



Planning Department Development Application Form

Complete Application

A complete development application consists of the following:

1. A properly completed and signed application form (signature must be original in planners file);
2. Supporting information adequate to illustrate your proposal as indicated in **Section H** of this application form (plans are required in paper copy and digital PDF format);
3. Written authorization from the registered owner of the subject lands where the applicant is not the owner as per Section N; and,
4. Cash, debit or cheque payable to Norfolk County in the amount set out in the user fees By-Law.

The above information is required to ensure that your application is given full consideration. An incomplete or improperly prepared application will not be accepted and may result in delays during the processing of the application. This application must be typed or printed in ink and completed in full.

Pre-Submission Consultation “Pre-consultation”:

A pre-consultation meeting with staff is required for all applications; however, minor applications may be exempted depending on the nature of the proposal, with approval from the Director of Planning or delegate. The purpose of a pre-consultation meeting is to provide the applicant with an opportunity to present the proposed application, discuss potential issues, and for the County and Agency staff to identify the required information and materials to be submitted with the application in order for it to be considered complete. The applicant has the opportunity to make revisions to the application prior to submission, without the additional costs of recirculation fees. It may be necessary to seek the assistance of independent professional help (for example, a planning consultant or engineer) for complex applications. If a pre-consultation meeting has been held to discuss your development, please **include a copy of the Pre-consultation minutes with your application** as part of the submission package. It should be noted that **pre-consultation minutes are valid for one year after the meeting date.**

Development Application Process

Once an application has been deemed complete by a planner, it will be circulated to public agencies and County departments for review and comments. Notice of the application is also provided to adjacent land owners. The comments received assist the planner with the review and recommendation/approval of your application. The time involved in processing an application varies depending upon its complexity and its



acceptability to the other agencies and is subject to statutory *Planning Act* decision timeframes.

An additional fee will be required if a review by the Long Point Region Conservation Authority or by the Grand River Conservation Authority is deemed necessary by planning staff and/or by the Authority. A separate cheque payable to the Long Point Region Conservation Authority or the Grand River Conservation Authority is required in accordance with their fee schedule at the same time your application is submitted.

Additional studies required as part of the complete application shall be at the sole expense of the applicant. It should also be noted that in some instances peer reviews may be necessary to review particular studies and that the cost shall be at the expense of the applicant. The company to complete the peer review shall be selected by the County.

If the application is withdrawn prior to the circulation to commenting agencies, the entire original fee will be refunded. If withdrawn after the circulation to agencies, half the original fee will be refunded. If your drawings are required to be recirculated there will be an additional fee. Also, please note that if your engineering drawings require more than three reviews due to revisions by the owner or failure to revise your engineering drawings as requested, an additional fee will be charged. No refund is available after the public meeting and/or after approval of application.

Notification Sign Requirements

For the purpose of public notification and in order for staff to locate your lands for appropriate applications (zoning, subdivision, condominium or official plan) you will be given a sign to indicate the intent and purpose of your development application. It is your responsibility to:

1. Post one sign per frontage in a conspicuous location on the subject lands;
2. Ensure one sign is posted at the front of the subject lands at least three feet above ground level, not on a tree;
3. Notify the Planner when the sign is in place in order to avoid processing delays; and
4. Maintain the sign until the development application is finalized and thereafter removed.

Contact Us

For additional information or assistance in completing this application, please contact a planner at 519-426-5870 or 519-875-4485 extension 1842 or planning@norfolkcounty.ca. Please submit the completed application and fees to the attention of the Planning Department at 185 Robinson Street, Suite 200, Simcoe, ON N3Y 5L6.

For Office Use Only:

File Number	_____	Public Notice Sign	_____
Related File Number	_____	Application Fee	_____
Pre-consultation Meeting	_____	Conservation Authority Fee	_____
Application Submitted	_____	Well & Septic Info Provided	_____
Complete Application	_____	Planner	_____

Check the type of planning application(s) you are submitting.

- ☐ Official Plan Amendment
- ☐ Zoning By-Law Amendment
- ☐ Temporary Use By-law
- ☐ Draft Plan of Subdivision/Vacant Land Condominium
- ☐ Condominium Exemption
- ☒ Site Plan Application
- ☐ Extension of a Temporary Use By-law
- ☐ Part Lot Control
- ☐ Cash-in-Lieu of Parking
- ☐ Renewable Energy Project or Radio Communication Tower

Please summarize the desired end result of this application (for example: a special zoning provision on the subject lands to include additional use(s), changing the zone and/or official plan designation of the subject lands, creating a certain number of lots, or similar)

SPA for new building

Property Assessment Roll Number:

49101704100

A. Applicant Information

Name of Owner

James Picard / Picard Peanuts

It is the responsibility of the owner or applicant to notify the planner of any changes in ownership within 30 days of such a change.

Address

1867 Windham Rd. 10

Town and Postal Code

Windham Centre, NOE 2A0

Phone Number

519 420 6700

Cell Number

519 428 6628

Email

jim@picardpeanuts.com

Name of Applicant

Ryan Morrison (MC Engineering)

Address

~~Same as above~~

Town and Postal Code

4318 Hwy 3 East, Simcoe N3Y 4K4

Phone Number

(519) 428 6190

Cell Number

(519) 420 7457

Email

ryanmorrison75@hotmail.com

Name of Agent

Ryan Morrison (MC Engineering)

Address

Town and Postal Code

Phone Number

Cell Number

Email

Please specify to whom all communications should be sent. Unless otherwise directed, all correspondence and notices in respect of this application will be forwarded to both owner and agent noted above.

☒ Owner

☒ Agent

☐ Applicant

Names and addresses of any holder of any mortgagees, charges or other encumbrances on the subject lands:

BMO - 195 Henry St. Brantford

B. Location, Legal Description and Property Information

1. Legal Description (include Geographic Township, Concession Number, Lot Number, Block Number and Urban Area or Hamlet):

Windham Con 9 Pt Lot 1

Municipal Civic Address: none assigned

Present Official Plan Designation(s): agricultural

Present Zoning: see planning justification report

2. Is there a special provision or site specific zone on the subject lands?

☐ Yes ☒ No If yes, please specify corresponding number:

3. Present use of the subject lands:

agricultural

4. Please describe **all existing** buildings or structures on the subject lands and whether they are to be retained, demolished or removed. If retaining the buildings or structures, please describe the type of buildings or structures, and illustrate the setback, in metric units, from front, rear and side lot lines, ground floor area, gross floor area, lot coverage, number of storeys, width, length, and height on your attached sketch which must be included with your application:

none

5. If an addition to an existing building is being proposed, please explain what it will be used for (for example: bedroom, kitchen, or bathroom). If new fixtures are proposed, please describe.

not applicable (new bldg. only)

6. Please describe **all proposed** buildings or structures/additions on the subject lands. Describe the type of buildings or structures/additions, and illustrate the setback, in metric units, from front, rear and side lot lines, ground floor area, gross floor area, lot coverage, number of storeys, width, length, and height on your attached sketch which must be included with your application:

proposed 2457.5m² building
(see site plan drawings)

7. Are any existing buildings on the subject lands designated under the *Ontario Heritage Act* as being architecturally and/or historically significant? Yes ☐ No ☒

If yes, identify and provide details of the building:

8. If known, the length of time the existing uses have continued on the subject lands:

30 years +

9. Existing use of abutting properties:

agricultural, residential

10. Are there any easements or restrictive covenants affecting the subject lands?

☐ Yes ☒ No If yes, describe the easement or restrictive covenant and its effect:

C. Purpose of Development Application

Note: Please complete all that apply.

1. Please explain what you propose to do on the subject lands/premises which makes this development application necessary:

Proposed Building

2. Please explain why it is not possible to comply with the provision(s) of the Zoning By-law/and or Official Plan:

n/a

3. Does the requested amendment alter all or any part of the boundary of an area of settlement in the municipality or implement a new area of settlement in the municipality? ☐ Yes ☒ No If yes, describe its effect:

4. Does the requested amendment remove the subject land from an area of employment? ☐ Yes ☒ No If yes, describe its effect:

5. Does the requested amendment alter, replace, or delete a policy of the Official Plan?
☐ Yes ☒ No If yes, identify the policy, and also include a proposed text of the policy amendment (if additional space is required, please attach a separate sheet):

6. Description of land intended to be severed in metric units:

Frontage: 230m

Depth: 800m (+/-)

Width: _____

Lot Area: 28.7 ha

Present Use: agricultural

Proposed Use: _____

Proposed final lot size (if boundary adjustment): same as existing

If a boundary adjustment, identify the assessment roll number and property owner of the lands to which the parcel will be added: n/a

Description of land intended to be retained in metric units:

Frontage: _____

Depth: _____

Width: _____

Lot Area: _____

Present Use: _____

Proposed Use: _____

Buildings on retained land: _____

7. Description of proposed right-of-way/easement:

Frontage: _____

Depth: _____

Width: _____

Area: _____

Proposed use: _____

8. Name of person(s), if known, to whom lands or interest in lands to be transferred, leased or charged (if known):

*reference planning justification report

9. Site Information

Zoning

Proposed

Please indicate unit of measurement, for example: m, m² or %

Lot frontage	_____	_____
Lot depth	_____	_____
Lot width	_____	_____
Lot area	_____	_____
Lot coverage	_____	_____
Front yard	_____	_____
Rear yard	_____	_____
Left Interior side yard	_____	_____
Right Interior side yard	_____	_____
Exterior side yard (corner lot)	_____	_____
Landscaped open space	_____	_____
Entrance access width	_____	_____
Exit access width	_____	_____
Size of fencing or screening	_____	_____
Type of fencing	_____	_____

10. Building Size

Number of storeys	_____	_____
Building height	_____	_____
Total ground floor area	_____	_____
Total gross floor area	_____	_____
Total useable floor area	_____	_____

11. Off Street Parking and Loading Facilities

Number of off street parking spaces	_____	_____
Number of visitor parking spaces	_____	_____
Number of accessible parking spaces	_____	_____
Number of off street loading facilities	_____	_____

12. Residential (if applicable)

Number of buildings existing: N/A

Number of buildings proposed: _____

Is this a conversion or addition to an existing building? ☐ Yes ☐ No

If yes, describe: _____

Type	Number of Units	Floor Area per Unit in m2
Single Detached	_____	_____
Semi-Detached	_____	_____
Duplex	_____	_____
Triplex	_____	_____
Four-plex	_____	_____
Street Townhouse	_____	_____
Stacked Townhouse	_____	_____
Apartment - Bachelor	_____	_____
Apartment - One bedroom	_____	_____
Apartment - Two bedroom	_____	_____
Apartment - Three bedroom	_____	_____

Other facilities provided (for example: play facilities, underground parking, games room, or swimming pool):

13. Commercial/Industrial Uses (if applicable)

Number of buildings existing: _____

Number of buildings proposed: _____

Is this a conversion or addition to an existing building? ☐ Yes ☐ No

If yes, describe:

Indicate the gross floor area by the type of use (for example: office, retail, or storage):

Seating Capacity (for assembly halls or similar): _____

Total number of fixed seats: _____

Describe the type of business(es) proposed: _____

Total number of staff proposed initially: _____

Total number of staff proposed in five years: _____

Maximum number of staff on the largest shift: _____

Is open storage required: ☐ Yes ☐ No

Is a residential use proposed as part of, or accessory to commercial/industrial use?

☐ Yes ☐ No If yes please describe:

14. Institutional (if applicable)

Describe the type of use proposed: _____

Seating capacity (if applicable): _____

Number of beds (if applicable): _____

Total number of staff proposed initially: _____

Total number of staff proposed in five years: _____

Maximum number of staff on the largest shift: _____

Indicate the gross floor area by the type of use (for example: office, retail, or storage):

15. Describe Recreational or Other Use(s) (if applicable)

D. Previous Use of the Property

1. Has there been an industrial or commercial use on the subject lands or adjacent lands? ☐ Yes ☒ No ☐ Unknown

If yes, specify the uses (for example: gas station or petroleum storage):

2. Is there reason to believe the subject lands may have been contaminated by former uses on the site or adjacent sites? ☐ Yes ☒ No ☐ Unknown

3. Provide the information you used to determine the answers to the above questions:

4. If you answered yes to any of the above questions in Section D, a previous use inventory showing all known former uses of the subject lands, or if appropriate, the adjacent lands, is needed. Is the previous use inventory attached? ☐ Yes ☐ No

E. Provincial Policy

1. Is the requested amendment consistent with the provincial policy statements issued under subsection 3(1) of the *Planning Act*, R.S.O. 1990, c. P. 13? ☒ Yes ☐ No

If no, please explain:

2. It is owner's responsibility to be aware of and comply with all relevant federal or provincial legislation, municipal by-laws or other agency approvals, including the Endangered Species Act, 2007. Have the subject lands been screened to ensure that development or site alteration will not have any impact on the habitat for endangered or threatened species further to the provincial policy statement subsection 2.1.7? ☒ Yes ☐ No

If no, please explain:

3. Have the subject lands been screened to ensure that development or site alteration will not have any impact on source water protection? ☐ Yes ☐ No

If no, please explain:

Note: If in an area of source water Wellhead Protection Area (WHPA) A, B or C please attach relevant information and approved mitigation measures from the Risk Manager Official.

4. Are any of the following uses or features on the subject lands or within 500 metres of the subject lands, unless otherwise specified? Please check boxes, if applicable.

Livestock facility or stockyard (submit MDS Calculation with application)

☐ On the subject lands or ☐ within 500 meters – distance no

Wooded area

☐ On the subject lands or ☐ within 500 meters – distance no

Municipal Landfill

☐ On the subject lands or ☐ within 500 meters – distance no

Sewage treatment plant or waste stabilization plant

☐ On the subject lands or ☐ within 500 meters – distance no

Provincially significant wetland (class 1, 2 or 3) or other environmental feature

☐ On the subject lands or ☐ within 500 meters – distance no

Floodplain

☐ On the subject lands or ☐ within 500 meters – distance no

Rehabilitated mine site

☐ On the subject lands or ☐ within 500 meters – distance no

Non-operating mine site within one kilometre

☐ On the subject lands or ☐ within 500 meters – distance no

Active mine site within one kilometre

☐ On the subject lands or ☐ within 500 meters – distance no

Industrial or commercial use (specify the use(s))

☐ On the subject lands or ☐ within 500 meters – distance no

Active railway line

☐ On the subject lands or ☐ within 500 meters – distance no

Seasonal wetness of lands

☐ On the subject lands or ☐ within 500 meters – distance no

Erosion

☐ On the subject lands or ☐ within 500 meters – distance no

Abandoned gas wells

☐ On the subject lands or ☐ within 500 meters – distance no

F. Servicing and Access

1. Indicate what services are available or proposed:

Water Supply

- ☐ Municipal piped water
☒ Individual wells

- ☐ Communal wells
☐ Other (describe below)

Sewage Treatment

- ☐ Municipal sewers
☒ Septic tank and tile bed in good working order
- ☐ Communal system
☐ Other (describe below)

Storm Drainage

- ☐ Storm sewers
☐ Other (describe below)
- ☐ Open ditches

Surface drainage to municipal drain

2. Existing or proposed access to subject lands:

- ☒ Municipal road
☐ Unopened road
- ☐ Provincial highway
☐ Other (describe below)

Name of road/street:

Windham Rd #10

G. Other Information

1. Does the application involve a local business? ☒ Yes ☐ No
If yes, how many people are employed on the subject lands?

2. Is there any other information that you think may be useful in the review of this application? If so, explain below or attach on a separate page.

please see Planning Justification Report

H. Supporting Material to be submitted by Applicant

In order for your application to be considered complete, **folded** hard copies (number of paper copies as directed by the planner) and an **electronic version (PDF) of the properly named site plan drawings, additional plans, studies and reports** will be required, including but not limited to the following details:

1. Concept/Layout Plan
2. All measurements in metric
3. Key map
4. Scale, legend and north arrow
5. Legal description and municipal address
6. Development name
7. Drawing title, number, original date and revision dates
8. Owner's name, address and telephone number
9. Engineer's name, address and telephone number
10. Professional engineer's stamp
11. Existing and proposed easements and right of ways
12. Zoning compliance table – required versus proposed
13. Parking space totals – required and proposed
14. All entrances to parking areas marked with directional arrows
15. Loading spaces, facilities and routes (for commercial developments)
16. All dimensions of the subject lands
17. Dimensions and setbacks of all buildings and structures
18. Location and setbacks of septic system and well from all existing and proposed lot lines, and all existing and proposed structures
19. Gross, ground and useable floor area
20. Lot coverage
21. Floor area ratio
22. Building entrances, building type, height, grades and extent of overhangs
23. Names, dimensions and location of adjacent streets including daylighting triangles
24. Driveways, curbs, drop curbs, pavement markings, widths, radii and traffic directional signs
25. All exterior stairways and ramps with dimensions and setbacks
26. Retaining walls including materials proposed
27. Fire access and routes
28. Location, dimensions and number of parking spaces (including visitor and accessible) and drive aisles
29. Location of mechanical room, and other building services (e.g. A/C, HRV)
30. Refuse disposal and storage areas including any related screening (if indoors, need notation on site plan)
31. Winter snow storage location

32. Landscape areas with dimensions
33. Natural features, watercourses and trees
34. Fire hydrants and utilities location
35. Fencing, screening and buffering – size, type and location
36. All hard surface materials
37. Light standards and wall mounted lights (plus a note on the site plan that all outdoor lighting is to be dark sky compliant)
38. Business signs (make sure they are not in sight lines)
39. Sidewalks and walkways with dimensions
40. Pedestrian access routes into site and around site
41. Bicycle parking
42. Architectural elevations of all building sides
43. All other requirements as per the pre-consultation meeting

In addition, the following additional plans, studies and reports, including but not limited to, **may** also be required as part of the complete application submission:

- ☐ Zoning Deficiency Form
- ☐ On-Site Sewage Disposal System Evaluation Form (to verify location and condition)
- ☐ Architectural Plan
- ☐ Buildings Elevation Plan
- ☐ Cut and Fill Plan
- ☐ Erosion and Sediment Control Plan
- ☐ Grading and Drainage Control Plan (around perimeter and within site) (existing and proposed)
- ☐ Landscape Plan
- ☐ Photometric (Lighting) Plan
- ☐ Plan and Profile Drawings
- ☐ Site Servicing Plan
- ☐ Storm water Management Plan
- ☐ Street Sign and Traffic Plan
- ☐ Street Tree Planting Plan
- ☐ Tree Preservation Plan
- ☐ Archaeological Assessment
- ☐ Environmental Impact Study

- ☐ Functional Servicing Report
- ☐ Geotechnical Study / Hydrogeological Review
- ☐ Minimum Distance Separation Schedule
- ☐ Noise or Vibration Study
- ☐ Record of Site Condition
- ☐ Storm water Management Report
- ☐ Traffic Impact Study – please contact the Planner to verify the scope required

Site Plan applications will require the following supporting materials:

1. Two (2) complete sets of the site plan drawings folded to 8½ x 11 and an electronic version in PDF format
2. Letter requesting that the Holding be removed (if applicable)
3. A cost estimate prepared by the applicant's engineer
4. An estimate for Parkland dedication by a certified land appraiser
5. Property Identification Number (PIN) printout

Standard condominium exemptions will require the following supporting materials:

- ☐ Plan of standard condominium (2 paper copies and 1 electronic copy)
- ☐ Draft condominium declaration
- ☐ Property Identification Number (PIN) printout

Your development approval might also be dependent on Ministry of Environment and Climate Change, Ministry of Transportation or other relevant federal or provincial legislation, municipal by-laws or other agency approvals.

All final plans must include the owner's signature as well as the engineer's signature and seal.

I. Development Agreements

A development agreement may be required prior to approval for site plan, subdivision and condominium applications. Should this be necessary for your development, you will be contacted by the agreement administrator with further details of the requirements including but not limited to insurance coverage, professional liability for your engineer, additional fees and securities.

J. Transfers, Easements and Postponement of Interest

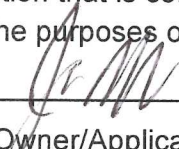
The owner acknowledges and agrees that if required it is their solicitor's responsibility on behalf of the owner for the registration of all transfer(s) of land to the County, and/or transfer(s) of easement in favour of the County and/or utilities. Also, the owner further acknowledges and agrees that it is their solicitor's responsibility on behalf of the owner for the registration of postponements of any charges in favour of the County.

K. Permission to Enter Subject Lands

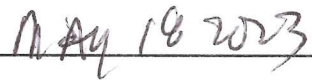
Permission is hereby granted to Norfolk County officers, employees or agents, to enter the premises subject to this application for the purposes of making inspections associated with this application, during normal and reasonable working hours.

L. Freedom of Information

For the purposes of the *Municipal Freedom of Information and Protection of Privacy Act*, I authorize and consent to the use by or the disclosure to any person or public body any information that is collected under the authority of the *Planning Act*, R.S.O. 1990, c. P. 13 for the purposes of processing this application.



Owner/Applicant Signature



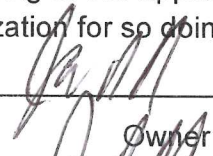
Date

M. Owner's Authorization

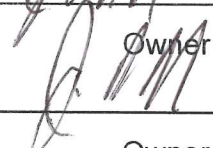
If the applicant/agent is not the registered owner of the lands that is the subject of this application, the owner(s) must complete the authorization set out below.

