

ROOF ASSEMBLIES

FLOOR ASSEMBLIES

ASSEMBLY

- 200mm POURED IN PLACE CONCRETE FLOOR
- VAPOUR BARRIER
- R-15 RIGID INSULATION FOR 1200mm FROM PERIMETER OF FOUNDATION


NOTE:
1. REFER TO STRUCTURAL DWGS.

ID TAG	ROOF DESCRIPTION	FRR	STC	ULC	Rsi
F2	POURED IN PLACE CONCRETE FLOOR ON GRADE	-	-	-	R-15

ASSEMBLY

- 13mm GYPSUM WALL BOARD
- SUBSTRATE: REFER TO PLANS

NOTE:
1. ALL SALES / CUSTOMER FACING
AREAS TO HAVE GYPSUM BOARD FINISH



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6. The material contained herein reflects the consultants best judgement in light of the information available to him at the time of preparation. Any use which a third party makes of the contract documents, or any reliance on or decisions to be made based on them are the responsibility of such third parties.
7. The consultant accepts no responsibility for damages, if any, suffered by any party as a result of decisions made or actions based on the contract documents.

Client

Project Name / Address

**51 QUEENSWAY EAST,
SIMCOE ON N3Y 4M5**

Project No: 22071

Drawing Date: 09/10/10

Drawn by: NKS	Checked by: TLS/PG
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Office Location: KITCHENER

Plot Date / Time: 2024-04-18 3:11:44 PM

OBC MATRIX & ASSEMBLIES

ONTARIO ASSOCIATION
OF
ARCHITECTS

P. Graham
PATRICIA GRAHAM
LICENCE
8118

Drawing Scale: As indicated

Status: ISSUED FOR SITE
PLAN APPROVAL

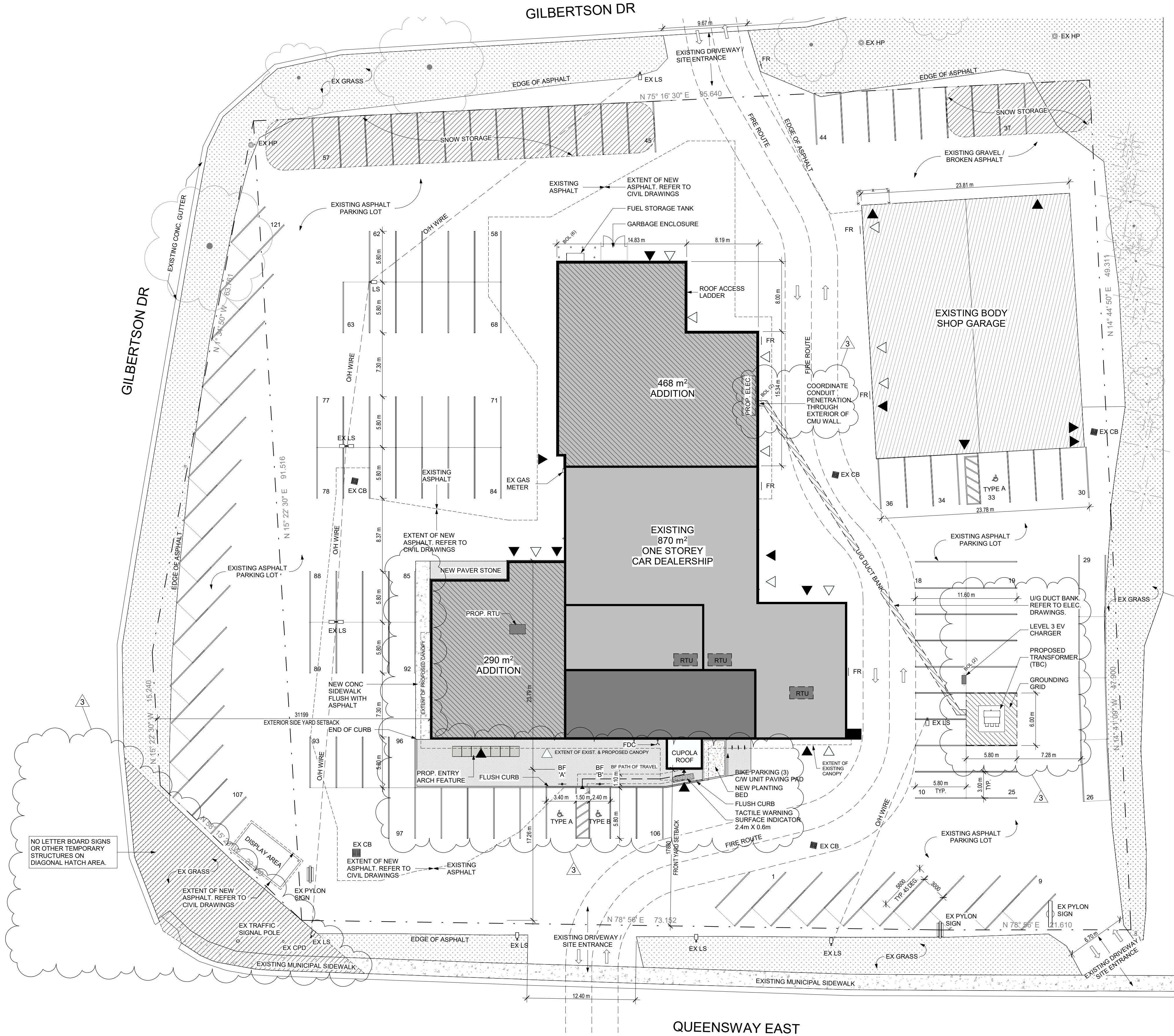
Revision No. **r1**

Drawing No. **A01**

A0.1

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F:\User\stanley SRM\Documents\22071_Robinson Chevvy Simcoe_V4_1stanley@smarchitects.ca.rvt



1 PROPOSED SITE PLAN
1:250



2 KEY PLAN
1:2500

SITE DATA			
51 QUEENSWAY EAST, SIMCOE, ONTARIO			
DATA - DEALERSHIP	REQUIRED	EXISTING	PROVIDED
ZONING	ZONING - CS		
LOT AREA (m²)	495 (m²) MIN.	9798.9 (m²)	
FRONT YARD (m)	3 (m)	17.4 (m)	17.4 (m)
INTERIOR SIDE YARD (m)	3 (m)	29.7 (m)	29.7 (m)
EXTERIOR SIDE YARD (m)	3 (m)	46.4 (m)	31.1 (m)
REAR YARD (m)	9 (m)	26.9 (m)	17.7 (m)

BUILDING DATA - DEALERSHIP (MAIN BUILDING)			
DATA	REQUIRED	EXISTING	PROPOSED
BUILDING AREA (m²)	N/A	870 (m²)	1,630 (m²)
GROSS FLOOR AREA (m²)	N/A	1,110 (m²)	1,850 (m²)
NUMBER OF STOREYS	N/A	1	1
BUILDING HEIGHT (m)	11 (m) MAX.	5.1 (m)	5.1 (m)
COMMERCIAL/RETAIL AREA (m²)	N/A	389 (m²)	807 (m²)
SERVICE AREA (m²)	N/A	611 (m²)	928 (m²)
LOT COVERAGE (%)	35% MAX.	10.2 (%)	16.5 (%)

BUILDING DATA - GARAGE (BUILDING ON NORTH-EAST CORNER)			
DATA	REQUIRED	EXISTING	PROPOSED
BUILDING AREA (m²)	N/A	691.5 (m²)	N/A
GROSS FLOOR AREA (m²)	N/A	691.5 (m²)	N/A
NUMBER OF STOREYS	N/A	1	N/A
BUILDING HEIGHT (m)	11 (m) MAX.	5.1 (m)	N/A
SERVICE AREA (m²)	N/A	691.5 (m²)	N/A
LOT COVERAGE (%)	35% MAX.	7 (%)	N/A

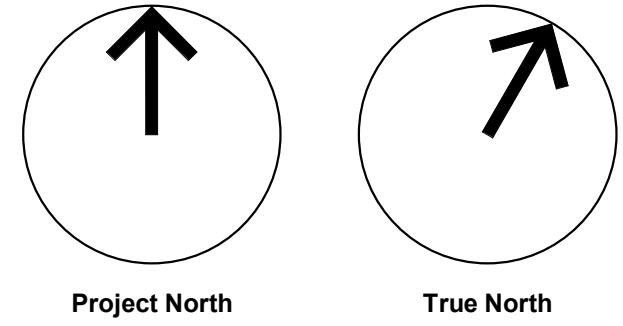
LANDSCAPING DATA			
DATA	REQUIRED	EXISTING	PROVIDED
LANDSCAPE AREA (percentage)	N/A	2.3 (%)	4.0 (%)
LANDSCAPE AREA (m²)	N/A	227.5 (m²)	395 (m²)

VEHICLE PARKING DATA			
DATA	REQUIRED	EXISTING	PROVIDED
NON-RESIDENTIAL USE PARKING (DEALERSHIP)	1 SPACE/35m² = 46	110	120
NON-RESIDENTIAL USE PARKING (GARAGE)	1 SPACE/35m² = 20	20	120
BARRIER FREE PARKING (DEALERSHIP) 1 x 'A' 1 x 'B'	2	0	2
BARRIER FREE PARKING (GARAGE) 1 x 'A'	1	0	1
TOTAL	1 SPACE/35m² = 46	130	121

BICYCLE PARKING DATA			
DATA	REQUIRED	EXISTING	PROVIDED
COMMERCIAL BICYCLE PARKING	N/A	N/A	N/A
TOTAL	N/A	N/A	N/A

SITE PLAN LEGEND

- - - Property Line
- - - Building Setback
- - - Entrance / Exit
- - - Fire Route Sign
- - - Barrier Free Parking Sign
- - - 'A' Stall type A
- - - 'B' Stall type B
- - - Pole mounted sign
- - - Light Standard (Existing)
- - - Painted Directional Arrow
- - - Catch Basin (Existing)
- - - Fire Department Connection
- - - Existing Hydro Pole
- - - Existing Cable/Telephone Pedestal
- - - 'Bollard' (number of bollards)



GENERAL NOTES

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No.	Date	Revision
3	2024-04-18	Re-issued for Site Plan Approval
2	2023-12-22	Issued for Site Plan Approval
1	2022-09-27	Issued for Pre-Consultation

Client:

Project Name / Address:

51 QUEENSWAY EAST,
SIMCOE ON N3Y 4M5

SRM ⁺ architects+ urban+designers	Project No:	22071
	Drawing Date:	2023-11-27
	Drawn by:	NKS
	Checked by:	TLS/PG
	Office Location:	KITCHENER
Plot Date / Time:		
2024-04-18 3:11:51 PM		

PROPOSED SITE PLAN

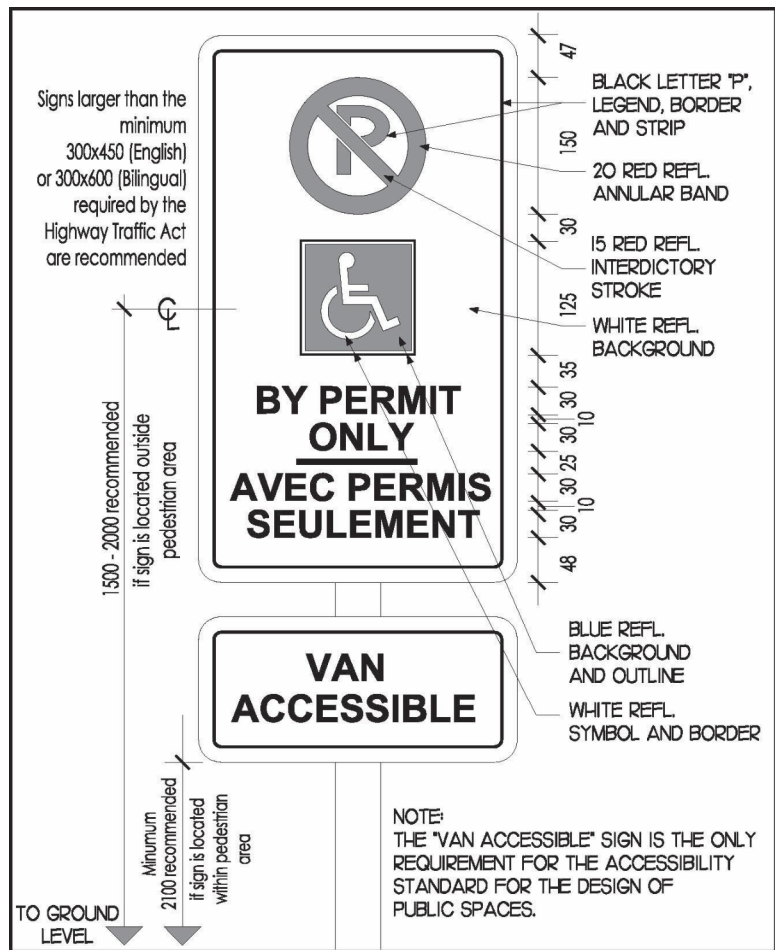
ONTARIO ASSOCIATION OF ARCHITECTS PATRICIA GRAY LICENCE 8118	Drawing Scale:	As indicated
	Status:	ISSUED FOR SITE PLAN APPROVAL
	Revision No.:	r3
	Drawing No.:	
		A1.2



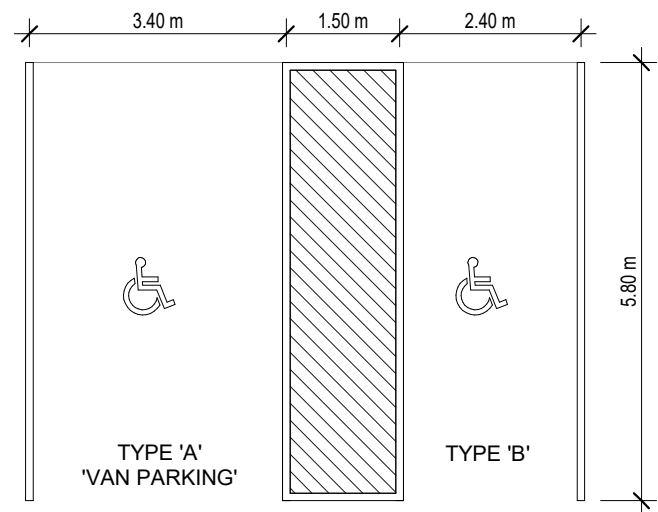
5 EXISTING HYDRANT
1:1



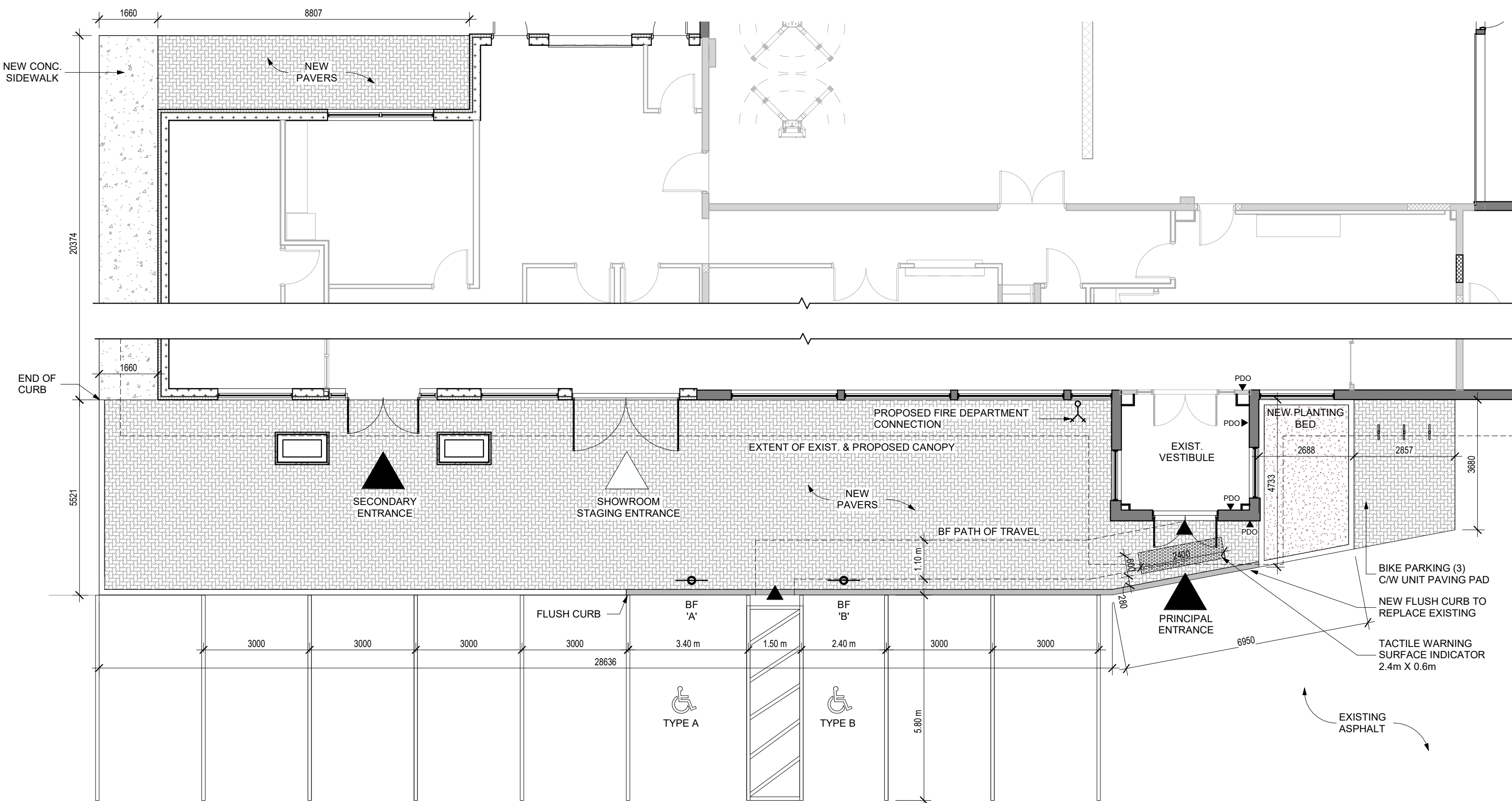
4 SITE - FIRE ROUTE SIGN
1:1



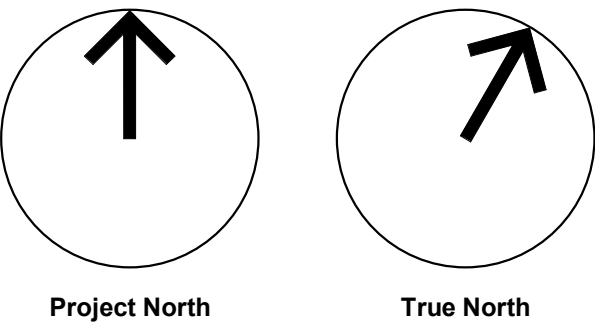
3 SITE - BF PARKING SIGN
1:1



2 BARRIER FREE PARKING STALLS
1:100



1 PUBLIC ENTRANCE & B.F. PARKING
1:100



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3	2024-04-18	Re-issued for Site Plan Approval
2	2023-12-22	Issued for Site Plan Approval
1	2022-09-27	Issued for Pre-Consultation
No.	Date	Revision

