

File Number	SPPL2022343
Related File Number	
Pre-consultation Meeting	
Application Submitted	
Complete Application	

Public Notice Sign \_\_\_\_\_  
Application Fee \_\_\_\_\_  
Conservation Authority Fee \_\_\_\_\_  
Well & Septic Info Provided \_\_\_\_\_  
Planner \_\_\_\_\_

- ☐ Official Plan Amendment
- ☐ Zoning By-Law Amendment
- ☐ Temporary Use By-law
- ☐ Draft Plan of Subdivision/Vacant Land Condominium
- ☐ Condominium Exemption
- ☐ Site Plan Application
- ☐ Extension of a Temporary Use By-law
- ☐ Part Lot Control
- ☐ Cash-in-Lieu of Parking
- ☐ Renewable Energy Project or Radio Communication Tower

To acquire necessary permissions and approval from the county to successfully retrofit an existing greenhouse for the purpose of Cannabis production and processing

**Property Assessment Roll Number:** 3310491020110000000



## A. Applicant Information

**Name of Owner** William Geert Nightingale

It is the responsibility of the owner or applicant to notify the planner of any changes in ownership within 30 days of such a change.

**Address** 1492 Windham Road 19

**Town and Postal Code** La Salette, Ontario, N0E 1H0

**Phone Number** 519-582-2461

**Cell Number** 519-429-4962

**Email** bnightingale@kwic.com

**Name of Applicant** William Geert Nightingale

**Address** 1796 Windham Road 9

**Town and Postal Code** Windham Centre, Ontario, N0E 2A0

**Phone Number** 519-582-2461

**Cell Number** 519-429-4962

**Email** bnightingale@kwic.com

**Name of Agent** Mike Tavangari

**Address** 3 Countryside Lane

**Town and Postal Code** Thorndale, Ontario, N0M 2P0

**Phone Number**

**Cell Number** 647-973-3737

**Email** miket092013@gmail.com

Please specify to whom all communications should be sent. Unless otherwise directed, all correspondence and notices in respect of this application will be forwarded to both owner and agent noted above.

☒ Owner

☒ Agent

☒ Applicant

Names and addresses of any holder of any mortgagees, charges or other encumbrances on the subject lands:

\_\_\_\_\_  
\_\_\_\_\_



## B. Location, Legal Description and Property Information

1. Legal Description (include Geographic Township, Concession Number, Lot Number, Block Number and Urban Area or Hamlet):

1492 Windham Road 19 - Conc 9 PT Lots 21 and 22 and RP37R9859

Municipal Civic Address: 1492 Windham road 19

Present Official Plan Designation(s): Hazard Lands and Agricultural

Present Zoning: Hazard Lands and Agricultural

2. Is there a special provision or site specific zone on the subject lands?

☐ Yes ☒ No If yes, please specify corresponding number:

3. Present use of the subject lands:

Growing, processing and packaging vegetables for the Ontario market

4. Please describe **all existing** buildings or structures on the subject lands and whether they are to be retained, demolished or removed. If retaining the buildings or structures, please describe the type of buildings or structures, and illustrate the setback, in metric units, from front, rear and side lot lines, ground floor area, gross floor area, lot coverage, number of storeys, width, length, and height on your attached sketch which must be included with your application:

No building or structures to be added or removed. Buildings on land include: greenhouses, barns and office building

5. If an addition to an existing building is being proposed, please explain what it will be used for (for example: bedroom, kitchen, or bathroom). If new fixtures are proposed, please describe.

no additions proposed

6. Please describe **all proposed** buildings or structures/additions on the subject lands. Describe the type of buildings or structures/additions, and illustrate the setback, in metric units, from front, rear and side lot lines, ground floor area, gross floor area, lot coverage, number of storeys, width, length, and height on your attached sketch which must be included with your application:

please refer to Site Plan Drawings



7. Are any existing buildings on the subject lands designated under the *Ontario Heritage Act* as being architecturally and/or historically significant? Yes ☐ No ☐

If yes, identify and provide details of the building:

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8. If known, the length of time the existing uses have continued on the subject lands:

unknown

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9. Existing use of abutting properties:

Agricultural/ Residential

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10. Are there any easements or restrictive covenants affecting the subject lands?

☐ Yes ☒ No If yes, describe the easement or restrictive covenant and its effect:

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### C. Purpose of Development Application

**Note: Please complete all that apply.**

1. Please explain what you propose to do on the subject lands/premises which makes this development application necessary:

Cannabis Production and Processing

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2. Please explain why it is not possible to comply with the provision(s) of the Zoning By-law/and or Official Plan:

n/a

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3. Does the requested amendment alter all or any part of the boundary of an area of settlement in the municipality or implement a new area of settlement in the municipality? ☐ Yes ☒ No If yes, describe its effect:

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4. Does the requested amendment remove the subject land from an area of employment? ☐ Yes ☒ No If yes, describe its effect:

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5. Does the requested amendment alter, replace, or delete a policy of the Official Plan?  
☐ Yes ☒ No If yes, identify the policy, and also include a proposed text of the policy amendment (if additional space is required, please attach a separate sheet):

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6. Description of land intended to be severed in metric units:

Frontage: n/a

Depth:

Width:

Lot Area:

Present Use:

Proposed Use:

Proposed final lot size (if boundary adjustment):

If a boundary adjustment, identify the assessment roll number and property owner of the lands to which the parcel will be added:

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Description of land intended to be retained in metric units:

Frontage: n/a

Depth:

Width:

Lot Area:

Present Use:

Proposed Use:

Buildings on retained land:

7. Description of proposed right-of-way/easement:

Frontage: n/a

Depth:

Width:

Area:

Proposed use:

8. Name of person(s), if known, to whom lands or interest in lands to be transferred, leased or charged (if known):

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## 9. Site Information

## Zoning

## Proposed

Please indicate unit of measurement, for example: m, m<sup>2</sup> or %

Lot frontage	30m	30m+
Lot depth	n/a	n/a
Lot width	n/a	n/a
Lot area	40h	40.5h
Lot coverage	n/a	2.1%
Front yard	13m	20.6m
Rear yard	9m	38m
Left Interior side yard	3m	1100 +/-
Right Interior side yard	3m	10.17
Exterior side yard (corner lot)	n/a	n/a
Landscaped open space	n/a	n/a
Entrance access width	n/a	11m
Exit access width	n/a	11m
Size of fencing or screening	n/a	8' high metal
Type of fencing	n/a	chainlink

## 10. Building Size

Number of storeys	n/a	1 storey
Building height	n/a	3.6 eave height
Total ground floor area	n/a	2945msq
Total gross floor area	n/a	2945msq
Total useable floor area	n/a	2945msq

## 11. Off Street Parking and Loading Facilities

Number of off street parking spaces	42	65+
Number of visitor parking spaces	n/a	n/a
Number of accessible parking spaces	1	1
Number of off street loading facilities	1	1



12. Residential (if applicable)

Number of buildings existing: n/a

Number of buildings proposed: \_\_\_\_\_

Is this a conversion or addition to an existing building? ☐ Yes ☒ No

If yes, describe: \_\_\_\_\_

Type	Number of Units	Floor Area per Unit in m2
Single Detached	_____	_____
Semi-Detached	_____	_____
Duplex	_____	_____
Triplex	_____	_____
Four-plex	_____	_____
Street Townhouse	_____	_____
Stacked Townhouse	_____	_____
Apartment - Bachelor	_____	_____
Apartment - One bedroom	_____	_____
Apartment - Two bedroom	_____	_____
Apartment - Three bedroom	_____	_____

Other facilities provided (for example: play facilities, underground parking, games room, or swimming pool):

13. Commercial/Industrial Uses (if applicable)

Number of buildings existing: 8 buildings

Number of buildings proposed: 8 buildings

Is this a conversion or addition to an existing building? ☐ Yes ☒ No

If yes, describe:

n/a no proposed construction

Indicate the gross floor area by the type of use (for example: office, retail, or storage):

n/a no proposed construction



Seating Capacity (for assembly halls or similar): n/a

Total number of fixed seats: \_\_\_\_\_

Describe the type of business(es) proposed: \_\_\_\_\_

Total number of staff proposed initially: \_\_\_\_\_

Total number of staff proposed in five years: \_\_\_\_\_

Maximum number of staff on the largest shift: \_\_\_\_\_

Is open storage required: ☐ Yes ☐ No

Is a residential use proposed as part of, or accessory to commercial/industrial use?

