

File Number	<u> _SPPL2022351_ </u>	Public Notice Sign	<u> </u>
Related File Number	<u> </u>	Application Fee	<u> </u>
Pre-consultation Meeting	<u> </u>	Conservation Authority Fee	<u> </u>
Application Submitted	<u> </u>	Well & Septic Info Provided	<u> </u>
Complete Application	<u> </u>	Planner	<u> </u>

- ☐ Official Plan Amendment
- ☐ Zoning By-Law Amendment
- ☐ Temporary Use By-law
- ☐ Draft Plan of Subdivision/Vacant Land Condominium
- ☐ Condominium Exemption
- ☒ Site Plan Application
- ☐ Extension of a Temporary Use By-law
- ☐ Part Lot Control
- ☐ Cash-in-Lieu of Parking
- ☐ Renewable Energy Project or Radio Communication Tower

Norfolk
COUNTY

A. Applicant Information

Name of Owner _____

It is the responsibility of the owner or applicant to notify the planner of any changes in ownership within 30 days of such a change.

Address _____

Town and Postal Code _____

Phone Number _____

Cell Number _____

Email _____

Name of Applicant _____

Address _____

Town and Postal Code _____

Phone Number _____

Cell Number _____

Email _____

Name of Agent _____

Address _____

Town and Postal Code _____

Phone Number _____

Cell Number _____

Email _____

Please specify to whom all communications should be sent. Unless otherwise directed, all correspondence and notices in respect of this application will be forwarded to both owner and agent noted above.

☐ Owner

☐ Agent

☐ Applicant

Names and addresses of any holder of any mortgagees, charges or other encumbrances on the subject lands:

B. Location, Legal Description and Property Information

1. Legal Description (include Geographic Township, Concession Number, Lot Number, Block Number and Urban Area or Hamlet):

Municipal Civic Address: _____

Present Official Plan Designation(s): _____

Present Zoning: _____

2. Is there a special provision or site specific zone on the subject lands?

☐ Yes ☐ No If yes, please specify corresponding number:

3. Present use of the subject lands:

4. Please describe **all existing** buildings or structures on the subject lands and whether they are to be retained, demolished or removed. If retaining the buildings or structures, please describe the type of buildings or structures, and illustrate the setback, in metric units, from front, rear and side lot lines, ground floor area, gross floor area, lot coverage, number of storeys, width, length, and height on your attached sketch which must be included with your application:

5. If an addition to an existing building is being proposed, please explain what it will be used for (for example: bedroom, kitchen, or bathroom). If new fixtures are proposed, please describe.

6. Please describe **all proposed** buildings or structures/additions on the subject lands. Describe the type of buildings or structures/additions, and illustrate the setback, in metric units, from front, rear and side lot lines, ground floor area, gross floor area, lot coverage, number of storeys, width, length, and height on your attached sketch which must be included with your application:

7. Are any existing buildings on the subject lands designated under the *Ontario Heritage Act* as being architecturally and/or historically significant? Yes ☐ No ☐

If yes, identify and provide details of the building:

8. If known, the length of time the existing uses have continued on the subject lands:

9. Existing use of abutting properties:

10. Are there any easements or restrictive covenants affecting the subject lands?

☐ Yes ☐ No If yes, describe the easement or restrictive covenant and its effect:

C. Purpose of Development Application

Note: Please complete all that apply.

1. Please explain what you propose to do on the subject lands/premises which makes this development application necessary:

2. Please explain why it is not possible to comply with the provision(s) of the Zoning By-law/and or Official Plan:

3. Does the requested amendment alter all or any part of the boundary of an area of settlement in the municipality or implement a new area of settlement in the municipality? ☐ Yes ☐ No If yes, describe its effect:

4. Does the requested amendment remove the subject land from an area of employment? ☐ Yes ☐ No If yes, describe its effect:

5. Does the requested amendment alter, replace, or delete a policy of the Official Plan?
☐ Yes ☐ No If yes, identify the policy, and also include a proposed text of the policy amendment (if additional space is required, please attach a separate sheet):

6. Description of land intended to be severed in metric units:

Frontage: _____

Depth: _____

Width: _____

Lot Area: _____

Present Use: _____

Proposed Use: _____

Proposed final lot size (if boundary adjustment): _____

If a boundary adjustment, identify the assessment roll number and property owner of the lands to which the parcel will be added: _____

Description of land intended to be retained in metric units:

Frontage: _____

Depth: _____

Width: _____

Lot Area: _____

Present Use: _____

Proposed Use: _____

Buildings on retained land: _____

7. Description of proposed right-of-way/easement:

Frontage: _____

Depth: _____

Width: _____

Area: _____

Proposed use: _____

8. Name of person(s), if known, to whom lands or interest in lands to be transferred, leased or charged (if known):

9. Site Information**Zoning****Proposed**

Please indicate unit of measurement, for example: m, m² or %

Lot frontage	_____	_____
Lot depth	_____	_____
Lot width	_____	_____
Lot area	_____	_____
Lot coverage	_____	_____
Front yard	_____	_____
Rear yard	_____	_____
Left Interior side yard	_____	_____
Right Interior side yard	_____	_____
Exterior side yard (corner lot)	_____	_____
Landscaped open space	_____	_____
Entrance access width	_____	_____
Exit access width	_____	_____
Size of fencing or screening	_____	_____
Type of fencing	_____	_____

10. Building Size

Number of storeys	_____	_____
Building height	_____	_____
Total ground floor area	_____	_____
Total gross floor area	_____	_____
Total useable floor area	_____	_____

11. Off Street Parking and Loading Facilities

Number of off street parking spaces	_____	_____
Number of visitor parking spaces	_____	_____
Number of accessible parking spaces	_____	_____
Number of off street loading facilities	_____	_____

12. Residential (if applicable)

Number of buildings existing: _____

Number of buildings proposed: _____

Is this a conversion or addition to an existing building? ☐ Yes ☐ No

If yes, describe: _____

Type	Number of Units	Floor Area per Unit in m2
Single Detached	_____	_____
Semi-Detached	_____	_____
Duplex	_____	_____
Triplex	_____	_____
Four-plex	_____	_____
Street Townhouse	_____	_____
Stacked Townhouse	_____	_____
Apartment - Bachelor	_____	_____
Apartment - One bedroom	_____	_____
Apartment - Two bedroom	_____	_____
Apartment - Three bedroom	_____	_____

Other facilities provided (for example: play facilities, underground parking, games room, or swimming pool):

13. Commercial/Industrial Uses (if applicable)

Number of buildings existing: _____

Number of buildings proposed: _____

Is this a conversion or addition to an existing building? ☐ Yes ☐ No

If yes, describe:

Indicate the gross floor area by the type of use (for example: office, retail, or storage):

Seating Capacity (for assembly halls or similar): _____

Total number of fixed seats: _____

Describe the type of business(es) proposed: _____

Total number of staff proposed initially: _____

Total number of staff proposed in five years: _____

Maximum number of staff on the largest shift: _____

Is open storage required: ☐ Yes ☐ No

Is a residential use proposed as part of, or accessory to commercial/industrial use?

☐ Yes ☐ No If yes please describe:

14. Institutional (if applicable)

Describe the type of use proposed: _____

Seating capacity (if applicable): _____

Number of beds (if applicable): _____

Total number of staff proposed initially: _____

Total number of staff proposed in five years: _____

Maximum number of staff on the largest shift: _____

Indicate the gross floor area by the type of use (for example: office, retail, or storage):

15. Describe Recreational or Other Use(s) (if applicable)

D. Previous Use of the Property

1. Has there been an industrial or commercial use on the subject lands or adjacent lands? ☐ Yes ☐ No ☐ Unknown

If yes, specify the uses (for example: gas station or petroleum storage):

2. Is there reason to believe the subject lands may have been contaminated by former uses on the site or adjacent sites? ☐ Yes ☐ No ☐ Unknown

3. Provide the information you used to determine the answers to the above questions:

4. If you answered yes to any of the above questions in Section D, a previous use inventory showing all known former uses of the subject lands, or if appropriate, the adjacent lands, is needed. Is the previous use inventory attached? ☐ Yes ☐ No

E. Provincial Policy

1. Is the requested amendment consistent with the provincial policy statements issued under subsection 3(1) of the *Planning Act, R.S.O. 1990, c. P. 13*? ☐ Yes ☐ No

If no, please explain:

2. It is owner's responsibility to be aware of and comply with all relevant federal or provincial legislation, municipal by-laws or other agency approvals, including the Endangered Species Act, 2007. Have the subject lands been screened to ensure that development or site alteration will not have any impact on the habitat for endangered or threatened species further to the provincial policy statement subsection 2.1.7? ☐ Yes ☐ No

If no, please explain:

3. Have the subject lands been screened to ensure that development or site alteration will not have any impact on source water protection? ☐ Yes ☐ No

If no, please explain:

Note: If in an area of source water Wellhead Protection Area (WHPA) A, B or C please attach relevant information and approved mitigation measures from the Risk Manager Official.

4. Are any of the following uses or features on the subject lands or within 500 metres of the subject lands, unless otherwise specified? Please check boxes, if applicable.

Livestock facility or stockyard (submit MDS Calculation with application)

☐ On the subject lands or ☐ within 500 meters – distance _____

Wooded area

☐ On the subject lands or ☐ within 500 meters – distance _____

Municipal Landfill

☐ On the subject lands or ☐ within 500 meters – distance _____

Sewage treatment plant or waste stabilization plant

☐ On the subject lands or ☐ within 500 meters – distance _____

Provincially significant wetland (class 1, 2 or 3) or other environmental feature

☐ On the subject lands or ☐ within 500 meters – distance _____

Floodplain

☐ On the subject lands or ☐ within 500 meters – distance _____

Rehabilitated mine site

☐ On the subject lands or ☐ within 500 meters – distance _____

Non-operating mine site within one kilometre

☐ On the subject lands or ☐ within 500 meters – distance _____

Active mine site within one kilometre

☐ On the subject lands or ☐ within 500 meters – distance _____

Industrial or commercial use (specify the use(s))

☐ On the subject lands or ☐ within 500 meters – distance _____

Active railway line

☐ On the subject lands or ☐ within 500 meters – distance _____

Seasonal wetness of lands

☐ On the subject lands or ☒ within 500 meters – distance _____

Erosion

☐ On the subject lands or ☐ within 500 meters – distance _____

Abandoned gas wells

☐ On the subject lands or ☐ within 500 meters – distance _____

F. Servicing and Access

1. Indicate what services are available or proposed:

Water Supply

- | | |
|--|---|
| <input type="checkbox"/> Municipal piped water | <input type="checkbox"/> Communal wells |
| <input type="checkbox"/> Individual wells | <input type="checkbox"/> Other (describe below) |
-

Sewage Treatment

- | | |
|---|---|
| <input type="checkbox"/> Municipal sewers | <input type="checkbox"/> Communal system |
| <input type="checkbox"/> Septic tank and tile bed in good working order | <input type="checkbox"/> Other (describe below) |
-

Storm Drainage

- | | |
|---|---------------------------------------|
| <input type="checkbox"/> Storm sewers | <input type="checkbox"/> Open ditches |
| <input type="checkbox"/> Other (describe below) | |
-

2. Existing or proposed access to subject lands:

- | | |
|---|---|
| <input type="checkbox"/> Municipal road | <input type="checkbox"/> Provincial highway |
| <input type="checkbox"/> Unopened road | <input type="checkbox"/> Other (describe below) |

Name of road/street: _____

G. Other Information

1. Does the application involve a local business? ☐ Yes ☐ No

If yes, how many people are employed on the subject lands?

2. Is there any other information that you think may be useful in the review of this application? If so, explain below or attach on a separate page.

H. Supporting Material to be submitted by Applicant

In order for your application to be considered complete, **folded** hard copies (number of paper copies as directed by the planner) and an **electronic version (PDF) of the properly named site plan drawings, additional plans, studies and reports** will be required, including but not limited to the following details:

1. Concept/Layout Plan
2. All measurements in metric
3. Key map
4. Scale, legend and north arrow
5. Legal description and municipal address
6. Development name
7. Drawing title, number, original date and revision dates
8. Owner's name, address and telephone number
9. Engineer's name, address and telephone number
10. Professional engineer's stamp
11. Existing and proposed easements and right of ways
12. Zoning compliance table – required versus proposed
13. Parking space totals – required and proposed
14. All entrances to parking areas marked with directional arrows
15. Loading spaces, facilities and routes (for commercial developments)
16. All dimensions of the subject lands
17. Dimensions and setbacks of all buildings and structures
18. Location and setbacks of septic system and well from all existing and proposed lot lines, and all existing and proposed structures
19. Gross, ground and useable floor area
20. Lot coverage
21. Floor area ratio
22. Building entrances, building type, height, grades and extent of overhangs
23. Names, dimensions and location of adjacent streets including daylighting triangles
24. Driveways, curbs, drop curbs, pavement markings, widths, radii and traffic directional signs
25. All exterior stairways and ramps with dimensions and setbacks
26. Retaining walls including materials proposed
27. Fire access and routes
28. Location, dimensions and number of parking spaces (including visitor and accessible) and drive aisles
29. Location of mechanical room, and other building services (e.g. A/C, HRV)
30. Refuse disposal and storage areas including any related screening (if indoors, need notation on site plan)
31. Winter snow storage location

32. Landscape areas with dimensions
33. Natural features, watercourses and trees
34. Fire hydrants and utilities location
35. Fencing, screening and buffering – size, type and location
36. All hard surface materials
37. Light standards and wall mounted lights (plus a note on the site plan that all outdoor lighting is to be dark sky compliant)
38. Business signs (make sure they are not in sight lines)
39. Sidewalks and walkways with dimensions
40. Pedestrian access routes into site and around site
41. Bicycle parking
42. Architectural elevations of all building sides
43. All other requirements as per the pre-consultation meeting

In addition, the following additional plans, studies and reports, including but not limited to, **may** also be required as part of the complete application submission:

- ☐ Zoning Deficiency Form
- ☐ On-Site Sewage Disposal System Evaluation Form (to verify location and condition)
- ☐ Architectural Plan
- ☐ Buildings Elevation Plan
- ☐ Cut and Fill Plan
- ☐ Erosion and Sediment Control Plan
- ☐ Grading and Drainage Control Plan (around perimeter and within site) (existing and proposed)
- ☐ Landscape Plan
- ☐ Photometric (Lighting) Plan
- ☐ Plan and Profile Drawings
- ☐ Site Servicing Plan
- ☐ Storm water Management Plan
- ☐ Street Sign and Traffic Plan
- ☐ Street Tree Planting Plan
- ☐ Tree Preservation Plan
- ☐ Archaeological Assessment
- ☐ Environmental Impact Study

- ☐ Functional Servicing Report
- ☐ Geotechnical Study / Hydrogeological Review
- ☐ Minimum Distance Separation Schedule
- ☐ Noise or Vibration Study
- ☐ Record of Site Condition
- ☐ Storm water Management Report
- ☐ Traffic Impact Study – please contact the Planner to verify the scope required

Site Plan applications will require the following supporting materials:

1. Two (2) complete sets of the site plan drawings folded to 8½ x 11 and an electronic version in PDF format
2. Letter requesting that the Holding be removed (if applicable)
3. A cost estimate prepared by the applicant's engineer
4. An estimate for Parkland dedication by a certified land appraiser
5. Property Identification Number (PIN) printout

Standard condominium exemptions will require the following supporting materials:

- ☐ Plan of standard condominium (2 paper copies and 1 electronic copy)
- ☐ Draft condominium declaration
- ☐ Property Identification Number (PIN) printout

Your development approval might also be dependent on Ministry of Environment and Climate Change, Ministry of Transportation or other relevant federal or provincial legislation, municipal by-laws or other agency approvals.

