

# **Planning Department Development Application Form**

#### **Complete Application**

A complete development application consists of the following:

- 1. A completed, signed, and notarized application form
- 2. Supporting information adequate to illustrate your proposal as indicated in **Section**H of this application form
- 3. Written authorization from the registered owner of the subject lands where the applicant is not the owner as per Section N
- 4. Cash, debit, credit or cheque payable to Norfolk County in the amount set out in the user fees By-Law that will be accepted and deposited once the application has been deemed complete.

#### **Pre-Submission Consultation:**

Norfolk County requires a Pre-Consultation Meeting for all applications; however, minor applications may be exempted depending on the nature of the proposal. The purpose of a Pre-Consultation Meeting is to provide the applicant with an opportunity to present the proposed application, discuss potential issues, and for the Norfolk County and Agency staff to identify the application requirements. Application requirements, as detailed in the Pre-Consultation Meeting Comments, are valid for one year after the meeting date.

#### **Development Application Process**

Once an application has been deemed complete by a Planner, Norfolk County staff will circulate the application to adjacent landowners, public agencies, and internal departments for comment. The time involved in application processing varies depending on its complexity, acceptability to the other agencies, and statutory Planning Act decision time-frames.

Payment is required once your application is deemed complete. Pre-payments will not be accepted.



Norfolk County collects personal information submitted through this form under the Municipal Freedom of Information and Protection Act's authority. Norfolk County will use this information for the purposes indicated or implied by this form. You can direct questions about collecting personal information to Norfolk GIS Services at NorfolkGIS@norfolkcounty.ca.

Additional studies required for the complete application shall be at the applicant's sole expense. Sometimes, peer reviews may be necessary to review particular studies at the applicant's expense. In these caseds, Norfolk County staff will select the company to complete the peer review.

Norfolk County will refund the original fee if applicants withdraw their applications before circulation. If Norfolk County must recirculate your drawings, there will be an additional fee. If Norfolk County must do more than three reviews of engineering drawings due to revisions by the owner or failure to revise engineering drawings as requested, Norfolk County will charge an additional fee. Full refunds are only available before Norfolk County has circulated the application.

### **Notification Sign Requirements**

For public notification, Norfolk County will provide you with a sign to indicate the intent and purpose of your development application. It is your responsibility to:

- 1. Post one sign per frontage in a conspicuous location on the subject lands.
- 2. Ensure one sign is posted at the front of the subject lands at least three feet above ground level and not on a tree.
- 3. Notify the Planner when the sign is in place.
- 4. Maintain the sign until the development application is finalized and, after that, remove it.

#### **Contact Us**

For additional information or assistance completing this application, please contact a Planner at 519-426-5870 or 519-875-4485 extension 1842 or planning@norfolkcounty.ca. Please submit the completed application and fees to the attention of the Planning Department at 185 Robinson Street, Suite 200, Simcoe, ON N3Y 5L6.



| For Office Use Only: File Number Related File Number Pre-consultation Meeting Application Submitted Complete Application |   | SPPL2023323  N/A  July 27, 2023  Nov.7.2023  Nov.8.2023 | Public Notice Sign Application Fee Conservation Authority Fee Well & Septic Info Provided Planner                       | N/A<br>\$10857.00<br>N/A<br>Yes - septic and municipal water<br>Yager |  |
|--|---|---|---|---|--|
| Che  | ck the type of pl                                     | anning application                                      | n(s) you are submitting.  |   |  |
|  | Official Plan Ar                                      | mendment  |   |   |  |
|  | Zoning By-Law   | Amendment   |   |   |  |
|  | Temporary Use   | e By-law  |   |   |  |
|  | Draft Plan of S                                       | ubdivision/Vacant l                                     | _and Condominium  |   |  |
|  | Condominium   | Exemption   |   |   |  |
| X  | Site Plan Appli                                       | cation  |   |   |  |
|  | Extension of a Temporary Use By-law                   |   |   |   |  |
|  | Part Lot Contro                                       |   |   |   |  |
|  | Cash-in-Lieu of                                       | f Parking   |   |   |  |
|  | Renewable Energy Project or Radio Communication Tower |   |   |   |  |
| prov   | ision on the subje<br>designation of the              | ect lands to include<br>e subject lands, cre            | this application (for example, additional use(s), changing teating a certain number of lot 31 m2 truck terimal facility | he zone or official   |  |
| -  |   |   |   |   |  |
| -  |   |   |   |   |  |
| -  |   |   |   |   |  |
| -  |   |   |   |   |  |
| Prop   | perty Assessmer                                       | nt Roll Number: _                                       | 54102017015   |   |  |



| A. Applicant Information  | 1                           |             |  |
|---|-----------------------------|-------------|--|
| Name of Owner   | Entec Waste Management Inc  |             |  |
|   |                             |             |  |
|   |                             |             |  |
| Address   | PO Box 546, 50 County Road  | l 13<br>    |  |
| Town and Postal Code  | Courtland, ON N0J 1E0       |             |  |
| Phone Number  | 519-688-0577                |             |  |
| Cell Number   |                             |             |  |
| Email   | murraym@entecwm.com         |             |  |
|   |                             |             |  |
| Name of Applicant   | Reid & Deleye Contractors L | td          |  |
| Address   | Box 272                     |             |  |
| Town and Postal Code  | Courtland, N0J 1E0          |             |  |
| Phone Number  | 519-688-2600                |             |  |
| Cell Number   | 519-688-2600                |             |  |
| Email   | greg@reid-deleye.com        |             |  |
| _   |                             |             |  |
| Name of Agent   | see applicant               |             |  |
| Address   |                             |             |  |
| Town and Postal Code  |                             |             |  |
| Phone Number  |                             |             |  |
| Cell Number   |                             |             |  |
| Email   |                             |             |  |
| Unless otherwise directed, Norfolk County will forward all correspondence and notices regarding this application to both owner and agent noted above. |                             |             |  |
| □ X Owner   | ☐ Agent 🗵                   | ☑ Applicant |  |
| Names and addresses of any holder of any mortgagees, charges or other encumbrances on the subject lands:  |                             |             |  |



# B. Location, Legal Description and Property Information

| 1. | Legal Description (include Geographic Township, Concession Number, Lot Number, Block Number and Urban Area or Hamlet):   |  |  |  |
|----|--|--|--|--|
|    | part lot 162, concession north of Talbot Road geographic township of   |  |  |  |
|    | middleton  |  |  |  |
|    | Municipal Civic Address:50 County Road 13  |  |  |  |
|    | Present Official Plan Designation(s):protected industrial OP   |  |  |  |
|    | Present Zoning:MG  |  |  |  |
| 2. | Is there a special provision or site specific zone on the subject lands?   |  |  |  |
|    | ☐ Yes ☐ No If yes, please specify corresponding number:  14.359  |  |  |  |
| 3. | Present use of the subject lands: truck terminal   |  |  |  |
| 4. | Please describe <b>all existing</b> buildings or structures on the subject lands and whether they will be retained, demolished or removed. If retaining the buildings or structures, please describe the type of buildings or structures, and illustrate the setback, in metric units, from the front, rear and side lot lines, ground floor area, gross floor area, lot coverage, number of storeys, width, length, and height on your attached sketch which must be included with your application:  there are no existing buildings or structures |  |  |  |
| 5. | If an addition to an existing building is being proposed, please explain what it will be used for (for example: bedroom, kitchen, or bathroom). If new fixtures are proposed, please describe.   |  |  |  |
| 6. | Please describe <b>all proposed</b> buildings or structures/additions on the subject lands.  Describe the type of buildings or structures/additions, and illustrate the setback, in metric units, from front, rear and side lot lines, ground floor area, gross floor area, lot coverage, number of storeys, width, length, and height on your attached sketch which must be included with your application:  731 m2 preengineered steel building truck terminal facility  |  |  |  |



| 7. | Are any existing buildings on the subject lands designated under the <i>Ontario</i> Heritage Act as being architecturally and/or historically significant? Yes □ No ☑   |  |  |  |
|----|---|--|--|--|
|    | If yes, identify and provide details of the building:   |  |  |  |
|    |   |  |  |  |
| 8. | If known, the length of time the existing uses have continued on the subject lands: since at least 2006   |  |  |  |
| 9. | Existing use of abutting properties:  MG industrila, truck terminal   |  |  |  |
| 10 | Are there any easements or restrictive covenants affecting the subject lands?   |  |  |  |
|    | ☐ Yes ☑ No If yes, describe the easement or restrictive covenant and its effect:  |  |  |  |
| C. | Purpose of Development Application  |  |  |  |
| No | te: Please complete all that apply.   |  |  |  |
| 1. | Please explain what you propose to do on the subject lands/premises which makes this development application necessary: site plan application   |  |  |  |
|    |   |  |  |  |
|    |   |  |  |  |
| 2. | Please explain why it is not possible to comply with the provision(s) of the Zoning By-law/and or Official Plan:  |  |  |  |
|    |   |  |  |  |
| 3. | Does the requested amendment alter all or any part of the boundary of an area of settlement in the municipality or implement a new area of settlement in the municipality?   Yes  No If yes, describe its effect: |  |  |  |
|    |   |  |  |  |
|    |   |  |  |  |
| 4. | Does the requested amendment remove the subject land from an area of employment? $\Box$ Yes $\Box$ No If yes, describe its effect:  |  |  |  |
|    |   |  |  |  |
|    |   |  |  |  |



| • | Does the requested amendment alter, replace, or delete a policy of the Official Plan $\Box$ Yes $^{igstyle  align*}$ No If yes, identify the policy, and also include a proposed text of the |
|---|--|
|   | policy amendment (if additional space is required, please attach a separate sheet):  |
|   |  |
|   |  |
|   | Description of land intended to be severed in metric units:  |
|   | Frontage:  |
|   | Depth:   |
|   | Width:   |
|   | Lot Area:  |
|   | Present Use:   |
|   | Proposed Use:  |
|   | Proposed final lot size (if boundary adjustment):  |
|   | If a boundary adjustment, identify the assessment roll number and property owner o   |
|   | the lands to which the parcel will be added:   |
|   |  |
|   | Description of land intended to be retained in metric units:   |
|   | Frontage:  |
|   | Depth:   |
|   | Width:   |
|   | Lot Area:  |
|   | Present Use:   |
|   | Proposed Use:  |
|   | Buildings on retained land:  |
|   | Description of proposed right-of-way/easement: Frontage:   |
|   | Depth:   |
|   | Width:   |
|   | Area:  |
|   | Proposed use:  |
|   | Name of person(s), if known, to whom lands or interest in lands to be transferred, leased or charged (if known):   |



| 9.  | Site Information                     | Zoning                                   | Proposed |
|-----|--------------------------------------|--|----------|
| PΙ  | ease indicate unit of measureme      | ent, for example: m, m <sup>2</sup> or % |          |
| Lo  | t frontage                           | see matrix on siteplan                   |          |
| Lo  | t depth                              |  |          |
| Lo  | t width                              |  |          |
| Lo  | t area                               |  |          |
| Lo  | t coverage                           |  |          |
| Fro | ont yard                             |  |          |
| Re  | ear yard                             |  |          |
| Le  | ft Interior side yard                |  |          |
| Ri  | ght Interior side yard               |  |          |
| Ex  | terior side yard (corner lot)        |  |          |
| La  | ndscaped open space                  |  |          |
| En  | trance access width                  |  |          |
| Ex  | it access width                      |  |          |
| Siz | ze of fencing or screening           |  |          |
| Ту  | pe of fencing                        |  |          |
| 10  | .Building Size                       |  |          |
| Νu  | ımber of storeys                     |  |          |
| Bu  | ilding height                        |  |          |
| То  | tal ground floor area                |  |          |
| То  | tal gross floor area                 |  |          |
| То  | tal useable floor area               |  |          |
| 11  | .Off Street Parking and Loading      | y Facilities                             |          |
| Νu  | ımber of off street parking space    | es                                       |          |
|     | ımber of visitor parking spaces      |  |          |
| Νu  | ımber of accessible parking spa      | ces                                      |          |
| Nυ  | imber of off street loading faciliti | es                                       |          |



| 12. Residential (if applicable)                           |   |                                     |
|---|---|-------------------------------------|
| Number of buildings existing:                             |   |                                     |
| Number of buildings proposed                              | d:                                      |                                     |
| Is this a conversion or additio                           | n to an existing building?              | ? □ Yes □ No                        |
| If yes, describe:   |   |                                     |
| Туре  | Number of Units                         | Floor Area per Unit in m2           |
| Single Detached _   |   |                                     |
| Semi-Detached _   |   |                                     |
| Duplex _  |   |                                     |
| Triplex _   |   |                                     |
| Four-plex _   |   |                                     |
| Street Townhouse _  |   |                                     |
| Stacked Townhouse _                                       |   |                                     |
| Apartment - Bachelor                                      |   |                                     |
| Apartment - One bedroom                                   |   |                                     |
| Apartment - Two bedroom                                   |   |                                     |
| Apartment - Three bedroom                                 |   |                                     |
| Other facilities provided (for e or swimming pool):       | xample: play facilities, u              | nderground parking, games room,     |
| 13. Commercial/Industrial Use                             | es (if applicable)                      |                                     |
| Number of buildings existing:                             | 0                                       |                                     |
| Number of buildings proposed                              | d:1 plas covered st                     | torage                              |
| Is this a conversion or additio                           | n to an existing building?              | ? □ Yes ☑ No                        |
| If yes, describe:   |   |                                     |
| Indicate the gross floor area to 743m3 building, 634m2 co | ` | ample: office, retail, or storage): |
|   |   |                                     |
|   |   |                                     |



| Seating Capacity (for assembly halls or similar  | r):  |
|--|--|
| Total number of fixed seats:                     |  |
| Describe the type of business(es) proposed:      | truck terminal                               |
| Total number of staff proposed initially:        | 14   |
| Total number of staff proposed in five years:    | 14   |
| Maximum number of staff on the largest shift:    | 14   |
| Is open storage required: ☐ Yes ☐ No             |  |
| Is a residential use proposed as part of, or acc | cessory to commercial/industrial use?        |
| ☐ Yes Й No If yes please describe:               |  |
|  |  |
| 14. Institutional (if applicable)                |  |
| Describe the type of use proposed:               |  |
| Seating capacity (if applicable):                |  |
| Number of beds (if applicable):                  |  |
| Total number of staff proposed initially:        |  |
| Total number of staff proposed in five years:    |  |
| Maximum number of staff on the largest shift:    |  |
| Indicate the gross floor area by the type of use | e (for example: office, retail, or storage): |
|  |  |
| 15. Describe Recreational or Other Use(s) (if a  | applicable)                                  |
|  |  |
|  |  |
|  |  |
|  |  |



| D. | Previous Use of the Property   |
|----|--|
| 1. | Has there been an industrial or commercial use on the subject lands or adjacent lands? ☐ Yes ☐ No ☐ Unknown  If yes, specify the uses (for example: gas station or petroleum storage):   |
|    | truck termial, manufacturing   |
| 2. | Is there reason to believe the subject lands may have been contaminated by former uses on the site or adjacent sites? ☐ Yes ☒ No ☐ Unknown   |
| 3. | Provide the information you used to determine the answers to the above questions:  historical data   |
|    |  |
| 4. | If you answered yes to any of the above questions in Section D, a previous use inventory showing all known former uses of the subject lands, or if appropriate, the adjacent lands, is needed. Is the previous use inventory attached? $\square$ Yes $\square$ No  |
| E. | Provincial Policy  |
| 1. | Is the requested amendment consistent with the provincial policy statements issued under subsection 3(1) of the <i>Planning Act, R.S.O. 1990, c. P. 13</i> ? ☐ Yes ☐ No x  |
|    | If no, please explain:   |
|    |  |
|    |  |
| 2. | It is owner's responsibility to be aware of and comply with all relevant federal or provincial legislation, municipal by-laws or other agency approvals, including the Endangered Species Act, 2007. Have the subject lands been screened to ensure that development or site alteration will not have any impact on the habitat for endangered or threatened species further to the provincial policy statement subsection 2.1.7? 🗵 Yes $\square$ No |
|    | If no, please explain:   |
|    |  |



| 3. | Have the subject lands been screened to ensure that development or site alteration will not have any impact on source water protection? △ Yes □ No                                |  |  |  |
|----|---|--|--|--|
|    | If no, please explain:  |  |  |  |
|    |   |  |  |  |
|    | Note: If in an area of source water Wellhead Protection Area (WHPA) A, B or C please attach relevant information and approved mitigation measures from the Risk Manager Official. |  |  |  |
| 4. | Are any of the following uses or features on the subject lands or within 500 metres of the subject lands, unless otherwise specified? Please check boxes, if applicable.          |  |  |  |
|    | Livestock facility or stockyard (submit MDS Calculation with application)   |  |  |  |
|    | □ On the subject lands or □ within 500 meters – distance  |  |  |  |
|    | ☐ On the subject lands or ☐ within 500 meters – distance  |  |  |  |
|    | Industrial or commercial use (specify the use(s))   |  |  |  |
|    | ☐ On the subject lands or ☐ within 500 meters – distance  Active railway line   |  |  |  |
|    | ☐ On the subject lands or ☐ within 500 meters – distance  |  |  |  |
|    | Seasonal wetness of lands   |  |  |  |
|    | ☐ On the subject lands or ☐ within 500 meters – distance  |  |  |  |
|    | Erosion   |  |  |  |
|    | ☐ On the subject lands or ☐ within 500 meters – distance  Abandoned gas wells   |  |  |  |
|    | ☐ On the subject lands or ☐ within 500 meters – distance  |  |  |  |



# F. Servicing and Access 1. Indicate what services are available or proposed: Water Supply ☐ Municipal piped water ☐ Communal wells □<sup>X</sup> Individual wells ☐ Other (describe below) Sewage Treatment ☐ Municipal sewers ☐ Communal system ☐ Septic tank and tile bed in good working order ☐ Other (describe below) Storm Drainage ☒ Storm sewers Open ditches ☐ Other (describe below) 2. Existing or proposed access to subject lands: ☑ Municipal road ☐ Provincial highway ☐ Unopened road ☐ Other (describe below) Name of road/street: \_County Road 13 G. Other Information 1. Does the application involve a local business? $\square$ Yes $\square$ No If yes, how many people are employed on the subject lands?

- 14
- 2. Is there any other information that you think may be useful in the review of this application? If so, explain below or attach on a separate page.