☐ Yes ☐ No If yes please describe:

\_\_\_\_\_  
\_\_\_\_\_

14. Institutional (if applicable)

Describe the type of use proposed: n/a

Seating capacity (if applicable): \_\_\_\_\_

Number of beds (if applicable): \_\_\_\_\_

Total number of staff proposed initially: \_\_\_\_\_

Total number of staff proposed in five years: \_\_\_\_\_

Maximum number of staff on the largest shift: \_\_\_\_\_

Indicate the gross floor area by the type of use (for example: office, retail, or storage):

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

15. Describe Recreational or Other Use(s) (if applicable)

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_



#### D. Previous Use of the Property

1. Has there been an industrial or commercial use on the subject lands or adjacent lands? ☐ Yes ☒ No ☐ Unknown

If yes, specify the uses (for example: gas station or petroleum storage):

Agricultural

2. Is there reason to believe the subject lands may have been contaminated by former uses on the site or adjacent sites? ☐ Yes ☒ No ☐ Unknown

3. Provide the information you used to determine the answers to the above questions:  
info from owner

4. If you answered yes to any of the above questions in Section D, a previous use inventory showing all known former uses of the subject lands, or if appropriate, the adjacent lands, is needed. Is the previous use inventory attached? ☐ Yes ☐ No

#### E. Provincial Policy

1. Is the requested amendment consistent with the provincial policy statements issued under subsection 3(1) of the *Planning Act, R.S.O. 1990, c. P. 13*? ☒ Yes ☐ No

If no, please explain:

2. It is owner's responsibility to be aware of and comply with all relevant federal or provincial legislation, municipal by-laws or other agency approvals, including the Endangered Species Act, 2007. Have the subject lands been screened to ensure that development or site alteration will not have any impact on the habitat for endangered or threatened species further to the provincial policy statement subsection 2.1.7? ☒ Yes ☐ No

If no, please explain:



3. Have the subject lands been screened to ensure that development or site alteration will not have any impact on source water protection? ☒ Yes ☐ No

If no, please explain:

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Note: If in an area of source water Wellhead Protection Area (WHPA) A, B or C please attach relevant information and approved mitigation measures from the Risk Manager Official.

4. Are any of the following uses or features on the subject lands or within 500 metres of the subject lands, unless otherwise specified? Please check boxes, if applicable.

**Livestock facility or stockyard** (submit MDS Calculation with application)

☐ On the subject lands or ☐ within 500 meters – distance no

**Wooded area**

☐ On the subject lands or ☐ within 500 meters – distance no

**Municipal Landfill**

☐ On the subject lands or ☐ within 500 meters – distance no

**Sewage treatment plant or waste stabilization plant**

☐ On the subject lands or ☐ within 500 meters – distance no

**Provincially significant wetland (class 1, 2 or 3) or other environmental feature**

☐ On the subject lands or ☒ within 500 meters – distance within 50 meters

**Floodplain**

☐ On the subject lands or ☐ within 500 meters – distance no

**Rehabilitated mine site**

☐ On the subject lands or ☐ within 500 meters – distance no

**Non-operating mine site within one kilometre**

☐ On the subject lands or ☐ within 500 meters – distance no

**Active mine site within one kilometre**

☐ On the subject lands or ☐ within 500 meters – distance no

**Industrial or commercial use (specify the use(s))**

☐ On the subject lands or ☐ within 500 meters – distance no

**Active railway line**

☐ On the subject lands or ☐ within 500 meters – distance no

**Seasonal wetness of lands**

☐ On the subject lands or ☐ within 500 meters – distance no

**Erosion**

☐ On the subject lands or ☐ within 500 meters – distance no

**Abandoned gas wells**

☐ On the subject lands or ☐ within 500 meters – distance no



## F. Servicing and Access

1. Indicate what services are available or proposed:

### Water Supply

☐ Municipal piped water

☒ Individual wells

☐ Communal wells

☐ Other (describe below)

### Sewage Treatment

☐ Municipal sewers

☒ Septic tank and tile bed in good working order

☐ Communal system

☐ Other (describe below)

### Storm Drainage

☐ Storm sewers

☐ Other (describe below)

☒ Open ditches

2. Existing or proposed access to subject lands:

☒ Municipal road

☐ Unopened road

☐ Provincial highway

☐ Other (describe below)

Name of road/street: Windham road 19

## G. Other Information

1. Does the application involve a local business? ☒ Yes ☐ No

If yes, how many people are employed on the subject lands?

20

2. Is there any other information that you think may be useful in the review of this application? If so, explain below or attach on a separate page.

yes, please see attached documents



## H. Supporting Material to be submitted by Applicant

In order for your application to be considered complete, **folded** hard copies (number of paper copies as directed by the planner) and an **electronic version (PDF) of the properly named site plan drawings, additional plans, studies and reports** will be required, including but not limited to the following details:

1. Concept/Layout Plan
2. All measurements in metric
3. Key map
4. Scale, legend and north arrow
5. Legal description and municipal address
6. Development name
7. Drawing title, number, original date and revision dates
8. Owner's name, address and telephone number
9. Engineer's name, address and telephone number
10. Professional engineer's stamp
11. Existing and proposed easements and right of ways
12. Zoning compliance table – required versus proposed
13. Parking space totals – required and proposed
14. All entrances to parking areas marked with directional arrows
15. Loading spaces, facilities and routes (for commercial developments)
16. All dimensions of the subject lands
17. Dimensions and setbacks of all buildings and structures
18. Location and setbacks of septic system and well from all existing and proposed lot lines, and all existing and proposed structures
19. Gross, ground and useable floor area
20. Lot coverage
21. Floor area ratio
22. Building entrances, building type, height, grades and extent of overhangs
23. Names, dimensions and location of adjacent streets including daylighting triangles
24. Driveways, curbs, drop curbs, pavement markings, widths, radii and traffic directional signs
25. All exterior stairways and ramps with dimensions and setbacks
26. Retaining walls including materials proposed
27. Fire access and routes
28. Location, dimensions and number of parking spaces (including visitor and accessible) and drive aisles
29. Location of mechanical room, and other building services (e.g. A/C, HRV)
30. Refuse disposal and storage areas including any related screening (if indoors, need notation on site plan)
31. Winter snow storage location



32. Landscape areas with dimensions
33. Natural features, watercourses and trees
34. Fire hydrants and utilities location
35. Fencing, screening and buffering – size, type and location
36. All hard surface materials
37. Light standards and wall mounted lights (plus a note on the site plan that all outdoor lighting is to be dark sky compliant)
38. Business signs (make sure they are not in sight lines)
39. Sidewalks and walkways with dimensions
40. Pedestrian access routes into site and around site
41. Bicycle parking
42. Architectural elevations of all building sides
43. All other requirements as per the pre-consultation meeting

In addition, the following additional plans, studies and reports, including but not limited to, **may** also be required as part of the complete application submission:

- ☐ Zoning Deficiency Form
- ☐ On-Site Sewage Disposal System Evaluation Form (to verify location and condition)
- ☐ Architectural Plan
- ☐ Buildings Elevation Plan
- ☐ Cut and Fill Plan
- ☐ Erosion and Sediment Control Plan
- ☐ Grading and Drainage Control Plan (around perimeter and within site) (existing and proposed)
- ☐ Landscape Plan
- ☐ Photometric (Lighting) Plan
- ☐ Plan and Profile Drawings
- ☐ Site Servicing Plan
- ☐ Storm water Management Plan
- ☐ Street Sign and Traffic Plan
- ☐ Street Tree Planting Plan
- ☐ Tree Preservation Plan
- ☐ Archaeological Assessment
- ☐ Environmental Impact Study



- ☐ Functional Servicing Report
- ☐ Geotechnical Study / Hydrogeological Review
- ☐ Minimum Distance Separation Schedule
- ☐ Noise or Vibration Study
- ☐ Record of Site Condition
- ☐ Storm water Management Report
- ☐ Traffic Impact Study – please contact the Planner to verify the scope required

Site Plan applications will require the following supporting materials:

1. Two (2) complete sets of the site plan drawings folded to 8½ x 11 and an electronic version in PDF format
2. Letter requesting that the Holding be removed (if applicable)
3. A cost estimate prepared by the applicant's engineer
4. An estimate for Parkland dedication by a certified land appraiser
5. Property Identification Number (PIN) printout

Standard condominium exemptions will require the following supporting materials:

- ☐ Plan of standard condominium (2 paper copies and 1 electronic copy)
- ☐ Draft condominium declaration
- ☐ Property Identification Number (PIN) printout

Your development approval might also be dependent on Ministry of Environment and Climate Change, Ministry of Transportation or other relevant federal or provincial legislation, municipal by-laws or other agency approvals.

**All final plans must include the owner's signature as well as the engineer's signature and seal.**

### **I. Development Agreements**

A development agreement may be required prior to approval for site plan, subdivision and condominium applications. Should this be necessary for your development, you will be contacted by the agreement administrator with further details of the requirements including but not limited to insurance coverage, professional liability for your engineer, additional fees and securities.