All final plans must include the owner's signature as well as the engineer's signature and seal.

I. Development Agreements

A development agreement may be required prior to approval for site plan, subdivision and condominium applications. Should this be necessary for your development, you will be contacted by the agreement administrator with further details of the requirements including but not limited to insurance coverage, professional liability for your engineer, additional fees and securities.

J. Transfers, Easements and Postponement of Interest

The owner acknowledges and agrees that if required it is their solicitor's responsibility on behalf of the owner for the registration of all transfer(s) of land to the County, and/or transfer(s) of easement in favour of the County and/or utilities. Also, the owner further acknowledges and agrees that it is their solicitor's responsibility on behalf of the owner for the registration of postponements of any charges in favour of the County.

K. Permission to Enter Subject Lands

Permission is hereby granted to Norfolk County officers, employees or agents, to enter the premises subject to this application for the purposes of making inspections associated with this application, during normal and reasonable working hours.

L. Freedom of Information

For the purposes of the *Municipal Freedom of Information and Protection of Privacy Act*, I authorize and consent to the use by or the disclosure to any person or public body any information that is collected under the authority of the *Planning Act, R.S.O. 1990, c. P. 13* for the purposes of processing this application.



Owner/Applicant Signature

Date

M. Owner's Authorization

If the applicant/agent is not the registered owner of the lands that is the subject of this application, the owner(s) must complete the authorization set out below.

I/We _____ am/are the registered owner(s) of the lands that is the subject of this application.

I/We authorize _____ to make this application on my/our behalf and to provide any of my/our personal information necessary for the processing of this application. Moreover, this shall be your good and sufficient authorization for so doing.



Owner

05/12/2022

Date



Owner

05/12/2022

Date

N. Declaration

I, _____ of _____

solemnly declare that:

all of the above statements and the statements contained in all of the exhibits transmitted herewith are true and I make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath and by virtue of *The Canada Evidence Act*.

Declared before me at:

Owner/Applicant Signature

In _____

This _____ day of _____

A.D., 20____

A Commissioner, etc.

EXISTING FEATURES	
SITE BOUNDARY	<hr/>
PROPERTY LINE (OTHERS)	<hr/>
EASEMENT	<hr style="border-top: 1px dashed;"/>
PROPOSED FEATURES	
PROPOSED BUILDING	<div></div>

PROPOSED BUILDING

Diagram of a 'ONE WAY DO NOT ENTER' sign. The sign is rectangular with a black border. The text 'ONE WAY' is at the top, 'DO NOT' is in the middle, and 'ENTER' is at the bottom, all in black capital letters. The sign is shown with dimensions: a width of 457mm and a height of 610mm.

NOTE: SIGNS TO BE MOUNTED ON A U-CHANNEL POST, BUILDING OR APPROVED EQUIVALENT AND INSTALLED AT A HEIGHT BETWEEN 1.50m AND 2.50m FROM GRADE TO CENTER OF SIGN.

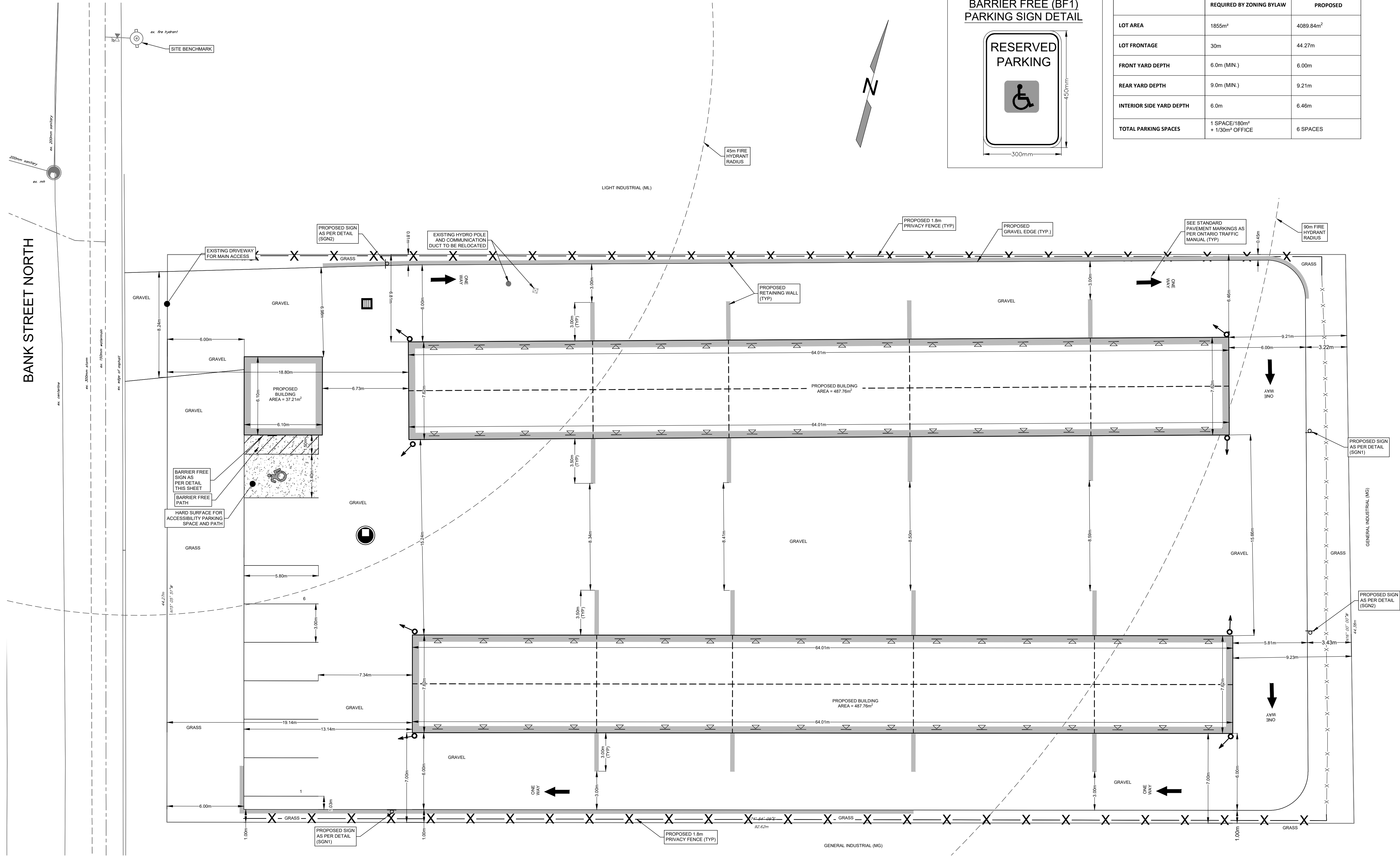
STANDARD PAVEMENT MARKINGS AS PER ONTARIO BOOK 11

Diagram of a "ONE WAY" sign with dimensions:

- Width: 457mm
- Height: 610mm

STANDARD PAVEMENT MARKINGS AS PER ONTARIO BOOK 1

STANDARD PAVEMENT MARKINGS AS PER ONTARIO BOOK 1



KEY PLAN
N.T.S.

FIRST AVE E

SECOND AVE E

BANK ST N

BANK ST S

QUEENSWAY EAST

N

SITE LOCATION

ELEVATION:219.446

No.	ISSUED DESCRIPTION	DATE
1	ISSUED FOR CLIENT REVIEW	2022-11-17
2	ISSUED FOR APPROVAL	2022-11-28
3		
4		
5		

GRIT
ENGINEERING INC

MINI STORAGE DEVELOPMENT

PROJECT INFORMATION: 516 BANK STREET NORTH, SIMCOE, ON

DESIGN LOGIX
ENGINEERING INC.

CLIENT INFORMATION: 557 ALBERTA AVENUE, WOODSTOCK, ON

DRAWING NAME:

SITE PLAN

PROJECT No: **GE22-0224-2**

SCALE: 1 : 150 METRIC

DRAWING No:

C200

SHEET SET No: 1 OF 3

By: [redacted] on 2022-11-28 at 10:50:00 AM. Project: GE22-0224-2. Drawing: C300. Scale: 1:150. Metric. Drawing Name: SITE GRADING, SERVING, EROSION & SEDIMENT PLAN. Project Information: 516 BANK STREET NORTH, SIMCOE, ON. Client Information: 557 ALBERTA AVENUE, WOODSTOCK, ON.

EXISTING FEATURES

SITE BOUNDARY

PROPERTY LINE (OTHERS)