### H. Supporting Material to be submitted by Applicant

In order for your application to be considered complete, **folded** hard copies (number of paper copies as directed by the planner) and an **electronic version (PDF) of the properly named site plan drawings, additional plans, studies and reports** will be required, including but not limited to the following details:

- 1. Concept/Layout Plan
- 2. All measurements in metric
- 3. Key map
- 4. Scale, legend and north arrow
- 5. Legal description and municipal address
- 6. Development name
- 7. Drawing title, number, original date and revision dates
- 8. Owner's name, address and telephone number
- 9. Engineer's name, address and telephone number
- 10. Professional engineer's stamp
- 11. Existing and proposed easements and right of ways
- 12. Zoning compliance table required versus proposed
- 13. Parking space totals required and proposed
- 14. All entrances to parking areas marked with directional arrows
- 15. Loading spaces, facilities and routes (for commercial developments)
- 16. All dimensions of the subject lands
- 17. Dimensions and setbacks of all buildings and structures
- 18. Location and setbacks of septic system and well from all existing and proposed lot lines, and all existing and proposed structures
- 19. Gross, ground and useable floor area
- 20. Lot coverage
- 21. Floor area ratio
- 22. Building entrances, building type, height, grades and extent of overhangs
- 23. Names, dimensions and location of adjacent streets including daylighting triangles
- 24. Driveways, curbs, drop curbs, pavement markings, widths, radii and traffic directional signs
- 25. All exterior stairways and ramps with dimensions and setbacks
- 26. Retaining walls including materials proposed
- 27. Fire access and routes
- 28. Location, dimensions and number of parking spaces (including visitor and accessible) and drive aisles
- 29. Location of mechanical room, and other building services (e.g. A/C, HRV)
- 30. Refuse disposal and storage areas including any related screening (if indoors, need notation on site plan)
- 31. Winter snow storage location



- 32. Landscape areas with dimensions
- 33. Natural features, watercourses and trees
- 34. Fire hydrants and utilities location
- 35. Fencing, screening and buffering size, type and location
- 36. All hard surface materials
- 37. Light standards and wall mounted lights (plus a note on the site plan that all outdoor lighting is to be dark sky compliant)
- 38. Business signs (make sure they are not in sight lines)
- 39. Sidewalks and walkways with dimensions
- 40. Pedestrian access routes into site and around site
- 41. Bicycle parking
- 42. Architectural elevations of all building sides
- 43. All other requirements as per the pre-consultation meeting

| may also be required as part of the complete application submission:                         |
|--|
| Zoning Deficiency Form   |
| On-Site Sewage Disposal System Evaluation Form (to verify location and condition)            |
| Architectural Plan   |
| Buildings Elevation Plan   |
| Cut and Fill Plan  |
| Erosion and Sediment Control Plan  |
| Grading and Drainage Control Plan (around perimeter and within site) (existing and proposed) |
| Landscape Plan   |
| Photometric (Lighting) Plan  |
| Plan and Profile Drawings  |
| Site Servicing Plan  |
| Storm water Management Plan  |
| Street Sign and Traffic Plan   |
| Street Tree Planting Plan  |
| Tree Preservation Plan   |
| Archaeological Assessment  |
| Environmental Impact Study   |



|     | Functional Servicing Report  |
|-----|--|
|     | Geotechnical Study / Hydrogeological Review  |
|     | Minimum Distance Separation Schedule   |
|     | Noise or Vibration Study   |
|     | Record of Site Condition   |
|     | Storm water Management Report  |
|     | Traffic Impact Study – please contact the Planner to verify the scope required   |
| Sit | e Plan applications will require the following supporting materials:   |
|     | 1. Two (2) complete sets of the site plan drawings folded to 8½ x 11 and an electronic version in PDF format                                 |
|     | 2. Letter requesting that the Holding be removed (if applicable)   |
|     | 3. A cost estimate prepared by the applicant's engineer  |
|     | <ol> <li>An estimate for Parkland dedication by a certified land appraiser</li> <li>Property Identification Number (PIN) printout</li> </ol> |
|     |  |
| Sta | andard condominium exemptions will require the following supporting materials:   |
|     | Plan of standard condominium (2 paper copies and 1 electronic copy)  |
|     | Draft condominium declaration  |
|     | Property Identification Number (PIN) printout  |

Your development approval might also be dependent on other relevant federal or provincial legislation, municipal by-laws or other agency approvals.

All final plans must include the owner's signature as well as the engineer's signature and seal.

#### I. Development Agreements

A development agreement may be required prior to site plan approval, subdivision and condominium applications. Should this be necessary for your development, you will be contacted by the agreement administrator with further details of the requirements including but not limited to insurance coverage, professional liability for your engineer, additional fees and securities.



#### J. Transfers, Easements and Postponement of Interest

The owner acknowledges and agrees that if required, it is their solicitor's responsibility on behalf of the owner, to disclose the registration of all transfer(s) of land and/or easement in favour of the County and/or utilities. Also, the owner further acknowledges and agrees that it is their solicitor's responsibility on behalf of the owner for the registration of postponements of any charges in favour of the County.

#### K. Permission to Enter Subject Lands

Permission is hereby granted to Norfolk County officers, employees or agents, to enter the premises subject to this application for the purposes of making inspections associated with this application, during normal and reasonable working hours.

#### L. Freedom of Information

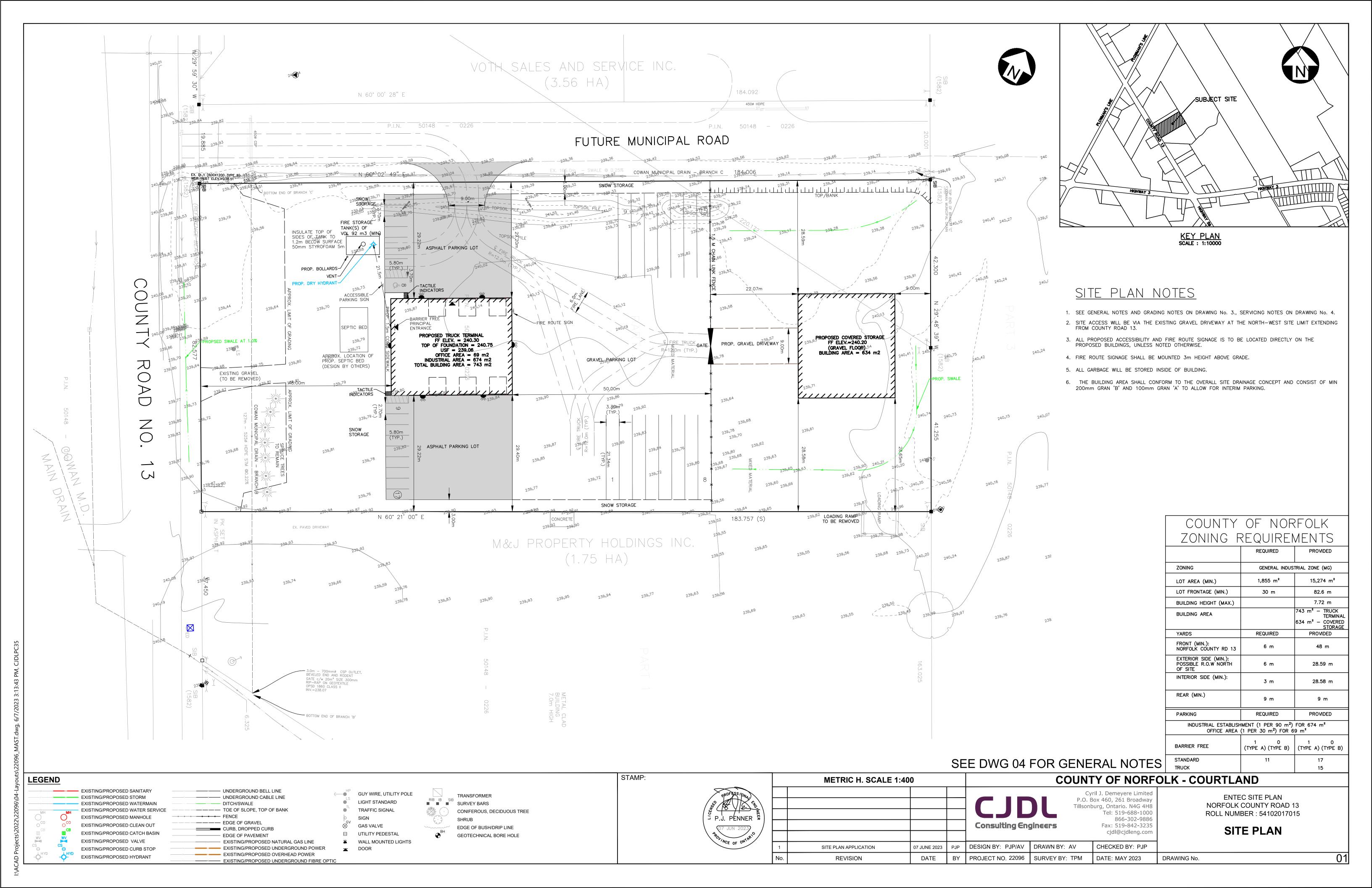
For the purposes of the *Municipal Freedom of Information and Protection of Privacy Act*, I authorize and consent to the use by or the disclosure to any person or public body any information that is collected under the authority of the *Planning Act, R.S.O. 1990, c. P. 13* for the purposes of processing this application.

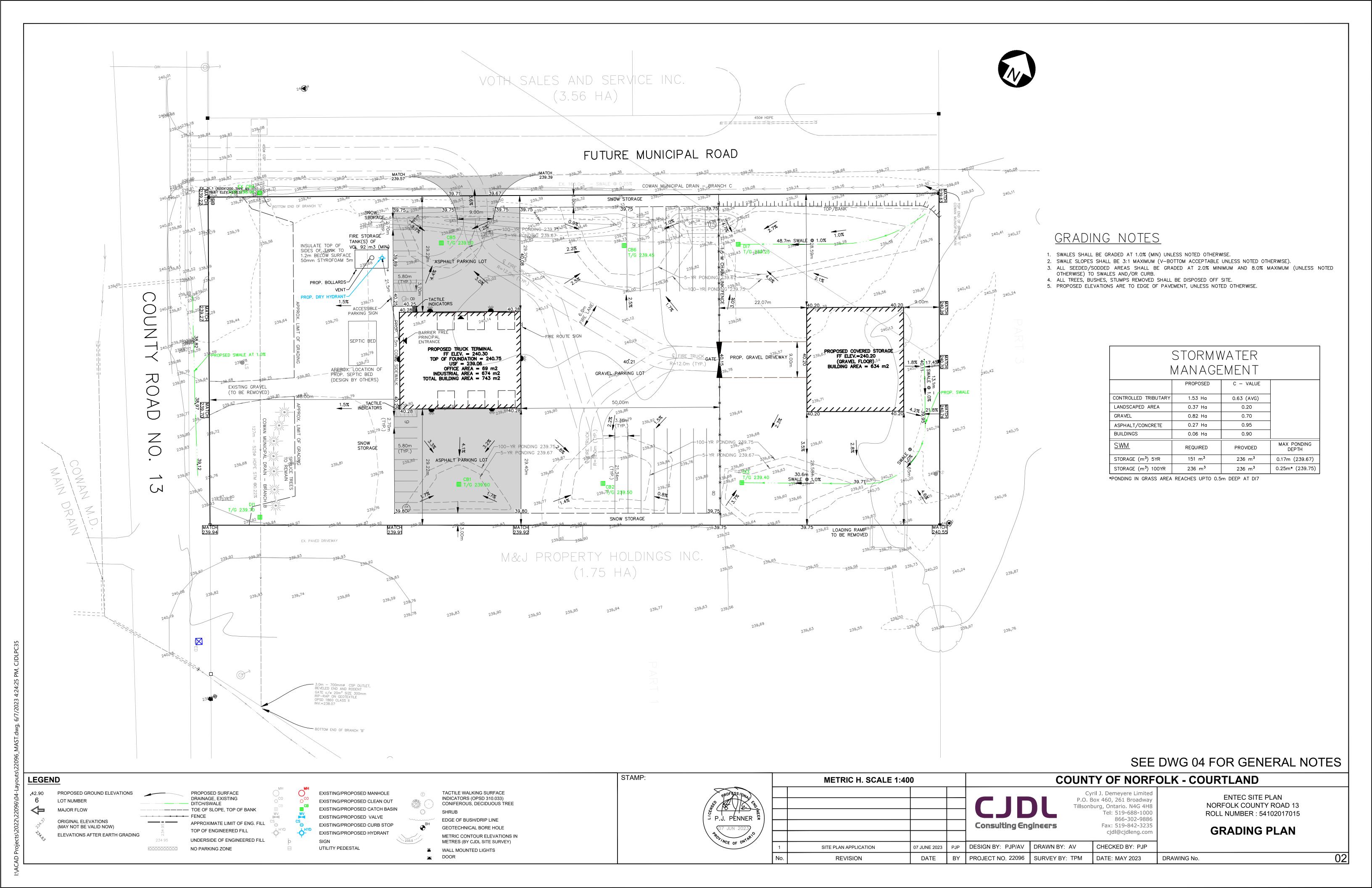
| Greg Eyre  |   |
|--|---|
| Owner/Applicant Signature  | Date  |
| M. Owner's Authorization   |   |
| f the applicant/agent is not the registered of application, the owner(s) must complete the                                       | owner of the lands that is the subject of this e authorization set out below. |
| /Weands that is the subject of this application.   | am/are the registered owner(s) of the   |
| We authorizemy/our behalf and to provide any of my/our processing of this application. Moreover, the authorization for so doing. | personal information necessary for the  |
| Our or   |   |
| Owner  | Date  |
| Owner  | Date  |

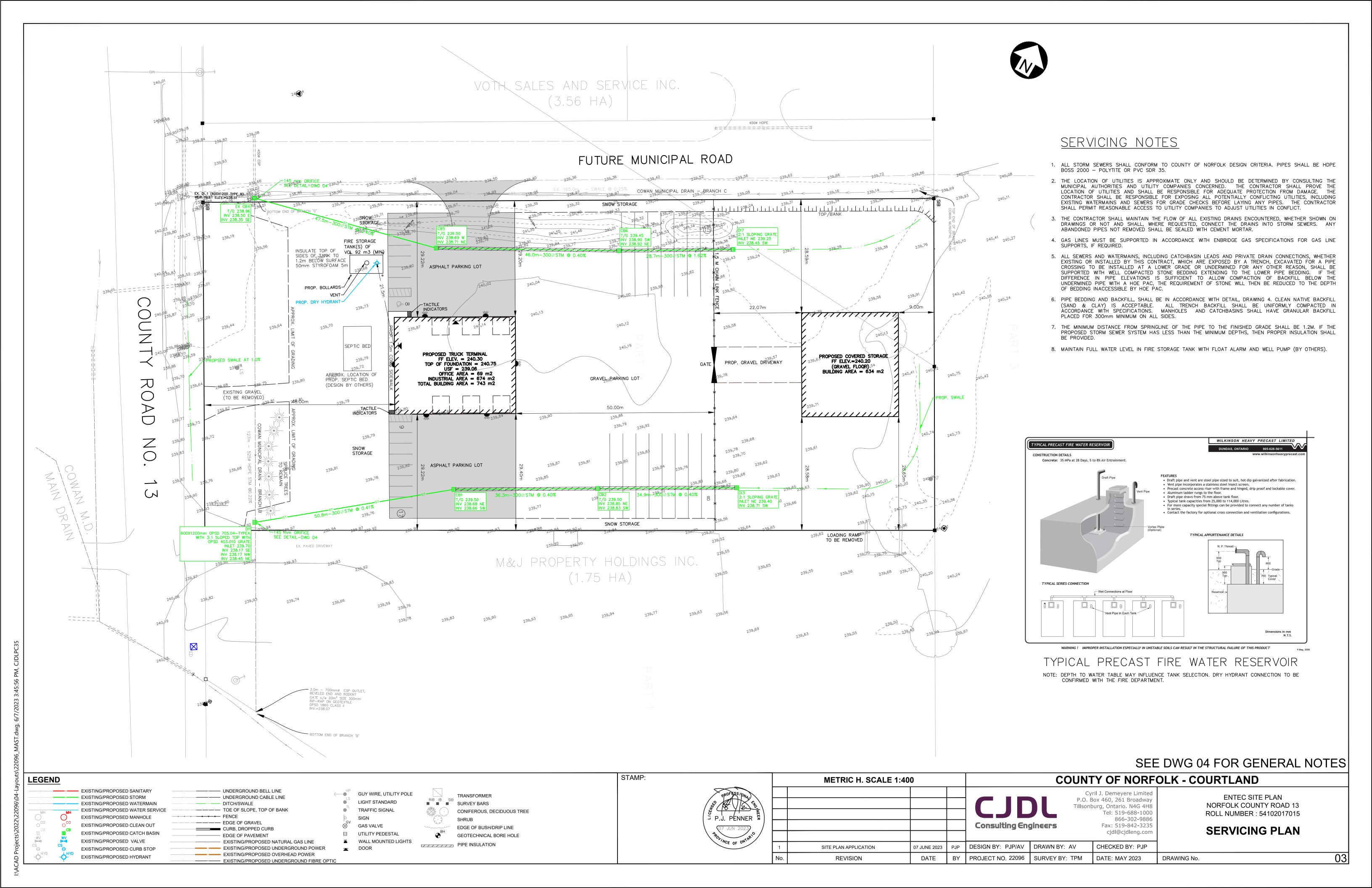


| N. Declaration<br><sub>I,</sub> Greg Eyre | of Reid & Deleye  |
|---|---|
| solemnly declare that:                    |   |
|   | te this solemn declaration conscientiously it is of the same force and effect as if made                                      |
| Declared before me at: Courtland          |   |
| In Norfolk County  This day of            | Owner/Applicant Signature   |
| A.D., 20 <u>23</u> Pame a Commi           | ela Christine Southwick,<br>issioner, etc., Province of Ontario,<br>eid & Deleye Contractors Ltd.<br>Expires August 25. 2023. |
| A Commissioner, etc.                      |   |









# GENERAL NOTES

- 1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING A STAGING/LAY DOWN LOCATION SUBJECT TO THE APPROVAL OF THE ENGINEER. SITE ACCESS WILL BE VIA THE EXISTING GRAVEL DRIVEWAY AT THE NORTH-WEST SITE LIMIT EXTENDING FROM KESWICK ROAD. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING THE SITE ACCESS AND ANY/ALL RESTORATION TO PRE-CONSTRUCTION CONDITION TO THE APPROVAL OF THE TOWNSHIP OF SOUTHWEST OXFORD.
- 2. THE CONTRACTOR SHALL VERIFY ALL MEASUREMENTS AND REPORT ANY DISCREPANCIES TO ENGINEERING FOR RESOLUTION BEFORE STARTING CONSTRUCTION.
- 3. BUILDER TO VERIFY GROUNDWATER TABLE, SOIL BEARING CAPACITY, EXTRA FOOTING REQUIREMENTS AND ANY ADJUSTMENTS REQUIRED TO T/FDN ELEVATION, ETC. PRIOR TO CONSTRUCTION.
- 4. ASPHALT PAVING SHALL BE SUPPLIED AND PLACED IN ACCORDANCE WITH OPSS 310 AND 1150. GRANULAR 'B' SHALL BE COMPACTED TO 98% MSPDD, AND GRANULAR 'A' SHALL BE COMPACTED TO 100% MSPDD.
- 5. PROFILE DESIGN FOR NEW PARKING LOT: 300mm GRAN 'B' ACCESSIBLE PARKING: 200mm GRAN 'B' 150mm GRAN 'A' 150mm GRAN 'A'
- 50mm RAP 90mm HL3-2LIFTS ALL OTHER SOFTSCAPE AREAS SHALL RECIEVE 150mm TOPSOIL AND SEED AND BE MAINTAINED UNTIL GROWTH IS ESTABLISHED
- 6. RIP-RAP SHALL BE 200-300mm ANGULAR AND BE INSTALLED PER OPSD 810.010 TYPE B. GEOTEXTILE SHALL BE TERRAFIX 270R OR APPROVED EQUAL.
- 7. TOPSOIL SHALL BE STRIPPED FOR ALL AREAS TO BE DISTURBED. TOPSOIL MAY BE USED AS FILL OUTSIDE OF PROPOSED PARKING AND BUILDING AREAS. COMPACT ALL FILL TO 95% PROCTOR IN 300 mm MAXIMUM LAYERS. AREA UNDER BUILDINGS AND PARKING AREA SHALL BE RAISED TO GRADE AS REQUIRED WITH GRANULAR (SAND ACCEPTABLE) IN 150mm LAYERS COMPACTED TO 98% PROCTOR, CERTIFIED BY GEOTECHNICAL ENGINEER.
- 8. THE CONTRACTOR SHALL AVOID DAMAGE TO EXISTING FENCES, TREES AND PAVEMENT AND SHALL BE RESPONSIBLE FOR THE COST OF ANY REPAIRS. TRACKING OF CLEATED EQUIPMENT WILL NOT BE PERMITTED ON PAVED SURFACES.
- 9. THE CONTRACTOR MUST USE LASER EQUIPMENT FOR GRADING OPERATIONS. INSTALL 1.8m T-RAIL STEEL FENCE POSTS AT ALL R.O.W. PROPERTY BARS (OR AT WOOD STAKES IF PROPERTY BARS NOT INSTALLED) BEFORE COMMENCING CONSTRUCTION IF REQUESTED. T-RAILS SHALL BE LOCATED 150mm ON STREET SIDE WITH 'T' POINTING TO BAR. THE CONTRACTOR MUST NOT DISTURB THIS
- 10. ANY SUMP PUMPS REQUIRED FOR PROPOSED BUILDING SHALL OUTLET TO SURFACE.