Client:

Project Name / Address:

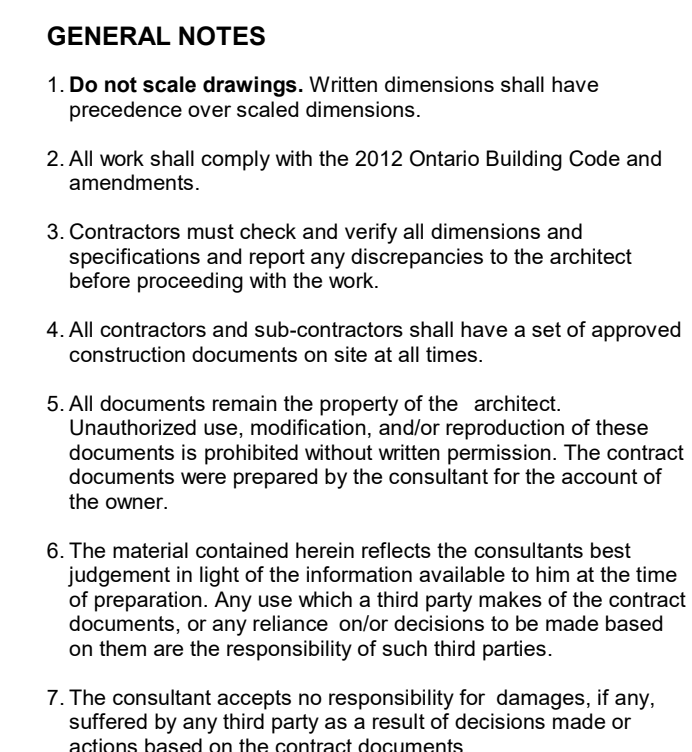
51 QUEENSWAY EAST,
SIMCOE ON N3Y 4M5

Project No:	22071
Drawing Date:	12/18/23
Drawn by:	NKS
Checked by:	TLS/PG
Office Location:	KITCHENER
Plot Date / Time:	2024-04-18 3:11:52 PM

Drawing Name:

SITE DETAILS


Ontario Association of Architects	Drawing Scale:	As indicated
OF ARCHITECTS	Status:	ISSUED FOR SITE PLAN APPROVAL
PATRICIA CHALKIN	Revision No.:	r3
LICENCE 8118	Drawing No.:	A1.3



Client: _____

Project Name / Address: _____

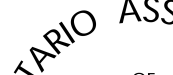
**51 QUEENSWAY EAST,
SIMCOE ON N3Y 4M5**

SRM 
architects+
urban*designers

Drawing Date: 2023-11-27
Drawn by: NKS
Checked by: TLS/PG
Office Location: KITCHENER

Drawing Name:

**PROPOSED FLOOR
PLANS**


 Drawing Scale: 1 : 12
 Status: ISSUED FOR SITE PLAN APPROVAL
 Revision No.: r4
 Drawing No.: A23



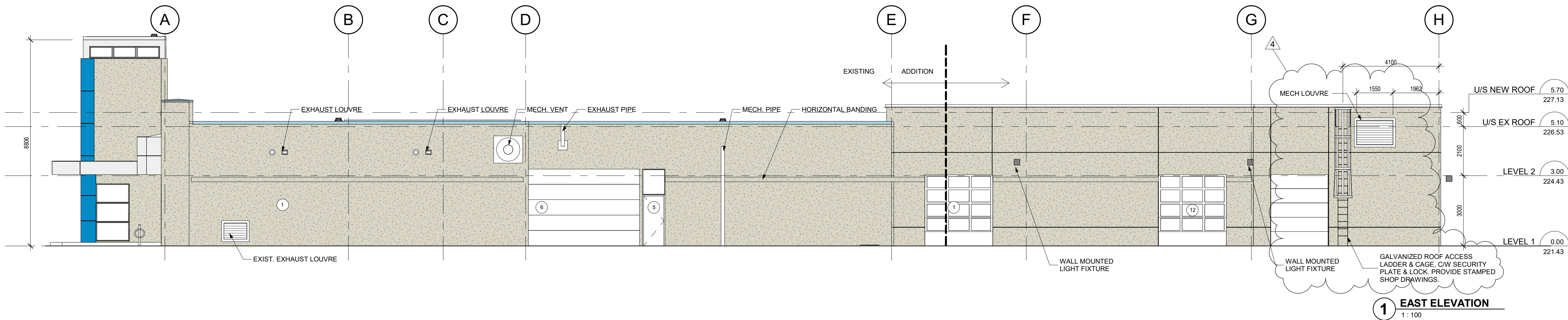
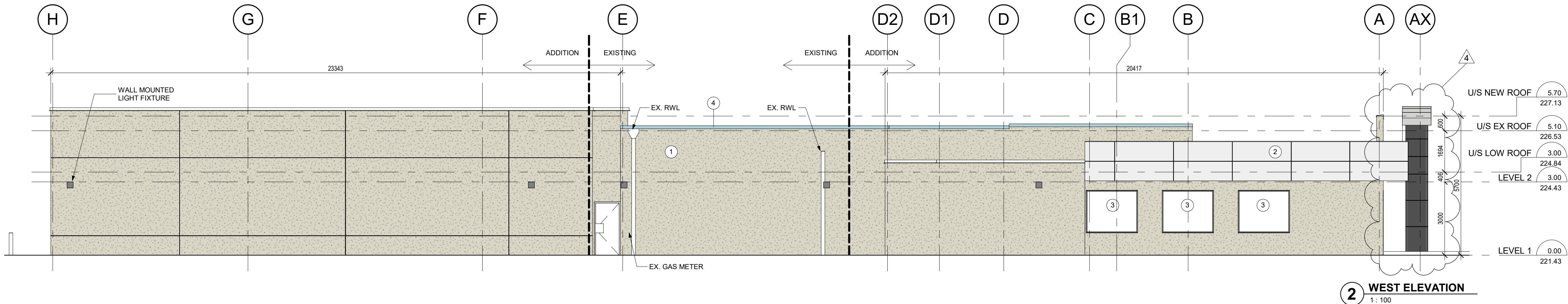
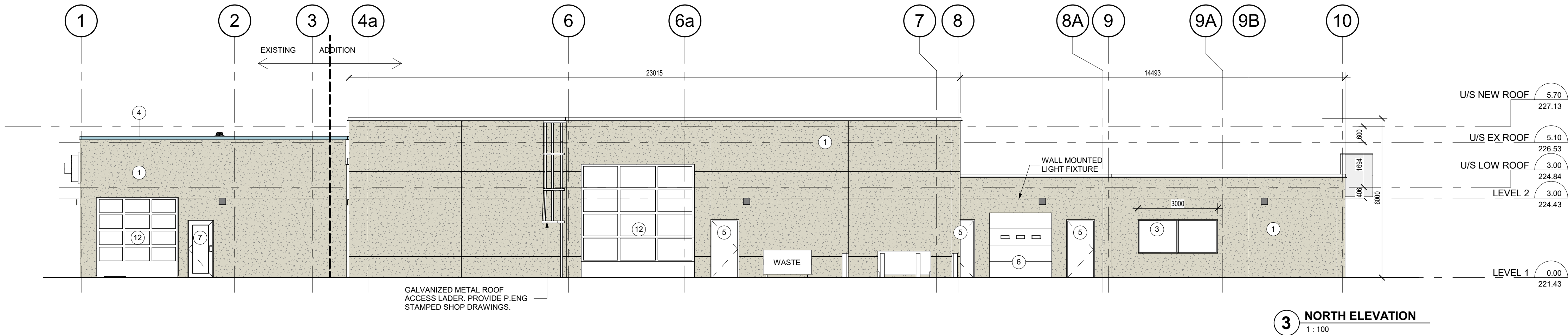
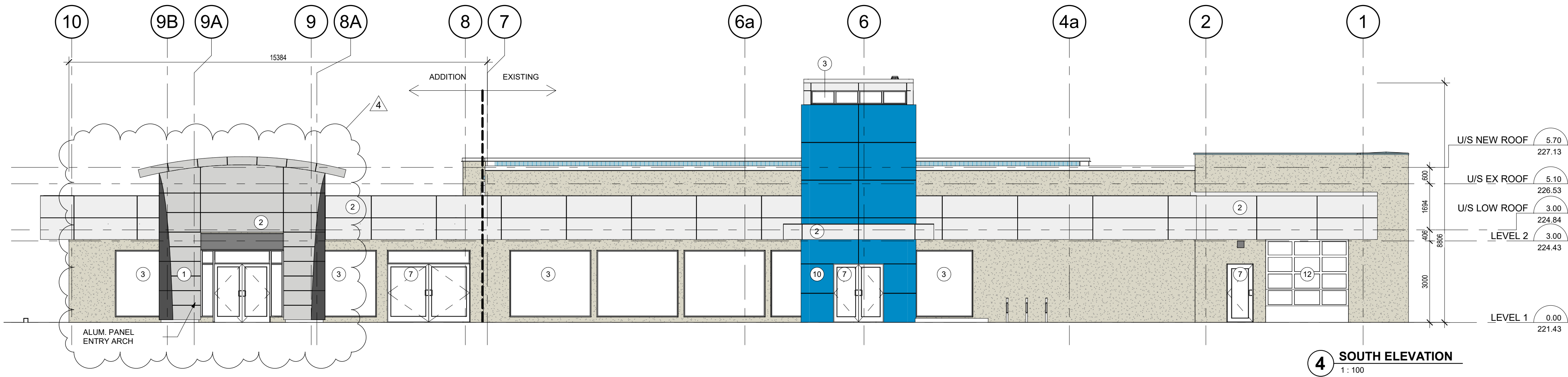
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F:\User\stanley SRM\Documents\22071_Robinson Chevy Simcoe_V4_Stanley@smarchitects.ca.rvt

MATERIAL LEGEND

- 1 STUCCO SIDING
COLOUR: LIGHT BEIGE
- 2 ALUMINUM COMPOSITE MATERIAL SIDING
COLOUR: BSX SILVER METALLIC
- 3 ALUMINUM FRAMED GLAZING SYSTEM (THERMALLY BROKEN)
- 4 PREFINISHED METAL FLASHING: COLOUR TO MATCH EXISTING
- 5 HOLLOW METAL DOOR & FRAME
- 6 INSULATED OVERHEAD DOOR
- 7 ALUMINUM & GLASS ENTRY SYSTEM (THERMALLY BROKEN)
- 8 CONCRETE MASONRY UNIT
- 9 ALUMINUM COMPOSITE MATERIAL SIDING
COLOUR: BLUE
- 10 BRICK VENEER
COLOUR: BEIGE
- 11 GLASS OVERHEAD DOOR
- 12



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4	2024-04-18	Re-issued for Site Plan Approval
3	2024-02-06	Issued for coordination
2	2023-12-22	Issued for Site Plan Approval
1	2022-09-27	Issued for Pre-Consultation

No.	Date	Revision
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Client:

Project Name / Address:

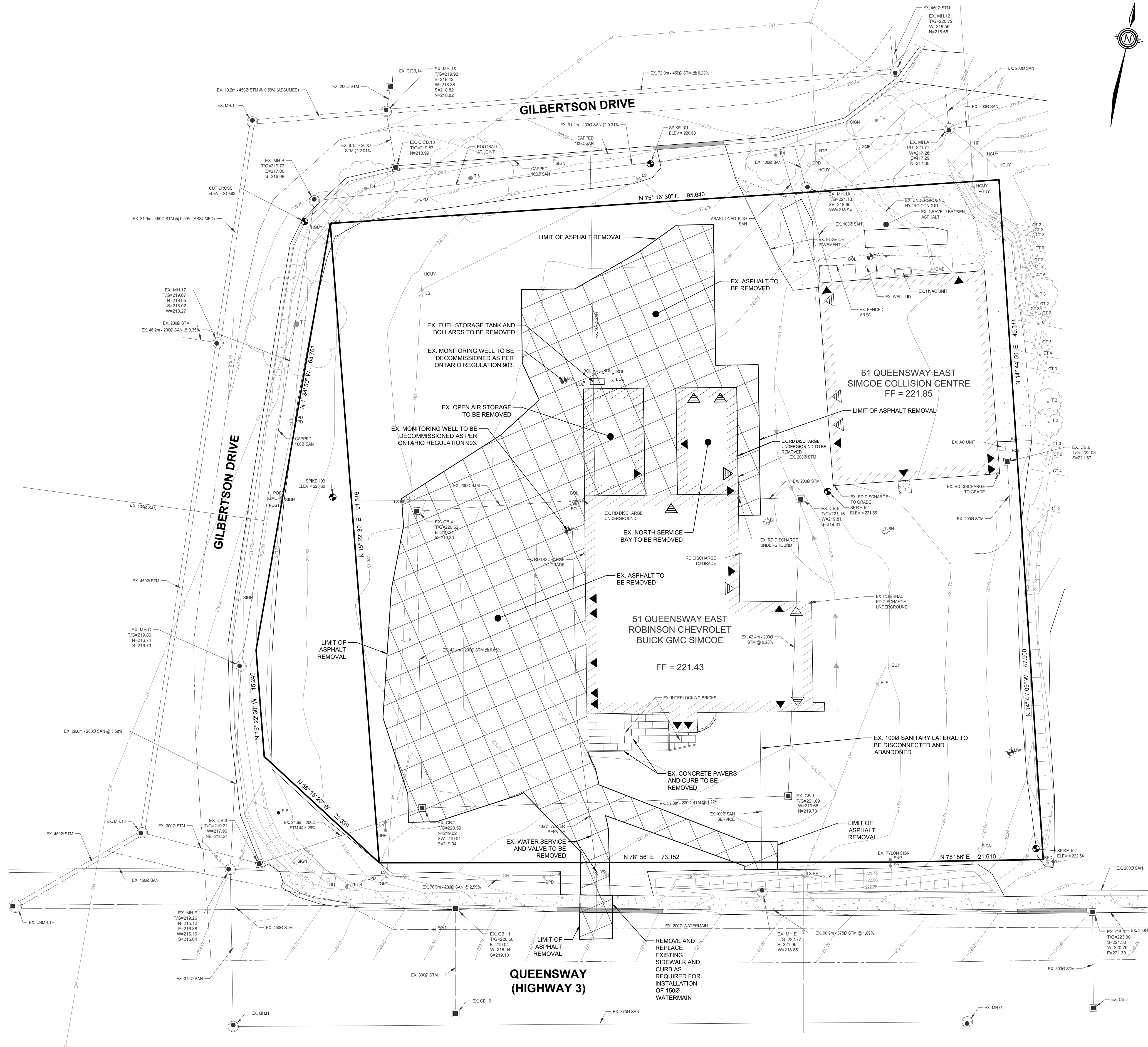
51 QUEENSWAY EAST,
SIMCOE ON N3Y 4M5

Project No:	22071
Drawing Date:	2023-11-27
Drawn by:	NKS
Office Location:	KITCHENER
Plot Date / Time:	2024-04-18 3:12:05 PM

ELEVATIONS

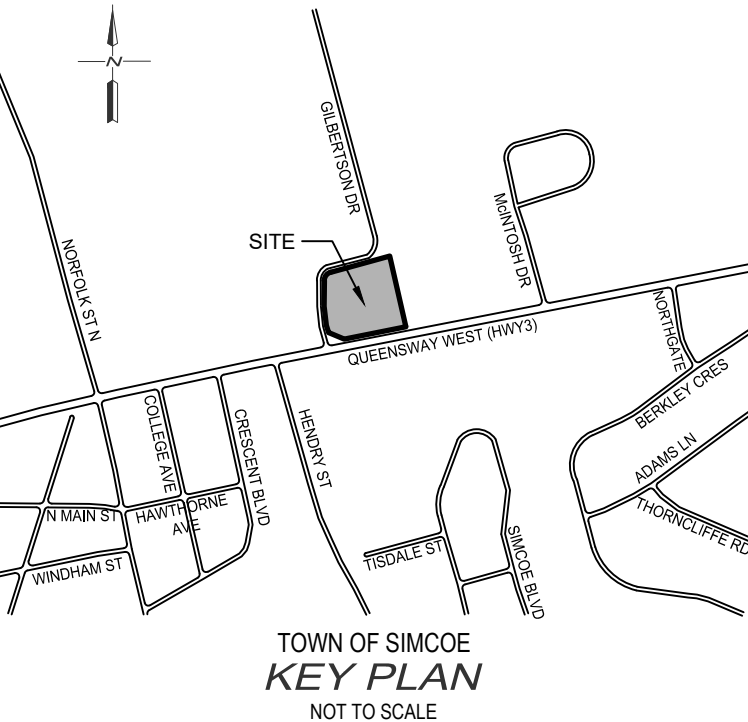
Drawing Scale:	As indicated
Status:	ISSUED FOR SITE PLAN APPROVAL
Revision No.:	r4
Drawing No.:	A3.1

