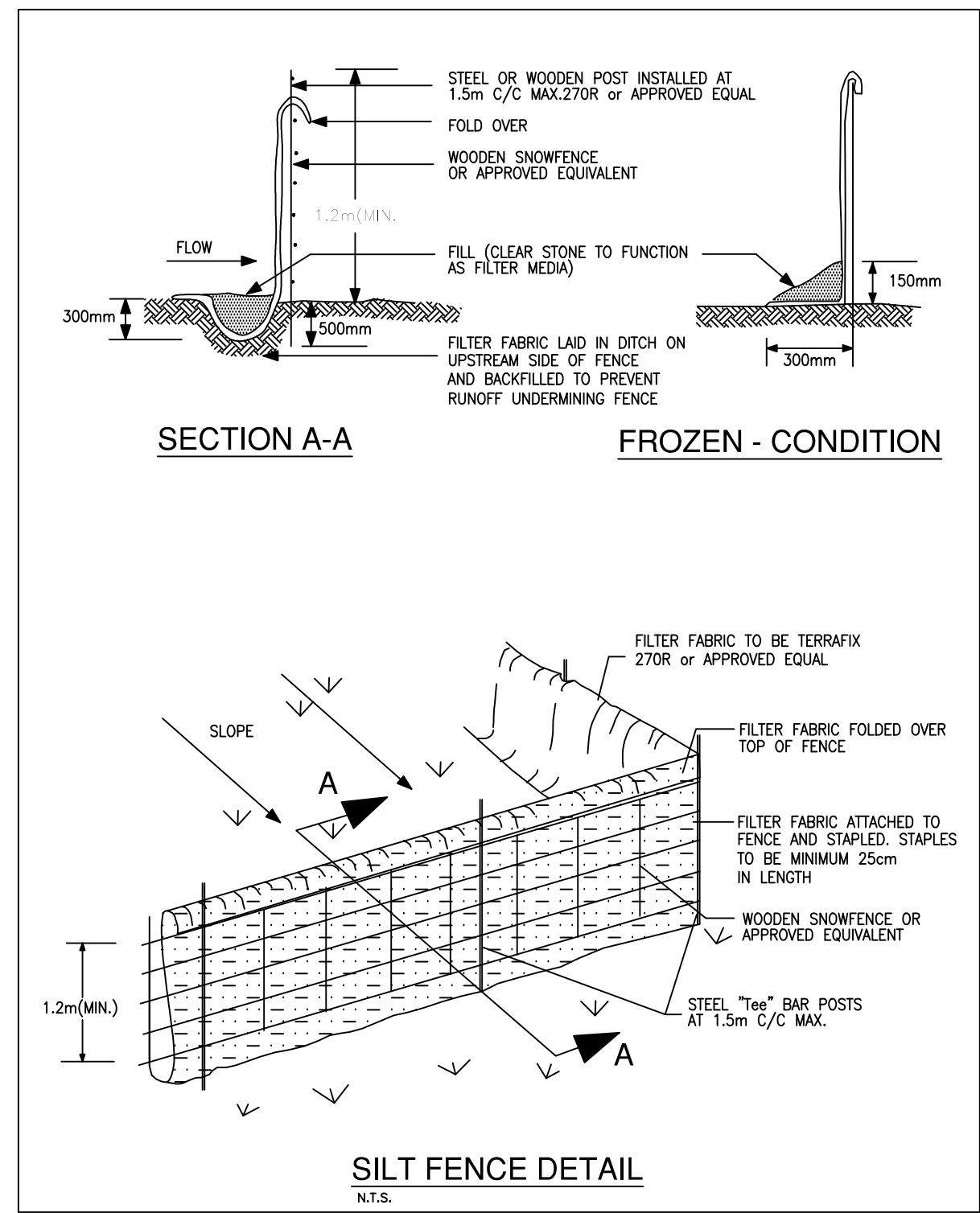
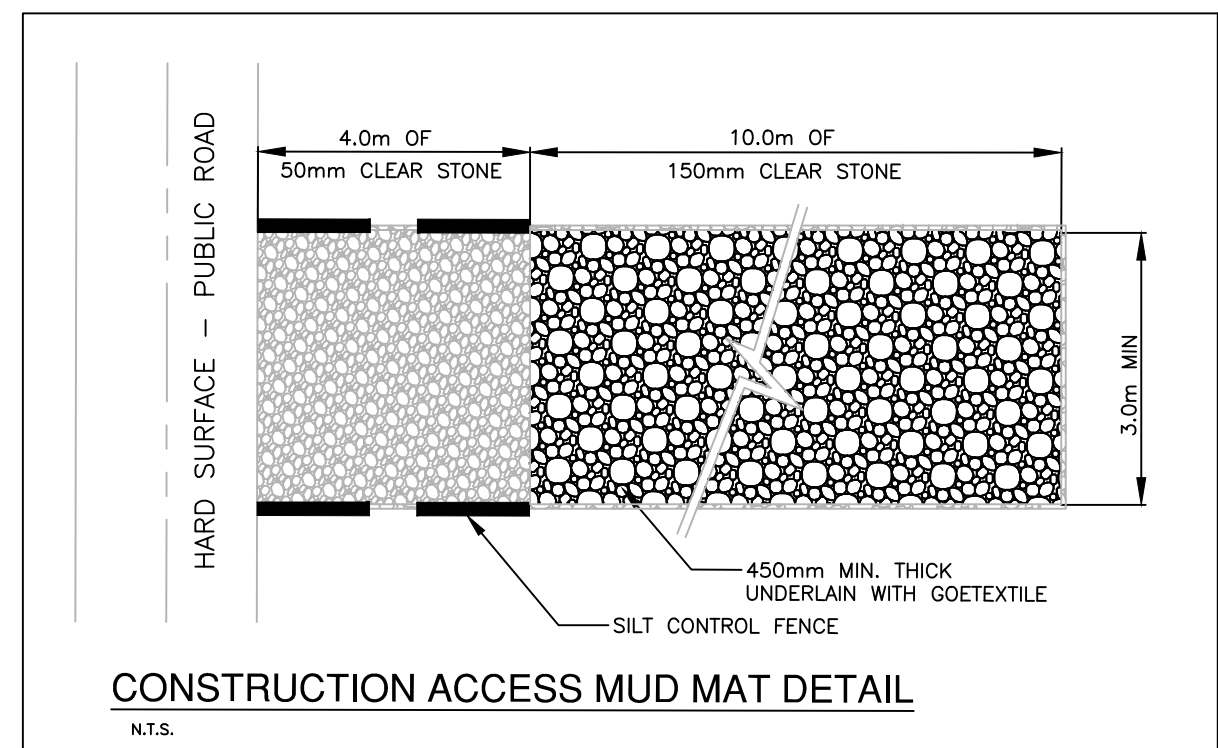
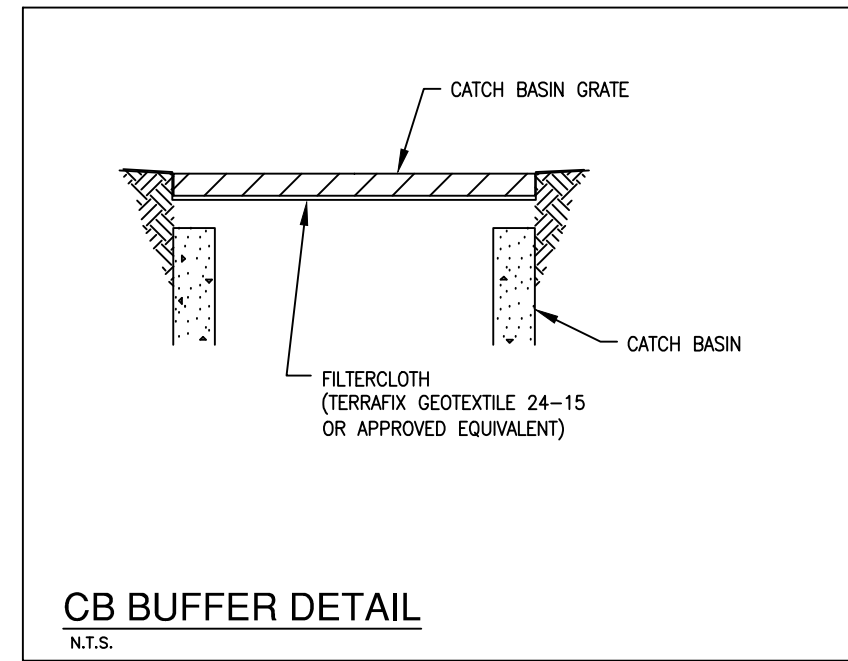
1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER INSTALLATION, MAINTENANCE AND REMOVAL OF ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES DURING CONSTRUCTION, AS DIRECTED BY THE ENGINEER. THE CONTRACTOR MUST COMPLETE WEEKLY INSPECTIONS AS WELL AS AFTER RAINFALL EVENTS AND MAKE ANY NECESSARY REPAIRS.
2. THE LOCATION OF EROSION AND SEDIMENT CONTROL DETAILS ARE SHOWN SCHEMATICALLY ON THIS DRAWING.
3. MUD MATS AND SILT FENCE ARE TO BE CONSTRUCTED AND IN PLACE PRIOR TO TOPSOIL REMOVAL AND THE START OF GRADING OPERATIONS.
4. CATCHBASIN BUFFERS SHALL BE INSTALLED ON ALL CATCHBASINS UPON COMPLETION OF SERVICING.
5. DURING GRADING OPERATIONS, ALL STORM RUNOFF SHALL BE CONTROLLED TO PREVENT SURFACE RUNOFF FROM LEAVING THE SITE UNTREATED.
6. ALL EROSION AND SEDIMENT CONTROLS SHALL BE INSPECTED REGULARLY AND CLEANED OR REPLACED AS REQUIRED.
7. TEMPORARY EROSION AND SEDIMENT CONTROLS SHALL BE KEPT IN PLACE AND FUNCTIONAL UNTIL THE SITE IS STABILIZED.
8. ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES MAY BE REQUIRED AND SHALL BE DETERMINED BY THE ENGINEER.
9. SERVICING OF CONSTRUCTION EQUIPMENT ON SITE IS PROHIBITED.