ALLOW FOR A MIN. 3 ROWS MODULOC

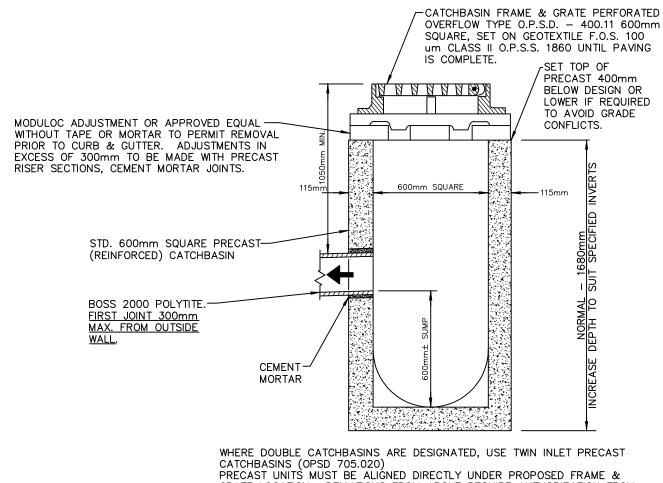
OR APPROVED EQUAL. CEMENT MORTAR JOINTS TO ADJUST TO DESIGN PROFILE

- 11. A 375mmø BOSS 2000 DRIVEWAY CULVERT (MIN 12.5m LONG) IS REQUIRED AND SHALL BE SET 0.1m BELOW ROADSIDE DITCH INVERT. ROAD OCCUPANCY PERMIT IS REQUIRED FROM SWOX PRIOR TO CONSTRUCTION.
- 12. THE CONTRACTOR SHALL AVOID DAMAGE TO EXISTING SITE FEATURES AND SHALL BE RESPONSIBLE FOR THE COST OF ANY REPAIRS.
- 13. GEOTEXTILE SHALL BE TERRAFIX 270R OR APPROVED EQUAL
- 14. GEOTEXTILE SHALL BE PLACED UNDER ALL CB UNTIL PAVING IS COMPLETE. GEOTEXTILE SHALL BE CHANGED AND MAINTAINED WEEKLY AND AFTER EVERY RAIN EVENT AT A MINIMUM.
- 15. ALL RAINWATER LEADERS TO BE HDPE SMOOTH INNER WALL PIPE AT 1.0% MINIMUM GRADE AND 0.9m MINIMUM COVER.
- 16. SEDIMENT LOADING TO STORM SEWERS MUST BE MINIMIZED AT ALL TIMES INCLUDING PRIOR TO CONSTRUCTION, BY PLACING SILT FENCES (WITH STRAW BALES, IF REQUIRED) AROUND WORK SITE AS SHOWN IN PLAN. SEDIMENT CONTROLS MUST BE CHECKED, CLEANED AND MAINTAINED BY CONTRACTOR AS DIRECTED UNTIL PROJECT IS ACCEPTED. THE CONTRACTOR SHALL RETURN TO REMOVE THE SILT FENCES AND/OR STRAW BALES UPON ESTABLISHMENT OF GROWTH AT NO EXTRA COST. ANY ACCUMULATED SILT SHALL BE REMOVED AT REGULAR INTERVALS AT NO ADDITIONAL COST TO THIS PROJECT.
- 17. THE CONTRACTOR SHALL INSTALL ANY SILT CONTROL MEASURES REQUIRED TO STOP SILT MIGRATION FROM ENTERING STORM SEWERS OR DRAINS TO THE SATISFACTION OF THE MINISTRY OF NATURAL RESOURCES, LONG POINT REGION CONSERVATION AUTHORITY, MINISTRY OF ENVIRONMENT OR ANY OTHER REGULATORY AGENCY OR MINISTRY, AND IN PARTICULAR, THE GUIDELINES ON EROSION AND SEDIMENT CONTROL FOR URBAN CONSTRUCTION SITES (MNRF). THE CONTRACTOR SHALL ASSUME THE DEFENSE OF AND INDEMNIFY AND SAVE HARMLESS BEACON BIBLE CHAPEL, AND CYRIL J. DEMEYERE LTD. FROM ALL FINES, CHARGES AND CLAIMS RELATING TO THE PROJECT FROM ANY REGULATORY AGENCY OR MINISTRY.
- 18. THE OWNER'S CONSULTING ENGINEER SHALL CERTIFY IN WRITING THAT ALL SITE WORK, GRADING AND SERVICING HAS BEEN CONSTRUCTED IN ACCORDANCE WITH THE APPROVED DRAWINGS.

GEOTEXTILE F.O.S.

100um CLASS II

OPSS - 1860



GRATE LOCATION. DEVIATIONS FROM ABOVE REQUIRE AUTHORIZATION FROM ENGINEER PRIOR TO INSTALLATION OF PRECAST CATCHBASIN. OPSD 705.010 STANDARD CATCHBASIN N.T.S.

INSULATION TO EXTEND-UNTIL MAIN HAS 1.5m FINISHED GRADE --FINISHED GRADE OF NATURAL COVER STYROFOAM HI-BRAND-W(MIN) = 1.22mMIN. 450mm INSULATION OR APPROVED EQUAL MIN. 150mm MIN. 150mn WATERMAIN -INSULATION — WATERMAIN — MIN. 150mm SEWER — MIN. 150mr CLEARANCE JOINT DEFLECTION 4 JOINT DEFLECTION ELEVATION OF JOINT DEFLECTION OFFSET SECTION "A-A" NOTES:

1. MINIMUM COMPRESSIVE STRENGTH OF INSULATION TO BE 689 KPA. INSULATION SHALL BE INSTALLED IN THICKNESS

REQUIRED. IN STRICT ACCORDANCE WITH THE INSULATION MANUFACTURER'S DIRECTIONS. INSULATION SHALL BE INSTALLED OVER 150MM OF FINE GRANULAR FILL SCREEDED SMOOTH.

- 2. BUTT INSULATION TIGHTLY TOGETHER WITHOUT GAPS. STAGGER JOINTS IF MORE THAN ONE LAYER IS USED. TO HOLD IN PLACE, SKEWER INSULATION BOARD TO GROUND WITH 200MM HARDWOOD SKEWERS; MIN. 6MM DIA. AND 200MM LONG WITH 2 SKEWERS PER BOARD.
- 3. IF 2 LAYERS OF INSULATION ARE USED, SKEWER ONLY THE TOP LAYER THROUGH THE FIRST LAYER USING A SKEWER 150MM LONGER THAN THE COMBINED THICKNESS OF THE 2 LAYERS OF INSULATION. INSERT SKEWERS AT APPROXIMATELY 30° ANGLE.
- 4. PLACE AT LEAST 200MM OF FINE GRANULAR FILL OVER INSULATION BEFORE USING COMPACTION EQUIPMENT.

INSULATION OF SHALLOW MAINS AND OFFSETS

CONCRETE LIMITED)

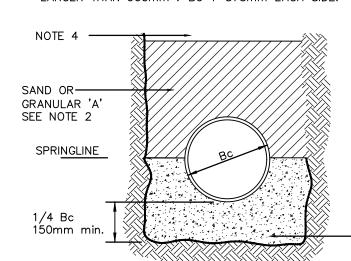
√4 − 12mmø x 100mm SS

300¢ POND OUTLET

FIRE ROUTE SIGN

**ACCESSIBLE** PARKING SIGN DETAIL BY PERMIT ONLY VANACCESSIBL Rb-93 LTYPE A ONLY

UP TO 900mm: Bc + 300mm EACH SIDE. LARGER THAN 900mm: Bc + 375mm EACH SIDE.



- 1. ALL BEDDING & BACKFILL MATERIALS SHALL BE COMPACTED TO 96% SPMDD. THE BEDDING SHALL BE COMPACTED BEFORE LAYING PIPE AND IN 150mm MAX. LIFTS TO 300mm ABOVE TOP OF PIPE PRIOR TO PLACING ADDITIONAL BACKFILL.
- 2. WHERE NATIVE SOIL IS CLAY, GRANULAR 'A' SHALL BE EXTENDED TO 300mm ABOVE THE PIPE (DRY TRENCH).
- 3. IN WET TRENCH CONDITIONS 19mm CRUSHED STONE SHALL BE USED IN LIEU OF GRANULAR 'A' WITH A COMPLETE GEOTEXTILE ENVELOPE (TERRAFIX 270R OR APPROVED EQUAL) DEPTH OF 19mm CRUSHED STONE BEDDING SHALL BE INCREASED IN POOR SOIL CONDITIONS AS REQUIRED TO PROVIDE A STABLE BEDDING.

STAMP:

4. CLEAN NATIVE FILL

CLASS 'B' BEDDING

EXPANDING CONCRETE LAG  $(5.12 - 40 \text{mm} \times 100 \text{mm})$ x 13mm THICK SS PLATES [¬¬ **½**−65mm x 100mm x 6mm THICK SS PLATES

RETAINER SECTION

SCALE N.T.S

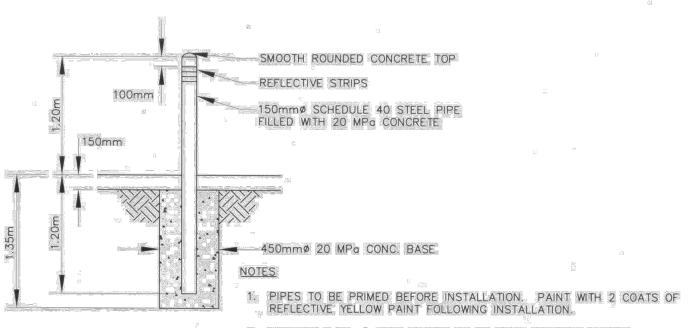
[6] 4-12mmø x 100mm SS

EXPANDING CONRETE LAG c/w SS WASHER END VIEW 145mmø ORIFICE PLATE

(AS SUPPLIED BY COLD STREAM

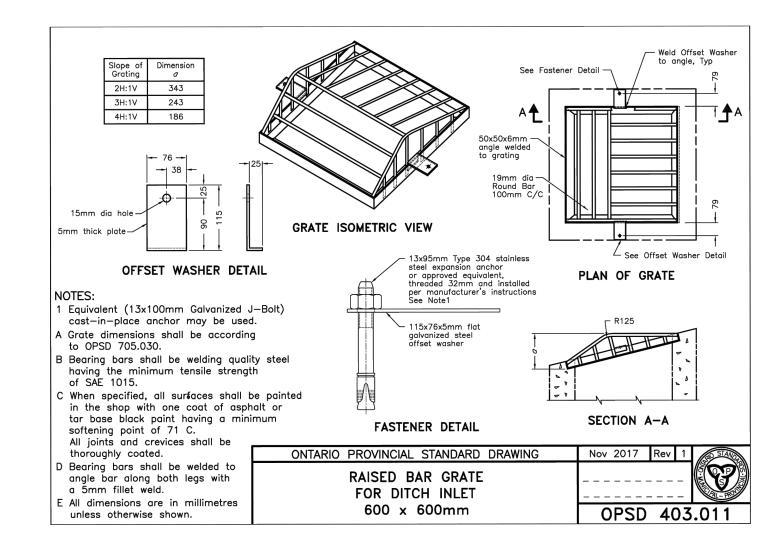
NOTE: \*\*\*AS MANUFACTURED BY ANDEX METAL PRODUCTS LTD. OR/APPROVED EQUAL -520 x 400 x 9mm STAINLESS STEEL PLATE CURVED TO MATCH OUTLET STRUCTURE (S)

`145ø ORIFICE



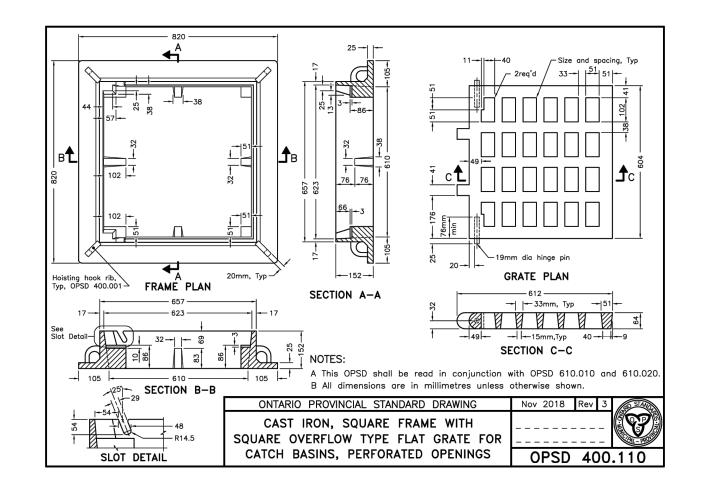
- 2. PROVIDE 2 50mm WIDE BANDS OF 3M SELF ADHESIVE HIGHLY
- 3. MAINTAIN A MINIMUM SPACING OF 1.0m FROM CENTER OF BOLLARD TO CENTER OF HYDRANT UNLESS OTHERWISE SPECIFIED.

BOLLARD DETAIL



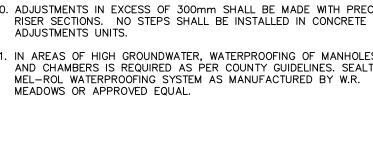
# MANHOLE NOTES

- 1. PRECAST SECTIONS SHALL COMPLY WITH CURRENT OPSD 700 SERIES FOR PRECAST CONCRETE MANHOLES. PREBENCHED MANHOLES ARE
- ON OVERSIZED MANHOLES, THE TRANSITION TO 1200mm SHALL NOT BE LESS THAN 1.5m ABOVE MAINLINE OVERT.
- FIRST PIPE JOINT TO BE WITHIN 300 mm OF OUTSIDE MANHOLE WALL. OTHERWISE CONCRETE CRADLE SUPPORT TO FIRST JOINT. (CLASS 'B' BEDDING ACCEPTABLE ON PIPES 450mmø & LARGER).
- 4. PVC AND POLYETHYLENE PIPE SHALL BE CONNECTED TO MANHOLES WITH FACTORY SAND COATED PVC STUB OR KOR-N-SEAL COUPLING.
- BENCHING ON END MANHOLES TO EXTEND TO FAR INSIDE WALL. BENCHING ON LATERAL INLETS SHALL BE 500mm C RADIUS. BENCHING TO CONFORM TO OPSD 701.021, MANHOLES SHALL BE PREBENCHED FOR ALL PDCs / LATERALS.
- TOP LADDER RUNG SHALL NOT EXCEED 600 mm FROM FINISHED GRADE. MANHOLES OVER 5.0m DEEP SHALL INCLUDE SAFETY GRATE PER OPSD 404.020
- MANHOLE FRAMES AND GRATES SHALL BE; O.P.S.D. 401.010 -CLOSED COVER MANHOLE COVERS SHALL BE SET ON GEOTEXTILE F.O.S. 250 um CLASS II O.P.S.S. 1860 UNTIL STREET IS PAVED.
- CEMENT MORTAR USED FOR SETTING OF PIPES, BENCHING, ADJUSTMENT & SETTING OF FRAMES FOR CATCHBASINS & MANHOLES, SHALL CONSIST OF ONE PART NORMAL PORTLAND CEMENT TO TWO PARTS MASONRY SAND WITH ONLY SUFFICIENT WATER TO MAKE THE MIXTURE PLASTIC. ADJUSTMENT RINGS TO BE PARGED ON OUTSIDE; INSIDE JOINTS TO BE POINTED ONLY, NOT PARGED.
- GRANULAR BACKFILL SHALL BE PLACED TO A MIN. WIDTH OF 300mm ALL AROUND MANHOLES, IN 300 mm MAX. LIFTS COMPACTED TO 95%
- 10. ADJUSTMENTS IN EXCESS OF 300mm SHALL BE MADE WITH PRECAST RISER SECTIONS. NO STEPS SHALL BE INSTALLED IN CONCRETE
- 11. IN AREAS OF HIGH GROUNDWATER, WATERPROOFING OF MANHOLES AND CHAMBERS IS REQUIRED AS PER COUNTY GUIDELINES. SEALTIGHT MEL-ROL WATERPROOFING SYSTEM AS MANUFACTURED BY W.R. MEADOWS OR APPROVED EQUAL.