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PLotted By: SagarDatta, 11/19/2024 4:28:18 PM

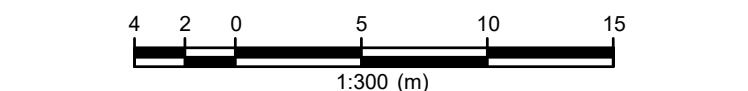


LEGEND

	PROPERTY LINE
	EX. SANITARY SEWER
	EX. STORM SEWER
	EX. WATERMAIN
	EX. DITCH
	EX. BELL LINE
	EX. GAS LINE
	EX. OVERHEAD HYDRO LINES
	EX. UNDERGROUND HYDRO LINES
	EX. FENCE LINE
	EX. CONTOURS
	EX. CATCH BASIN
	EX. FIRE HYDRANT
	EX. LIGHT STANDARD
	HEDGE
	CONIFEROUS/DECIDUOUS TREES



- NOTES :**
1. TOPOGRAPHIC AND EXISTING FEATURE SURVEY COMPLETED BY GM BLUEPLAN ENGINEERING ON MAY 5, 2022.
 2. EXISTING INFRASTRUCTURE INVERT WHERE SURVEYED BY GM BLUEPLAN ENGINEERING ON MAY 5, 2022.
 3. MISSING EXISTING INFRASTRUCTURE INFORMATION WAS TAKEN FROM RECORD DRAWING NUMBER S-380 DATED MAY, 1978 PROVIDED BY NORFOLK COUNTY.
 4. PROPOSED SITE PLAN PROVIDED BY SRM ARCHITECTS AND URBAN DESIGNERS DATED APRIL 19, 2024.
 5. GAS LOCATES DERIVED FROM G-TEL LOCATED RECEIVED APRIL 19, 2024



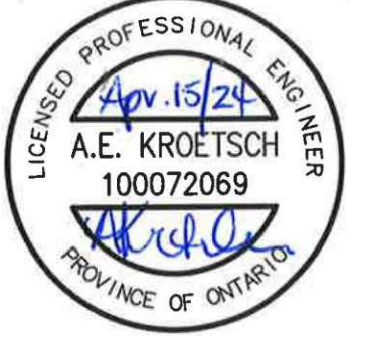
BENCH MARKS :

COSINE BENCHMARK 001972U330
BENCHMARK ELEVATION = 212.380

TOWNSHIP: SIMCOE NORFOLK STREET (HIGHWAY NO. 24)
CONCRETE BRIDGE OVER A CREEK, 0.2 KM NORTH OF JUNCTION OF HIGHWAYS NO. 3 AND NO. 24. TABLET IN SOUTHEAST CONCRETE ABUTMENT, 1.31 M BELOW TOP OF CONCRETE END POST AND 63 CM NORTH OF SOUTH END OF BRIDGE.

THE POSITION OF POLE LINES, CONDUITS, WATERMANS, SEWERS AND OTHER UNDERGROUND AND OVERGROUND UTILITIES AND STRUCTURES IS NOT NECESSARILY SHOWN ON THE CONTRACT DRAWINGS, AND, WHERE SHOWN, THE ACCURACY OF THE POSITION OF SUCH UTILITIES AND STRUCTURES IS NOT GUARANTEED.

BEFORE STARTING WORK, THE CONTRACTOR SHALL INFORM HIMSELF OF THE EXACT LOCATION OF ALL SUCH UTILITIES AND STRUCTURES, AND SHALL ASSUME ALL LIABILITY FOR ANY DAMAGE TO THEM.



NO.	DATE	REVISION DESCRIPTION	CHKD
2.	2024/04/15	REVISED PER COUNTY COMMENTS	A.E.K.
1.	2023/12/21	ISSUED FOR APPROVAL	A.E.K.

BluePlan
ENGINEERING

GUELPH | OWEN SOUND | LISTOWEL | KITCHENER | LONDON | HAMILTON | GTA
330 TRILLIUM DRIVE, UNIT D, KITCHENER, ON N2E 3J2
TEL: 519-748-1440 | www.gblueplan.ca

51 QUEENSWAY EAST
SRM ARCHITECTS AND URBAN DESIGNERS
TOWN OF SIMCOE

EXISTING CONDITIONS PLAN			
DRAWN BY :	APPROVED BY :	PROJECT NO. :	DRAWING NO. :
E.B.	A.E.K.	423025	1
DESIGNED BY :	DATE :	SCALE :	
A.E.K.	DEC 2023	1:300	

GENERAL NOTES

- DRAWINGS ARE NOT TO BE SCALED.
- ALL DIMENSIONS TO BE CHECKED AND VERIFIED ON THE SITE PRIOR TO ANY CONSTRUCTION. ANY DISCREPANCIES ARE TO BE REPORTED TO THE ENGINEER BEFORE PROCEEDING.
- UNLESS OTHERWISE NOTED ON THE DRAWINGS THE STANDARD TOWNSHIP, REGION (OR COUNTY), MTO AND OPSD DRAWINGS AND OPSS ARE TO CONSTITUTE PART OF THIS CONTRACT AND DRAWINGS.
- REFER TO O.B.C. - 2012 STANDARDS AND SPECIFICATIONS AND TOWNSHIP SPECIFICATIONS AND STANDARD DRAWINGS FOR LIST OF APPROVED MANUFACTURERS AND MATERIALS.
- EXISTING STRUCTURES ARE NOT TO BE DISTURBED, NOR ENCR OACH ON ADJACENT PROPERTIES UNLESS INSTRUCTED BY THE ENGINEER.
- THE APPROVAL OF THIS PLAN DOES NOT EXEMPT THE OWNERS CONTRACTOR FROM OBTAINING, BUT NOT LIMITED TO THE FOLLOWING PERMITS, ROAD CUTS, SEWER PERMITS, RELOCATION OF SERVICES, ENCROACHMENT AGREEMENTS, APPROACH APPROVAL PERMITS, ETC.
- PRIOR TO CONSTRUCTION, THE ENGINEER IS TO BE NOTIFIED BY THE OWNER AND THE CONTRACTOR AS TO THE EXTENT OF THE CONSTRUCTION LIMITS THEY PROPOSE. THE TOWNSHIP, BUILDING AND PLUMBING OFFICIALS ARE TO BE NOTIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION.
- THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE SERVICING PLANS, LANDSCAPE PLAN, SITE ELECTRICAL PLANS, AND ANY OTHER PLANS OR DRAWINGS WHICH DEPICT WORKS THAT ARE PROPOSED FOR THIS SITE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRAFFIC CONTROL AND SAFETY MEASURES DURING THE CONSTRUCTION PERIOD, INCLUDING THE SUPPLY, INSTALLATION AND REMOVAL OF ALL NECESSARY SIGNAGE, DELINEATORS, MARKERS AND BARRIERS. ALL SIGNS, ETC. SHALL CONFORM TO THE STANDARDS AND SPECIFICATIONS FOR THE TOWNSHIP AND THE MTO MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES FOR ONTARIO.
- THE CONTRACTOR SHALL ENDEAVOUR TO PREVENT MUD TRACKING ONTO EXISTING RIGHT-OF-WAYS AND SHALL PROVIDE FOR CLEANUP AT HIS OWN EXPENSE AS DIRECTED BY THE TOWNSHIP. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE TO CONTROL DUST ON THE PROJECT AND HE SHALL PROVIDE CONTROLLING MEASURES AS DIRECTED BY THE TOWNSHIP.
- THE CONTRACTOR IS RESPONSIBLE FOR LOCATING AND PROTECTING ALL EXISTING UTILITIES PRIOR TO AND DURING CONSTRUCTION. LOCATION OF EXISTING UTILITIES TO BE VERIFIED IN THE FIELD.
- ALL SERVICES AND/OR UTILITIES LOCATED ON CONCRETE SIDEWALKS OR CURBS TO BE ISOLATED FROM THE SIDEWALK OR CURB AS PER OPSD 310.040.
- ALL SERVICES SHALL BE LOCATED, SUPPORTED AND PROTECTED TO THE SATISFACTION OF THE UTILITY COMPANY DURING THE CONSTRUCTION PERIOD.
- THE CONTRACTOR SHALL RECTIFY ALL DISTURBED AREAS TO ORIGINAL CONDITION OR BETTER AND TO THE SATISFACTION OF THE TOWNSHIP.
- THE CONTRACTOR IS TO OBTAIN, AND PAY FOR ANY NECESSARY PERMITS FOR ANY MUNICIPAL ROAD CUTS FOR THE INSTALLATION OF SANITARY, STORM, AND WATER SERVICE CONNECTIONS, ROAD CUTS TO BE RESTORED AS PER TOWNSHIP SATISFACTION.
- BLASTING WILL NOT BE ALLOWED UNLESS AUTHORIZED BY THE TOWNSHIP.
- ANY UTILITY RELOCATIONS DUE TO THIS DEVELOPMENT TO BE UNDERTAKEN AT THE EXPENSE OF THE OWNER/DEVELOPER.
- ALL DRAWINGS AND SPECIFICATIONS ARE INSTRUMENTS OF SERVICE AND THE PROPERTY OF THE ENGINEER WHICH MUST BE RETURNED AT THE COMPLETION OF WORK.
- DRIVEWAYS SHALL BE SETBACK A MINIMUM CLEARANCE OF 1.0m FROM ALL ABOVEGROUND SERVICES OR OTHER OBSTRUCTIONS.
- ALL CONSTRUCTION WORK IS TO BE CARRIED OUT IN ACCORDANCE WITH THE REQUIREMENTS OF THE OCCUPATIONAL HEALTH AND SAFETY ACT AND REGULATIONS FOR CONSTRUCTION PROJECTS.
- ANY CONFLICTS WITH EXISTING SERVICES SHALL BE RECTIFIED AT THE OWNER'S EXPENSE.

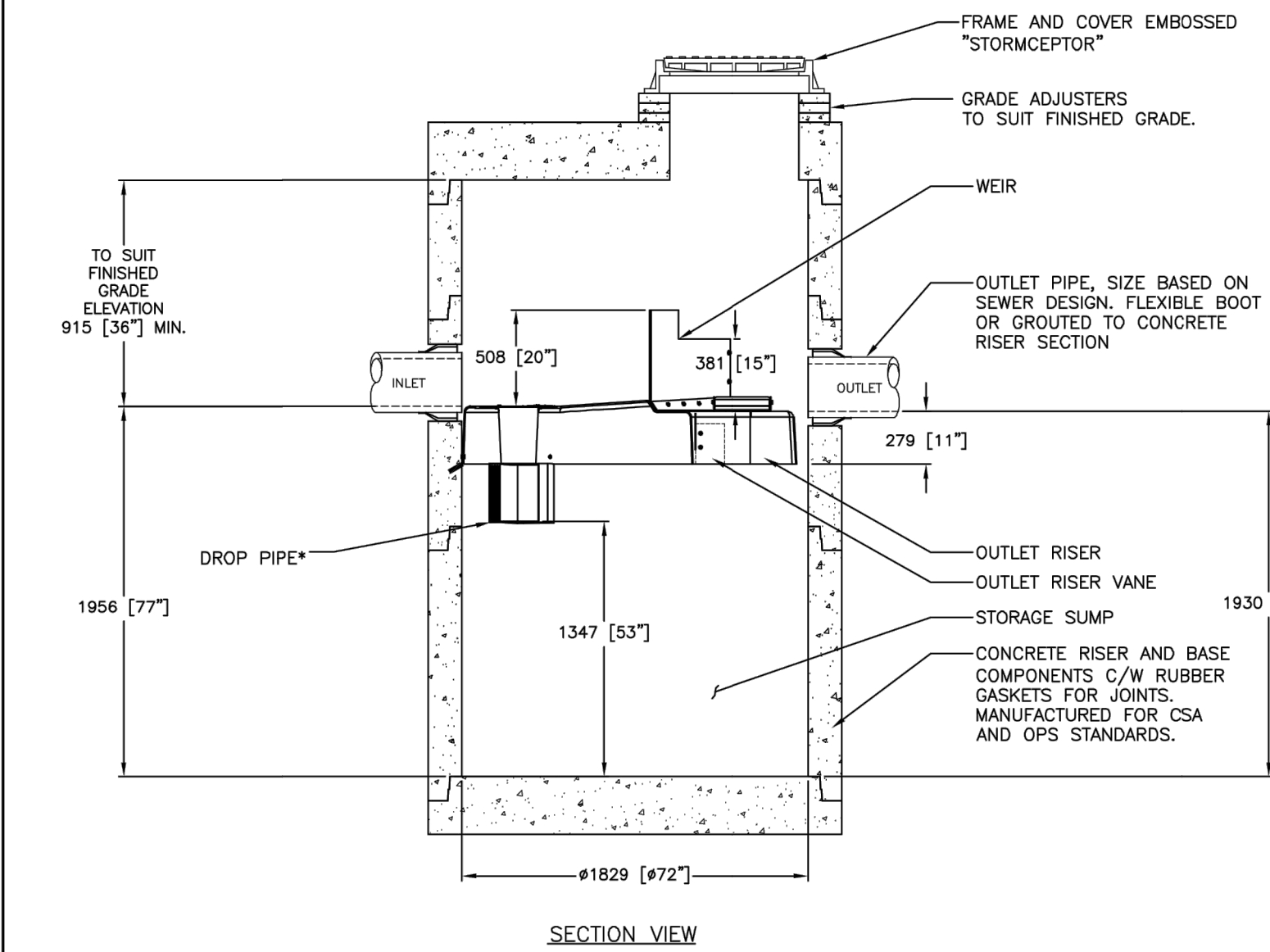
GRADING

- THE GRADING PLAN IS TO BE READ WITH THE SITE SERVICES DRAWINGS.
- CONTRACTOR TO RESTORE AREAS ON PUBLIC R.O.W. OR ADJACENT LANDS THAT HAVE BEEN DISTURBED DURING CONSTRUCTION.
- ALL DRIVEWAY AND GRADING MATERIAL AND CONSTRUCTION METHODS MUST CONFORM TO CURRENT TOWNSHIP STANDARDS AND SPECIFICATIONS.
- ALL FILL WITHIN THE SITE TO BE COMPACTED TO A MIN. OF 98% SH. PROCTOR DRY DENSITY. ALL FILL WITHIN THE SITE PARKING AREA TO BE COMPACTED TO A MIN. OF 95% SPD. THE SUITABILITY OF ALL FILL MATERIALS ARE TO BE CONFIRMED BY A RECOGNIZED SOILS CONSULTANT TO THE DIRECTOR OF PUBLIC WORKS PRIOR TO INSTALLATION OF ANY ROAD BASE MATERIALS.
- LANDSCAPING SHALL NOT ENCR OACH ON BOULEVARD NOR SHALL BOULEVARD GRADES BE ALTERED.
- SILT FENCE(S) TO BE INSTALLED AND MAINTAINED TO PREVENT SILT FLOWING ONTO ADJACENT LANDS. SILTATION CONTROL SHALL BE ERECTED PRIOR TO ANY GRADING OR CONSTRUCTION AND SHALL BE IN GOOD REPAIR THROUGHOUT THE CONSTRUCTION AND GRADING PHASES.
- ANY CHANGES IN GRADES, CATCH BASINS, SERVICES LATERALS, STORM AND SANITARY SEWERS REQUIRE THE APPROVAL OF GM BLUEPLAN ENGINEERING LIMITED.
- THE CONTRACTOR SHALL RECTIFY ALL DISTURBED AREAS TO ORIGINAL CONDITION OR BETTER AND TO THE SATISFACTION OF GM BLUEPLAN ENGINEERING LIMITED.
- ALL LANDSCAPING TO BE INSTALLED AS SOON AS POSSIBLE OR PRIOR TO THE END OF THE FIRST GROWING SEASON. LANDSCAPING TO BE MAINTAINED UNTIL IT IS ESTABLISHED.
- ALL COMPACTION TO BE CERTIFIED BY A GEOTECHNICAL CONSULTANT.
- ALL CURBS ARE TO BE 150mm ABOVE THE PROPOSED GUTTER LINE (GL) UNLESS NOTED OTHERWISE.
- PAVEMENT GRADE SHALL BE MIN. 0.5%, MAX. 8%.
- DRAINAGE SWALE GRADE SHALL BE MIN. 2%, MAX. 6%.
- SLOPES IN LANDSCAPE AREAS AND ON BERMS SHALL NOT EXCEED 3 HORIZONTAL TO 1 VERTICAL, UNLESS NOTED OTHERWISE.

GENERAL TESTING AND INSPECTION NOTES

- TESTING OF ALL SERVICES BY GENERAL CONTRACTOR.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR CONTACTING GM BLUEPLAN ENGINEERING LIMITED FOR THE COMPLETION OF ALL REQUIRED SITE INSPECTIONS.
- ALL STORM SEWERS ARE TO BE MANDREL TESTED PRIOR TO FINAL ACCEPTANCE BY THE ENGINEER. ALL MANDREL TESTING AS PER OPSS 410.
- ALL STORM REQUIRE FIELD INSPECTION BY THE SITE SERVICING ENGINEERING DURING INSTALLATION INSPECTION SERVICES REQUIRE A MINIMUM OF 4 HOURS NOTICE.