I/We JAMES PICARD am/are the registered owner(s) of the lands that is the subject of this application.

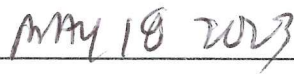
I/We authorize Ryan Morrison to make this application on my/our behalf and to provide any of my/our personal information necessary for the processing of this application. Moreover, this shall be your good and sufficient authorization for so doing.



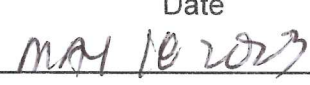
Owner



Owner



Date



Date

N. Declaration

I, Ryan Morrison of Simcoe, Ontario

solemnly declare that:

all of the above statements and the statements contained in all of the exhibits transmitted herewith are true and I make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath and by virtue of *The Canada Evidence Act*.

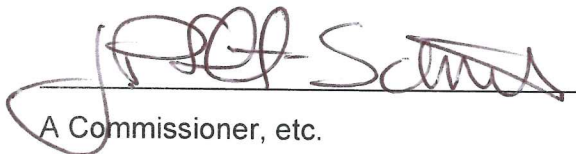
Declared before me at:

Simcoe

In Norfolk County

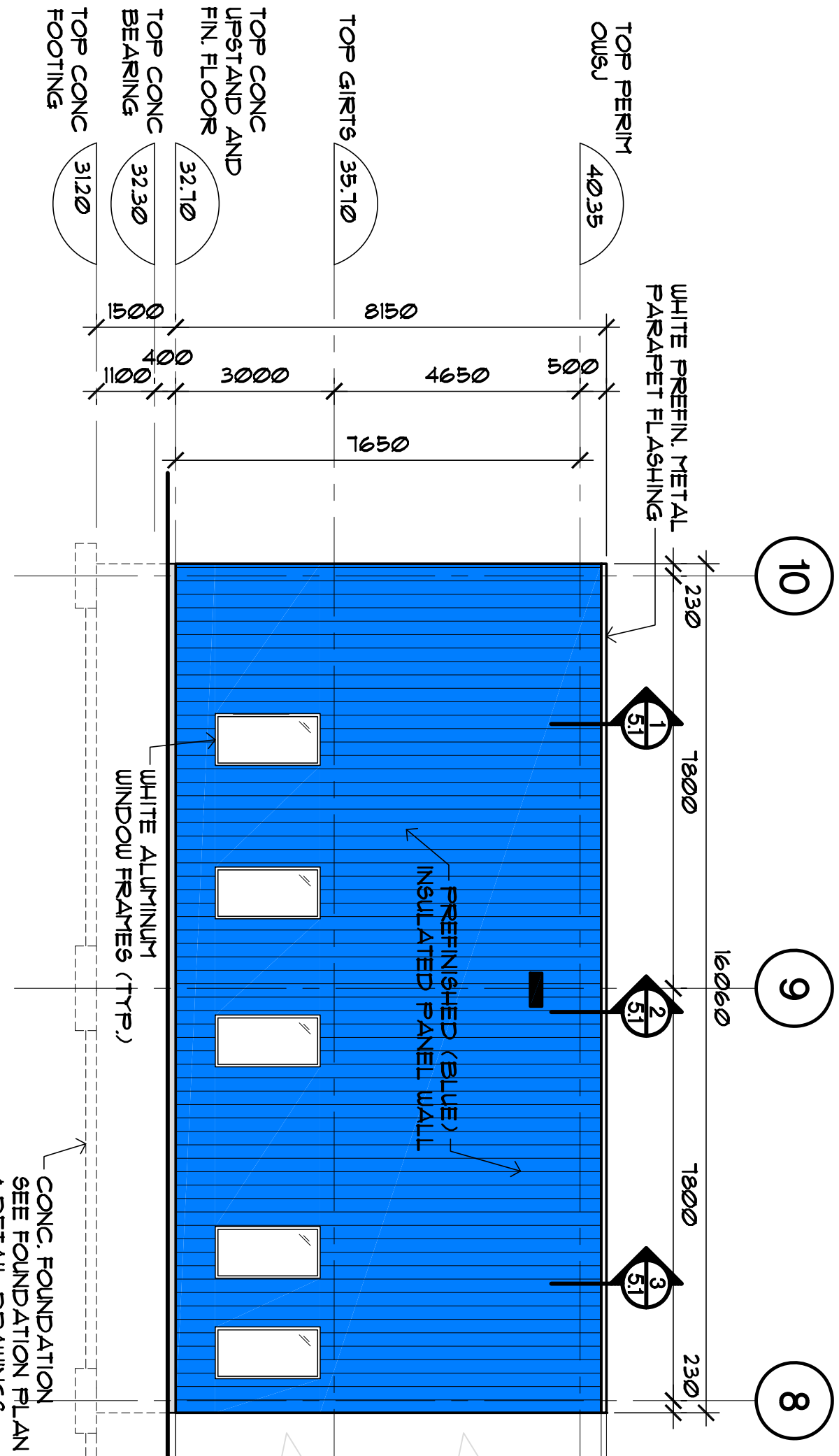
This 25 day of May

A.D., 2023


A Commissioner, etc.

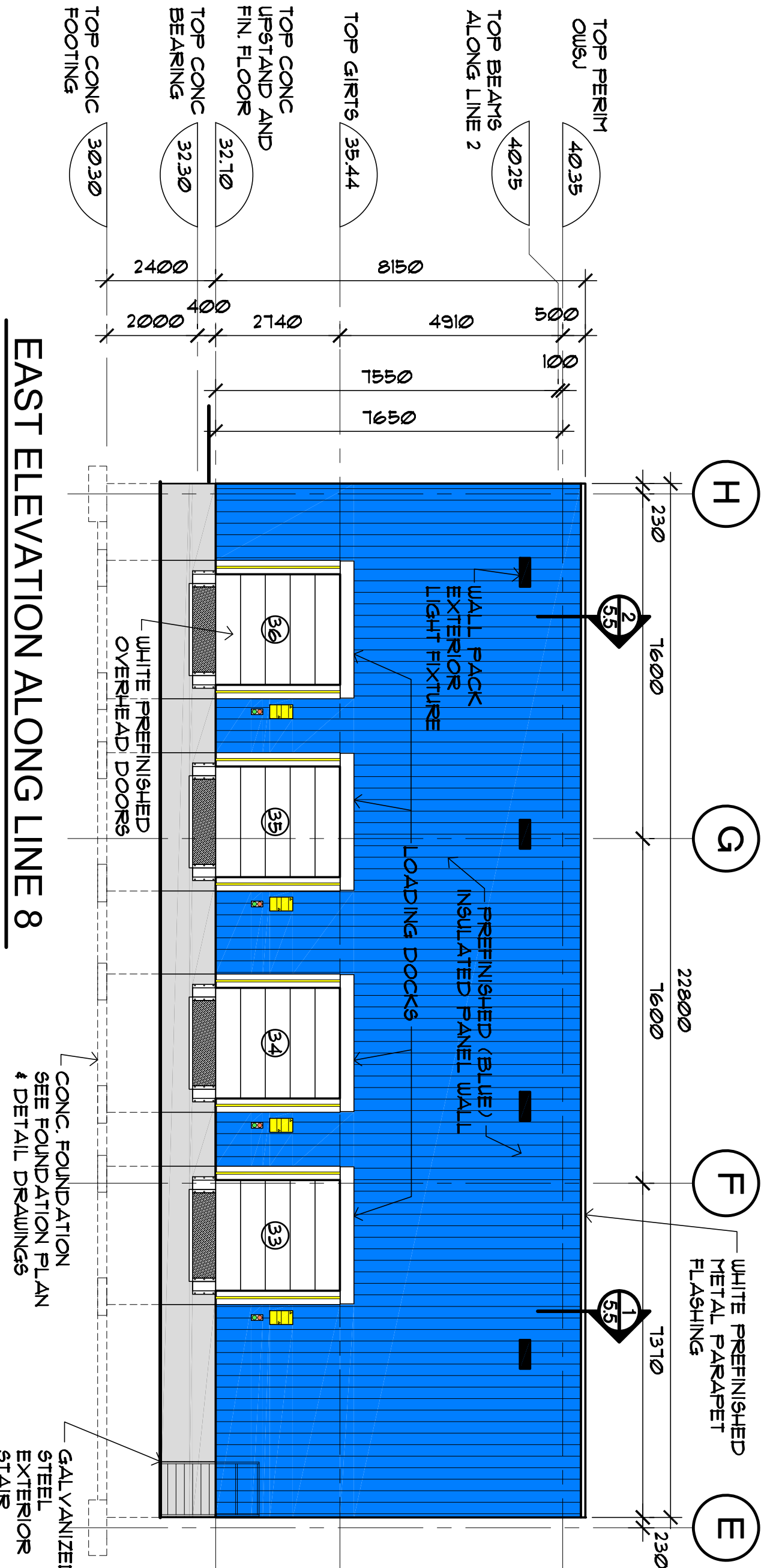
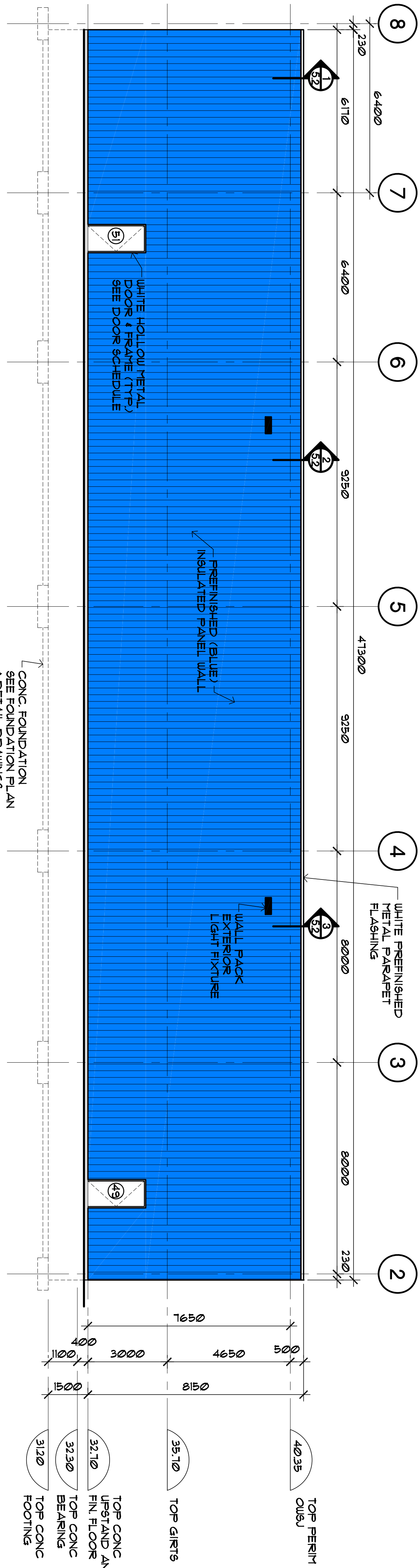

Owner/Applicant Signature

Jodi Lynn Pfaff-Schimus, a
Commissioner, etc., Province of Ontario.
for the Corporation of Norfolk County.
Expires March 1, 2025.



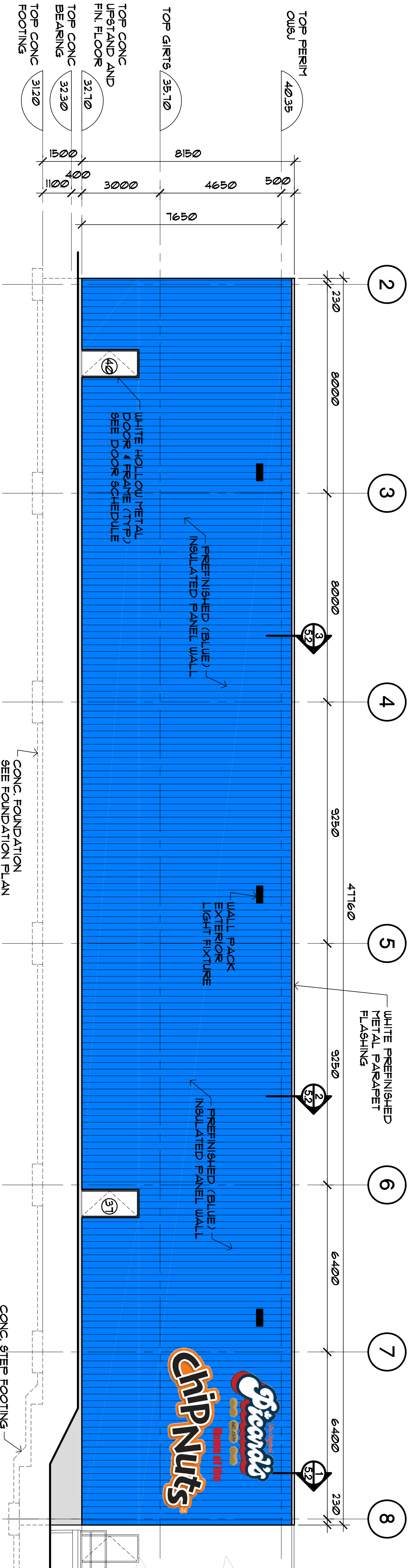
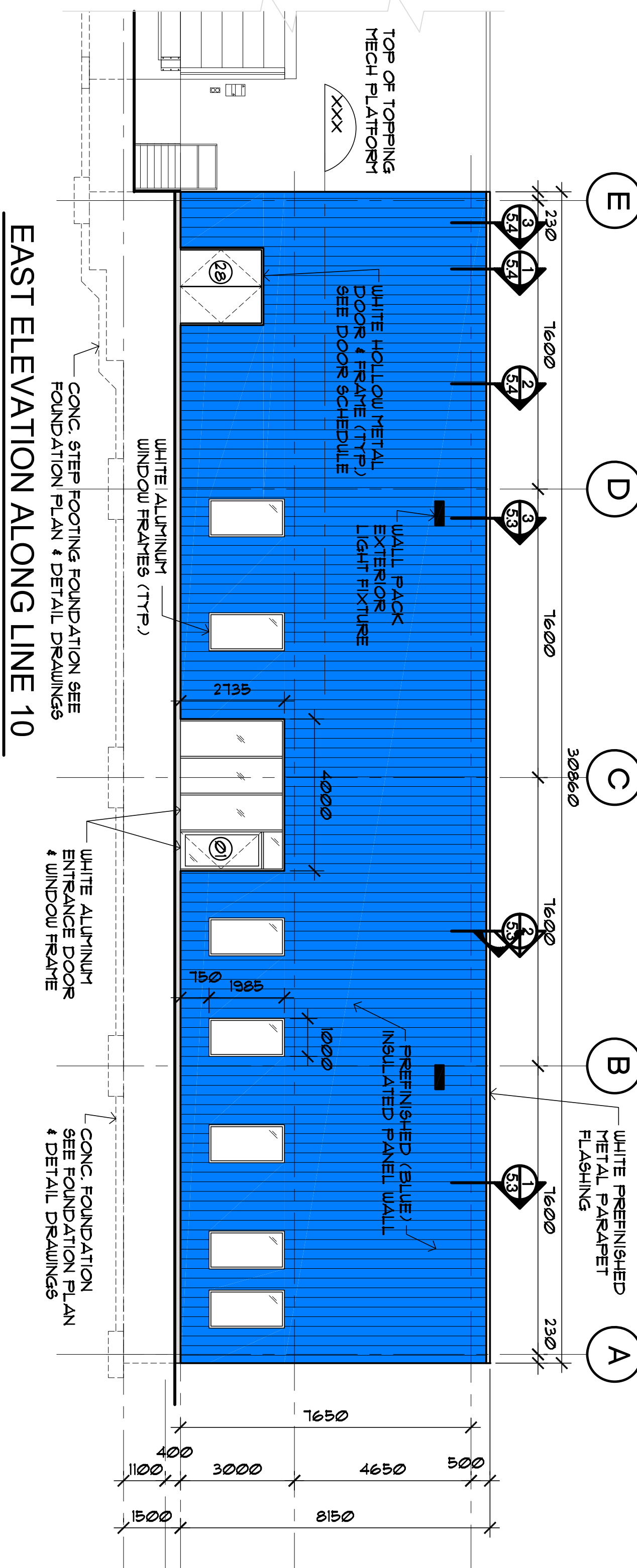
NORTH ELEVATION ALONG LINE A