## J. Transfers, Easements and Postponement of Interest


The owner acknowledges and agrees that if required it is their solicitor's responsibility on behalf of the owner for the registration of all transfer(s) of land to the County, and/or transfer(s) of easement in favour of the County and/or utilities. Also, the owner further acknowledges and agrees that it is their solicitor's responsibility on behalf of the owner for the registration of postponements of any charges in favour of the County.

## K. Permission to Enter Subject Lands

Permission is hereby granted to Norfolk County officers, employees or agents, to enter the premises subject to this application for the purposes of making inspections associated with this application, during normal and reasonable working hours.

## L. Freedom of Information

For the purposes of the *Municipal Freedom of Information and Protection of Privacy Act*, I authorize and consent to the use by or the disclosure to any person or public body any information that is collected under the authority of the *Planning Act, R.S.O. 1990, c. P. 13* for the purposes of processing this application.

  
Owner/Applicant Signature

10/14/2022

Date

## M. Owner's Authorization

If the applicant/agent is not the registered owner of the lands that is the subject of this application, the owner(s) must complete the authorization set out below.

I/We William G Nightingale am/are the registered owner(s) of the lands that is the subject of this application.

I/We authorize Mike Tavangari to make this application on my/our behalf and to provide any of my/our personal information necessary for the processing of this application. Moreover, this shall be your good and sufficient authorization for so doing.

William G Nightingale

10/14/2022

Owner

Date

Owner

Date



**N. Declaration**

I, William Nightingale of Windham Centre

solemnly declare that:

all of the above statements and the statements contained in all of the exhibits transmitted herewith are true and I make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath and by virtue of *The Canada Evidence Act*.

Declared before me at:

Simcoe



Owner/Applicant Signature

In Norfolk Cty.

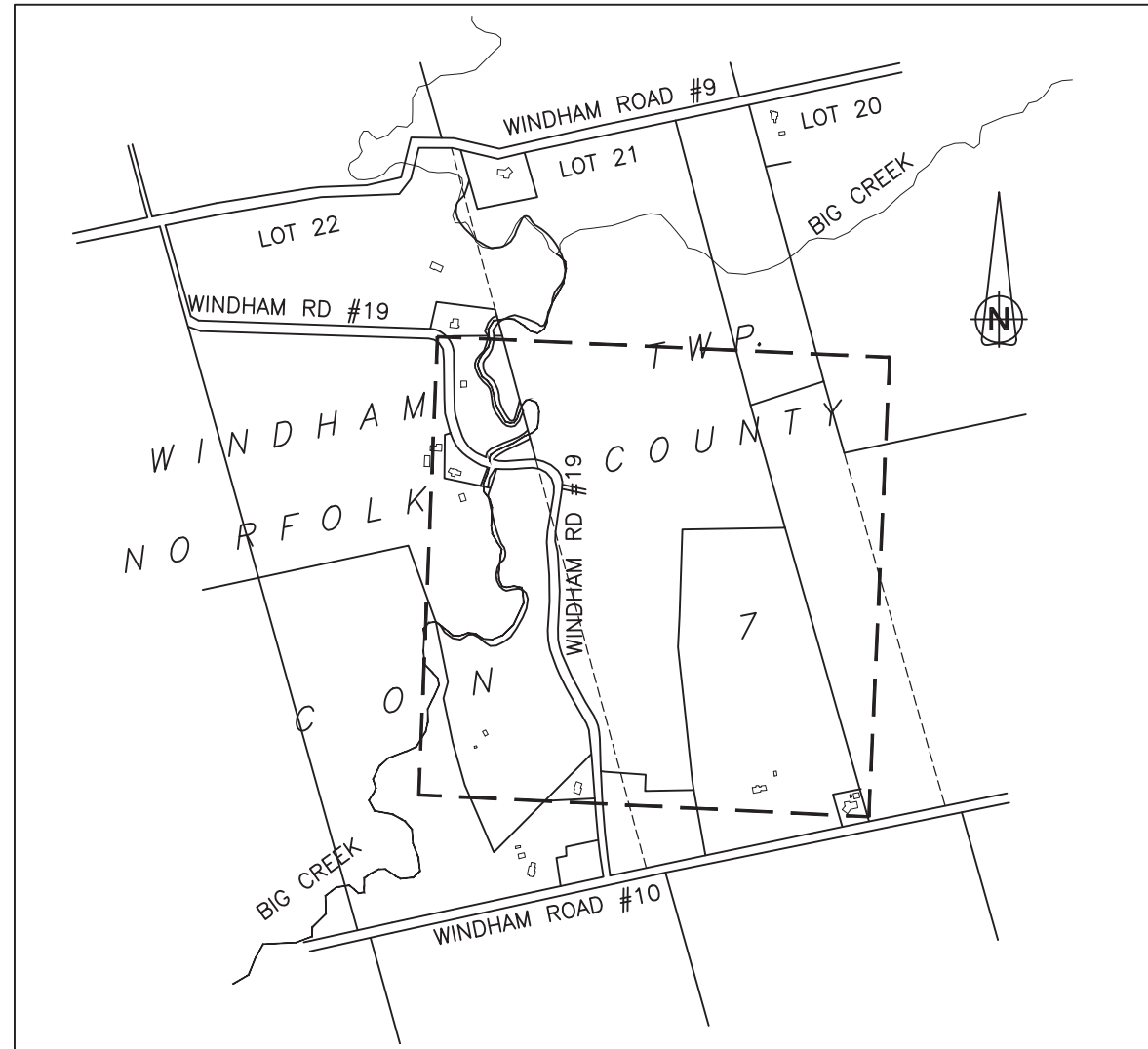
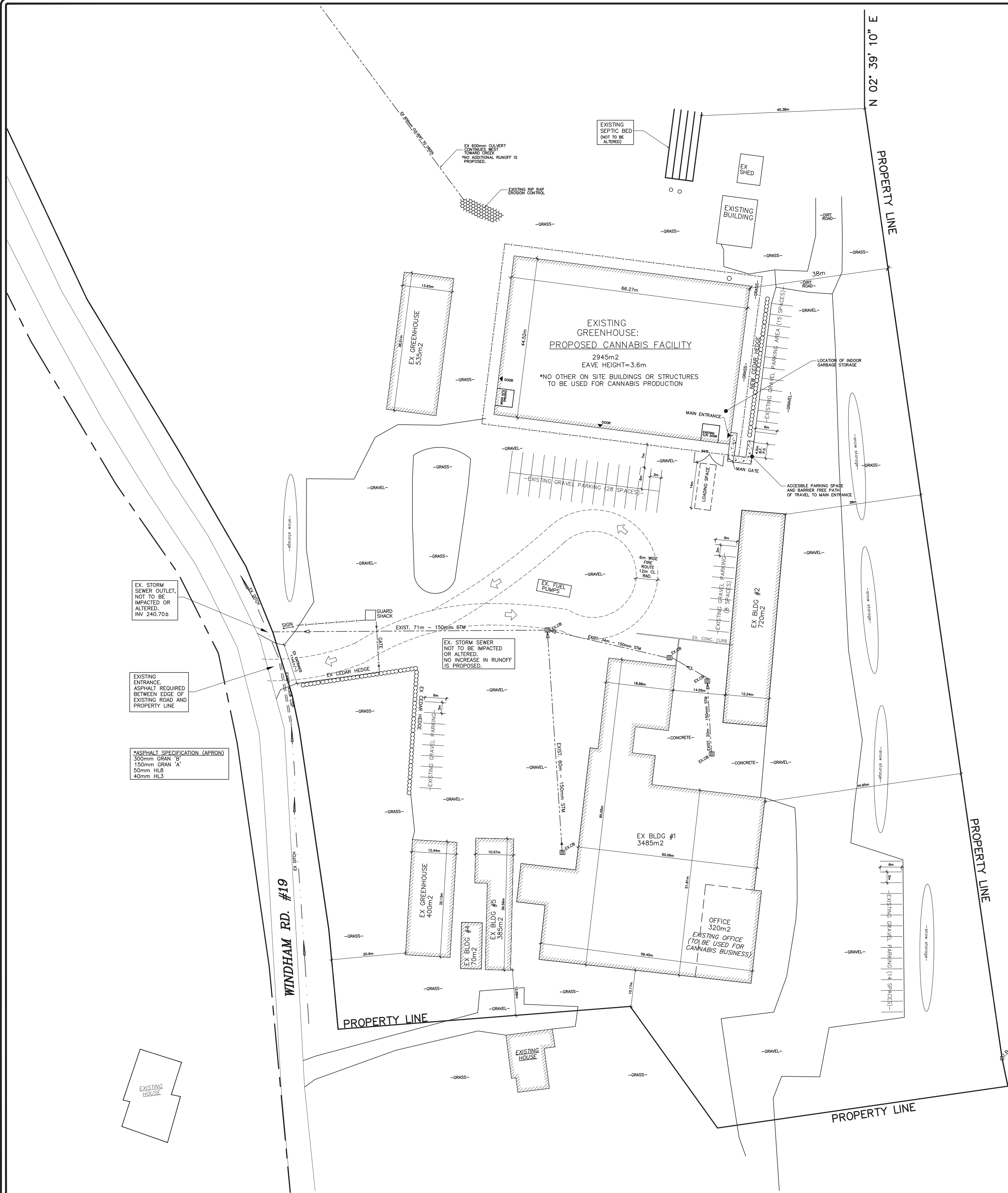
This 20<sup>th</sup> day of October

A.D., 20 22

Patricia Nicole Dedrick, a  
Commissioner, etc., Province of Ontario.  
for the Corporation of Norfolk County.  
Expires September 2, 2024.