EASEMENT

EX. ROAD CENTERLINE

EX. BUILDING

EX. EDGE OF PAVEMENT

EX. FENCE

EX. RETAINING WALL

EX. HYDRO POLE

EX. VEGETATION

EX. CONTOURS

EX. STORM SEWER

EX. SANITARY SEWER

EX. WATERMAIN

EX. OVERLAND FLOW ROUTE

PROPOSED FEATURES

PROPOSED BUILDING

PROPOSED DOOR

PROPOSED OVERHEAD DOOR

PROPOSED DOWNSPOUT

PROPOSED ELEVATION

PROPOSED DRAINAGE

PROPOSED STORM SEWER

PROPOSED STORM STRUCTURE

PROPOSED SANITARY SEWER

PROPOSED WATERMAIN

PROPOSED CURB & ASPHALT

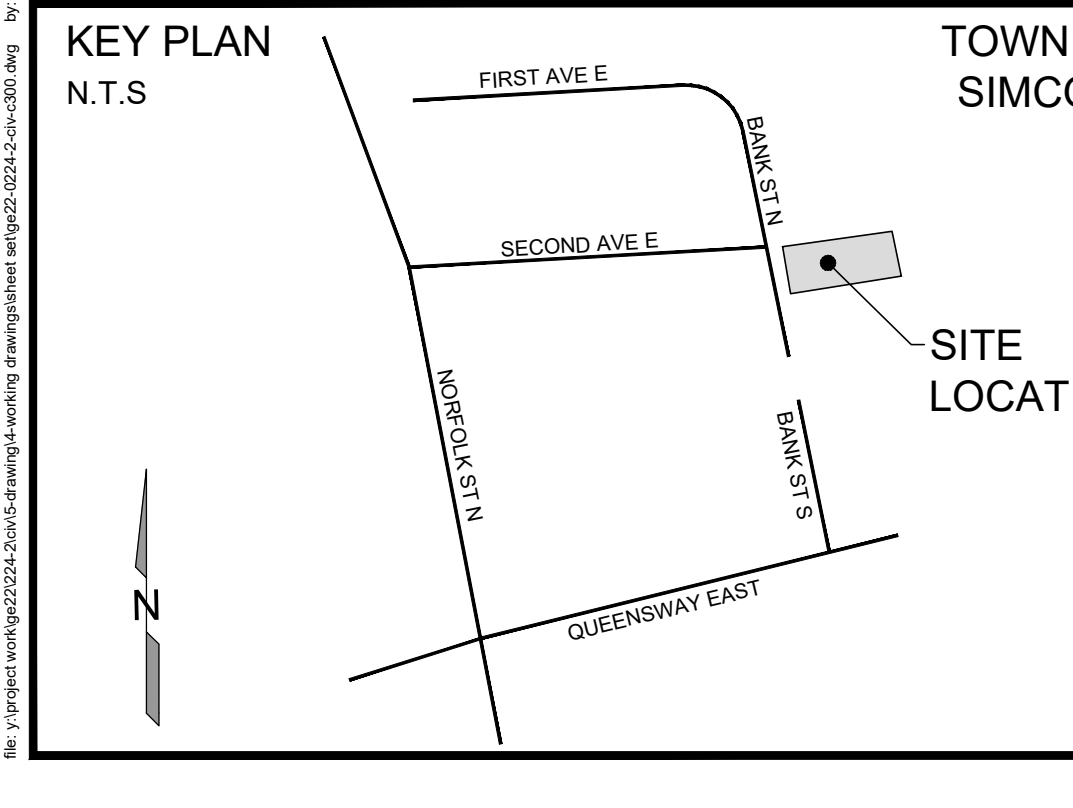
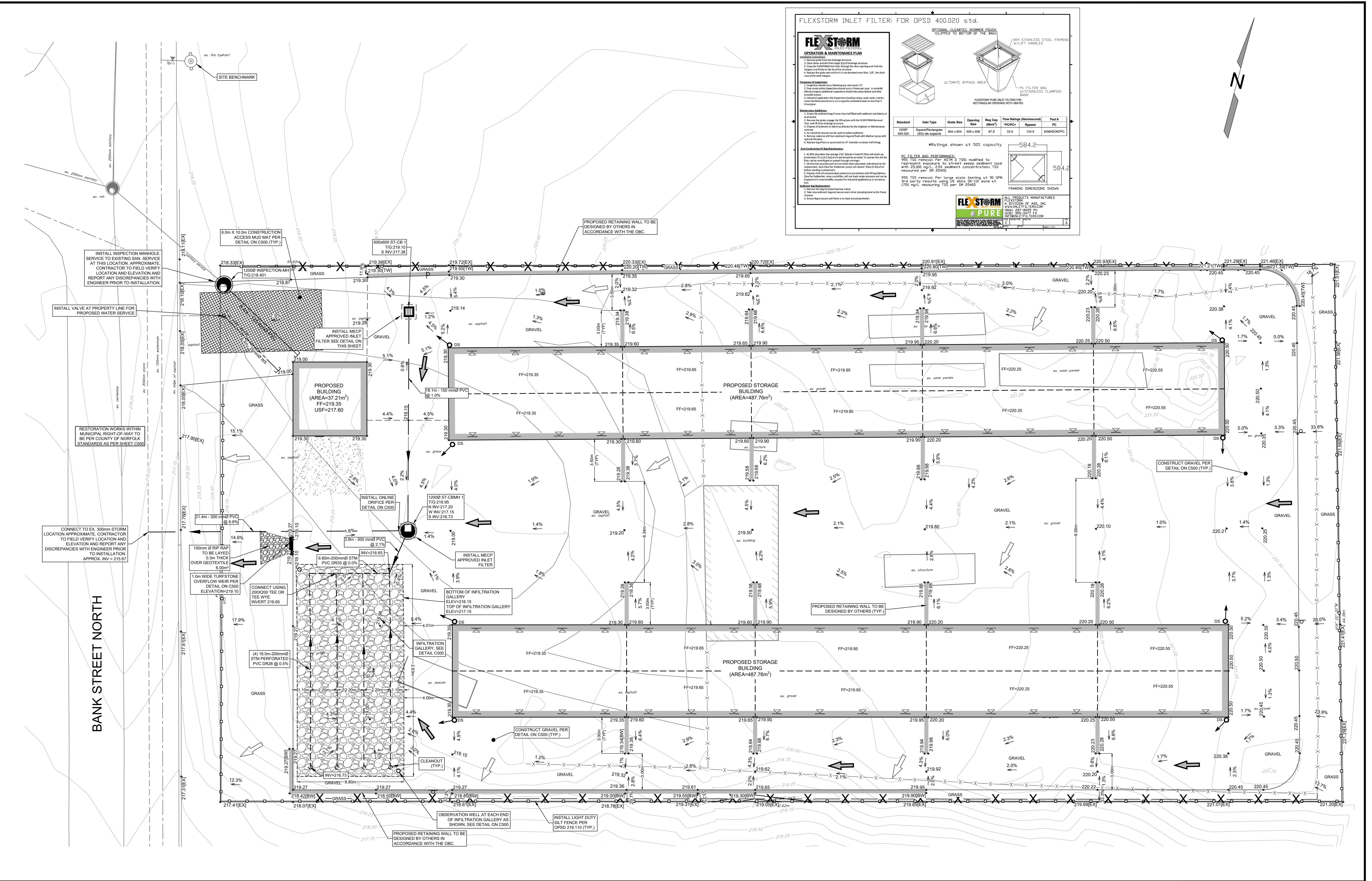
PROPOSED RETAINING WALL

PROPOSED LIGHT DUTY SILT FENCE

PROPOSED SILT SACK

PROPOSED OVERLAND FLOW ROUTE

PROPOSED RIP RAP



CONTRACTOR NOTES:

CONTRACTORS MUST CHECK AND VERIFY ALL DIMENSIONS AND REPORT ANY ERRORS TO THE ENGINEER PRIOR TO COMMENCEMENT OF WORK.

ALL DRAWINGS SHALL REMAIN THE PROPERTY OF THE ENGINEER AND SHALL NOT BE REUSED WITHOUT THE ENGINEER'S WRITTEN PERMISSION. DRAWING SHOULD NOT BE SCALED FOR DIMENSIONS PURPOSES.

THIS IS NOT A PLAN OF SURVEY AND SHALL NOT BE USED EXCEPT FOR THE PURPOSES INDICATED. BEARING AND DISTANCES SHOWN WERE DERIVED FROM REGISTERED PLAN No. 44M.XX

BENCHMARK (GEODETIC)

ELEVATION:

BENCHMARK (SITE)

BENCHMARK IS DESCRIBED AS TOP OF NUT OF EXISTING FIRE HYDRANT AS SHOWN ON PLAN.

ELEVATION: 219.446

KEY PLAN

N.T.S

TOWN OF SIMCOE

SITE LOCATION

GRIT ENGINEERING INC.

PROJECT INFORMATION:

516 BANK STREET NORTH, SIMCOE, ON

CLIENT INFORMATION:

557 ALBERTA AVENUE, WOODSTOCK, ON

MINI STORAGE DEVELOPMENT

DESIGN LOGIX ENGINEERING INC.

DRAWING NAME:

SITE GRADING, SERVING, EROSION & SEDIMENT PLAN

PROJECT No:

GE22-0224-2

DRAWING No:

C300

SHEET SET No:

2 OF 3

GENERAL NOTES AND CONSTRUCTION SPECIFICATIONS

1. GENERAL NOTES

1.1. THESE PLANS ARE NOT FOR CONSTRUCTION UNTIL SIGNED AND SEALED BY ENGINEER AND APPROVED BY THE BY THE APPROVING AUTHORITY.

1.2. ALL CONSTRUCTION WORK TO BE COMPLETED IN ACCORDANCE WITH ALL APPLICABLE (MOST RECENT) STANDARDS.

1.3. THE PLANS PREPARED BY GRIT ENGINEERING INC. ARE NOT TO BE USED FOR CONSTRUCTION UNTIL SIGNED BY THE ENGINEER AND ACCEPTED BY THE APPROVING AGENCY. THESE PLANS ARE NOT TO BE REPRODUCED IN WHOLE OR IN PART WITHOUT THE PERMISSION OF GRIT ENGINEERING INC.

1.4. CHANGES TO DRAWINGS ARE NOT PERMITTED UNTIL REVIEWED AND APPROVED BY THE ENGINEER AND ACCEPTED BY THE APPROVING AUTHORITY.

1.5. CONTRACTOR TO VERIFY THAT THE DRAWINGS BEING USED FOR THE CONSTRUCTION ARE THE MOST RECENT VERSION.

1.6. UTILITY LOCATES AND ALL APPLICABLE PERMITS ARE TO BE OBTAINED PRIOR TO THE START OF CONSTRUCTION AND INSPECTION BEING COMPLETED.

1.7. THE CONTRACTOR IS TO VERIFY THE EXISTING CONDITION OF THE SITE. THE VERIFICATION INCLUDES AND NOT LIMITED TO THE SERVICE LOCATION, SERVICE ELEVATIONS, UTILITY CONFLICTS AND BENCHMARK ELEVATIONS. ANY DISCREPANCIES ARE TO BE REPORTED TO THE ENGINEER IMMEDIATELY AND PRIOR TO THE CONTINUATION OF CONSTRUCTION.

1.8. LEGAL INFORMATION DERIVED FROM PARCEL FABRIC FROM PLAN 37R-10987 AND 37R-3061 LOCATED USING SURVEYED BARS. TOPOGRAPHIC INFORMATION PREPARED BY DESIGN LOGIX ENGINEERING INC., COMPLETED AUGUST 25, 2022.

1.9. THE CONTRACTOR IS TO OBTAIN CONSENT FROM THE NEIGHBOR IN THE FORM OF WRITTEN CORRESPONDENCE GRANTING PERMISSION TO ENTERING THE PROPERTY TO COMPLETE ANY CONSTRUCTION ACTIVITY. THE WRITTEN CONSENT IS TO BE PROVIDED TO THE APPROVING AUTHORITY PRIOR TO THE CONTINUATION OF WORK FOR APPROVAL. THE CONTRACTOR WILL ASSUME LIABILITY FOR ALL WORKS IF FAILURE TO COMPLY.

1.10. THIS DRAWING IS TO BE READ COMBINATION WITH THE FOLLOWING:
1.10.1. STORMWATER MANAGEMENT BRIEF, NOVEMBER 28, 2022

1.11. DURING THE CONSTRUCTION, THE CONTRACTOR ASSUMES ALL LIABILITY FOR DAMAGE TO ALL EXISTING FEATURES AND STRUCTURES. THE CONTRACTOR WILL BE RESPONSIBLE FOR ALL RESTORATION AND RESTORED TO EXISTING CONDITION OR BETTER.

1.12. THESE PLANS ARE TO BE USED FOR SERVICING AND GRADING ONLY; ANY OTHER INFORMATION SHOWN IS FOR ILLUSTRATION PURPOSES ONLY. THESE PLANS MUST NOT BE USED TO SITE THE PROPOSED BUILDING.

1.13. THE CONTRACTOR SHALL ASSUME ALL LIABILITY FOR ANY DAMAGE TO EXISTING WORKS. THE CONTRACTOR IS RESPONSIBLE FOR RESTORATION OF ALL DAMAGED AND/OR DISTURBED PROPERTY WITHIN THE MUNICIPAL RIGHT-OF-WAY TO THE APPROVING AUTHORITY STANDARDS

1.14. ALL WORKS ON A MUNICIPAL RIGHT-OF-WAY TO BE INSTALLED BY THE OWNERS CONTRACTOR AT OWNERS EXPENSE IN ACCORDANCE WITH THE THE APPROVING AUTHORITY STANDARDS. THE OWNER AND CONTRACTOR ARE TO ENSURE OFF-SITE WORKS PERMIT IS IN PLACE PRIOR TO CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR RESTORATION OF ALL AFFECTED PROPERTY TO ORIGINAL CONDITION.

1.15. ALL UNDERGROUND SERVICES ARE TO BE CONSTRUCTED IN FULL COMPLIANCE WITH THE ONTARIO PROVINCIAL STANDARD (PART 7, PLUMBING), THE ONTARIO PROVINCIAL STANDARD SPECIFICATIONS (OPSS) AND THE REQUIREMENTS OF THE APPROVING AUTHORITY. WHICH CODES AND REGULATIONS SHALL SUPERSEDE ALL OTHERS.

1.16. SITE SERVICING CONTRACTOR TO TERMINATE ALL SERVICES 1 METRE FROM FOUNDATION WALL.

1.17. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRAFFIC AND SAFETY MEASURES DURING THE CONSTRUCTION PERIOD INCLUDING THE SUPPLY, INSTALLATION AND REMOVAL OF ALL NECESSARY SIGNALS, DELINEATORS, MARKERS, AND BARRIERS. ALL SIGNS, ETC. SHALL CONFORM TO THE STANDARDS OF THE APPROVING AUTHORITY AND THE MTO MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.

1.18. THE POSITION OF POLE LINES, CONDUITS, WATERMAINS, SEWERS AND OTHER UNDERGROUND AND OVERGROUND UTILITIES AND STRUCTURES IS NOT NECESSARILY SHOWN ON THE CONTRACT DRAWINGS, AND, WHERE SHOWN, THE ACCURACY OF THE POSITION OF SUCH UTILITIES AND STRUCTURES IS NOT GUARANTEED. BEFORE STARTING WORK, THE CONTRACTOR SHALL INFORM HIMSELF OF THE EXACT LOCATION OF ALL SUCH UTILITIES AND STRUCTURES AND SHALL ASSUME ALL LIABILITY FOR DAMAGE TO THEM.

1.19. FOLLOWING COMPLETION OF PROPOSED WORKS AND PRIOR TO OCCUPANCY INSPECTION, ALL STORM AND SANITARY SEWERS ARE TO BE FLUSHED, AND ALL CATCHBASIN AND CATCHBASIN MANHOLE SUMPS ARE TO BE CLEARED OF DEBRIS AND SILT.
2. INSPECTION AND CERTIFICATION

2.1. GRIT ENGINEERING INC. REQUIRES A MINIMUM OF 24 HOURS NOTICE PRIOR TO THE REQUIRED INSPECTION BE REQUESTED. INSPECTIONS ARE REQUIRED TO VERIFY PIPE INSTALLATION (MATERIALS, SIZE, LOCATION AND ELEVATION), STRUCTURE PLACEMENT, SURFACE MATERIAL AND FINISHED GRADING.

2.1.1. CONSTRUCTION WORKS WITHIN THE PUBLIC RIGHT-OF-WAY REQUIRE FULL TIME INSPECTION.

2.1.2. CONSTRUCTION WORKS WITHIN PRIVATE LANDS ARE REQUIRED ON A PART TIME AND AS NEEDED BASIS.

2.2. FAILURE TO COMPLY WITH GRIT ENGINEERING INC. INSPECTION REQUIREMENTS, WILL RESULT IN ADDITIONAL CONSTRUCTION INSPECTION AND VERIFICATION AT THE EXPENSE OF THE CONTRACTOR.
3. STORM SEWERS AND SERVICING

3.1. PIPE BEDDING FOR RIGID PIPE TO BE CLASS "B" AS PER OPSD 802.030, 802.031, OR 802.032. PIPE BEDDING FOR FLEXIBLE PIPE TO BE AS PER OPSD 802.010. BEDDING MATERIAL AND COVER MATERIAL TO BE GRANULAR "A". TRENCH BACKFILL TO BE NATIVE MATERIAL REPLACED IN 300mm LIFTS AND COMPACTED TO 95% STANDARD PROCTOR MAXIMUM DRY DENSITY.

