NETHERY Planning

June 12, 2025

Fabian Serra
Planner
Norfolk County
60 Colborne Street South
Simcoe, Ontario N3Y 4H3

Dear Fabian:

Re: Application for Site Plan Control 60 Pond Street
Norfolk County
File: 150

Nethery Planning is the planning consultant representing Mr. Mark Bristoll on behalf of Ollie Switch Developments. A Site Plan Control application for 60 Pond Street was submitted to Norfolk County in 2024. Comments were subsequently received from the Development Engineering Department on July 25, 2024, as well as from the Long Point Region Conservation Authority, which raised concerns regarding proposed cut and fill activities within the floodplain. Over the past six months, the consulting team has engaged in ongoing meetings and correspondence with both County and LPRCA staff to address the issues identified. All plans and supporting reports have been revised accordingly and are now resubmitted as a complete package for the County's review and approval.

Please find included in the package the following:

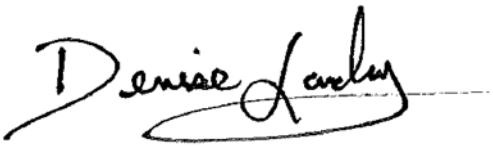
Information	Consultant
Covering Letter	Nethery Planning
Site Plan & Elevations	GB Architects Inc
Landscape Plan	Aboud & Associates Inc
Lighting Photometric	Integrated Engineering
Parking Assessment Update	Nethery Planning
Civil Site Plan, Servicing Plan	MC Engineering
Functional Servicing Report	MC Engineering
Stormwater Management Brief	MC Engineering
Securities & Construction Estimates	MC Engineering

NETHERY Planning

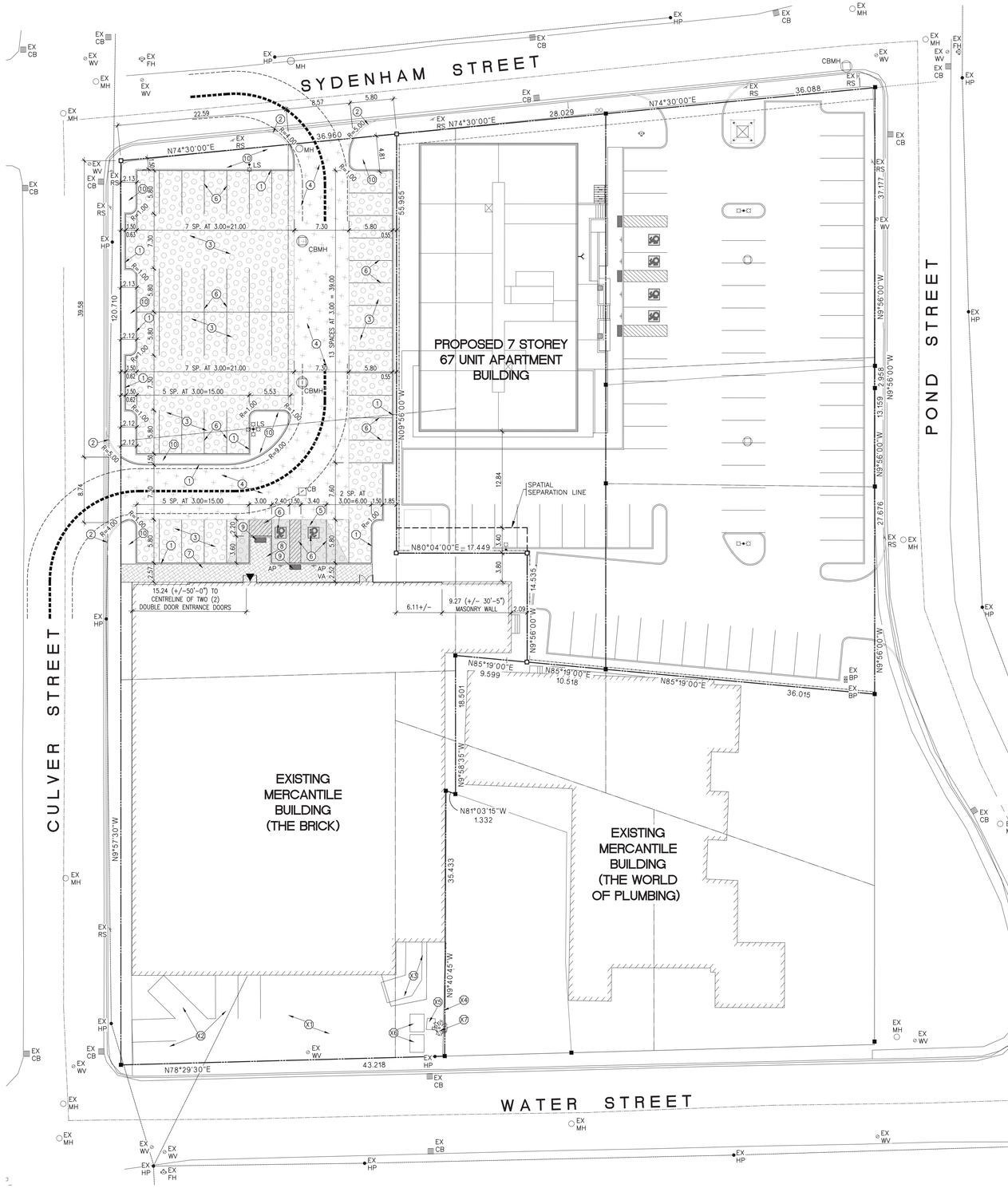
Please circulate the attached material to internal departments and applicable agencies for review.

Should you have any questions or require additional information, please do not hesitate to contact the undersigned.

Yours sincerely,



Denise Landry, MCIP, RPP
Principal Planner
(289) 902 3903 ext. 207
denise@netheryplanning.ca



SITE PLAN NOTES

1. STANDARD CONCRETE BARRIER CURB
2. CURB PROFILE AT MUNICIPAL SIDEWALK – FLUSH WITH SIDEWALK SURFACE
3. STANDARD DUTY ASPHALT
4. HEAVY DUTY ASPHALT
5. RAMPED ASPHALT SURFACE TO BE FLUSH WITH BARRIER CURB – MAXIMUM 1/2" ROLLOVER FOR BARRIER FREE ACCESS
6. PAINTED LINE MARKINGS AND GRAPHICS
7. CONCRETE SIDEWALK – REFER TO CIVIL AND LANDSCAPE DWGS.
8. RAMPED CONCRETE SIDEWALK TO BE FLUSH WITH ADJACENT RAMPED ASPHALT SURFACE AT BARRIER FREE PARKING SPACES
9. TACTILE WARNING INDICATOR AT BARRIER FREE PARKING SPACE ACCESS AISLE
10. LANDSCAPED AREA – REFER TO LANDSCAPE DWGS.

EXISTING SITE PLAN NOTES

- X1 EXISTING ASPHALT PARKING/LOADING SURFACE TO REMAIN
- X2 EXISTING PARKING SPACES (5) TO REMAIN
- X3 EXISTING LOADING DOCK TO REMAIN
- X4 EXISTING FENCE TO REMAIN
- X5 EXISTING ELECTRICAL TRANSFORMER TO REMAIN
- X6 EXISTING OUTBUILDING TO REMAIN
- X7 EXISTING TREE TO REMAIN

GENERAL NOTES

1. ALL OUTDOOR LIGHTING TO BE DARK SKY COMPLIANT.
2. SNOW TO BE REMOVED FROM SITE BY PRIVATE SNOW REMOVAL SERVICE.

SITE DATA:

MUNICIPAL ADDRESS: 48 SYDENHAM STREET, SIMCOE, ONTARIO

LEGAL DESCRIPTION: PLAN OF SURVEY OF PART OF LOTS 3 & 6, BLOCK 87 REGISTERED PLAN 182 AND ALL OF LOTS 1, 2, 5 & 7, BLOCK 87 REGISTERED PLAN 182 (TOWN OF SIMCOE) IN NORFOLK COUNTY AS PREPARED BY JEWITT AND DIXON LTD. ONTARIO LAND SURVEYORS, COMPLETED ON _____ ___, 2023.

	REQUIRED	PROVIDED	% LOT COVERAGE
AREA OF COMMERCIAL PROPERTY RETAINED (THE BRICK)		5,102.54m²	100%
ZONING CENTRAL BUSINESS DISTRICT (CBD) AND ZONING AMENDMENT 14.709			
GRFA (FOOTPRINT) AREA OF EXISTING COMMERCIAL BLDG	80% (MAX)	2,246.21m²	44.02%
GFA (GROSS) OF EXISTING COMMERCIAL BLDG.		2,246.21m²	
GFUA (USEABLE) OF EXISTING COMMERCIAL BLDG.		2,246.21m²	
FRONTAGE (NORTH)		36.960m	
DEPTH (ALONG CULVER STREET)		120.710m	
BUILDING HEIGHT	6 STOREYS	1 STOREY	
FRONT YARD SET BACK (NORTH)	56.20m	56.159m	
EXTERIOR SIDE YARD SET BACK (WEST)	0m	(EX.)1.490m	
INTERIOR SIDE YARD SET BACK (EAST)	0m	(EX.)0.016m	
REAR YARD SET BACK (SOUTH)	0m	(EX.)11.029m	
LANDSCAPED/HARDSCAPED OPEN SPACE AREA		1,085.34m²	21.27%
ASPHALTED AREAS (IMPERVIOUS)		1,770.99m²	34.71%
PARKING SPACES: REGULAR PARKING SPACES 3m X 5.8m		46 (NEW REGULAR) 5 (EXISTING)	
BARRIER-FREE PARKING CALC: TYPE 'A' – 3.4m X 5.8m (VAN ACCESSIBLE)		1	
TYPE 'B' – 2.4m X 5.8m		1	
ACCESSIBLE AISLE – 1.5m (ADJACENT TO ABOVE)			
TOTAL		53	
LOADING SPACES: (3m X 5.8m)	N/A	1	

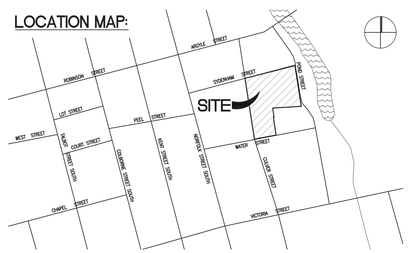
SITE LEGEND:

- PROPERTY LINE
- DENOTES FIRE ROUTE – MIN. 6.0m WIDE w/ 12.0m CENTRELINE RADIUS
- BUILDING EXIT (BF – DENOTES BARRIER FREE, FF– DENOTES FIRE FIGHTER PRINCIPAL ENTRANCE)
- ACCESSIBLE PARKING
- CB NEW CATCH BASIN
- MH NEW MANHOLE
- CBMH NEW CATCH BASIN MANHOLE
- WV NEW WATER VALVE
- LS NEW LIGHT STANDARD
- FDC FIRE DEPARTMENT CONNECTION
- FH NEW FIRE HYDRANT
- NEW TRAFFIC SIGNAGE REFER TO SIGNAGE LEGEND
- CONCRETE SIDEWALK
- CONCRETE LOADING SPACE/ SIDEWALK RAMPED TO BE FLUSH WITH BARRIER CURB
- STANDARD DUTY ASPHALT RAMPED TO BE FLUSH WITH BARRIER CURB
- STANDARD DUTY ASPHALT
- HEAVY DUTY ASPHALT
- EX CB EXISTING CATCH BASIN
- EX MH EXISTING MANHOLE
- EX FH EXISTING FIRE HYDRANT
- EX RS EXISTING ROAD SIGN
- EX HP EXISTING HYDRO POLE
- EX WV EXISTING WATER VALVE
- EX BP EXISTING BELL PEDESTAL
- EXISTING OVERHEAD WIRES

SIGNAGE LEGEND:

AP – ACCESSIBLE PARKING (VA – VAN ACCESSIBLE)

LOCATION MAP:



PROJECT NORTH

gb architect inc.
430 ONTARIO STREET
STRATFORD, ONTARIO. N5A 3J2
PHONE (519) 272 0073 FAX (519) 272 1433

ONTARIO ASSOCIATION OF ARCHITECTS
GUY ROBERT BELLEHUMEUR
LICENCE 4217
June 5, 2025

"Guy R. Bellehumeur, B. Arch., OAA, MRAIC, Principal Architect of GB ARCHITECT INC. is the designer for this project with respect to all architectural work identified on this drawing sheet. The Ontario Association of Architects has assigned Guy R. Bellehumeur & GB ARCHITECT INC. BCDN 4217 as per requirements of the Ministry of Municipal Affairs & Housing Bill 124."

The Architect above has exercised responsible control with respect to design activities. The Architect's seal number is their BCDN number.

No.	DATE	REVISION
1.	FEB. 26/24	ISSUED FOR SPA
2.	MAY 31/25	RE-ISSUED FOR SPA

DO NOT SCALE DRAWINGS. DRAWINGS MUST BE READ IN CONJUNCTION WITH WRITTEN SPECIFICATIONS. ALL WORK SHALL BE CARRIED OUT ACCORDING TO LATEST VERSIONS OF THE ONTARIO BUILDING CODE, OTHER APPLICABLE CODES, AND ALL AUTHORITIES HAVING JURISDICTION. CHECK AND VERIFY ALL DIMENSIONS AND REPORT ALL DISCREPANCIES OR AMBIGUITIES TO THE ARCHITECT PRIOR TO ISSUANCE OF CONTRACT.