NORTH ELEVATION ALONG LINE B

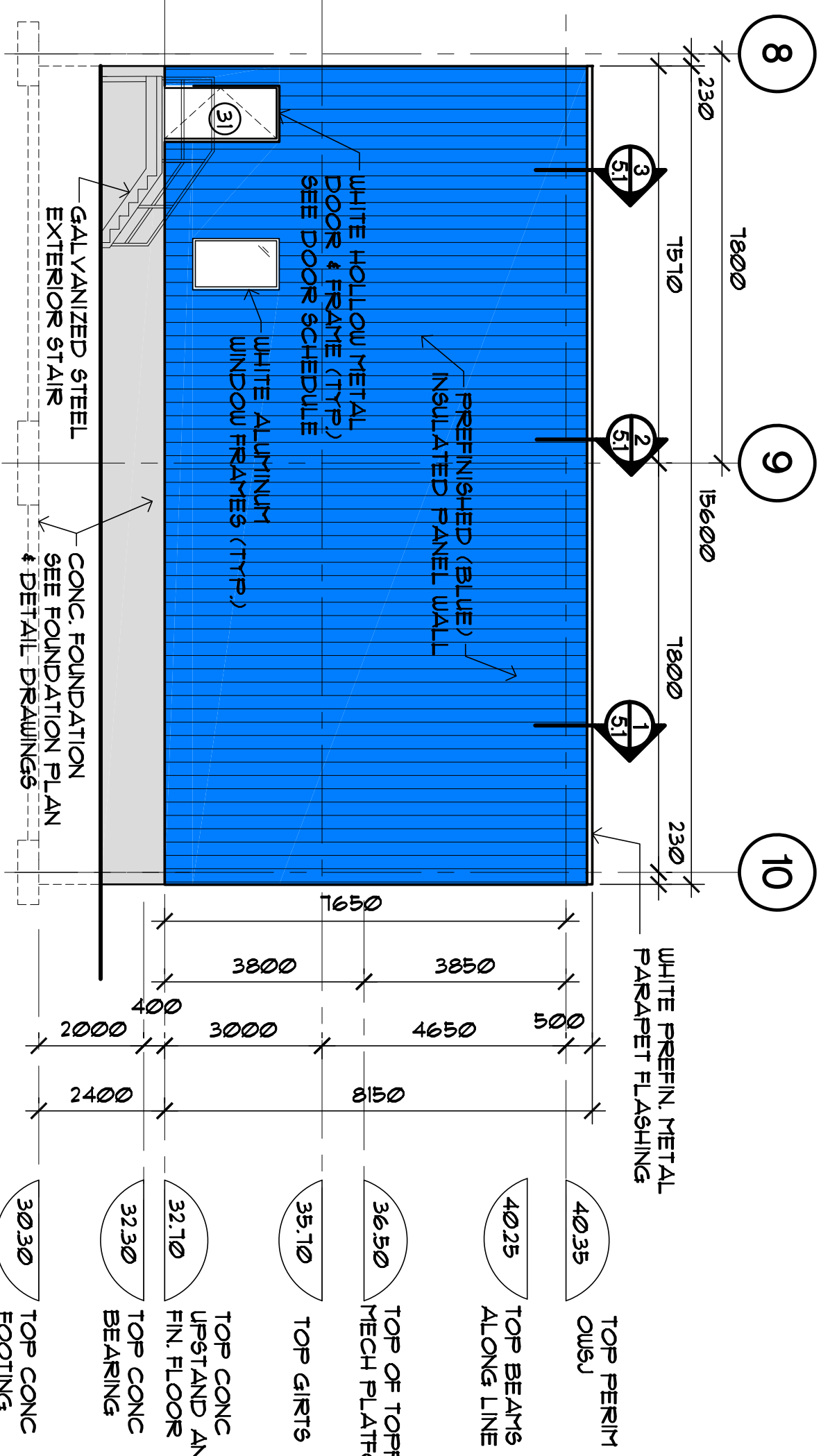


EAST ELEVATION ALONG LINE 8

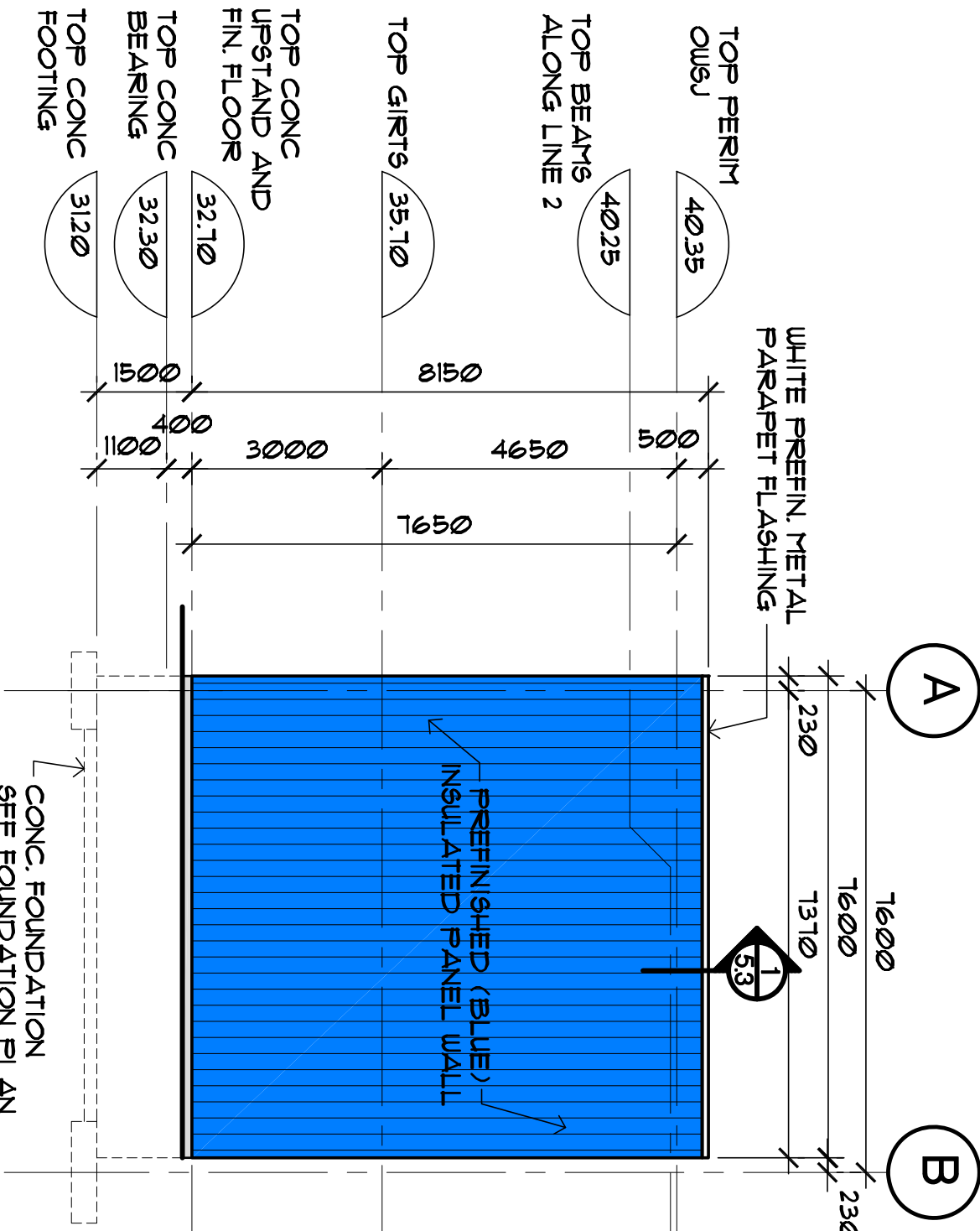
EAST ELEVATION ALONG LINE 10



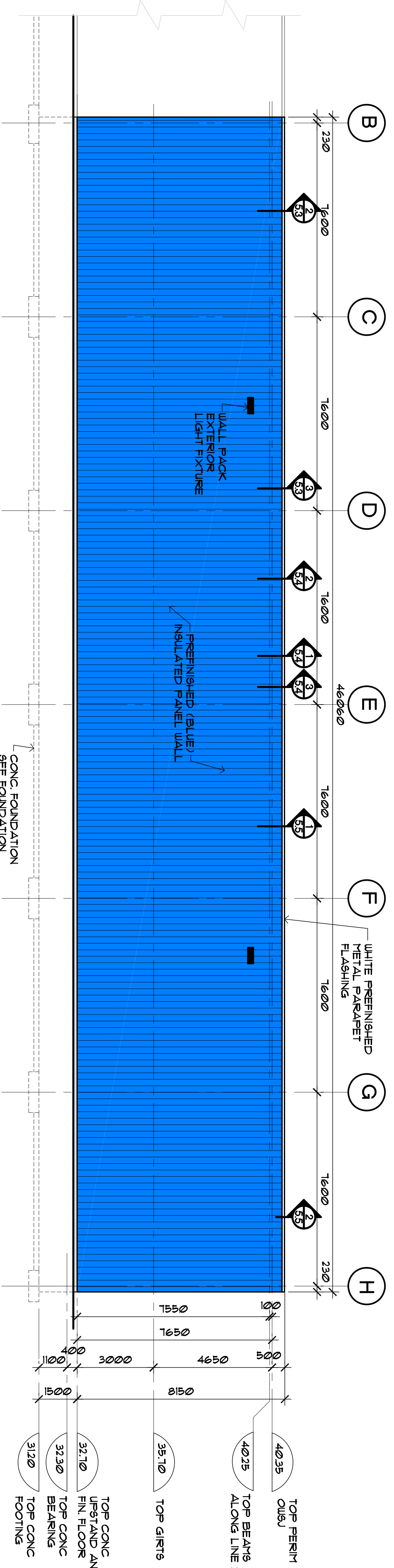
SOUTH ELEVATION ALONG LINE H



SOUTH ELEVATION ALONG LINE E



WEST ELEVATION ALONG LINE 8



WEST ELEVATION ALONG LINE 2

Contractor must verify all dimensions on the Project Site and report any discrepancies to the Project Manager. This drawing is a part of the Contract Documents and is to be read in conjunction with all other Contract Documents.

Plot Record

No.	Revision	Date
1		
2		
3		
4		
5		
6		
7		
8		
9		
10		

Revisions

No.	Revision	Date
1		
2		
3		
4		
5		
6		
7		
8		
9		
10		

foodcon
Food Processing and Distribution
Project Management
301 - 446 Grey Street, 10th Floor
Tel: (905) 759-8821
Email: info@foodcon.ca
Division of David A. McDonald Project Management Ltd.

Chipmunk's
The Original
1587 NUNAVIA ROAD 10
WINNIPEG CENTRE ON JUNE 240

Project Title
Design
DP
Checked
Design
Plot Date
May 11 2023
Drawn
DP / 10

Drawing Title
EXTERIOR
ELEVATIONS

Project No.
Drawing No.
6.1

CLICK HERE FOR INFORMATION

Picard Peanuts
NORFOLK COUNTY -owner -Jim Picard
SECURITIES AND CONSTRUCTION ESTIMATES

REVISION
revised May 19 2023
DATE - COLLECTED AT REGISTRATION
DATE - HELD AFTER ACCEPTANCE

ITEM	DESCRIPTION	UNIT	QTY.	UNIT PRICE	TOTAL COST	Securities	
						10%	100%
BELOW GROUND							

SANITARY SEWERS

Sanitary Sewer							
a) 300mm Diameter	M	1		\$0	\$0	\$0	\$0
b) 200mm Diameter	M	1		\$0	\$0	\$0	\$0
1200mm Diameter Manholes	EACH	1		\$0	\$0	\$0	\$0
125mm Sanitary Services	EACH	1		\$0	\$0	\$0	\$0
Septic Beds and Tanks	Lump Sum	1		\$30,000	\$30,000	\$3,000	\$0
TOTAL SANITARY SEWERS					\$30,000	\$3,000	\$0

WATERMAIN

Watermain							
a) 200mm Diameter	M	1		\$0	\$0	\$0	\$0
b) 150mm Diameter	M	1		\$0	\$0	\$0	\$0
c) 75 mm Diameter	M	1		\$0	\$0	\$0	\$0
Watervalves							
a) 200mm Diameter	EACH	1		\$0	\$0	\$0	\$0
b) 150mm Diameter	EACH	1		\$0	\$0	\$0	\$0
19mm Copper Services	EACH	1		\$0	\$0	\$0	\$0
U/G tanks (2) and dry hydrant	LumpSum	1		\$40,000	\$40,000	\$4,000	\$0
TOTAL WATERMAIN					\$40,000	\$4,000	\$0

STORM SEWERS

Storm Sewer							
a) 1000mm Diameter	M	1		\$0	\$0	\$0	\$0
b) 750mm Diameter	M	1		\$0	\$0	\$0	\$0
c) 300mm Diameter	M	1		\$0	\$0	\$0	\$0
d) 200mm Diameter	M	1		\$0	\$0	\$0	\$0
1200mm Diameter Manholes	EA	1		\$0	\$0	\$0	\$0
125mm Services	EA	1		\$0	\$0	\$0	\$0
Inline Stormceptor	EA	1		\$0	\$0	\$0	\$0
Storm Pond and Headwall	Lump Sum	1		\$0	\$0	\$0	\$0
TOTAL BELOW STORM SEWER					\$0	\$0	\$0
					\$70,000	\$7,000	\$0

ABOVE GROUND

AIR TREATMENT SYSTEM

(IN GREENHOUSE)	EA	0		\$0	\$0	\$0	\$0
TOTAL					\$0	\$0	\$0

ROAD CONSTRUCTION

Granular 'A'	Lump Sum	1		\$80,000	\$80,000	\$8,000	\$0
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ITEM	DESCRIPTION	UNIT	QTY.	UNIT PRICE	TOTAL COST	Securities	
						10%	100%
	Granular 'B'	Lump Sum	1	\$80,000	\$80,000	\$8,000	\$0
	Curb and Gutter	Lump Sum	1	\$15,000	\$15,000	\$1,500	\$0
	HL4 Base Asphalt	Lump Sum	1	\$40,000	\$40,000	\$4,000	\$0
	Sidewalk	Lump Sum	1	\$15,000	\$15,000	\$1,500	\$0
	Tactile (at sidewalk ramps)	Lump Sum	1	\$500	\$500	\$50	\$0
	Painted Linework on Pavement	Lump Sum	1	\$5,000	\$5,000	\$500	\$0
	Driveway Aprons and Culverts	Lump Sum	0	\$20,000	\$0	\$0	\$0
TOTAL ROAD CONSTRUCTION					\$235,500	\$23,550	\$0

STREETLIGHTING

Streetlights (Pole, Mast Arm and Luminaire)	EACH	1	\$0	\$0	\$0	\$0
Streetlight Disconnect Pedestal	EACH	1	\$0	\$0	\$0	\$0
Conduit for Streetlight Conductor						
a) 50mm Conduit	M	1	\$0	\$0	\$0	\$0
b) 100mm Conduit (Road Crossings)	M	1	\$0	\$0	\$0	\$0
Streetlighting Conductor	M	1	\$0	\$0	\$0	\$0
TOTAL STREETLIGHTING				\$0	\$0	\$0
				\$235,500	\$23,550	\$0

FINISHING WORKS						
40mm HL3 Asphalt (Top Lift)	Lump Sum	1	\$40,000	\$40,000	\$4,000	\$0
Top Soil and Sodding	Lump Sum	1	\$15,000	\$15,000	\$1,500	\$0
Driveway Apron	Lump Sum	2	\$20,000	\$40,000	\$0	\$40,000
Lot Grading		1	\$0	\$0	\$0	\$0
				\$95,000	\$5,500	\$40,000

STORM WATER MANAGEMENT POND						
SWM pond and headwall	Lump Sur		\$0	\$15,000	\$1,500	\$0
		1	\$0	\$0	\$0	\$0
				\$15,000	\$1,500	\$0

LANDSCAPING AND ON SITE WORKS						
Trees		6	\$200	\$1,200		\$1,200
Trails and Walkways (topsoil to a depth of 0.15 metres and sod)		1	\$0	\$0		\$0
Park (topsoil to a depth of 0.15 metres and sod)						
Plants and Materials		0	\$0	\$0		\$0
Flagstone		0	\$0	\$0		\$0
Fencing		0	\$0	\$0		\$0
Lighting		0	\$0	\$0		\$0
Signage		0	\$0	\$0		\$0
Parking Lot		0	\$0	\$0		\$0

ITEM	DESCRIPTION	UNIT	QTY.	UNIT PRICE	TOTAL COST	Securities	
						10%	100%
					\$1,200	\$1,200	

SUMMARY

BELOW GROUND	\$70,000	\$7,000	\$0
ABOVE GROUND	\$235,500	\$23,550	\$0
FINISHING WORKS	\$95,000	\$5,500	\$40,000
STORM WATER MANAGEMENT POND	\$15,000	\$1,500	\$0
LANDSCAPING AND ON SITE WORKS	\$0		\$1,200

TOTAL SECURITIES REQUIRED AT REGISTRATION

\$78,750

FUNCTIONAL SERVICING REPORT

RE: PROPOSED WAREHOUSE – PICARD’S PEANUTS

1867 Windham Road 10

Windham Centre ON NOE 2A0

DATE: May 8, 2023

1 PREAMBLE

Picard's Peanuts is proposing to construct a 2 886 m² (31,064 sf) new building on its property at 1867 Windham Road 10 in the County of Norfolk. The building will be a 7.62 m (25 ft) high steel frame structure with insulated metal wall panels and flat roof. The building will feature 4 truck level loading docks and include 278 m² (2,992 sf) of corporate offices. The proposed structure is to be used as warehouse space and company offices.

The site is in a rural area without municipal water, storm sewers, or sanitary sewers.

Site development will include paved parking, an impounded water supply for fire fighting, storm water management facilities, a private well, and septic system.

2 FUTURE CONSIDERATIONS

There is consideration for future interior development of the facilities to include some peanut processing and therefore some development is being undertaken now to avoid major demolition and renovation expense in the future. The current construction proposed to prepare for potential future options are more than OBC required washrooms being constructed now and some roughed-in floor drains underfloor piping where a potential production line could be located. The floor drains and piping will not be connected at the present time and are only being installed to avoid having to cut out a concrete floor slab if and when a production line is contemplated. The site plan designates an area for future septic tank system for process wastewater disposal should this occur. While the design of the future wastewater system will be the subject of a future Building Permit application, Picard's has had laboratory testing of the raw untreated wastewater from their current processing plant, and it can be treated with a standard grease interceptor. This was done to ensure that (a), the wastewater was treatable and (b), that adequate space was available on-site for the additional wastewater septic system.

The long-term development of Picard's Peanuts envisions a maximum 'Occupant Load' of 30 personnel in the plant and offices. Washroom facilities proposed exceed the minimum requirements of the OBC simply for convenience of personnel.

CURRENT DEVELOPMENT

Following is an outline of the various means of utility servicing for this development:

WATER SUPPLY

McLeod Water Wells has surveyed the site, tested the existing well water, and will be installing a water well. The well will have a variable speed drive pump to meet fluctuating flow demands. We have asked McLeod to oversize the pipe from the well to the building in case additional water is required for the future processing use. We have also asked McLeod to increase the electrical wiring to the pump for the same reason. McLeod will be responsible for the disinfection system to ensure that the water is potable

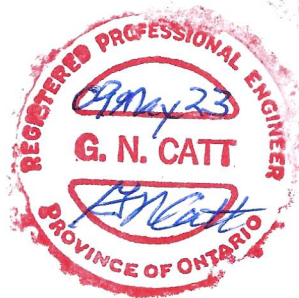
under Ontario Drinking Water Quality Management Standard. Water requirements have been established using OBC Table 7.6.3.2.A for the number of fixtures being installed. Please see Appendix A. By conversion, the 'Fixture Units' converted to GPM for with OBC Table 7.4.10.5 results in a demand of 44 GPM (116 L/min). At 60 psi, this would necessitate a 1-1/2" service pipe into the building as per OBC A-7.6.3.1. We are requesting a 2" service.

SANITARY SEWAGE

As mentioned under Future Considerations, the proposed 'Occupant Load' for the building is 30 persons. In addition to a 'Universal Washroom', there will be 2 water closets for Women and 2 water closets for Men, and an additional single 2 pc washroom. There is a staff lunchroom with kitchen sink, a meeting room with a utility sink, a Quality Assurance office with a kitchen sink, an office coffee bar with sink, and a janitor closet. Since this application requires a septic system for the sanitary effluent, we have referred to Part 8 of the OBC. Please see Appendix B for the flow calculations. To be clear, this is for the domestic sanitary sewage. The process drains (being installed but capped and not used), should the processing proceed in the future, would be designed at the time of installation when criteria are known. The septic system will be designed and installed by Ken Gilbert Excavating and Trucking of Vanessa. This firm holds a license to design and install septic systems. As the system falls under the OBC, the design will be submitted at time of permit application.

WATER FOR FIRE FIGHTING

Absent a municipal water supply for fire fighting as required under the OBC 3.2.5.7.(1), an impounded water supply for fire fighting is proposed. The storage capacity has been calculated as per OBC A-3.2.5.7. Please see Appendix C for the calculation table. Two connected tanks are required to meet the required volume and they are shown on the Site Plan along with a 'dry' fire hydrant. The fire hydrant is located within the requirements of OBC 3.2.5.5.(b).



APPENDIX A

FUNCTIONAL SERVICING REPORT PICARD PEANUTS

WATER SUPPLY CALCULATIONS OBC Table 7.6.3.2.A

QTY	FIXTURE	Fu/COLD	Fu / HOT	TOTAL Fu
6	WC	2.2	0	13.2
2	Lavatory	Total	2	4
2	Kitchen sink	Total	4	8
2	Bar sink	Total	2	4
3	Trough sink ★	Total	2	12
1	Janitor sink	2.25	2.25	4.5
1	H+C Hose bib	Total	2.5	2.5
2	C Hose bib		2.5	5
	Future			6.8
				60

★ each trough sink has 2 faucets

CONVERSION OF Fu TO GPM OBC Table 7.4.10.5

Fixture units in service = 60.0 Fu 44 GPM (166 L/min)

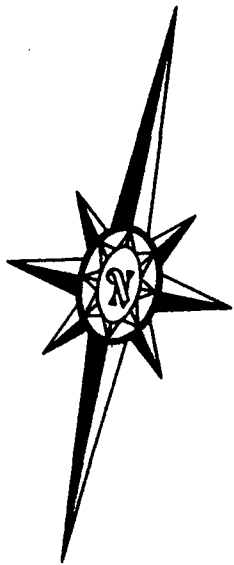
APPENDIX B
PICARD'S PEANUTS

SEPTIC SYSTEM			
CLASS OF SYSTEM:	CLASS 4	8.1.2.1.(1)	
DISCHARGE:			
DOMESTIC SANITARY SEWAGE	YES	8.1.3.1.(1)	
PROCESS WASTEWATER	NO	8.1.3.1.(3)	
OCCUPANCY CLASSIFICATION:	FACTORY W/ NO PROCESS OR WASH WATER	8.2.1.3.(2)	
DAILY DESIGN FLOW:	OCCUPANT LOAD = 30	8.2.1.3.(2)	
DESIGN FLOW = 30 PEOPLE x 75 L PER PERSON = 2 250 L / DAY NOTE THAT THIS ALLOWS FOR FUTURE PERSONNEL		TABLE 8.2.1.3.B	
TREATMENT UNIT CLEARANCES:			
	REQUIRED	PROVIDED	REFERENCE
STRUCTURE	1.5 M (MIN)	25 M	8.2.1.6.A
WELL	15 M (MIN)	30 M	8.2.1.6.A
LAKE, POND, RIVER, STREAM	15 M (MIN)	NA M	8.2.1.6.A
PROPERTY LINE	3 M (MIN)	25 M	8.2.1.6.A
PIPING AND LEACHING CHAMBERS:			
	REQUIRED	PROVIDED	REFERENCE
STRUCTURE	5 M (MIN)	25 M	8.2.1.6.B
WELL /W WATERTIGHT CASING > 6M	15 M (MIN)	30 M	8.2.1.6.B
OTHER WELLS	30 M (MIN)	NA M	8.2.1.6.B
LAKE, POND, RIVER, STREAM	15 M (MIN)	NA M	8.2.1.6.B
PROPERTY LINE	3 M (MIN)	25 M	8.2.1.6.B
SEPTIC TANK DESIGN:		8.2.2.2	
DESIGN AND CONSTRUCTION STANDARD: CSA B66 REFER ALSO TO DESIGN DRAWINGS FOR TANKS AND CLEANOUT RISERS /W MH LIDS			
WORKING CAPACITY CALCULATION:			
DAILY DESIGN FLOW (DDF): 2 250 L			
	REQUIRED	PROVIDED	REFERENCE
MINIMUM = 3 600 + DDF	10 350 L (MIN)	15 000 L	8.2.2.3.(1).(B)
FIRST COMPARTMENT = 1.3 x DDF	2 925 L (MIN)	9 780 L	8.2.2.3.(3).(A)
OTHER COMPARTMENTS = >50% FIRST	1 463 L (MIN)	4 890 L	8.2.2.3.(3).(B)
MIN. DEPTH OF SEWAGE IN TANK	1.0 M (MIN)	1.55 M	8.2.2.3.(8)
MAX. SOIL COVER ON TANK ACCESS	300 MM (MAX)	-- MM	8.2.2.3.(9)
ACCESS RISERS REQUIRED IF >300	1.0 M (MIN)	-- M	8.2.2.3.(10)