A Commissioner, etc.





3 KEY PLAN  
SP1  
SCALE= 1:15,000

ZONING DESIGNATION: AGRICULTURAL

ITEM	REQUIRED	PROPOSED
MIN LOT AREA	40ha	40.53ha (100.17 ACRES)
MIN LOT FRONTAGE	30m	>30m
MINIMUM FRONT YARD	13m	20.6m
MIN EXTERIOR SIDE YARD	13m	N/A
MIN INTERIOR SIDE YARD	3m	10.17m
MINIMUM REAR YARD	9m	38m
MAXIMUM BUILD HEIGHT	11m	3.6m (CANNABIS GREENHOUSE)
TOTAL BUILDING (EXISTING)	N/A	3.6m (CANNABIS GREENHOUSE)
TOTAL BUILDING (PROPOSED)	N/A	3.6m (CANNABIS GREENHOUSE)
LOT COVERAGE	N/A	2.1% (8540m <sup>2</sup> TOTAL BLDG. AREA)
GREENHOUSE (CANNABIS)	N/A	2945m <sup>2</sup>
EXISTING GREENHOUSE TO BE CONVERTED TO CANNABIS OPERATION		

PARKING (CANNABIS GREENHOUSE AND OFFICE)	
GREENHOUSE:	1 SPACE PER 90m <sup>2</sup> = 32 REQUIRED
OFFICE:	1 SPACE PER 35m <sup>2</sup> = 9 REQUIRED
ACCESSIBLE SPACES:	1 REQUIRED
TOTAL PARKING SPACES PROVIDED:	65+
TOTAL LOADING SPACES FOR CANNABIS GREENHOUSE:	1

LANDSCAPING NOTE  
THE CEDAR HEDGE TO THE EAST OF GREENHOUSE IS THE ONLY PROPOSED LANDSCAPING, CEDAR HEDGE IS TO EMERALD CEDARS (1m PLANTING HEIGHT). ALL OTHER LANDSCAPING IS EXISTING AND NOT TO BE ALTERED.

SPECIFICATIONS  
WHERE APPLICABLE

ITEM	REFER TO DETAIL
TEMPORARY SILT FENCE	REFER TO OPSD 219.130.
NEW GRASSSED AREAS	SEEDED
BARRIER-FREE PARKING SIGNS	REFER TO 2 ON SP1
SECURITY FENCING/GATES	3m HIGH CHAIN-LINK AND DOUBLE ROW OF RAZOR WIRE BY STAMPED APPROVED SHOP DRAWINGS.
ASPHALT PAVING (ENTRANCE APRON)	HEAVY DUTY PAVING: 50mm HL3, 40mm HL3, 150mm GRANULAR 'A', 200mm GRANULAR 'B' (COMPACTED TO 98% STD. PROCTOR DENSITY)
CONCRETE PAVEMENT	200mm THICK REINFORCED CONCRETE WITH 10M BARS 600mm O/C EACH WAY, ON 150mm COMPACTED GRAN. 'A' WITH 200mm COMPACTED GRAN. 'B' (COMPACT TO MIN. 98% STD. PROCTOR.
DRYWELL	N/A
WATER SERVICE	N/A (EXISTING)
RIP-RAP-APRON	REFER TO DETAIL OPSD 810.010
OUTLET END TREATMENT	REFER TO DETAILS OPSD 801.041, 801.042 & 801.043
BICYCLE RACK	BICYCLE RACK FOR 2 BICYCLES "BIKE HITCH" BY DERO OR EQUIVALENT
GRAVELLED PARKING AREA	~150mm GRAN. 'A' COMPACTED TO 100% STD PROCTOR DENSITY. ~400mm GRAN. 'B' COMPACTED TO 100% STD. PROCTOR DENSITY
ROOF RAIN WATER LEADERS	TO DISCHARGE TO SPLASH PADS AT GRADE

DISCLAIMER:  
This is not a legal plan of survey and shall not be used for any purpose except for the purpose indicated in the title block. The employees of M. C. Engineering are not licensed Ontario Land Surveyors, therefore in accordance with the Surveyors Act R.S.O. 1990, c.29, (as amended 2000) please refer to stamped O.L.S. drawing(s) for all survey data, including but not limited to bearings and distances, property lines and monuments and any other real property boundary information, pertaining to the subject lands and or other lands adjoining the same. M.C. Engineering assumes no responsibility for the use of, or reliance on, all real property information shown (or not shown) on this plan.

GENERAL NOTES:

- PRIMARY UNITS ARE METRIC. DIMENSIONS ARE METERS.
- PROPER SILTATION MEASURES TO TAKE PLACE. SILT CONTROLS, I.E. SILT FENCING AROUND ALL CONSTRUCTION AREAS ARE TO BE IN PLACE PRIOR TO THE START OF SITE WORKS, AND BE MAINTAINED FOR THE DURATION OF CONSTRUCTION (SILT FENCING TO BE PROPERLY SECURED C/W T BAR POSTS IN GROUND & C/W FILTER FABRIC) FENCING TO BE INSTALLED AROUND ALL CONSTRUCTION AREAS. (REFER TO OPSD 219.130).
- ANY DISCREPANCY(S) BETWEEN INFORMATION ON THIS SITE DRAWING AND ACTUAL FIELD CONDITIONS, WHICH MAY IMPACT ON THE PROPOSED DEVELOPMENT, ARE TO BE REPORTED TO THE SENIOR CONSULTANT / P.ENG.
- REQUIRED SERVICES & SERVICE CONNECTIONS NOT SHOWN ON DRAWING TO BE THE RESPONSIBILITY OF THE CONTRACTOR/OWNER.
- ALL NECESSARY RELOCATIONS OR REMOVALS OF EXISTING PHYSICAL SITE FEATURES INCLUDING U/G SERVICES TO BE THE RESPONSIBILITY OF THE CONTRACTOR/OWNER.
- EXACT LOCATIONS & ELEVATIONS OF ALL EXISTING SERVICES (SANITARY SEWER, WATER, GAS, BELL, ETC.), GRADES, MATERIAL LENGTHS, ELEVATIONS, INVERTS, ETC. TO BE VERIFIED BY CONTRACTOR PRIOR TO COMMENCEMENT OF ANY SITEWORK.
- ANY FILL PLACED ON SITE MUST BE COMPACTED TO A MIN. 98% STANDARD PROCTOR DENSITY.
- ALL DISTURBED LANDSCAPE AREAS ARE TO BE RE-SEEDED
- THE APPROVAL OF THIS PLAN DOES NOT EXEMPT THE OWNER'S BONDED CONTRACTOR FROM THE REQUIREMENTS TO OBTAIN THE VARIOUS PERMITS/APPROVALS NORMALLY REQUIRED TO COMPLETE A CONSTRUCTION PROJECT, SUCH AS, BUT NOT LIMITED TO THE FOLLOWING:  
-ROAD CUT PERMITS  
-SEWER PERMITS  
-RELOCATION OF SERVICES
- THIS DRAWING TO BE READ IN CONJUNCTION WITH ANY AND ALL OTHER DOCUMENTS SUBMITTED FOR MUNICIPAL APPROVAL(S).
- THE EXISTING DRAINAGE PATTERN WILL BE MAINTAINED EXCEPT WHERE NOTED. PROPOSED ELEVATIONS SHOW GENERAL INTENT OF GRADING PLAN.
- ALL SURFACE DRAINAGE FOR THE SUBJECT SITE IS TO BE SELF-CONTAINED.
- GARBAGE STORAGE TO BE INTERNAL.
- ALL WORK WITHIN THE MUNICIPAL RIGHT-OF-WAY TO BE COMPLETED TO THE SATISFACTION OF THE COUNTY OF NORFOLK.