3.2. STORM SEWERS 200mmØ TO 450mmØ SHALL BE POLYVINYL CHLORIDE (PVC) PIPE SDR35 ASTM-D3034 OR RIBBED PVC SEWER PIPE CSA B182-4-M80 ASTM-F744 WITH INTEGRAL BELL AND SPIGOT UTILIZING FLEXIBLE ELASTOMERIC SEALS. RIBBED PVC NOT TO BE USED WITHIN-RIGHT-OF-WAY.

3.2. CONNECTIONS TO THE MAIN SHALL BE MADE WITH AN APPROVED MANUFACTURED TEE OR APPROVED SADDLES IN ACCORDANCE WITH OPSS 410

3.8. CATCHBASIN STRUCTURES 600mmX600mm TO BE PER OPSD 705.010

3.9. DITCH INLET CATCHBASIN STRUCTURES 600mmX1200mm TO BE PER OPSD 705.040 (TYPE B)

3.10. MAINTENANCE HOLE STRUCTURES 1200mmØ TO BE PER OPSD 701.010

3.11. MAINTENANCE HOLE STRUCTURES 1500mmØ TO BE PER OPSD 701.011

3.12. CATCHBASINS TO HAVE A MINIMUM 600mm DEEP SUMP.

3.13. CATCHBASIN, FRAMES, GRATES, CASTINGS AND LIDS TO BE OPSD 400.100

3.14. STORM SEWERS AND SERVICES TO HAVE MINIMUM 1.5m COVER TO TOP OF PIPE. WHERE COVER TO TOP OF PIPE IS DEFICIENT, CONTRACTOR SHALL INSTALL SHALL LOW BURIED SEWER PIPE. PER DETAIL. THIS SHEET OR OTHER ENGINEER-APPROVED EQUIVALENT.

4. SANITARY SEWERS SANITARY SERVICING

4.1. PIPE BEDDING FOR RIGID PIPE TO BE CLASS "B" AS PER OPSD 802.030. PIPE BEDDING FOR FLEXIBLE PIPE TO BE AS PER OPSD 802.010. BEDDING MATERIAL AND COVER MATERIAL TO BE GRANULAR "A". TRENCH BACKFILL TO BE NATIVE MATERIAL REPLACED IN 300mm LIFTS AND COMPACTED TO 95% STANDARD PROCTOR DENSITY.

4.2. SANITARY MANHOLES SHALL BE CONSTRUCTED AS PER OPSD 407. WHERE REQUIRED, FROST STRAPS SHALL BE INSTALLED AS PER OPSD 701.010.

4.3. FRAMES AND COVERS REQUIRED AS PER OPSD 401.010, UNLESS OTHERWISE APPROVED BY COUNTY ENGINEER.

4.4. MAINTENANCE HOLE STEPS AS PER OPSD 405.010, OR 405.020. COUNTY REQUIRES STEPS TO BE INSTALLED AS PER OPSD 704.010

4.5. BENCHING SHALL BE AS PER OPSD701.021.

4.6. SANITARYSEWERS TO BE 150mmØ GREEN POLYVINYL CHLORIDE (PVC) PIPE SDR28 CSA B182.2 320KPa STIFFNESS WITH INTEGRAL BELL AND SPIGOT UTILIZING FLEXIBLE ELASTOMERIC SEALS.

4.7. CONNECTIONS TO THE MAIN SHALL BE MADE WITH AN APPROVED MANUFACTURED TEE OR APPROVED SADDLES IN ACCORDANCE WITH OPSS 410.

4.8. ALL SERVICE CONNECTIONS DROPS TO BE NON-RISE CONNECTIONS PER OPSD 1006.010 WITH LONG RADII, SWEEP BENDS.

4.9. SANITARY SEWERS AND SERVICES TO HAVE MINIMUM 2.4m AND MAXIMUM 3.0m COVER ON TOP OF PIPE. WHERE COVER TO TOP OF PIPE IS DEFICIENT, CONTRACTOR SHALL SEE DETAIL FOR INSULATION REQUIREMENTS.

4.10. SANITARY SERVICE LATERALS TO BE LOCATED WITH A STANDARD 2x4 PIECE OF LUMBER, A MINIMUM OF 1.0m ABOVE FINISHED GRADE AND PAINTED BROWN.

4.11. CONTRACTOR RESPONSIBLE FOR TESTING OF SANITARY SEWERS IN ACCORDANCE WITH OPSS 410.

5. WATERMAINS AND WATER SERVICING

5.1. ALL WATER DISTRIBUTION SYSTEM INSTALLATION SHALL BE IN ACCORDANCE WITH THE CURRENT THE APPROVING AGENCY STANDARD WATERMAIN SPECIFICATIONS, THE PLUMBING CODE, AND THE AWWA.

5.2. POLYVINYL CHLORIDE (PVC) PIPE UP TO AND INCLUDING 300mm DIAMETER SHALL BE COLOUR CODED BLUE AND CONFORM TO AWWA C900, TO BE CERTIFIED BY THE CANADIAN STANDARDS ASSOCIATION TO STANDARD B137.3, AND SHALL BE CLASS 150, DR18, WITH CAST IRON OD DIMENSION, NSF/ANSI 61.

5.3. WATER SERVICE PIPE MATERIAL WITHIN THE RIGHT OF WAY SHALL BE PVC CLASS 235 DR18.

5.4. PIPE BEDDING FOR WATERMAIN BEDDING SHALL BE PER OPSD 802.030. GRANULAR MATERIAL IS TO BE SAND OR GRANULAR "A". IN GENERAL THE BEDDING MATERIAL SHALL PROVIDE A CONTINUOUS SUPPORT FOR THE PIPE AT THE LINE AND GRADE AS INDICATED ON THE CONTRACT DRAWINGS. FROZEN MATERIAL SHALL NOT BE USED TO SUPPORT OR BED THE PIPE. BEDDING SHALL CONSIST OF A WELL-GRADED GRANULAR MATERIAL WITH SIZES NO GREATER THAN 19.5mm. COMPACT GRANULAR BEDDING MATERIAL TO 95 PERCENT STANDARD PROCTOR DENSITY. COMPACT MATERIAL AROUND THE PIPE WITH HAND TAMPERS PROPERLY SHAPED TO ENSURE FULL COMPACTION BELOW THE HAUNCHES. DO NOT USE MECHANICAL TAMPERS OVER THE TOP OF PIPE WHERE COVER IS LESS THAN 300mm.

5.5. JOINT RESTRAINTS SHALL MEET THE REQUIREMENTS OF ASTM F1674 PERFORMANCE SPECIFICATIONS FOR JOINT RESTRAINT DEVICES. JOINT RESTRAINTS FOR RCP AND FITTINGS SHALL BE SERRATED RING TYPE AS MANUFACTURED BY UNIFLANGE (SERIES 1300, 1350 & 1360), EBBA (SERIES 1600, 2500 & 2800) OR CLOW (SERIES300 & 350) OR WEDGE ACTION TYPE AS MANUFACTURED BY EBBA (SERIES 2000PV) OR UNIFLANGE (SERIES 1500). JOINT RESTRAINTS MUST MEET AWWA STANDARDS C900, C9065, C600 AND C605.

5.6. VALVES SHALL BE RESILIENT SEAT GATE VALVES MANUFACTURED TO A.W.W.A. C509 OR C515 SPECIFICATIONS. TAPPING VALVES AND SLEEVES MUST BE APPROVED BY THE CITY ENGINEER. THE NUMBER OF TURNS TO OPERATE THE VALVE SHALL BE 3 TIMES THE VALVE DIAMETER IN INCHES PLUS 2 TO 3 TURNS. VALVES WITH NUMBER OF TURNS IN EXCESS OF THIS WILL NOT BE PERMITTED. ALL VALVES MUST BE MECHANICAL JOINT AND MUST OPEN LEFT (OR COUNTER CLOCK-WISE). VALVE BOXES AS SUPPLIED BY CANADA VALVE, MUELLER LIMITED, OR APPROVED EQUIVALENT WILL BE ACCEPTABLE. VALVE RODS SHALL BE MANUFACTURED IN ACCORDANCE WITH OXFORD COUNTY DETAIL DRAWING D1834-1-1993.

5.7. FIRE HYDRANTS SHALL BE CANADA VALVE CENTURY (PUMPER), MCALVITY CLOW M-67 (PUMPER) OR EAST JORDAN IRON WORKS WATERMASTER SCD250 OR APPROVED EQUIVALENT. PRIVATE HYDRANTS SHALL HAVE THE BODY PAINTED RED. HYDRANTS SHALL HAVE TWO HOSE NOZZLES AND ONE PUMPER NOZZLE. HYDRANT PUMPER NOZZLE SHALL HAVE STORZ CONNECTIONS. ALL HYDRANTS SHALL OPEN LEFT (COUNTER CLOCK-WISE) AND CONFORM TO AWWA C502. HYDRANTS SHALL BE SET WITH THE BARREL TRULY VERTICAL, OUTLETS PARALLEL TO THE ROADWAY, AND AT A DEPTH SUITABLE FOR

THE FINISHED GRADE AT THE HYDRANT LOCATION. HYDRANTS SHALL BE INSTALLED PER OXFORD COUNTY DRAWING D 1828-1-1993.

5.8. SERVICE CONNECTION TO BE 50mmØ PEX. PEX PIPE SHALL BE MEET AWWA STANDARD C904 AND BE COLOUR CODED BLUE WITH STAINLESS STEEL INSERTS-STIFFENERS. NO PEX PIPE SHALL BE INSTALLED LESS THAN 25MM DIAMETER NOMINAL SIZE. AND ALL PIPE SHALL BE NEW. OTHER PIPE MAY BE USED ON PRIVATE PROPERTY BUT MUST MEET AWWA, NSF/ANSI 61 & 14 (NSF-PW), AND ONTARIO BUILDING CODE STANDARDS.

5.9. WATER SERVICE CONNECTION SHALL BE TAPPED INTO THE MAIN AT A 10 - 20 DEGREE ANGLE FROM HORIZONTAL RESULTING IN A GOOSENECK AT LEAST 1.2M LONG. PEX/APE-RT SHOULD BE "SNAKED" IN THE TRENCH FROM SIDE TO SIDE APPROXIMATELY 1% OF THE LENGTH OF PIPE OR AS PER MANUFACTURES INSTRUCTIONS. PEX/APE-RT PIPE MUST CONFORM TO COPPER TUBE SIZE SDR 9 PIPE THAT CAN BE USED WITH AWWA C800 COMPRESSION JOINT VALVES AND FITTINGS. STAINLESS STEEL INSERTS ARE TO BE USED AT JOINT FITTINGS. WATER SERVICE PIPE SHALL BE ONE CONTINUOUS LENGTH SEE STD. DWG. W8

5.10. TRACER WIRE FOR NON-METALLIC WATERMAIN SHALL BE 12 GAUGE COPPERHEAD COLOUR CODED BLUE, HIGH STRENGTH 1230 (PN#1230"-HS) AND SHALL BE INSTALLED ALONG ALL NON-METALLIC WATERMANS AT THE 12 O'CLOCK POSITION AND STRAPPED TO IT AT 6.0m INTERVALS. THE TRACER WIRE SHALL BE BROUGHT TO THE SURFACE AT ALL VALVES AND LOOPEO TO THE TOP OF THE BOX AND INSIDE THROUGH A DRILLED HOLE. TRACER WIRE TO BE INSTALLED PER OXFORD COUNTY DETAIL DRAWING D1846-1-2009.

5.11. ALL WATER SERVICES 25mm, 38mm AND 50mm SHALL COMPLY WITH AWWA C800 AND MUST BE INSTALLED USING A SERVICE SADDLE WHEN COMING OFF NON-METALLIC WATERMAIN. SERVICE SADDLES SHALL BE DOUBLE BOLT FULL CIRCUMFERENCE WIDE BAND WITH STAINLESS STEEL BAND, NUTS, BOLTS AND BAND SHALL BE TYPE 304 STAINLESS STEEL OF MINIMUM 12-GAUGE THICKNESS. PROPER PVC PIPE CORE DRILL MUST BE USED TO REMOVE THE COUPON.

5.12. WATER CONNECTIONS MAY BE PLACED IN THE SAME TRENCH WITH A STORM OR SANITARY CONNECTION ONLY IF A MINIMUM VERTICAL SEPARATION OF 500mm IS MAINTAINED BETWEEN THE WATER SERVICE AND ANY OTHER PIPE.

5.13. ALL WATERMANS AND SERVICES TO HAVE MINIMUM 1.8m AND MAXIMUM 2.0m COVER. WHERE COVER OVER SERVICES IS DEFICIENT, THE CONTRACTOR SHALL CONTACT DESIGN ENGINEER FOR INSULATION REQUIREMENTS.

5.14. WATER SERVICE TO BE LOCATED WITH A STANDARD 2x4 PIECE OF LUMBER, A MINIMUM OF 1.0m ABOVE FINISHED GRADE AND PAINTED BLUE.