THE BRICK

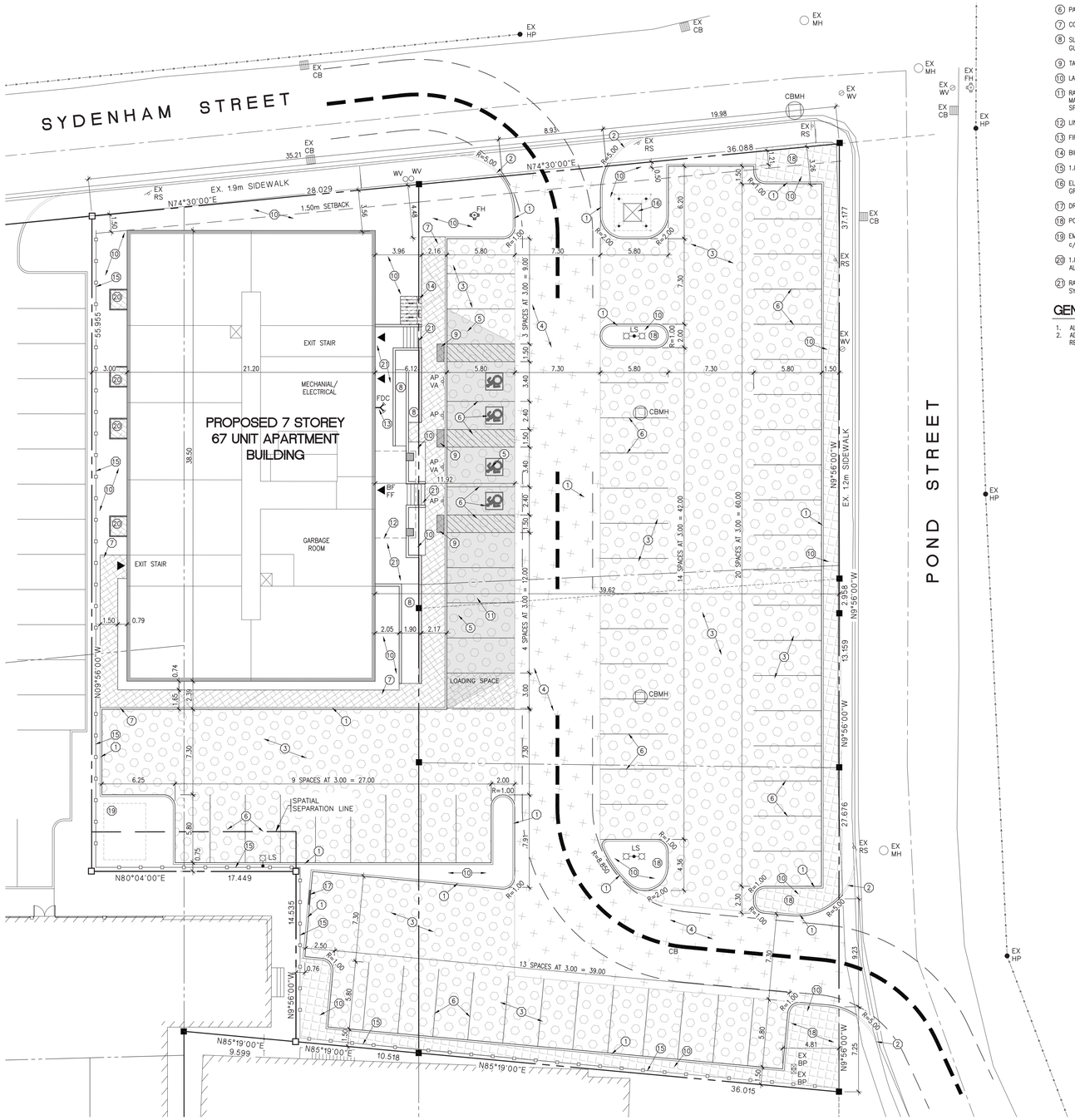
48 SYDENHAM STREET
SIMCOE, ONTARIO

PRINT DATE:	May 31, 2025
DATE:	May 31, 2025
DRAWN BY:	KED
CHECKED BY:	G.R.B.
SCALE:	1:300
PROJECT No.:	22-2185

COMMERCIAL PROPERTY SITE PLAN

A1.1

gb



SITE PLAN NOTES

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2. CURB PROFILE AT MUNICIPAL SIDEWALK – FLUSH WITH SIDEWALK SURFACE
3. STANDARD DUTY ASPHALT
4. HEAVY DUTY ASPHALT
5. RAMPED ASPHALT SURFACE TO BE FLUSH WITH BARRIER CURB – MAXIMUM 1/2" ROLLOVER FOR BARRIER FREE ACCESS
6. PAINTED LINE MARKINGS AND GRAPHICS
7. CONCRETE SIDEWALK – REFER TO CIVIL AND LANDSCAPE DWGS.
8. SLOPED CONCRETE RETAINING WALL/RAMP C/W TEMPERED GLAZING GUARD/RAILING SYSTEM – REFER TO CIVIL AND LANDSCAPE DWGS.
9. TACTILE WARNING INDICATOR AT BARRIER FREE PARKING SPACE ACCESS AISLE
10. LANDSCAPED AREA – REFER TO LANDSCAPE DWGS.
11. RAMPED ASPHALT LOADING SPACE TO BE FLUSH WITH BARRIER CURB TO MATCH ADJACENT RAMPED ASPHALT SURFACE AT BARRIER FREE PARKING SPACES
12. LINE OF OVERHEAD ENTRANCE CANOPY
13. FIRE DEPARTMENT CONNECTION
14. BIKE RACK (4 BIKES) ON CONCRETE PAD
15. 1.8m HIGH PRESSURE TREATED WOOD FENCE SET 0.3m FROM PROPERTY LINE
16. ELECTRICAL TRANSFORMER c/w CONCRETE FILLED STEEL PIPE BOLLARDS AND GROUNDING LOOP – REFER TO ELECTRICAL DWGS.
17. DROPPED CONCRETE CURB FOR SURFACE DRAINAGE – REFER TO CIVIL DWGS.
18. POTENTIAL SNOW STORAGE AREA
19. EMERGENCY GENERATOR (SIZE TO BE DETERMINED) c/w CONCRETE PAD – REFER TO ELECTRICAL DWGS.
20. 1.8 LG. x 1.5 WIDE FIRST FLOOR RESIDENTIAL SUITE PATIOS c/w PREFINISHED ALUMINUM RAILING ASSEMBLY ENCLOSURE
21. RAISED CONCRETE SIDEWALK / STEPS C/W TEMPERED GLAZING GUARD/RAILING SYSTEM – REFER TO CIVIL AND LANDSCAPE DWGS.

GENERAL NOTES

1. ALL OUTDOOR LIGHTING TO BE DARK SKY COMPLIANT.
2. ADDITIONAL SNOW TO BE REMOVED FROM SITE BY PRIVATE SNOW REMOVAL SERVICE.

SITE DATA:

MUNICIPAL ADDRESS: 60 POND STREET, SIMCOE, ONTARIO

LEGAL DESCRIPTION: PLAN OF SURVEY OF PART OF LOTS 3 & 6, BLOCK 87 REGISTERED PLAN 182 AND ALL OF LOTS 1, 2, 5 & 7, BLOCK 87 REGISTERED PLAN 182 (TOWN OF SIMCOE) IN NORFOLK COUNTY AS PREPARED BY JEWITT AND DIXON LTD. ONTARIO LAND SURVEYORS, COMPLETED ON _____ ___, 2023.

	REQUIRED	PROVIDED	% LOT COVERAGE
AREA OF PROPOSED APARTMENT LOT		4,542.04m²	100%
ZONING CENTRAL BUSINESS DISTRICT (CBD) AND ZONING AMENDMENTS 14.930 & 36-Z-2017			
LOT COVERAGE OF PROP. APARTMENT	(80% MAX)	818.50m²	18.02%
GRFA (GROUND FL) AREA OF PROP. APARTMENT		816.20m²	17.97%
GFA (GROSS) OF PROPOSED APARTMENT	–	5,713.40m²	
GUFA (GROSS USEABLE) OF APARTMENT	–	4,092.44m²	
USEABILITY OF GROUND FLOOR FOR DWELLING UNITS	100% TO A MAX. OF 7 UNITS	7 UNITS	
FLOOR AREA RATIO		0.90	
BUILDING HEIGHT	7 STOREYS	7 ST. (25.0m)	
FRONTAGE (NORTH) SYDENHAM ST.	–	64.117m	
DEPTH (ALONG POND STREET)	–	80.970m	
FRONT YARD SET BACK (NORTH)	3.0m MAX.	1.500m	
EXTERIOR SIDE YARD SET BACK (EAST)	0m	39.616m	
INTERIOR SIDE YARD SET BACK (WEST)	0m	3.000m	
REAR YARD SET BACK (SOUTH)	0m	16.241m	
LANDSCAPED/HARDSCAPED OPEN SPACE AREA	–	950.17m²	20.38%
ASPHALTED AREAS (IMPERVIOUS)	–	2,773.37m²	61.60%
PARKING SPACES: REGULAR PARKING SPACES (3m X 5.8m)		63 (NEW REGULAR)	
BARRIER-FREE PARKING CALC: TYPE 'A' – 3.4m X 5.8m (VAN ACCESSIBLE)		2	
TYPE 'B' – 2.4m X 5.8m		2	
ACCESSIBLE AISLE – 1.5m (ADJACENT TO ABOVE) TOTAL		67	
LOADING SPACES:	N/A	1	

SITE LEGEND:

- PROPERTY LINE
- DENOTES FIRE ROUTE – MIN. 6.0m WIDE w/ 12.0m CENTRELINE RADIUS
- BUILDING EXIT BF – DENOTES BARRIER FREE FF– DENOTES FIRE FIGHTER PRINCIPAL ENTRANCE
- ACCESSIBLE PARKING
- CB NEW CATCH BASIN
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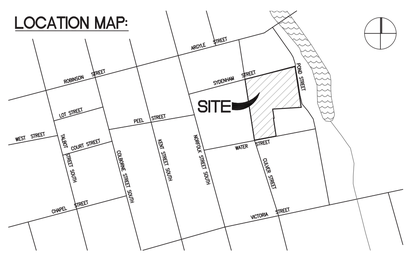
AP – ACCESSIBLE PARKING (VA – VAN ACCESSIBLE)

LOCATION MAP:



PROJECT NORTH

gb architect inc.
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ONTARIO ASSOCIATION OF ARCHITECTS
GUY ROBERT BELLEHUMEUR
LICENCE 4217
June 5, 2025

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No.	DATE	REVISION
1.	FEB. 26/24	ISSUED FOR SPA
2.	MAY 31/25	RE-ISSUED FOR SPA

POND STREET APARTMENTS

60 POND STREET
SIMCOE, ONTARIO

PRINT DATE:	May 31, 2025
DATE:	May 31, 2025
DRAWN BY:	KED
CHECKED BY:	G.R.B.
SCALE:	1:200
PROJECT No.:	22-2185

APARTMENT PROPERTY SITE PLAN

A1.2

DO NOT SCALE DRAWINGS. DRAWINGS MUST BE READ IN CONJUNCTION WITH WRITTEN SPECIFICATIONS. ALL WORK SHALL BE CARRIED OUT ACCORDING TO LATEST VERSIONS OF THE ONTARIO BUILDING CODE, OTHER APPLICABLE CODES, AND ALL AUTHORITIES HAVING JURISDICTION. CHECK AND VERIFY ALL DIMENSIONS AND REPORT ALL DISCREPANCIES OR AMBIGUITIES TO THE ARCHITECT PRIOR TO ISSUANCE OF CONTRACT.

MATERIALS LEGEND

1. PREFINISHED METAL CAP FLASHING
   COLOUR: TBD
2. PREFINISHED METAL CLAD FASCIA
   COLOUR: TBD
3. PREFINISHED METAL HORIZONTAL SIDING
   COLOUR: WOOD MATTE FINISH
4. EXTERIOR INSULATION AND FINISH SYSTEM (STUCCO)
   COLOUR: TBD
5. EXTERIOR INSULATION AND FINISH SYSTEM (STUCCO)
   COLOUR: TBD
6. BRICK VENEER
   COLOUR: TBD
7. PRECAST CONCRETE MASONRY BAND
   COLOUR: LIGHT GREY
8. SEALED DOUBLE CLEAR GLAZING SET IN THERMALLY BROKEN ALUMINUM WINDOW FRAMING
   COLOUR: CLEAR ANODIZED ALUMINUM
9. SEALED DOUBLE CLEAR GLAZING SET IN THERMALLY BROKEN ALUMINUM PATIO DOOR SLIDER
   COLOUR: CLEAR ANODIZED ALUMINUM
10. PREFINISHED METAL JULIETTE BALCONY GUARD C/W METAL PICKETS
    COLOUR: TBD
11. SEALED DOUBLE CLEAR GLAZING SET IN THERMALLY BROKEN PREFINISHED EXTRUDED ALUMINUM ENTRANCE FRAMING C/W SEALED DOUBLE CLEAR GLAZED TRANSOM/SIDELITE
    COLOUR: CLEAR ANODIZED ALUMINUM
12. PAINTED INSULATED HOLLOW METAL DOOR AND FRAME
    COLOUR: TBD
13. INTAKE/EXHAUST LOUVRE (REFER TO MECHANICAL DWGS.)
    COLOUR: TBD
14. PREFINISHED METAL SIDING (CANOPY)
    COLOUR: TBD
15. BUILDING ADDRESS SIGNAGE
    COLOUR: TBD
16. PREFINISHED METAL THRU WALL SCUPPER
    COLOUR: TO MATCH ADJACENT BUILDING MATERIAL
17. WALL MOUNTED LIGHT FIXTURE (REFER TO ELECTRICAL DWGS.)
18. FIRE DEPARTMENT CONNECTION (REFER TO MECHANICAL DWGS.)
19. FINISHED GRADE (REFER TO CIVIL DWG. GRADING PLAN)
20. CONCRETE FOUNDATION WALL SANDBLASTED EXPOSED SURFACES (CLIENT DISCRETION)
21. CONCRETE RAMP / STAIRS (REFER TO STRUCTURAL DWGS)
22. TOP MOUNTED GUARDRAIL WITH TEMPERED GLAZING 1070mm HIGH AFF. C/W SUPPORTS AT 1200mm O.C. MAX.

gb architect inc.
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ONTARIO ASSOCIATION OF ARCHITECTS
GUY ROBERT BELLEHUMEUR
LICENCE
4217
June 3, 2025

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POND STREET APARTMENTS

60 POND STREET
SIMCOE, ONTARIO

PRINT DATE:	May 31, 2025
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DRAWN BY:	MHW
CHECKED BY:	G.R.B.
SCALE:	1:100
PROJECT No.:	22-2185

EAST (FRONT) BUILDING ELEVATION

A4.1

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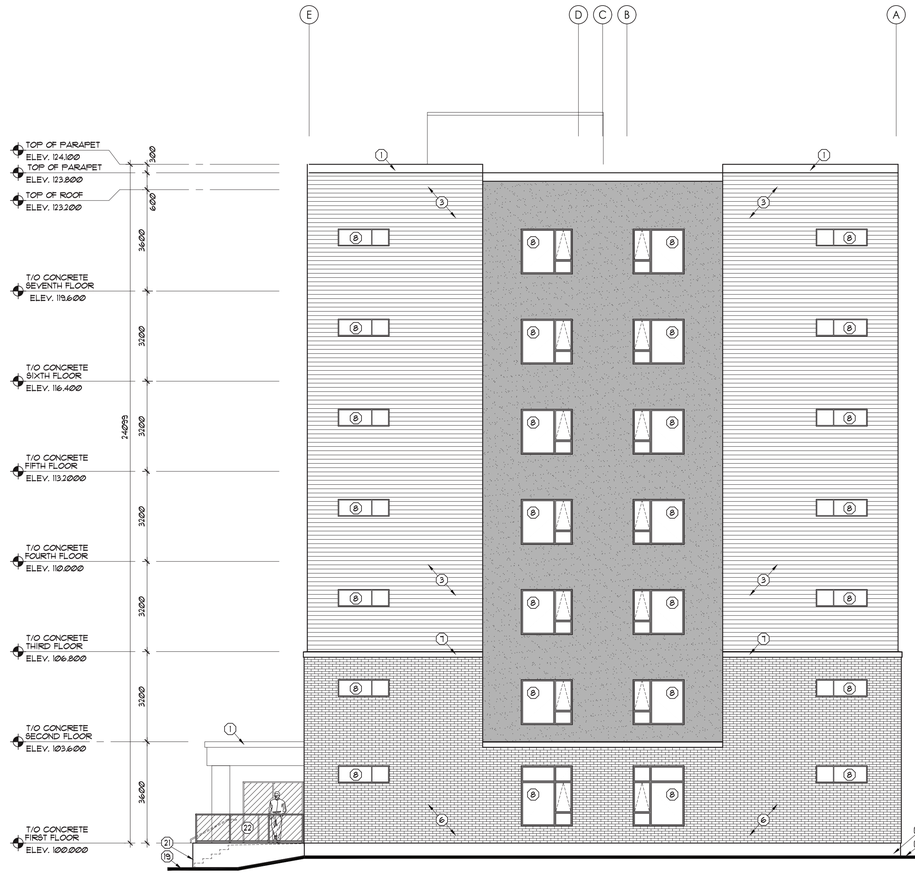