IMPORTANT  
PLEASE READ THE FOLLOWING  
NOTES IN CONJUNCTION WITH ALL  
SITE DRAWINGS

\* SITE LIGHTING:  
REFER TO ELECTRICAL DRAWINGS FOR ALL SITE LIGHTING, LIGHT FIXTURE TYPES, WIRING, UTILITY POLES ETC., LOCATIONS AND SPECIFICATIONS. ALL EXTERIOR LIGHT FIXTURES TO BE DARK-SKY COMPLIANT: NO EXTERIOR LIGHTING ARRAY TO BE DIRECTED OFF PROPERTY TO ROAD ALLOWANCE OR ADJACENT PROPERTIES. ALL LIGHTING ARRAY DIRECTIONS TO SHINE INTERNALLY TOWARD SUBJECT PROPERTY.

BUILDING / ARCHITECTURAL:  
REFER TO ARCHITECTURAL AND STRUCTURAL DRAWINGS FOR ALL BUILDING EXTERIOR AND INTERIOR DIMENSIONS, INTERIOR ROOM LAYOUT AND ROOM NAMES, WALL TYPES AND CONSTRUCTION AND SPECIFICATIONS.

\* GARBAGE / REFUSE STORAGE:  
REFUSE STORAGE (GARBAGE) TO BE INSIDE THE PROPOSED DESIGNATED OUT BUILDING (S) OR ENCLOSURES.

LEGEND

- PROPERTY LINE
- OTHER PROPERTY LINES
- SECURITY FENCE
- POST-MOUNTED BARRIER-FREE EXCLUSIVE PARKING SIGNAGE LOCATION. REFER TO 3 ON SP1
- SN DENOTES SIDEWALK RAMP AND TACTILE SURFACE PER OPSD 310.030
- O.H.D. OVER-HEAD DOOR LOCATION
- MAN-DOOR
- APPROX. LOCATION OF SURVEYOR'S "IRON BAR" AS INDICATED ON DRAWINGS BY OTHERS. REFER TO ACTUAL DRAWING BY O.L.S. FOR EXACT SURVEY MONUMENTATION.
- EXISTING DITCH OR SWALE
- ITEM TO BE DEMOLISHED
- EXTENT OF PARKING STALLS ON RECYCLED ASPHALT SURFACE (NO PAINTED LINWORK)
- EXISTING CONTOURS AT 1m INTERVAL
- BICYCLE RACK FOR (2) BICYCLES
- EXISTING GROUND ELEVATION
- PROPOSED DRAINAGE
- PROPOSED C/L SWALE
- PROPOSED GRADES
- EXISTING GRADES TO REMAIN
- PROPOSED GRADES
- PROPOSED SWALE GRADES
- SILTATION CONTROL FENCE [ REFER TO OPSD 219.130 ]
- PROPOSED DRYWELL REFER TO DETAIL 2 ON SP4
- PROPOSED ASPHALT APRON AT CATCHBASINS, MANHOLES AND BARRIER-FREE PARKING

THE FOLLOWING DRAWINGS AND NOTES TO BE CONSIDERED AS PART OF THE CONSTRUCTION DRAWINGS:

- CONTRACTOR MUST VERIFY ALL JOB DIMENSIONS, ALL DRAWINGS, DETAILS AND SPECIFICATIONS, AND REPORT ANY DISCREPANCIES TO ENGINEER BEFORE PROCEEDING WITH THE WORK.
- ANY DISCREPANCY BETWEEN THIS DRAWING AND ACTUAL FIELD CONDITIONS WHICH MAY IMPACT WORK IS TO BE REPORTED TO P.ENGINEER.
- ALL DRAWINGS AND SPECIFICATIONS ARE INSTRUMENTS OF SERVICE AND THE PROPERTY OF M C ENGINEERING OR CONSULTANTS WHICH MUST BE RETURNED AT THE COMPLETION OF THE WORK.
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- PRIMARY DIMENSIONS ARE METRIC.

PROPERTY DESCRIPTION:

PART OF LOT 21  
CONCESSION 7,  
GEO. WINDHAM TOWNSHIP  
NORFOLK COUNTY

BENCHMARK: ELEV= 243.24  
TOP OF EXIST. CATCH BASIN LOCATED BETWEEN BUILDING #1 AND BUILDING #2 APPROX. 280m SOUTH OF SUBJECT DEVELOPMENT (REFER TO SP3)

NO.	REVISION	DESCRIPTION	DATE	BY
3		ISSUED FOR SITE PLAN APPLICATION	OCT 13 2022	RM
2		ISSUED FOR REVIEW	JUNE 24 2022	RM
1		ISSUED FOR REVIEW	MARCH 23 2022	RM
A		ISSUED FOR CLIENT REVIEW	MAR. 17th, 2021	RM

DO NOT SCALE DRAWINGS; THESE DRAWINGS SHOW INTENT OF THE DESIGN ONLY OR EXISTING CONDITIONS AND MAY NOT REFLECT EXACT LOCATIONS.



M C ENGINEERING P.O. Box 1002, Simcoe, Ont. N3Y 5B3  
Tel: 519-428-6790 Fax: 519-426-8960  
E-mail: mail@mcengineering.net  
A DIVISION OF 392583 ALTA LTD.

PROJECT NAME  
PROPOSED FACILITY  
FOR  
NIGHTINGALE  
FARMS  
SPPL  
1492 WINDHAM ROAD 19  
NORFOLK COUNTY  
OWNER REF: BILL NIGHTINGALE  
OFFICE: 519-582-2461

SHEET TITLE: SITE PLAN

SCALE: AS SHOWN	PROJECT NO.: 7099
DRAWN BY: R.M. / C.B.	DWG. NO.: SP1
CHECKED BY: M.E.M.	REV. NO.: 3
DATE: MARCH 2022	
FILE NAME: 7099.dwg	



EX 600mm CULVERT  
CONTINUES WEST  
TOWARD CREEK  
\*NO ADDITIONAL RUNOFF IS  
PROPOSED.

EXISTING  
SEPTIC BED  
(NOT TO BE  
ALTERED)

\*NO PROPOSED CHANGES TO OVERALL SITE GRADING  
AND DRAINAGE PATTERN. NO PROPOSED CHANGES TO  
EXISTING WATER AND SANITARY SERVICING.  
NO NEW BUILDING CONSTRUCTION IS PROPOSED.

EXISTING GREENHOUSE  
CANNABIS PRODUCTION  
(CONSTRUCTED 2018)  
FFE= 243.00 (+/-)  
AREA=2946m<sup>2</sup>

\*EXISTING ROOF DRAINAGE IS DIRECTED TO NORTH WEST SWALE

\*NO NEW DOMESTIC WATER OR SANITARY SERVICING IS REQUIRED.  
THERE ARE NO PROPOSED ADDITIONAL WASHROOMS OR FIXTURE UNITS.

\*GARBAGE STORAGE IS TO BE INTERNAL  
(NO EXTERIOR GARBAGE STORAGE)

PROVIDE BARRIER FREE  
CONCRETE SIDEWALK  
FROM BARRIER FREE  
PARKING SPACE TO  
MAIN ENTRANCE OF  
EXISTING GREENHOUSE.

#### SILT FENCE NOTES:

1. SILT FENCE SHALL GENERALLY BE PLACED A MINIMUM OF 1.5m BEYOND TOE OF SLOPE, 3m PREFERRED, TO PROVIDE ADEQUATE AREA FOR SEDIMENT STORAGE AND FACILITATE MAINTENANCE OF SEDIMENT CONTAINMENT AREA.
2. ALL ENDS SHALL BE "J" HOOKED TO TRAP SEDIMENT.
3. IN AREAS WITH TWO SLOPES, SILT FENCE SHALL BE USED TO ERECT A DAM AND TRAP SEDIMENT AT THE BASE OF THE STEEPER SLOPE.
4. SILT FENCE AS PER OPSD 219.130
5. SILT FENCE SHALL BE REMOVED WHEN THE AREA HAS BEEN STABILIZED.
6. AT TIME OF REMOVAL OF THE SILT FENCE, THE DISTURBED AREA SHALL BE REPAIRED AND STABILIZED.
7. MEASURES SHALL BE INSPECTED EVERY SEVEN (7) CALENDAR DAYS AND WITHIN 24 HOURS OF A STORM EVENT GREAT ENOUGH TO CAUSE WATER TO LEAVE THE CONSTRUCTION SITE.
8. MEASURES SHALL BE CLEANED AND REPAIRED AS NEEDED. SEDIMENT SHALL BE REMOVED WHEN ACCUMULATION REACHES ONE-HALF OF THE MEASURE HEIGHT. SEDIMENT SHALL BE DISPOSED OF AS UNSUITABLE MATERIAL.
9. SILT FENCE SHALL BE INSTALLED ON A LINE OF EQUAL ELEVATION (CONTOUR). IT MAY BE INSTALLED AT INTERMEDIATE POINTS UP SLOPES AS WELL AS AT THE BOTTOM, AS SHOWN IN THE DETAIL.
10. SILT FENCE SHALL NOT BE USED ACROSS CONCENTRATED FLOW.