APPENDIX C

PICARD'S PEANUTS

FIRE FIGHTING WATER SUPPLY			
	REQUIRED	PROVIDED	REFERENCE
MUNICIPAL WATER SUPPLY – HYDRANTS	YES	NO	3.2.5.7.(1)
ON-SITE WATER SUPPLY REQUIRED	YES	YES	3.2.5.7.(1)
OCCUPANCIES AND VOLUME:			
	OCCUPANCY CLASS'N	VOLUME (M ³)	COEFFICIENT (Table 1)
NON-COMBUSTIBLE	F3	2 457	12
SPATIAL COEFFICIENTS: Refer to OBC Appendix A-3.2.5.7 Figure 1 <div style="text-align: center; margin: 10px 0;"> NEW $S_{tot} = 1 + S_{north} + S_{south} + S_{east} + S_{west} = 1$ </div> <p style="text-align: center; margin: 0;">ALL EXPOSURES BEYOND 10 m THEREFORE VALUE FROM CHART = 0</p>			
VOLUME (Q) CALCULATION: Refer to OBC Appendix A-3.2.5.7. Table 1 <div style="text-align: center; margin: 10px 0;"> NEW $Q = K_{12} \times V_{19\ 012} \times S_{tot} = 228\ 144$ </div> <div style="display: flex; justify-content: space-between; margin-top: 10px;"> <div> <p>Q = minimum water supply in litres</p> <p>K = water supply coefficient from Table 1 in OBC</p> <p>V = total building volume in cubic metres</p> <p>S_{tot} = total of spatial coefficients from formula above</p> </div> <div style="text-align: right;"> <p>TOTAL 228 144 L</p> <p style="margin-top: 5px;">(60269 USG)</p> </div> </div>			
MINIMUM FLOW RATE:		3.2.5.7	
NOTES: VOLUME = 2 677.72 x 7.1 = 19 011.81 M ³ OCCUPANCY COEFFICIENT DUE TO COMPLIANCE WITH 3.2.2.16			



PIN 50186-0152 (LT)

LOT
CONCESSION

PART 1
GEOGRAPHIC
TOWNSHIP
OF
WINDHAM

LOT
PART 2
ROAD ALLOWANCE BETWEEN CONCESSIONS 9 AND 10
(20.117M WIDE)
PIN 50186-0202(LT)

LOT
PART 2
ROAD ALLOWANCE BETWEEN CONCESSIONS 9 AND 10
(20.117M WIDE)
PIN 50186-0202(LT)

LEGEND

2.5cm X 2.5cm X 1.2m STANDARD IRON BARS SHOWN -□- SIB
1.6cm X 1.6cm X 0.6m IRON BARS SHOWN -□- IB
1.6cm ROUND X 0.6m IRON BARS SHOWN -□- IB
LOT LINES SHOWN - - - - -
DEED LINES SHOWN - - - - -
FENCE LINES SHOWN -X-X-X-X-X-
CENTRE LINES SHOWN - - - - -
ROAD LINES SHOWN - - - - -
FOUND IRON BARS SHOWN -■- PLANTED IRON BARS SHOWN -□-

JEWITT AND DIXON LTD.
MINISTRY OF TRANSPORTATION
CONCRETE MONUMENT
WITNESS MONUMENT
ORIGIN UNKNOWN
PLAN 37R-2322
REGISTERED PLAN 641
RECORDS OF JEWITT AND DIXON LTD DATED JAN 19/62
(WB.35)

SHOWN (700)
SHOWN (MTO)
SHOWN (MTO)
SHOWN (WT)
SHOWN (OU)
SHOWN (P1)
SHOWN (P2)
SHOWN (R1)

JEWITT AND DIXON LTD.
ONTARIO LAND SURVEYORS
R.R.1, SIMCOE, ONTARIO, N3Y 4J9
(51 PARK ROAD)

PHONE: (519) 426-0842 FAX: (519) 426-1034
E-mail: surveyors@amtelecom.net

F.W. - J.P.H.
BOOK - LL-FILE
CALC. - J.L.M.
PLAN - J.L.M.
CHECK - K.H.
CLIENT - PICARD
JOB No. - 16-1073

P16 03 A5657

I REQUIRE THIS PLAN TO BE
DEPOSITED UNDER THE
LAND TITLES ACT.

DATED FEBRUARY 3, 2016

K. Husted
KIM HUSTED
ONTARIO LAND SURVEYOR

PLAN 37R-10833

RECEIVED AND DEPOSITED

DATED February 8, 2016

Erin North
ERIN NORTH
REPRESENTATIVE FOR THE
LAND REGISTRAR FOR THE LAND
TITLES DIVISION OF NORFOLK (No. 37)

SCHEDULE

PART	PART LOT	CONCESSION	PIN	AREA (SQ. M)
1	1	9	50186-0152 (LT)	608.436
2	1	9	50186-0151 (LT)	0.093

PART 1 COMPRISES PART OF PIN 50186-0152 (LT)
PART 2 COMPRISES PART OF PIN 50186-0151 (LT)

PLAN OF SURVEY

OF PART OF

LOT 1

CONCESSION 9

IN THE GEOGRAPHIC

TOWNSHIP OF WINDHAM

IN

NORFOLK COUNTY

SCALE: 1 : 500

5 0 20 METRES

JEWITT AND DIXON LTD.

NOTE:

BEARINGS ARE ASTRONOMIC AND ARE REFERRED TO THE WESTERLY LIMIT OF THE KING'S HIGHWAY No. 24, AS WIDENED AND SHOWN ON REGISTERED PLAN 641 HAVING A BEARING OF N15°22'30"W, AND CAN BE CONVERTED TO GRID BY APPLYING A ROTATION OF 0°28'36" COUNTER CLOCKWISE. DISTANCES AND COORDINATES ARE METRIC GROUND AND CAN BE CONVERTED TO GRID BY MULTIPLYING BY A COMBINED SCALE FACTOR OF 0.999605923, THEN DIVIDE BY 0.3048 TO CONVERT TO IMPERIAL. RESULTANT BEARINGS FROM COORDINATE TABLE ARE UTM GRID, DERIVED FROM OBSERVED REFERENCE POINTS (ORPs) ON MONUMENT A TO B, HAVING A BEARING OF N15°51'06"W, UTM ZONE 17, (81° WEST LONGITUDE) NAD83 (CSRS) (1997.0)

OBSERVED REFERENCE POINTS (ORPs): DERIVED FROM GPS OBSERVATIONS USING THE LEICA SMARTNET REAL TIME NETWORK, UTM ZONE 17 (81° WEST LONGITUDE) NAD83 (CSRS) (1997.0) COORDINATES ARE TO A RURAL ACCURACY AS PER SEC. 14 (2) OF O.REG. 216/10

POINT ID	NORTHING	EASTING
ORP A	4750424.593	554756.852
ORP B	4751021.204	554587.447

COORDINATES CANNOT, IN THEMSELVES, BE USED TO RE-ESTABLISH CORNERS OR BOUNDARIES SHOWN ON THIS PLAN.

SURVEYOR'S CERTIFICATE

I CERTIFY THAT:

- THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT, AND THE LAND TITLES ACT, AND THE REGULATIONS MADE UNDER THEM.
- THE SURVEY WAS COMPLETED ON THE 29TH DAY OF JANUARY, 2016.

DATED: FEBRUARY 1, 2016

K. Husted
KIM HUSTED, O.L.S.
FOR JEWITT & DIXON LTD.

ROADWAY RESTORATION NOTES:

- CONTRACTOR TO OBTAIN ALL NECESSARY ROAD CUT PERMITS PRIOR TO CONSTRUCTION.
- CONTRACTOR TO MAINTAIN A MINIMUM OF ONE LANE OF TRAFFIC AT ALL TIMES. IF TEMPORARY ROAD CLOSURES ARE NECESSARY, THEN CONTRACTOR SHALL MAKE ALL NECESSARY ARRANGEMENTS WITH NORFOLK COUNTY.
- CONTRACTOR SHALL LOCATE AND PROTECT ALL UTILITIES.
- ALL CUTS TO EXISTING ASPHALT AND CONCRETE SHALL BE CLEAN SAW CUTS ONLY.
- BACKFILL FOR ALL SERVICE TRENCHES FROM EDGE OF ASPHALT TO BACK OF SIDEWALK SHALL BE GRANULAR 'B'.
- BACKFILL FOR ALL SERVICE TRENCHES FROM BACK OF SIDEWALK TO STREET LINE SHALL BE SELECT NATIVE MATERIAL.
- ALL BEDDING AND BACKFILL SHALL BE COMPACTED TO MIN. 98% SPMD.
- CURBS AND SUBDRAINS SHALL BE RESTORED TO MATCH EXISTING CONDITIONS TO THE SATISFACTION OF NORFOLK COUNTY.
- BOULEVARDS, SHALL BE RESTORED WITH NO.1 NURSERY SOD ON MINIMUM 100mm IMPORTED TOPSOIL TO THE SATISFACTION OF NORFOLK COUNTY.

LEGEND

	PROPERTY LINE
	STORM SEWER
	SANITARY SEWER
	WATER SERVICE / WATER MAIN
	SILT FENCE, REQUIRED LOCATION
	PROPOSED GRADE ELEVATION
	EXISTING GRADE ELEVATION
	FIRE HYDRANT
	MAN DOOR / ENTRANCE

GENERAL NOTES

- PRIMARY UNITS ARE METRIC. DIMENSIONS ARE METERS.
- REQUIRED SERVICES & SERVICE CONNECTIONS NOT SHOWN ON DRAWING TO BE THE RESPONSIBILITY OF THE CONTRACTOR/OWNER.
- EXACT SIZES, LOCATIONS & ELEVATIONS OF ALL EXISTING SERVICES (FIBER OPTIC, WATER, GAS, BELL, ETC.) ARE TO BE VERIFIED BY CONTRACTOR PRIOR TO COMMENCEMENT OF ANY SITEMARK.
- ANY FILL PLACED ON SITE MUST BE COMPACTED TO A MIN. 98% STANDARD PROCTOR DENSITY.
- EXISTING TOPOGRAPHY TO REMAIN UNLESS OTHERWISE NOTED.
- ANY DISCREPANCY(S) BETWEEN INFORMATION ON THIS SITE DRAWING AND ACTUAL FIELD CONDITIONS, WHICH MAY IMPACT THE PROPOSED DEVELOPMENT, ARE TO BE REPORTED TO THE SENIOR CONSULTANT / P.ENG.
- EXACT LOCATION / SIZE OF ADDITIONAL LANDSCAPING AREAS BY OWNER.
- EXTERNAL LIGHTING: PROPOSED LIGHTING TO BE WALL PACKS ONLY (LED). ARRAY DIRECTION NOT TO SHINE TOWARD ROAD ALLOWANCE OR TOWARDS ADJACENT PROPERTIES.
- SITE BENCHMARK IS TOP OF GREEN LID WHERE INDICATED, ELEVATION = 233.28m
- ASPHALT SPECIFICATION (ALL ASPHALT):
SPECIFICATION: 40mm HL3 / 50mm HLB OVER 150mm GRAN. A / 300mm GRAN. B
- PARKING SPACE DIMENSIONS:
-PARKING SPACES DRAWN TO SCALE AT 3m x 6m
-BARRIER FREE PARKING SPACES DRAWN TO SCALE AT 3.4m x 6m, C/W 1.5m AISLE.

SITE STATISTICS

ITEM	REQUIRED	PROVIDED
ZONING - AGRICULTURAL		
MINIMUM LOT AREA	40ha	40ha +
MINIMUM LOT FRONTAGE	30m	230m
GROUND FLOOR AREA (TOTAL)	-	2,678m ²
GROSS FLOOR AREA OF EXISTING BUILDING	-	0
MIN SEPARATION BETWEEN FARM PROCESSING FACILITY AND DWELLING ON ADJACENT LOT	30m	130m
FRONT YARD SET BACK	13m	25m
REAR YARD SET BACK	9m	>9m
INTERIOR SIDE YARD SET BACK	3m	36m
EXTERIOR SIDE YARD SET BACK	13m	N/A
PARKING SPACES (REG. STALL SIZE @ 3m x 6m) P. SPACES REQUIRED (1 SPACE PER 90m ²) (INDUSTRIAL USE)	32	34 (INCLUDING 2 B/F)
BARRIER-FREE PARKING SPACES (2 REQUIRED)	2	2
ELECTRONIC VEHICLE CHARGING STATION PARKING SPACES	-	0
LOADING SPACES (5m X 19.6m)	-	4

REFUSE STORAGE/GARBAGE:
TO BE LOCATED AS INDICATED. PROVIDE 1.8m HIGH WOOD ENCLOSURE.

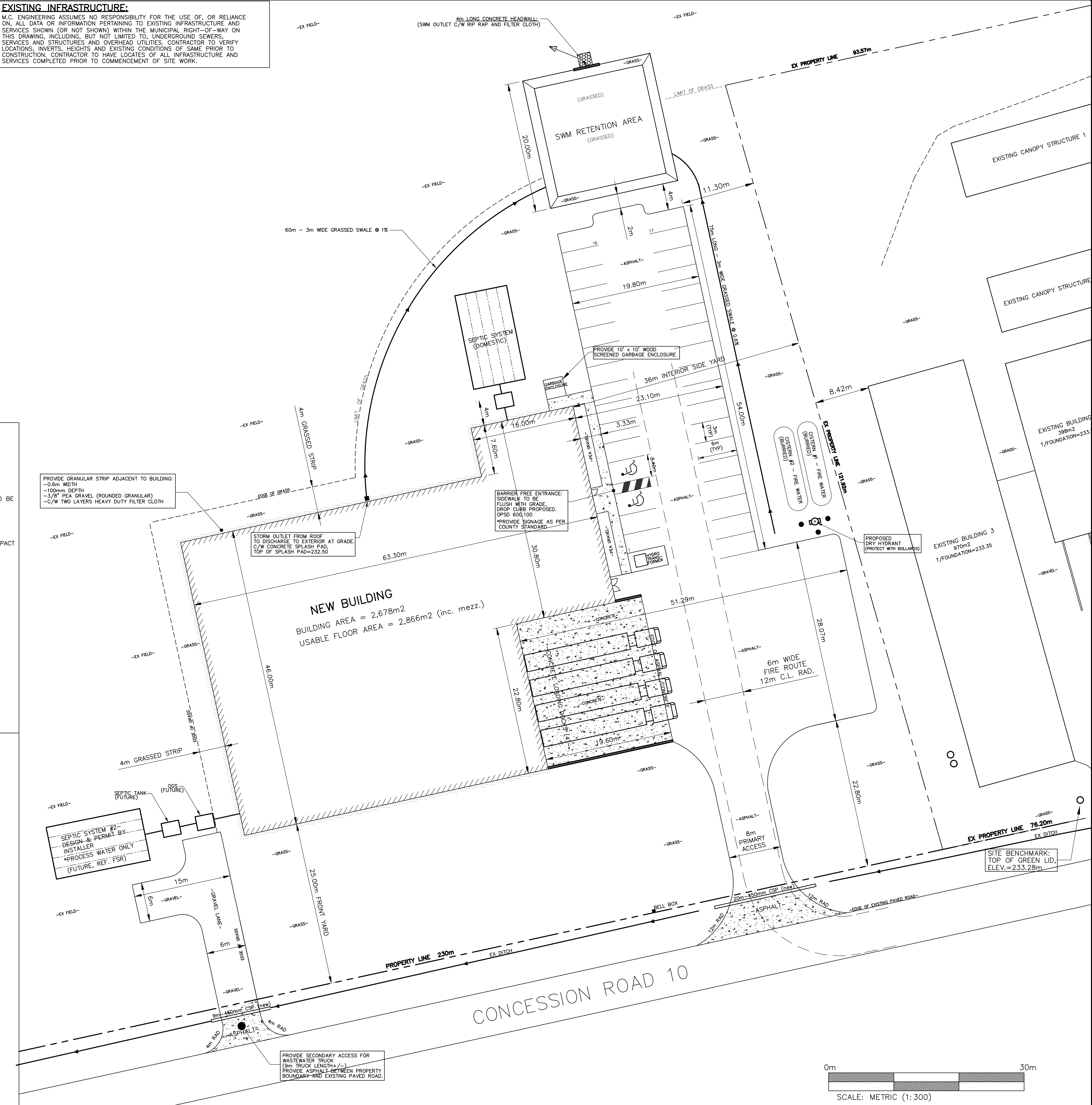
BUILDING / SITE LIGHTING:
ALL EXTERIOR LIGHT FIXTURES TO BE DARK-SKY COMPLIANT - NO EXTERIOR LIGHTING ARRAY TO BE DIRECTED OFF PROPERTY TO ROAD ALLOWANCE OR ADJACENT PROPERTIES. ALL LIGHTING ARRAY DIRECTIONS TO SHINE INTERNALLY TOWARD SUBJECT PROPERTY. REFER TO ELECTRICAL DRAWINGS FOR BUILDING / SITE LIGHTING FIXTURE LOCATIONS, FIXTURE TYPES AND STYLES AND SPECIFICATIONS.

MUNICIPAL SERVICES:
THIS SITE IS SERVICED BY ITS OWN WELL AND SEPTIC SYSTEM - THERE ARE NO EXISTING MUNICIPAL SERVICES ON THIS SITE, THEREFORE NO EXISTING MUNICIPAL SERVICES WILL BE UTILIZED / IMPACTED.

LANDSCAPING:
THERE ARE MINIMAL PROPOSED PLANTINGS. THE BUILDING IS A FOOD PROCESSING FACILITY AND WILDLIFE INCLUDING BIRDS AND INSECTS ARE DISCOURAGED. AREAS TO BE GRASSED ARE INDICATED.

EXISTING INFRASTRUCTURE:

M.C. ENGINEERING ASSUMES NO RESPONSIBILITY FOR THE USE OF, OR RELIANCE ON, ALL DATA OR INFORMATION PERTAINING TO EXISTING INFRASTRUCTURE AND SERVICES SHOWN (OR NOT SHOWN) WITHIN THE MUNICIPAL RIGHT-OF-WAY ON THIS DRAWING, INCLUDING, BUT NOT LIMITED TO, UNDERGROUND SEWERS, SERVICES AND STRUCTURES AND OVERHEAD UTILITIES. CONTRACTOR TO VERIFY LOCATIONS, INVERTS, HEIGHTS AND EXISTING CONDITIONS OF SAME PRIOR TO CONSTRUCTION. CONTRACTOR TO HAVE LOCATES OF ALL INFRASTRUCTURE AND SERVICES COMPLETED PRIOR TO COMMENCEMENT OF SITE WORK.

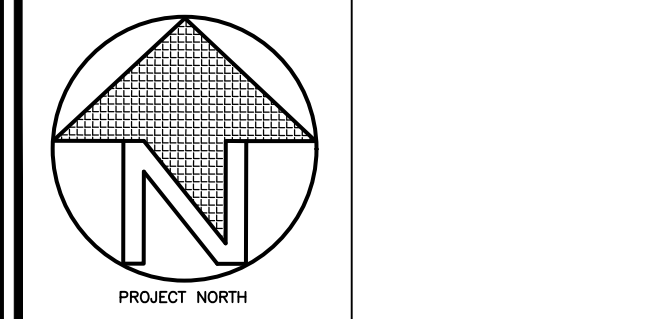


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-DIMENSIONS ARE METRIC

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A DIVISION OF 392583 ALTA. LTD.

PROJECT NAME

SITE PLAN FOR
PICARD'S PEANUTS
1867 WINDHAM ROAD 10, ON-24, WINDHAM CENTER
NORFOLK COUNTY

SCALE	1:300 METRIC	PROJECT NO.	7222
DRAWN BY	R. MORRISON	DWG. NO.	SP1
CHECKED BY	M.E.M.	REV. NO.	2
DATE	MAY 2022		
FILE NAME	7222		

GENERAL NOTES:

1. PRIMARY UNITS ARE METRIC. DIMENSIONS ARE METERS.
2. PROPER SILTATION MEASURES TO TAKE PLACE. SILT CONTROLS, I.E. SILT FENCING AROUND ALL CONSTRUCTION AREAS ARE TO BE IN PLACE PRIOR TO THE START OF SITE WORKS, AND BE MAINTAINED FOR THE DURATION OF CONSTRUCTION. SILT FENCING TO BE PROPERLY SECURED C/W T BAR POSTS IN GROUND & C/W FILTER FABRIC FENCING TO BE INSTALLED AROUND ALL CONSTRUCTION AREAS. [REFER TO REFER TO OPSD 219.130].
3. ANY DISCREPANCY(S) BETWEEN INFORMATION ON THIS SITE DRAWING AND ACTUAL FIELD CONDITIONS, WHICH MAY IMPACT ON THE PROPOSED DEVELOPMENT, ARE TO BE REPORTED TO THE SENIOR CONSULTANT / P.ENG.
4. REQUIRED SERVICES & SERVICE CONNECTIONS NOT SHOWN ON DRAWING TO BE THE RESPONSIBILITY OF THE CONTRACTOR/OWNER.
5. ALL NECESSARY RELOCATIONS OR REMOVALS OF EXISTING PHYSICAL SITE FEATURES INCLUDING U/G SERVICES TO BE THE RESPONSIBILITY OF THE CONTRACTOR/OWNER.
6. EXACT LOCATIONS & ELEVATIONS OF ALL EXISTING SERVICES (SANITARY SEWER, WATER, GAS, BELL, ETC.), GRADES, MATERIAL LENGTHS, ELEVATIONS, INVERTS, ETC. TO BE VERIFIED BY CONTRACTOR PRIOR TO COMMENCEMENT OF ANY SITEWORK.
7. ANY FILL PLACED ON SITE MUST BE COMPACTED TO A MIN. 98% STANDARD PROCTOR DENSITY.
8. ALL DISTURBED LANDSCAPE AREAS ARE TO BE RE-SODDED.
9. THE APPROVAL OF THIS PLAN DOES NOT EXEMPT THE OWNER'S BONDED CONTRACTOR FROM THE REQUIREMENTS TO OBTAIN THE VARIOUS PERMITS/APPROVALS NORMALLY REQUIRED TO COMPLETE A CONSTRUCTION PROJECT, SUCH AS, BUT NOT LIMITED TO THE FOLLOWING:
 - ROAD CUT PERMITS
 - SEWER PERMITS
 - RELOCATION OF SERVICES
10. THIS DRAWING TO BE READ IN CONJUNCTION WITH ANY AND ALL OTHER DOCUMENTS SUBMITTED FOR MUNICIPAL APPROVAL(S).
11. RIGID INSULATION (2 LAYERS OF 1" STYROFOAM) IS TO BE PROVIDED OVER ALL NEW STORM PIPE WHERE COVER DOES NOT EXCEED 1.2m.
12. ALL EXCESS EXCAVATED MATERIAL WILL BE REMOVED FROM THE SITE.
13. THE EXISTING DRAINAGE PATTERN WILL BE MAINTAINED EXCEPT WHERE NOTED. PROPOSED ELEVATIONS SHOW GENERAL INTENT OF GRADING PLAN.
14. ALL WORK WITHIN THE MUNICIPAL RIGHT-OF-WAY TO BE COMPLETED TO THE SATISFACTION OF THE CITY OF WOODSTOCK. A ROAD EXCAVATION PERMIT FROM THE CITY IS REQUIRED PRIOR TO WORKING WITHIN THE ROAD ALLOWANCE.
15. ALL SURFACE DRAINAGE FOR THE SUBJECT SITE IS TO BE SELF-CONTAINED.