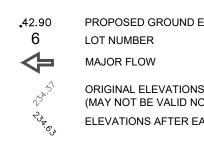




PRECAST SLAB BASE OR



# **LEGEND**



PROPOSED GROUND ELEVATIONS (MAY NOT BE VALID NOW) **ELEVATIONS AFTER EARTH GRADING** 

\* \* \* \* **\* \*** FENCE NO PARKING ZONE

EXISTING/PROPOSED MANHOLE EXISTING/PROPOSED CLEAN OUT EXISTING/PROPOSED CATCH BASIN EXISTING/PROPOSED VALVE EXISTING/PROPOSED CURB STOP EXISTING/PROPOSED HYDRANT UTILITY PEDESTAL

TACTILE WALKING SURFACE INDICATORS (OPSD 310.033) CONIFEROUS, DECIDUOUS TREE EDGE OF BUSH/DRIP LINE GEOTECHNICAL BORE HOLE METRIC CONTOUR ELEVATIONS IN METRES (BY CJDL SITE SURVEY)

P.J. PENNER

**COUNTY OF NORFOLK - COURTLAND** Consulting Engineers

SITE PLAN APPLICATION

**REVISION** 

Cyril J. Demeyere Limited P.O. Box 460, 261 Broadway Tillsonburg, Ontario. N4G 4H8 Tel: 519-688-1000 866-302-9886 Fax: 519-842-3235 cjdl@cjdleng.com

ENTEC SITE PLAN **NORFOLK COUNTY ROAD 13** ROLL NUMBER: 54102017015

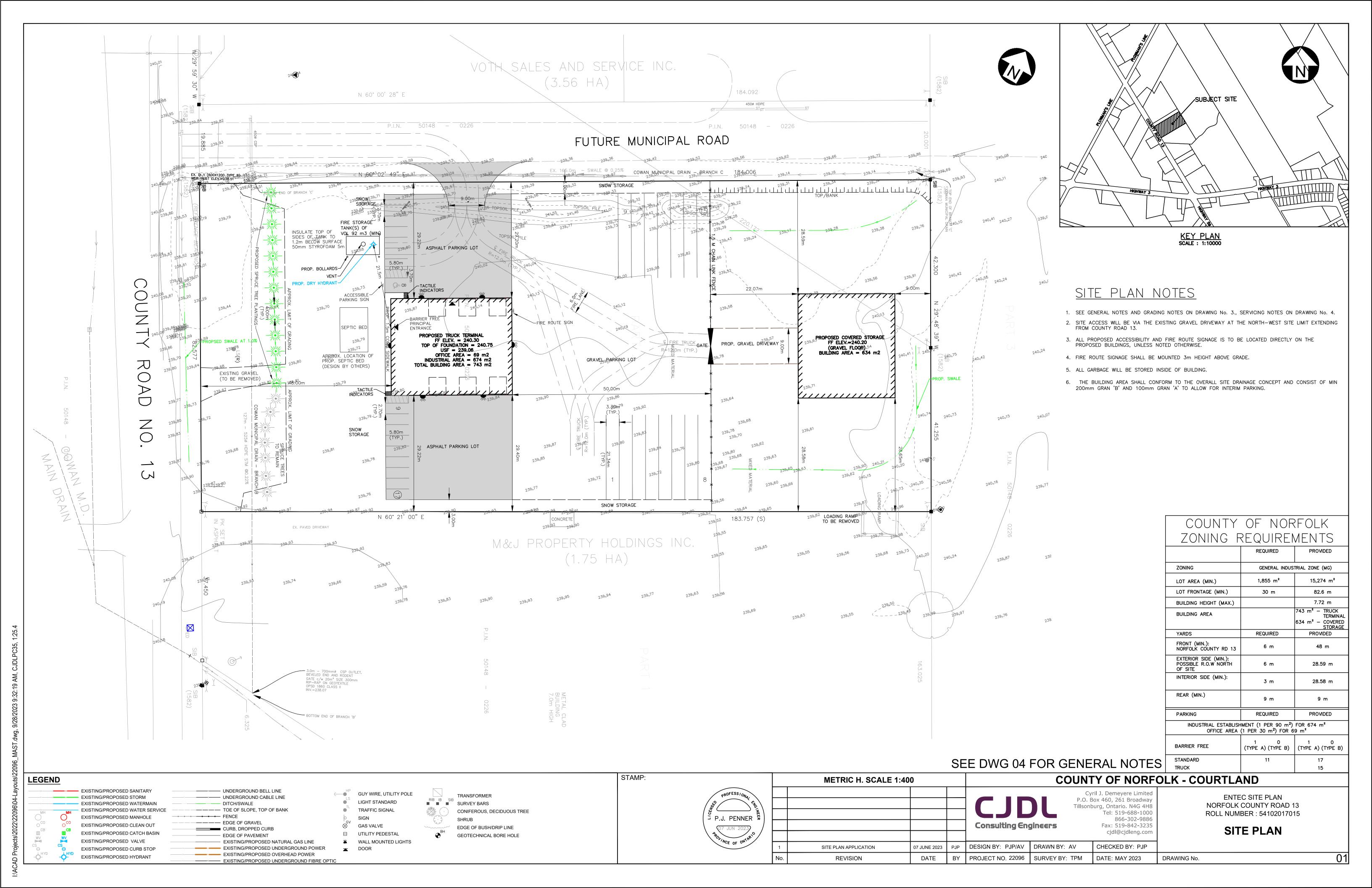
**GENERAL NOTES AND DETAILS** 

PROPOSED SURFACE DRAINAGE, EXISTING DITCH/SWALE —————— TOE OF SLOPE, TOP OF BANK APPROXIMATE LIMIT OF ENG. FILL TOP OF ENGINEERED FILL UNDERSIDE OF ENGINEERED FILL

DESIGN BY: PJP/AV DRAWN BY: AV 07 JUNE 2023 PROJECT NO. 22096

SURVEY BY: TPM

CHECKED BY: PJP DRAWING No. DATE: MAY 2023





**Date:** July 27, 2022

Description of Proposal: Site Plan Application for a new truck terminal and covered

storage facility.

Property Location: Salcin Haulage Box 546 NC Road 13, Courtland

Roll Number: 54102017015

As a result of the information shared at the pre-consultation meeting dated <u>July 27</u>, <u>2022</u> July 27, 2022, the following applications and qualified professional documents / reports are required as part of the development review process.

Please note that various fees are associated with each application and there are also costs for qualified professionals retained to complete various documents / reports. All requirements identified are minimum and determined as of the date of the preconsultation meeting with the information available at that time. As the proposal proceeds and more information is made available, additional applications, studies, reports, etc. may be required.

This summary including checklists, comments and requests are applicable for a period of one (1) year from the date of meeting. If an application is not received within that time frame, a subsequent pre-consultation meeting may be required due to changes in policies and technical requirements.

#### **Attendance List**

| Proponent                    | Greg Eyre   |
|------------------------------|---|
| Community Davids manage      | Tricia Civana Dinastas Blanning (Chais)             |
| Community Development –      | Tricia Givens, Director, Planning (Chair)           |
| Planning and Agreement       | Mohammad Alam, Senior Planner Fabian Serra, Planner |
|                              | Nicole Goodbrand, Senior Planner                    |
|                              | Tricole Goodbiand, Gernor Flammer                   |
|                              | Annette Helmig, Agreement and Development           |
|                              | Coordinator   |
| Community Development –      | Scott Northcott, Senior Building Inspector          |
| Building and Zoning          | Devon Staley, Building Inspector                    |
|                              |   |
|                              | Roxanne Lambrecht, Zoning Administrator             |
|                              | Hayley Stobbe, Zoning Administrator                 |
| Environment & Infrastructure | Tim Dickhout, Project Manager, Development          |
| Services –                   | Stephen Gradish, Development Technologist           |
| Development Engineering      |   |

| Community Services – Fire     | Cory Armstrong-Smith, Fire Prevention Officer     |
|-------------------------------|---|
| Community Development –       | Chris Garwood, Economic Development Supervisor    |
| Economic Development          |   |
| Paramedic Services            | Stuart Burnett, Deputy Chief                      |
| Operations –                  | Adam Biddle, Supervisor of Forestry               |
| Forestry                      | ·   |
| Operations -                  | Todd Shoemaker, Director, Parks                   |
| Parks and Facilities          |   |
| Corporate Support Services –  | Lydia Harrison, Specialist, Realty Services       |
| Realty Services               | Kelly Darbishire, Specialist, Realty Services     |
| Corporate Support Services –  | Sam McFarlane, Manager, Accessibility and Special |
| Accessibility                 | Projects  |
| Haldimand Norfolk Health Unit | Emily Kichler, Community Health Dietician         |
| Long Point Regional           | Leigh-Anne Mauthe, Supervisor of Planning         |
| Conservation Authority        | Services  |
|                               | Isabel Johnson, Resource Planner                  |
| Community Development –       | Melissa Collver, Director Heritage and Culture    |
| Heritage and Culture          |   |
| Community Development –       | Nikki Slote, Director Recreation                  |
| Recreation                    |   |

# **Table of Contents**

| Pre-Submission Consultation Meeting Minutes   |   |
|---|---|
| Attendance List   | 1                                       |
| Table of Contents   | 3                                       |
| Proposal Summary  | 4                                       |
| List of Application Requirements  | 4                                       |
| Planning Department   | 4                                       |
| Planning Comments   | 5                                       |
| Committee of Adjustment   | . Error! Bookmark not defined.          |
| Agreements  | 7                                       |
| Development Engineering   | 8                                       |
| Conservation Authority  | . Error! Bookmark not defined.          |
| Long Point Regional Conservation Authority  | . Error! Bookmark not defined.          |
| Grand River Conservation Authority  | . Error! Bookmark not defined.          |
| County Departmental Comments & Requirements   | 10                                      |
| Forestry  |   |
| Parks, Facilities   | . Error! Bookmark not defined.          |
| Click here to enter text  | 10                                      |
| Corporate Support Services – Realty Services  | 10                                      |
| Corporate Support Services - Accessibility for Ontaria <b>Bookmark not defined.</b> | ans with Disabilities Act <b>Error!</b> |
| Building  | 10                                      |
| Fire Department   | . Error! Bookmark not defined.          |
| Paramedic Services  | . Error! Bookmark not defined.          |
| Haldimand-Norfolk Health and Social Services  | . Error! Bookmark not defined.          |
| Economic Development & Strategic Initiatives  | . Error! Bookmark not defined.          |
| Additional Agency Comments & Requirements   | 12                                      |
| Ministry of Transportation  | 12                                      |
| Hydro One   | . Error! Bookmark not defined.          |
| Appendix A: Summary of Applicable Planning Legislation                              | on, Policy and Zoning12                 |
| Provincial Policy Statement, 2020   | 13                                      |
| Norfolk County Official Plan https://www.norfolkcounty.ca/government/planning/of    | ficial-plan/13                          |

## **Proposal Summary**

The applicant is proposing a Site Plan Application to enable the development of a new 731m2 truck terminal and 639m2 covered storage facility. This new truck terminal will be located 48m from the western property line, and the storage facility will be 9m west of the rear property line. Previously, this site has stayed undeveloped, and been used for outdoor storage. The current zoning is MG with a special provision 14.359. The applicant proposes a new well and septic system, and approximately ten parking spots.

### **List of Application Requirements**

# **Planning Department**

| Planning application(s) required to proceed  |                                     | Required                       |
|--|-------------------------------------|--------------------------------|
| Official Plan Amendment Application Choose an item.  |                                     |                                |
| Zoning By-law Amendment Application Choose an  | item.                               |                                |
| Site Plan Application Choose an item.  |                                     | X                              |
| Draft Plan of Subdivision Application  |                                     |                                |
| Draft Plan of Condominium Application  |                                     |                                |
| Part Lot Control Application   |                                     |                                |
| Consent / Severance Application  |                                     |                                |
| Minor Variance Application   |                                     |                                |
| Removal of Holding Application   |                                     |                                |
| Temporary Use By-Law Application   |                                     |                                |
| Other - Click here to enter text.  |                                     |                                |
| Planning requirements for a complete application The items below are to be submitted as part of the identified Planning Application(s).  ** electronic/PDF copies of all plans, studies and reports are required** | Required at<br>OPA/ Zoning<br>Stage | Required at<br>Site Plan Stage |
| Proposed Site Plan / Drawing   |                                     | X                              |
| Planning Impact Analysis Report / Justification Report   |                                     | Х                              |
| Environmental Impact Study Choose an item.   |                                     |                                |
| Neighbourhood Plan (TOR must be approved by the County)  |                                     |                                |
| Agricultural Impact Assessment Report  |                                     |                                |

| Archaeological Assessment                    |  |          |
|--|--|----------|
| Heritage Impact Assessment                   |  |          |
| Market Impact Analysis                       |  |          |
| Dust, Noise and/or Vibration Study           |  | X        |
| MOE D-Series Guidelines Analysis             |  | X        |
| Landscaping Plan                             |  | X        |
| Elevation Plan                               |  | X        |
| Photometrics (Lighting) Plan                 |  | X        |
| Shadow Analysis Report                       |  |          |
| Record of Site Condition                     |  |          |
| Contaminated Site Study                      |  |          |
| Minimum Distance Separation Schedule         |  |          |
| Parking Assessment                           |  |          |
| Hydrogeological Study                        |  |          |
| Restricted Land Use Screening Form           |  |          |
| Topographical Survey Drawing                 |  | X        |
| Additional Planning requirements             |  | Required |
| Development Agreement                        |  | X        |
| Parkland Dedication/Cash-in-lieu of Parkland |  | X        |

<sup>\*</sup>the list of requirements is based on the information submitted and as presented for this specific pre-consultation meeting. Any changes to a proposal may necessitate changes to Planning Department submission requirements.

#### **Planning Comments**

Official Plan Designation – Protected Industrial Zoning By-law – General Industrial Zone (MG), special provision 14.359 which permits a truck terminal

Parkland dedication or cash-in-lieu will be confirmed through the site plan process in accordance with By-Law 2016-126, amended by 2019-34 and 2019-106.

A letter describing the function of the site is required to accompany your site plan application. It would be helpful it the letter could detail what each building is used for, how each addition is intended to be used and the overall function of the site.

<sup>\*</sup>Community Development fees, applications, and helpful resources can be found can be found by visiting https://www.norfolkcounty.ca/government/planning/

Standard site plan components are required to be included with the application, which include:

- Key map
- Site Plan
  - o Development name
  - o All measurements in metric
    - All dimensions of the subject lands
    - Dimensions and setbacks of all buildings and structures
    - Gross, ground and useable floor area
  - o Scale, legend and north arrow
  - o Legal description and municipal address
  - o Drawing title, number, original date and revision dates
  - o Owner's name, address and telephone number and signature
  - o Engineer's name, address and telephone number
  - o Professional engineer's stamp
  - o Existing and proposed easements and right of ways
  - o Zoning compliance table required versus proposed
  - o Parking space totals required and proposed
  - o All entrances to parking areas marked with directional arrows
  - o Loading spaces, facilities and routes (for commercial developments)
  - o Building entrances, building type, height, grades and extent of overhangs
  - o All exterior stairways and ramps with dimensions and setbacks
  - Names, dimensions and location of adjacent streets including daylighting triangles
  - o Driveways, curbs, drop curbs, pavement markings, widths, radii and traffic directional signs
  - o Retaining walls including materials proposed
  - Fire access and routes, including fire route signs
  - o Fire hydrants and utilities location
  - Location, dimensions and number of parking spaces (including visitor and accessible) and drive aisles
  - o Location of mechanical room, and other building services (eg. A/C, HRV)
  - o Refuse disposal and storage areas including any related screening (if indoors, need notation on site plan and route used for truck pick-up)
  - o Winter snow storage location
  - All hard surface materials
  - o Light standards and wall mounted lights (plus a note on the site plan that all outdoor lighting is to be dark sky compliant)
  - o Business signs (make sure they are not in sightlines)
  - o Pedestrian access routes into site and around site
  - o Bicycle parking

Endangered and threatened species and their habitat are protected under the provinces Endangered Species Act, 2007 (ESA), O. Reg. 242/08 & O. Reg. 830/21. The Act prohibits development or site alteration within areas of significant habitat for endangered or threatened species without demonstrating that no negative impacts will occur. The

Ministry of Environment, Conservation and Parks provides the service of responding to species at risk information requests and project screenings. The proponent is responsible for discussing the proposed activity and having their project screened with MECP.

Please be advised that it is the owner's responsibility to be aware of and comply with all relevant federal or provincial legislation, municipal by-laws or other agency approvals.

[see Appendix A for additional comments]

#### **Assigned Planner:**

Mohammad Alam
Senior Planner
Mohammad.Alam@norfolkcounty.ca

#### Agreements

A recommended condition of your planning application approval will be to enter into a development agreement with the County that will be registered on title to the subject lands, at the Owner's expense. The additional requirements for a development agreement could include, but are not limited to the following:

- Engineering drawing review
- Engineer's schedule of costs for the works
- Clearance letter and supporting documentation to support condition clearance
- User fees and performance securities
- Current property identification number (PIN printout) (can be obtained by visiting https://help.onland.ca/en/home/)
- Owner's commercial general liability insurance to be obtained and kept in force during the terms of the agreement
- Postponement of interest. If there are mortgagees / charges on your property identifier, your legal representative will be required to obtain a postponement from your bank or financial institution to the terms outlined in your development agreement
- Transfers and / or transfer easements along with registered reference plan

Annette Helmig
Agreement and Development Coordinator
Extension 8053
Annette.Helmig@norfolkcounty.ca

# **Development Engineering**

| Development Engineering requirements to proceed The below requirements are to be submitted as part of the Formal Development Planning application.  General Requirements   | Required<br>at OPA/<br>Zoning<br>Stage | Required<br>at Site<br>Plan Stage | Potentially<br>Required<br>(See Notes<br>Section) |
|--|--|-----------------------------------|---|
| •  | T                                      |                                   | 1   |
| Concept Plan   |  | X                                 |   |
| Lot Grading Plan   |  | X <sup>2</sup>                    |   |
| Siltation and Erosion Control Plan   |  | X <sup>2</sup>                    |   |
| General Plan of Services   |  | X <sup>2</sup>                    |   |
| Geotechnical Report  |  |                                   | X   |
| Functional Servicing Report  |  | X <sup>3</sup>                    |   |
| Storm Water Servicing Requirements – Storm United Servicing Requirements – Storm Water Servicing Republication Repub |  | nd Section 8 N                    | Norfolk   |
| Storm Water Management Design Report (including calculations)  |  | X <sup>4</sup>                    |   |
| Storm Water Drainage Plan  |  |                                   | X   |
| Establish/Confirm Legal and Adequate Outlet  |  | X <sup>5</sup>                    |   |
| Anticipated Flow/Analysis to Receiving Collection System   |  | X <sup>6</sup>                    |   |
| Municipal Drainage   |  | X <sup>7</sup>                    |   |
| Transportation Requirements – Section ISMP Section 5.0, Section 6.0 and Apper  |  | , ,                               | Criteria,   |
| Traffic Impact Study   |  | X8                                |   |
| Improvements to Existing Roads & Sidewalk (urbanization, pavement structure, widening sidewalk replacement, upgrades, extension and accessibility)   |  | X <sup>9, 10</sup>                |   |

Does Building require a fire pond for Fire protection? If so, where will it go? Jonathon said this should be a Part 3 Building THEREFORE it would require fire protection by either Fire Pond or Cistern.

#### **General Notes:**

1. Securities will be required in the form of a schedule. Any works completed within the Municipal Right-of-Way (R.O.W.) is to be shown as 100% security. Any works

- completed within private property are to be shown as 10% security. This can be submitted at time of Site Plan.
- 2. All reports and plans are to be signed and stamped by a Professional Engineer (P.Eng.).
- 3. All reports are to be completed in reference to Norfolk County's Design Criteria and Integrated Sustainable Master Plan (ISMP).
- 4. All applicable permits and inspections to be issued by Public Works.
- 5. Norfolk County's Design Criteria can be provided.