#### GENERAL EROSION AND SEDIMENT CONTROL NOTES:

1. UNLESS OTHERWISE INDICATED, ALL VEGETATIVE AND STRUCTURAL EROSION AND SEDIMENT CONTROL PRACTICE WILL BE CONSTRUCTED AND MAINTAINED ACCORDING TO MINIMUM STANDARDS AND DIRECTION OF MC ENGINEERING.
2. ALL EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE PLACED PRIOR TO OR AS THE FIRST STEP IN CLEARING.
3. SILT FENCE AS PER OPSD 219.130
4. THE CONTRACTOR IS RESPONSIBLE FOR INSTALLATION OF ANY ADDITIONAL EROSION CONTROL MEASURES NECESSARY TO PREVENT EROSION AND SEDIMENTATION AS DETERMINED BY MC ENGINEERING.
5. ALL DISTURBED AREAS ARE TO DRAIN TO APPROVED SEDIMENT CONTROL MEASURES AT ALL TIMES DURING LAND DISTURBING ACTIVITIES AND DURING SITE DEVELOPMENT UNTIL FINAL STABILIZATION IS ACHIEVED.
6. ALL EROSION CONTROL DEVICES ARE TO BE INSPECTED AND MAINTAINED WEEKLY AND AFTER EACH RAINFALL.
7. ALL AREAS OF WORK WHICH WILL REMAIN DISTURBED FOR A PERIOD OF THIRTY DAYS OR MORE MUST BE STABILIZED TO THE SATISFACTION OF MC ENGINEERING.
8. ALL MATERIAL STOCKPILES ARE TO BE LOCATED WITHIN THE BOUNDARY OF THE INDICATED SILT FENCE. ADDITIONAL SILT FENCE IS TO BE ERECTED AROUND ANY PROPOSED STOCKPILES.
9. CATCH BASINS TO HAVE SILT TRAPS INSTALLED FOR THE DURATION OF CONSTRUCTION. REFERENCE DETAIL ON THIS PAGE.

#### STORMWATER MANAGEMENT STATEMENT

THERE IS NO PROPOSED IMPERVIOUS CONSTRUCTION (NO BUILDING OR ASPHALT IS PROPOSED). THEREFORE THERE WILL BE NO INCREASE IN POST DEVELOPMENT RUNOFF.  
SITE TO CONTINUE TO DRAIN AS PER EXISTING SITE CONDITION.

#### LEGEND

- PROPERTY LINE
- OTHER PROPERTY LINES
- SECURITY FENCE
- SN DENOTES POST-MOUNTED BARRIER-FREE EXCLUSIVE PARKING SIGNAGE LOCATION. REFER TO 3 ON SP1
- SN DENOTES SIDEWALK RAMP AND TACTILE SURFACE PER OPSD 310.030
- O.H.D. OVER-HEAD DOOR LOCATION
- M.D. MAN-DOOR
- I.B. APPROX. LOCATION OF SURVEYOR'S "IRON BART" AS INDICATED ON DRAWINGS BY OTHERS. REFER TO ACTUAL DRAWING BY O.L.S. FOR EXACT SURVEY MONUMENTATION.
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- PROPOSED SWALE GRADES
- SILTATION CONTROL FENCE [REFER TO OPSD 219.130]
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- PROPOSED ASPHALT APRON AT CATCHBASINS, MANHOLES AND BARRIER-FREE PARKING

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- PRIMARY DIMENSIONS ARE METRIC.

#### PROPERTY DESCRIPTION:

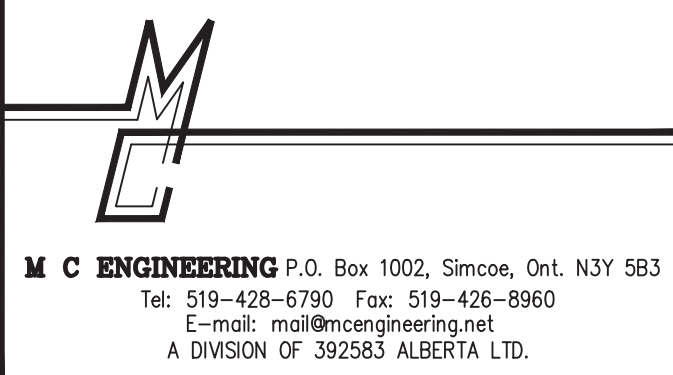
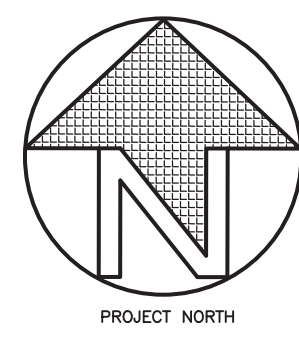
PART OF LOT 21  
CONCESSION 7,  
GEO. WINDHAM TOWNSHIP  
NORFOLK COUNTY

**BENCHMARK:** ELEV= 243.24

TOP OF EXIST. CATCH BASIN LOCATED BETWEEN BUILDING #1 AND BUILDING #2 APPROX. 280m SOUTH OF SUBJECT DEVELOPMENT (REFER TO SP3)

NO. REVISION	DESCRIPTION	DATE	BY
3	ISSUED FOR SITE PLAN APPLICATION	OCT 13 2022	RM
2	ISSUED FOR REVIEW	JUNE 23 2022	RM
1	ISSUED FOR REVIEW	MARCH 23 2022	RM
A	ISSUED FOR CLIENT REVIEW	MAR. 17th, 2021	RM

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PROJECT NAME  
PROPOSED FACILITY  
FOR  
**NIGHTINGALE**  
FARMS  
SPPL  
1492 WINDHAM ROAD 19  
OWNER REP: BILL NIGHTINGALE  
OFFICE: 519-582-2461

SHEET TITLE: GRADING AND SERVICE PLAN

SCALE: AS SHOWN

DRAWN BY: R.M. / C.B.

CHECKED BY: M.E.M.

DATE: MARCH 2022

FILE NAME: 7099.dwg

PROJECT NO.:

7099

DWG. NO.: REV. NO.:

SP2 3

1 SITE GRADING & SERVICE PLAN  
SCALE= 1:400 (METRIC)

TBM = ELEV. 243.24  
TOP OF EXISTING CATCH BASIN



3  
SP3

KEY PLAN

SCALE= 1:15,000m


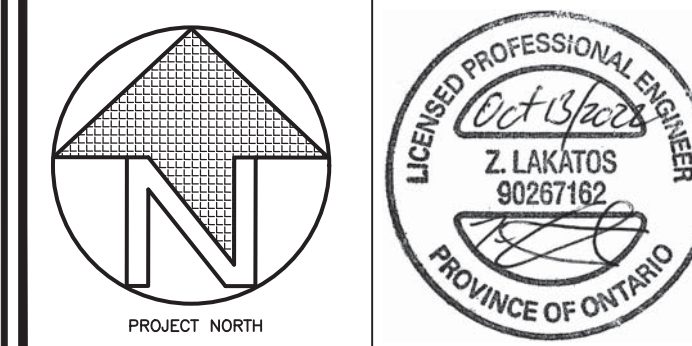
**PROPERTY DESCRIPTION:**  
PART OF LOT 21  
CONCESSION 7,  
GEO. WINDHAM TOWNSHIP  
NORFOLK COUNTY

**BENCHMARK:** ELEV= 243.24  
TOP OF EXIST. CATCH BASIN LOCATED BETWEEN  
BUILDING #1 AND BUILDING #2 APPROX. 280m SOUTH  
OF SUBJECT DEVELOPMENT (REFER TO SP3)

[illegible]

3	ISSUED FOR SITE PLAN APPLICATION	OCT 13 2022	RM
2	ISSUED FOR SPA	JUNE 23 2022	RM
1	ISSUED FOR REVIEW	MARCH 23 2022	RM
A	ISSUED FOR CLIENT REVIEW	MAR. 17th 2021	RM
NO. REVISION	DESCRIPTION	DATE	B

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**M C ENGINEERING** P.O. Box 1002, Simcoe, Ont. N3Y 5B3  
Tel: 519-428-6790 Fax: 519-426-8960  
E-mail: mail@mceengineering.net  
A DIVISION OF 392583 ALBERTA LTD.