SILT FENCE NOTES:

1. SILT FENCE SHALL GENERALLY BE PLACED A MINIMUM OF 1.5m BEYOND TOE OF SLOPE, 3m PREFERRED, TO PROVIDE ADEQUATE AREA FOR SEDIMENT STORAGE AND FACILITATE MAINTENANCE OF SEDIMENT CONTAINMENT AREA.
2. ALL ENDS SHALL BE "J" HOOKED TO TRAP SEDIMENT.
3. IN AREAS WITH TWO SLOPES, SILT FENCE SHALL BE USED TO ERECT A DAM AND TRAP SEDIMENT AT THE BASE OF THE STEEPER SLOPE.
4. THE BOTTOM EDGE OF SILT FENCE SHALL BE BURIED A MINIMUM OF 150mm BELOW GROUND, AND KEYED IN 100mm. THE FENCE SHALL BE INSTALLED WITH THE POSTS ON THE DOWNSTREAM SIDE OF THE FABRIC. MAXIMUM DRAINAGE AREA TRIBUTARY TO 30m OF SILT FENCE SHALL BE 0.1 ha.
5. SILT FENCE SHALL BE REMOVED WHEN THE AREA HAS BEEN STABILIZED.
6. AT TIME OF REMOVAL OF THE SILT FENCE, THE DISTURBED AREA SHALL BE REPAIRED AND STABILIZED.
7. MEASURES SHALL BE INSPECTED EVERY SEVEN (7) CALENDAR DAYS AND WITHIN 24 HOURS OF A STORM EVENT GREAT ENOUGH TO CAUSE WATER TO LEAVE THE CONSTRUCTION SITE.
8. MEASURES SHALL BE CLEANED AND REPAIRED AS NEEDED. SEDIMENT SHALL BE REMOVED WHEN ACCUMULATION REACHES ONE-HALF OF THE MEASURE HEIGHT. SEDIMENT SHALL BE DISPOSED OF AS UNSUITABLE MATERIAL.
9. SILT FENCE SHALL BE INSTALLED ON A LINE OF EQUAL ELEVATION (CONTOUR). IT MAY BE INSTALLED AT INTERMEDIATE POINTS UP SLOPES AS WELL AS AT THE BOTTOM, AS SHOWN IN THE DETAIL.
10. SILT FENCE SHALL NOT BE USED AROUND CONCENTRATED FLOW.

GENERAL EROSION AND SEDIMENT CONTROL NOTES:

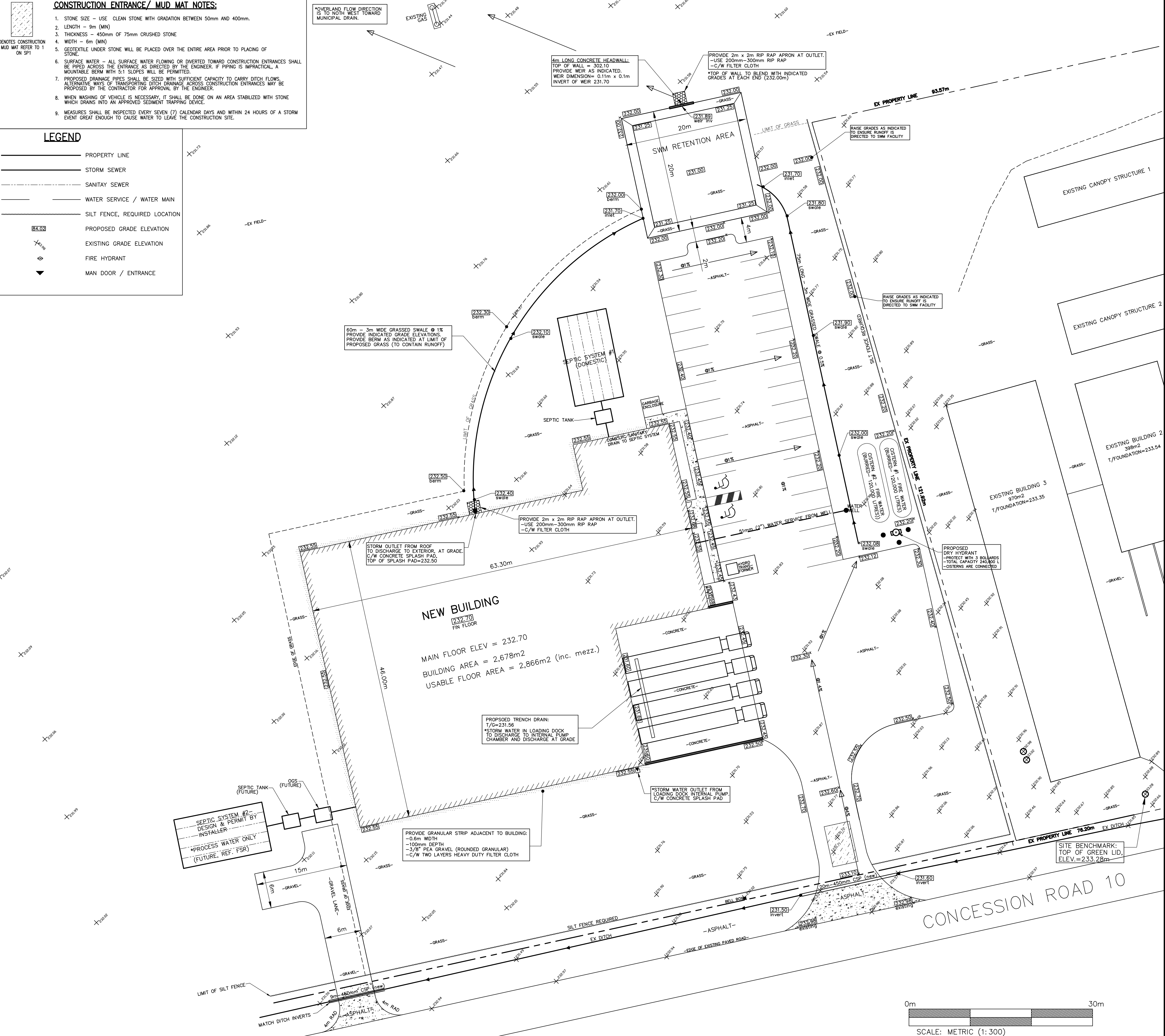
1. UNLESS OTHERWISE INDICATED, ALL VEGETATIVE AND STRUCTURAL EROSION AND SEDIMENT CONTROL PRACTICE WILL BE CONSTRUCTED AND MAINTAINED ACCORDING TO MINIMUM STANDARDS AND DIRECTION OF THE COUNTY.
2. ALL EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE PLACED PRIOR TO OR AS THE FIRST STEP IN CLEARING.
3. SILT FENCE AS PER OPSD 219.130
4. THE CONTRACTOR IS RESPONSIBLE FOR INSTALLATION OF ANY ADDITIONAL EROSION CONTROL MEASURES NECESSARY TO PREVENT EROSION AND SEDIMENTATION AS DETERMINED BY THE CITY.
5. ALL DISTURBED AREAS ARE TO DRAIN TO APPROVED SEDIMENT CONTROL MEASURES AT ALL TIMES DURING LAND DISTURBING ACTIVITIES AND DURING SITE DEVELOPMENT UNTIL FINAL STABILIZATION IS ACHIEVED.
6. ALL EROSION CONTROL DEVICES ARE TO BE INSPECTED AND MAINTAINED WEEKLY AND AFTER EACH RAINFALL.
7. ALL AREAS OF WORK WHICH WILL REMAIN DISTURBED FOR A PERIOD OF THIRTY DAYS OR MORE MUST BE STABILIZED TO THE SATISFACTION OF THE COUNTY.
8. ALL MATERIAL STOCKPILES ARE TO BE LOCATED WITHIN THE BOUNDARY OF THE INDICATED SILT FENCE. ADDITIONAL SILT FENCE IS TO BE ERECTED AROUND ANY PROPOSED STOCKPILES.
9. CATCH BASINS TO HAVE SILT TRAPS INSTALLED FOR THE DURATION OF CONSTRUCTION. REFERENCE DETAIL ON THIS PAGE.

CONSTRUCTION ENTRANCE/ MUD MAT NOTES:

1. STONE SIZE - USE CLEAN STONE WITH GRADATION BETWEEN 50mm AND 400mm.
2. LENGTH - 9m (MIN)
3. THICKNESS - 450mm OF 75mm CRUSHED STONE
4. WIDTH - 6m (MIN)
5. GEOTEXTILE UNDER STONE WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
6. SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE AS DIRECTED BY THE ENGINEER. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
7. PROPOSED DRAINAGE PIPES SHALL BE SIZED WITH SUFFICIENT CAPACITY TO CARRY DITCH FLOWS. ALTERNATIVE WAYS OF TRANSPORTING DITCH DRAINAGE ACROSS CONSTRUCTION ENTRANCES MAY BE PROPOSED BY THE CONTRACTOR FOR APPROVAL BY THE ENGINEER.
8. WHEN WASHING OF VEHICLE IS NECESSARY, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
9. MEASURES SHALL BE INSPECTED EVERY SEVEN (7) CALENDAR DAYS AND WITHIN 24 HOURS OF A STORM EVENT GREAT ENOUGH TO CAUSE WATER TO LEAVE THE CONSTRUCTION SITE.

LEGEND

- PROPERTY LINE
- STORM SEWER
- SANITARY SEWER
- WATER SERVICE / WATER MAIN
- SILT FENCE, REQUIRED LOCATION
- PROPOSED GRADE ELEVATION
- EXISTING GRADE ELEVATION
- FIRE HYDRANT
- MAN DOOR / ENTRANCE

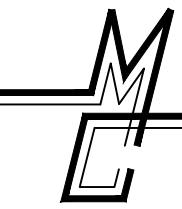
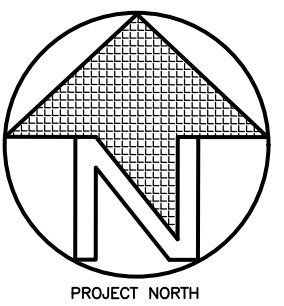


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PROJECT NAME
SITE PLAN FOR
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1867 WINDHAM ROAD 10, ON-24, WINDHAM CENTER
NORFOLK COUNTY

SHEET TITLE
SITE GRADING & SERVICE PLAN

SCALE
1:300 METRIC
DRAWN BY
R MORRISON
CHECKED BY
M.E.M.
DATE
MAY 2022
FILE NAME
7222

PROJECT NO.
7222
DWG. NO.
SP2
REV. NO.
2

PLANTING SCHEDULE					
KEY	COMMON NAME	BOTANICAL NAME	QUANT.	CONDITION	PROPERTIES
T1	BLUE SPRUCE	PICEA PUNGENS	6	W/B	75mm CAL

LANDSCAPING:
THERE ARE MINIMAL PROPOSED PLANTINGS. THE BUILDING IS A FOOD PROCESSING FACILITY AND WILDLIFE INCLUDING BIRDS AND INSECTS ARE DISCOURAGED. AREAS TO BE GRASSED ARE INDICATED.

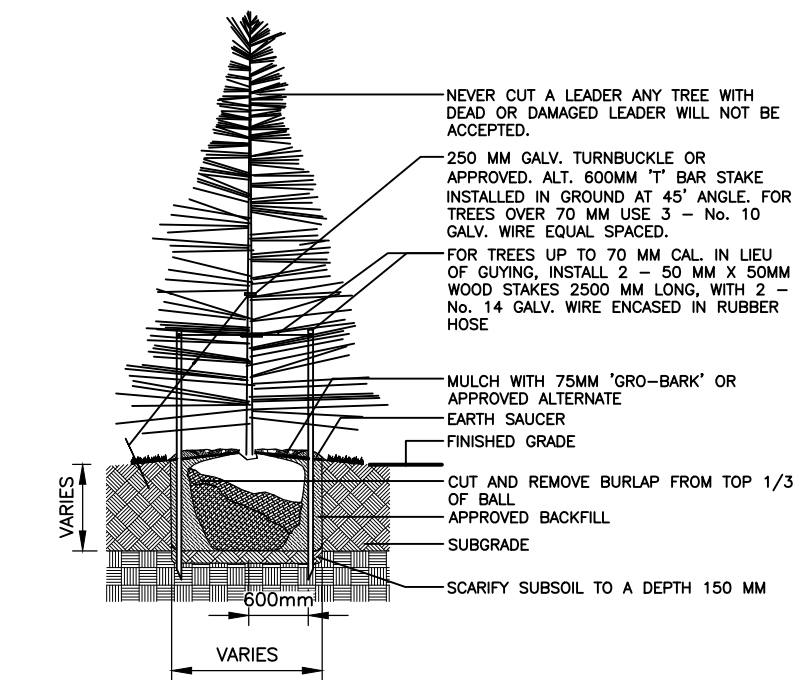
LEGEND	
	PROPERTY LINE
	STORM SEWER
	SANITARY SEWER
	WATER SERVICE / WATER MAIN
	SILT FENCE, REQUIRED LOCATION
	PROPOSED GRADE ELEVATION
	EXISTING GRADE ELEVATION
	FIRE HYDRANT
	MAN DOOR / ENTRANCE

GENERAL PLANTING NOTES:

- TOPSOIL:**
- ALL SHRUB BEDS AND TREES TO BE BACKFILLED WITH GOOD QUALITY TOPSOIL SCARIFIED FREE OF ALL STONES, ROOTS, BRANCHES LARGER THAN 1" (25MM) AND COMPACTED TO 85% S.P.D.
 - ALL SUBSOIL TO BE SCARIFIED TO A DEPTH OF 6" (150 MM) PRIOR TO THE INSTALLATION OF TOPSOIL TO ENSURE NO HARDBAN CONDITIONS.
 - DIRECT ALL RAINLEADERS AND SUMP LEADERS AWAY FROM PLANTING BEDS AND TO THE DESIGNATED SWALES.
- MULCH:**
- ALL TREE PITS, SHRUB PITS AND PLANTING AREAS ARE TO BE MULCHED WITH MIN. 75MM OF MEDIUM MULCH, UNLESS OTHERWISE NOTED.
- PLANT MATERIALS:**
- CONTRACTOR TO VERIFY ALL PLANT MATERIAL ON DRAWING(S) AND PLANT MATERIAL LIST(S). REPORT ALL DISCREPANCIES.
 - PLANTINGS MAY BE ADJUSTED TO SUIT UTILITIES STRUCTURES AND AESTHETIC CONCERNS.
 - ALL TREE PITS SHALL BE AT LEAST 2 FT. (600MM) WIDER THAN BALL OF THE TREE TO BE PLANTED AND SHALL BE DEEP ENOUGH SO THAT THE TOP OF BALL IS AT THE SAME LEVEL AS SURROUNDING GRADE. A MINIMUM OF 6" (150MM) OF BACKFILL SHALL BE PLACED UNDER BALL. TREE PITS ARE NOT TO BE LEFT OPEN OVER NIGHT.
 - SHRUB BEDS SHALL BE EXCAVATED TO A DEPTH OF 18" (450MM) AND FILLED WITH APPROVED BACKFILL MATERIAL.
 - ALL TREES SHALL HAVE AN EARTH SAUCER AT ITS BASE WITH A DIAMETER AS LARGE AS EXCAVATED AREA TO SHAPE TO RETAIN WATER. SEE DETAIL. EARTH SAUCER TO HAVE APPROVED MULCH INSTALLED TO A MINIMUM DEPTH OF 2.5" (63MM).
 - ALL BURLAP SHALL BE CUT AND BURIED BELOW SURFACE DURING PLANTING.
 - ALL EVERGREENS ARE TO WRAPPED THE FIRST WINTER.
 - DO NOT INSTALL PLANT MATERIAL IN DRAINAGE SWALES.
 - ALL TREES TO BE PROPERLY STAKED WITH HOSE COATED WIRE. REMOVE ALL GUY WIRES AFTER 2 FULL GROWING SEASONS.
- SOD:**
- UPON INSTALLATION AREAS SHOULD BE WATERED SO AS TO SATURATE SOD AND THE UPPER 4" (100MM) OF BACKFILL TOPSOIL. AFTER SOD AND SOIL HAVE DRIED SUFFICIENTLY TO PREVENT DAMAGE, IT SHALL BE ROLLED WITH A ROLLER.

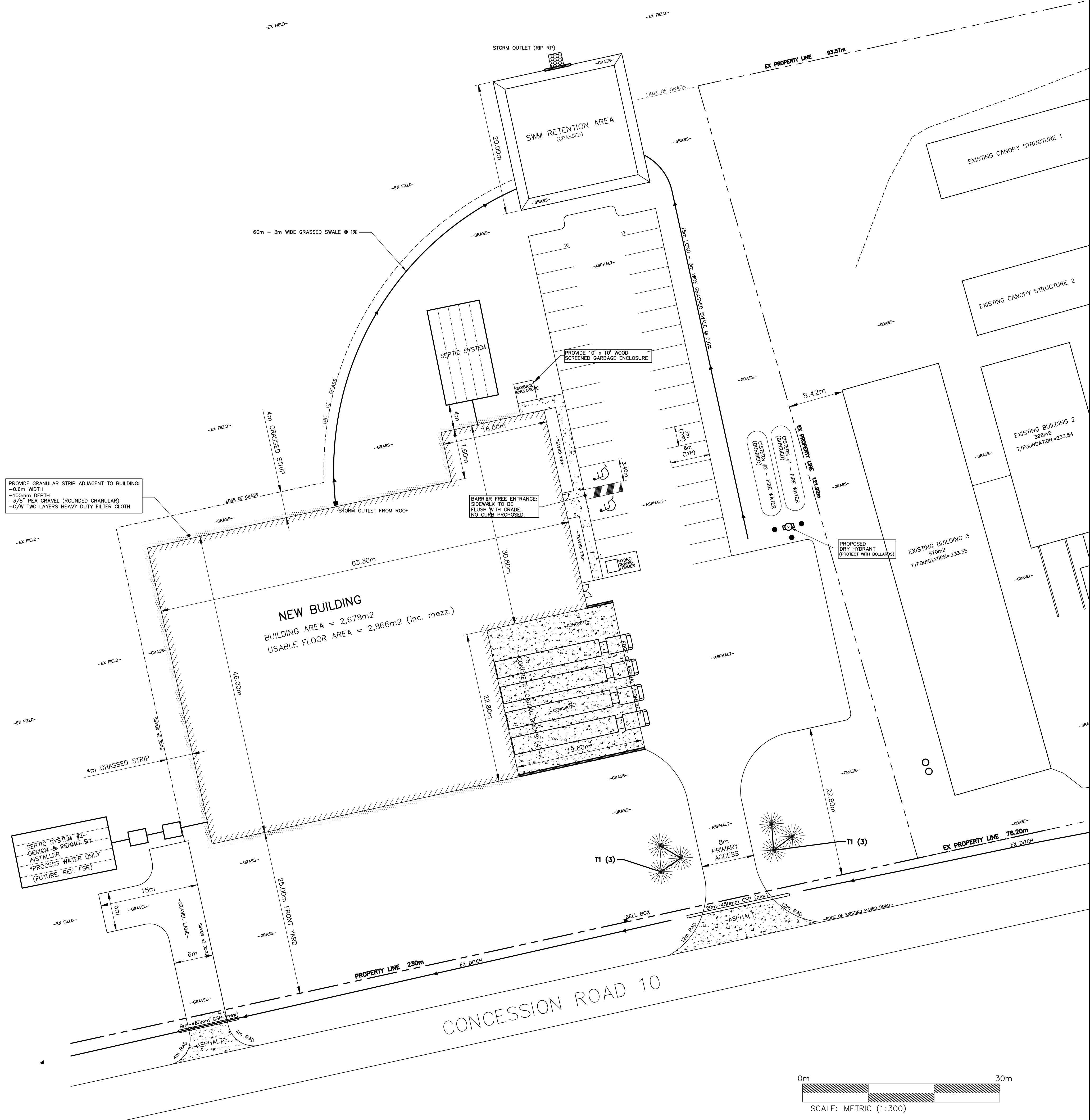
SMALL CAL.TREE (B & B)

NOTE: CONTRACTOR TO REFER TO SPECIFICATIONS



- NOTES:**
- DO NOT ALLOW AIR POCKETS WHEN BACKFILLING.
 - DO NOT DAMAGE MAIN ROOTS WHEN INSTALLING STAKES.
 - POSITION CROWN OF ROOT BALL 50MM ABOVE FINISHED GRADE TO ALLOW FOR SETTLING.
 - FOR TREES PLANTED WITHIN PLANTING OR SHRUB BEDS, DELETE EARTH SAUCER.
 - ALL DIMENSIONS SHOWN IN MILLIMETERS.
 - TREES UNDER 70MM REQUIRE TWO STAKES. TREES 70MM CALIPER AND OVER REQUIRE THREE STAKES.
 - TREES 2000M IN HEIGHT AND LESS REQUIRE ONE STAKE.
 - NO TREE PITS SHALL BE LEFT OPEN OVERNIGHT.
 - THE ABOVE DOES NOT REPRESENT ANY PARTICULAR SPECIES.