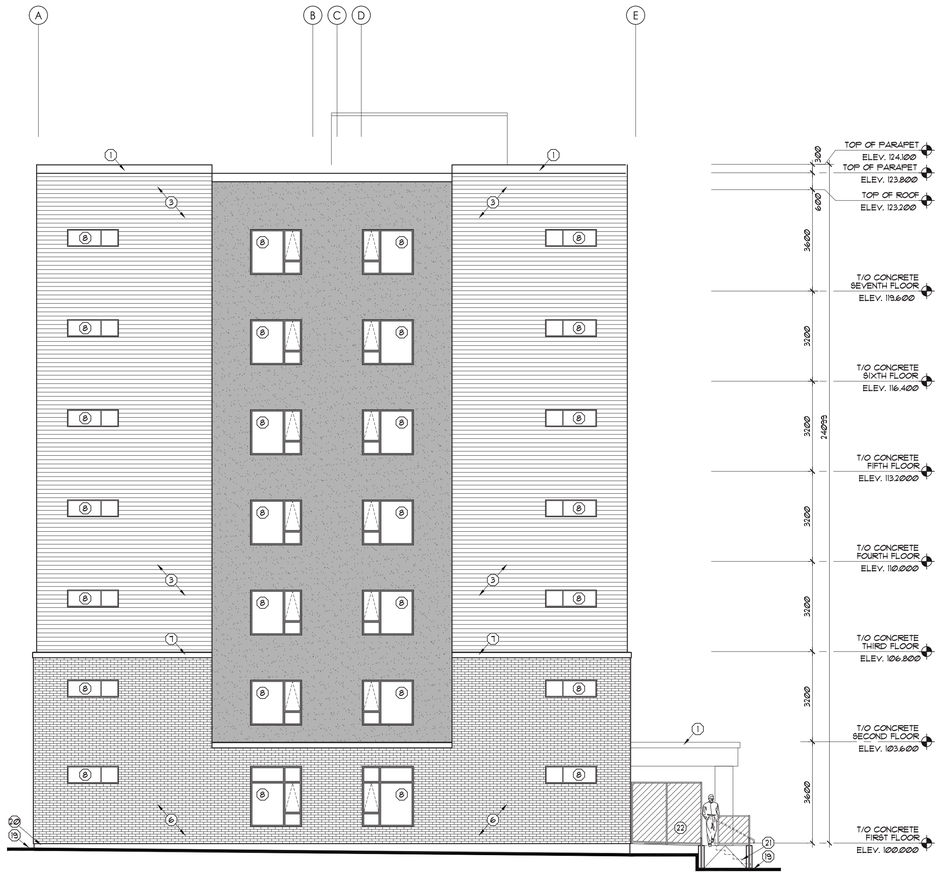

MATERIALS LEGEND

1. PREFINISHED METAL CAP FLASHING
   COLOUR: TBD
2. PREFINISHED METAL CLAD FASCIA
   COLOUR: TBD
3. PREFINISHED METAL HORIZONTAL SIDING
   COLOUR: WOOD MATTE FINISH
4. EXTERIOR INSULATION AND FINISH SYSTEM (STUCCO)
   COLOUR: TBD
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SIMCOE, ONTARIO

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SCALE:	1:100
PROJECT No.:	22-2185

NORTH & SOUTH (END) BUILDING ELEVATIONS

A4.2

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5. EXTERIOR INSULATION AND FINISH SYSTEM (STUCCO)
   COLOUR: TBD
6. BRICK VENEER
   COLOUR: TBD
7. PRECAST CONCRETE MASONRY BAND
   COLOUR: LIGHT GREY
8. SEALED DOUBLE CLEAR GLAZING SET IN THERMALLY BROKEN ALUMINUM WINDOW FRAMING
   COLOUR: CLEAR ANODIZED ALUMINUM
9. SEALED DOUBLE CLEAR GLAZING SET IN THERMALLY BROKEN ALUMINUM PATIO DOOR SLIDER
   COLOUR: CLEAR ANODIZED ALUMINUM
10. PREFINISHED METAL JULIETTE BALCONY GUARD C/W METAL PICKETS
    COLOUR: TBD
11. SEALED DOUBLE CLEAR GLAZING SET IN THERMALLY BROKEN PREFINISHED EXTRUDED ALUMINUM ENTRANCE FRAMING C/W SEALED DOUBLE CLEAR GLAZED TRANSOM/SIDELITE
    COLOUR: CLEAR ANODIZED ALUMINUM
12. PAINTED INSULATED HOLLOW METAL DOOR AND FRAME
    COLOUR: TBD
13. INTAKE/EXHAUST LOUVRE
    (REFER TO MECHANICAL DWGS.)
    COLOUR: TBD
14. PREFINISHED METAL SIDING (CANOPY)
    COLOUR: TBD
15. BUILDING ADDRESS SIGNAGE
    COLOUR: TBD
16. PREFINISHED METAL THRU WALL SCUPPER
    COLOUR: TO MATCH ADJACENT BUILDING MATERIAL
17. WALL MOUNTED LIGHT FIXTURE
    (REFER TO ELECTRICAL DWGS.)
18. FIRE DEPARTMENT CONNECTION
    (REFER TO MECHANICAL DWGS.)
19. FINISHED GRADE
    (REFER TO CIVIL DWG. GRADING PLAN)
20. CONCRETE FOUNDATION WALL
    SANDBLASTED EXPOSED SURFACES (CLIENT DISCRETION)
21. CONCRETE RAMP / STAIRS (REFER TO STRUCTURAL DWGS)
22. TOP MOUNTED GUARDRAIL WITH TEMPERED GLAZING 1070mm HIGH AFF. C/W SUPPORTS AT 1200mm O.C. MAX.

gb architect inc.
430 ONTARIO STREET
STRATFORD, ONTARIO. N5A 3J2
PHONE (519) 272 0073 FAX (519) 272 1433

ONTARIO ASSOCIATION OF ARCHITECTS
GUY ROBERT BELLEHUMEUR
LICENCE
4217
June 5, 2025

"Guy R. Bellehumeur, B. Arch., OAA, MRAIC, Principal Architect of GB ARCHITECT INC. is the designer for this project with respect to all architectural work identified on this drawing sheet. The Ontario Association of Architects has assigned Guy R. Bellehumeur & GB ARCHITECT INC. BCDN 4217 as per requirements of the Ministry of Municipal Affairs & Housing Bill 124."

The Architect above has exercised responsible control with respect to design activities. The Architect's seal number is their BCDN number.

No.	DATE	REVISION
1.	FEB. 26/24	ISSUED FOR SPA
2.	MAY 31/25	RE-ISSUED FOR SPA

POND STREET APARTMENTS

60 POND STREET
SIMCOE, ONTARIO

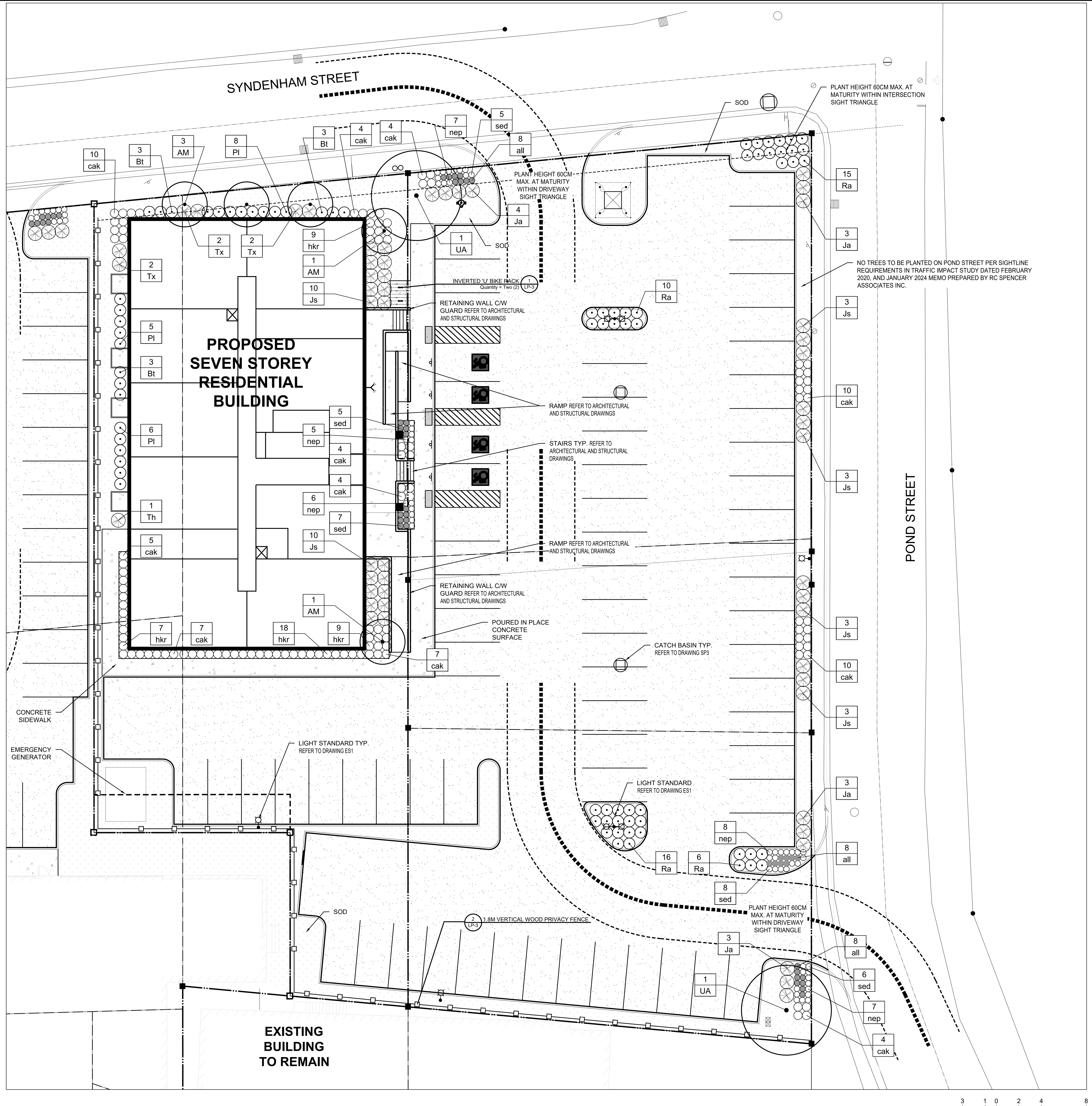
PRINT DATE:	May 31, 2025
DATE:	May 31, 2025
DRAWN BY:	MHW
CHECKED BY:	G.R.B.
SCALE:	1:100
PROJECT No.:	22-2185

WEST (REAR) BUILDING ELEVATION

A4.3

1. Base information sources:
   1.1. Site Plan and Architectural Plans prepared by GB Architect Inc dated April 24, 2025.
   1.2. Grading and Servicing Plans prepared by MC Engineering dated April 24, 2025.
   1.3. Lighting and Electrical plan prepared by Integrated Engineering dated April 23, 2025.
2. All dimensions are in metric unless otherwise noted.
3. Do not scale drawings. Dimensions are to be verified on site by Contractor prior to commencement of the work.
4. These plans shall be read in conjunction with all details, notes, reports, written specifications, general conditions, any supplemental conditions and agreement which form the contract documents.
5. These drawings shall not be used for construction purposes unless noted as “Issued for Construction” and signed by the Landscape Architect or Professional Engineer.
6. Contractor shall review all drawings and verify actual field conditions to determine the total scope of work and all required coordination prior to submission of bids and commencement of the work. Report any discrepancies to the Landscape Architect, for action to the satisfaction of the Owner.
7. Contractor shall locate all underground, at grade and overhead utilities prior to commencement of the work. All utilities not necessarily shown on these drawings. Aboud & Associates assumes no responsibility for the accuracy of any utilities shown in these drawings.
8. Contractor shall perform all work in accordance with the most current Ontario Building Code, Occupational Health and Safety Act and it's regulations, as well as local municipal codes, regulations, and By-laws.
9. Contractor shall identify the location of all internal/external construction access routes, parking and storage of materials in conformance with project erosion and sediment control plans for acceptance by the Owner. Construction, maintenance and removal/restoration of access, parking and storage facilities shall be included in the Contractor's bid price.
10. Contractor shall submit shop drawings where indicated in these drawings. Shop drawings shall be certified by a Professional Engineer licensed to practice in Ontario and reviewed by the contractor for dimensional correlation with the drawings and field conditions. Fabrication of elements on shop drawings shall not proceed until drawings have been reviewed and approved by a Professional Engineer and have been accepted for general design conformance by the Landscape Architect in writing. The cost of preparing shop drawings, as well as the services of a Professional Engineer, shall be included in the Contractor's bid price.
11. Contractor proposed substitution of materials and products shall be submitted in writing for review by Landscape Architect and acceptance by Owner and Municipality.
12. Material quantities on drawings shall take precedent over those in lists and schedules.
13. Where traffic control is necessary, Contractor shall use the guideline of the Construction Safety Association of Ontario, municipal by-laws, the Highway Traffic Act and the Ontario Traffic Manual (Book 7). The cost of preparing, obtaining approvals and implementing traffic control plans shall be included in the Contractor's bid price, unless otherwise noted.
14. Contractor shall erect temporary barriers, as required, to secure the work area. Contractor shall maintain temporary barriers in good repair and remove at the end of the work.
15. Contractor shall provide layout and grade staking, for general review by Landscape Architect and acceptance by Owner.
16. Contractor is responsible for protecting and/or reinstating site elements indicated in these drawings.
17. Contractor is responsible for restoration of adjacent surfaces and existing site elements damaged by the Contractor in the performance of the work, including but not limited to roads, driveways, utilities, buildings, curbs, sidewalks, retaining walls, fencing, turf, flowers and woody vegetation. Restoration work shall be performed by the Contractor at no cost to the Owner and be completed in conformance with applicable Provincial, Municipal or Agency standards and requirements, to the satisfaction of the Owner/Agency of the damaged element.
18. Where new paving or earthwork meets existing, smoothly blend line and grade of existing with new.
19. Contractor or Owner to request in writing [email] Project Landscape Architect general review services at substantial performance of landscape work between May 1st and October 31st. Requests for review after October 31st will be carried out after May 1st the following spring.
20. All work and materials are to be warranteed by the Contractor for twenty-four (24) months from date of initial acceptance of all items by Municipal Staff and Project Landscape Architect.
   20.1. The Contractor shall be retained by the Owner to perform maintenance, as described in these drawings for all the installed trees, shrubs, perennials, turf, and seeding during the warranty period.
   OR
   20.2. The Owner shall provide maintenance themselves or retain a separate Contractor to perform the maintenance as described in these drawings for all installed trees, shrubs, perennials, turf and seeding during the warranty period.
21. Unless identified in warranty maintenance requirements, after substantial performance, it is the Owner's responsibility to inspect and maintain all safety devices, signs, guards, fences, handrails, surfaces, structures, and stormwater drainage system so they may function for their intended use and without harm for all users of the site.