#### Required at Site Plan Amendment Stage Notes:

- 1. A Concept Plan
- 2. Lot Grading Plan, Siltation and Erosion Control Plan, and General Plan of Services drawing (showing Domestic Well and Septic system locations) can be shown on one engineering plan as long as it's legible for review.
- 3. Functional Servicing Brief (FSB) will be required. The FSB shall explain the proposed water and wastewater needs of the site an confirm that the future Well and septic are adequate to support the development.
- 4. A Stormwater Management Report is to be completed as per Norfolk County Design Criteria Section 7
- 5. The developer is responsible to establish and confirm a legal and adequate Storm water outlet. At the Pre-consultation meeting it was mentioned this property is part of the Cowan Municipal Drain.
- 6. Anticipated Flow/Analysis to Receiving Collection System (Cowan Municipal Drain) will be required.
- 7. The subject lands are within the Cowan Drain Watershed. Prior to approval of site plan, the site must comply with all conditions of the Drainage Act. In consultation with the Norfolk County Drainage Department a revised Drainage report was completed a few years ago and upgrades were constructed, and costs billed out to each landowner. It is recommended the site comply with the most recent Municipal drain report. However, if changes are required then a revised report may be necessary. For questions or concerns pertaining to the Drainage Act please contact Bill Mayes, Drainage Superintendent, Norfolk County, bill.mayes@norfolkcounty.ca
- 8. As per Norfolk County's Integrated Sustainable Master Plan (ISMP) Appendix J: Traffic Impact Study (TIS) Guidelines, a Traffic Impact Study should be required with every planning application. As the total volume of traffic is not known at this time but it is assumed to be under 75 vehicles per day Development Engineering will ask for a Traffic Impact Brief to be completed. As per Norfolk County's Integrated Sustainable Master Plan (ISMP) Appendix J Traffic Impact Study (TIS) Guidelines, the following sections will need to be reviewed and completed;
  - a. Section A1.2 Data Requirements;
  - b. Section A1.3 Existing Conditions;
  - c. Section A1.4 Study Area
  - d. Section A1.5 Development Land Use & Type
  - e. Section A1.10 Heavy Vehicle Trips

- f. Analysis
  - i. Site lines
- g. Conclusions and Recommendations

NOTE: As mentioned at the Pre-consultation meeting over the history of this site dating back to 2007 there were some substantial comments from the MTO for Traffic Impact Study requirements and possible intersection upgrades at HWY #3. Any MTO requirements will be in addition to our comments above.

- 9. At the Pre-Consultation meeting there was a lot of discussion around location of proposed entrances. At the time of the meeting, it was not fully known whether there are previous agreements in place that restrict the addition or relocation of entrances along Norfolk County Road 13. In some older documentation it seems the intent may have been to have all entrances off the proposed ROW immediately North of this property. Your submitted sketch showed this ROW. However, at this time that proposed ROW has not been deeded to the Municipality.
  Therefore, all future entrances shall be designed to Norfolk County Road 13. As discussed at the meeting it is recommended to keep and proposed driveway away from the future intersection on the North Side of the property. The applicant suggested possibly upgrading the current driveway location. This suggestion would be permitted if the designed entrance conforms to Norfolk County Design Criteria and By-law 2016-32
- 10. All entrances are to be paved to from edge of road to Property line as a minimum.

#### **Potentially Required Notes:**

11. A Geotechnical report must be submitted if Storm water management practices involving infiltration are proposed.

#### **County Departmental Comments & Requirements**

#### **Corporate Support Services – Realty Services**

The County will require postponements of any charges/mortgages (if any) on title to the County's site plan agreement. We recommend that you connect with your Lender(s) (if any) and/or your solicitors as early in the process as possible to avoid any delays.

Lydia Harrison
Specialist, Realty Services
Extension 1323
Lydia.Harrison@norfolkcounty.ca

### **Building**

#### **Zoning Administrator:**

Pre Con - Norfolk County Road 13 (roll number 54102017015)

- Zoned MG with special provision 14.359
- proposed truck terminal and covered storage facility (Reid and Deleye)

- Zoning permits storage facility under the MG zoning, the truck terminal is permitted under the special provision 14.359

"TRUCK TERMINAL" shall mean a *building* or place where trucks or transports are rented, leased, kept for hire, stored, parked or dispatched for hire as common carriers.

- Two buildings proposed on site sketch, looks to meet requirements for setbacks to property lines.
- Note; outdoor storage is not currently permitted under the MG zone in the front yard, so in front of the main building being proposed.
- "OUTDOOR STORAGE" shall mean the storage or display of equipment, materials or things not within an enclosed building. Enclosure of an area by a fence or a canopy or roofed structure shall not be construed as an enclosed building.
- Final site plan will require a zoning table to be on the site plan showing that you meet the zoning requirements of section 7.14 of the MG zone. The table is to show required zoning vs. what is proposed.
- Building height is not applicable in this case as the property does not abut a residential, commercial, or institutional zone
- Parking, a parking table will need to be on the final site plan, please refer to section 4.9 (z) for # of parking spaces required for an industrial establishment (1 space for every 90sqm useable floor area) Useable floor area is any floor, so 2<sup>nd</sup> level of 1080sqft in terminal counts towards (total useable floor approx. 1470sqm with both buildings) parking approx. 16 parking spaces. One of which will need to be wheelchair accessible. The site plan will require a parking lot layout showing the parking spaces dimensioned and the parking aisle dimensioned. Refer to section 4.0 of the parking bylaw

### **Building Inspector:**

The proposed construction is considered an F2 for the trucking terminal and an F3 occupancy for the covered storage as defined by the Ontario Building Code (OBC), pending further information provided by the building code matrix. You will need to retain the services of an Architect or a Professional Engineer to complete the design documentation for this application.

The Designer will need to include in their review the OBC Subsection 3.1.17. for occupant load, Section 3.2 for building fire safety providing the building classification, Section 3.3 safety within floor areas, Section 3.4 exits and Section 3.8 for barrier free requirements.

A septic permit application will be required.

#### **Items for Site Plan**

Site plan drawings need to have enough detail, to determine compliance with the code references listed.

- 1. Indicate location of access route and access route design [OBC 3.2.5.4 to 3.2.5.6]
- 2. Revised fire water pond design and calculations. [OBC 3.2.5.7]
- 3. Indicate location of existing and new fire department connections. Dimensions between hydrants and building entrances is required.

### [OBC 3.2.5.16]

- 4. Location and specifications of exterior lighting. Lighting to be included in SB-10 report energy efficiency
- 5. Indicate barrier free path of travel from parking area to building entrance. Construction of curb cuts and location of tactile attention indicators is required. [OBC 3.8.1.3, & 3.8.3.2]
- 6. Location of revised septic system (if required)
- 7. Provide building elevations and cross section, showing building massing, location of proposed entrances and exits, barrier free controls, exterior lighting locations, and exterior signage. [Planning Act 41(4).2]

#### Items for Building Permit

"-Industrial Commercial Institutional (ICI)", Applicable Law Checklist and Sewage Systems Step by Step Guide for Building Permit has been attached to the minutes herein, this contains information on drawing requirements, designers, forms, contact information for Building Department etc.

If you have any questions on the building permit process or plans required, please contact permits@norfolkcounty.ca or 519-426-5870 ext. 6016

#### **Additional Agency Comments & Requirements**

#### **Ministry of Transportation**

Click here to enter text.

Jodie Lucente Senior Project Manager 226.984.7853 Jodie.lucente@ontario.ca

# Appendix A: Summary of Applicable Planning Legislation, Policy and Zoning

Following is a summary of key items related to the proposal as presented; noting these documents are meant to be read in their entirety with relevant policies to be applied in each situation. This is not an exhaustive list and only in response to the information submitted for the pre-consultation. This feedback is subject to change pending full submission of a development application and any changes or additional information provided therein.

#### **Provincial Policy Statement, 2020**

https://www.ontario.ca/page/provincial-policy-statement-2020

### **Norfolk County Official Plan**

https://www.norfolkcounty.ca/government/planning/official-plan/

Section 9.6.1 outlines requirements in relation to requests to amend the Official Plan.

Section 9.6.2 outlines requirements in relation to requests to amend the Zoning By-law.

It is the responsibility of the proponent to review and ensure relevant Official Plan policies are addressed in any future development application.

#### Norfolk County Zoning By-Law 1-Z-2014

https://www.norfolkcounty.ca/government/planning/new-zoning-by-law/

The provisions of the Norfolk County Zoning By-Law shall apply to all lands within the boundaries of Norfolk County. No land, building or structure shall be used, erected, or altered in whole or in part except in conformity with the provisions of this By-Law. No land, building or structure shall be used or occupied except for uses that are specifically identified in the By-Law as permitted uses by the relevant zoning category.

It is the responsibility of the proponent to review and ensure relevant Zoning Bylaw provisions are addressed in any future development application

signed

Greg Eyre Oct 27 23



## APPLICABLE LAW CHECKLIST

**The Building Code Act** prohibits the issuance of a building permit if the proposed construction or demolition will contravene an applicable law as defined by the Building Code. The questions below will help you to determine if an applicable law applies to your project. No timeframe for building permit review can be established until all required applicable law approvals are completed and the approval documents are submitted to the Building Division.

If the answer is **YES** to any question, the relevant approval documents must be submitted with this permit application. Where any required approval has **NOT** been obtained, the agencies listed on the back of this form must be contacted to obtain approval, and the declaration on the bottom of this form must state accordingly.

| roperty Address: Permit Number (office use)  |     |     |  |  |  |  |
|--|-----|-----|--|--|--|--|
| Zoning By-Laws – Norfolk County Planning Department  | YES | NO  |  |  |  |  |
| Is/was relief required to permit a minor zoning variance in your proposal?   |     |     |  |  |  |  |
| Is/was rezoning required to permit the proposed building or land use?  |     |     |  |  |  |  |
| Is a land division or subdivision required and not yet fully completed?  |     |     |  |  |  |  |
| Are municipal services required but not yet completed or available?  |     |     |  |  |  |  |
|  |     |     |  |  |  |  |
| Planning Approval - Norfolk County Planning Department   | YES | NO  |  |  |  |  |
| Is this property regulated by Site Plan Control under Section 41 of the Planning Act?                                      |     |     |  |  |  |  |
|  |     |     |  |  |  |  |
| Heritage - Norfolk County Heritage and Culture Department  | YES | NO  |  |  |  |  |
| Are you demolishing a building that is listed on the County's heritage inventory?  |     |     |  |  |  |  |
| Is the building designated or in the process of being designated?  |     |     |  |  |  |  |
| Is the property located in a heritage district or study area?  |     |     |  |  |  |  |
|  |     |     |  |  |  |  |
| Construction and Fill Permits – Long Point Regional or Grand River Conservation Authority                                  | YES | NO  |  |  |  |  |
| Is the property located within a regulated area (i.e. abutting a ravine, watercourse, wetland, or                          |     |     |  |  |  |  |
| shoreline)?  |     |     |  |  |  |  |
| Building and Land Use Permits - Ontario Ministry of Transportation   | YES | NO  |  |  |  |  |
| Is the property within 45m of a highway or 180 m from any highway intersection?  | 120 | 140 |  |  |  |  |
| Is the property within 395m of a controlled highway intersection? (applies to Sign Permits)                                |     |     |  |  |  |  |
| Is this a major traffic generating project located within 800m of a highway?   |     |     |  |  |  |  |
| is this a major traine generating project located within boom of a highway!  |     |     |  |  |  |  |
| Clean Water Act – Public Works   | YES | NO  |  |  |  |  |
| Is the property located within a Source Water Protection regulated area?   |     |     |  |  |  |  |
|  |     |     |  |  |  |  |
| If yes: does a Water Source Protection Plan restrict the land use you are proposing? (s.59 screening form may be required) |     |     |  |  |  |  |
|  | 1   | 1   |  |  |  |  |

| Agriculture and Farms - Ontario Ministry of Agriculture and Food   | YES      | NO   |  |  |  |  |
|--|----------|------|--|--|--|--|
| Is this a farm building that will house animals or manure?   |          |      |  |  |  |  |
| Is this a milk processing plant?   |          |      |  |  |  |  |
| Crown Lands Work Permit – Ministry of Natural Resources  | YES      | NO   |  |  |  |  |
| Are you proposing to construct or place a structure or combination of structures that are in physical contact with more than 15 square meters of shore lands?  |          |      |  |  |  |  |
| Are you proposing to build on Crown Land?  |          |      |  |  |  |  |
| Electrical Conductor Clearances - Electrical Safety Authority  | YES      | NO   |  |  |  |  |
| Are any overhead power lines located above or within 5.5 metres of the proposed building?  |          |      |  |  |  |  |
| Environmental Approvals - Ministry of Environment, Conservation, Parks   | YES      | NO   |  |  |  |  |
| Is a Record of Site Condition required to be filed because of a change to more sensitive land use? Is  |          |      |  |  |  |  |
| the property a former waste disposal site?  Is this project a major industrial, commercial, or government project?   |          |      |  |  |  |  |
| Is this a renewable energy project?  |          |      |  |  |  |  |
| Does this property have a Certificate of Property Use under the Environmental Protection Act?  |          |      |  |  |  |  |
| Child Care Centres - Ministry of Education   | YES      | NO   |  |  |  |  |
| Is a daycare proposed in any part of the building?   |          |      |  |  |  |  |
| Seniors Centres - Ministry of Children, Community and Social Services  | YES      | NO   |  |  |  |  |
| Is this a seniors project where Ontario Government funding is being sought?  |          |      |  |  |  |  |
| Long Term Care Centres – Ministry of Health & Long Term Care   | YES      | NO   |  |  |  |  |
| Construction, alteration or conversion of building used for a nursing home?  |          |      |  |  |  |  |
| Education Act - Ministry of Education  | YES      | NO   |  |  |  |  |
| Is the project being carried out on the property of an educational facility?   |          |      |  |  |  |  |
| If so, is any or all building on the property being fully or partially demolished?   |          |      |  |  |  |  |
| DELCARATION – I have considered the list of applicable laws in the Ontario Building Code as described ab hereby declare that:  | ove, and | l do |  |  |  |  |
| None of these applicable law approvals apply to this project   |          |      |  |  |  |  |
| Applicable laws check 'yes' apply to this project, and approval documents are submitted with this application.   |          |      |  |  |  |  |
| Applicable laws checked 'yes' apply to this project; however, all approval documents have not yet been obtained  |          |      |  |  |  |  |
| The information provided on this form is true to the best of my knowledge. I have authority to act on behalf of the owner, corporation, or partnership with respect to this application (if applicable). |          |      |  |  |  |  |
| Name: Signature: Greg Gyre Date:   |          |      |  |  |  |  |

Approvals from other agencies are required in many instances before a building permit can be processed and issued. These approvals are **NOT** administered by the Building Department. The fastest way to obtain a building permit is to ensure that all other required approvals are completed prior to permit application. The Building Department is required by law to prioritize applications that are fully complete in terms of applicable law approvals and document submissions. Building permit documents must be consistent with applicable law approvals. If you answer yes to any of the following question please reach out to these agencies for approvals.

#### Zoning and Planning – Community Services Division – Norfolk County

**Zoning** 519-426-5870 ext. 6064 or <u>zoning@norfolkcounty.ca</u> **Planning** 519-426-5870 ext. 1842 or <u>planning@norfolkcounty.ca</u>

#### Planning Act, s.34, 34(5), 45, and Part VI

Zoning By-laws restrict such things as land use, lot size, building size, and setbacks. If your project does not comply with any part of the Zoning By-law, a minor variance or rezoning must be obtained before any building permit can be issued. Zoning By-laws also restrict the issuance of permits until any associated land division, subdivision, or municipal servicing is complete.

#### Planning Act, s.41

Site Plan Approval applies to commercial, industrial, institutional, multi-residential and intensive livestock site plans. The site plan agreement must be registered before site plans will be approved.

#### **Conservation Authority Permits**

Grand River Conservation Authority (GRCA)1-866-900-4722 or <a href="mailto:grca@grandriver.ca">grca@grandriver.ca</a>
Long Point Regional Conservation Authority (LPRCA) 1-888-231-5408 or conservation@lprca.on.ca

#### Conservation Authorities Act s. 28 (1)(c), regulation 166/06

Development within certain conservation regulated areas requires a construction and fill permit from the conservation authority before any building permit can be issued. GRCA or LPRCA will confirm if your property falls within their jurisdiction.

#### **Highway Corridor Building & Land Use Permits**

Ministry of Transportation (MTO) 1-800-268-4686 or

www.mto.gov.on.ca/english/highway-bridges/highway-corridor-management/index.shtml

#### Public Transportation and Highway Improvement Act, s.34, 38

Ministry authorization is required for construction of all buildings within certain distances of a highway or intersection. The requirement for Ministry authorization extents to 800m from a highway where development will generate major traffic, such as a shopping centre.

#### **Environmental Approvals**

Ministry of the Environment, Conservation and Parks (MECP)1-800-461-6290 or www.ontario.ca

#### Environmental Protection Act s. 46, 47.3, 168 and the Environmental Assessment Act s 5.

Ministry of Environment approvals are required where a property of industrial or commercial use is changed to more sensitive residential or parkland use, for major government, industrial and commercial projects where defined by regulation, properties formerly used for landfill or waste disposal, or renewable energy projects.

#### **Electrical Conductor Clearances**

Electrical Safety Authority 1-877-372-7233 or www.esasafe.com

Subsection 3.1.19. of the Ontario Building Code prohibits buildings being located beneath or within a certain minimum distances of overhead electrical conductor wires, other than the power feed to the building.

#### Source Water Protection – Environmental and Infrastructure Services – Norfolk County

**Environmental Services** – Stephanie Davis- Manager, Water & Wastewater Compliance- 519-426-5870 ext. 8037 or Stephanie.Davis@norfolkcounty.ca

**Cambium Inc.** Racheal Doyle – <u>sourcewaterprotection@cambium-inc.com</u>

#### Clean Water Act s. 59

Special land use restrictions may apply if a water source protection plan is in effect in the area where the building is located. Uses affected by these restrictions require the approval of the designated Risk Management Official

#### Agriculture and Farms

Ministry of Agriculture Food and Rural Affairs 1-877-424-1300 or www.omafra.gov.on.ca

#### Nutrient Management Act 2002 s.11 reg 267/03, Milk Act s.14

Buildings or structures that house animals or store manure may trigger a requirement for a nutrient management strategy approved by the Ministry. The Ministry must determine that a milk processing plant is necessary and authorize it before a building permit can be issued.

#### **Child Care Centres**

Ministry of Education (905) 895-9192 or www.ontario.ca

#### Child Care and Early Years Act, s. 14 reg 137/15

Ministry plan approval is required if a new building is proposed to be used as a day nursery, an existing building is proposed to be used, altered or renovated for a day nursery, or if an existing day nursery is altered or renovated.

#### **Seniors Centres**

Ministry of Children, Community and Social Services 1-888-789-4199 or www.mcss.gov.on.ca

#### **Elderly Persons Centres Act s. 6 of reg 314**

Reports must be submitted to the Minister and approval obtained for all seniors centres to which government funding applies.

#### **Long Term Care Homes**

Ministry of Health & Long Term Care 1-800-387-5559 or www.health.gov.on.ca

#### Nursing Home Act s. 4, 5 reg 832

#### Homes for the Aged & Rest Homes Act s. 14

The Long Term Heath Care Act is designed to help ensure that residents of long-term care homes receive safe, consistent, high-quality, resident-centred care.