DRAWING NOT TO BE USED FOR CONSTRUCTION



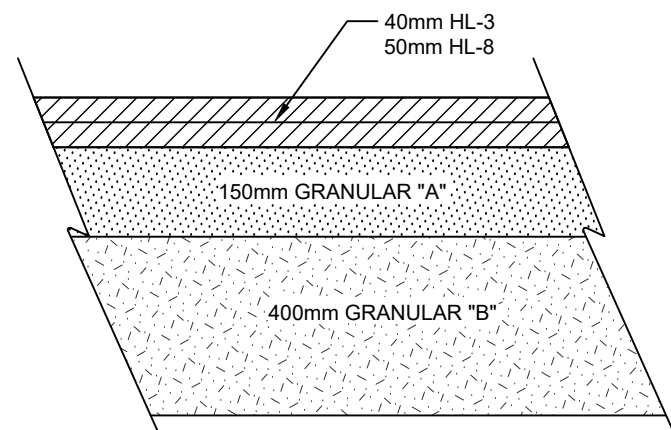
GENERAL NOTES:

- *MAXIMUM SURFACE LOADING RATE (SLR) INTO LOWER CHAMBER THROUGH DROP PIPE IS 1135 L/min/m² (27.9 gpm/ft²) FOR STORMCEPTOR EFB AND 535 L/min/m² (13.1 gpm/ft²) FOR STORMCEPTOR EFO6 (OIL CAPTURE CONFIGURATION).
- ALL DIMENSIONS INDICATED ARE IN MILLIMETERS (INCHES) UNLESS OTHERWISE SPECIFIED.
- STORMCEPTOR STRUCTURE INLET AND OUTLET PIPE SIZE AND ORIENTATION SHOWN FOR INFORMATIONAL PURPOSES ONLY.
- UNLESS OTHERWISE NOTED, BYPASS INFRASTRUCTURE, SUCH AS ALL UPSTREAM DIVERSION STRUCTURES, CONNECTING STRUCTURES, OR PIPE CONDUITS CONNECTING TO COMPLETE THE STORMCEPTOR SYSTEM SHALL BE PROVIDED AND ADDRESSED SEPARATELY.
- DRAWING FOR INFORMATION PURPOSES ONLY. REFER TO ENGINEER'S SITE/UTILITY PLAN FOR STRUCTURE ORIENTATION.
- NO PRODUCT SUBSTITUTIONS SHALL BE ACCEPTED UNLESS SUBMITTED 10 DAYS PRIOR TO PROJECT BID DATE, OR AS DIRECTED BY THE ENGINEER OF RECORD.

INSTALLATION NOTES

- A. ANY SUB-BASE, BACKFILL DEPTH, AND/OR ANTI-FLOTATION PROVISIONS ARE SITE-SPECIFIC DESIGN CONSIDERATIONS AND SHALL BE SPECIFIED BY ENGINEER OF RECORD.
- B. CONTRACTOR TO PROVIDE EQUIPMENT WITH SUFFICIENT LIFTING AND REACH CAPACITY TO LIFT AND SET THE STRUCTURE (LIFTING CLUTCHES PROVIDED).
- C. CONTRACTOR WILL INSTALL AND LEVEL THE STRUCTURE, SEALING THE JOINTS, LINE ENTRY AND EXIT POINTS (NON-SHRINK GROUT WITH APPROVED WATERSTOP OR FLEXIBLE BOOT).
- D. CONTRACTOR TO TAKE APPROPRIATE MEASURES TO PROTECT THE DEVICE FROM CONSTRUCTION-RELATED EROSION RUNOFF.
- E. DEVICE ACTIVATION, BY CONTRACTOR, SHALL OCCUR ONLY AFTER SITE HAS BEEN STABILIZED AND THE STORMCEPTOR UNIT IS CLEAN AND FREE OF DEBRIS.

FOR SITE SPECIFIC DRAWINGS PLEASE CONTACT YOUR LOCAL STORMCEPTOR REPRESENTATIVE. SITE SPECIFIC DRAWINGS ARE BASED ON THE BEST AVAILABLE INFORMATION AT THE TIME. SOME FIELD REVISIONS TO THE SYSTEM LOCATION OR CONNECTION PIPING MAY BE NECESSARY BASED ON AVAILABLE SPACE OR SITE CONFIGURATION REVISIONS. ELEVATIONS SHOULD BE MAINTAINED EXCEPT WHERE NOTED ON BYPASS STRUCTURE (IF REQUIRED).



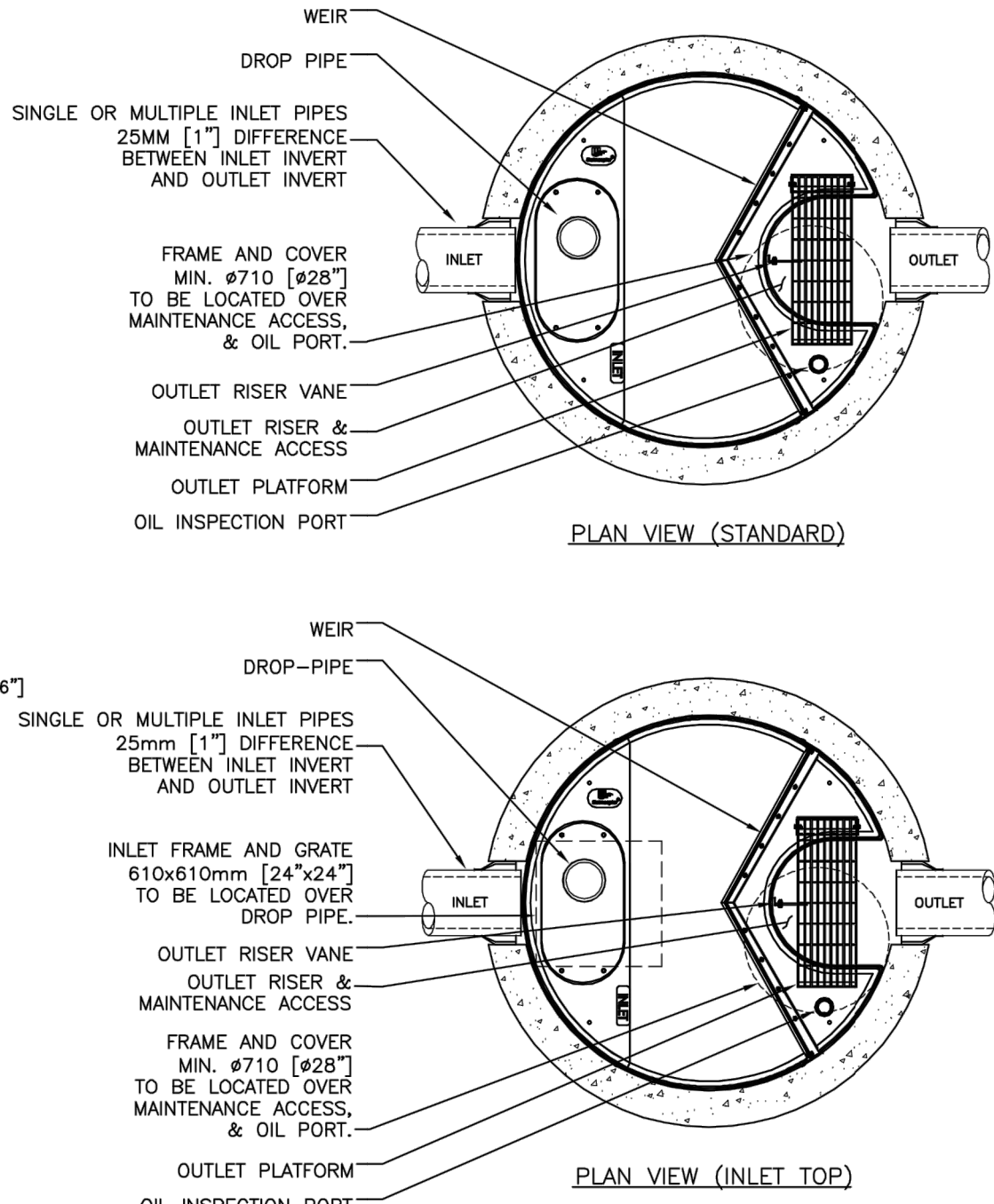
REFER TO COUNTY OF NORFOLK DESIGN CRITERIA SECTION 6.7.01 FOR MINIMUM ASPHALT THICKNESS

ASPHALT PAVEMENT (LIGHT DUTY)

N.T.S.

STANDARD DETAIL

NOT FOR CONSTRUCTION



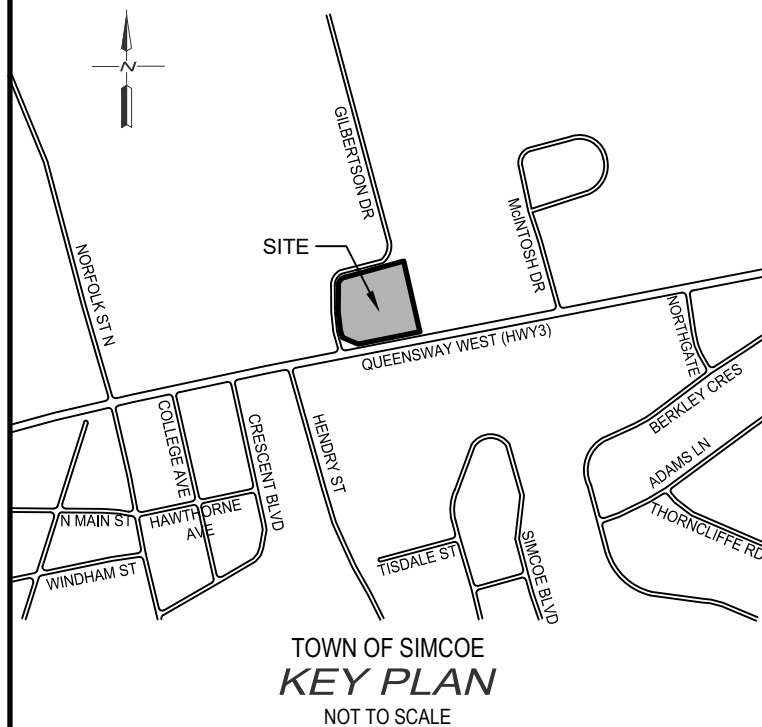
SITE SPECIFIC DATA REQUIREMENTS

STORMCEPTOR MODEL	EF6
STRUCTURE ID	*
WATER QUALITY FLOW RATE (L/s)	*
PEAK FLOW RATE (L/s)	*
RETURN PERIOD OF PEAK FLOW (yrs)	*
DRAINAGE AREA (HA)	*
DRAINAGE AREA IMPERVIOUSNESS (%)	*

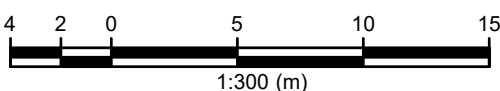
PIPE DATA:	I.E.	MAT'L	DIA	SLOPE %	HGL
INLET #1	*	*	*	*	*
INLET #2	*	*	*	*	*
OUTLET	*	*	*	*	*

* PER ENGINEER OF RECORD

REVISION	DATE	REVISION DESCRIPTION
01	5/28/2017	ISSUED FOR APPROVAL
02	5/28/2017	ISSUED FOR APPROVAL
03	5/28/2017	ISSUED FOR APPROVAL
04	5/28/2017	ISSUED FOR APPROVAL
05	5/28/2017	ISSUED FOR APPROVAL
06	5/28/2017	ISSUED FOR APPROVAL
07	5/28/2017	ISSUED FOR APPROVAL
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98	5/28/2017	ISSUED FOR APPROVAL
99	5/28/2017	ISSUED FOR APPROVAL
100	5/28/2017	ISSUED FOR APPROVAL



- NOTES :
- TOPOGRAPHIC AND EXISTING FEATURE SURVEY COMPLETED BY GM BLUEPLAN ENGINEERING ON MAY 5, 2022.
 - EXISTING INFRASTRUCTURE INVERT WHERE SURVEYED BY GM BLUEPLAN ENGINEERING ON MAY 5, 2022.
 - MISSING EXISTING INFRASTRUCTURE INFORMATION WAS TAKEN FROM RECORD DRAWING NUMBER S-380 DATED MAY, 1978 PROVIDED BY NORFOLK COUNTY.
 - PROPOSED SITE PLAN PROVIDED BY SRM ARCHITECTS AND URBAN DESIGNERS DATED APRIL 19, 2024.
 - GAS LOCATES DERIVED FROM G-TEL LOCATED RECEIVED APRIL 19, 2024



BENCH MARKS :
COSINE BENCHMARK 001972U330
BENCHMARK ELEVATION = 212.380
TOWNSHIP: SIMCOE NORFOLK STREET (HIGHWAY NO. 24)
CONCRETE BRIDGE OVER A CREEK, 0.2 KM NORTH OF JUNCTION OF HIGHWAYS NO. 3 AND NO. 24, TABLET IN SOUTHEAST CONCRETE ABUTMENT, 1.31 M BELOW TOP OF CONCRETE END POST AND 63 CM NORTH OF SOUTH END OF BRIDGE.

THE POSITION OF POLE LINES, CONDUITS, WATERMANS, SEWERS AND OTHER UNDERGROUND AND OVERGROUND UTILITIES AND STRUCTURES IS NOT NECESSARILY SHOWN ON THE CONTRACT DRAWINGS, AND, WHERE SHOWN, THE ACCURACY OF THE POSITION OF SUCH UTILITIES AND STRUCTURES IS NOT GUARANTEED.

BEFORE STARTING WORK, THE CONTRACTOR SHALL INFORM HIMSELF OF THE EXACT LOCATION OF ALL SUCH UTILITIES AND STRUCTURES, AND SHALL ASSUME ALL LIABILITY FOR ANY DAMAGE TO THEM.



NO.	DATE	REVISION DESCRIPTION	CHKD
2.	2024/04/15	REVISED PER COUNTY COMMENTS	A.E.K.
1.	2023/12/21	ISSUED FOR APPROVAL	A.E.K.

GUELPH | OWEN SOUND | LISTOWEL | KITCHENER | LONDON | HAMILTON | GTA
330 TRILLIUM DRIVE, UNIT D, KITCHENER, ON N2E 3J2
TEL: 519-748-1440 | www.gmblueplan.ca

51 QUEENSWAY EAST

SRM ARCHITECTS AND URBAN DESIGNERS

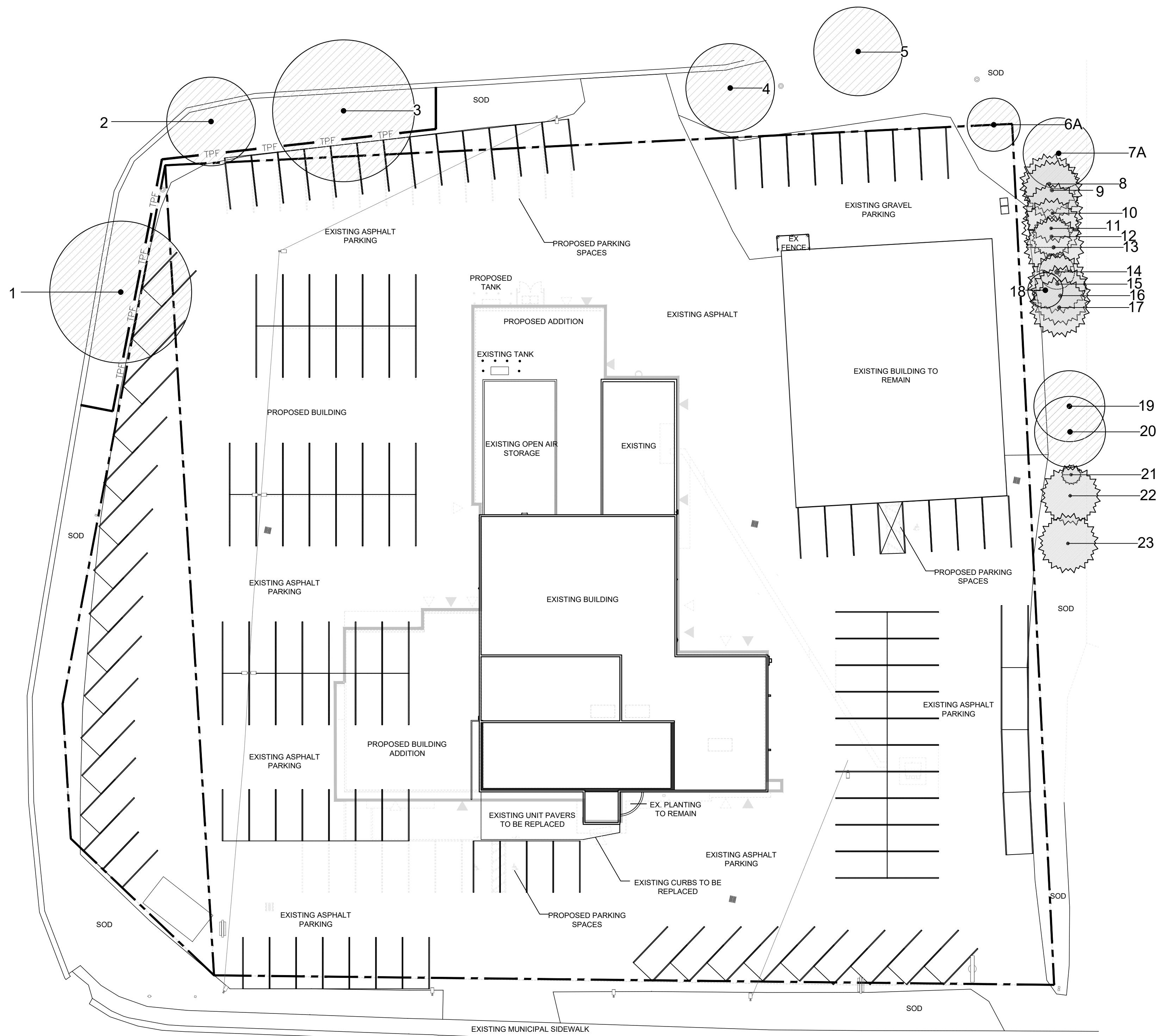
TOWN OF SIMCOE

NOTES AND DETAILS PLAN

DRAWN BY : E.B.	APPROVED BY : A.E.K.	PROJECT NO. : 423025	DRAWING NO. : 4
DESIGNED BY : A.E.K.	DATE : DEC 2023	SCALE : AS NOTED	