GOOD HOUSEKEEPING MEASURES - MUD/DUST CONTROL

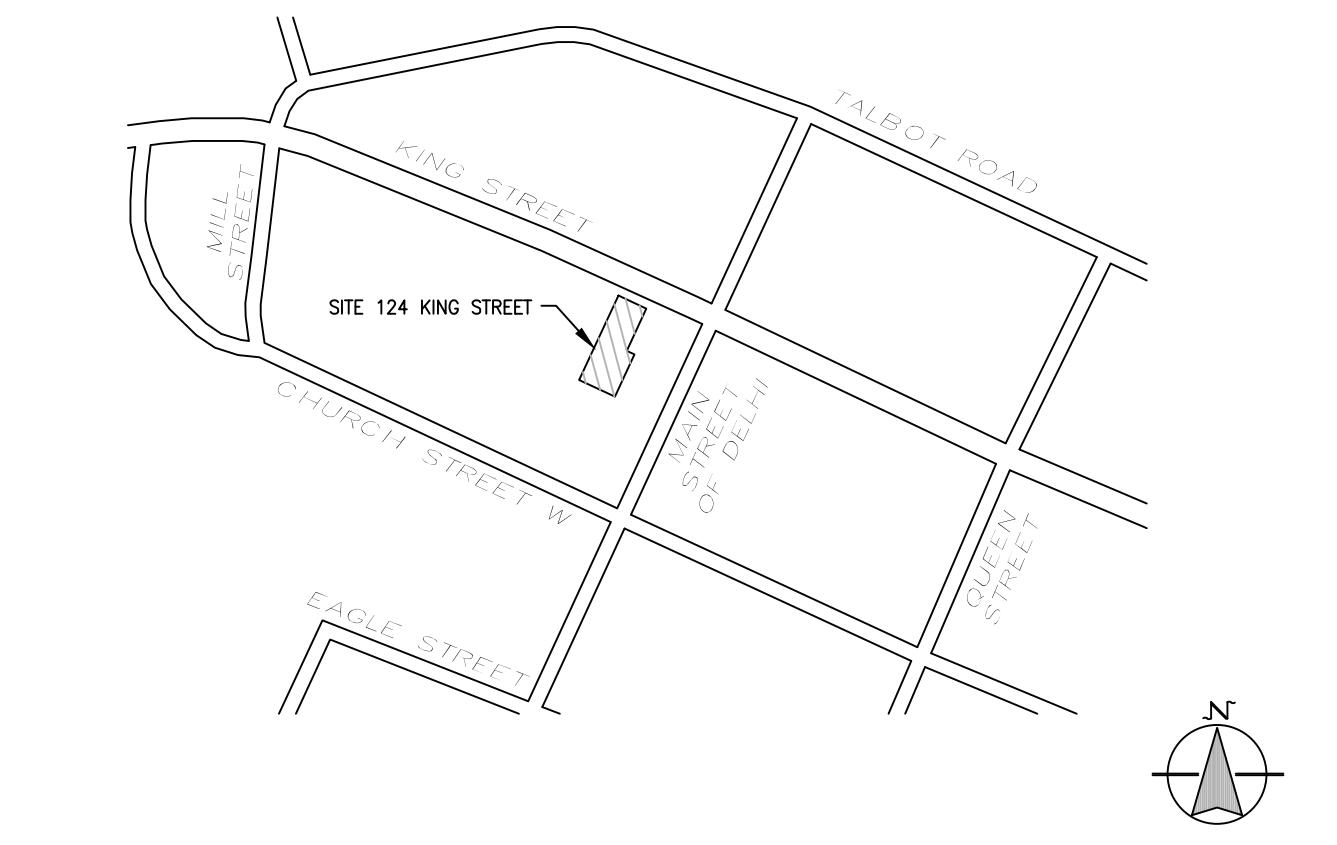
1. NO CONSTRUCTION ACTIVITY OR MACHINERY SHALL INTRUDE BEYOND THE SILT/SNOW FENCE OF LIMIT OF DEVELOPMENT. ALL CONSTRUCTION VEHICLES SHALL LEAVE THE SITE AT DESIGNATED LOCATIONS AS SHOWN ON THE PLANS.
2. CLEANING OF EXISTING ROAD(S) AT SITE ACCESS POINTS AND SITE DUST MONITORING SHALL BE DONE DAILY DURING CONSTRUCTION OR AS NECESSARY THROUGH REGULAR INSPECTION OR AS DIRECTED BY THE ENGINEER.
3. ALL EXPOSED SOILS SHALL IMMEDIATELY BE STABILIZED WITH A SEED AND MULCH APPLICATION AS DIRECTED BY THE ENGINEER.
4. CLEANING AND REPAIRS OF CHECK DAMS, MUD MATS AND ANY OTHER TEMPORARY SEDIMENT CONTROL MEASURES SHALL BE DONE AS NECESSARY THROUGH REGULAR INSPECTION OF AS DIRECTED BY THE ENGINEER.
5. SEDIMENT/SILT SHALL BE REMOVED FROM THE SEDIMENT CONTROL DEVICES, AFTER STORM EVENTS AND DISPOSE OF IN AREAS AS APPROVED BY THE ENGINEER.
6. ALL REGRADED AREAS WITHIN THE DEVELOPMENT WHICH ARE NOT OCCUPIED BY DWELLINGS, ROADWAYS, SIDEWALKS OR DRIVEWAYS SHALL BE TOPSOILED AND SODDED/SEEDED IMMEDIATELY AFTER COMPLETION OF FINAL GRADING OPERATIONS AS DIRECTED BY THE ENGINEER.