#### Education

Ministry of Education (905) 895-9192 or www.ontario.ca

#### **Education Act s. 194**

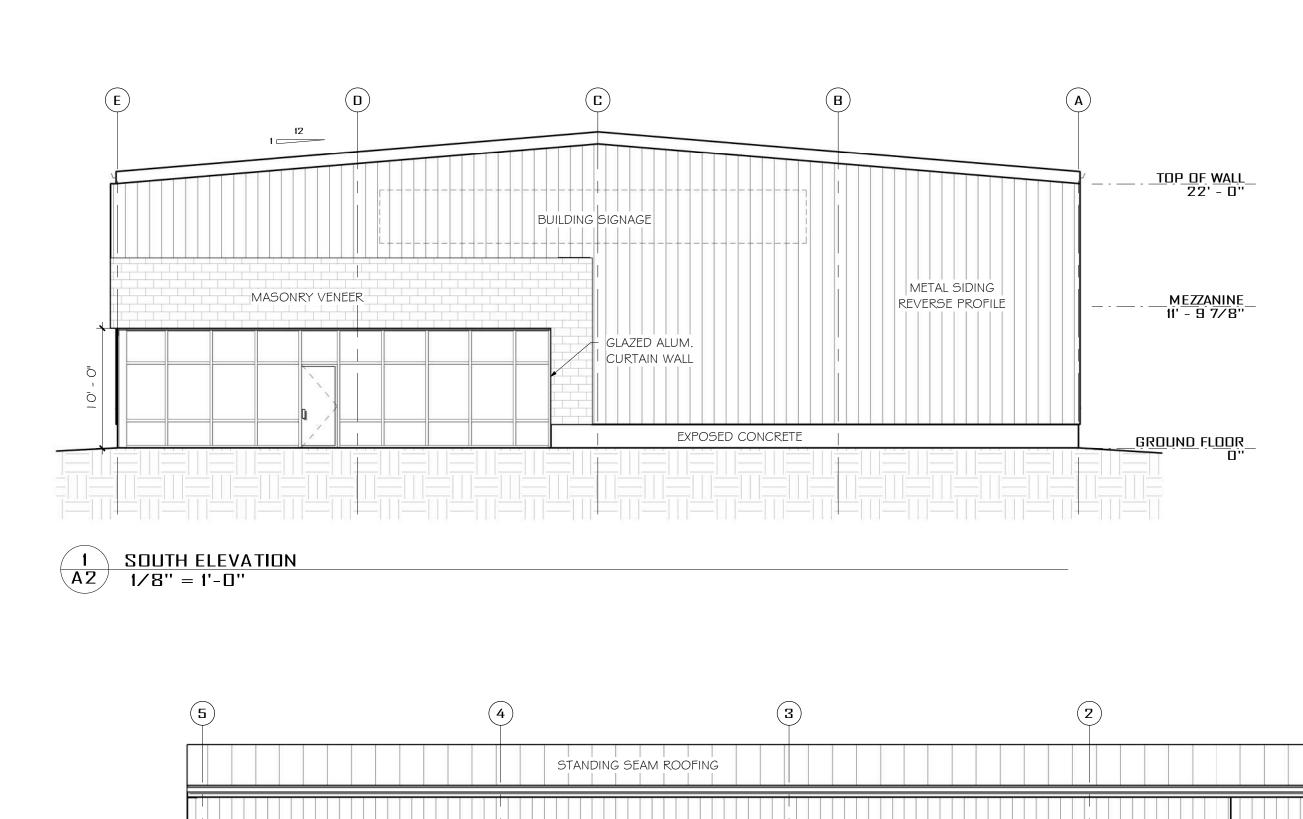
The board shall obtain approval from the Minister for the demolition of any buildings located on a school site regulated by the Education Act. App

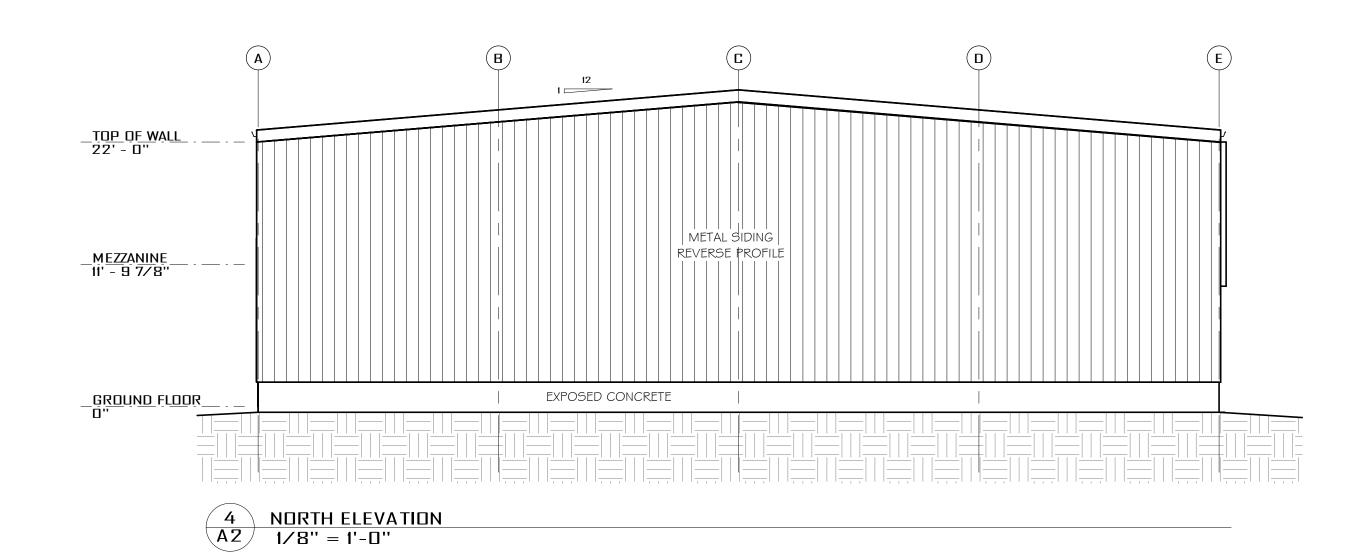
#### **Crown Lands Works Permits**

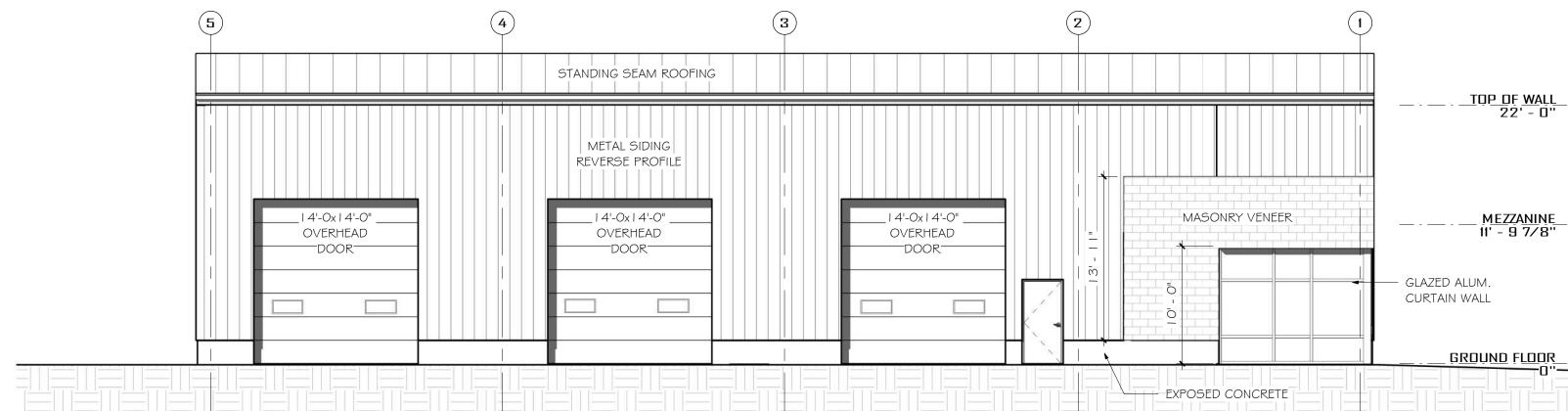
Ministry of Natural Resources www.ontario.ca/page/crown-land-work-permits

#### Ontario Regulation 239/13 s. 2, s. 5

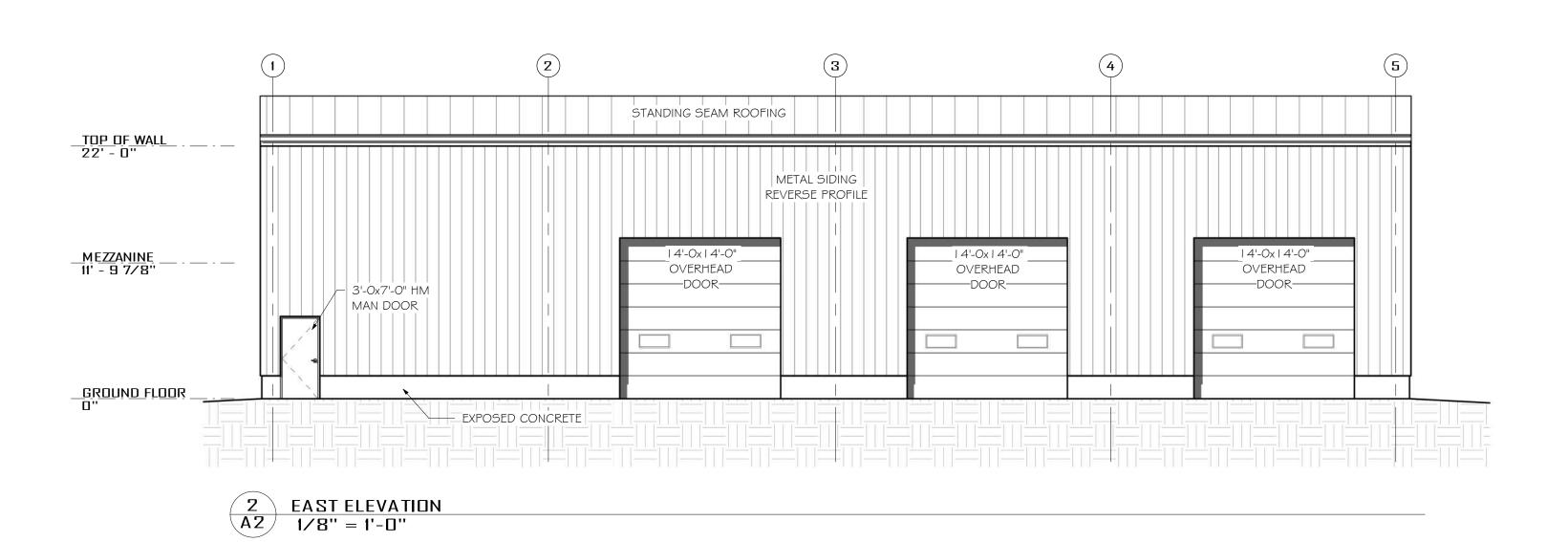
Ministry approval is required to construct a building on crown lands or to construct or place a structure along shorelines.







3 WEST ELEVATION A2 1/8" = 1'-0"

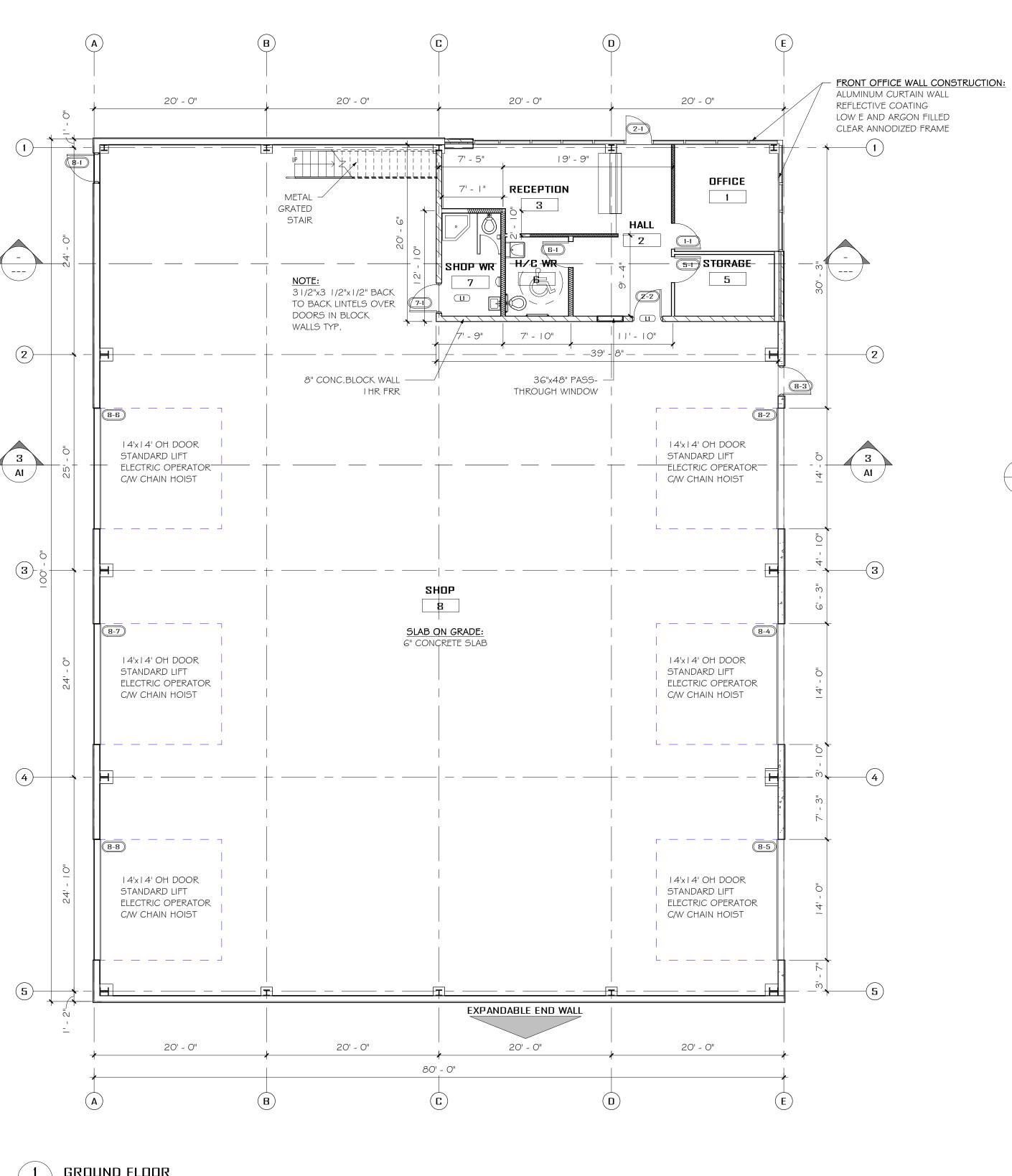


| REID    | ) & DELE           | YE C    | ONTRACT            | ORS LTD            |
|---------|--------------------|---------|--------------------|--------------------|
| Box 272 | Courtland, Ontario | NOJ 1EO | Ph. (519) 688-2600 | Fax (519) 688-2700 |

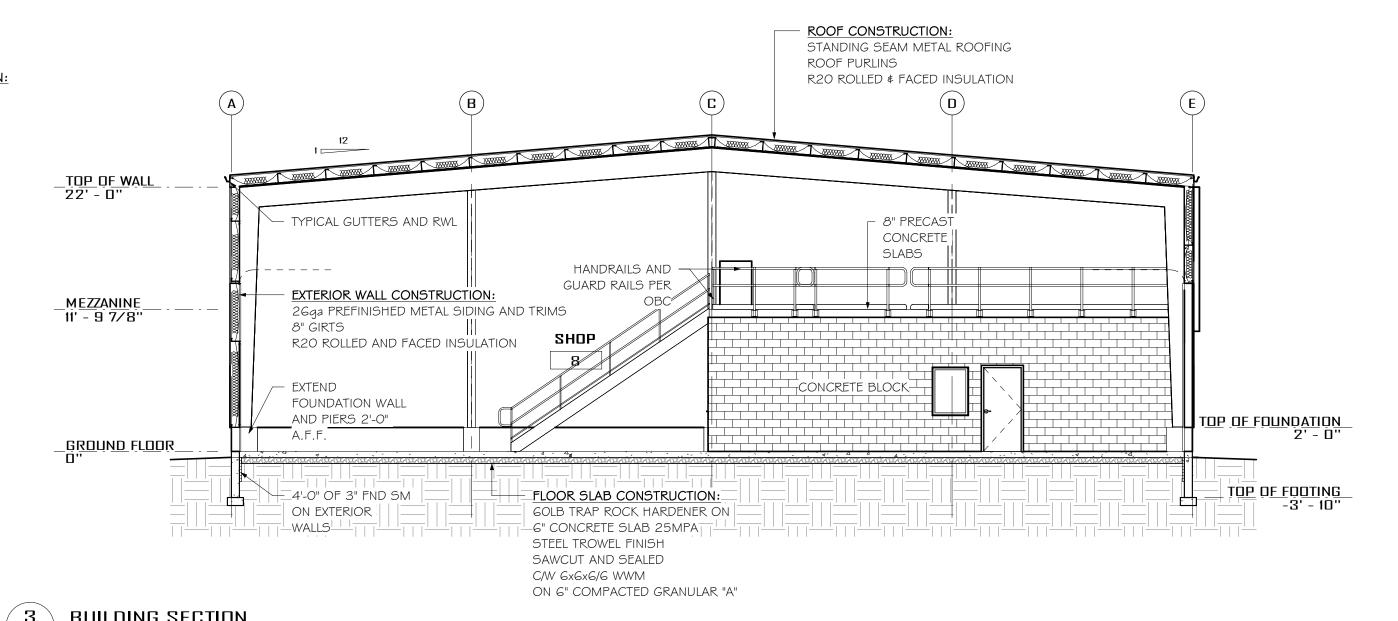
| _ | ВҮ | DESCRIPTION |  |  |       | DATE |  |
|---|----|-------------|--|--|-------|------|--|
|   |    |             |  |  |       |      |  |
|   |    |             |  |  |       |      |  |
|   |    |             |  |  |       |      |  |
|   |    |             |  |  |       |      |  |
|   |    |             |  |  |       |      |  |
|   |    |             |  |  | NORTH |      |  |
|   |    |             |  |  |       |      |  |
|   |    |             |  |  |       |      |  |
|   |    |             |  |  |       |      |  |

| PROPOS      | ED 80'X100' PRE-ENG<br>FOR |
|-------------|----------------------------|
| ML          | RRY McLAUGHLIN             |
|             | TILLSONBURG, ON            |
| EL          | EVATIONS                   |
| PROJECT NUM | IER                        |
| DATE        | MAY 05/23                  |
| DRAWN BY    |                            |
| CHECKED BY  |                            |
|             | <b>A2</b>                  |
| SCALE       | 1/8" = 1'-0"               |

CHEC

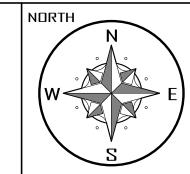


1 GROUND FLOOR A1 1/8" = 1'-0"



3 BUILDING SECTION
A1 1/8" = 1'-0" STORAGE MEZZANINE 9 METAL RAILING TO OBC 2006 6' - 0" REMOVABLE RAIL SECTION 2 MEZZANINE A1 1/8" = 1'-0"

DESCRIPTION



PROPOSED 80'XIOO' PRE-ENG MURRY McLAUGHLIN TILLSONBURG, ON

FLOOR PLANS AND SECTION

PROJECT NUMBER MAY 05/23 DRAWN BY CHECKED BY

1/8" = 1'-0" SCALE

# ENTEC TRUCK TERMINAL DEVELOPMENT NORFOLK COUNTY ROAD 13 COURTLAND NORFOLK COUNTY

FUNCTIONAL SERVICING REPORT



#### **NORFOLK COUNTY ROAD 13**

#### **COURTLAND**

#### **NORFOLK COUNTY**

#### **FUNCTIONAL SERVICING REPORT**

#### **CONTENTS**

| 1.0 | INTRODUCTION   | 2 |
|-----|--|---|
| 2.0 | DESIGN CONSIDERATIONS                                    | 2 |
| 3.0 | REPORTS AND STUDIES                                      | 2 |
| 4.0 | SANITARY SERVICING                                       | 2 |
| 5.0 | WATER SERVICING & FIRE                                   | 3 |
| 6.0 | STORM DRAINAGE CONDITIONS                                | 3 |
|     | 6.1 Existing Drainage Condition                          | 3 |
|     | 6.2 Proposed Drainage Condition                          | 3 |
| 7.0 | STORMWATER MANAGEMENT & CONVEYANCE                       | 3 |
| 8.0 | EROSION AND SEDIMENTATION CONTROL/CONSTRUCTION PRACTICES | 4 |
| 9.0 | ELECTRICAL AND UTILITIES                                 | 5 |
|     |  |   |

#### APPENDIX 'A'

Storm Design Calculations

APPENDIX 'B'

Fire Protection

APPENDIX 'C'

**Detailed Design Drawings** 



#### CYRIL J. DEMEYERE LIMITED

John D. Wiebe, P. Eng. Andrew Gilvesy, P. Eng. Peter J. Penner, P. Eng. Deren Lyle, P. Eng.