1 LP-1 GENERAL LANDSCAPE NOTES



PLANT LIST - APARTMENT SITE

KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE	TYPE	REMARKS
TREES						
AM	5	AMELAMCHIER X GRANDIFLORA 'PRINCESS DIANA'	PRINCESS DIANA SERVICEBERRY	50mm Caliper	Wire Basket	TREE FORM
UA	2	ULMUS AMERICANA 'VALLEY FORGE'	VALLEY FORGE ELM	50mm Caliper	Wire Basket	ACCEPTABLE SUBSTITUTION 'PRINCETON'
	7	TOTAL TREES				

SHRUBS						
Bt	9	BERBERIS THUNBERGII 'GENTRY'	ROYAL BURGUNDY BARBERRY	50cm Height	2 Gallon Pot	1M O.C. SPACING
Ja	13	JUNIPERUS SABINA 'ARCADIA'	ARCADIA JUNIPER	50cm Spread	5 Gallon Pot	1.2 M O.C. SPACING
Js	32	JUNIPERUS SABINA	SAVIN JUNIPER	50cm Spread	5 Gallon Pot	1.2 M O.C. SPACING
Pl	19	PHYSOCARPUS OPULIFOLIUS 'LEMON CANDY'	LEMON CANDY NINEBARK	50cm Height	2 Gallon Pot	1M O.C. SPACING
Ra	47	RHUS AROMATICA 'GRO LOW'	GRO-LOW FRAGRANT SUMAC	50cm Spread	2 Gallon Pot	1M O.C. SPACING
Tx	6	TAXUS x MEDIA 'DENSIFORMIS'	DENSE JAPANESE YEW	50cm Spread	5 Gallon Pot	1.2 M O.C. SPACING
Th	1	TAXUS x MEDIA 'HILLII'	HILL'S YEW	50cm Height	5 Gallon Pot	1.2 M O.C. SPACING
	127	TOTAL SHRUBS				

ORNAMENTAL GRASSES AND PERENNIALS						
all	24	ALLIUM X 'MILLENIUM'	ORNAMENTAL ONION	-	1 Gallon Pot	30CM O.C. SPACING
cak	69	CALAMAGROSTIS 'KARL FORESTER'	FEATHER REED GRASS	-	1 Gallon Pot	75CM O.C. SPACING
hkr	43	HOSTA 'KROSSA REGAL'	HOSTA (LARGE BLUE LEAVES)	-	1 Gallon Pot	75CM O.C. SPACING
nep	33	NEPETA FAASSENII 'KITTEN AROUND'	CAT MINT	-	1 Gallon Pot	45CM O.C. SPACING
sed	31	SEDUM SPECTABILE 'HERBSTFREUDE'	AUTUMN JOY STONECROP	-	1 Gallon Pot	30CM O.C. SPACING
	200	TOTAL ORNAMENTAL GRASSES AND PERENNIALS				

LEGEND:

- PROPOSED DECIDUOUS TREES — INDIVIDUAL MULCH SAUCERS WHEN IN TURF CONTINUOUSLY MULCHED WHEN IN SHRUB AND PERENNIAL BEDS
- PROPOSED DECIDUOUS SHRUBS — CONTINUOUSLY MULCHED BEDS
- PROPOSED CONIFEROUS SHRUBS — CONTINUOUSLY MULCHED BEDS
- PROPOSED ORNAMENTAL GRASSES AND PERENNIALS — CONTINUOUSLY MULCHED BEDS
- PROPOSED SOD — FESCUE BLUEGRASS BLEND WITH 150MM DEPTH TOPSOIL
- PROPOSED ASPHALT SURFACE — REFER TO CIVIL PLANS PREPARED BY MC ENGINEERING
- PROPOSED CONCRETE SURFACE — REFER TO CIVIL PLANS PREPARED BY MC ENGINEERING
- PROPOSED WOOD FENCE — REFER TO LABEL/DETAIL FOR FENCE TYPE & HEIGHT
- PROPERTY BOUNDARY
- QTY / SPE — PLANT KEY

Aurelio Baglione
Aurelio Baglione
1096966 Ontario Limited
Owner
Date

Signature: [illegible]
Aurelio Baglione (Feb 23, 2024 20:07 EST)
Email: abaglione@virtuscapitalmgmt.com

No.	Description	By	Date
4	SITE PLAN SUBMISSION #2	MGN	31 MAY-25
3	REISSUED FOR APPROVAL	MGN	06 MAY-25
2	ISSUED FOR APPROVAL	MGN	26 FEB-24
1	ISSUED FOR COORDINATION	MGN	05 DEC-23
0	ISSUED FOR COORDINATION	MGN	27 NOV-23

REVISIONS: All previous issues of this drawing are superceded

ABOUD & ASSOCIATES INC.
Consulting Arborists • Ecologists • Landscape Architects
3-5 Edinburgh Road South . Guelph . Ontario . N1H 5N8 . 519.822.6839 . aboudtng.com

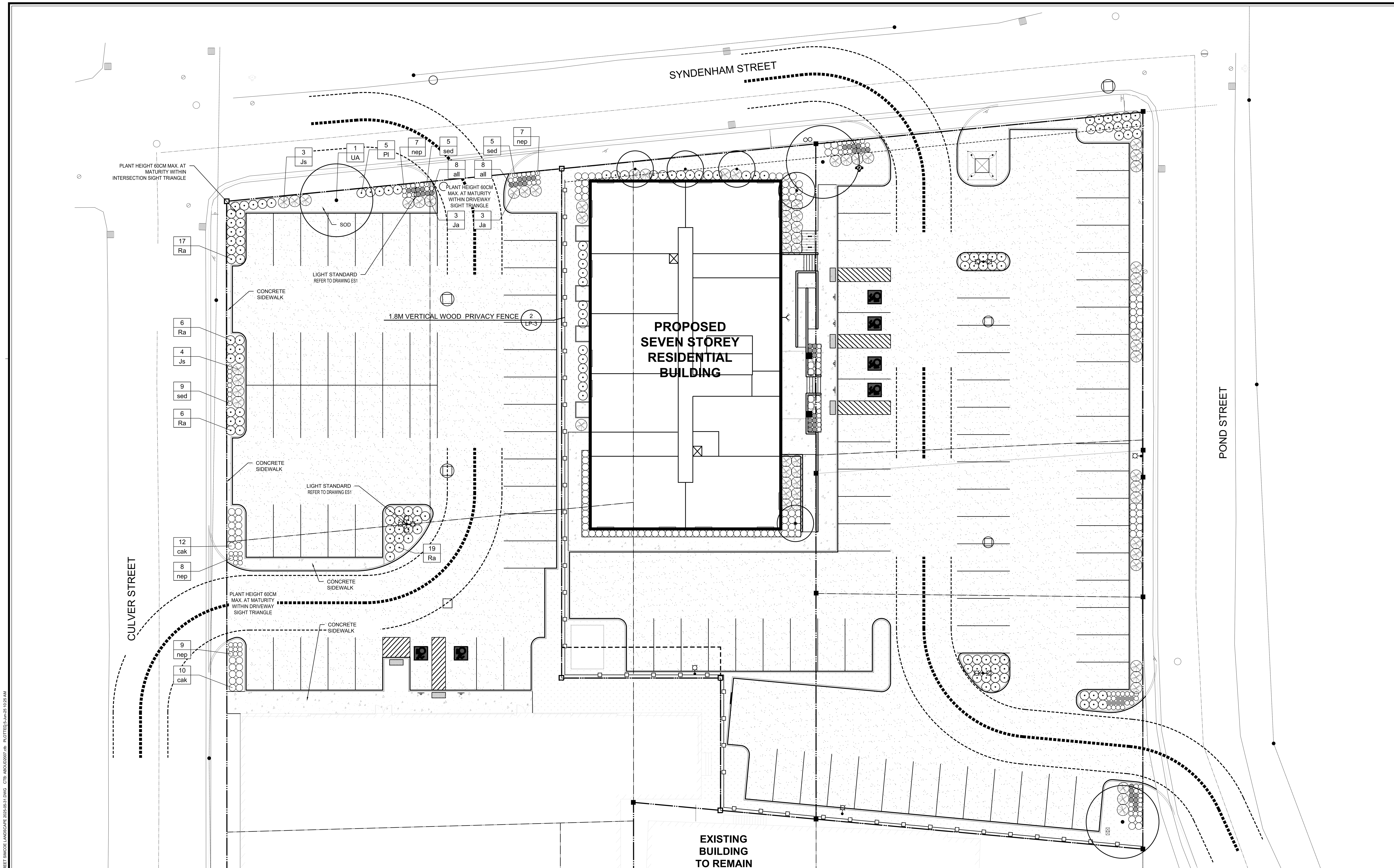
Title:
LANDSCAPE PLAN

Project:
POND STREET APARTMENTS
60 POND STREET, SIMCOE ONTARIO

Date: NOVEMBER 2023	Designer: MGN
Project: AA23-210A	Drawn: NB
Scale: 1:200	Checked: MGN

ONTARIO ASSOCIATION OF LANDSCAPE ARCHITECTS
MARC GARON-NIELSEN
MEMBER
NOT FOR CONSTRUCTION
May 2025

Drawing No:
LP1.1



3 1 0 2 4 8
1:200 (m)

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PLANT LIST - COMMERCIAL SITE

KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE	TYPE	REMARKS
TREES						
UA	1	ULMUS AMERICANA 'VALLEY FORGE'	VALLEY FORGE ELM	50mm Caliper	Wire Basket	ACCEPTABLE SUBSTITUTION 'PRINCETON'
	1	TOTAL TREES				
SHRUBS						
Ja	6	JUNIPERUS SABINA 'ARCADIA'	ARCADIA JUNIPER	50cm Spread	2 Gallon Pot	1.2 M O.C. SPACING
Js	7	JUNIPERUS SABINA	SAVIN JUNIPER	50cm Spread	2 Gallon Pot	1.2 M O.C. SPACING
Pl	5	PHYSOCARPUS OPULIFOLIUS 'LEMON CANDY'	LEMON CANDY NINEBARK	50cm Height	2 Gallon Pot	1M O.C. SPACING
Ra	48	RHUS AROMATICA 'GRO LOW'	GRO-LOW FRAGRANT SUMAC	50cm Spread	2 Gallon Pot	1M O.C. SPACING
	66	TOTAL SHRUBS				

ORNAMENTAL GRASSES AND PERENNIALS						
all	16	ALLIUM X 'MILLENIUM'	ORNAMENTAL ONION	-	1 Gallon Pot	30CM O.C. SPACING
cak	22	CALAMAGROSTIS 'KARL FORESTER'	FEATHER REED GRASS	-	1 Gallon Pot	75CM O.C. SPACING
nep	31	NEPETA FAASSENII 'KITTEN AROUND'	CAT MINT	-	1 Gallon Pot	45CM O.C. SPACING
sed	19	SEDUM SPECTABILE 'HERBSTFREUDE'	AUTUMN JOY STONECROP	-	1 Gallon Pot	30CM O.C. SPACING
	88	TOTAL ORNAMENTAL GRASSES AND PERENNIALS				

LEGEND:

- PROPOSED DECIDUOUS TREES — INDIVIDUAL MULCH SAUCERS WHEN IN TURF; CONTINUOUSLY MULCHED WHEN IN SHRUB AND PERENNIAL BEDS
- PROPOSED DECIDUOUS SHRUBS — CONTINUOUSLY MULCHED BEDS
- PROPOSED CONIFEROUS SHRUBS — CONTINUOUSLY MULCHED BEDS
- PROPOSED ORNAMENTAL GRASSES AND PERENNIALS — CONTINUOUSLY MULCHED BEDS
- PROPOSED SOD — FESCUE BLUEGRASS BLEND WITH 150MM DEPTH TOPSOIL
- PROPOSED ASPHALT SURFACE — REFER TO CIVIL PLANS PREPARED BY ...
- PROPOSED CONCRETE SURFACE — REFER TO CIVIL PLANS PREPARED BY ...
- PROPOSED WOOD FENCE — REFER TO LABEL/DETAIL FOR FENCE TYPE & HEIGHT
- PROPERTY BOUNDARY
- QTY / SPE — PLANT KEY

Aurelio Baglione
Aurelio Baglione
1096966 Ontario Limited
Owner
Date

Signature: [illegible]
Aurelio Baglione (Feb 23, 2024 20:07 EST)
Email: abaglione@virtuscapitalmgmt.com

No.	Description	By	Date
4	SITE PLAN SUBMISSION #2	MGN	31 MAY-25
3	REISSUED FOR APPROVAL	MGN	06 MAY-25
2	ISSUED FOR APPROVAL	MGN	26 FEB-24
1	ISSUED FOR COORDINATION	MGN	05 DEC-23
0	ISSUED FOR COORDINATION	MGN	27 NOV-23

REVISIONS: All previous issues of this drawing are superceded

ABOUD & ASSOCIATES INC.
Consulting Arborists • Ecologists • Landscape Architects
3-5 Edinburgh Road South . Guelph . Ontario . N1H 5N8 . 519.822.6839 . aboudtng.com

Title:
LANDSCAPE PLAN

Project:
THE BRICK
COMMERCIAL PROPERTY
48 SYNDENHAM STREET, SIMCOE ONTARIO

Date: NOVEMBER 2023 | Designer: MGN
Project: AA23-210A | Drawn: NB
Scale: 1:200 | Checked: MGN