5.15. WATERMAIN CONNECTION TO EXISTING WATERMANS SHALL BE COMPLETED IN THE PRESENCE OF A LICENSED OPERATOR FROM THE COUNTY OR THE COUNTY OF OXFORD'S SERVICE PROVIDER. CONTRACTOR SHALL NOTIFY THE COUNTY OR THE COUNTY OF OXFORD'S SERVICE PROVIDER IN WRITING A MINIMUM OF 48 HOURS IN ADVANCE OF THEIR INTENTION TO CONNECT TO THE EXISTING WATERMAIN. CONTRACTORS SHALL NOT OPERATE EXISTING VALVES. CONTRACTORS SHALL NOTIFY ANY EXISTING CUSTOMERS OF SHUT DOWNS. LISTS OF THE AFFECTED AREA SHALL BE PROVIDED BY THE COUNTY OR COUNTY OF OXFORD 'S SERVICE PROVIDER. ALL CONNECTIONS AND DISINFECTION PROCEDURES TO BE PER OXFORD COUNTY'S LATEST STANDARDS.

6. EROSION AND SEDIMENT CONTROL

6.1. PRIOR TO THE START OF ANY CONSTRUCTION THE CONTRACTOR IS TO INSTALL THE EROSION AND SEDIMENT CONTROLS IN ACCORDANCE TO THE APPROVED PLAN.

6.2. NO ALTERNATE EROSION AND SEDIMENT CONTROLS ARE PERMITTED WITHOUT APPROVAL FROM THE ENGINEER AND APPROVING AUTHORITY.

6.3. ADDITIONAL EROSION AND SEDIMENT CONTROLS MAY BE REQUIRED AS THE CONSTRUCTION PROGRESSES. THE CONTRACTOR TO INSTALL ADDITIONAL MEASURES AS REQUIRED BY THE ENGINEER AND APPROVING AUTHORITY.

6.4. THE CONTRACTOR IS TO PERFORM REGULAR MAINTENANCE, REPAIRS AND REPLACEMENT ON ALL CONTROLS TO ENSURE PROPER FUNCTIONINGS UNTIL PROJECT IS COMPLETE.

6.5. EROSION CONTROL FENCING TO BE INSTALLED AROUND BASE OF ALL STOCKPILES. ALL STOCKPILES TO BE KEPT 2.5m MINIMUM FROM PROPERTY LINE.

6.6. EROSION PROTECTION TO BE PROVIDED AROUND ALL STORM AND SANITARY MHS AND CBS.

6.7. ADDITIONAL EROSION CONTROL MEASURES MAY BE REQUIRED AS SITE DEVELOPMENT PROGRESSES. CONTRACTOR TO PROVIDE ALL ADDITIONAL EROSION CONTROL STRUCTURES.

6.8. CONTRACTOR TO CLEAN ROADWAY AND SIDEWALKS OF SEDIMENTS RESULTING FROM CONSTRUCTION TRAFFIC FROM THE SITE EACH DAY.

6.9. THE CONTRACTOR IS TO REMOVE ALL EROSION AND SEDIMENT CONTROLS UNTIL DEVELOPMENT IS COMPLETE AND VEGETATION PROPOSED FINISHED HARD SURFACE MATERIALS ARE INSTALLED AND VEGETATION IS STABILIZED WITH MATURE GROWTH.

7. MAINTENANCE RECOMMENDATIONS

7.1. EROSION CONTROL STRUCTURES TO BE MONITORED REGULARLY AND ANY DAMAGE REPAIRED IMMEDIATELY. SEDIMENTS TO BE REMOVED WHEN ACCUMULATIONS REACH A MAXIMUM OF 1/3 THE HEIGHT OF THE FENCE.

7.2. OWNER'S REPRESENTATIVE TO MONITOR EROSION CONTROL STRUCTURES TO ENSURE FENCING IS INSTALLED AND MAINTENANCE IS PERFORMED TO MUNICIPALITY REQUIREMENTS.

4.1. TOP OF WEIR ELEVATION = 219.27m

4.2. 1.0m WIDE WEIR

4.3. 0.3m TIE IN

4.4. BOTTOM OF WEIR ELEVATION = 219.10m

4.5. TURFSTONE OR APPROVED EQUIVALENT

4.6. 50mm BEDDING SAND

4.7. 270R GEOTEXTILE FABIC OR APPROVED EQUIVALENT

4.8. SUBGRADE MATERIAL COMPACTED TO A MINIMUM 95% STANDARD PROCTOR MAXIMUM DRY DENSITY

4.9. 4X 100# BARS DRIVEN IN TURFSTONE AND EXTEND 0.3m BELOW (TYP.)

4.10. 0.10m MIN

4.11. 0.3m MIN

4.1. OBSERVATION WELL DETAIL

4.2. N.T.S.

4.3. USE CAST IRON CAP AND INSTALL FLUSH WITH SURFACE AT ASPHALT SURFACE. EMCO#DRF44 OR APPROVED EQUAL

4.4. WATER TIGHT CAP

4.5. 100mmØ SOLID WALL PIPE FROM TOP OF TRENCH TO SURFACE

4.6. EXFILTRATION PIPE

4.7. 19mmØ CLEARSTONE

4.8. 100mm Ø PERFORATED PIPE C/W FILTER SOCK TO TOP OF STONED TRENCH

4.9. FILTER FABRIC ON ALL SIDES OF STONE TRENCH

4.10. ANCHOR ROD

4.11. CONCRETE SUPPORT PAD

4.12. GEOMETRY WILL VARY WITH INDIVIDUAL DESIGNS

4.1. ON-LINE ORIFICE DETAIL

4.2. N.T.S.

4.3. GROUT FILL OR APPROVED EQUIVALENT

4.4. OUTLET PIPE 300mmØ

4.5. 200mmØ PIPE ORIFICE

4.6. 217.15 INVERT ELEV.

4.7. 1.0m MIN

4.8. STRUCTURE WALL

4.9. FLOW

4.1. GRAVEL STRUCTURE

4.2. N.T.S.

4.3. SLOPED

4.4. GRANULAR "A"

4.5. PAVEMENT RESTORATION: -150mm GRANULAR "A" -450mm GRANULAR "B"

4.6. SUBGRADE SLOPED

4.7. NOTE: ROAD STRUCTURE PER MUNICIPALITY OF WEST PERTH DESIGN GUIDELINES. ROAD STRUCTURE TO BE VERIFIED ONSITE BY A QUALIFIED GEOTECHNICAL ENGINEER

4.1. INFILTRATION GALLERY DETAIL

4.2. N.T.S.

4.3. T/O GALLERY (AND GEOTEXTILE FABRIC) TO BE SET MINIMUM 1.22m BELOW GRADE MIN. SEE PLAN FOR TO TRENCH ELEVATION @ EA. END OF PIPE

4.4. 150mm (MIN.)

4.5. CLEANOUT AT SURFACE SEE DETAILS ON THIS SHEET

4.6. 300mm (min) OVERLAP

4.7. 200mmØ PERFORATED STORM SEWER C/W FILTER SOCK, SEE PLAN FOR SIZE AND LOCATION

4.8. 19mmØ CLEARSTONE

4.9. INVERT AT CONNECTION TO HEADER PIPE

4.10. 270R GEOTEXTILE FABIC OR AAPPROVED EQUIVALENT

4.11. GREATER THAN ±1.0m FROM BOTTOM OF GALLERY TO WATER TABLE

4.12. OBSERVATION WELL AT SURFACE SEE DETAIL

4.1. BANK STREET RESTORATION

4.2. N.T.S.

4.3. 30(MPa) CONCRETE CURB AND GUTTER AS PER OPSD 600.040

4.4. GRADE 58-28

4.5. -80mm #4.4 BASE COAT

4.6. -150mm GRANULAR "A"

4.7. -450mm GRANULAR "B"