PROJECT NAME

PROPOSED FACILITY  
FOR  
NIGHTINGALE  
FARMS  
SPPL\_\_\_\_\_

1492 WINDHAM ROAD 19  
NORFOLK COUNTY  
OWNER REP: BILL NIGHTINGALE  
OFFICE: 519-582-2461

SHEET TITLE: SITE PLAN

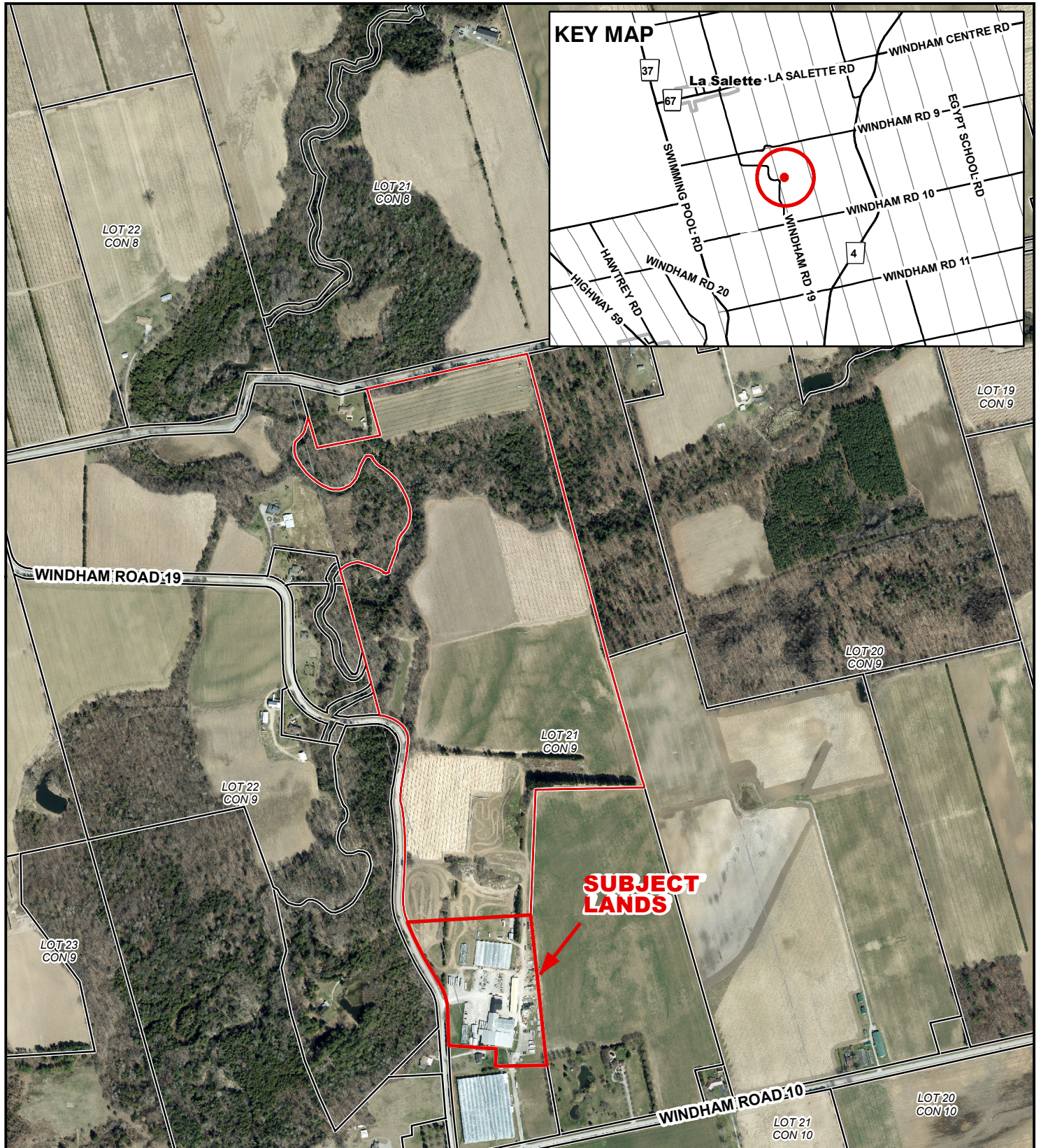
SCALE:	AS SHOWN
DRAWN BY:	R.M. / C.B.
CHECKED BY:	M.E.M.
DATE:	MARCH 2022
FILE NAME:	7099.dwg

PROJECT NO.:	
7099	
DWG. NO.:	REV. NO.:
SP3	3



CONTEXT MAP

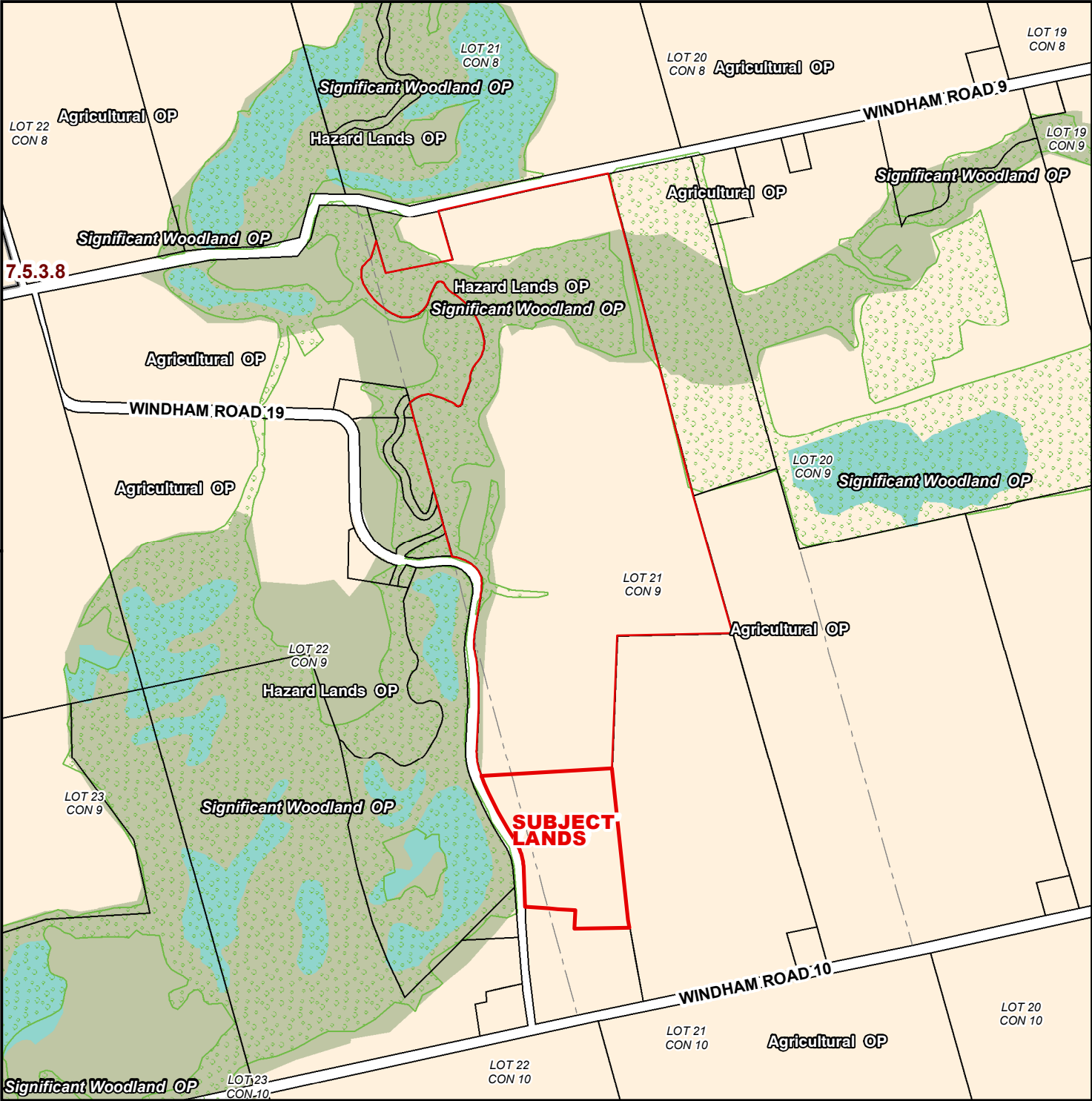
Geographic Township of WINDHAM



Legend

12/21/2022





Legend

- Agricultural
- Hazard Lands
- Provincially Significant Wetland
- Significant Woodland