ONTARIO ASSOCIATION OF LANDSCAPE ARCHITECTS
MARC GARON-NIELSEN
OALA
MEMBER
NOT FOR CONSTRUCTION

Drawing No:
LP1.2

1. Plant Characteristics, Rootballs, Rootball Standards including minimum rootball diameters specified on these plans are to be in accordance with the Canadian Nursery Landscape Association Canadian Standards for Nursery Stock, current edition.
2. Planting shall only be performed when weather and soil conditions are suitable for planting the materials specified in accordance with locally accepted practice. Install plant materials during the planting time as described below unless otherwise approved in writing by Landscape Architect. In the event that the Contractor request planting outside the dates of the planting season, approval of the request does not change the requirements of the warranty.
   - Deciduous Trees: April 1 - June 30 and September 1 - October 31
   - Deciduous Shrubs: April 1 - June 30 and September 1 - October 31
   - Perennials and Groundcover: April 1 - June 30 and September 1 - October 31
   - Evergreen Trees and Shrubs: April 1 - June 30 and September 1 - October 31
3. Transportation of plants should be restricted to closed vans or trucks covered with mesh tarpaulin or, similar material, to protect the leaves or needles from windburn or desiccation. This may be supplemented by spraying the foliage with an antidesiccant prior to shipping.
4. Plant material shall at no time be dropped or handled roughly.
5. Protect plant material from frost, excessive heat, wind and sun following delivery.
6. Immediately store and protect plant material, which will not be installed within 1 hour after arrival at site in storage location, approved by the Landscape Architect.
7. Protect stored plant material from frost, wind and sun and as follows: For pots and containers, maintain moisture level in containers.
8. For balled and burlapped and wire basket root balls, place to protect branches from damage. Maintain moisture level in root zones.
9. Topsoil or plantings shall not be placed or installed when in a frozen condition, under adverse field conditions such as high wind, frozen soil or soil covered with snow, ice, or standing water.
10. The Landscape Architect and Municipal Staff has the right to reject any and all plant material that does not conform to the requirements of this specification at any time regardless of any previous approval.
11. When a plant has been rejected, immediately remove it from the area of the Work and replace it with a plant of the required species, size and quality at the earliest planting period consistent with these specifications. Replacement plant material shall meet all the requirements of this specification. Rejected plants shall be replaced at no cost to the Owner.
12. Acceptance shall not be given for the planting Work until all plants rejected during the course of the Work are replaced.
13. Any plant that has the following characteristics shall be cause for rejection:
    13.1. Only nursery grown plants will be accepted.
    13.2. Any plant that has a canopy with 25% or more dead or removed limbs.
    13.3. Evidence of damage to plant material, which diminishes the aesthetic character/form, biological integrity, or structural integrity of the plant or group of plants .
    13.4. Evidence of improper digging; inadequate protection following digging; carelessness while in transit; evidence of desiccation or wind-related damage; cold damage; improper handing or storage; root zones that have dried to the point of leaf wilt; cracked, loose, damaged or distorted root balls.
    13.5. Plants with undersized root balls or containers, kinked or girdling roots, matted roots on the top, and edges of the container, excessive surface adventitious roots, root balls and containers with no structural roots in the top 75mm of the soil.
    13.6. Plants balled with synthetic, treated or non-biodegradable fabrics.
    13.7. Any tree that is of a species that characteristically has a dominant central leader, and if the leader is dead or removed, the tree will not have a form consistent with the species.
    13.8. Any tree that has open wounds (not completely healed over) that penetrates the cambium into the wood on trunks or major limbs the removal of which would result in the loss of 25% or more of the structure and form of the tree
14. Topsoil shall be loose, friable, fertile loamy material that is free from subsoil, weeds, roots, vegetation and other deleterious material greater than 25mm diameter in the greatest dimension. The topsoil shall also be certified by an OMAFRA Accredited Soil Testing Laboratory in Ontario to meet the following requirements:
    14.1. Topsoil texture shall be loam, sandy loam to with:
      14.1.1. Sand content between 20-75%
      14.1.2. Silt content between 5-30%
      14.1.3. Clay content between 5-30%
    14.2. Herbicides - No detectable levels
    14.3. Organic Matter content between 4-15%
    14.4. Phosphorus 10-60 (ppm)
    14.5. Potassium 80-259 (ppm)
    14.6. Calcium 1000-4000 (ppm)
    14.7. Magnesium 100-300 (ppm)
    14.8. Chloride <100 (ppm)
    14.9. Sodium <200 (ppm)
    14.10. Sodium Adsorption Ratio <15
    14.11. Shall not have contaminants that adversely affect plant growth.
    14.12. The cost to amend existing on-site topsoil to be reused shall be paid for by the Owner.
    14.13. The cost to amend imported topsoil supplied by the Contractor to meet Agronomist written recommendations shall be paid for by the Contractor.
15. Water shall not have contaminants or impurities that would adversely affect the germination and growth of vegetation.Proposed plants which come over or under any utility shall be relocated by the Contractor for review by the Landscape Architect, to the satisfaction of the utility provider.
16. Mulch shall be shredded hardwood or softwood as specified in the planting details. Free from roots, leaves, twigs, debris, stones, fungus, crabgrass rhizomes, or any material detrimental to plant growth. Material shall be mulching grade, uniform in size and foreign matter. Mulch that has become saturated with water and presents an anaerobic odor shall be rejected.
17. Anti-Desiccant (if used) shall be emulsion type, film-forming agent similar to Dowax by Dow Chemical Company, or Wilt-Pruf by Nursery Specialty Products, Inc., Croton Falls, New York, designed to permit transpiration but retard excessive loss of moisture from plants. Deliver in manufacturer's fully identified containers and use in accordance with manufacturer's instructions. Submit manufacturers product data for approval.
18. Contractor to examine the surface grades and soil conditions for any circumstances that might be detrimental to plant growth, such as deposits of construction-related waste or soil contamination, storage of material or equipment, soil compaction or poor drainage. Contractor to examine the grading, verify all elevations, and notify the Landscape Architect in writing of any unsatisfactory conditions.
19. Contractor to inspect each plant after delivery and prior to installation for damage of other characteristics that may cause rejection of the plant.
20. Excavate pits, beds, and trenches with vertical sides and with bottom of excavation slightly raised at center to provide proper drainage. When conditions detrimental to plant growth are encountered, such as rubble fill, adverse drainage conditions, or obstructions, notify the Consultant before planting. Dispose of subsoil removed from planting excavations. Do not mix with planting soil or use as backfill. Plants to be planted in prepared planting soil may utilize the soil removed from the planting hole as backfill around the root ball.
21. Set edge of the root ball at the elevation of the proposed finish. Consult the grading plan and utilize a builder's level or transit to determine the grade at the tree grade. For trees on sloped surfaces, set the edge of the root ball at the average grade around the tree. Set the plant plumb and in the location indicated on the plan. The root flare and tree graft, if applicable, shall be visible at the top of the root ball, above the grade. Do not place soil on top of the root ball and remove soil pushed above root flare by mechanical potting/balled & burlapping process during transplantation by the nursery.
22. When set, brace root ball by tamping backfilled soil around the lower portion of the root ball. Place additional backfill around base and sides of ball in 150mm lifts. Work each lift to settle backfill and eliminate voids and air pockets. When excavation is approximately two-thirds full, water thoroughly before placing remainder of backfill. Ropes or strings on top of ball shall be cut and removed. Burlap or cloth wrapping shall be cut and removed from the top of the root ball. The top horizontal ring of support wire baskets shall be cut in four places and the top half of the wire basket folded down into the soil.
23. Where staking is required, caliper trees shall be supported by wooden stakes driven outside the ball in line with the direction of the prevailing wind. Tree tie type and installation method to be per planting detail. Stakes shall be 50mm x 50mm hardwood stakes free of knots and of lengths appropriate to the size plant required for to adequately support the plant.
24. Tree Guard type and installation per planting detail.
25. Maintain all trees and shrubs in a plumb position throughout the warranty period. Straighten all trees including those not staked. Plants to be straightened shall be excavated and the root ball moved to a plumb position, and then re-backfilled. Do not straighten plants by pulling the trunk with guys.
26. Do not apply any fertilizer to plantings during the first year after transplanting, unless soil tests determine that fertilizer or other chemical additives are required. If required, fertilizers shall be applied according to the manufacturer's instructions and standard horticultural practices.
27. Pruning shall be done with clean, sharp, rust-free tools. Cuts shall be made flush, leaving no stubs as per ANSI A 300 - current edition. No tree paint or sealants shall be used.
28. Dead wood, suckers, and broken and badly bruised branches shall be removed. Do not prune plant material that has been severely damaged due to transit or handling until viewed by the Landscape Architect.
29. Pruning of broken or dead branches shall be done after planting. Form-corrective pruning may occur when tree has hardened until bud-break in the spring. If corrective pruning dates fall outside the construction schedule, it shall remain a punch list (warranty) item. The Contractor shall be responsible for completing this off-season punch list (warranty) item.
30. Mulch top of root balls and planting beds, covering the entire planting bed area. Leaving a mulch free zone at stem/trunk as indicated in planting details.
31. Water each plant on the day of installation to saturate the soil around the roots and wash the soil into the root zone. After the soil has drained, reset any settled plants or grades around the plant, adding soil if required.

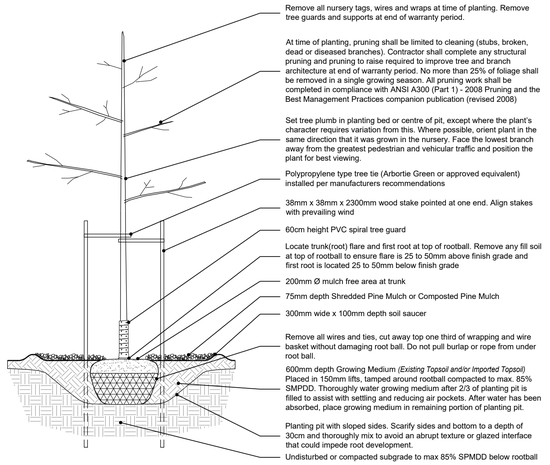
1 LP-2 TREE, SHRUB, AND PERENNIAL INSTALLATION NOTES

1. Sod shall be a No. 1 Commercial Grade Turfgrass Nursery Sod, Kentucky Bluegrass/Fine Fescue according to the Classifications and Use of Turfgrass Sod for Ontario.
2. Sod shall be seeded and established in nursery sod fields as a turfgrass sod.
   2.1. Sod shall be uniform in texture, and in good healthy condition with no sign of decay.
   2.2. There shall be no more than 5 broadleaf weeds per 40 m2 of sod and up to 20% non-specified grass seed.
   2.3. Sod shall be of sufficient density that no surface soil is visible. The grass height shall be 30 mm minimum and 70 mm maximum.
3. The soil portion of the sod shall be a good mineral type soil with a thickness of 10 mm minimum and 15 mm maximum.
4. Each sod piece shall be well permeated with roots. Individual sod pieces shall be in such condition so that each may be lifted, rolled, transported, and placed without breaking or tearing and without loss of soil under normal handling conditions.
5. Sod shall contain sufficient moisture to maintain its vitality during transportation and placement.
6. Topsoil shall be loose, friable, fertile loamy material that is free from subsoil, weeds, roots, vegetation and other deleterious material greater than 25mm diameter in the greatest dimension. The topsoil shall also be certified by an OMAFRA Accredited Soil Testing Laboratory in Ontario to meet the following requirements:
   6.1. Topsoil texture shall be loam, sandy loam to with:
     6.1.1. Sand content between 20-75%
     6.1.2. Silt content between 5-30%
     6.1.3. Clay content between 5-30%
   6.2. Herbicides - No detectable levels
   6.3. Organic Matter content between 4-15%
   6.4. Phosphorus 10-60 (ppm)
   6.5. Potassium 80-259 (ppm)
   6.6. Calcium 1000-4000 (ppm)
   6.7. Magnesium 100-300 (ppm)
   6.8. Chloride <100 (ppm)
   6.9. Sodium <200 (ppm)
   6.10. Sodium Adsorption Ratio <15
   6.11. Shall not have contaminants that adversely affect plant growth.
   6.12. The cost to amend existing on-site topsoil to be reused shall be paid for by the Owner.
   6.13. The cost to amend imported topsoil supplied by the Contractor to meet Agronomist written recommendations shall be paid for by the Contractor.
7. Water shall not have contaminants or impurities that would adversely affect the germination and growth of vegetation.
8. Sod shall not be separated from its mineral soil base and not damaged during transportation, handling,and placement.
9. Surface litter and debris shall be removed immediately prior to topsoil or sod placement.
10. Topsoil or sod shall not be placed when in a frozen condition, under adverse field conditions such as high wind, frozen soil or soil covered with snow, ice, or standing water.
11. Topsoil shall be placed, spread and leveled as required to match grades as indincated in the grading drawings prepared by the Project Civil Engineer and to allow for positive drainage away from pathways and structures.
12. Minimum consistent depth for topsoil in areas to be sodded after settlement shall be 200mm deep,
13. At the time of sodding, all surface areas designated for sodding shall be free of erosion and shall have a fine graded uniform surface. The surface shall be uniformly cultivated to a minimum depth of 50 mm and shall not have surface materials greater than 25 mm in size, such as stones and clods and weeds or other unwanted vegetation.
14. Sod shall be placed in locations and as specified in the landscape drawings.
   14.1. Voids shall not be left between the soil portion of the sod and the underlying ground surface.
   14.2. Sod shall be securely placed lengthwise across the face of slopes and parallel to the centreline of ditches.
   14.3. End joints of adjacent sod pieces shall be staggered.
   14.4. The edges of adjacent sod pieces shall be placed tightly against one another without overlapping.
   14.5. Sod shall be countersunk to existing grade level at all edges.
   14.6. Butt joints will be used where new sod blends with existing grass; lap joints will not be permitted.
   14.7. Joints shall be tamped to a uniform surface.
   14.8. Where required, sod should be staked to the grade to avoid movement.
15. Sod shall be maintained by the Contractor as part of base price during the establishment period (30 Days) following completion of placement. During this period, the placed sod shall be kept healthy, actively growing, and green in colour. This requirement shall be suspended during the winter dormant period defined as November 15 to April 15 inclusive. During the establishment period the Contractor will:
   15.1. Install temporary barriers or signage to be maintained where required to protect newly established sod.
   15.2. Water to maintain soil moisture conditions for optimum establishment, growth and health of plant material without causing erosion. In a typical loam soil, optimum soil moisture in planting beds at root depth is 65% of field capacity.
   15.3. Mow to a height of 60mm (2.5") when turf reaches height of 80mm (3") at least twice during the establishment period.
   15.4. If required to control insects, fungus and disease, use appropriate control methods in accordance with Federal, Provincial and Municipal regulations. Obtain product approval from Consultant prior to application.
   15.5. Control outbreaks of perennial weeds and annual weeds by mechanical or chemical means utilizing acceptable integrated pest management practices to meet acceptance/success targets.
   15.4. If chemical means are used, comply with all municipal, provincial, and federal legislation and regulations.

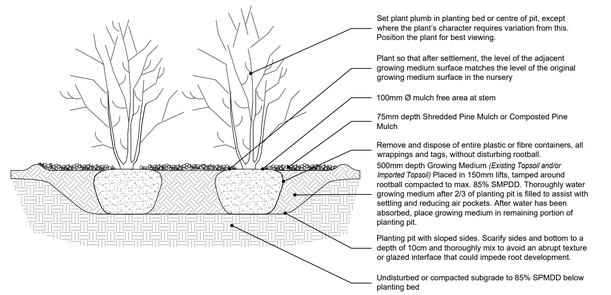
2 LP-2 SOD INSTALLATION AND ESTABLISHMENT NOTES

1. Perform following maintenance operations from time of planting trees, shrubs, and perennials to end of warranty period two (2) years following substantial performance of the work.
   1.1. Water to maintain soil moisture conditions for optimum establishment, growth and health of plant material without causing erosion. In a typical loam soil, optimum soil moisture in planting beds at root depth is 65% of field capacity. Guidelines during a typical growing season are as follows:
     1.1.1. Deep root water newly planted plants once per week for the first three weeks, such that the water penetrates to a minimum depth of 300mm.
     1.1.2. Deep root or surface water trees and shrubs a minimum of every ten (10) days between May 15 and September 15.
     1.1.3. Deep root or surface water trees and shrubs a minimum of every twenty-one (21) days between September 15 and freeze up.
     1.1.4. Water evergreen plants thoroughly in late fall prior to freeze-up to saturate soil around root system.
   1.2. Soil moisture to be monitored throughout the growing season:
     1.2.1. Watering schedule to be increased when plant materials are reaching the permanent wilting point.
     1.2.2. Watering schedule to be reduced when a sufficient volume of rainfall has penetrated the soil fully as required.
   1.3. Replace or respread damaged, missing or disturbed mulch.
   1.4. If required to control insects, fungus and disease, use appropriate control methods in accordance with Federal, Provincial and Municipal regulations. Obtain product approval from Consultant prior to application.
   1.5. Control outbreaks of perennial weeds as directed by Consultant, and annual weeds by mechanical or chemical means utilizing acceptable integrated pest management practices to meet acceptance/success targets
     1.5.1. If chemical means are used, comply with all municipal, provincial, and federal legislation and regulations.
   1.6. Remove dead or broken branches from plant material using clean sharp horticultural tools using current arboricultural practices.
   1.7. Keep trunk protection and guy wires in proper repair and adjustment.
   1.8. Provide adequate protection from winter, wind and rodent damage.
   1.9. Remove and replace dead plants and plants not in healthy growing condition. Make replacements in same manner as specified for original plantings, unless otherwise directed by Consultant.
   1.10. Remove trunk protection, tree supports and level watering saucers at end of warranty period, unless otherwise directed by Consultant.
2. After establishment period is complete and sod is accepted, the Owner shall retain the installing Landscape Contractor, a third-party Landscape Maintenance Contrator, or perform the following maintenance work to end of warranty period two (2) years following substantial performance of the work:
   2.1. Maintenance Level 3 "Moderate" in accordance with the Canadian Landscape Standard. The main objective is a generally neat, moderately groomed appearance, with some tolerance for the effects of "wear and tear," moderate traffic and natural processes.
   2.2. Mow turf to a height of 75-100mm (3"-4"), Mowing should be performed as necessary to avoid the removal of any more than one third of the grass blade length at any one time.
   2.3. Supplemental watering shall be carried out when required and with sufficient quantities of water to prevent turf and underlying soil from drying out.
   2.4. If required to control insects, fungus and disease, use appropriate control methods in accordance with Federal, Provincial and Municipal regulations. Obtain product approval from Consultant prior to application.
   2.5. Control outbreaks of perennial weeds and annual weeds by mechanical or chemical means utilizing acceptable integrated pest management practices to meet acceptance/success targets.
   2.6. If chemical means are used, comply with all municipal, provincial, and federal legislation and regulations.
3. Submit monthly written reports in during the growing season (April - September) to Consultant identifying:
   3.4. Maintenance work carried out.
   3.5. Watering method, quantity of water used, water source.
   3.6. General development and condition of plant material.
   3.7. Preventative or corrective measures required which are outside Contractor's responsibility.