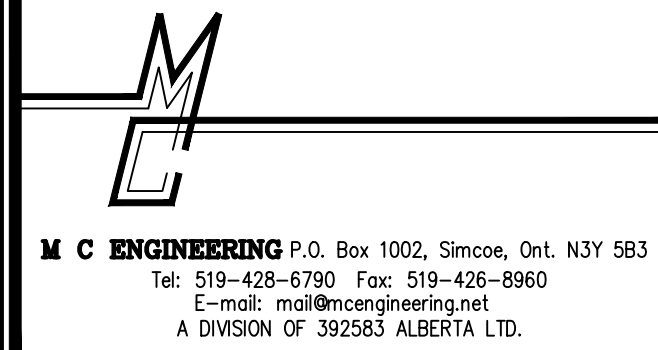
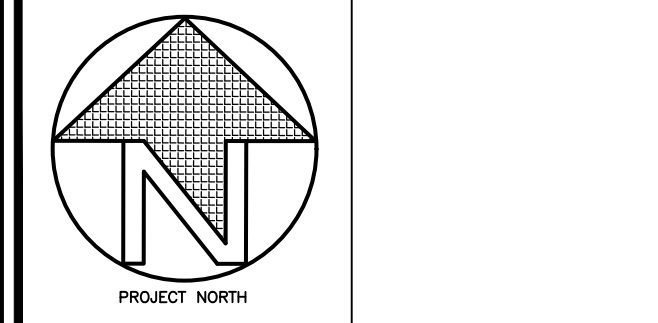
PROVIDE GRANULAR STRIP ADJACENT TO BUILDING:
-0.6m WIDTH
-100mm DEPTH
-3/8" PEA GRAVEL (ROUNDED GRANULAR)
-C/W TWO LAYERS HEAVY DUTY FILTER CLOTH



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SITE PLAN FOR
PICARD'S PEANUTS
1867 WINDHAM ROAD 10, ON-24, WINDHAM CENTER
NORFOLK COUNTY

SHEET TITLE
LANDSCAPE PLAN

SCALE 1:300 METRIC	PROJECT NO. 7222
DRAWN BY R MORRISON	DWG. NO. SP4
CHECKED BY M.E.M.	REV. NO. 2
DATE MAY 2022	
FILE NAME 7222	



PLANNING JUSTIFICATION

Site Plan Approval

WDM CON 9 PT LOT 1, Windham, Norfolk County

May 2023



LANDPRO PLANNING SOLUTIONS
Landproplan.ca
info@landproplan.ca

Niagara Office:
204-110 James St. St. Catharines
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Ontario N3Y 3T9

DISCLAIMER

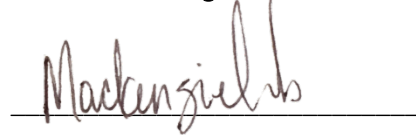
This report was prepared by the team at LandPro Planning Solutions Inc. It is based on the information provided to us by the applicant. The planning policy research and opinions are based on our own research and independent analysis of the applicable policy.

Michael Sullivan, RPP Project Manager, Quality Control

Mackenzie Trepanier Research, Design

This report was written by professionals and supervised by Registered Professional Planners, who are full members of the Ontario Professional Planners Institute as defined by the *Ontario Professional Planners Act*, 1994. The contents of this report represent the author's independent professional opinions and comply with the OPPI Code of Professional Practice and the opinions presented herein will be defended as required.

LandPro Planning Solutions Inc.



Mackenzie Trepanier, B.A., Dipl.
Planning Technician | Designer



Michael Sullivan, RPP, MCIP
President | Principal Planner

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INTRODUCTION

LandPro Planning Solutions Inc. (LandPro) has been retained by Picard Peanuts Ltd. (Owner) to provide land planning services in support of establishing a processing and storage facility to support their existing peanut business, located on the adjacent lot being 1867 Windham Road 10.

The subject property has frontages on both Windham Road 10 and Highway 24, is without a municipal address. It is currently used for agricultural purposes and the applicant wishes to introduce an on-farm diversified use to the southern portion of this property which would be an expansion of their existing building on the neighbouring property (1867 Windham Road 10).

PURPOSE

The property owner attended a Pre-Consultation in September of 2022, and it was determined that a Planning Justification Report will be required to be submitted with the Site Plan Approval application to identify how the proposed use meets Provincial Policy Statement, Official Plan policies and Zoning By-Law requirements.

This report serves to demonstrate how this application should be considered “good planning.”

SITE CONTEXT

The property is located at on Windham Road 10, about 4.5 kilometres north of Simcoe and 3.8 kilometres west of Waterford. The location is presented in **Figure 1**, below.

Figure 1. Property Location (in red).



LEGAL DESCRIPTION & LAND USE CONTEXT

The property is legally described as on WDM CON 9 PT LOT 1 REG, Windham. The property is currently used for agricultural purposes and has maintained this use since at least the 1960s, according to Norfolk County GIS mapping. The immediate surrounding land uses are predominately agricultural.

North	=	Agricultural
South	=	Agricultural, Residential
East	=	Agricultural, Commercial (Picard's Peanuts processing and retail)
West	=	Agricultural

PROPERTY DIMENSIONS & PHYSICAL ATTRIBUTES

The property fronts onto Windham Road 10 and Highway 24 and currently contains no structures. Per County Zoning, the lot fronts onto Windham Road 10. The property and subject lands dimensions are presented in **Table 1**.

WDM CON 9 PT LOT 1, Norfolk County
Site Plan Application: Peanut Manufacturing and Storage Facility
 Picard Peanuts Ltd.

Table 1. Property Dimensions

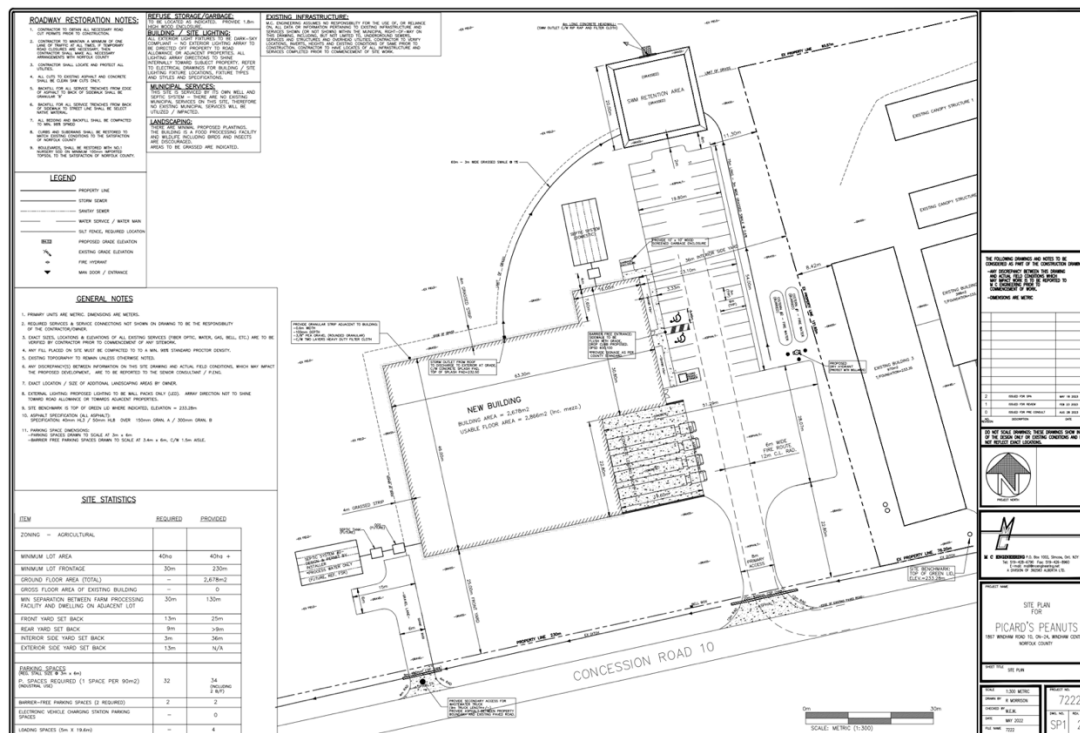
Item	Entire Property
Lot Frontage	±547 m (Highway 24), ±203m (Windham Road 10)
Lot Depth	Up to ±585 m
Lot Area	28.72 ha (70.98 acres) per Norfolk County GIS

PROPOSED DEVELOPMENT

The Owner proposes to develop the southern portion of the property into a peanut manufacturing and storage facility. Picard's Peanuts has a manufacturing facility on the neighbouring property, 1867 Windham Road 10, which the evolving business has outgrown. The proposed facility will be comprised of one main manufacturing and storage building with parking and loading areas. To achieve this, it was determined that a Site Plan Approval application be submitted.

Figure 2, below, is a conceptual sketch of the planned development on this property (a larger version is included as part of the submission).

Figure 2. Development Site Plan, MC Engineering (May 2023)



LAND USE PLANNING FRAMEWORK

In preparing this application, several policy and regulatory documents were reviewed that need to be addressed to demonstrate good planning. They include the following:

1. The Planning Act, RSO, 1990, as amended,
2. The Provincial Policy Statement, (PPS 2020),
3. Norfolk County Official Plan (2021), and
4. Norfolk County Zoning By-law 1-Z-2014 (2020).

The proposed development was assessed against these policies and associated regulations. A detailed analysis is presented below.

PLANNING ACT, RSO, 1990 (PA)

The PA is provincial legislation that details the rules and regulations governing land use planning in Ontario.

This application has regard for **Section 2 (Provincial Interest)**, particularly subsections **b, k, l, and p**.

Regarding **2b**, “*the protection of the agricultural resources of the Province*,” this development is proposed as an on-farm diversified use and is an appropriate and beneficial use on this existing agricultural property.

Regarding **2k** (“*the adequate provision of employment opportunities*”) and **2l** (“*the protection of the financial and economic well-being of the Province and its municipalities*”), this SPA application involves the expansion of a local business which will benefit the County economically and provide additional employment opportunities in the area.

Regarding **2p**, “*the appropriate location of growth and development*,” the proposed development is an extension of the Picard’s Peanuts operation on the adjacent property and so is a logical and appropriate location for the development being applied for.

PROVINCIAL POLICY STATEMENT, 2020 (PPS)

The PPS provides policy direction on matters of provincial interest for all land use development throughout Ontario. It provides direction for appropriate development while protecting resources of provincial interest, public health and safety, and the quality of the natural and built environment.

The PPS promotes healthy communities which promote “*efficient development and land use patterns which sustain the financial well-being of the Province and municipalities over the long term*” and which

accommodate an appropriate amount of employment opportunities (**1.1.1.a-b**). Rural areas should be supported by *“promoting diversification of the economic base and employment opportunities through goods and services, including value-added products and the sustainable management or use of resources”* and *“providing opportunities for economic activities in prime agricultural areas, in accordance with policy 2.3,”* (**1.1.4.1.f, i**).

According to **Policy 2.3.3**, permitted uses in agricultural areas include agricultural uses, agriculture-related uses and on-farm diversified uses. Proposed on-farm diversified uses *“shall be compatible with, and shall not hinder, surrounding agricultural operations.”* The PPS defines on-farm diversified uses as *“uses that are secondary to the principal agricultural use of the property and are limited in area,”* (pg. 48).

This application does not hinder surrounding agricultural uses, but rather enhances them. It involves an extension to an existing agri-commercial operation on an abutting property. This application maintains the existing agricultural nature of the subject property and is clearly secondary to its primary agricultural use, which is reinforced by historical air photos, which demonstrate this property continues to be cropped. This application is limited in area as it is understood that no further expansions will be possible at this property.

Further to the PPS’s definition, the Province’s **Guidelines on Permitted Uses in Ontario’s Prime Agricultural Areas** includes a **Section 2.3** “On-Farm Diversified Uses,” which expands on this definition. **Section 2.3.1.3** of the Guidelines outlines the intentions of the PPS criterion of being “limited in area,” which includes *“minimiz[ing] the amount of land taken out of agricultural production, if any,” “ensur[ing] agriculture remains the main land use in prime agricultural areas,”* and *“limit[ing] off-site impacts (e.g., traffic, changes to the agricultural-rural character) to ensure compatibility with surrounding agricultural operations.”*

The proposed development minimized the amount of land taken out of agricultural production as it occupies only the space necessary for the proposed use, including required parking and servicing. The proposed use is still of agricultural nature, adding value to produce grown in Ontario and abroad, while the rest of the property will remain in agricultural production. Finally, no significant off-site impacts are anticipated as the proposed use will maintain the agricultural character of the area and a Traffic Impact Study was completed by RC Spencer Associates in December 2022 which found that *“the proposed development will not adversely impact area traffic operations,”* (pg. 3). For more information, please see the Technical Studies and Additional Reports section of this report.

The location of the proposed development is logical in terms of land-use patterns and will provide economic and employment opportunities in the County. The development meets the PPS’s definition of an on-farm diversified use as it is secondary to the principal agricultural use of the property and is limited in area. As an on-farm diversified use, it is permitted in the agricultural area.

This proposed SPA is consistent with the PPS.

NORFOLK COUNTY OFFICIAL PLAN, 2021 (NCOP)

The Norfolk County Official Plan (NCOP) provides direction for development within the County to best meet the needs of their current and future population. It contains goals and objectives to maintain or improve the character, quality of life, community, and environmental features within the County.

A large portion of the County is agricultural which is a valuable asset to the economy. The NCOP promotes development of the County's agricultural industry through policies in **Section 4.4**. Included in these policies are **c**, to "*facilitate the development of on-farm diversified businesses, in accordance with provincial guidelines, that provide the opportunity for farm operators to earn a supplementary income in a manner that minimizes the use of prime productive agricultural lands.*"

The subject property is designated Agricultural and Hazard Lands. The southern part of the site, where the development is proposed, is exclusively in the Agricultural designation. Please see **Appendix 1** for the relevant schedule. Permitted uses in this designation include a range of farming practices, farm residences, uses which retain or add value to farm products (processing, storing, packaging of farm produce), on-farm diversified uses and agriculture-related commercial and industrial operations (**7.2.1**).

Section 7.2.2b-c contains criteria that on-farm diversified uses shall meet. Please see **Tables 2 and 3**, below, for an analysis of this criteria in relation to the proposed development.

Table 2 – Section 7.2.2.b Policies: On-farm diversified uses

Policy	Proposed	Note
i) the use is located on a parcel of land which has an existing farm operation established on it	The development is proposed on an existing farmed parcel.	Complies
ii) the use is secondary to the principal agricultural use of the property	The development is secondary to the agricultural use of the property.	Complies
iii) the use is limited in area, as outlined in Section 7.2.2 c);		See Table 3 for Section 7.2.2.c policies.
iv) the use may include, but is not limited to, home occupations, home industries, agri-tourism uses including overnight tourist accommodation and uses that produce value-added agricultural products, including those that use crops from other producers;	The development will produce value-added agricultural products to produce grown in Ontario and abroad.	Complies

v) the use is compatible with, and will not hinder, surrounding agricultural operations;	The proposed development is compatible with, and will not hinder, surrounding agricultural operations	Complies
vi) the use is appropriate to available rural services and infrastructure	The proposed development is appropriate to available rural services and infrastructure.	Complies
vii) the use maintains the agricultural / rural character of the area	The proposed maintains the agricultural character of the area.	Complies
viii) the use meets all applicable environmental standards; and	Please see the Technical Studies and Additional Reports section of this report.	Complies
ix) outside storage areas, associated with the on-farm diversified use shall be included in the limited area calculations outlined in Section 7.2.2 c). Outside storage areas shall be screened from the road and residential buildings on adjacent properties	No outdoor storage is proposed.	Complies

Table 3 – Section 7.2.2.c Policies: On-farm diversified use size

Policy	Proposed	Note
i) the acceptable area occupied by an on-farm diversified use is up to 2% of a farm parcel to a maximum of 1 ha (10,000m ²)	The farm parcel is 28.72 ha. The proposed on-farm diversified use takes up approximately 8,000 m ² of the property, or 2.8% of the farm parcel.	Meets the general intent of the policy The proposed development occupies 0.8% more land than permitted.
ii) the gross floor area of buildings used for on-farm diversified uses is limited to an approximate 20% of the acceptable land area, as calculated in 7.2.2 c) i)	The proposed building is a total of 2,866 m ² . If the acceptable land area is 2% of the farm parcel (5,744m ²), the proposed building is 49.9% of the acceptable land area.	Meets the general intent of the policy The proposed building occupies 29.9% more of the acceptable

Policy	Proposed	Note
		land area than permitted.
iii) the land area and the area of existing buildings used for on-farm diversified uses may be discounted at the rate of 50%. Where the on-farm diversified use occupies the same footprint as a demolished building, the land area for the use may be similarly discounted by 50%	N/A	N/A
iv) where the on-farm diversified use uses an existing farm laneway, the area of the laneway will not be included in the area calculations	N/A	N/A
v) 100% of the area needed for parking and outdoor storage for the on-farm diversified uses will be included in the area calculation	This area is included in the calculation.	Complies
vi) If more than one on-farm diversified use is proposed on a single property, the combined area of all on-farm diversified uses shall be within the land area and building area requirements	N/A	N/A
vii) On-farm diversified uses that are proposed to grow beyond the area limits, either incrementally or otherwise, will not be permitted and will be encouraged to locate in areas of the County appropriately designated for the use	N/A	N/A
viii) On-farm diversified uses will be subject to site plan control, where warranted and appropriate (e.g. for those uses requiring outdoor storage areas, visitor parking and/or a new farm access, etc.), in accordance with the	This report accompanies a Site Plan Application.	Complies

Policy	Proposed	Note
policies of Section 9.6.5 (Site Plan Control)		
ix) Severances to separate the on-farm diversified uses from the farm property will not be permitted	N/A	N/A

The proposed development generally conforms to the NCOP policies and certainly meets the intent of the agricultural policies, which promotes protection of agricultural resources. This application leverages the on-farm diversified class of agricultural uses. The proposed development occupies 0.8% (or 2256 m²) more of the total property than the NCOP policy supports, and the proposed building occupies 29.9% (or 1717 m²) more of the total permissible on-farm diversified lands than the NCOP supports. This approach indicates best efforts to work with the NCOP policies, while supporting the expansion of a well-established and reputable value-added agriculture business.

It should also be noted that this approximate size of proposed building was presented at the September 2022 Pre-Consultation and no concern was expressed about the building's size, as well no further planning requirements were given to address the building's size.

Although these two guidelines are exceeded, it is our opinion that the context of this application – being an expansion of an existing development on the adjacent site, and in line with the County's vision for the property and farm-based economic activity – makes this proposed development appropriate for the area and still meets the general intent and purpose of the Official Plan. The proposed development is located on, and is secondary to, an existing farm operation, and will produce value-added agricultural products to produce grown in Ontario and abroad. It remains appropriate to its location in terms of character, servicing, and agricultural impact.

It is our opinion that, despite not meeting all criteria listed in policies **7.2.2.c.i** and **ii**, the proposed development meets the intent and purpose of the NCOP.

NORFOLK COUNTY ZONING BY-LAW 1-Z-2014 (ZBL)

The Norfolk County Zoning By-law 1-Z-2014 (ZBL) is used to manage land use compatibility, character, and appearance of communities, and to implement the policies of the Official Plan. The property is currently zoned A (Agricultural) and HL (Hazard Lands). Please see **Appendix 2** for a visual of the property's zoning.

The proposed development is located solely within the Agricultural zoning on the property. Please see **Table 4**, below, for the provisions of the zoning.