PLOT DATE 19 APR 2024	DRAWN BY N.Drummond
SCALE AS NOTED	CHECKED BY J. Acri
JOB NO. 22071	DWG NO. SLP-1



NOTES:

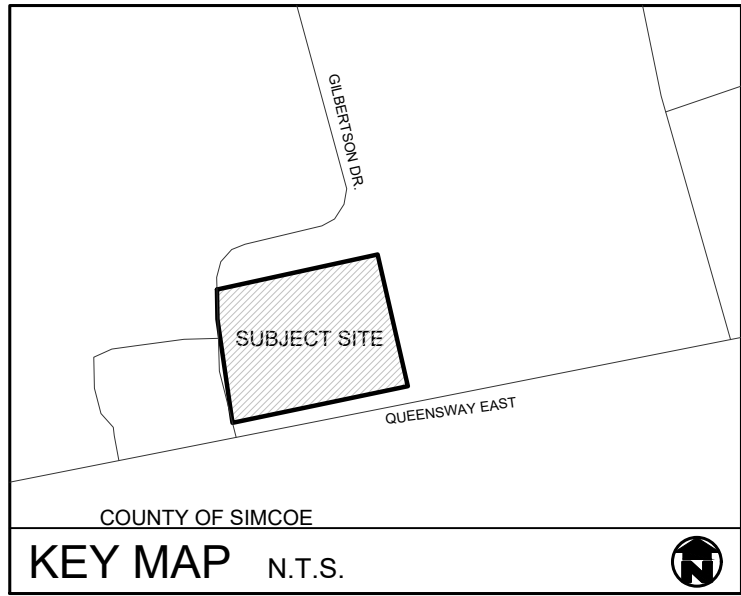
SITE VISIT DATE: AUGUST 30, 2023

TREE INVENTORY COMPLETED BY ISA CERTIFIED ARBORIST CATHERINE HODGINS #ON-2258A

TREE LOCATIONS AND DRIPLINES BASED ON EXISTING CONDITIONS PLAN PROVIDED BY GM ENGINEERING AND HILL DESIGN STUDIO FIELD SURVEY ON AUGUST 30, 2023.

#A DENOTES APPROXIMATE TREE LOCATION BASED ON HILL DESIGN FIELD SURVEY ON AUGUST 30, 2023 AND AERIAL PHOTOGRAPHY.

LEGEND	
	EXISTING INVENTORIED DECIDUOUS TREES TO REMAIN
	EXISTING INVENTORIED CONIFEROUS TREES TO REMAIN
	TREE PROTECTION FENCE



GENERAL NOTES

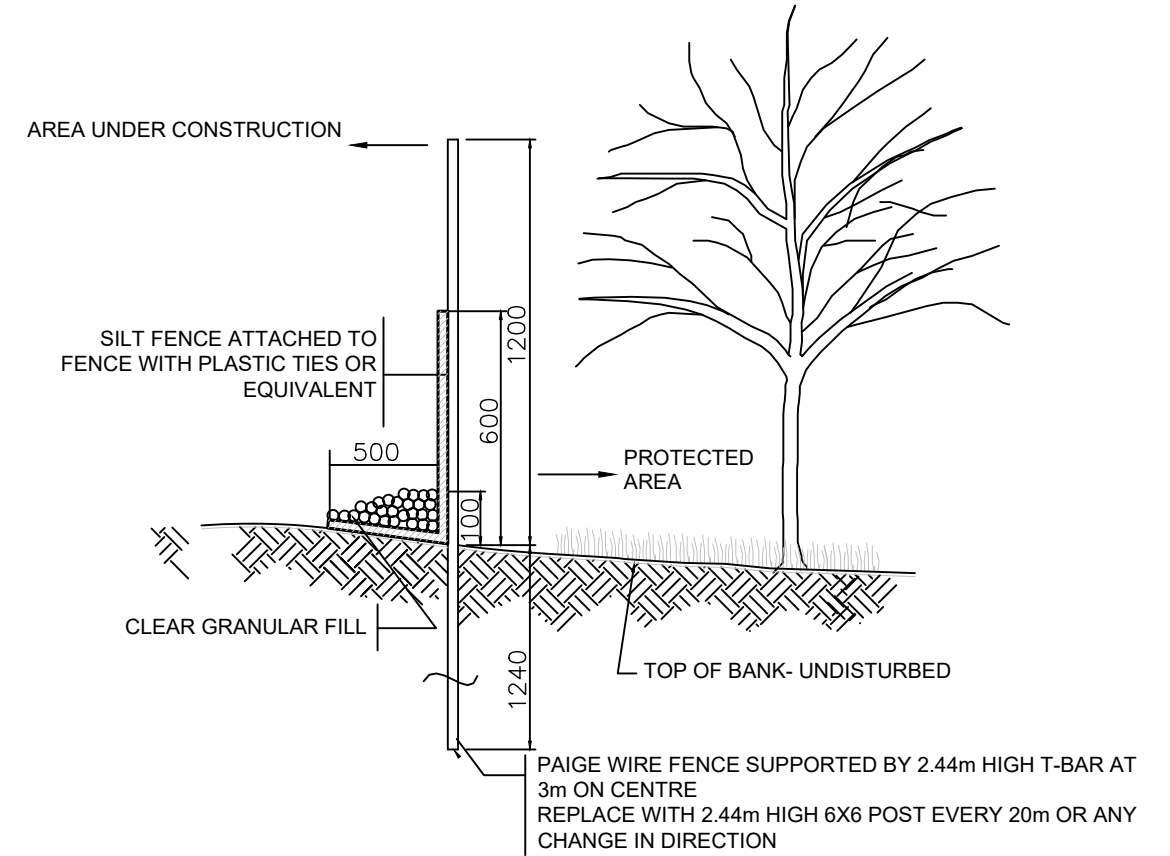
- CONTRACTOR TO LOCATE ALL UNDERGROUND UTILITIES.
- SITE PLAN INFORMATION AS PER SRM ARCHITECTS.
- EXISTING CONDITIONS PLAN AS PER GM BLUE PLAN ENGINEERING.
- SITE LIGHTING BY OTHERS.

TREE INVENTORY LIST

ID #	Tree Species (Latin)	Tree Species (Common)	D.B.H (cm)	Condition	Status	Ownership	Additional Notes
1	Celtis occidentalis	Common Hackberry	90	Fair	Preserve	Adjacent Property	Hydro pruned, 1 main branch removed, rest overhanging parking.
2	Acer platanoides	Norway Maple	49	Fair	Preserve	Adjacent Property	Hydro pruned, heavy suckering at base.
3	Celtis occidentalis	Common Hackberry	84	Fair	Preserve	Adjacent Property	Hydro pruned, co-dominant stems, overhanging parking
4	Acer platanoides	Norway Maple	44	Fair	Preserve	Adjacent Property	15% Dead branches
5	Acer platanoides	Norway Maple	50	Good	Preserve	Adjacent Property	5% Dead branches
6A	Juglans nigra	Black Walnut	25	Fair	Preserve	Presumed Boundary Tree	Vine choked
7A	Juglans nigra	Black Walnut	25	Fair	Preserve	Adjacent Property	
8	Picea glauca	White Spruce	23	Fair	Preserve	Adjacent Property	Thin crown, vine choked
9	Celtis occidentalis	Common Hackberry	10/10	Fair	Preserve	Adjacent Property	
10	Picea glauca	White Spruce	36	Fair	Preserve	Adjacent Property	Thin crown
11	Celtis occidentalis	Common Hackberry	12	Fair	Preserve	Adjacent Property	
12	Picea glauca	White Spruce	24	Poor	Preserve	Adjacent Property	Thin crown
13	Picea glauca	White Spruce	26/26	Fair	Preserve	Adjacent Property	Thin crown
14	Picea glauca	White Spruce	24	Fair	Preserve	Adjacent Property	Thin crown
15	Picea glauca	White Spruce	26	Fair	Preserve	Adjacent Property	Thin crown
16	Picea glauca	White Spruce	26	Fair	Preserve	Adjacent Property	Thin crown
17	Picea glauca	White Spruce	26	Fair	Preserve	Adjacent Property	Thin crown
18	Acer negundo	Manitoba Maple	10/10/8	Fair	Preserve	Adjacent Property	Suppressed
19	Celtis occidentalis	Common Hackberry	10/12/14	Good	Preserve	Adjacent Property	
20	Celtis occidentalis	Common Hackberry	15	Good	Preserve	Adjacent Property	
21	Picea glauca	White Spruce	13/1	Very Poor	Remove	Adjacent Property	90% Dead, vine choked
22	Picea glauca	White Spruce	38	Fair	Preserve	Adjacent Property	Co-dominant stems with included bark, vine choked, surrounded by poison ivy.
23	Picea glauca	White Spruce	38	Fair	Preserve	Adjacent Property	Thin crown, vine choked

TREE PROTECTION NOTES

- AS PART OF ANY TREE REMOVAL OPERATION ALL STEMS, LIMBS AND STUMPS SHOULD BE REMOVED FROM THE SITE.
- UPON COMPLETION OF ANY TREE REMOVAL OPERATIONS, TREE PROTECTION FENCING SHOULD BE INSTALLED AS ILLUSTRATED. THIS PROTECTION FENCING SHOULD BE MAINTAINED UNTIL ALL EXCAVATION AND BUILDING CONSTRUCTION WORK IS COMPLETED.
- ANY ROOTS DISTURBED DURING CONSTRUCTION SHOULD BE CUT CLEANLY AND BURIED IMMEDIATELY.
- NO HEAVY EQUIPMENT OR STOCKING OF MATERIAL SHALL OCCUR WITHIN THE DRIPLINES OF ANY TREES THAT ARE TO BE PRESERVED.
- TREE PROTECTION MEASURES TO BE INSPECTED BY LANDSCAPE ARCHITECT AND CITY STAFF PRIOR TO START OF CONSTRUCTION.
- IF CONSTRUCTION OR ANY WORK OCCURS WITHIN THE TREE PRESERVATION ZONE, INSIDE THE LIMITS OF THE TREE PROTECTION FENCE, IT IS NECESSARY TO ONLY USE HAND TOOLS. NO MACHINERY WILL BE PERMITTED IN THIS ZONE.



1 TREE PROTECTION FENCING DETAIL
NTS



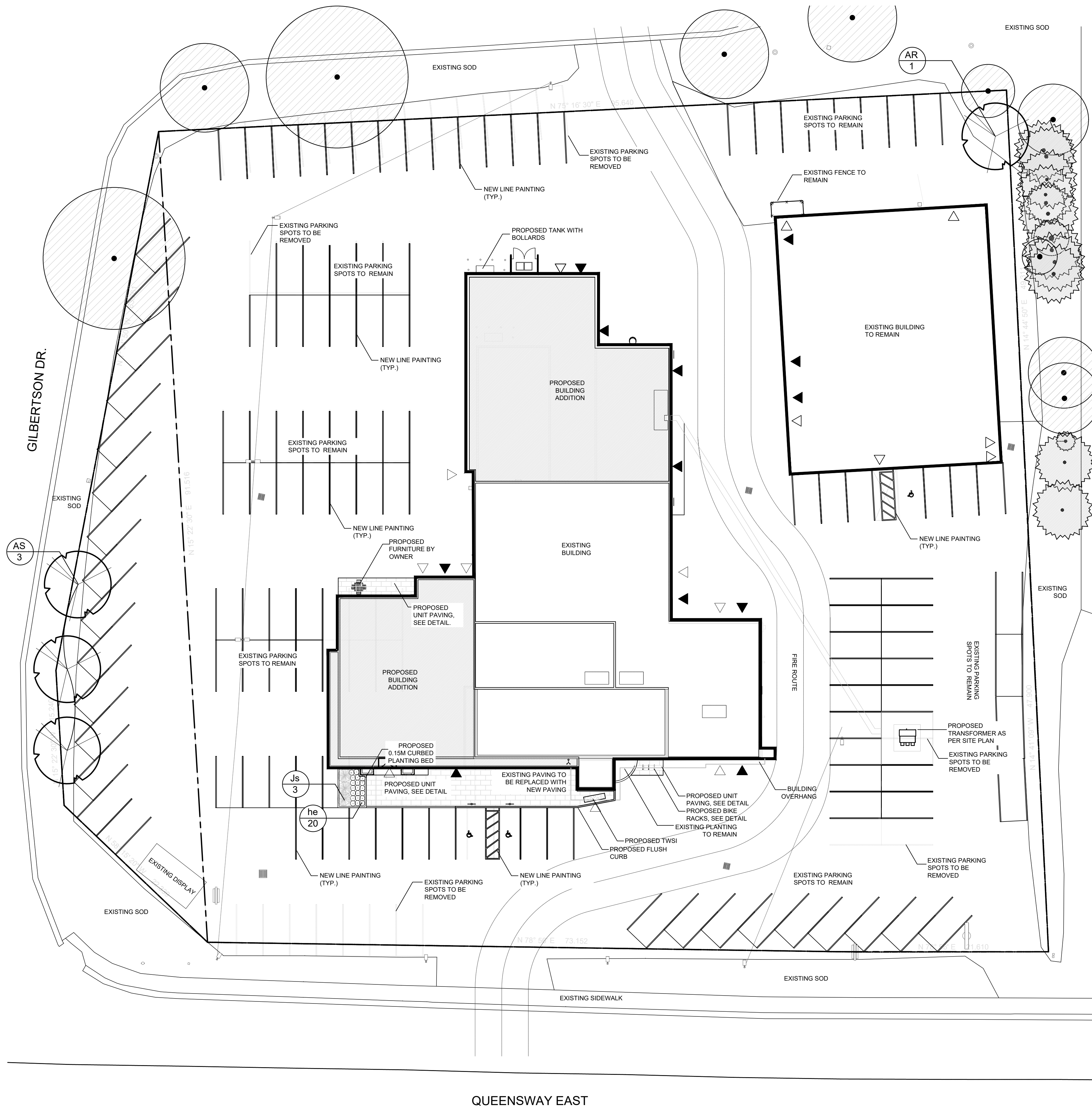
REVISIONS				
no.	date	description		by
1.	Dec.21.23	Issued for approval		AWH
2.	April.12.24	Issued for Submission		AWH

Robinson Car Dealership Addition
51 Queensway East,
Simcoe, ON

Tree Management Plan



PROJECT NO.: 2023-72		DRAWN BY: EA	
SCALE: 1:300		DESIGNED BY: EA	
SHEET:		APPROVED BY: AWH	
L1		PLOT DATE: Apr.12, 2024	

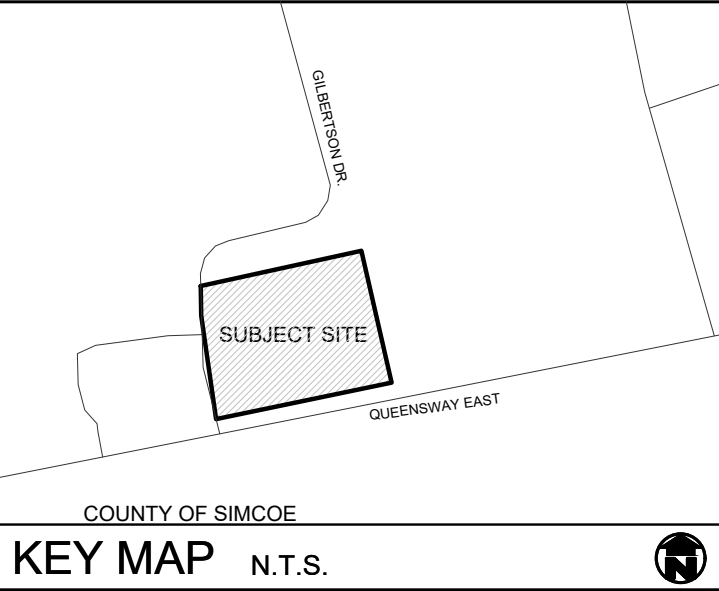


LEGEND

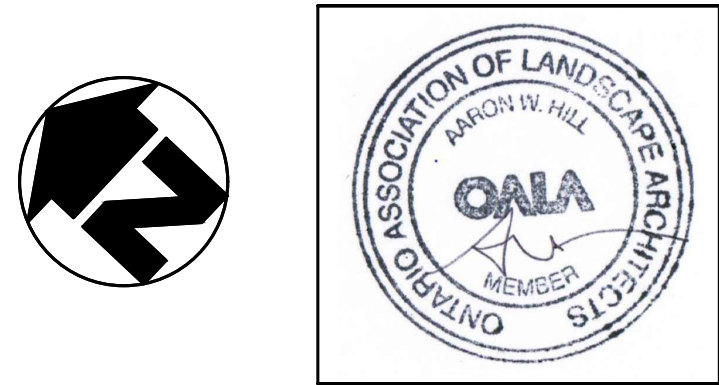
- PROPOSED CONIFEROUS SHRUBS
- PROPOSED DECIDUOUS SHRUBS
- PROPOSED PERENNIALS
- EXISTING INVENTORIED TREES TO REMAIN
- PROPOSED DECIDUOUS TREES