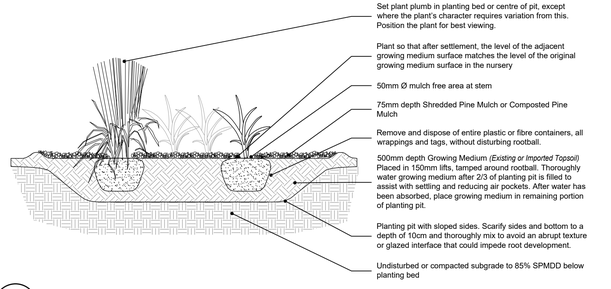
3 LP-2 GENERAL LANDSCAPE MAINTENANCE NOTES



4 LP-2 TYPICAL DECIDUOUS TREE PLANTING DETAIL
N.T.S.



5 LP-2 TYPICAL SHRUB PLANTING DETAIL - CONTINUOUS MULCHED BED
N.T.S.



6 LP-2 TYPICAL PERENNIAL PLANTING DETAIL - CONTINUOUS BED
N.T.S.

LEGEND:

Aurelio Baglione — Date
Aurelio Baglione
1096966 Ontario Limited
Owner

Signature: Aurelio Baglione (Feb 23, 2024 09:07 EST)
Email: abaglione@virtuscapitalmgmt.com

No.	Description	By	Date
4	SITE PLAN SUBMISSION #2	MGN	31 MAY-25
3	REISSUED FOR APPROVAL	MGN	06 MAY-25
2	ISSUED FOR APPROVAL	MGN	26 FEB-24
1	ISSUED FOR COORDINATION	MGN	05 DEC-23
0	ISSUED FOR COORDINATION	MGN	27 NOV-23

REVISIONS: All previous issues of this drawing are superceded

ABOUD & ASSOCIATES INC.
Consulting Arborists • Ecologists • Landscape Architects
3-5 Edinburgh Road South , Guelph , Ontario , N1H 5N8 , 519.822.6839 , aboudhq.com

Title:

LANDSCAPE DETAILS - 1

Project:
POND STREET APARTMENTS
60 POND STREET, SIMCOE ONTARIO
THE BRICK
COMMERCIAL PROPERTY
48 SYNDENHAM STREET, SIMCOE ONTARIO

Date: NOVEMBER 2023	Designer: MGN
Project: AA23-210A	Drawn: NB
Scale: ---	Checked: MGN

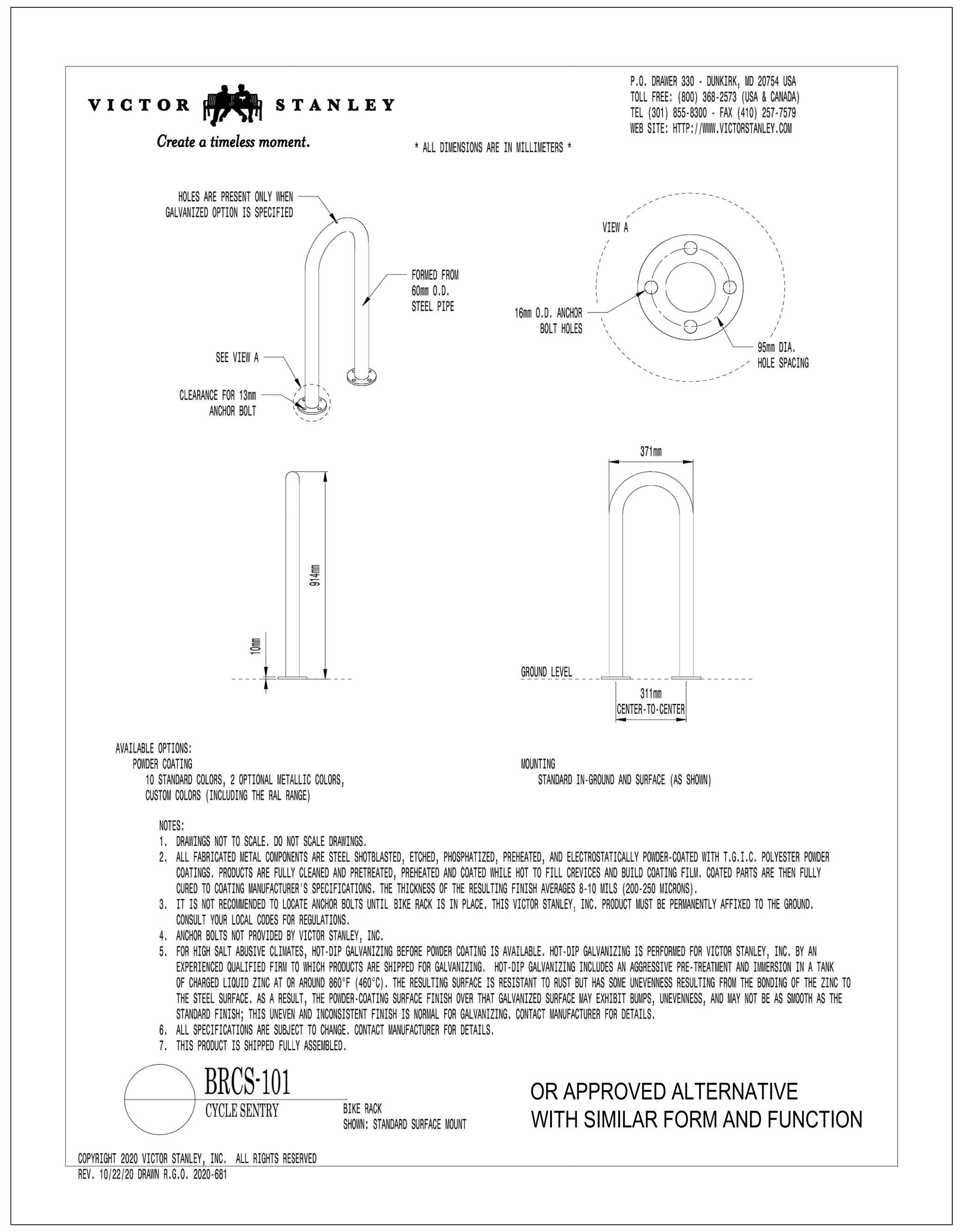
ONTARIO ASSOCIATION OF LANDSCAPE ARCHITECTS — MARC GARON-NIELSEN — May 2024

Drawing No:

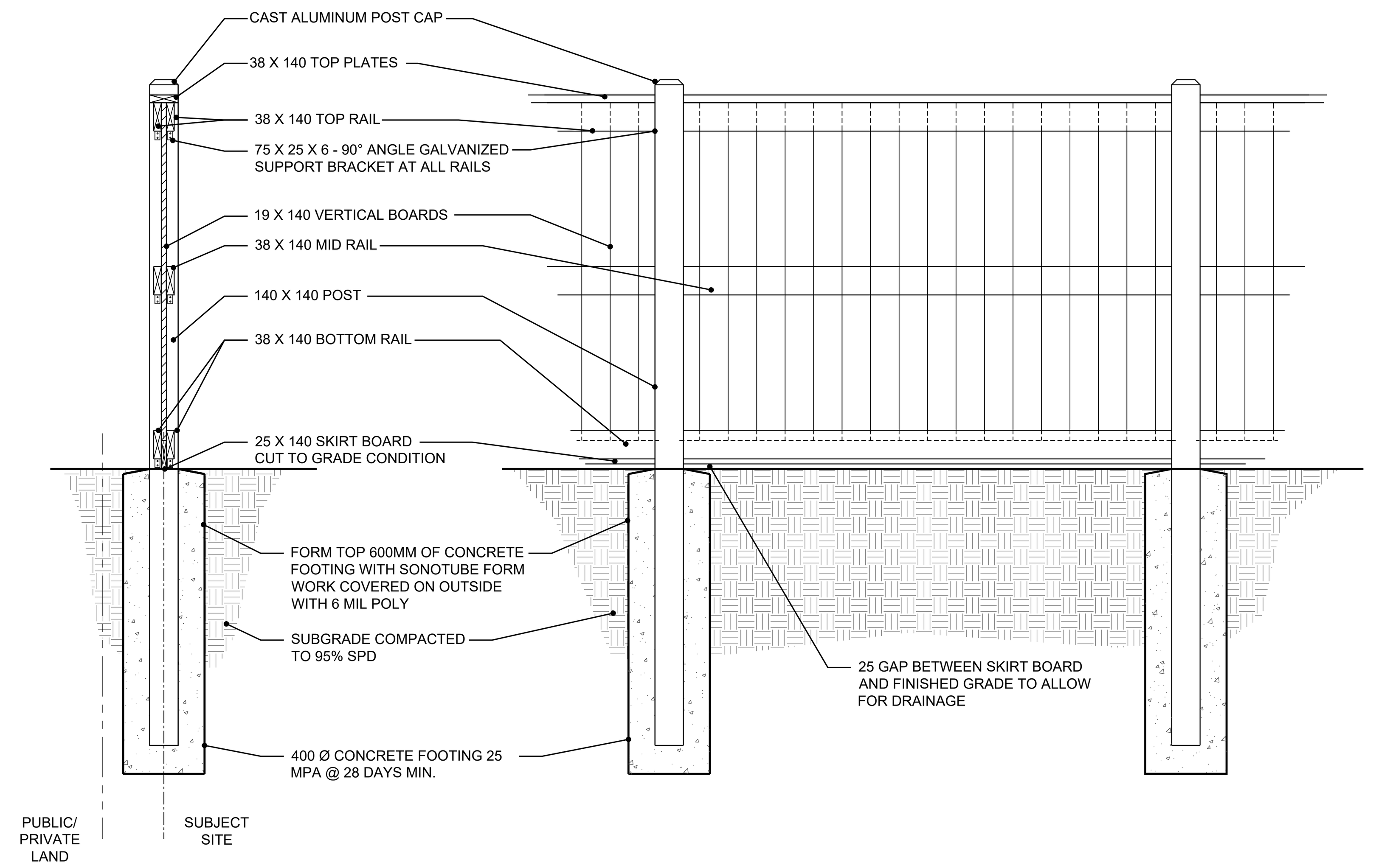
LP2

Hardware to be Supplied by Contractor: Anchor to Concrete with Stainless Steel Tamper Proof Hardware
Steel Finish/Colour: Victor Stanley Standard Black Powder Coat

Ontario Sales Representative: Park Street Solutions, Kevin Bettridge, Mobile. 519.589.5157, Email: kevin@parkst.ca



1 / LP-3 BIKE RACK
N.T.S.



2 / LP-3 1.8M VERTICAL WOOD PRIVACY FENCE
N.T.S.

NOTES:
1. STEP FENCING PANELS 50mm MIN AND 150mm MAX AT POSTS AS REQUIRED BY GRADE CONDITIONS.
2. ALL MATERIALS, COMPONENTS AND WORKMANSHIP TO CONFORM TO OBC AND LOCAL BY-LAWS.
3. ALL LUMBER SIZES ARE ACTUAL RATHER THAN NOMINAL.
4. ALL WOOD SHALL BEAR GRADING STAMP OF C.L.S. CERTIFIED AGENCY.
5. WARRANTY: THE FENCE SHALL BE GUARANTEED FOR THREE YEARS AS FOLLOWS: 5MM/M ON PLUMB OF POSTS AND LEVEL OF VERTICAL BOARDS. GAPS BETWEEN VERTICAL BOARDS SHALL NOT EXCEED 6MM, VERTICAL BOARDS SHALL BE TIGHT AND FREE OF RATTLING.
6. WOOD:
   6.1. ALL WOOD SHALL BE PRESSURE TREATED SELECTED FOR GOOD APPEARANCE AND FREE OF WANE AND BARK POCKETS.
   6.2. MEMBERS WITH HEAVY KNOTS AND/OR SAP STAIN SHALL BE WELL DISTRIBUTED THROUGHOUT THE INSTALLATION
   6.3. MOISTURE CONTENT OF WOOD SHALL NOT EXCEED 20% AT TIME OF CONSTRUCTION
   6.4. VERTICAL/HORIZONTAL BOARDS:
      6.4.1. TO NLGA 204A OR BETTER "SELECT KNOTTY" GRADE
   6.5. POSTS
      6.5.1. TO NLGA 131B#1 STRUCTURAL POST AND TIMBER
      6.5.2. SHALL BE PLUMB WITHIN 5MM/M ABOVE GRADE
7. FASTENERS
   7.1. ALL FASTENERS INCLUDING ARDOX NAILS, LAG SCREWS, BOLTS, NUTS, WASHERS AND BRACKETS SHALL BE HOT DIPPED GALVANIZED IN ACCORDANCE TO CSA STANDARD G164. LAG SCREWS AND BOLTS SHALL CONFORM TO ASTM A307
   7.2. COUNTER-SINK ALL LAG SCREWS AND BOLTS AND DRIVE ALL NAIL HEADS BELOW SURFACE OF WOOD.
   7.3. ALL ARDOX NAILS TO BE EVENLY SPACED AND SET NOT LESS THAN 25MM FROM EDGE OF ANY WOODED MEMBER.
   7.4. USE SUFFICIENT SIZE AND QUANTITY OF FASTENERS TO ENSURE A STABLE AND SECURE STRUCTURE.