4.8. BOULEVARD RESTORATION: -200mm TOPSOIL -TYPE 1 NURSERY SOD

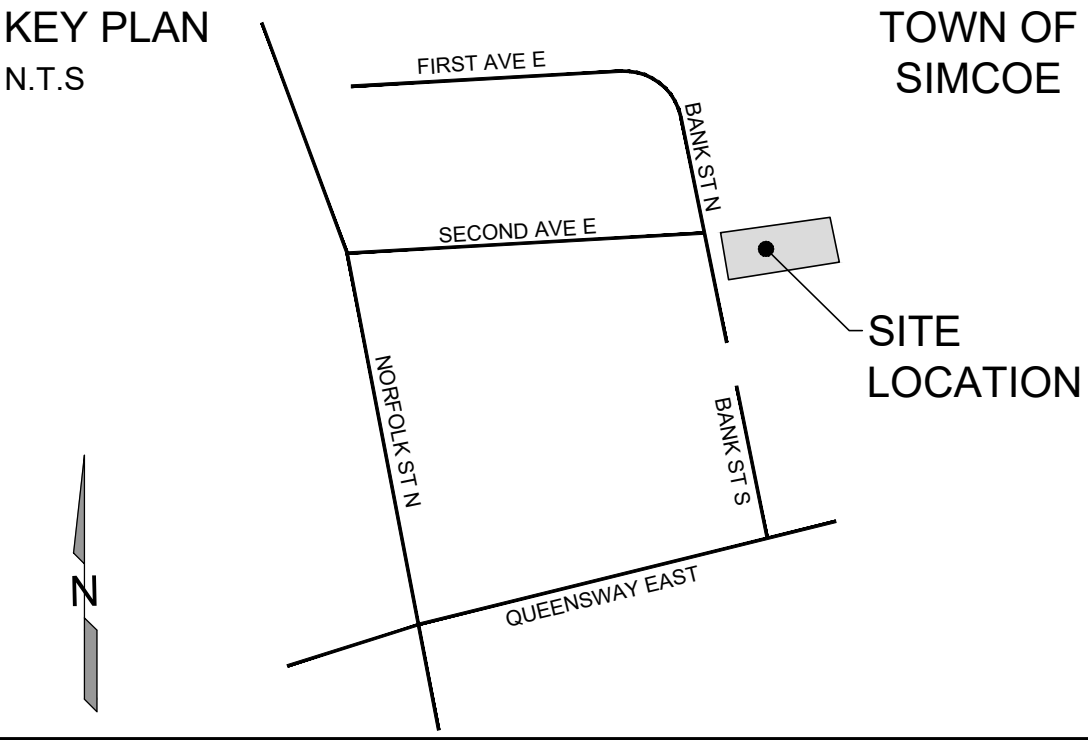
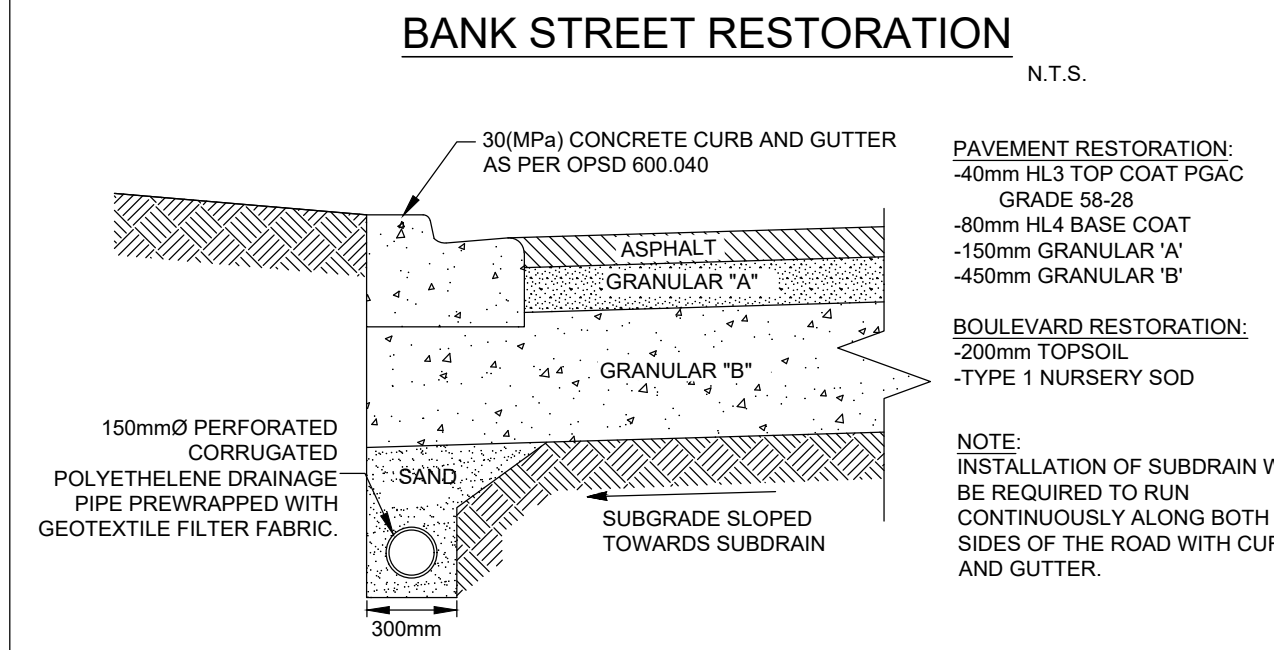
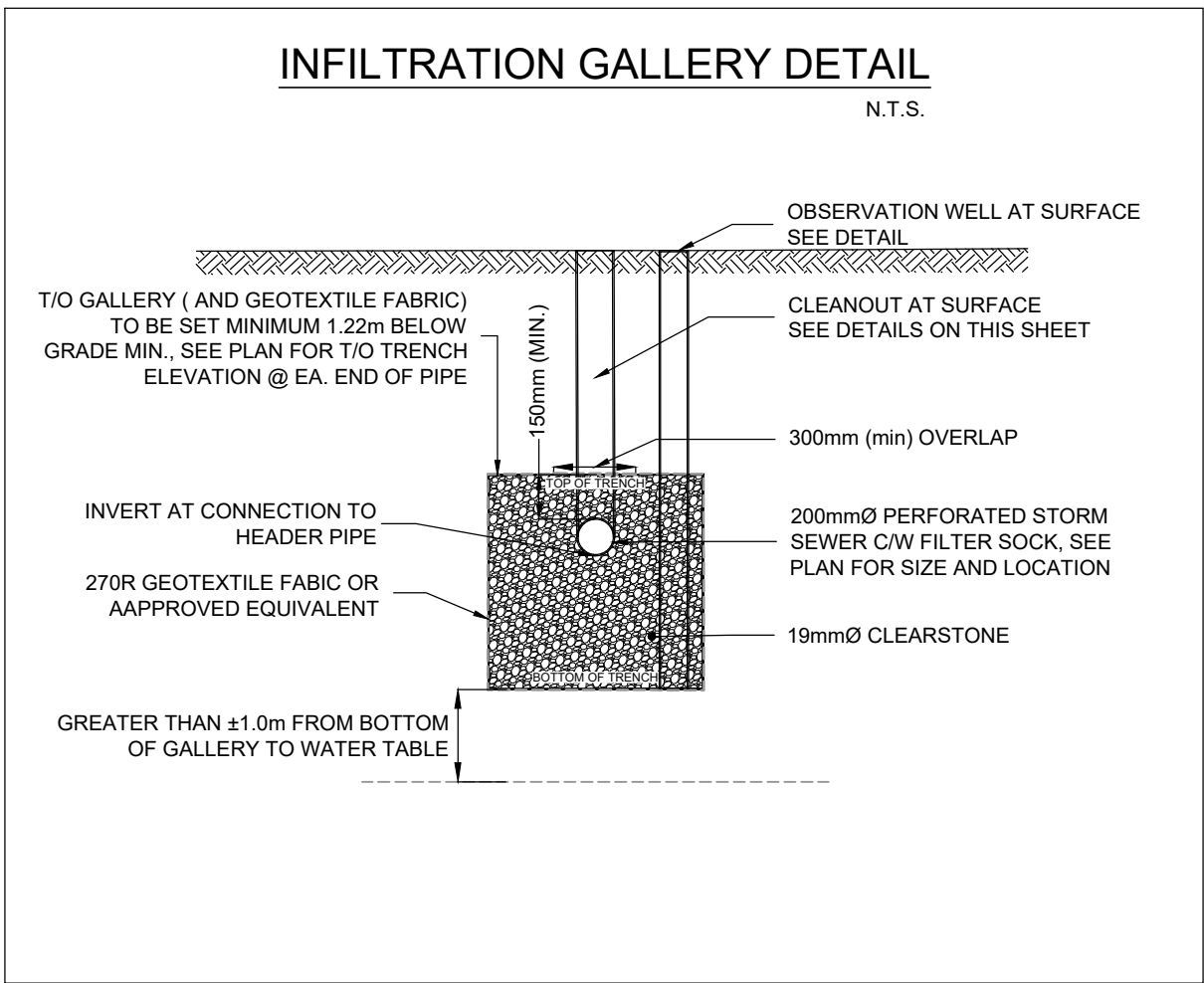
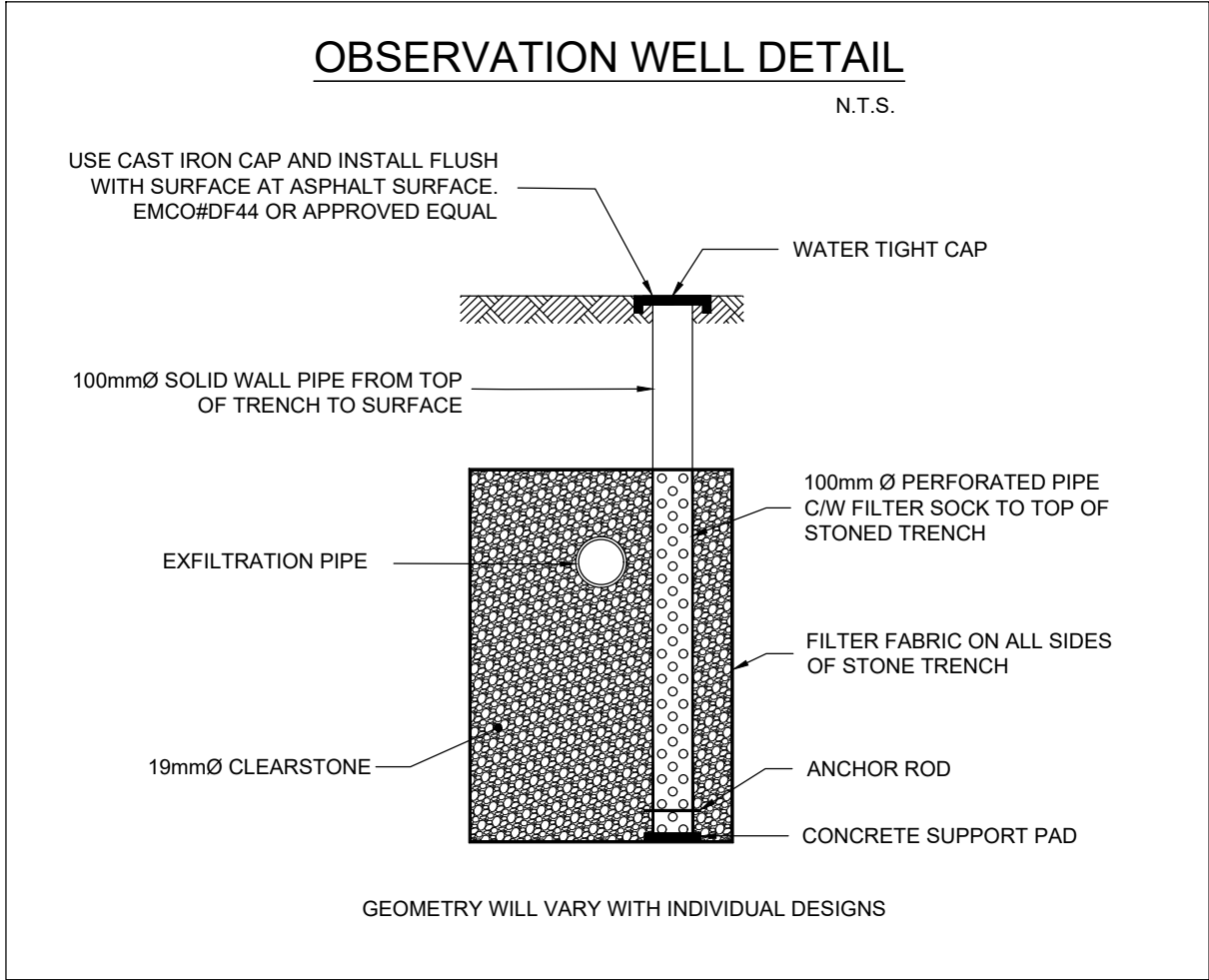
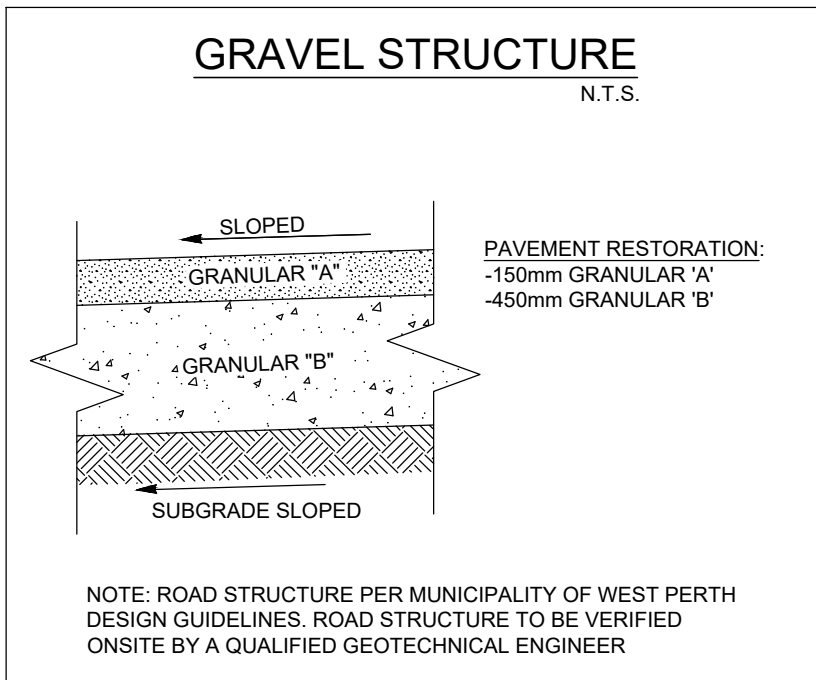
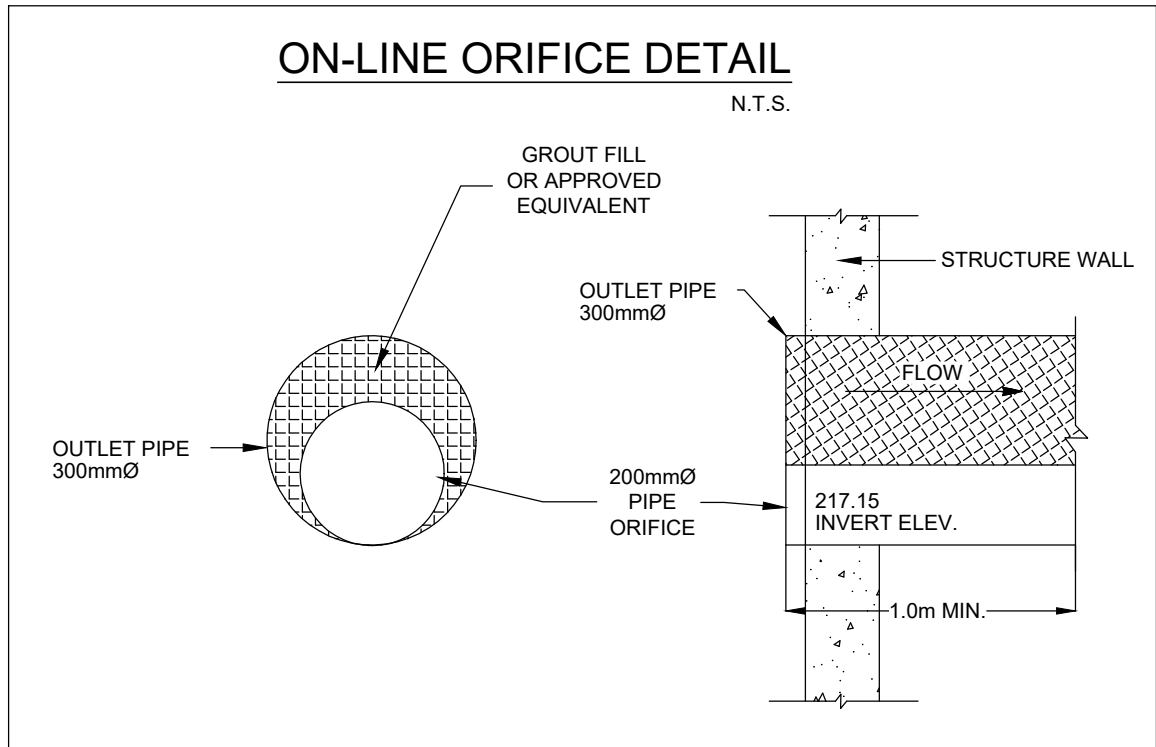
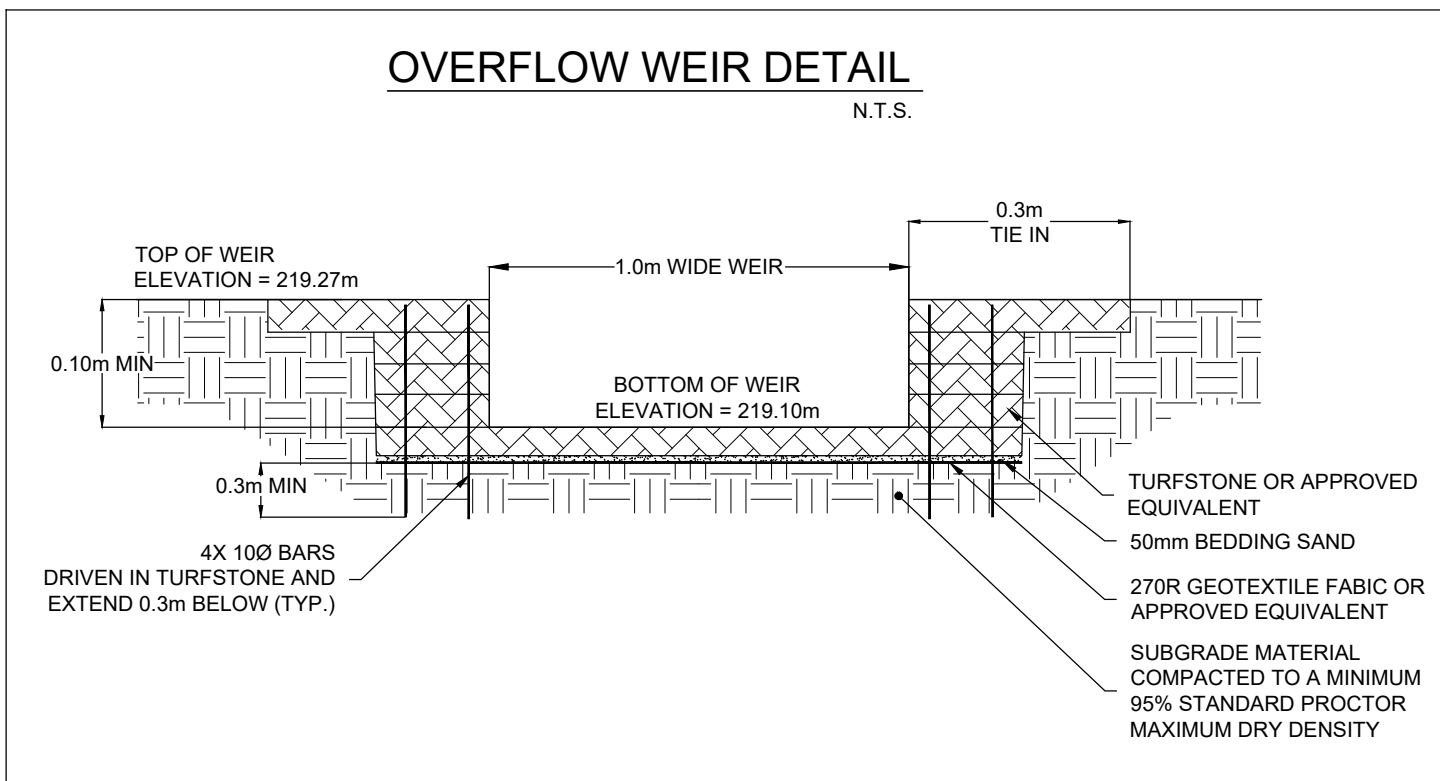
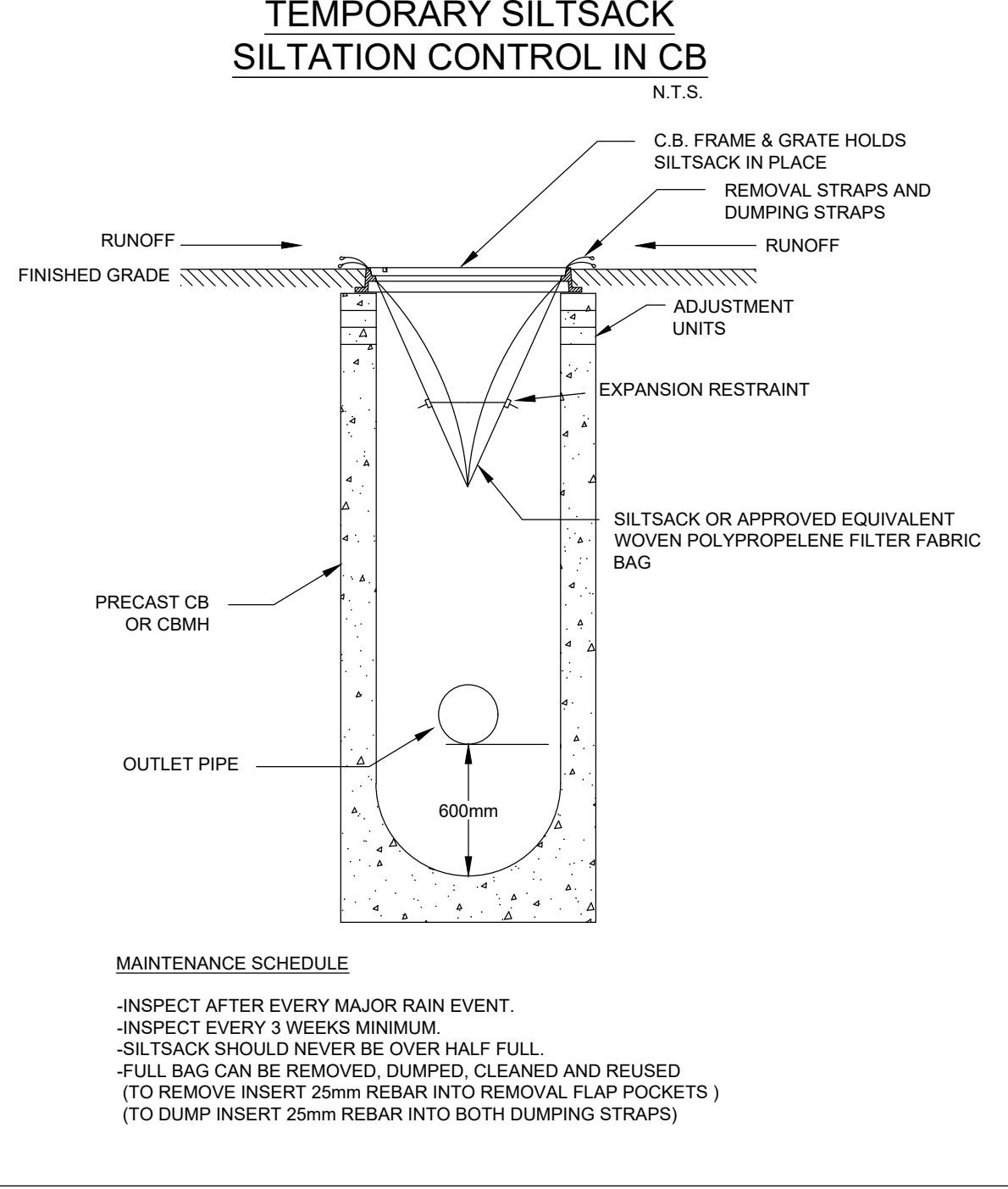
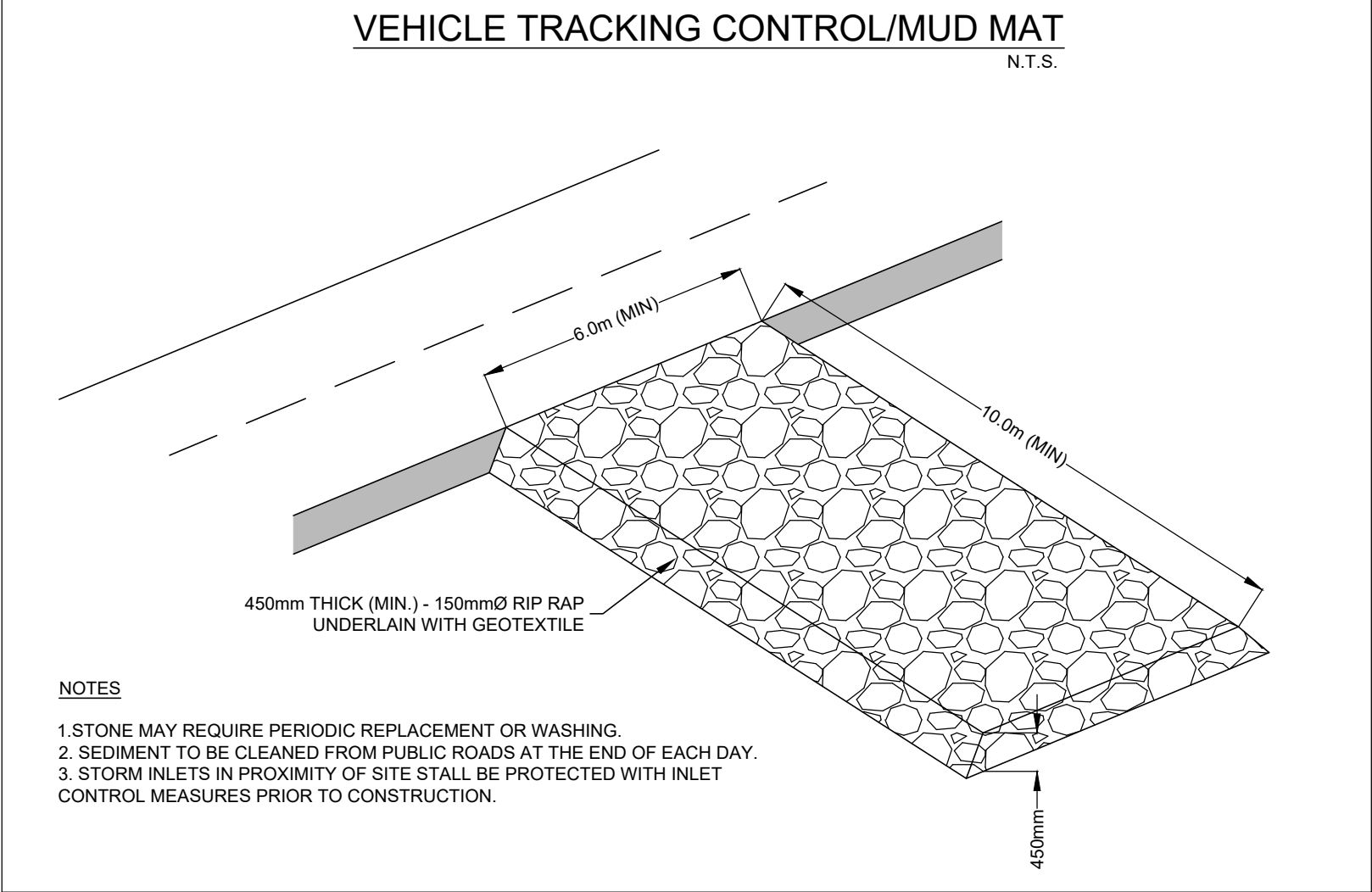
4.9. NOTE: INSTALLATION OF SUBDRAIN WILL BE REQUIRED TO RUN CONTINUOUSLY ALONG BOTH SIDES OF THE ROAD WITH CURB AND GUTTER.