PLANT MATERIAL LIST

KEY	QUANT.	COMMON NAME	BOTANICAL NAME	SIZE	COND.
AS	3	Sugar Maple	Acer saccharum	60mm cal.	W.B.
AR	1	Autumn Spire Maple	Acer rubrum 'Autumn Spire'	60mm cal.	W.B.
Js	3	Savin Juniper	Juniperus sabina	50cm 3 gal.	F.P.
he	20	Little Wine Cup Daylily	Hemerocallis 'Little Wine Cup'	1 gal.	Pot



- GENERAL NOTES**
- ALL WORKMANSHIP WILL BE TO THE STANDARDS OF LANDSCAPE ONTARIO.
 - ALL PLANT MATERIAL TO BE NO. 1 GRADE NURSERY GROWN IN ACCORDANCE WITH THE CANADIAN STANDARDS FOR NURSERY STOCK, 6TH EDITION, 1998, BY THE CANADIAN NURSERY TRADES ASSOCIATION.
 - BACKFILL WILL CONSIST OF SOIL NATIVE TO THE SITE OR GENERAL SOIL TYPE/CLASS NATIVE TO THE SITE. TOPSOIL TO BE TESTED FOR NUTRIENT VALUE, AND AMENDED FOR OPTIMAL GROWTH AS PER THE RECOMMENDATIONS OF THE SOIL TEST.
 - CONTRACTOR SHALL MAINTAIN ALL LANDSCAPE AREAS UNTIL OWNER'S ACCEPTANCE OF PROJECT.
 - CONTRACTOR TO LOCATE ALL UNDERGROUND UTILITIES.
 - PLANTING MAY BE ADJUSTED TO SUIT LOCATIONS OF SITE UTILITY STRUCTURES/SERVICES.
 - ALL MATERIALS MUST BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
 - SPREAD MULCH TO A MINIMUM OF 100mm COMPACTED DEPTH ON ALL TREE PITS AND PLANTING BEDS.
 - CHECK AND VERIFY ALL DIMENSIONS AND QUANTITIES PRIOR TO COMMENCEMENT OF WORK. ANY DISCREPANCIES ARE TO BE REPORTED IN WRITING TO THE LANDSCAPE ARCHITECT. QUANTITIES NOTED WITHIN THE PLAN SUPERCEDE THOSE IN THE PLANT LIST. ANY SUBSTITUTIONS SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT.
 - SOD AS MARKED WITH NURSERY SOD ON A MINIMUM OF 100mm OF CLEAN TOPSOIL. FINE GRADE AND SOD ALL BOULEVARD AREAS TO MUNICIPAL SPECIFICATIONS AND REPAIR DAMAGE TO ADJACENT PROPERTIES, AS REQUIRED.
 - FINAL INSPECTION AND ACCEPTANCE OF PLANTING WORK SHALL COINCIDE WITH THE FINAL INSPECTION AND ACCEPTANCE OF ALL WORK INCLUDED IN THE CONTRACT.
 - ALL SEEDED SLOPES 3:1 AND GREATER TO RECEIVE EROSION CONTROL MATTING (COIR MAT OR OTHER WILDLIFE FRIENDLY ALTERNATIVE). PIN SOD ON ALL SLOPES OF 3:1 OR GREATER.
 - SUBMIT A WRITTEN GUARANTEE TO THE EFFECT THAT ALL PLANTS ACCEPTED DURING THE PERIOD OF JANUARY 1st TO JULY 15th SHALL BE GUARANTEED UNTIL JULY 15th THE FOLLOWING YEAR. PLANTS ACCEPTED DURING THE PERIOD OF JULY 15th TO DECEMBER 31st SHALL BE GUARANTEED FOR ONE YEAR FROM THE DATE OF ACCEPTANCE. THE GUARANTEE PERIODS LISTED ABOVE SHALL APPLY TO ALL "NURSERY GROWN" PLANTS.
 - AT THE TIME OF FINAL INSPECTION ALL PLANTS SHALL BE IN A HEALTHY, VIGOROUS GROWING CONDITION, PLANTED IN FULL ACCORDANCE WITH DRAWINGS AND CONDITIONS.
 - SURVEY PLAN AS PER J.D. BARNES LTD.
 - SITE PLAN INFORMATION AS PER SRM ARCHITECTS INC.
 - SITE GRADING AND SERVICING INFORMATION AS PER OTHERS AND IS FOR INFORMATIONAL PURPOSES ONLY.
 - SITE LIGHTING BY OTHERS.



REVISIONS

no.	date	description	by
1.	Dec.21.23	Issued for approval	AWH
2.	April.12.24	Issued for Submission	AWH

Robinson Car Dealership Addition
51 Queensway East,
Simcoe, ON

Landscape Plan



PROJECT NO.: 2023-72 **DRAWN BY:** EA

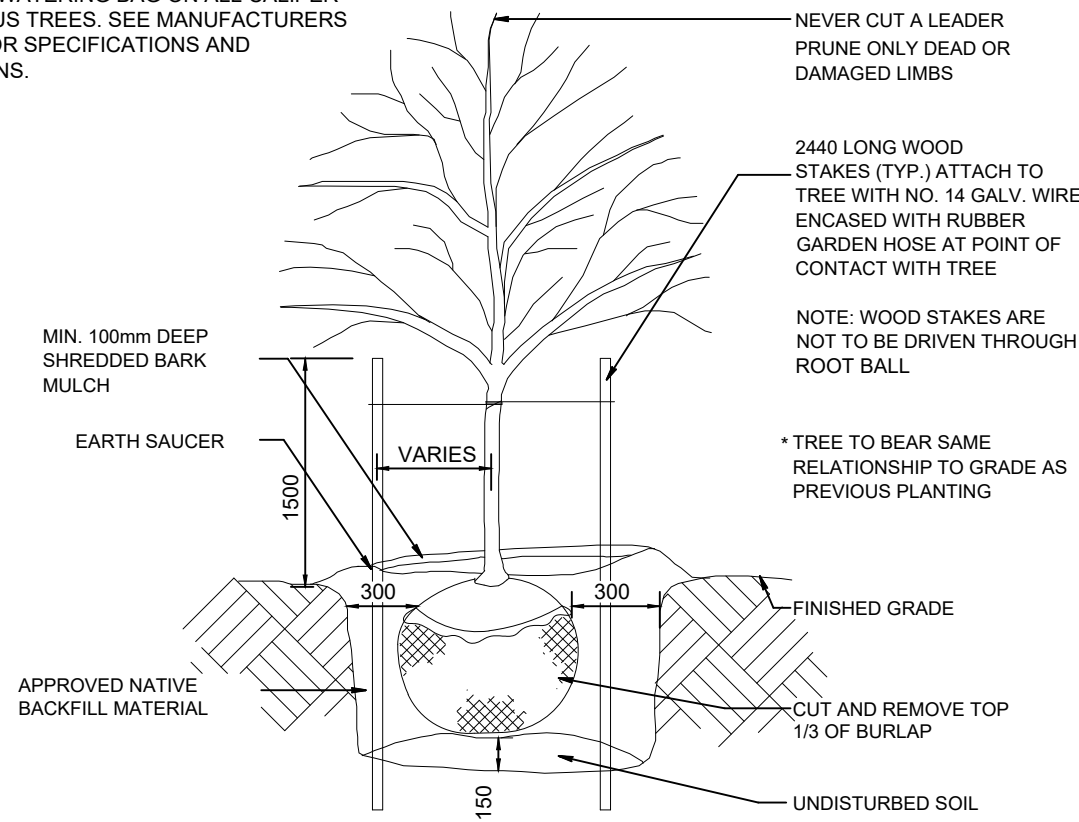
SCALE: 1:250 **DESIGNED BY:** EA

SHEET: L2 **APPROVED BY:** AWH

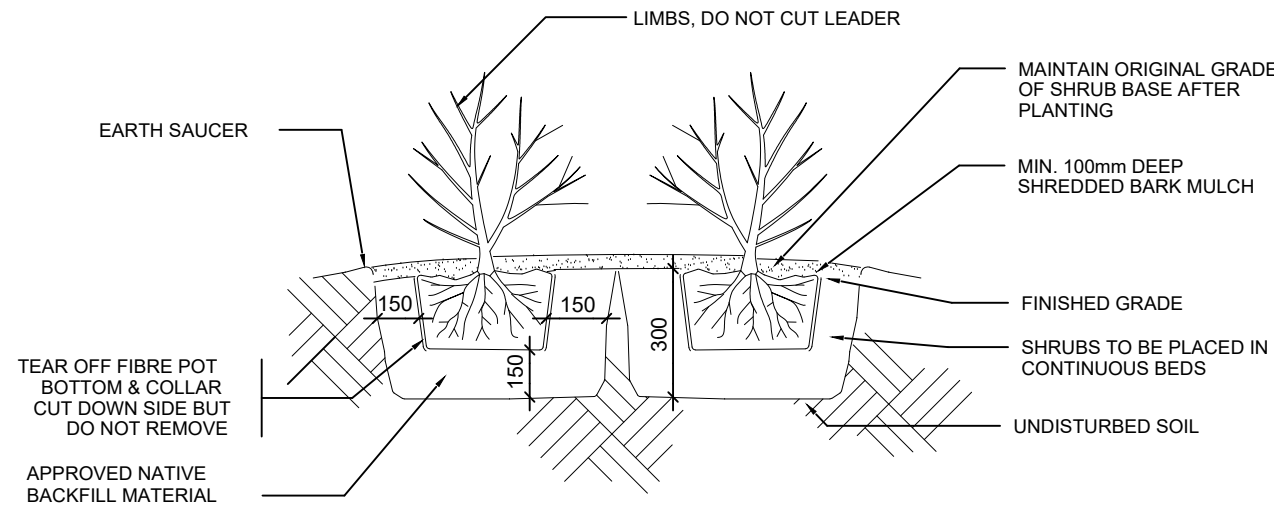
PLOT DATE: Apr.12, 2024

TREEGATOR:

INSTALL TREEGATOR ORIGINAL SLOW RELEASE WATERING BAG ON ALL CALIPER DECIDUOUS TREES. SEE MANUFACTURERS DETAIL FOR SPECIFICATIONS AND DIRECTIONS.



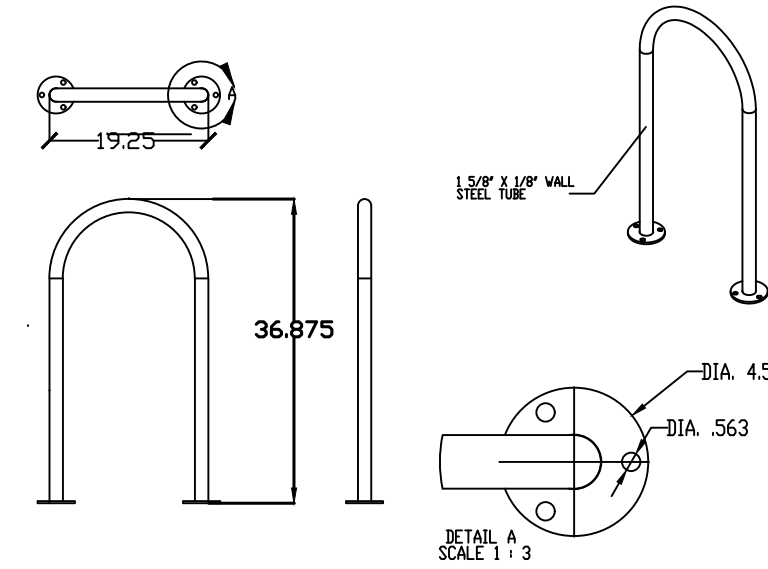
1 DECIDUOUS TREE PLANTING DETAIL
NTS



2 SHRUB PLANTING DETAIL
NTS

BIKE RACK BY MAGLIN
(OR APPROVED EQUAL)
T 1-800-716-5506
F 1-877-280-9393
WWW.MAGLIN.COM
SALES@MAGLIN.COM

SPECIFICATIONS:
MODEL: MBR502
FINISH: BLACK POWDER COAT
OPTIONS: NONE
INSTALLATION: SURFACE MOUNT



3 BIKE RACK DETAIL
NTS

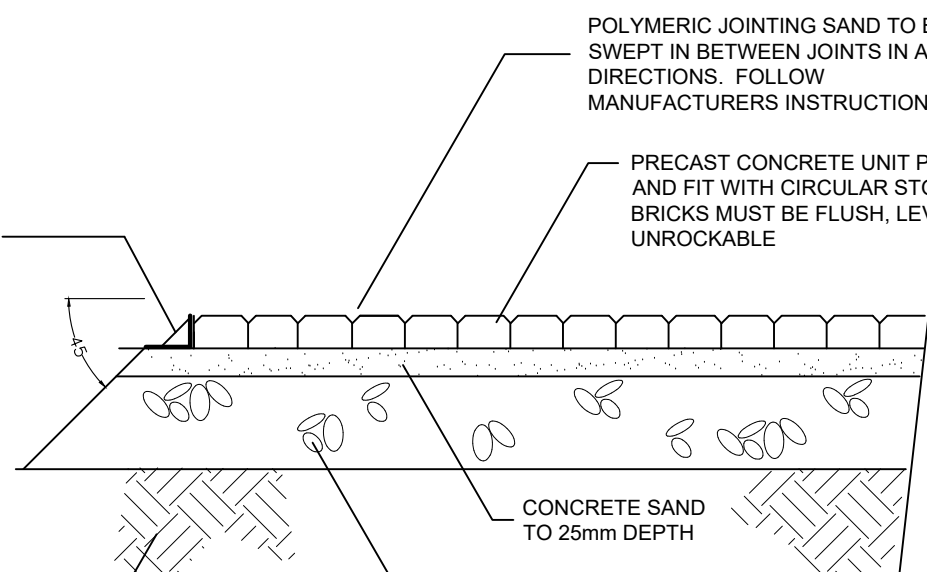
NOTE:

PAVERS TO BE UNILOCK BEACON HILL SMOOTH PAVER OR EQUIVALENT AS APPROVED BY L.A.
COLOUR: OPAL BLEND
PATTERN: LINEAR

MAIN ENTRANCE PAVERS TO BE UNILOCK PROMENADE PLANK PAVER OR EQUIVALENT AS APPROVED BY L.A.
COLOUR: OPAL BLEND WITH STEEL GREY BLEND 400mm WIDE SOLDIER COURSE
PATTERN: LINEAR

WWW.UNILOCK.CA
1-800-265-6124

WHERE PAVER DOES NOT ABUT CONCRETE, TAPER GRANULAR BASE AT 45° AND SECURE PAVERS WITH PVC EDGE RESTRAINT SECURED WITH 10" LANDSCAPE SPIKES. EDGE RESTRAINT SHOULD NOT BE VISIBLE ONCE EDGE CONDITION IS RESTORED.

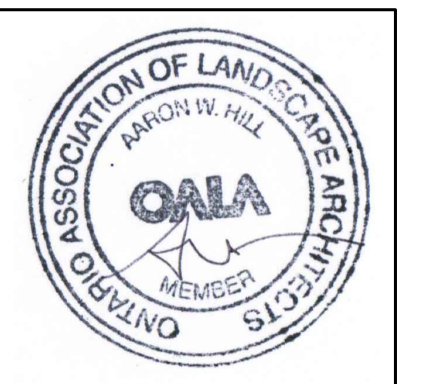
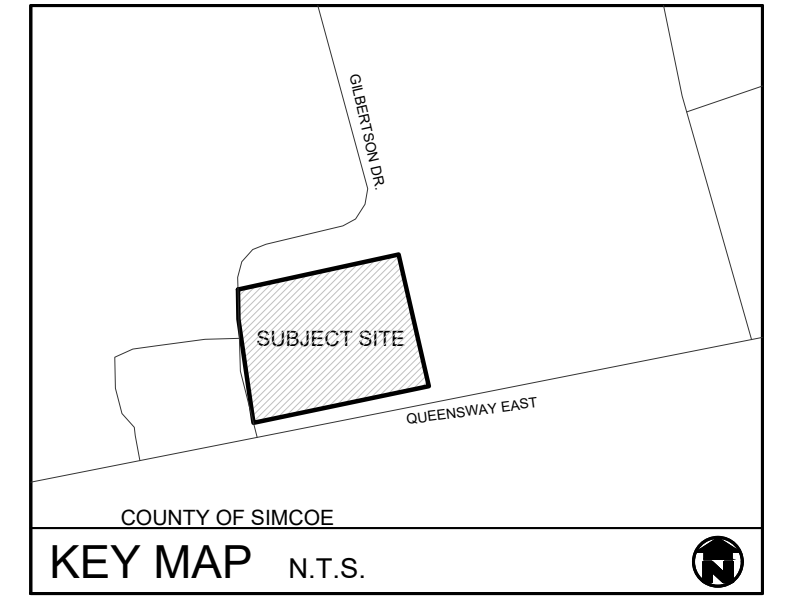


PARKING STRUCTURE BELOW OR COMPACTED SUBGRADE

COMPACTED GRANULAR 'A' DEPTH OF SUB-BASE TO BE 300mm DEPTH TO BE CONFIRMED BY GEOTECHNICAL ENGINEER

WHERE PAVERS OCCUR OVER PARKING STRUCTURES, BASE PROFILE TO BE CONFIRMED WITH STRUCTURAL ENGINEER

4 UNIT PAVER DETAIL
NTS



REVISIONS			
no.	date	description	by
1.	Dec 21 23	Issued for approval	AWH
2.	April 12 24	Issued for Submission	AWH

Robinson Car Dealership Addition
51 Queensway East,
Simcoe, ON

Landscape Details



PROJECT NO.: 2023-72	DRAWN BY: EA
SCALE: AS SHOWN	DESIGNED BY: EA
SHEET: L3	APPROVED BY: AWH PLOT DATE: Apr 12, 2024

Attention: Fabian Serra, Planner
Planning and Development Division
185 Robinson Street
Simcoe, ON N3Y 5L6

Date: April 18, 2024

Project: Robinson Chevrolet (51 Queensway East, Simcoe)

Permit No.: SPPL2024030

Regarding: Response To Agency Comments Dated March 21, 2024

Planning

1. Planning requires that securities estimates be provided to the municipality for infrastructure and landscaping works proposed.
Cost estimates have been submitted as part of this resubmission.