Table 4 – *Agricultural (A)* Zoning Provisions

Provision	Required	Proposed	Note
Minimum Lot Area	40 ha	28.72 ha (70.98 acres)	Legal Non-Conforming (existing)
Minimum Lot Frontage	30 m	±547 m (Highway 24), ±203m (Windham Road 10)	Complies
Minimum Front Yard	13 m	25 m	Complies
Minimum Interior Side Yard	3 m	36 m	Complies
Minimum Rear Yard	9 m	>9 m	Complies
Maximum Building Height	11 m	8.15 m	Complies
Parking	32 (1 space per 90m ² of usable floor area - Industrial Establishment)	34	Complies
Minimum Separation Between Farm Processing Facility and Dwelling on Adjacent Lot	30 m	130 m	Complies

As noted in the table above, the proposed development meets all Agricultural zoning provisions except for the existing lot size deficiency. Because this deficiency has existed since before the current property owners purchased the property and has not been identified as an issue in the past, it is our opinion that this deficiency may be considered *Legal Non-Conforming*.

The property is currently used for agricultural purposes, and no change in use is proposed. The majority of the land will remain farmland with the proposed development being in an isolated area adjacent to an existing commercial development. As the proposed development will be considered an on-farm diversified use, the following criteria apply according to the ZBL (12.3):

Table 5 – *On-farm diversified use* Zoning Provisions (Section 12.3)

Policy	Proposed	Note
a) an on-farm diversified use shall only be permitted on an existing farm operation	The proposed development is on an existing farm operation.	Complies
b) no on-farm diversified use shall exceed a combined total of one (1) hectare	The proposed on-farm diversified use is approximately 8000 m ² .	Complies
c) the gross floor area of all buildings used for an on-farm diversified use shall not exceed 20 percent of the acceptable land area, as calculated in 12.3.1 b)	The proposed building is a total of 2,866 m ² , or 2.9% of the acceptable land area as calculated in 12.3.1.b.	Does Not Comply The proposed building occupies 0.9% more of the acceptable land area than permitted.
d) the land area and the area of existing buildings used for an on-farm diversified use may be discounted at the rate of 50 percent. Where an on-farm diversified use uses the same footprint as a demolished building, the land area for the use may be similarly discounted by 50 percent	N/A	N/A
e) 100 percent of the area needed for a parking space and outdoor storage for the on-farm diversified use will be included in the area calculation		Complies
f) where an on-farm diversified use uses an existing farm laneway, or parking area, the area of the laneway or parking area will not be included in the area calculations	N/A	N/A

As noted in the table above, the proposed development meets on-farm diversified use zoning provisions, save and except for **12.3.c** as the proposed building occupies 0.9% (or 866 m²) more of the total permissible on-farm diversified lands than the ZBL permits.

Although this provision is slightly exceeded, it is our opinion that the context of this application, as previously described, makes this proposed development appropriate for the area and still meets the intent and purpose of the Zoning By-law. The proposed development is located on an existing farm operation and is an expansion of the commercial operation on the adjacent property. This proposed development will produce value-added agricultural products to produce grown in Ontario (and abroad) and be of economic value to the County.

It should also be noted that this approximate size of proposed building was presented at the September 2022 Pre-Consultation and no concern was expressed about the building's size, as well no further planning requirements were given to address the building's size.

The proposed development meets the intent and spirit of the County's Zoning By-law.

TECHNICAL STUDIES & ADDITIONAL REPORTS

The most recent Pre-Consultation resulted in the requirement of a variety of studies and reports for the development, including a Lot Grading Plan and General Plan of Services, a Functional Servicing Report, Erosion and Sediment Control Plan, a Stormwater Management Design Report, Traffic Impact Study, and a Landscaping Plan. The following is a summary of each report requirement:

FUNCTIONAL SERVICING REPORT (G.N. CATT, MAY 2023)

A water well will be installed by McLeod Water Wells. A septic system for domestic sanitary sewage will be designed and installed by Ken Gilbert Excavating and Trucking of Vanessa. Regarding fire water supply, this report proposes an impounded water supply as well as a 'dry' fire hydrant. The full report is attached to this application.

TRAFFIC IMPACT STUDY (RC SPENCER ASSOCIATES INC., DECEMBER 2022)

This report found that all existing intersections "*will continue to operate satisfactorily in all horizon traffic scenarios*" (pg.2) and "*there is sufficient intersection sight distance to accommodate safe egress*" from the site access (pg. 3). The final recommendation is as follows:

"Therefore, it is the engineers' opinion that the proposed development will not adversely impact area traffic operations. Both Windham Road 10 and Highway 24 have the capacity to accept the additional site generated trips, but a northbound left turn lane should be provided in accordance with the MTO's left turn lane guidelines," (pg.3). The full report is attached to this application.

STORMWATER MANAGEMENT DESIGN REPORT (MC ENGINEERING, MAY 2023)

This report outlines the proposed stormwater management for the site, with the following conclusion: *“The SWM quantity controls provided in this report and on the design, drawings will sufficiently meet the design objectives of this report, as well as the standards of Norfolk County. No impact to the road allowance, or adjacent property is anticipated,”* (pg. 3). The full report is attached to this application.

PLANNING ANALYSIS

This application seeks the appropriate Planning Act permissions and has regard for **Section 2 (Provincial Interest)** of the Planning Act. It is also consistent with the PPS (2020) as it promotes healthy communities, efficient land use patterns, and employment opportunities. It states that rural areas should be supported by a diversified economic base and employment opportunities, including value-added products. This application involves a agri-commercial development on an agricultural property which abuts another commercial use property, creating a logical land-use pattern. It will provide economic and employment opportunities in the County. The development meets the PPS’s definition of an on-farm diversified use as it is secondary to the principal agricultural use of the property and is limited in area. As an on-farm diversified use, is permitted in the agricultural area. This application also includes value-added agricultural uses.

The Norfolk County Official Plan promotes development of the County’s agricultural industry, including facilitating the development of on-farm diversified businesses. The southern part of the site, where the development is proposed, is exclusively in the Agricultural designation. On-farm diversified uses are permitted in this designation. The proposal meets all criteria for on-farm diversified uses according to the Norfolk County Official Plan except for the on-farm diversified use policies **7.2.2.c.i** and **ii**. Regarding these policies, the proposed development occupies 0.8% (or 2256 m²) more of the total property than the NCOP permits, and the proposed building occupies 29.9% (or 1717 m²) more of the total permissible on-farm diversified lands than the NCOP permits. It is our opinion that the context of this application – being an expansion of an existing development on the adjacent site, and in line with the County’s vision for the property and farm-based economic activity – makes this proposed development appropriate for the area and still meets the intent and purpose of the Official Plan. The proposed development is located on, and is secondary to, an existing farm operation, and will produce value-added agricultural products to produce grown in Ontario and abroad. It remains appropriate to its location in terms of character, servicing, and agricultural impact.

We note that Section 7.2.2 are based on a publication of the Ontario government entitled “Guidelines for Permitted Uses on Prime Agricultural Lands,” which provides guidance on on-farm diversified uses, value added agricultural and agriculture-related matters. These guidelines are not intended as policy, but rather as a guide to assist in interpreting the PPS. That they have been transposed into both Official Plan policy

and Zoning is admirable, yet they were not intended to be used in this manner. We ask for the County's support in this area to enable the application to move forward. We further note that the County's Pre-Consultation notes contained no concern for the size of the proposed development, including the proposed structure.

The property is zoned Agricultural and Hazard Lands in the Norfolk County Zoning By-law 1-Z-2014 and the proposed development is located wholly within the Agricultural zone. The proposal meets all provisions within this zone, except for the existing lot size deficiency. Because this deficiency has existed since before the current property owners purchased the property and has not been identified as an issue in the past, it is our opinion that this deficiency may be considered *Legal Non-Conforming*. The Zoning By-law also contains criteria for on-farm diversified uses, all of which the development meets except for **12.3.c**, mirroring the deficiency in the Official Plan. Regarding this provision, the proposed building occupies 0.9% (or 866 m²) more of the total permissible on-farm diversified lands than the ZBL permits. Although this provision is minorly exceeded, it is our opinion that the context of this application, as previously described, makes this proposed development appropriate for the area and still meets the intent and purpose of the Zoning By-law. The proposed development is located on an existing farm operation and is an expansion of the commercial operation on the adjacent property. This proposed development will produce value-added agricultural products to produce grown in Ontario (and abroad) and be of economic value to the County.

As noted above, these requirements are from the provincial Guidelines, which were never intended to be transposed into zoning. While they have been, some flexibility is appropriate to consider in supporting the expansion of a well-established, local value added agricultural business. This application is consistent with the Provincial Policy Statement and meets the spirit and intent of the Norfolk County Official Plan . In addition, it meets the spirit and intent of the Norfolk County Zoning By-law 1-Z-2014

The property owners have presented this expansion in a clear and honest manner, which meets most of the applicable policies and zoning provisions. They require the expansion to maintain an existing local business operation, which survived and prospered during the recent pandemic, which is to be celebrated.

This application addresses all matters requested by the County at Pre-Consultation. Based on the County's review, this value-added agricultural business expansion is best considered an on farm diversified use, per applicable planning policy. LandPro has demonstrated, through this report, how this application meets the applicable policy and believes it is an appropriate use for this location and that Site Plan approval is the correct tool to permit this.

CLOSING

This application meets provincial planning policy and meets the intent and purpose of municipal policy and zoning provisions. Subject to review of this application, this property will be well situated for the expansion of the Picard's Peanuts facility in Norfolk County.

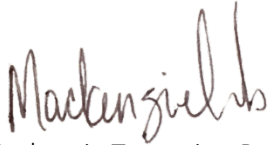
WDM CON 9 PT LOT 1, Norfolk County

Site Plan Application: Peanut Manufacturing and Storage Facility

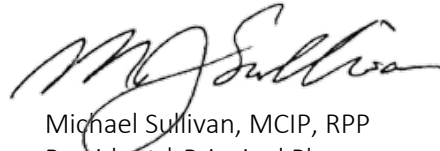
Picard Peanuts Ltd.

It is our opinion that this application represents good planning and should be approved.

LandPRO Planning Solutions Inc.



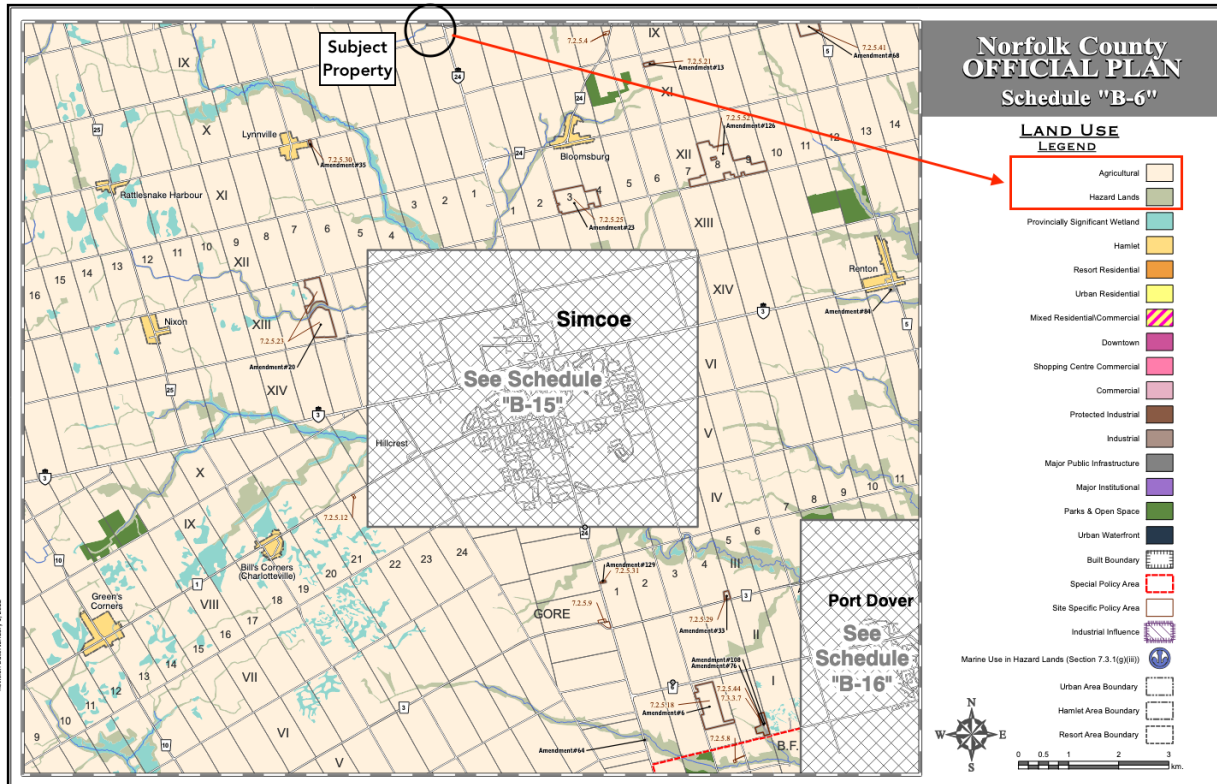
Mackenzie Trepanier, B.A., Dipl.
Planning Technician | Designer



Michael Sullivan, MCIP, RPP
President | Principal Planner

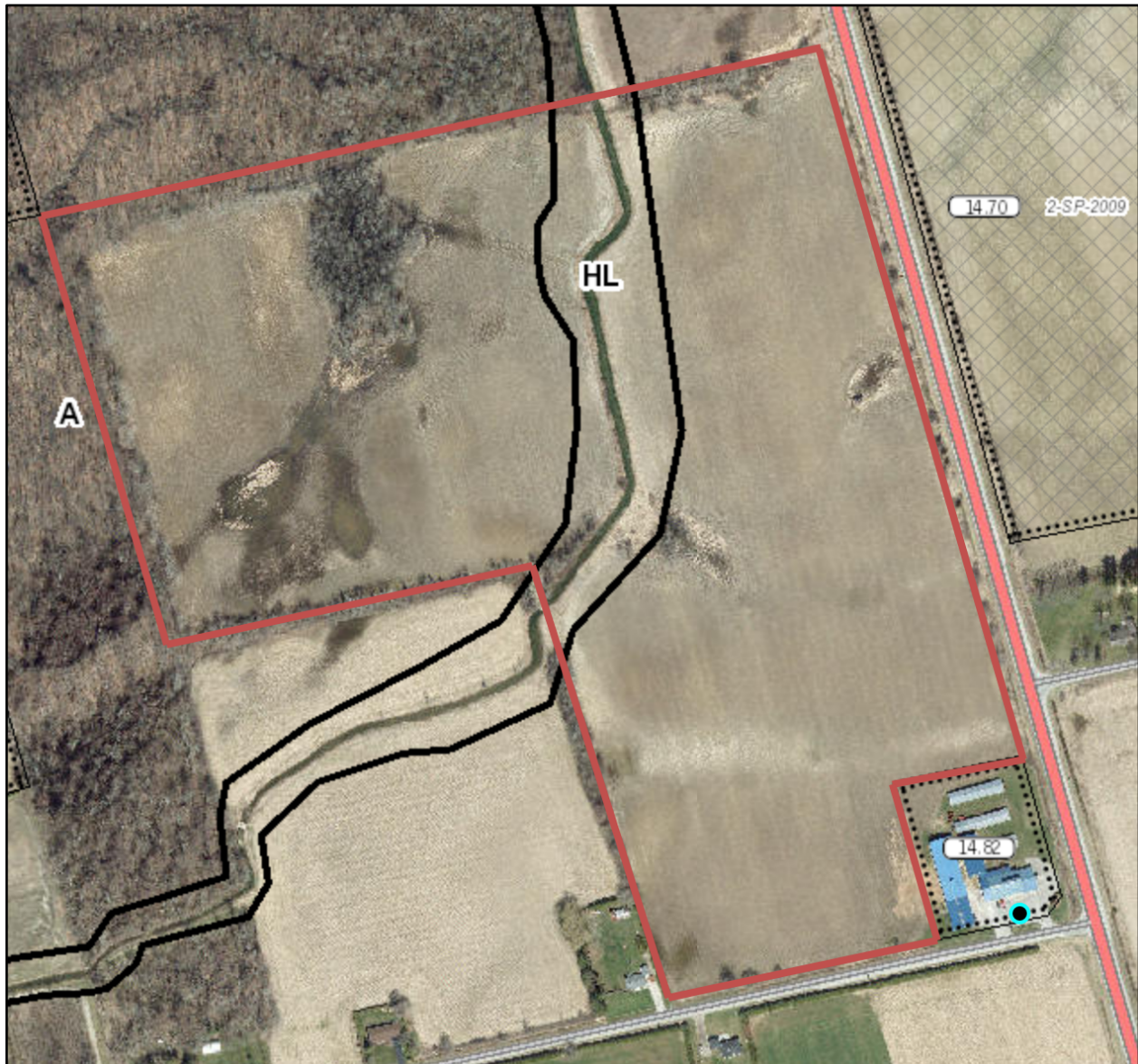
APPENDIX 1: NORFOLK COUNTY OFFICIAL PLAN, SCHEDULE B-6

Subject property indicated by black circle.



APPENDIX 2: PROPERTY ZONING (NORFOLK COUNTY GIS)

Subject property indicated in red.



37R-2322

PLAN MATERIALS

PLASTIC MATERIAL - MYLAR
GAUGE - 0.003 INCH
INK - SPECIAL "T"

PLAN OF SURVEY

OF PART OF

LOT I, CONCESSION IX

FORMERLY IN THE GEOGRAPHIC
TOWNSHIP OF WINDHAMIN THE
COUNTY OF NORFOLK
NOW IN THE

TOWNSHIP OF DELHI

IN THE REGIONAL MUNICIPALITY OF

HALDIMAND - NORFOLK

SCALE 1" = 60'

JEWITT AND DIXON LTD.

1981

I require this plan be deposited under
THE REGISTRY ACT.

PLAN 37R-2322

RECEIVED AND DEPOSITED

DATED DEC. 17, 1981

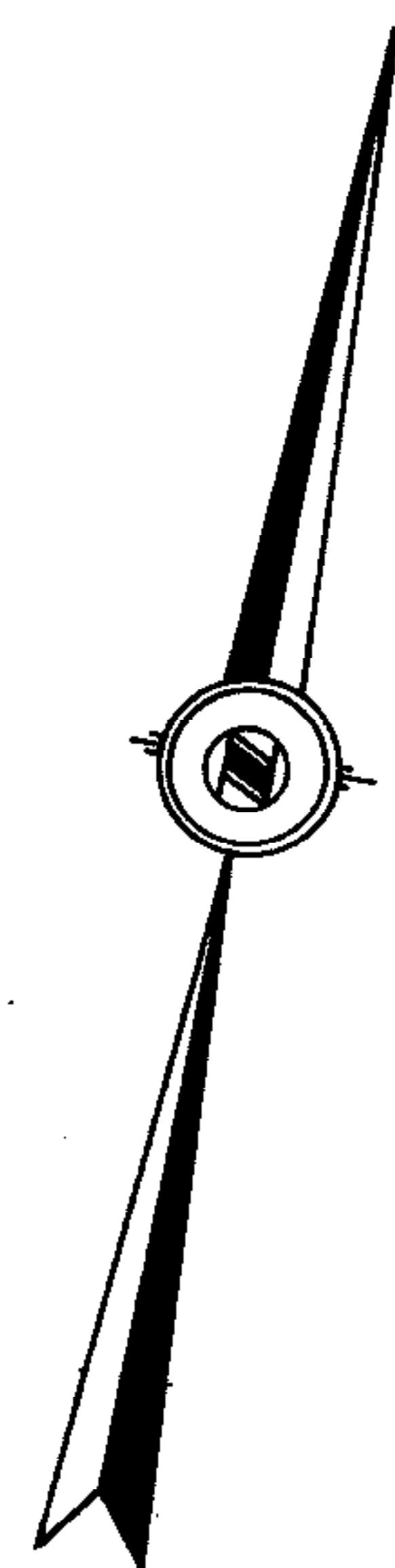
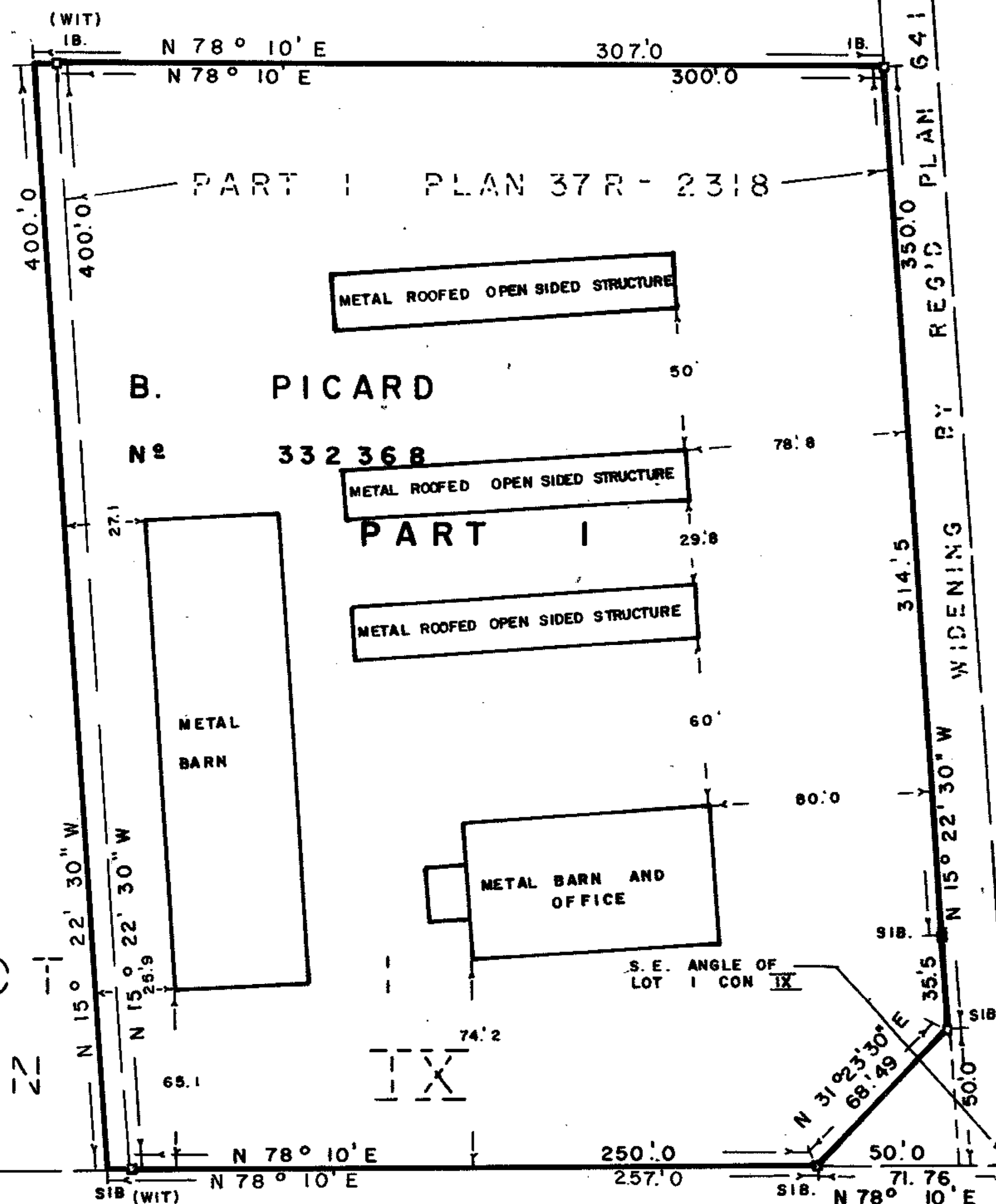
DATED 23 DEC 1981

H. V. JEWITT
ONTARIO LAND SURVEYORAND REGISTRAR FOR THE REGISTRY
DIVISION OF NORFOLK (N.D. 37)

SCHEDULE

PART	PART OF LOT	CON.	INSTRUMENT	AREA
I	I	IX	332368	2.785 AC

BEARINGS ARE ASTRONOMIC AND ARE REFERRED TO THE SOUTHERLY
LIMIT OF LOT I CONCESSION IX BEING N 78° 10' E AS
SHOWN ON REG'D PLAN 641.