7. DUST CONTROL TO BE REVIEWED DAILY. WATER TRUCK TO BE PROVIDED ON-SITE AND ALL HAUL ROADS/WORKING AREAS TO BE SPRAYED WITH WATER AS REQUIRED TO ENSURE DUST IS CONTROLLED ON-SITE.
8. ALL LITTER AND DEBRIS SHALL BE MONITORED AND DISPOSED OF DAILY OR AS NECESSARY THROUGH REGULAR INSPECTION.

CONSTRUCTION STAGING & REQUIRED MEASURES

- CLEARING AND GRUBBING
- SILT/SNOW FENCE
 - MUD MAT
- ROUGH GRADING AND SERVICING
- SILT/SNOW FENCE
 - MUD MAT
- BUILDING CONSTRUCTION
- SILT/SNOW FENCE
 - MUD MAT
- CATCHBASIN BUFFERS
- BUILDING COMPLETION
- DECOMMISSION ALL SEDIMENT CONTROL MEASURES
 - RESTORE ALL DISTURBED AREAS



SITE BENCHMARK BENCHMARK LOCATION ELEV. 233.66m
TOP NUT OF FIRE HYDRANT LOCATED WEST OF SUBJECT PROPERTY.
ELEVATIONS ARE REFERRED TO CANADIAN GEODETIC DATUM, CGVD 1928 VERTICAL DATUM.



KEY PLAN
N.T.S.

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1.	ISSUED FOR SUBMISSION	MON YYYY	X.X.		
No.	REVISIONS	Date	By	Approved	



Designed By: Approved By: P. Eng.



DELHI - SENTRY
MIXED USE BUILDING
124 KING STREET, DELHI, ONTARIO

EROSION & SEDIMENTATION
CONTROL PLAN

Scale:	1:100	Project No.	HD-2201
Drawn By:	C.G.	Drawing No.	ERS-1
Designed By:	J.A.		
Checked By:	N.H.		
Date:	JANUARY 2022		