261 Broadway, P.O. Box 460, Tillsonburg, ON N4G 4H8 T: 519-688-1000 F: 519-842-3235

www.cjdleng.com

#### **ENTEC TRUCK TERMINAL DEVELOPMENT**

22096 07 June 2023

#### **NORFOLK COUNTY ROAD 13**

#### **COURTLAND**

#### **NORFOLK COUNTY**

#### **FUNCTIONAL SERVICING REPORT**

#### 1.0 INTRODUCTION

Cyril J. Deyemere Limited (CJDL) has been retained by Reid & Deleye Contractors Ltd. to prepare a Functional Servicing Report (FSR) and Site Plan in support of a truck terminal and outdoor storage building for Entec Waste Management located on the County Road 13 near Courtland, Norfolk County.

The project land is approximately 1.53 ha in size fronts onto Norfolk County Road 13 and are bounded by existing industrial lands on to the north and south and future industrial land to the east. There is a shared road with Voth Truck Bodies to the north of the site that may become a Municipal R.O.W. in the future. The lot was previously used as open storage space. The subject land is legally described as Part 2 of Lot 162, Concession North of Talbot Road, Reference Plan 37R-11163. The lot lies on the east side of Norfolk County Road 13 and is located directly north of municipal address 50 Norfolk County Road 13. The lands have been zoned as General Industrial Zone (MG) with a special provision 14.359 to permit a truck terminal.

An 8,000 ft<sup>2</sup> (743.2m<sup>2</sup>) truck terminal building is proposed including a 753 ft<sup>2</sup> (69.96m<sup>2</sup>) office area. A 6,875 ft<sup>2</sup> (639m<sup>2</sup>) covered storage building is also proposed to the rear of the property.

#### 2.0 DESIGN CONSIDERATIONS

The following documents has been refered in preparation of this report:

- The Corporation of Norfolk County Design Criteria August 2017
- Cowan Municipal Drain Branches B and C, County of Norfolk

#### 3.0 REPORTS AND STUDIES

Through the site plan consultation process, it was deemed that a Traffic Impact Study was not needed for this development as the vehicle traffic to this site is not changing with this development.

#### 4.0 SANITARY SERVICING

Private on-site sevices. Detailed design will be provided by installer for building permit application.

Design Quantity 150 I/day/Loading Bay 8 Employees 75 I/day/8 employees



#### 5.0 WATER SERVICING & FIRE FIGHTING RESERVOIR

A private well will be provided for domestic water use, minimal process water is required.

Based on the foregoing, sanitary flows of 1,500 l/day, this requires 3.125 l/min spread over an 8-hour shift and 24.4 l/s using a 7.8 peaking factor.

The fire flow demand have been calculated in accordance with the Ontario Building Code. A dry fire hydrant is proposed at the site for the fire service to the building will connected to a proposed precast concrete tank with a required storage capacity. The OBC fire flow requirement was calculated to be 45 l/s with a storage volume of 92 m<sup>3</sup>.

#### 6.0 STORM DRAINAGE CONDITIONS

#### 6.1 Existing Drainage Condition

The existing project site consists of an gravel open space storage with a gravel driveway and the reminder of the site is grass/vegitated. The site generally drains in north and west directions as sheet flow and conveyed into the existing Cowan Municipal Drain. The Cowan Municipal Drain Branch B has a 525mmø HDPE pipe across the frontage of this property that outlets to the Main Drain, flowing east in an open ditch and outletting to the existing Mills Drain neat the east limit of Lot 25.

#### 6.2 Proposed Drainage Condition

The post development drainage conditions generally follow the pre development drainage condition with a storm drainage system outletting to the Cowan Drain Branch B. The proposed development includes new truck terminal and the covered storage facility and associated parking lots. The new truck terminal will be set back 48m from County Road 13 and the storage facility will be 9m offset the rear property line. The access to the subject site will been relocated an asphalt driveway directly to the existing shared access road on the north side of the site. This right of way will act as access from the site to Norfolk County Road 13.

The proposed outdoor coverage storage and the grassed area drains westerly into the proposed catchbasins and storm drains. The proposed truck terminal, sidewalk and the associated asphalt parking lot are designed to drain into the proposed catchbasins and storm drains and outlets to the Cowan Municipal Drain Branch B. The development will be constructed in one phase.

#### 7.0 STORMWATER MANAGEMENT & CONVEYANCE

Under the pre-development conditions for the subject site consists of an existing gravel open space storage lot with a gravel driveway with the remainder of the site being grassed/open space. The pre-development runoff coefficient was calculated to be C = 0.50.

Based on the proposed site plan, the post-development runoff coefficient for the entire site was calculated to be C = 0.61. The proposed site grading after completion of the development will direct runoff into various catchbasins located on the parking lot which outlet to the 525mmø Cowan Municipal Drain Branch B along County Road 13. The grassed front yard will drain as sheet flow towards County Road 13 for collection through the existing shallow roadside swale. The north sideyard and rear yard runoff will be directed towards swales that outlet into the 525mmø municipal sewer line via catchbasins.

The entirety of the 5 to 100-year design storms will be controlled with 2-orifice plates to create surface detention contained within the proposed rear and south side yard swales, as well as the parking lot, to a maximum ponding elevation of 239.75 m during the 100-year design storm. Ponding in parking lots does not exceed 0.25m depth.



Table 1: Pre & Post-Development Peak Outflows and Storage Volume

| Design<br>Storm | Total<br>Pre-Dev.<br>Outflow (I/s) | Uncontrolled<br>Post-Dev.<br>Outflow (I/s) | Controlled<br>Outflow to<br>Cowan Drain (I/s) | Required<br>Storage<br>Volume (m³/s) | Provided<br>Storage<br>Volume (m³/s) |
|-----------------|------------------------------------|--|---|--------------------------------------|--------------------------------------|
| 2-Year          | 103.5                              | 169.2                                      | 94.2  | 78                                   | 236                                  |
| 5-Year          | 136.5                              | 223.2                                      | 94.2  | 151                                  | 236                                  |
| 100-Year        | 331.1                              | 614.5                                      | 97.7  | 236                                  | 236                                  |

As shown in the table above, the post-development peak outflows from the majority of the impervious areas on-site are lower than the pre-development peak outflows. The Cowan Municipal Drain was designed to accept peak flows of 101 l/s from this site which is the controlling factor for site drainage. The site is not anticipated to have any adverse effects on the Municipal Drain system. For detailed stormwater management calculations, see Appendix 'A'.

Quality control for the majority of the site (warehouse, side yards and rear yards) is provided by low-sloped, grassed swales, which promote infiltration and settling of sediment before reaching the proposed catchbasins.

#### 8.0 EROSION AND SEDIMENTATION CONTROL/CONSTRUCTION PRACTICES

Topsoil stripping and bulk grading will be completed as the project develops. Silt fence will be placed at surface run-off locations and across drainage courses. As servicing progresses, silt fence (with straw bales, if required) will be placed across all drainage swales at 100m maximum intervals, including catchbasins and piped outlets and/or as directed on site.

Topsoil piles will be located for suitable access, but will be removed as far as practical from drainage courses. Topsoil stockpiles will be shaped to allow for easy maintenance (mowing) by the Developer.

Storm sewers and initial granular base will be installed by a General Contractor. In addition to the silt fence, the Contractor will place geotextile under all catchbasin castings to prevent the flow of construction silt into the storm sewers and to the receiving water courses.

All silt will be removed as accumulated and/or as directed by the Engineer on site. Catchbasins will be cleaned by the Contractor during construction to remove any silt which may accumulate.

All finished earth surfaces will be topsoiled and seeded. Areas susceptible to erosion will be protected by sod, staked sod, riprap and/or cable concrete as conditions warrant. The Contractor will be required to return within the guaranteed maintenance period to remedy any areas of erosion which develop.

Catchbasins will contain 600 mm minimum deep sumps which will collect sediment.



#### 9.0 ELECTRICAL AND UTILITIES

It is anticipated that Bell Canada and Enbridge Gas will have adequate capacity available on County Road 13 for connection/extension of underground utilities to service the proposed truck terminal.

\*\* \*\* \*\*

If there are any questions, please do not hesitate to contact this office.

All of which is respectfully submitted,

Peter J. Penner, P.Eng.



## APPENDIX 'A'

Stormwater Design Calculations

#### ENTEC TRUCK TERMINAL, COURTLAND



22096 7-Jun-23

#### PRE-DEVELOPMENT FLOW CALCULATIONS

TRIBUTARY AREA 3.76 1.52 Ha Acres AVERAGE OUTFLOW 0.63 cfs 0.14  $m^3/s$ PREDEVELOPMENT RUNOFF COEF. 0.49 WATERSHED LENGTH 107 m WATERSHED SLOPE (%) 1.0

Pre-development

| Item      | Area (Ha) | C Value |
|-----------|-----------|---------|
| Gravel    | 0.82      | 0.70    |
| Building  | 0.00      | 0.90    |
| Sod       | 0.70      | 0.20    |
| Asph/Conc | 0.00      | 0.95    |
| Total     | 1.52      | 0.49    |

Q = 0.0028\*C\*I\*A

25 year

42.1

-0.699

42.1

-0.699

 $TC = (3.26 * (1.1-f*C)*(L)^1/2)/Sw^1/3$ 

50 year

46.9

-0.699

50 year

46.9

-0.699

100 year

51.3

-0.699

100 year

51.3

-0.699

Pre development Flows - 1 in 2 Year Storm Event

Rainfall Intensity

MTO - IDF Curve Lookup

Intensity = a(t+b)-c mm/hr a

23.5 b -0.699

Intensity 49.614

Time of Concentration, Tc (3.26 \* (1.1-1.0\*C)\*(L^1/2)/S^1/3 Predevelopment Flow 0.0028 \* C \* I \* A

10 year 25 year 50 year 100 year Intensity Factors 23.5 31 35.9 42 1 46.9 51.3 -0.699 -0.699 -0.699 -0.699 -0.699 -0.699

10 year

35.9

-0.699

10 year

35.9

-0.699

31

-0.699

31

-0.699

Pre development Flows - 1 in 5 Year Storm Event

Rainfall Intensity

Intensity =  $a(t+b)^{-c}$  mm/hr

а 31 b -0.699

Time of Concentration, Tc

Intensity 65.448 (3.26 \* (1.1-1.0\*C)\*(L^1/2)/S^1/3

Predevelopment Flow 0.0028 \* C \* I \* A MTO - IDF Curve Lookup

2 year Intensity Factors 23.5 -0.699

20.6 min

103.5 I/s

20.6 min 136.5 I/s

Pre development Flows - 1 in 100 Year Storm Event

Rainfall Intensity

Intensity =  $a(t+b)^{-c}$ 

mm/hr 51.3 а

b -0.699 Intensity 127.019

(3.26 \* (1.1-1.25\*C)\*(L^1/2)/S^1/3 Time of Concentration, Tc Predevelopment Flow 0.0028 \* C \* I \* A

MTO - IDF Curve Lookup

Intensity Factors 23.5 b: -0.699

16.4 min 331.1 I/s

Note: The Cowan Municipal Drain was designed to carry 2-year, pre-development flows from the Entec property that were determined to be 101 I/s in the Municipal Drain Report. This will be used as the Maximum outflow for Entec for up to the 100 yr. storm.

#### ENTEC TRUCK TERMINAL, COURTLAND

22096 7-Jun-23

#### POST-DEVELOPMENT FLOW CALCULATIONS - UNCONTROLLED

TRIBUTARY AREA 3.76 Acres 1.52 На ALLOWABLE OUTFLOW 101.10 I/s POST DEVELOPMENT RUNOFF COEF. 0.63 WATERSHED LENGTH 119 m WATERSHED SLOPE (%) 1.5

Post-development C Value Item Area (Ha) Gravel 0.82 0.70 Building 0.06 0.90 Sod 0.37 0.20 Asph/Conc 0.27 0.95 0.63 Total 1.52

Q = 0.0028\*C\*I\*A

 $TC = (3.26 * (1.1-f*C)*(L)^1/2)/Sw^1/3$ 

Post development Flows - 1 in 2 Year Storm Event

Rainfall Intensity

MTO - IDF Curve Lookup

Intensity = a(t+b)-c mm/hr Intensity Factors 10 year 50 year 100 year 23.5 23.5 35.9 42.1 46.9 51.3 -0.699 b b: -0.699-0.699 -0.699-0.699-0.699-0.699 Intensity 63.112

(3.26 \* (1.1-1.0\*C)\*(L^1/2)/S^1/3 Time of Concentration, Tc 14.6 min 0.0028 \* C \* I \* A Post development Flow I/s 169.2

Post development Flows - 1 in 5 Year Storm Event

Rainfall Intensity

MTO - IDF Curve Lookup

Intensity = a(t+b)-c mm/hr

100 year Intensity Factors 50 year 31 42.1 51.3 а 23.5 31 35.9 46.9 -0.699 -0.699 -0.699 -0.699 -0.699 -0.699 -0.699 b b:

83.254 Intensity (3.26 \* (1.1-1.0\*C)\*(L^1/2)/S^1/3

Time of Concentration, Tc 14.6 min 0.0028 \* C \* I \* A Post development Flow 223.2 I/s

Post development Flows - 1 in 100 Year Storm Event

Rainfall Intensity

MTO - IDF Curve Lookup

Intensity =  $a(t+b)^{-c}$  mm/hr Intensity Factors

100 year 2 year 23.5 10 year 50 year 51.3 31 35.9 42.1 46.9 51.3 b -0.699 b: -0.699

Intensity 183.355

(3.26 \* (1.1-1.25\*C)\*(L^1/2)/S^1/3 0.0028 \* C \* I \* A Time of Concentration, Tc 9.7 min 614.5 Post development Flow I/s



Cyril J. Demeyere Limited P.O. Box 606, 261 Broadway Tillsonburg, Ontario. N4G 4J1 Tel: 519-688-1000 866-302-9886 Fax: 519-842-3235 cjdleng@oxford.net

22096 07/Jun/2023

## POST-DEVELOPMENT FLOW CALCULATIONS POST-RAINFALL STORAGE CALCULATIONS - 2 YEAR QUANTITY CONTROL

TRIBUTARY AREA = 1.52 Ha

RUNOFF COEF. = 0.63

PRE-DEVELOP. MAX. ALLOWABLE OUTFLOW = 101.1 I/s (2-year pre-development capacity of Cowen Drain - Branch B)

POST DEV. MAX OUTFLOW = 169.2 I/s (UNATTENUATED)

Rainfall Intensity

MTO - IDF Curve Lookup

Intensity=a(t+b)-c mm/hr

a= 23.5 Intensity Factors 100 year 2 year 5 year -0.699 b= a: 23.5 31 51.3 -0.699 -0.699 b: -0.699

|       | RAINFALL  | TOTAL  | MAX. F  | RATE OF | VOLUME   | VOLUME |                       |
|-------|-----------|--------|---------|---------|----------|--------|-----------------------|
| TIME  | INTENSITY | VOLUME | INFLOW  | RELEASE | RELEASED | STORED |                       |
| [hrs] | [mm/hr]   | [m^3]  | [m^3/s] | [m^3/s] | [m^3]    | [m^3]  |                       |
| 0.083 | 133.9     | 106    | 0.355   | 0.0942  | 28       | 78     | ←Max Storage required |
| 0.167 | 82.1      | 131    | 0.218   | 0.0942  | 57       | 74     |                       |
| 0.333 | 50.7      | 162    | 0.135   | 0.0942  | 113      | 49     |                       |
| 0.50  | 38.1      | 182    | 0.101   | 0.0942  | 170      | 12     |                       |
| 0.667 | 31.2      | 199    | 0.083   | 0.0942  | 226      | -27    |                       |
| 0.833 | 26.7      | 213    | 0.071   | 0.0942  | 282      | -69    |                       |
| 1     | 23.5      | 225    | 0.063   | 0.0942  | 339      | -114   |                       |
| 1.5   | 17.7      | 254    | 0.047   | 0.0942  | 509      | -255   |                       |
| 2     | 14.5      | 278    | 0.039   | 0.0942  | 678      | -400   |                       |
| 3     | 10.9      | 313    | 0.029   | 0.0942  | 1017     | -704   |                       |
| 4     | 8.9       | 341    | 0.024   | 0.0942  | 1356     | -1015  |                       |
| 8     | 5.5       | 421    | 0.015   | 0.0942  | 2713     | -2292  |                       |
| 12    | 4.1       | 471    | 0.011   | 0.0942  | 4069     | -3598  |                       |
| 18    | 3.1       | 534    | 0.008   | 0.0942  | 6104     | -5570  |                       |
| 24    | 2.5       | 575    | 0.007   | 0.0942  | 8139     | -7564  |                       |



Cyril J. Demeyere Limited P.O. Box 606, 261 Broadway Tillsonburg, Ontario. N4G 4J1 Tel: 519-688-1000 866-302-9886 Fax: 519-842-3235 cjdleng@oxford.net

22096 07/Jun/2023

# POST-DEVELOPMENT FLOW CALCULATIONS POST- RAINFALL STORAGE CALCULATIONS - 5 YEAR QUANTITY CONTROL

TRIBUTARY AREA = 1.52 Ha

RUNOFF COEF. = 0.63

PRE-DEVELOP. MAX. ALLOWABLE OUTFLOW = 101.1 I/s (2-year pre-development capacity of Cowen Drain - Branch B)

POST DEV. MAX OUTFLOW = 223.2 I/s (UNATTENUATED)