Agreement Coordinator

1. A condition of your site plan approval will be to enter into a development agreement with the County. The agreement will be registered on title at the owner's expense. We will collect and hold your performance securities for infrastructure and landscaping works until the end of your maintenance period. Please reach out when you are ready to start your agreement or if you have any questions.
With this resubmission, we are ready to start with the draft agreement. Kindly forward for our review.

Building

Prior To Building Permit

4. And further that indicate barrier free path of travel from parking area to building entrance to the satisfaction of the Building Department. Construction of curb cuts and location of tactile attention indicators is required. [OBC 3.8.1.3, & 3.8.3.2]
Provided, please refer to A1.2 Site Plan and 1/A1.3 Site Details.

Realty Service

1. The County will require a postponement of any charge(s)/mortgage(s) on title to the County's Site Plan Agreement. We recommend that you connect with your lender(s) and/or solicitor as early in the process as possible to avoid any delays
Acknowledged.

Development Engineering

General

1. Development Engineering did not receive a copy of the securities. In your next submission, securities will be required in the form of a schedule. Any works completed within the Municipal Right-of-Way (R.O.W.) are to be shown as 100% security. Any works completed within private property are to be shown as 10% security.
Acknowledged. This will be submitted by the client / GC/ solicitors.

Functional Servicing Report

2. Please confirm if existing Water and Sanitary sizing is adequate to support the proposed addition and provide the estimated water usage.
Please refer to Response Letter provided by GM Blue Plan Engineering.

Traffic Impact Brief

3. As stated in the Summary and Conclusions, the traffic consultant has noted that: "GHD recommends that within the "S-curve" of Gilbertson Drive, the posted speed be reduced to 30 km/hr. This speed limit reduction serves the purpose of meeting the sight distance requirements under a 30 km/hr design speed. Additional signage is recommended as a speed reduction and traffic safety measure to achieve 30 km/hr within the "S-curve".

Please note the location of this signage on plans and include a detail for the future speed limit sign.
Please refer to Response Letter provided by GM Blue Plan Engineering and Response to Agency Comments letter provided by GHD.

Site Grading and Servicing Plan

4. Provide asphalt detail and specifications referencing Norfolk County Design Criteria Section 6.7.01
Please refer to Response Letter provided by GM Blue Plan Engineering.
5. Sight triangle note states the following: 'No Visual Obstructions Greater Than 1m High Permitted within the Sight Triangle'. There are to be no obstructions placed within Norfolk County R.O.W, as per Norfolk County By-Law 2004-211 – Being a By-Law to Prohibit the Obstruction of Highways.
Please see updated A1.2 Site Plan and Civil Drawing #2 Site Grading and Servicing Plan for notation forbidding the installation of letter board signs and other temporary structures.
6. A Sanitary Inspection Manhole will be required to be installed at property line per Norfolk Sewer Use By-Law.
Please refer to Response Letter provided by GM Blue Plan Engineering.
7. A Reduced Pressure Flow Assembly will be required on all separate water services. Currently, this property shows two water meters: a 2" and a 5/8"x 3/4" meter. Please also include a schematic drawing of the installation for EIS for approval.
Please refer to Response Letter provided by GM Blue Plan Engineering.

8. All sizes of existing water and sanitary infrastructure is to be identified on the plan. As-Constructed plans have been attached with comments.
Please refer to Response Letter provided by GM Blue Plan Engineering.
9. Please verify where the gutters in the bays area exits.
Please refer to Response Letter provided by GM Blue Plan Engineering.

If you have any questions regarding the above information, please do not hesitate to contact the undersigned.

Nick Stanley

Dipl. Arch. Tech., SRM Architects + Urban Designers

T: 519.885.5600 x214

E: nstanley@srmarchitects.ca



April 15, 2024
Our File: 423025

County of Norfolk
50 Colborne Street S
Simcoe, ON N3Y 4H3

Re: 51 Queensway East
County of Norfolk (Simcoe)

In response to the comments we received (dated April 5, 2024), we offer the following for your review and consideration:

Planning

Comment 1: Planning requires that securities estimates be provided to the municipality for infrastructure and landscaping works proposed.

Response: *See attached cost estimate for the on-site and off-site works.*

Agreement Coordinator:

Comment 2: Reviewed. Comments are as follows:

A condition of your site plan approval will be to enter into a development agreement with the County. The agreement will be registered on title at the owner's expense. We will collect and hold your performance securities for infrastructure and landscaping works until the end of your maintenance period.

Please reach out when you are ready to start your agreement or if you have any questions.

I have attached an information sheet to assist you with your complete submission.

All the best.

Annette Helmig, Agreement and Development Coordinator

Annette.helmig@norfolkcounty.ca

Response: *Acknowledged.*

Building

Prior to Building Permit:

Comment 3: The Owner shall agree to make application for a Building Permit and obtain the necessary Building Permits prior to commencing construction.

Response: *Acknowledged.*

Comment 4: AND FURTHER (sic) THAT all applicable law approvals as required by the Ontario Building Code and supporting documentation from approval agencies re submitted with a building permit application. [OBC Division A 1.4.1.3] Specifically: Site Plan approval

Response: *Acknowledged.*

Comment 5: AND FURTHER THAT the Ontario Building Code requires that the project described above be designed and reviewed during construction by an architect, professional engineer or both that are licensed to practice in Ontario; including Site Servicing. NOW THEREFORE the Owner, being the person who intends to construct or have the building constructed hereby warrants that: 1. The undersigned architect and/or professional engineers have been retained to provide general reviews of the construction of the building to determine whether the construction is in general conformity with the plans and other documents that form the basis for the issuance of a building permit, in accordance with the performance standards of the Ontario Association of Architects (OAA) and/or Professional Engineers Ontario (PEO); 2. All general review reports by the architect and/or professional engineers will be forwarded promptly to the Chief Building Official, and 3. Should any retained architect or professional engineer cease to provide general reviews for any reason during construction, the Chief Building Official will be notified in writing immediately, and another architect or engineer will be appointed so that general review continues without interruption during construction.

Response: *Acknowledged.*

Comment 6: AND FURTHER THAT indicate barrier free path of travel from parking area to building entrance to the satisfaction of the Building Department. Construction of curb cuts and location of tactile attention indicators is required. [OBC 3.8.1.3, & 3.8.3.2]

Response: *Acknowledged. All required curb cuts and tactile indicators have been identified on the revised engineering drawings.*

Prior to Occupancy:

Comment 7: AND FURTHER THAT All final letters of general conformity by the architect and/or professional engineers will be forwarded promptly to the Chief Building Official, including site services.

Response: *Acknowledged.*

Ministry of Transportation (MTO):

Comment 8: The proposed work within Norfolk County is not located adjacent to a provincial highway or within MTO's Permit Control Area, and as such, does not require MTO review, approval or permits.

Response: *Acknowledged.*

Source Water Protection:

Comment 9: Thank you for circulating the below development application for 51 Queensway East, Simcoe. After review, this property is not within a Source Protection Zone.

Response: *Acknowledged.*

Realty Services:

Comment 15: The County will require a postponement of any charge(s)/mortgage(s) on title to the County's Site Plan Agreement. We recommend that you connect with your lender(s)and/or solicitor as early in the process as possible to avoid any delays.

Response: *Acknowledged.*

Development Engineering

General:

Comment 16: Development Engineering did not receive a copy of the securities. In your next submission, securities will be required in the form of a schedule. Any works completed within the Municipal Right-of-Way (R.O.W.) are to be shown as 100% security. Any works completed within private property are to be shown as 10% security.

Response: *A copy of the cost estimate and security calculations has been provided.*

Functional Servicing Report (Dated December 2023):

Comment 17: Please confirm if existing Water and Sanitary sizing is adequate to support, the proposed addition and provide the estimated water usage.

Response: *A proposed 150mm diameter watermain will be extended as shown in the revised engineering drawings to provide adequate supply. The existing sanitary sewer size is adequate.*

Traffic Impact Brief (Dated December 12th, 2023):

Comment 18: As stated in the Summary and Conclusions, the traffic consultant has noted that: "GHD recommends that within the "S-curve" of Gilbertson Drive, the posted speed be reduced to 30 km/hr. This speed limit reduction serves the purpose of meeting the sight distance requirements under a 30 km/hr design speed. Additional signage is recommended as a speed reduction and traffic safety measure to achieve 30 m/hr within the "S-curve".

Please note the location of this signage on plans and include a detail for the future speed limit sign.

Response: *The location of the required signage has been identified on the revised engineering drawings.*

Site Grading and Servicing Plan (Dwg. No.2):

Comment 19: Provide asphalt detail and specifications referencing Norfolk County Design Criteria Section 6.7.01.

Response: *An asphalt detail has been provided on the revised engineering drawings.*

Comment 20: Sight triangle note states the following: 'No Visual Obstructions Greater Than 1m High Permitted within the Sight Triangle'. There are to be no obstructions placed within Norfolk County R.O.W, as per Norfolk County By-Law 2004-211 – Being a By-Law to Prohibit the Obstruction of Highways.

Response: *Acknowledged. The sight triangle and associated notes have been added to the revised engineering drawings.*

Comment 21: A Sanitary Inspection Manhole will be required to be installed at property line per Norfolk Sewer Use By-Law.

Response: *Acknowledged. A sanitary inspection manhole has been added at the property line.*

Comment 22: A Reduced Pressure Flow Assembly will be required on all separate water services. Currently, this property shows two water meters: a 2" and a 5/8"x 3/4" meter. Please also include a schematic drawing of the installation for EIS for approval.

Response: *Acknowledged. A note has been added to the revised engineering drawing to identify that a reduced pressure flow assembly is required.*

Comment 23: All sizes of existing water and sanitary infrastructure is to be identified on the plan. As-Constructed plans have been attached with comments.

Response: *All existing watermain and sanitary sewer sizes have been labelled on the revised engineering drawings.*

Comment 25: Please verify where the gutters in the bays area exits.

Response: *All roof gutters/downspouts have been identified and labelled on the revised engineering drawings.*

Canada Post:

Comment 26: Please be advised that Canada Post does not have any comments on this application as this will not affect mail delivery.

Response: *Acknowledged.*

Zoning:

Comment 27: Reviewed. No Comments.

Response: *Acknowledged.*

Accessibility:

Comment 28: Reviewed. No Comments.

Response: *Acknowledged.*

Hydro One:

Comment 29: Reviewed. No Comments.

Response: *Acknowledged.*

Fire:

Comment 30: Reviewed. No Comments.

Response: *Acknowledged.*



GIS:

Comment 31: Reviewed. No Comments.

Response: *Acknowledged.*

Enclosed please find the following for your review and approval:

- Revised Engineering Drawings for 51 Queensway East (GM BluePlan Engineering Limited, Revision No.1, dated 2024/04/15)

We trust this is the information you require at this time. If you have any questions or require additional information, please do not hesitate to call.

Yours truly,

GM BLUEPLAN ENGINEERING LIMITED

Per:

A handwritten signature in blue ink, appearing to read 'AKroetsch'.

Angela Kroetsch, P.Eng.
AK/as

Encl.

cc: Annette Helmig, Agreement and Development Coordinator, City of Norfolk.

W:\Kitchener\423-2023\423025 51 Queensway East Simcoe\Design Phase\Correspondence\423025 County of Norfolk Response Letter - 2024-04-15.doc

51 QUEENSWAY EAST

NORFOLK COUNTY - SIMCOE

SECURITIES AND CONSTRUCTION ESTIMATES (OFF-SITE)

REVISION

DATE - April 30, 2024

DATE - COLLECTED AT REGISTRATION

DATE - HELD AFTER ACCEPTANCE

ITEM	DESCRIPTION	UNIT	QTY.	UNIT PRICE	TOTAL COST	Securities	
						10%	100%

BELOW GROUND

SANITARY SEWERS

Sanitary Sewer							
a) 100mm Diameter	M	3	\$200	\$600	\$0	\$600	
b) 200mm Diameter	M	0	\$0	\$0	\$0	\$0	
1200mm Diameter Manholes	EACH	0	\$0	\$0	\$0	\$0	
125mm Sanitary Services	EACH	0	\$0	\$0	\$0	\$0	
Video Inspection and Report	L.S.	0	\$0	\$0	\$0	\$0	
Break out existing manhole EX.MH.E. Connect 100 mm dia. sanitary sewer and rebench manhole as required.	L.S.	1	\$3,500	\$3,500	\$0	\$3,500	

TOTAL SANITARY SEWERS

\$4,100 \$0 \$4,100

WATERMAIN

Watermain							
a) 200mm Diameter	M	0	\$0	\$0	\$0	\$0	
b) 150mm Diameter	M	10	\$240	\$2,400	\$0	\$2,400	
c) 75 mm Diameter	M	0	\$0	\$0	\$0	\$0	
Watervalves							
a) 200mm Diameter	EACH	0	\$0	\$0	\$0	\$0	
b) 150mm Diameter	EACH	0	\$0	\$0	\$0	\$0	
19mm Copper Services	EACH	0	\$0	\$0	\$0	\$0	
Hydrant Sets	EACH	0	\$0	\$0	\$0	\$0	
Sampling Station	EACH	0	\$0	\$0	\$0	\$0	
Connect 150mm dia. watermain to existing 200mm dia watermain on Queensway	L.S.	1	\$5,000	\$5,000	\$0	\$5,000	

TOTAL WATERMAIN

\$7,400 \$0 \$7,400

STORM SEWERS

Storm Sewer							
a) 1000mm Diameter	M	0	\$0	\$0	\$0	\$0	
b) 750mm Diameter	M	0	\$0	\$0	\$0	\$0	
c) 300mm Diameter	M	0	\$0	\$0	\$0	\$0	
d) 200mm Diameter	M	0	\$0	\$0	\$0	\$0	
1200mm Diameter Manholes	EA	0	\$0	\$0	\$0	\$0	

ITEM	DESCRIPTION	UNIT	QTY.	UNIT PRICE	TOTAL COST	Securities	
						10%	100%
	125mm Services	EA	0	\$0	\$0	\$0	\$0
	Inline Stormceptor	EA	0	\$0	\$0	\$0	\$0
	Video Inspection and Report	L.S.	0	\$0	\$0	\$0	\$0
TOTAL BELOW STORM SEWER					\$0	\$0	\$0
					\$11,500	\$0	\$11,500

ABOVE GROUND

STORM SEWERS

Catchbasins	EA	0	\$0	\$0	\$0	\$0
TOTAL ABOVE STORM SEWER				\$0	\$0	\$0

ROAD CONSTRUCTION

Granular 'A'	Tonne	27	\$28	\$756	\$0	\$756
Granular 'B'	Tonne	50	\$21	\$1,050	\$0	\$1,050
Curb and Gutter	M	15.5	\$77	\$1,190	\$0	\$1,190
HL4 Base Asphalt	Tonne	0	\$0	\$0	\$0	\$0
Sidewalk	M²	9.5	\$90	\$855	\$0	\$855
Tactile (at sidewalk ramps)	L.S.	0	\$0	\$0	\$0	\$0
Painted Linework on Pavement	L.S.	0	\$0	\$0	\$0	\$0
Supply and Install Street Signs	L.S.	0	\$0	\$0	\$0	\$0
Remove and dispose off-site of existing as	M²	65	\$7	\$423	\$0	\$423
TOTAL ROAD CONSTRUCTION				\$4,273	\$0	\$4,273

STREETLIGHTING

Streetlights (Pole, Mast Arm and Luminaire)	EACH	1	\$0	\$0	\$0	\$0
Streetlight Disconnect Pedestal	EACH	1	\$0	\$0	\$0	\$0
Conduit for Streetlight Conductor						
a) 50mm Conduit	M	1	\$0	\$0	\$0	\$0
b) 100mm Conduit (Road Crossings)	M	1	\$0	\$0	\$0	\$0
Streetlighting Conductor	M	1	\$0	\$0	\$0	\$0
TOTAL STREETLIGHTING			\$0 \$0 \$0			
			\$4,273 \$0 \$4,273			

FINISHING WORKS

40mm HL3 Asphalt (Top Lift)	Tonne	5	\$50	\$250	\$0	\$250
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ITEM	DESCRIPTION	UNIT	QTY.	UNIT PRICE	TOTAL COST	Securities	
						10%	100%
	50mm HL8 Asphalt (Top Lift)	Tonne	6	\$50	\$300	\$0	\$300
	Imported topsoil and fine grading of land	L.S.	1	\$5,000	\$5,000	\$0	\$5,000
	Driveway Apron		0	\$0	\$0	\$0	\$0
	Lot Grading		0	\$0	\$0	\$0	\$0
					\$5,550	\$0	\$5,550