4.10. 150mmØ PERFORATED CORRUGATED POLYETHYLENE DRAINAGE PIPE PREWRAPPED WITH GEOTEXTILE FILTER FABRIC.

4.11. SAND

4.12. SUBGRADE SLOPED TOWARDS SUBDRAIN

4.13. 300mm



TOWN OF SIMCOE

CONTRACTOR NOTES:

CONTRACTORS MUST CHECK AND VERIFY ALL DIMENSIONS AND REPORT ANY ERRORS TO THE ENGINEER PRIOR TO COMMENCEMENT OF WORK.

ALL DRAWINGS SHALL REMAIN THE PROPERTY OF THE ENGINEER AND SHALL NOT BE REUSED WITHOUT THE ENGINEER'S WRITTEN PERMISSION. DRAWING SHOULD NOT BE SCALED FOR DIMENSIONS PURPOSES.

THIS IS NOT A PLAN OF SURVEY AND SHALL NOT BE USE EXCEPT FOR THE PURPOSES INDICATED. BEARING AND DISTANCES SHOWN WERE DERIVED FROM REGISTERED PLAN No. 44M.XX

BENCHMARK (GEODETIC)

ELEVATION:

BENCHMARK (SITE)

BENCHMARK IS DESCRIBED AS TOP OF NUT OF EXISTING FIRE HYDRANT AS SHOWN ON PLAN.

ELEVATION: 219.446

No.	ISSUED DESCRIPTION	DATE
1	ISSUED FOR REVIEW	2021-07-26
2	ISSUED FOR APPROVAL	2022-11-28
3		
4		
5		

GRIT ENGINEERING INC.

MINI STORAGE DEVELOPMENT

DESIGN LOGIX ENGINEERING INC.

PROJECT INFORMATION:

516 BANK STREET NORTH, SIMCOE, ON

PROJECT No:

GE22-0224-2

SCALE:

N.T.S.

CLIENT INFORMATION:

557 ALBERTA AVENUE, WOODSTOCK, ON

DRAWING NAME:

CONSTRUCTION NOTES & DETAILS PLAN

DRAWING No:

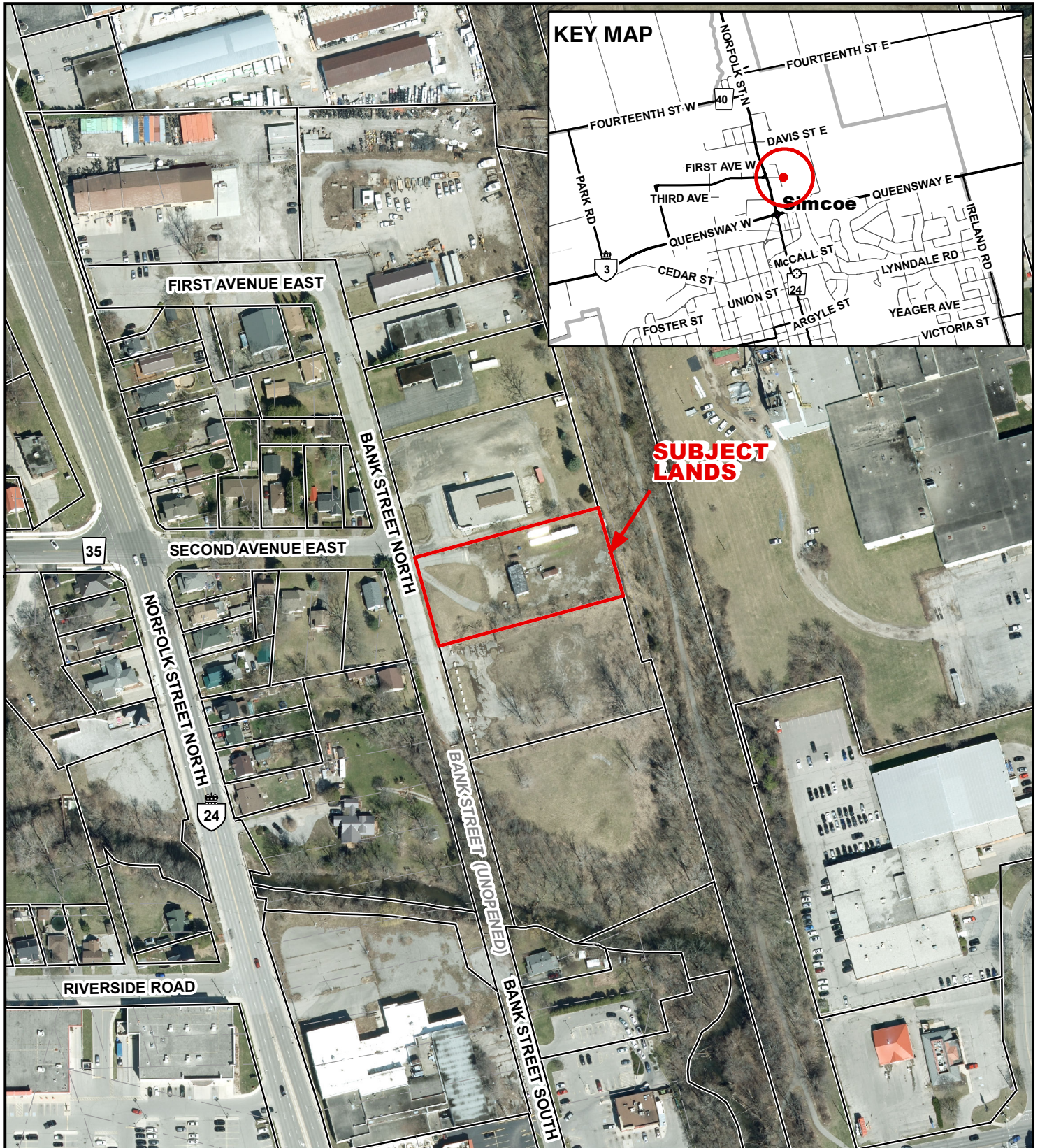
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SHEET SET No:


3 of 3

MAP A
CONTEXT MAP
Urban Area of SIMCOE

SPPL2022351

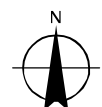


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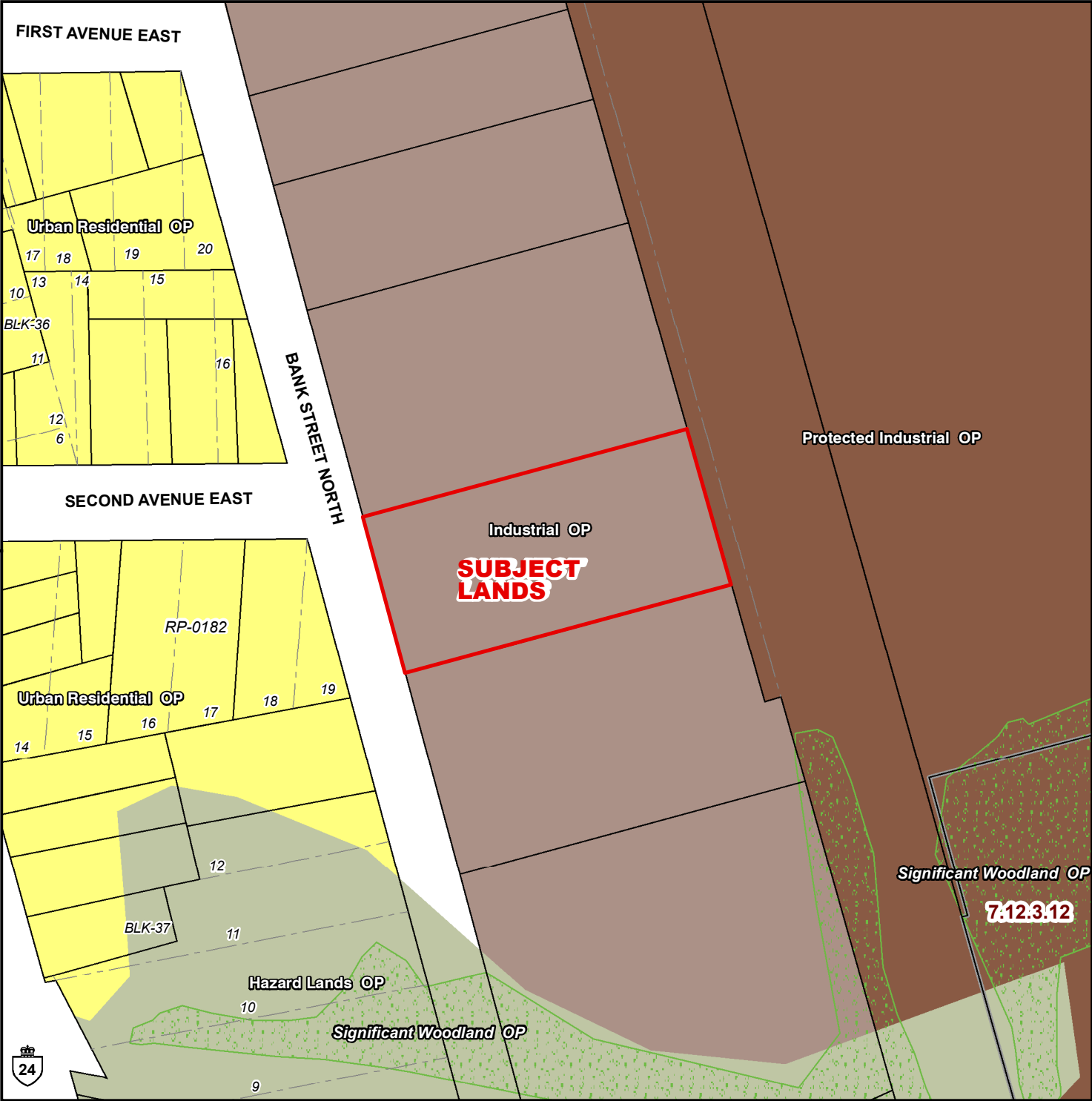
 Subject Lands

2020 Air Photo


12/12/2022









20 10 0 20 40 60 80 Meters

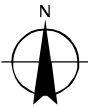


Legend

 Subject Lands

Official Plan Designations

- | | |
|--|--|
|  Hazard Lands |  Urban Area Boundary |
|  Urban Residential |  Significant Woodland |
|  Protected Industrial | |
|  Industrial | |



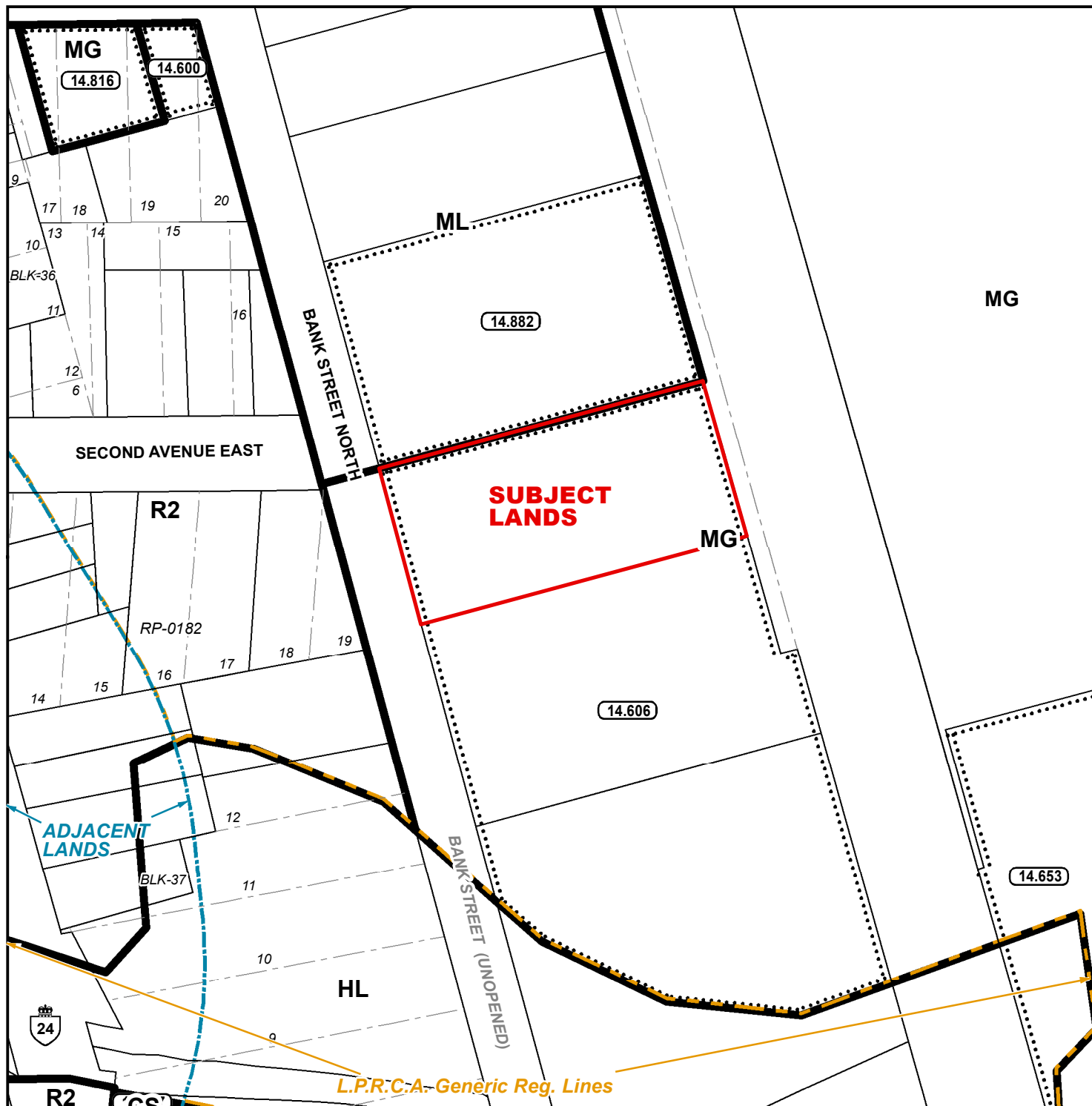
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MAP C

ZONING BY-LAW MAP

Urban Area of SIMCOE

SPPL2022351



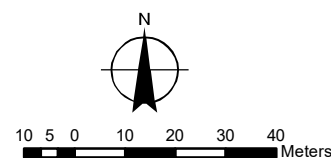
LEGEND

- Subject Lands
- Adjacent Lands
- LPRCA Generic Reg. Lines

ZONING BY-LAW 1-Z-2014

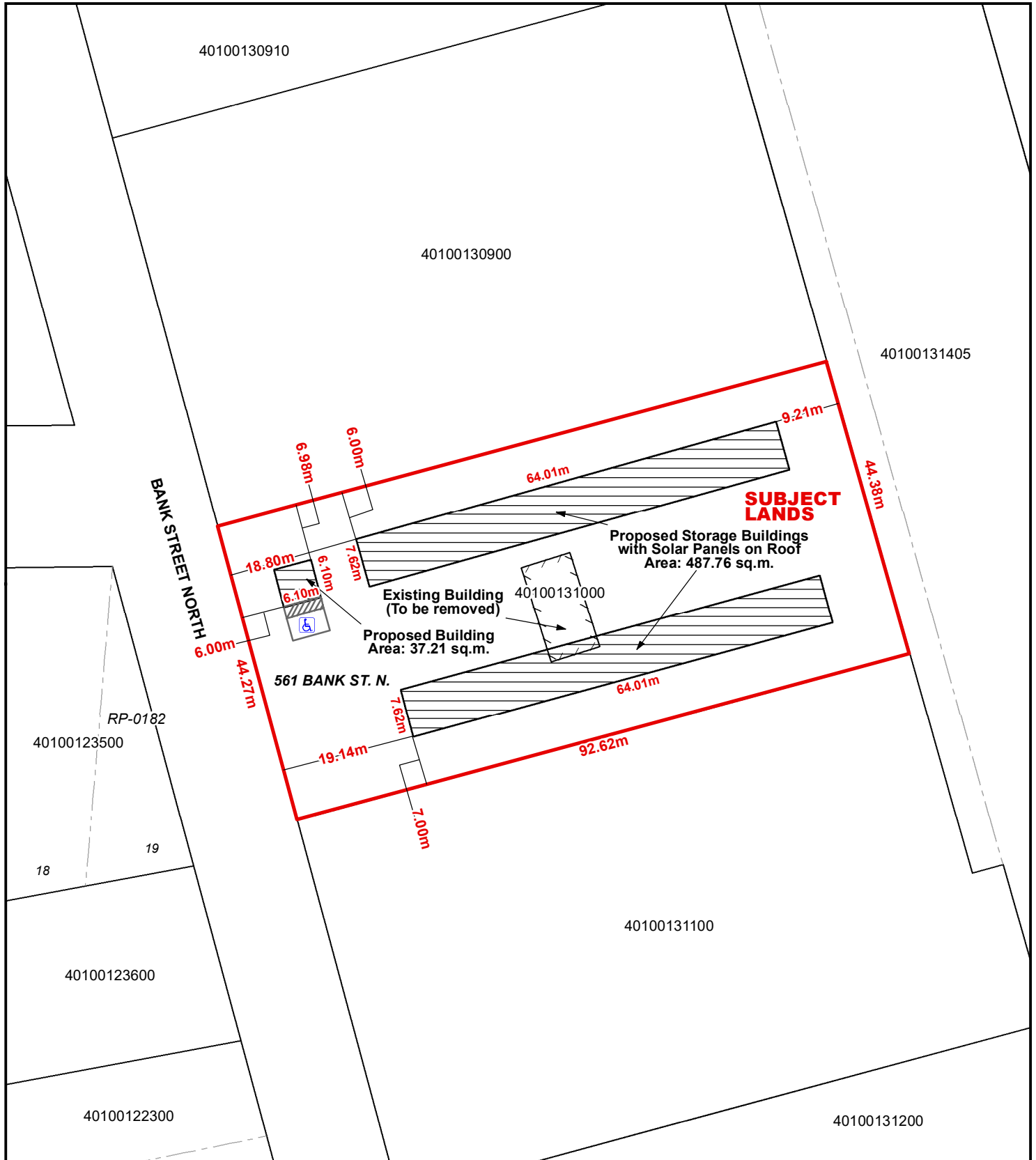
12/12/2022

- (H) - Holding
- CS - Service Commercial Zone
- MG - General Industrial Zone
- HL - Hazard Land Zone
- ML - Light Industrial Zone
- R2 - Residential R2 Zone



CONCEPTUAL PLAN

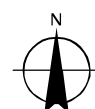
Urban Area of SIMCOE



Legend

Subject Lands

12/12/2022



6 3 0 6 12 18 24 Meters