Rainfall Intensity MTO - IDF Curve Lookup

Intensity=a(t+b)-c mm/hr

 a=
 31
 Intensity Factors
 2 year
 5 year
 100 year

 b=
 -0.699
 a:
 23.5
 31
 51.3

 b:
 -0.699
 -0.699
 -0.699

|       | RAINFALL  | TOTAL  | MAX. F  | RATE OF | VOLUME   | VOLUME |
|-------|-----------|--------|---------|---------|----------|--------|
| TIME  | INTENSITY | VOLUME | INFLOW  | RELEASE | RELEASED | STORED |
| [hrs] | [mm/hr]   | [m^3]  | [m^3/s] | [m^3/s] | [m^3]    | [m^3]  |
| 0.083 | 176.6     | 140    | 0.469   | 0.0942  | 28       | 112    |
| 0.167 | 108.3     | 173    | 0.288   | 0.0942  | 57       | 116    |
| 0.333 | 66.9      | 213    | 0.178   | 0.0942  | 113      | 100    |
| 0.50  | 50.3      | 241    | 0.134   | 0.0942  | 170      | 71     |
| 0.667 | 41.1      | 263    | 0.110   | 0.0942  | 112      | 151    |
| 0.833 | 35.2      | 281    | 0.094   | 0.0942  | 282      | -1     |
| 1     | 31.0      | 297    | 0.083   | 0.0942  | 339      | -42    |
| 1.5   | 23.3      | 335    | 0.062   | 0.0942  | 509      | -174   |
| 2     | 19.1      | 366    | 0.051   | 0.0942  | 678      | -312   |
| 3     | 14.4      | 414    | 0.038   | 0.0942  | 1017     | -603   |
| 4     | 11.8      | 452    | 0.031   | 0.0942  | 1356     | -904   |
| 8     | 7.2       | 552    | 0.019   | 0.0942  | 2713     | -2161  |
| 12    | 5.5       | 632    | 0.015   | 0.0942  | 4069     | -3437  |
| 18    | 4.1       | 707    | 0.011   | 0.0942  | 6104     | -5397  |
| 24    | 3.4       | 781    | 0.009   | 0.0942  | 8139     | -7358  |

←Max Storage required



Cyril J. Demeyere Limited P.O. Box 606, 261 Broadway Tillsonburg, Ontario. N4G 4J1 Tel: 519-688-1000 866-302-9886 Fax: 519-842-3235 cjdleng@oxford.net

22096 07/Jun/2023

## POST-DEVELOPMENT FLOW CALCULATIONS POST- RAINFALL STORAGE CALCULATIONS - 100 YEAR QUANTITY CONTROL

TRIBUTARY AREA = 1.52 Ha

RUNOFF COEF. = 0.63

PRE-DEVELOP. MAX. ALLOWABLE OUTFLOW = 101.1 I/s (2-year pre-development capacity of Cowen Drain - Branch B)

POST DEV. MAX OUTFLOW = 614.5 I/s (UNATTENUATED)

Rainfall Intensity

MTO - IDF Curve Lookup

Intensity=a(t+b)-c mm/hr

51.3 a= Intensity Factors 2 year 5 year 100 year -0.699 23.5 31 51.3 b= a: b: -0.699 -0.699 -0.699

|       | RAINFALL  | TOTAL  | MAX. R  | RATE OF | VOLUME   | VOLUME | 1            |
|-------|-----------|--------|---------|---------|----------|--------|--------------|
| TIME  | INTENSITY | VOLUME | INFLOW  | RELEASE | RELEASED | STORED |              |
| [hrs] | [mm/hr]   | [m^3]  | [m^3/s] | [m^3/s] | [m^3]    | [m^3]  |              |
| 0.083 | 292.2     | 232    | 0.776   | 0.0977  | 29       | 203    | 1            |
| 0.167 | 179.2     | 287    | 0.477   | 0.0977  | 59       | 228    |              |
| 0.333 | 110.6     | 353    | 0.294   | 0.0977  | 117      | 236    | <b>←</b> Ma: |
| 0.50  | 83.3      | 399    | 0.222   | 0.0977  | 176      | 223    |              |
| 0.667 | 68.1      | 435    | 0.181   | 0.0977  | 235      | 200    |              |
| 0.833 | 58.3      | 465    | 0.155   | 0.0977  | 293      | 172    |              |
| 1     | 51.3      | 491    | 0.136   | 0.0977  | 352      | 139    |              |
| 1.5   | 38.6      | 554    | 0.103   | 0.0977  | 528      | 26     |              |
| 2     | 31.6      | 605    | 0.084   | 0.0977  | 703      | -98    |              |
| 3     | 23.8      | 684    | 0.063   | 0.0977  | 1055     | -371   |              |
| 4     | 19.5      | 747    | 0.052   | 0.0977  | 1407     | -660   |              |
| 8     | 12.0      | 919    | 0.032   | 0.0977  | 2814     | -1895  |              |
| 12    | 9.0       | 1034   | 0.024   | 0.0977  | 4221     | -3187  |              |
| 18    | 6.8       | 1172   | 0.018   | 0.0977  | 6331     | -5159  |              |
| 24    | 5.6       | 1287   | 0.015   | 0.0977  | 8441     | -7154  |              |

←Max Storage required



Cyril J. Demeyere Limited P.O. Box 606, 261 Broadway Tillsonburg, Ontario. N4G 431 Tel: 519-688-1000 866-302-9886 Fax: 519-842-3235

22096 07/Jun/2023

#### QUANTITY CONTROL REQUIREMENTS: 5-YR STORM

| ORIFICE F    | PLATE DI1 |                                     | ORIFICE PLATE | EX CB4 |                                     |
|--------------|-----------|-------------------------------------|---------------|--------|-------------------------------------|
| Q=CA v(2gH1) |           | d = v((4Q/(3.14C(v(2gH1)))          | Q=CA √(2gH1)  |        | d = v((4Q/(3.14C(v(2gH1)))          |
| H1 = E1-E2   |           |                                     | H1 = E1-E2    |        |                                     |
| E1=          | 239.67    | MAXIMUM PONDING ELEVATION (5YR STM) | E1=           | 239.67 | MAXIMUM PONDING ELEVATION (5YR STM) |
| E2 =         | 238.60    | CENTERLINE OF ORFICE OUTLET         | E2 =          | 238.65 | CENTERLINE OF ORFICE OUTLET         |
| H1 =         | 1.07      | m                                   | H1 =          | 1.02   | m                                   |
|              |           |                                     |               |        |                                     |
| C =          | 0.63      |                                     | C =           | 0.63   |                                     |
| q =          | 9.81      | GRAVITATIONAL CONSTANT              | g =           | 9.81   | GRAVITATIONAL CONSTANT              |
| •            |           |                                     |               |        |                                     |
| d=           | 0.145     | USE DIAMETER OF ORFICE (m)          | d=            | 0.145  | USE DIAMETER OF ORFICE (m)          |
|              |           | . ,                                 |               |        | . ,                                 |
| Q=           | 0.0477    | m <sup>3</sup> /s (Orifice)         | O=            | 0.0465 | m <sup>3</sup> /s (Orifice)         |
| Q=           | 0.0477    | III /3 (Office)                     | Q=            | 0.0403 | III /3 (Office)                     |
|              |           |                                     |               |        | i e                                 |
|              |           |                                     | Q Total=      | 0.0942 | m³/s (Total)                        |

#### OUANTITY CONTROL REQUIREMENTS: 100-YR STORM

| QUANTITY          | CONTROL R | EQUIREMENTS: 100-YR STORM   |                      |        |                             |
|-------------------|-----------|-----------------------------|----------------------|--------|-----------------------------|
| ORIFICE PLATE DI1 |           |                             | ORIFICE PLATE        | EX CB4 |                             |
| Q=CA v(2gH1       | )         | d = v((4Q/(3.14C(v(2gH1)))  | Q=CA <b>v</b> (2gH1) |        | d = v((4Q/(3.14C(v(2gH1)))  |
| H1 = E1-E2        |           |                             | H1 = E1-E2           |        |                             |
| E1=               | 239.75    | MAXIMUM PONDING ELEVATION   | E1=                  | 239.75 | MAXIMUM PONDING ELEVATION   |
| E2 =              | 238.60    | CENTERLINE OF ORFICE OUTLET | E2 =                 | 238.65 | CENTERLINE OF ORFICE OUTLET |
| H1 =              | 1.15      | m                           | H1 =                 | 1.10   | m                           |
| C =               | 0.63      | CONSTANT                    | C =                  | 0.63   | CONSTANT                    |
| g =               | 9.81      | GRAVITATIONAL CONSTANT      | g =                  | 9.81   | GRAVITATIONAL CONSTANT      |
| d=                | 0.145     | USE DIAMETER OF ORFICE (m)  | d=                   | 0.145  | USE DIAMETER OF ORFICE (m)  |
| Q=                | 0.0494    | m <sup>3</sup> /s (Orifice) | Q=                   | 0.0483 | m <sup>3</sup> /s (Orifice) |
|                   |           |                             | Q=                   | 0.0977 | m³/s (Total)                |

## **APPENDIX 'B'**

Fire Protection



PROJECT No. 22096

DATE: 7-Jun-23
DESIGN BY: ZDR
CHECKED BY: PJP

#### **ONTARIO BUILDING CODE FIRE DEMAND CALCULATIONS**

| INSERT PROJECT NAME AND FIRE FLOW L   | OCATION  |                |  |  |  |  |  |  |
|---|--|----------------|--|--|--|--|--|--|
| Average Floor Area  | 745.0  | m²             |  |  |  |  |  |  |
| No.Storeys  | 1  | ]              |  |  |  |  |  |  |
| Building Height   | Building Height 7.72 m (Height to Underside of Roof Peak) (OBC Section 3/ Norfolk County Building Height Definition) |                |  |  |  |  |  |  |
| Sprinkler System?   | No   | ]              |  |  |  |  |  |  |
| Building Class  | F2   | ]              |  |  |  |  |  |  |
| Fire Resistance/Separation  | 1.0  | h              |  |  |  |  |  |  |
| Construction Type Building is of noncombustible construction with fire separations and fire-resistance ratings provided in accordance with Subsection 3.2.2. of the OBC, including loadbearing walls, columns and arches. |  |                |  |  |  |  |  |  |
| κ   | 17   | ]              |  |  |  |  |  |  |
| <b>Building Volume</b>  | 5376.37  | m <sup>3</sup> | Calculated using ((Wall Height + 1/2 peak Height) * Floor Area)                |  |  |  |  |  |
| S <sub>FRONT</sub>  | 0.0  |                | (Distance = 48.00 m, Figure 1:Spatial Separation) (OFM TG-03-1999 Section 6.3) |  |  |  |  |  |
| S <sub>LEFT</sub>   | 0.0  |                | (Distance = 29.00 m, Figure 1:Spatial Separation) (OFM TG-03-1999 Section 6.3) |  |  |  |  |  |
| S <sub>RIGHT</sub>  | 0.0  |                | (Distance = 29.00 m, Figure 1:Spatial Separation) (OFM TG-03-1999 Section 6.3) |  |  |  |  |  |
| S <sub>REAR</sub>   | 0.0  |                | (Distance = 72.00 m, Figure 1:Spatial Separation) (OFM TG-03-1999 Section 6.3) |  |  |  |  |  |
| S <sub>SUM</sub>  | 0.0  |                |  |  |  |  |  |  |
| S <sub>TOT</sub>  | 1.0  |                | $(S_{TOT} = 1 + S_{SUM})$ (OFM TG-03-1999 Section 6.3)                         |  |  |  |  |  |
| Q   | 91398.2<br>91.4  | L<br>m3        | (Q = K*Volume*S <sub>TOT</sub> ) (OFM TG-03-1999 Section 6.3)                  |  |  |  |  |  |
| REQUIRED FIRE FLOW  | 2700   | L/min          | (Table 2 - OFM TG-03-1999 Section 6.3)   |  |  |  |  |  |
| REQUIRED FIRE FLOW  | 45   | L/s            |  |  |  |  |  |  |

| No. | REVISION | BY | DATE |
|-----|----------|----|------|

## **APPENDIX 'C'**

**Detailed Design Drawings** 



#### CYRIL J. DEMEYERE LIMITED

Peter J. Penner, P. Eng. Deren Lyle, P. Eng.

John D. Wiebe, P. Eng. | Andrew Gilvesy, P. Eng.

261 Broadway, P.O. Box 460, Tillsonburg, ON N4G 4H8 T: 519-688-1000 F: 519-842-3235

www.cjdleng.com

#### **MEMORANDUM**

22096

TO: MOHAMMAD ALAM, SUPERVISOR, DEVELOPMENT PLANNING, NORFOLK COUNTY

HANNELORE YAGER, PLANNER, NORFOLK COUNTY

FROM: TREVOR BENJAMINS, CPT, PLANNER

BARBARA ROSSER, RPP, MCIP, PLANNING CONSULTANT

DATE: **25 SEPTEMBER 2023** 

RE: MECP D-SERIES ANALYSIS, DUST, NOISE AND/OR VIBRATION STUDY REVIEW

ENTEC TRUCKING SITE PLAN, NORFOLK COUNTY ROAD 13, COURTLAND

**NORFOLK COUNTY** 

CJDL has reviewed the applicable Ministry of the Environment, Conservation and Parks (MECP) D-Series land use compatibility guidelines requirement set out by Norfolk County for the submission of a Site Plan Control Application for a truck terminal facility located on Norfolk County Road 13, Courtland, Ontario in the County of Norfolk (the "subject property") as shown on the enclosed Key Map (pre-consultation meeting minutes 27 July 2022). The property currently has no municipal address. CJDL has also reviewed the applicable regulations for a noise, dust and/or vibration study requirement set by Norfolk County planning staff. The purpose of this memorandum is to review these requirements and the D-Series quidelines with the conclusion that any further review of the D-Series Guidelines or further analysis of noise, dust and/or vibration is not warranted based on the research outlined within this memorandum.

The subject property is designated in the Norfolk County Official Plan ("OP") as Protected Industrial on OP Schedule B-20 and zoned as a General Industrial (MG) Zone in the Norfolk County Zoning Bylaw 1-Z-2014 ("ZB") Schedule A-17 (see enclosures). The Protected Industrial designation permits a wide range of Industrial uses including but not limited to trucking and transportation terminals in OP Section 7.12.1 a) iii). The MG zone also permits a wide range of Industrial uses including a truck terminal as long as it is not on Schedule 14.359.1 as Part 1, which the subject property is not (ZB Section 14.359 k)). Therefore, the proposed ENTEC Site Plan Application conforms and complies with the OP and ZB respectively.

The applicable D-series guidelines for this truck terminal facility would be the D-6 Compatibility between Industrial Facilities. The objective of the D-6 guidelines is to prevent or minimize future land use problems due to the encroachment of sensitive land uses (residential, in this case single detached dwellings) and Industrial land uses (ENTEC Site). The D-6 quidelines indicate that Major Facilities can be identified as either a Class 1, 2 or 3 Industrial Facility based on the levels of noise, dust, odour, vibration and probability of fugitive emission on site. The recommendations for setbacks for the classes are as follows: Class 1 – 20 metres, Class 2 – 70 metres and Class 3 -300 metres (D-6 Guidelines Section 4.3).



The proposed truck terminal and storage would most likely be considered a Class 1 Major Facility as most of the service operations on the trucks would take place during regular business hours as opposed to at night which is a main determining factor in classing Class 2 Major Facilities.

The subject property is currently +/- 107 metres away (measured property line to property line) from the Residential designated land northwest of the subject property. It is also over +/- 450 metres away from the Residential designation south of the subject property beyond the Main Street of Courtland. Therefore, even if the truck terminal facility was identified as a Class 2 Industrial it would still exceed the recommended minimum distance separation guidelines (70 metres) between Major Facilities and Sensitive Land Uses that would be developed as Residential based on current planning legislation. This also means that any additional residential land uses that might be proposed in the area would be subject to both an official plan amendment and a zoning bylaw amendment and, therefore subject to its own review of the D-6 guidelines at that time.

As there is <u>no land designated or zoned Residential within the Class 2 setbacks</u>, the proposed use would be compatible under the guidelines with its surrounding Industrial Residential Land Uses and analysis of any dust, noise or odour concerns is not warranted. It should also be noted that current land uses within this Industrial designation and cluster of Industrial uses may already produce more dust, noise and odour and are closer to the areas that are designated Residential.

There is a single detached dwelling located across the road from the proposed truck terminal facility located at 47 Norfolk County Road 13. This property is designated Protected Industrial and Hazard Lands in the OP and zoned as Agricultural and Hazard Lands in the ZB. Although this single detached dwelling could be considered a sensitive land use as it is residential, it is nonconforming and unlikely that any more single detached dwellings could be built on this property without an official plan amendment. Moreover, the D-6 guidelines state that the guidelines do not apply to Agricultural operations, as this property is currently zoned as Agricultural, a review of the D-6 guidelines on this property is unnecessary (D-6 Guidelines Section 1.2.4). This property is also designated as Protected Industrial as mentioned and, therefore, compatible with other Industrial Land use such as the truck terminal facility proposed. It should also be noted that there is a Lonestar Industrial Facility much closer to this single detached dwelling located at 67 Norfolk County Road 13 which has unpaved areas and giving its proximity likely to generate more noise and dust than what is proposed on the ENTEC Site Plan.

It should also be noted that the current use of the subject property is the storage of trucks and trailers in conformity with the ZB and the proposed truck terminal facility would help minimize noise and dust from trucks that already exist on the property. As the truck terminal facility and storage facility are subject to the Site Plan Control process, Norfolk County would have the option to implement any buffering measures considered appropriate.

The truck terminal was previously servicing the majority of its trucks south of the property at 50 Norfolk County Road 13, Courtland (adjacent to the site) which would now happen on site. The servicing and storage of trucks would be the use of the subject property. With regard to the proposed use on the site, it is anticipated that any existing noise, dust, and odour levels there would be the same or improved as some trucks being stored indoors for service, rather than being worked on outside on-site. As a result, CJDL's position is that no further land use compatibility studies for noise, dust, odour, and/or vibration should be required for this file. It should also be noted that the current site is gravel with an entrance off County Road 13 opposite the north limit of the residential property. This driveway is proposed to be removed and a new entrance constructed to the commercial access to the north of ENTEC site, thereby moving the access 60m further north, away from the residence. The service building is also being



constructed with a 48m setback from County Road 13 and the Right-of-Way of Norfolk County Road 13 is also 30 metres wide providing more than adequate buffers for a Class 1 facility. There is also no parking or driveways proposed in the front yard of the proposed truck terminal facility. Parking areas and driveways to the north and south of the new facility will be paved to further mitigate any dust concerns. It should be noted that the Lonestar Major Facility closer to the single detached dwelling parking areas is not paved and since it is also closer it would produce more dust on the single detached dwelling nearby than the proposed ENTEC Site.

Based on the foregoing and in addition to being considered a Class 1 major facility or even Class 2 at most, CJDL believes any further review of the D-Series Guidelines or further analysis of noise, dust and/or vibration is not warranted. Please do not hesitate to contact this office if there are questions or if you wish to discuss.

Trevor Benjamins CPT, Planner OPPI Pre-Candidate Cyril J. Demeyere Limited. Barbara G. Rosser, RPP, MCIP Planning Consultant Associate to Cyril J. Demeyere Limited.

TB/kc

Encl. Key Map

OP Schedule B-20 ZB Schedule A-17



# Key Map