JAMES
INST.

CONCESSION

IX

66' ALLOWANCE FOR ROAD BETWEEN CONCESSION IX AND X

CONCESSION

X

THE KING'S HIGHWAY No 24
ROAD ALLOWANCE BETWEEN TOWNSHIPS

P-2882(A)

I HEREBY CERTIFY THAT:
1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE
SURVEYS ACT AND THE REGISTRY ACT AND THE REGULATIONS MADE
THEREUNDER.

2. THE SURVEY WAS COMPLETED ON THE 15. DAY OF DECEMBER
19. 81.

DATED DECEMBER 16 1981

H. V. JEWITT
ONTARIO LAND SURVEYOR

CAUTION! THIS PLAN IS NOT A PLAN OF SUBDIVISION WITHIN
THE MEANING OF THE PLANNING ACT.

LEGEND

1" x 1" x 48" STANDARD IRON BARS SHOWN

5/8" x 5/8" x 24" IRON BARS SHOWN

5/8" x 24" ROUND IRON BARS SHOWN

LOT LINES SHOWN

DEED LINES SHOWN

FENCES SHOWN

■ DENOTES FOUND

— S.I.B.

— I.B.

— I.B.

— I.B.

— I.B.

— I.B.

— I.B.

JEWITT AND DIXON LTD.

ONTARIO LAND SURVEYORS

90 KENT STREET, SOUTH, SIMCOE, ONTARIO.

PHONE: (519) 426-0842

F.W. -

CALC. - P.C.C.

DWN. - P.C.

Modified Rational Method - Mericann, Norfolk County

Q= 0.00278CIA

Area (ha)	Time of Concentration (min)	Time Increments (min)	Pre Development Runoff Coefficient	Post Development Runoff Coefficient
0.58	10	5	0.3	0.9

SWM Pond Design Input - drainage area #2 - outflow

Storm (yrs)				Allowable Outflow	Post Development Runoff Coefficient
	A	B	C	(m3/s)	
2	646	6	0.718	0.064	0.9
5	1049.5	8	0.803	0.064	0.9
10	1343.7	9	0.814	0.064	0.9
25	1719.5	10	0.823	0.064	0.9
50	1954.8	10	0.826	0.064	0.9
100	2317.4	11	0.836	0.064	0.9

Results

Storm	Storage	Time
	m³	min
2	0.00	0
5	0.00	0
10	0.00	0
25	0.00	0
50	0.00	0
100	166.00	55

Pre-Development Runoff Rate(10 MIN)

	2 Year	5 Year	10 Year	25 Year	50 Year	100 Year
C	0.3	0.3	0.3	0.3	0.3	0.3
I	115	133	156	185	208	228
A	0.58	0.58	0.58	0.58	0.58	0.58
Q	0.056	0.064	0.075	0.089	0.101	0.110

Rainfall Station MOUNT HOPE

Only Enter Values in Blue Boxes

Calculate Storage Volume

APPENDIX A

Time (min)	2 Year					Difference	5 Year				Difference	10 Year				Difference	25 Year				Difference	50 Year				Difference	100 Year				Difference
	Intensity mm/hr	Inflow m³/s	Outflow m³/s	Storage m³	Intensity mm/hr		Inflow m³/s	Outflow m³/s	Storage m³	Intensity mm/hr		Inflow m³/s	Outflow m³/s	Storage m³	Intensity mm/hr		Inflow m³/s	Outflow m³/s	Storage m³	Intensity mm/hr		Inflow m³/s	Outflow m³/s	Storage m³	Intensity mm/hr		Inflow m³/s	Outflow m³/s	Storage m³	Intensity mm/hr	
5	115.48	0.168	0.064	21.47	16.96	133.81	0.194	0.064	29.41	21.84	156.80	0.227	0.064	39.41	28.58	185.13	0.268	0.0640	51.73	36.98	208.76	0.303	0.064	62.01	42.80	228.22	0.331	0.064	70.476	49.30	
10	88.24	0.128	0.064	38.43	8.37	103.04	0.149	0.064	51.24	11.20	122.29	0.177	0.064	67.99	15.96	146.10	0.212	0.0640	88.71	21.97	164.61	0.239	0.064	104.81	25.85	181.81	0.264	0.064	119.778	30.69	
15	72.59	0.105	0.064	46.81	4.03	84.63	0.123	0.064	62.44	5.70	101.11	0.147	0.064	83.95	9.27	121.59	0.176	0.0640	110.67	13.81	136.90	0.199	0.064	130.65	16.65	152.08	0.221	0.064	150.470	20.37	
20	62.27	0.090	0.064	50.84	1.43	72.26	0.105	0.064	68.14	2.41	86.68	0.126	0.064	93.22	5.21	104.65	0.152	0.0640	124.49	8.80	117.76	0.171	0.064	147.30	11.00	131.29	0.190	0.064	170.840	13.95	
25	54.88	0.080	0.064	52.27	-0.30	63.33	0.092	0.064	70.54	0.25	76.15	0.110	0.064	98.43	2.52	92.18	0.134	0.0640	133.29	5.46	103.68	0.150	0.064	158.31	7.24	115.86	0.168	0.064	184.795	9.65	
30	49.30	0.072	0.064	51.96	-1.53	56.55	0.082	0.064	70.79	-1.27	68.10	0.099	0.064	100.95	0.63	82.59	0.120	0.0640	138.75	3.09	92.85	0.135	0.064	165.55	4.58	103.92	0.151	0.064	194.440	6.58	
35	44.90	0.065	0.064	50.43	-50.43	51.20	0.074	0.064	69.52	-2.39	61.74	0.090	0.064	101.58	-0.77	74.96	0.109	0.0640	141.84	1.34	84.25	0.122	0.064	170.13	2.61	94.39	0.137	0.064	201.024	4.31	
40	41.34	0.060	0.000	0.00	0.00	46.88	0.068	0.064	67.13	-67.13	56.56	0.082	0.064	100.82	-1.84	68.73	0.100	0.0640	143.18	0.00	77.22	0.112	0.064	172.74	1.10	86.59	0.126	0.064	205.336	2.57	
45	38.39	0.056	0.000	0.00	0.00	43.29	0.063	0	0.00	0.00	52.26	0.076	0.064	98.98	-2.68	63.55	0.092	0.0640	143.18	-1.06	71.38	0.103	0.064	173.84	-0.08	80.08	0.116	0.064	207.907	1.20	
50	35.89	0.052	0.000	0.00	0.00	40.27	0.058	0	0.00	0.00	48.62	0.071	0.064	96.30	-3.36	59.15	0.086	0.0640	142.12	-1.91	66.43	0.096	0.064	173.76	-1.04	74.55	0.108	0.064	209.106	0.09	
55	33.76	0.049	0.000	0.00	0.00	37.68	0.055	0	0.00	0.00	45.51	0.066	0.064	92.95	-92.95	55.38	0.080	0.0640	140.21	-2.61	62.18	0.090	0.064	172.72	-1.82	69.8011	0.101212	0.064	209.1982679	-0.82	
60	31.90	0.046	0.000	0.00	0.00	35.44	0.051	0	0.00	0.00	42.80	0.062	0	0.00	0.00	52.11	0.076	0.0640	137.59	-3.20	58.49	0.085	0.064	170.90	-2.48	65.67	0.095	0.064	208.383	-1.57	
65	30.27	0.044	0.000	0.00	0.00	33.48	0.049	0	0.00	0.00	40.43	0.059	0	0.00	0.00	49.23	0.071	0.0640	134.39	-3.69	55.25	0.080	0.064	168.42	-3.03	62.04	0.090	0.064	206.811	-2.21	
70	28.83	0.042	0.000	0.00	0.00	31.74	0.046	0	0.00	0.00	38.34	0.056	0	0.00	0.00	46.68	0.068	0.0640	130.70	-4.12	52.38	0.076	0.064	165.38	-3.51	58.82	0.085	0.064	204.599	-2.76	
75	27.54	0.040	0.000	0.00	0.00	30.20	0.044	0	0.00	0.00	36.47	0.053	0	0.00	0.00	44.41	0.064	0.0640	126.58	-126.58	49.82	0.072	0.064	161.87	-3.92	55.94	0.081	0.064	201.840	-3.23	
80	26.38	0.038	0.000	0.00	0.00	28.81	0.042	0	0.00	0.00	34.79	0.050	0	0.00	0.00	42.37	0.061	0.0000	0.00	0.00	47.52	0.069	0.064	157.96	-4.28	53.36	0.077	0.064	198.608	-3.64	
85	25.33	0.037	0.000	0.00	0.00	27.56	0.040	0	0.00	0.00	33.28	0.048	0	0.00	0.00	40.53	0.059	0.0000	0.00	0.00	45.45	0.066	0.064	153.68	-153.68	51.03	0.074	0.064	194.964	-4.01	
90	24.38	0.035	0.000	0.00	0.00	26.43	0.038	0	0.00	0.00	31.90	0.046	0	0.00	0.00	38.85	0.056	0.0000	0.00	0.00	43.56	0.063	0.000	0.00	0.00	48.91	0.071	0.064	190.957	-4.33	
95	23.50	0.034	0.000	0.00	0.00	25.39	0.037	0	0.00	0.00	30.65	0.044	0	0.00	0.00	37.32	0.054	0.0000	0.00	0.00	41.84	0.061	0.000	0.00	0.00	46.97	0.068	0.064	186.629	-4.61	
100	22.70	0.033	0.000	0.00	0.00	24.44	0.035	0	0.00	0.00	29.50	0.043	0	0.00	0.00	35.92	0.052	0.0000	0.00	0.00	40.26	0.058	0.000	0.00	0.00	45.20	0.066	0.064	182.015	-182.02	
105	21.96	0.032	0.000	0.00	0.00	23.57	0.034	0	0.00	0.00	28.44	0.041	0	0.00	0.00	34.63	0.050	0.0000	0.00	0.00	38.81	0.056	0.000	0.00	0.00	43.56	0.063	0.000	0.000	0.00	
110	21.28	0.031	0.000	0.00	0.00	22.76	0.033	0	0.00	0.00	27.47	0.040	0	0.00	0.00	33.44	0.048	0.0000	0.00	0.00	37.47	0.054	0.000	0.00	0.00	42.05	0.061	0.000	0.000	0.00	
115	20.64	0.030	0.000	0.00	0.00	22.02	0.032	0	0.00	0.00	26.56	0.039	0	0.00	0.00	32.33	0.047	0.0000	0.00	0.00	36.23	0.053	0.000	0.00	0.00	40.65	0.059	0.000	0.000	0.00	
120	20.05	0.029	0.000	0.00	0.00	21.33	0.031	0	0.00	0.00	25.72	0.037	0	0.00	0.00	31.31	0.045	0.0000	0.00	0.00	35.07	0.051	0.000	0.00	0.00	39.35	0.057	0.000	0.000	0.00	
125	19.50	0.028	0.000	0.00	0.00	20.68	0.030	0	0.00	0.00	24.94	0.036	0	0.00	0.00	30.35	0.044	0.0000	0.00	0.00	34.00	0.049	0.000	0.00	0.00	38.14	0.055	0.000	0.000	0.00	
130	18.98	0.028	0.000	0.00	0.00	20.08	0.029	0	0.00	0.00	24.20	0.035	0	0.00	0.00	29.45	0.043	0.0000	0.00	0.00	32.99	0.048	0.000	0.00	0.00	37.00	0.054	0.000	0.000	0.00	
135	18.50	0.027	0.000	0.00	0.00	19.51	0.028	0	0.00	0.00	23.52	0.034	0	0.00	0.00	28.62	0.041	0.0000	0.00	0.00	32.05	0.046	0.000	0.00	0.00	35.94	0.052	0.000	0.000	0.00	
140	18.04	0.026	0.000	0.00	0.00	18.98	0.028	0	0.00	0.00	22.87	0.033	0	0.00	0.00	27.83	0.040	0.0000	0.00	0.00	31.16	0.045	0.000	0.00	0.00	34.94	0.051	0.000	0.000	0.00	
145	17.61	0.026	0.000	0.00	0.00	18.48	0.027	0	0.00	0.00	22.27	0.032	0	0.00	0.00	27.09	0.039	0.0000	0.00	0.00	30.33	0.044	0.000	0.00	0.00	34.01	0.049	0.000	0.000	0.00	
150	17.20	0.025	0.000	0.00	0.00	18.01	0.026	0	0.00	0.00	21.70	0.031	0	0.00	0.00	26.39	0.038	0.0000	0.00	0.00	29.55	0.043	0.000	0.00	0.00	33.12	0.048	0.000	0.000	0.00	
155	16.82	0.024	0.000	0.00	0.00	17.56	0.025	0	0.00	0.00	21.16	0.031	0	0.00	0.00	25.73	0.037	0.0000	0.00	0.00	28.80	0.042	0.000	0.00	0.00	32.28	0.047	0.000	0.000	0.00	
160	16.45	0.024	0.000	0.00	0.00	17.14	0.025	0	0.00	0.00	20.64	0.030	0	0.00	0.00	25.10	0.036	0.0000	0.00	0.00	28.10	0.041	0.000	0.00	0.00	31.49	0.046	0.000	0.000	0.00	
165	16.10	0.023	0.000	0.00	0.00	16.74	0.024	0	0.00	0.00	20.16	0.029	0	0.00	0.00	24.51	0.036	0.0000	0.00	0.00	27.44	0.040	0.000	0.00	0.00	30.74	0.045	0.000	0.000	0.00	
170	15.77	0.023	0.000	0.00	0.00	16.36	0.024	0	0.00	0.00	19.70	0.029	0	0.00	0.00	23.95	0.035	0.0000	0.00	0.00	26.81	0.039	0.000	0.00	0.00	30.03	0.044	0.000	0.000	0.00	
175	15.46	0.022	0.000	0.00	0.00	16.00	0.023	0	0.00	0.00	19.26	0.028	0	0.00	0.00	23.42	0.034	0.0000	0.00	0.00	26.21	0.038	0.000	0.00	0.00	29.36	0.043	0.000	0.000	0.00	
180	15.16	0.022	0.000	0.00	#REF!	15.66	0.023	0	0.00	#REF!	18.85	0.027	0	0.00	#REF!	22.91	0.033	0.0000	0.00	#REF!	25.64	0.037	0.000	0.00	#REF!	28.71	0.042	0.000	0.000	#REF!	



STORM WATER MANAGEMENT REPORT

PROPOSED BUILDING

PICARD'S PEANUTS

1867 WINDHAM ROAD 10, ON-24, WINDHAM CENTER,
NORFOLK COUNTY, ONTARIO

PREPARED BY:
MC ENGINEERING
SIMCOE, ONTARIO
(519) 428 6790

REVISION 0 - MAY 18 2023



GENERAL

This report is to be read in conjunction with Site Plan & Grading Plan (drawings SP1 through SP5), prepared by MC Engineering, dated May 18th 2023.

The modified rational method has been used to determine pre development and post development flow rates. Calculations and Data are contained at the back of this report.

The following documents have been referenced and reviewed in the preparation of this report:

- Ministry of the Environment Stormwater Management Planning and Design Manual 2003

-MTO Drainage Management Manual

-Norfolk County Design Criteria

SITE INFORMATION & DESCRIPTION OF DEVELOPMENT

The subject property is located at, 1867 Windham Road 10, ON-24, in Norfolk County.

The subject property is not developed. The current use is agricultural.

The proposal is to construct 2,678m² building area and associated asphalt parking areas.

Quantity control will be provided. Storm water runoff will be directed to a retention area and discharge at the 2 year pre development rate to the existing storm sewer on the road.

DESIGN CRITERIA

Quantity controls will be provided on site. The allowable release rate is based on the pre development 5-year runoff rate. The allowable release rate is 0.064m³/sec. (Please reference Appendix A). On Site storage has been provided to accommodate 100 year storm event.



DATA SUMMARY

***Reference appendix #1 - Modified rational method calculations**

Pre Development

Total Lot Area = 40ha (+/-)

Area to be controlled = 0.58ha (total area of development considered in SWM calculations)

Tc = 10min.

Pre Development C = 0.30

Post Development C = 0.90

Max storage required = 166m³ (55 min / 100 year storm)

Storage provided = 250m³ +

OUTLET INFORMATION

The historical outlet is the municipal drain running through the subject property, located north west of the development

Runoff will discharge at allowable discharge rate of 0.064m³/sec (5-year storm). A concrete headwall with a weir (notch) will control outflow from the retention pond.

Quantity controls will be provided on site. Storm water will be directed to a suitable above grade retention area via overland drainage. The designed weir will control outflow to 0.064m³/sec.

The existing site outlet will continue to receive runoff. No impacts are anticipated.

CONCLUSION

The SWM quantity controls provided in this report and on the design, drawings will sufficiently meet the design objectives of this report, as well as the standards of Norfolk County. No impact to the road allowance, or adjacent property is anticipated.



SECTION 2 : DATA AND CALCULATIONS

SUMMARY OF AREAS

TOTAL SITE AREA:	40ha
AREA TO BE CONTROLLED:	0.58ha

PRE DEVELOPMENT TO POST DEVELOPMENT CONTROL TABLE

*reference SWM Calculations / Appendix 'A'

	Pre Dev Runoff	Post Dev Discharge
2 year	0.058m ³ /sec	0.064m ³ /sec
5 year	0.064m ³ /sec	0.064m ³ /sec
10 year	0.075m ³ /sec	0.064m ³ /sec
25 year	0.089m ³ /sec	0.064m ³ /sec
50 year	0.101m ³ /sec	0.064m ³ /sec
100 year	0.110m ³ /sec	0.064m ³ /sec

RETENTION INFORMATION

Retention will be provided by the proposed retention pond.

Required retention, 100 year/55 min event = 166m³

High water mark (all ponding areas) = 232.00m.

Max Depth =1.0m

Total area of retention= 400m²

Total proposed above ground storage= 250m³

**retention areas are listed on drawing SP2, and are indicated by hatching (dotted areas)*



DISCHARGE RATE THROUGH RESTRICTED OUTLET

The total maximum discharge through the proposed weir must not exceed the allowable discharge rate of 0.064m³ per second.

A concrete headwall complete with a weir (notch) is proposed to restrict runoff.

Total allowable discharge = 0.064m³/sec

Capacity of discharge through each weir = 0.064m³/sec

Height (H)= 0.11m

Crest Length (L)=0.10m

$Q = 3.27 \times L \times H^{1.5}$

Capacity of weir= 0.064m³/sec

SUMMARY

ALLOWABLE POST DEVELOPMENT DISCHARGE RATE = 0.064m³/sec

MAXIMUM FLOW THROUGH CONTROLLED OUTLET= 0.064m³/sec

REQUIRED STORAGE VOLUME= 166m³

PROPOSED STORAGE VOLUME=250m³