LEGEND:

Aurelio Baglione
Aurelio Baglione
1096966 Ontario Limited
Owner
Date

Signature: [illegible]
Aurelio Baglione (Feb 23, 2024 20:07 EST)
Email: abaglione@virtuscapitalmgmt.com

No.	Description	By	Date
4	SITE PLAN SUBMISSION #2	MGN	31 MAY-25
3	REISSUED FOR APPROVAL	MGN	06 MAY-25
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REVISIONS: All previous issues of this drawing are superceded

ABOUD & ASSOCIATES INC.
Consulting Arborists • Ecologists • Landscape Architects
3-5 Edinburgh Road South . Guelph . Ontario . N1H 5N8 . 519.822.6839 . aboudtng.com

Title:
LANDSCAPE DETAILS - 2

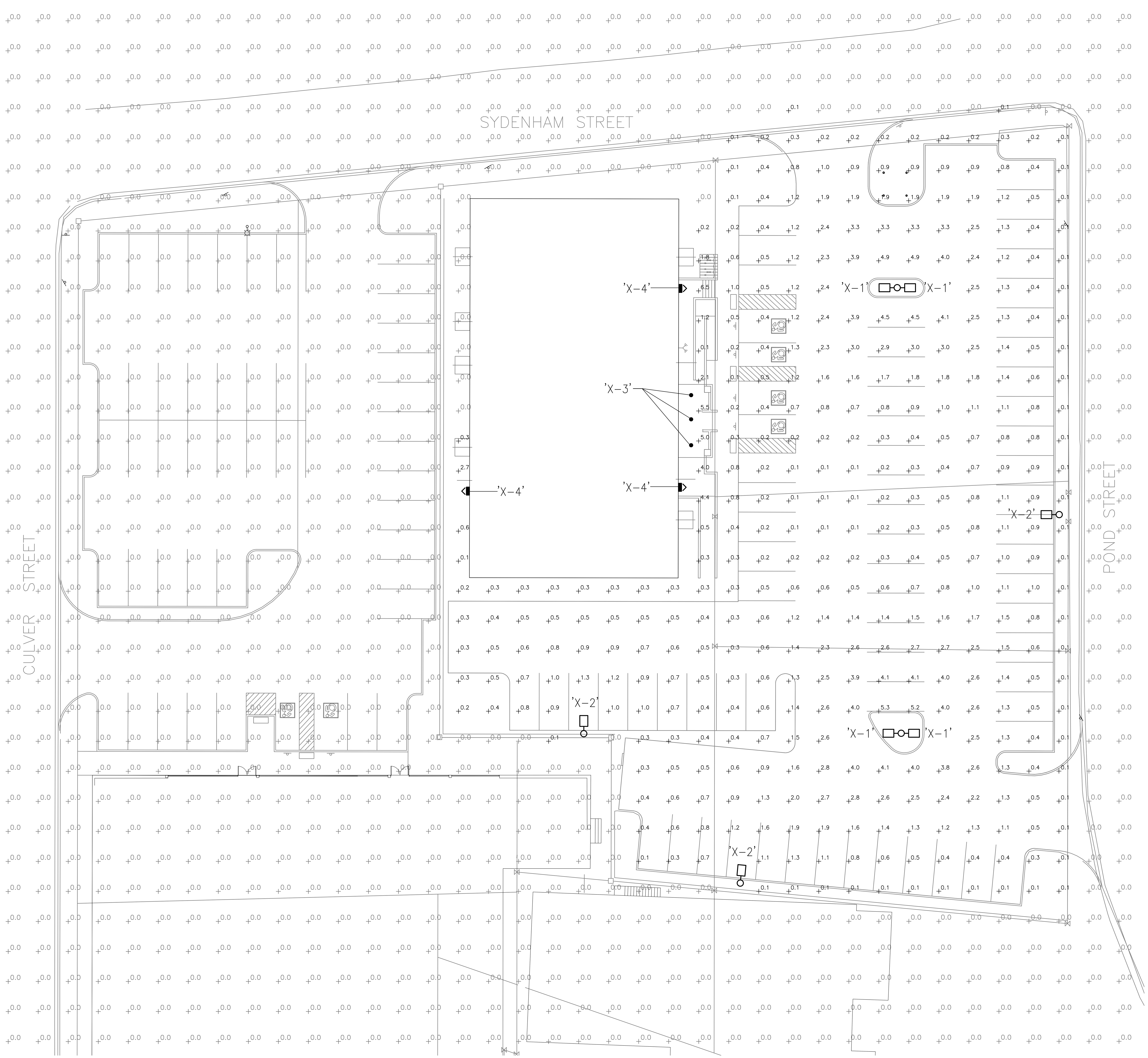
Project:
POND STREET APARTMENTS
60 POND STREET, SIMCOE ONTARIO
THE BRICK
COMMERCIAL PROPERTY
48 SYNDENHAM STREET, SIMCOE ONTARIO

Date: NOVEMBER 2023 | Designer: MGN
Project: AA23-210A | Drawn: NB
Scale: --- | Checked: MGN

ONTARIO ASSOCIATION OF LANDSCAPE ARCHITECTS
MARC GARON-NIELSEN
OALA MEMBER
May 2025
NOT FOR CONSTRUCTION

Drawing No:
LP3

FILEPATH: S:\A+A PROJECTS\2023\APPROVED\23-210A 60 POND STREET SIMCOE\DRAWINGS\23-210A 60 POND STREET SIMCOE LANDSCAPE 2025-05-31.DWG CTB: ABOUD2007.ctb PLOTTED:5-Jun-25 10:25 AM



A
ES1
ELECTRICAL SITE PLAN– LIGHTING PHOTOMETRIC
SCALE: 1:200

Schedule

Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lumens Per Lamp	Wattage
□-○	X-1	3	Lithonia Lighting	DSXO LED P3 35K 80CRI T5LG	D-Series Size 0 Area Luminaire P1 Performance Package 3500K CCT 80 CRI Type 5 Low Glare	8838	68.95
□-○	X-2	1	Lithonia Lighting	DSXO LED P1 35K 80CRI BLC4	D-Series Size 0 Area Luminaire P1 Performance Package 3500K CCT 80 CRI Type 4 Extreme Backlight Control	3238	33.21
●	X-3	4	Lithonia Lighting	LDN3 35/05 AR LD	3" LDN, 3500K, 500LM, Clear Matte Diffuse Finish	450	6.27
⏏	X-4	4	Lithonia Lighting	ARC1 LED P1 40K	ARC1 LED WITH P1 – PERFORMANCE PACKAGE, 4000K	1454	10.8751

B
ES1
LIGHTING FIXTURE SCHEDULE

Aurelio Baglione
Aurelio Baglione
1096966 Ontario Limited
Owner
Date
Signature: [illegible]
Email: abaglione@virtuscapitalmgmt.com

SCALE: AS NOTED
FILE: IE-7241
DESIGN: PO
DATE: 23.12.07
DRWN: PO
CHKD: GLH
ES1 OF 2

POND STREET APARTMENTS
60 POND STREET
SIMCOE ONTARIO

ELECTRICAL SITE PLAN– LIGHTING PHOTOMETRIC

INTEGRATED engineering
1930 Blue Heron Drive
London, ON N6H 5L9
Tel: 519-472-3688
Fax: 519-472-4322
www.integratedengineering.ca

LICENSED PROFESSIONAL ENGINEER
G. L. HIRD
197832308
JUN 05/25
PROVINCE OF ONTARIO

PROJECT NORTH

1/2 inch
10 mm

NO	DATE	DESCRIPTION
2	25.06.05	SITE PLAN APPROVAL
1	24.03.04	SITE PLAN APPROVAL
0	24.01.18	SITE PLAN APPROVAL
B	24.01.05	REVIEW
A	23.12.07	REVIEW

REVISIONS

D-Series Size 0

LED Area Luminaire

Catalog Number

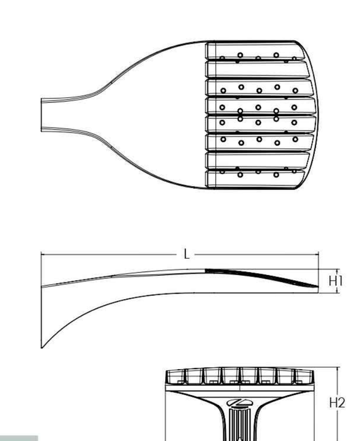
Notes

Type

Hit the Tab key or mouse over the page to see all interactive elements.

Specifications

EPA:	0.44 ft² (0.04 m²)
Length:	26.18" (66.5 cm)
Width:	14.06" (35.7 cm)
Height H1:	2.26" (5.7 cm)
Height H2:	7.46" (18.9 cm)
Weight:	23 lbs (10.4 kg)



Design Select options indicated by this color background.

Introduction

The modern styling of the D-Series features a highly refined aesthetic that blends seamlessly with its environment. The D-Series offers the benefits of the latest in LED technology into a high performance, high efficacy, long-life luminaire.

The photometric performance results in sites with excellent uniformity, greater pole spacing and lower power density. D-Series outstanding photometry aids in reducing the number of poles required in area lighting applications, with typical energy savings of 70% and expected service life of over 100,000 hours.

design select

Items marked by a shaded background qualify for the Design Select program and ship in 15 days or less. To learn more about Design Select, visit www.acuitybrands.com/designselect.
*See ordering tree for details

Ordering Information

EXAMPLE: DSX0 LED P6 40K 70CRI T3M MVOLT SPA NLTAIR2 PIRHN DDBXD

DSX0 LED

Series	LEDs	Color temperature[2]	Color Rendering Index[2]	Distribution	Voltage	Mounting
DSX0 LED	Forward optics P1 P5 P2 P6 P3 P7 P4 Rotated optics P10[1] P12[1] P11[1] P13[1]	(this section 70CRI only) 30K 3000K 40K 4000K 50K 5000K (this section 80CRI only, extended lead times apply) 27K 2700K 30K 3000K 35K 3500K 40K 4000K 50K 5000K	70CRI 70CRI 70CRI 80CRI 80CRI 80CRI 80CRI 80CRI	AFR Automotive front row T1S Type I short T2M Type II medium T3M Type III medium T3LG Type III low glare[3] T4M Type IV medium T4LG Type IV low glare[3] TFTM Forward throw medium T5M Type V medium T5LG Type V low glare T5W Type V wide BLC3 Type III backlight control[3] BLC4 Type IV backlight control[3] LCCO Left corner cutoff[3] RCCO Right corner cutoff[3]	MVOLT (120V-277V)[4] HVOLT (347V-480V)[5,6] XVOLT (277V-480V)[7,8] 120[16,24] 208[16,24] 240[16,24] 277[16,24] 347[16,24] 480[16,24]	Shipped included SPA Square pole mounting (#8 drilling, 3.5" min. SQ pole) RPA Round pole mounting (#8 drilling, 3" min. RND pole) SPA5 Square pole mounting (#5 drilling, 3" min. SQ pole)[9] RPA5 Round pole mounting (#5 drilling, 3" min. RND pole)[9] SPA8N Square narrow pole mounting (#8 drilling, 3" min. SQ pole) WBA Wall bracket[10] MA Mast arm adapter (mounts on 2 3/8" OD horizontal tenon)

Control options		Other options	Finish (required)
Shipped installed NLTAIR2 PIRHN nLight AIR gen 2 enabled with bi-level motion / ambient sensor, 8-40' mounting height, ambient sensor enabled at 2fc.[11, 12, 18, 19] PIR High/low, motion/ambient sensor, 8-40' mounting height, ambient sensor enabled at 2fc[13, 18, 19] PER NEMA twist-lock receptacle only (controls ordered separate)[14] PER5 Five-pin receptacle only (controls ordered separate)[14, 19]	PER7 Seven-pin receptacle only (controls ordered separate)[14, 19] FAO Field adjustable output[15, 19] BL30 Bi-level switched dimming, 30%[16, 19] BL50 Bi-level switched dimming, 50%[16, 19] DMG 0-10v dimming wires pulled outside fixture (for use with an external control, ordered separately)[17]	Shipped installed HS Houseside shield (black finish standard)[20] L90 Left rotated optics[1] R90 Right rotated optics[1] CCE Coastal Construction[21] HA 50°C ambient operation[22] BAA Buy America(n) Act Compliant SF Single fuse (120, 277, 347V)[24] DF Double fuse (208, 240, 480V)[24] Shipped separately EGSR External Glare Shield (reversible, field install required, matches housing finish) BSDB Bird Spikes (field install required)	DDBXD Dark Bronze DBLXD Black DNAXD Natural Aluminum DWHXD White DDBTXD Textured dark bronze DBLBXD Textured black DNATXD Textured natural aluminum DWHGXD Textured white

LITHONIA LIGHTING
COMMERCIAL OUTDOOR

One Lithonia Way • Conyers, Georgia 30012 • Phone: 1-800-705-SERV (7378) • www.lithonia.com

DSX0-LED
Rev. 10/30/23
Page 1 of 9

LIGHTING FIXTURE 'X-1', 'X-2'

LITHONIA LIGHTING®

FEATURES & SPECIFICATIONS

INTENDED USE — Typical applications include corridors, lobbies, conference rooms and private offices.
CONSTRUCTION — Install from below construction standard.
Additional mounting options available including new construction mounting pan.
Ambient operating temperature: 25 °C. High ambient option available.
Light engine and driver are accessible from above or below ceiling.
Passive cooling thermal management
Max ceiling thickness 1-1/4"
OPTICS — 3 SDCM; 80 CRI typical
Diffusing lens covers optical chamber
55° cutoff to source and source image
Self-flanged anodized reflectors in specular, semi-specular, or matte diffuse finishes.
ELECTRICAL — 120V TRIAC or ELV dimming and Multi-volt 0-10V dimming available.
0-10V dimming fixture requires two (2) additional low-voltage wires to be pulled
70% lumen maintenance at 50,000 hours
LISTINGS — Certified to US and Canadian safety standards. Damp location standard (wet location, covered ceiling optional).
BUY AMERICAN — This product is assembled in the USA and meets the Buy America(n) government procurement requirements under FARS, DFARS and DOT. Please refer to www.acuitybrands.com/buy-american for additional information.
WARRANTY — 5-year limited warranty. Complete warranty terms located at: www.acuitybrands.com/support/customer-support/terms-and-conditions
Note: Actual performance may differ as a result of end-user environment and application.
All values are design or typical values, measured under laboratory conditions at 25 °C.
Specifications subject to change without notice.

Catalog Number

Notes

Type

LDN3

3" OPEN
Non-IC
New Construction Downlight

Buy American

A+ Capable options indicated by this color background.

ORDERING INFORMATION Lead times will vary depending on options selected. Consult with your sales representative.

Example: LDN3 35/10 LO3AR LSS MVOLT UGZ

LDN3

Series	Color temperature	Lumens	Aperture/Trim Color		Finish
LDN3 3" round	27/ 2700K 30/ 3000K 35/ 3500K 40/ 4000K	05 500 lumens 10 1000 lumens 15[1] 1500 lumens	LO3 Downlight LW3 Wallwash	AR Clear WR[2] White BR[2] Black	LSS Semi-specular LD Matte diffuse LS Specular

Voltage	Driver	Options	
MVOLT[3] Multi-volt 120 120V 277 277V 347[4,5] 347V	UGZ10 Universal dimming to 10% (0-10V, 120V, Triac, or ELV UGZ Universal dimming to 1% (0-10V, 120V, Triac, or ELV	SF[6] Single Fuse TRW[7] White painted flange TRBL[7] Black painted flange NPP16D[4,5,6] nLight network power/relay pack with 0-10V dimming. NPP16DER[4,5,6] nLight network power/relay pack with 0-10V dimming. ER controls fixtures on emergency circuit.	HAO High ambient Option (40°C) WL Wet location NCH New construction housing

Notes
1 347V is only available with 1500lm. 1500lm not available with HAO option.
2 Not available with finishes.
3 Multi-volt 120-277V.
4 Factory supplied device shipped separately. Field installation required.
5 Access required to location of remote mounted device.
6 Must specify voltage.
7 Not required with WR and BR options.