STORM WATER MANAGEMENT POND

Headwall and Rip Rap Outlet	1	\$0	\$0	\$0	\$0
	1	\$0	\$0	\$0	\$0
			\$0	\$0	\$0

LANDSCAPING AND ON SITE WORKS

Trees	0	\$0	\$0	\$0	\$0
Trails and Walkways (topsoil to a depth of 0.15 metres and sod)	0	\$0	\$0	\$0	\$0
Park (topsoil to a depth of 0.15 metres and sod)	0	\$0	\$0	\$0	\$0
Plants and Materials	0	\$0	\$0	\$0	\$0
Flagstone	0	\$0	\$0	\$0	\$0
Fencing	0	\$0	\$0	\$0	\$0
Lighting	0	\$0	\$0	\$0	\$0
Garbage Enclosure	0	\$0	\$0	\$0	\$0
Retaining Wall	0	\$0	\$0	\$0	\$0
Planters	0	\$0	\$0	\$0	\$0
Signage - Traffic Control	5	\$200	\$1,000	\$0	\$1,000
Parking Lot Demarcation	0	\$0	\$0	\$0	\$0
Contractor's cost to furnish 100% performance and maintenance bond	1	\$2,500	\$2,500	\$0	\$2,500
Street Sweeping	1	\$2,000	\$2,000	\$0	\$2,000
			\$5,500	\$0	\$5,500

SUMMARY

BELOW GROUND	\$11,500	\$0	\$11,500
ABOVE GROUND	\$4,273	\$0	\$4,273

ITEM	DESCRIPTION	UNIT	QTY.	UNIT PRICE	TOTAL COST	Securities	
						10%	100%

FINISHING WORKS					\$5,550	\$0	\$5,550
STORM WATER MANAGEMENT POND					\$0	\$0	\$0
LANDSCAPING AND ON SITE WORKS					\$5,500	\$0	\$5,500

TOTAL SECURITIES REQUIRED AT REGISTRATION							\$26,823
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51 QUEENSWAY EAST

NORFOLK COUNTY - SIMCOE

SECURITIES AND CONSTRUCTION ESTIMATES - (ON-SITE)

REVISION

DATE - April 30, 2024

DATE - COLLECTED AT REGISTRATION

DATE - HELD AFTER ACCEPTANCE

ITEM	DESCRIPTION	UNIT	QTY.	UNIT PRICE	TOTAL COST	Securities	
						10%	100%

BELOW GROUND

SANITARY SEWERS

Sanitary Sewer							
a) 100mm Diameter	M	115	\$215	\$24,725	\$2,473	\$0	\$0
b) 200mm Diameter	M	0	\$0	\$0	\$0	\$0	\$0
1200mm Diameter Manholes	EACH	3	\$10,500	\$31,500	\$3,150	\$0	\$0
125mm Sanitary Services	EACH	0	\$0	\$0	\$0	\$0	\$0
Video Inspection and Report	L.S.	0	\$0	\$0	\$0	\$0	\$0
TOTAL SANITARY SEWERS				\$56,225	\$5,623	\$0	\$0

WATERMAIN

Watermain							
a) 200mm Diameter	M	0	\$0	\$0	\$0	\$0	\$0
b) 150mm Diameter	M	50.6	\$240	\$12,144	\$1,214	\$0	\$0
c) 75 mm Diameter	M	0	\$0	\$0	\$0	\$0	\$0
Watervalves							
a) 200mm Diameter	EACH	0	\$0	\$0	\$0	\$0	\$0
b) 150mm Diameter	EACH	1	\$2,750	\$2,750	\$275	\$0	\$0
Swabbing and Pressure Testing	L.S.	1	\$2,000	\$2,000	\$200	\$0	\$0
Bacteriological Testing and Chlorination	L.S.	1	\$2,000	\$2,000	\$200	\$0	\$0
19mm Copper Services	EACH	0	\$0	\$0	\$0	\$0	\$0
Hydrant Sets	EACH	0	\$0	\$0	\$0	\$0	\$0
Sampling Station	EACH	0	\$0	\$0	\$0	\$0	\$0
TOTAL WATERMAIN				\$18,894	\$1,889	\$0	\$0

STORM SEWERS

Storm Sewer							
a) 1000mm Diameter	M	0	\$0	\$0	\$0	\$0	\$0
b) 750mm Diameter	M	0	\$0	\$0	\$0	\$0	\$0
c) 300mm Diameter	M	0	\$0	\$0	\$0	\$0	\$0
d) 200mm Diameter	M	44.4	\$250	\$11,100	\$1,110	\$0	\$0
Connect 200mm Diameter Storm Lateral to Existing CB.4	L.S.	1	\$2,000	\$2,000	\$200	\$0	\$0

ITEM	DESCRIPTION	UNIT	QTY.	UNIT PRICE	TOTAL COST	Securities	
						10%	100%
	Connect 200mm Diameter Storm Lateral to Existing 200mm Diameter Storm Sewer	L.S.	1	\$2,000	\$2,000	\$200	\$0
	1200mm Diameter Manholes	EA	0	\$0	\$0	\$0	\$0
	125mm Services	EA	0	\$0	\$0	\$0	\$0
	Install Stormceptor EF6	EA	1	\$80,000	\$80,000	\$8,000	\$0
	Video Inspection and Report	L.S.	0	\$0	\$0	\$0	\$0
TOTAL BELOW STORM SEWER					\$95,100	\$9,510	\$0
					\$170,219	\$17,022	\$0

ABOVE GROUND

STORM SEWERS

Catchbasins	EA	0	\$0	\$0	\$0	\$0
TOTAL ABOVE STORM SEWER					\$0	\$0

ROAD CONSTRUCTION

Granular 'A'	Tonne	770	\$28	\$21,560	\$2,156	\$0
Granular 'B'	Tonne	2055	\$21	\$43,155	\$4,316	\$0
Curb and Gutter	M	0	\$0	\$0	\$0	\$0
HL4 Base Asphalt	Tonne	0	\$0	\$0	\$0	\$0
Sidewalk	M²	0	\$0	\$0	\$0	\$0
Tactile Warning Surface Indicator (2.4m x 0.6m)	L.S.	1	\$500	\$500	\$50	\$0
Painted Linework on Pavement	L.S.	1	\$2,500	\$2,500	\$250	\$0
Remove and dispose off-site of existing asphalt, pavers and curb	M3	2700	\$7	\$17,550	\$1,755	\$0
Supply and Install Street Signs	L.S.	0	\$0	\$0	\$0	\$0
TOTAL ROAD CONSTRUCTION					\$85,265	\$8,527

STREETLIGHTING

Streetlights (Pole, Mast Arm and Luminaire)	EACH	0	\$0	\$0	\$0	\$0
Streetlight Disconnect Pedestal	EACH	0	\$0	\$0	\$0	\$0
Conduit for Streetlight Conductor						
a) 50mm Conduit	M	0	\$0	\$0	\$0	\$0
b) 100mm Conduit (Road Crossings)	M	0	\$0	\$0	\$0	\$0
Streetlighting Conductor	M	0	\$0	\$0	\$0	\$0
TOTAL STREETLIGHTING					\$0	\$0

ITEM	DESCRIPTION	UNIT	QTY.	UNIT PRICE	TOTAL COST	Securities	
						10%	100%
					\$85,265	\$8,527	\$0

FINISHING WORKS

40mm HL3 Asphalt (Top Lift)	Tonne	205	\$122	\$25,010	\$2,501	\$0
50mm HL8 Asphalt (Top Lift)	Tonne	260	\$140	\$36,400	\$3,640	\$0
Top Soil and Sodding		0	\$0	\$0	\$0	\$0
Driveway Apron		0	\$0	\$0	\$0	\$0
Lot Grading		0	\$0	\$0	\$0	\$0

\$61,410 \$6,141 \$0

STORM WATER MANAGEMENT POND

Headwall and Rip Rap Outlet		0	\$0	\$0	\$0	\$0
		0	\$0	\$0	\$0	\$0

\$0 \$0 \$0

LANDSCAPING AND ON SITE WORKS

Trees		0	\$0	\$0	\$0	\$0
Trails and Walkways (topsoil to a depth of 0.15 metres and sod)		0	\$0	\$0	\$0	\$0
Park (topsoil to a depth of 0.15 metres and sod)		0	\$0	\$0	\$0	\$0
Plants and Materials		0	\$0	\$0	\$0	\$0
Flagstone		0	\$0	\$0	\$0	\$0
Fencing (Heavy Duty Silt Fence)		175	\$44	\$7,665	\$767	\$0
Lighting		0	\$0	\$0	\$0	\$0
Garbage Enclosure		0	\$0	\$0	\$0	\$0
Retaining Wall		0	\$0	\$0	\$0	\$0
Planters		0	\$0	\$0	\$0	\$0
Signage		1	\$250	\$250	\$25	\$0
Parking Lot Demarcation		0	\$0	\$0	\$0	\$0
Site Preparation		1	\$2,500	\$2,500	\$250	\$0
Contractor's cost to furnish 100% performance and maintenance bond		1	\$10,000	\$10,000	\$1,000	\$0
Proposed Paver Stones		1	\$15,000	\$15,000	\$1,500	\$0
Install 6 Concrete Bollards		6	\$750	\$4,500	\$450	\$0

ITEM	DESCRIPTION	UNIT	QTY.	UNIT PRICE	TOTAL COST	Securities	
						10%	100%
	Remove Bollards		1	\$500	\$500	\$50	\$0
	Street Sweeping		1	\$500	\$500	\$50	\$0
	Bike Parking and Paving Pad		1	\$1,500	\$1,500	\$150	\$0
	Install Silt Sac		4	\$100	\$400	\$40	\$0
					\$42,815	\$4,282	\$0

SUMMARY

BELOW GROUND	\$170,219	\$17,022	\$0
ABOVE GROUND	\$85,265	\$8,527	\$0
FINISHING WORKS	\$61,410	\$6,141	\$0
STORM WATER MANAGEMENT POND	\$0	\$0	\$0
LANDSCAPING AND ON SITE WORKS	\$42,815	\$4,282	\$0

TOTAL SECURITIES REQUIRED AT REGISTRATION

\$35,971

Preliminary Cost Estimate				
Robinson Chevy Dealership, 51 Queensway E, Simcoe				
Hill Design Studio Inc.				
04-Apr-24				
Item	Size	Cost Per	Qty	Total Cost
PLANTING				
Trees				
Acer rubrum 'Autumn Spire'	60mm cal	\$600.00	1	\$600.00
Acer saccharum	60mm cal	\$600.00	3	\$1,800.00
Shrubs				
Hemerocallis 'Little Wine Cup'	50cm, 3 gal. Pot	\$25.00	20	\$500.00
Juniperus sabina	50cm, 3 gal. Pot	\$40.00	3	\$120.00
Subtotal Plant Material				\$3,020.00
SOFTSCAPE AND FURNISHING				
Bark Mulch (100mm depth)	m3	\$75.00	2	\$150.00
Topsoil	m3	\$30.00	9	\$270.00
Bike Racks	each	\$500.00	3	\$1,500.00
Unit Paving	m2	\$150.00	100	\$15,000.00
Subtotal Softscape and Furnishing				\$1,920.00
Subtotal Project Costs				\$4,940.00

Concrete, asphalt, curbs, line painting, services, and lighting are not included in this estimate.

Our ref: 12626883

April 12, 2024

Fabian Serra
Planning and Development Division
Norfolk County
185 Robinson Street, Simcoe, Ontario, N3Y 5L6

Subject: **Response to Agency Comments**
Site Plan Application for 51 Queensway East, Simcoe

Dear Fabian Serra,

This letter is to provide our responses to Norfolk County's traffic related comments (SPPL2024030), regarding GHD's Transportation Impact Study (dated December 21, 2023) of the proposed commercial expansion at 51 Queensway East, Simcoe. The comments are restated here in *italics*, followed by GHD's response.

- As stated in the Summary and Conclusions, the traffic consultant has noted that: "GHD recommends that within the "S-curve" of Gilbertson Drive, the posted speed be reduced to 30 km/hr. This speed limit reduction serves the purpose of meeting the sight distance requirements under a 30 km/hr design speed. Additional signage is recommended as a speed reduction and traffic safety measure to achieve 30 km/hr within the "S-curve".*

Please note the location of this signage on plans and include a detail for the future speed limit sign.

Response:

Signage was selected based on the Ministry of Transportation Ontario (MTO) *Ontario Traffic Manual, Book 6: Warning Signs*. A sharp right curve sign (Wa-2R) with a 30 km/hr Advisory Speed tab sign (Wa-7t) is proposed to be located 40 m in advance of the "S-curve" in both the northbound and southbound directions. A detail of signage from the *Ontario Traffic Manual, Book 6: Warning Signs* is provided in **Figure 1** and **Figure 2**. Note that these details are examples for each signage type, and the specific signage is shown in the functional signage plan in **Appendix A**.

SHARP CURVE Sign



Wa-2L	60 cm x 60 cm
Wa-102L	75 cm x 75 cm
Font	N/A
Colour	Legend & Border – Black Background – Yellow Reflective
Minimum Sheeting	Type I

Figure 1 Sharp Curve Sign (Wa-2L) Detail

ADVISORY SPEED Tab Sign



Wa-7t	45 cm x 45 cm
Font	Highway Gothic D
Colour	Legend & Border – Black Background – Yellow Reflective
Minimum Sheeting	Type I

Figure 2 Advisory Speed Tab Sign (Wa-7t) Detail

We trust the provided additional information and appendices are sufficient for your review / acceptance, however, please do not hesitate to contact the undersigned should you require any additional clarifications.

Sincerely,

GHD



Nathan Chan, EIT
Transportation Planner
nathan.chan@ghd.com

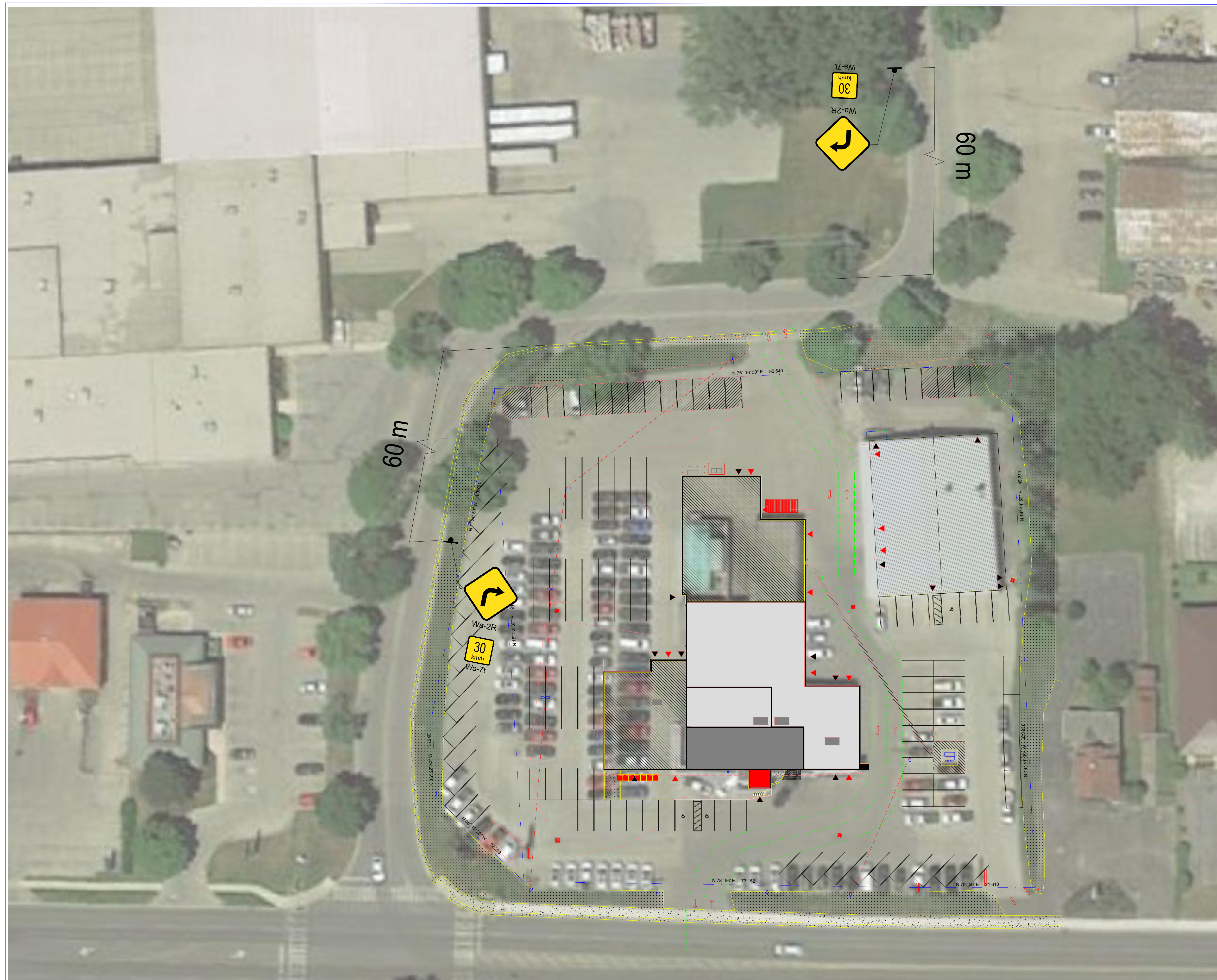
Attch. Appendix A



Roland Roovers, P.Eng.
Senior Manager, Transportation Planning
roland.roovers@ghd.com

Appendix A

Functional Signage Plan



51 QUEENSWAY EAST, SIMCOE SIGNAGE PLAN

FIGURE: SP-1

PROJECT NO. 12626883

DATE: APR 12, 2024