Official Plan Designations

12/21/2022

80 40 0 80 160 240 320 Meters

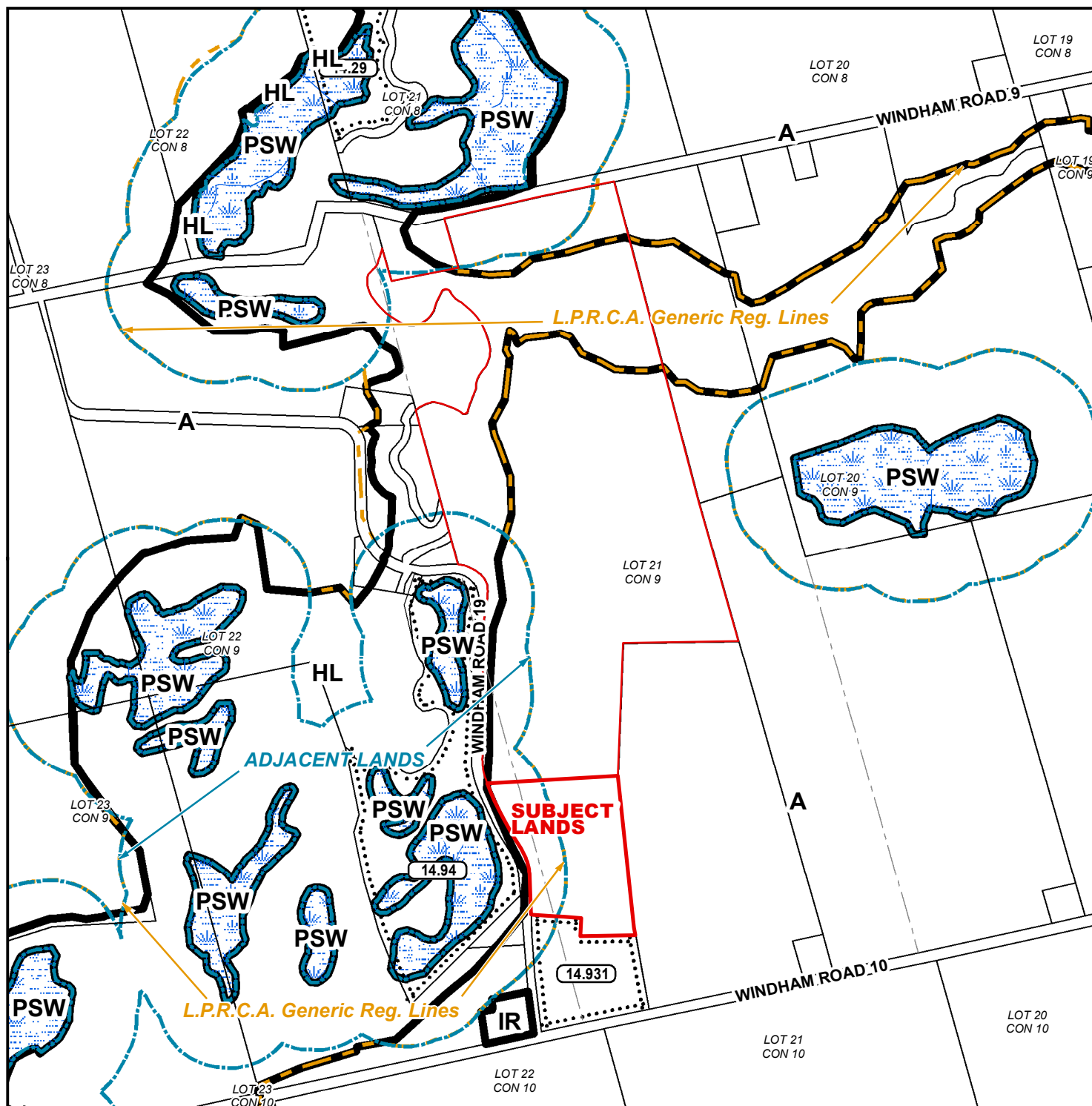


# MAP C

## ZONING BY-LAW MAP

Geographic Township of WINDHAM

SPPL2022343

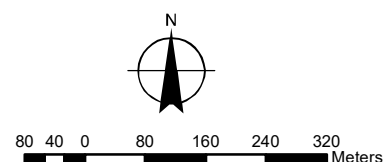


### LEGEND

ZONING BY-LAW 1-Z-2014

12/21/2022

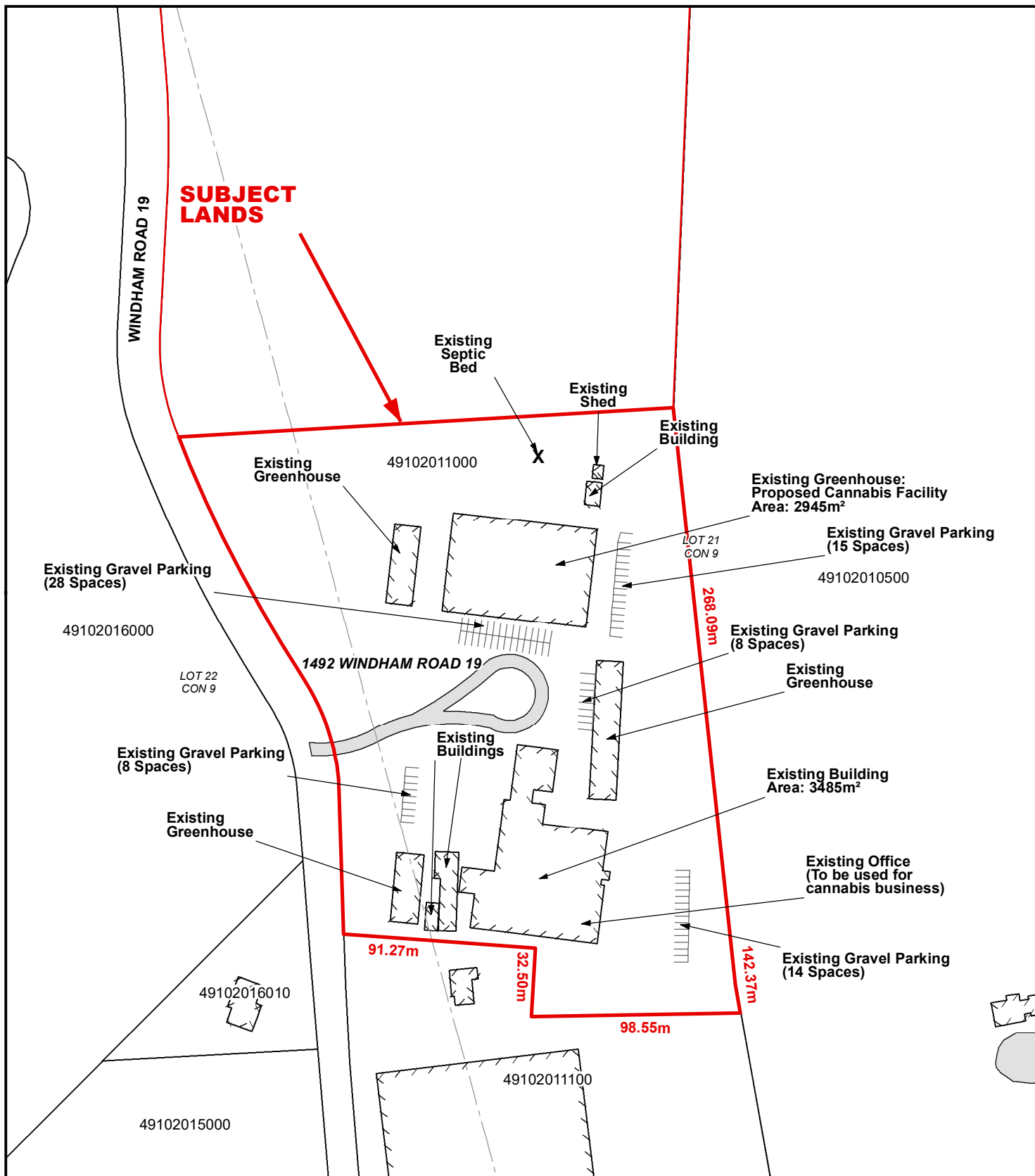
- (H) - Holding
- A - Agricultural Zone
- HL - Hazard Land Zone
- PSW - Provincially Significant Wetland Zone
- IR - Rural Institutional Zone





**CONCEPTUAL PLAN**

Geographic Township of WINDHAM



Legend

12/21/2022



20 10 0 20 40 60 80 Meters