DOWNLIGHTING LDN3

LIGHTING FIXTURE 'X-3'

ARC1 LED

Architectural Wall Luminaire

CERTIFIED IN TITLE 20

Catalog Number

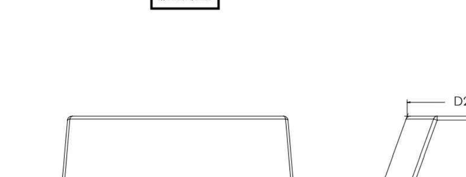
Notes

Type

Hit the Tab key or mouse over the page to see all interactive elements.

Specifications

Depth (D1):	6.5"
Depth (D2):	4.75"
Height:	5"
Width:	11"
Weight: (without options)	7 lbs



Introduction

The Lithonia Lighting ARC LED wall-mounted luminaires provide both architectural styling and visually comfortable illumination while providing the high energy savings and low initial costs for quick financial payback.

ARC1 delivers up to 3,000 lumens with a soft, non-pixelated light source, creating a visually comfortable environment. The compact size of ARC1, with its integrated emergency battery backup option, is ideal for over-the-door applications.

ARC LED Family Overview

Luminaire	Standard EM, 0°C	Cold EM, -20°C	Approximate Lumens (4000K)				
			P1	P2	P3	P4	P5
ARC1 LED	4W	--	1,500	2,000	3,000	--	--
ARC2 LED	4W	8W	1,500	2,000	3,000	4,000	6,500

Ordering Information

EXAMPLE: ARC1 LED P2 40K MVOLT PE DDBXD

Series	Package	Color Temperature	Voltage	Options	Finish
ARC1 LED	P1 1,500 Lumens P2 2,000 Lumens P3 3,000 Lumens	30K 3000K 40K 4000K 50K 5000K	MVOLT 347[1]	E4WH Emergency battery backup, CEC compliant (4W, 0°C min)[1] PE Button type photocell for dusk-to-dawn operation DMG 0-10V dimming wires pulled outside fixture (for use with an external control, ordered separately)[2] SPD6KV 6kV surge protection FAO Field adjustable light output device. Allows for easy adjustment to the desired light levels, from 20% to 100%[2]	DDBXD Dark bronze DBLXD Black DNAXD Natural aluminum DWHXD White DSSXD Sandstone DDBTXD Textured dark bronze DBLBXD Textured black DNATXD Textured natural aluminum DWHGXD Textured white DSSTXD Textured sandstone

Accessories
Ordered and shipped separately.
WSBBW DDBXD U Surface - mounted back box (specify finish)

NOTES
1 347V not available with E4WH.
2 FAO not available with DMG.

LITHONIA LIGHTING COMMERCIAL OUTDOOR

One Lithonia Way • Conyers, Georgia 30012 • Phone: 1-800-705-SERV (7378) • www.lithonia.com

ARC1 LED
Rev. 03/02/22

LIGHTING FIXTURE 'X-4'

Aurelio Baglione
Aurelio Baglione
1096966 Ontario Limited
Owner

Date

Signature: [illegible]
Email: abaglione@virtuscapitalmgmt.com

SCALE: AS NOTED
FILE: IE-7241
DESIGN: PO DATE: 23.12.07
DRWN: PO CHKD: GLH
ES2 OF 2

POND STREET APARTMENTS

60 POND STREET
SIMCOE ONTARIO

ELECTRICAL LIGHTING FIXTURES

INTEGRATED engineering
1930 Blue Heron Drive
London, ON N6H 5L9
Tel: 519-472-3688
Fax: 519-472-4322
www.integratedengineering.ca

LICENSED PROFESSIONAL ENGINEER
G. L. HIRD
19788208
JUN 05/25
PROVINCE OF ONTARIO

DO NOT SCALE THE DRAWING
°
THE CONTRACTOR IS RESPONSIBLE TO VERIFY SITE CONDITIONS AND REPORT ANY ERRORS OR OMISSIONS TO THE ENGINEER
°
THE CONTENTS OF THIS DRAWING REMAINS THE COPYRIGHT PROPERTY OF INTEGRATED ENGINEERING
°
REPRODUCTION OF THESE DOCUMENTS IN PART OR IN WHOLE WITHOUT WRITTEN PERMISSION OF THE ENGINEER IS STRICTLY PROHIBITED

1/2 inch 10 mm

NO	DATE	DESCRIPTION
2	25.06.05	SITE PLAN APPROVAL
1	24.03.04	SITE PLAN APPROVAL
0	24.01.18	SITE PLAN APPROVAL
B	24.01.05	REVIEW
A	23.12.07	REVIEW

REVISIONS

NETHERY Planning

May 30, 2025

Fabian Serra
Planner
Norfolk County
60 Colborne Street South
Simcoe, Ontario N3Y 4H3

Dear Fabian:

Re: Parking Assessment
File: 150

As part of the Site Plan Control application submitted by 1096966 Ontario Limited for the development of a 67-unit, seven-storey rental apartment building located at the southwest corner of Sydenham Street and Pond Street in the Town of Simcoe, Nethery Planning is providing this letter in support of the revised development concept. The proposed development comprises a total of 67 rental units, including 12 Studio Suites, 27 One-Bedroom Units, and 28 Two-Bedroom Units.

The site is zoned Central Business District (CBD) under Norfolk County Zoning By-law 1-Z-2014, with Special Provision 14.930 applying to the western portion of the apartment site. The adjacent severed parcel to the west, which contains the Brick retail store and associated parking, is also zoned CBD with Special Provision 14.709.

Per Section 4.11.1 of the Zoning By-law, no minimum parking requirements apply to lands within the CBD Zone:

"Notwithstanding Subsection 4.9, no parking spaces are required for any lands identified in the Central Business District Zone (CBD)."

Although the Zoning By-law does not require parking to be provided, the applicant is voluntarily including parking as part of the development proposal to support future residents and ensure a functional urban design. The proposed parking supply is as follows:

Apartment Development Parcel – Total of 67 Parking Spaces:

63 Regular Parking Spaces

- 2 Accessible Spaces (Type A)
- 2 Accessible Spaces (Type B)

Brick Retail Store Parcel – Total of 53 Parking Spaces:

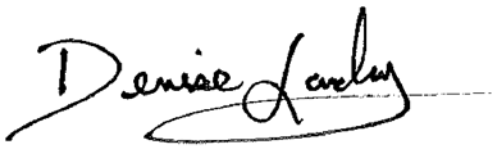
- 5 Existing Regular Parking Spaces
- 46 New Regular Parking Spaces
- 1 Accessible Space (Type A)
- 1 Accessible Space (Type B)

The parking assessment confirms that both parcels will continue to function effectively and comply with the provisions of Zoning By-law 1-Z-2014, as amended. Although the parking count has decreased from earlier iterations of the site design, the current proposal continues to exceed zoning requirements and reflects a balanced approach to land use efficiency and mobility.

We trust this letter and the attached assessment satisfy the County's expectations regarding parking supply and demonstrate that the revised development concept remains appropriate from a functional and planning policy perspective.

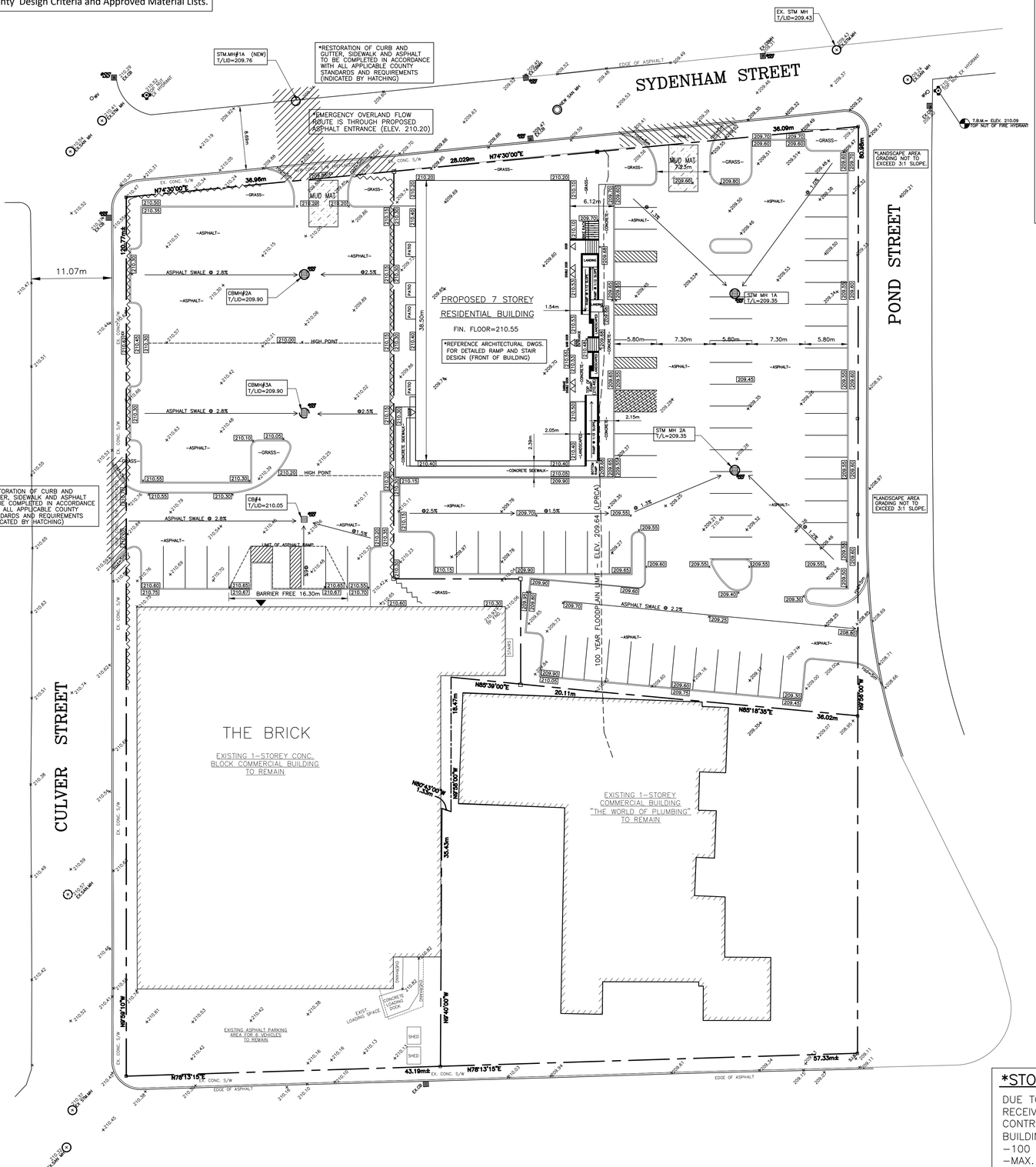
Should any questions arise, we would be pleased to provide further information or clarification as needed.

Yours sincerely,



Denise Landry, MCIP, RPP
Principal Planner

*All materials, installations shall meet Norfolk County Design Criteria and Approved Material Lists.



CONSTRUCTION ENTRANCE/ MUD MAT NOTES:

1. USE CLEAN STONE WITH GRADATION BETWEEN 50mm AND 400mm.
2. LENGTH – 8m (MIN)
3. THICKNESS – 450mm OF 75mm CRUSHED STONE
4. WIDTH – 5m (MIN)
5. GEOTEXTILE UNDER STONE WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
6. ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE.
7. DRAINAGE PIPES SHALL BE SIZED WITH CAPACITY TO CARRY DITCH FLOWS. ALTERNATIVE WAYS OF TRANSPORTING DITCH DRAINAGE ACROSS ENTRANCES MAY BE PROPOSED BY THE CONTRACTOR FOR APPROVAL BY THE ENGINEER.
8. WHEN WASHING OF VEHICLE IS NECESSARY, IT SHALL BE DONE ON STONE AREA DRAINING INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
9. TO BE INSPECTED EVERY SEVEN (7) DAYS AND WITHIN 24 HOURS OF A STORM EVENT GREAT ENOUGH TO CAUSE WATER TO LEAVE THE CONSTRUCTION SITE.

DENOTES CONSTRUCTION MUD MAT

LEGEND

- PROPERTY LINE
- STORM SEWER
- SANITAY SEWER
- WATER SERVICE / WATER MAIN
- SILT FENCE, REQUIRED LOCATION
- 208.00 PROPOSED GRADE ELEVATION
- *208.00 EXISTING GRADE ELEVATION
- FIRE HYDRANT
- WV WATER VALVE
- MH MANHOLE
- CB CATCH BASIN
- SILT SACK (IN CB)
- MAIN ENTRANCE
- LP LIGHT POLE

ROADWAY RESTORATION NOTES:

1. CONTRACTOR TO OBTAIN ALL NECESSARY ROAD CUT PERMITS PRIOR TO CONSTRUCTION.
2. CONTRACTOR TO MAINTAIN A MINIMUM OF ONE LANE OF TRAFFIC AT ALL TIMES. IF TEMPORARY ROAD CLOSURES ARE NECESSARY, THEN CONTRACTOR SHALL MAKE ALL NECESSARY ARRANGEMENTS WITH NORFOLK COUNTY.
3. CONTRACTOR SHALL LOCATE AND PROTECT ALL UTILITIES.
4. ALL CUTS TO EXISTING ASPHALT AND CONCRETE SHALL BE CLEAN SAW CUTS ONLY.
5. BACKFILL FOR ALL SERVICE TRENCHES FROM EDGE OF ASPHALT TO BACK OF SIDEWALK SHALL BE GRANULAR 'B'
6. BACKFILL FOR ALL SERVICE TRENCHES FROM BACK OF SIDEWALK TO STREET LINE SHALL BE SELECT NATIVE MATERIAL.
7. ALL BEDDING AND BACKFILL SHALL BE COMPACTED TO MIN. 98% SPMDD
8. CURBS AND SUBDRAINS SHALL BE RESTORED TO MATCH EXISTING CONDITIONS TO THE SATISFACTION OF NORFOLK COUNTY.
9. BOULEVARDS, SHALL BE RESTORED WITH NO.1 NURSERY SOD ON MINIMUM 100mm IMPORTED TOPSOIL TO THE SATISFACTION OF NORFOLK COUNTY.

FROST PROTECTION:

RIGID INSULATION (2 LAYERS OF 1" STYROFOAM) IS TO BE PROVIDED OVER ALL NEW STORM PIPE WHERE COVER DOES NOT EXCEED 1.2M.

TEMPORARY SILT SACKS:

TEMPORARY SILTATION CONTROL MEASURES, BY WAY OF SILT SACKS, ARE REQUIRED TO BE INSTALLED IN ALL CATCH BASINS & DRYWELLS. REFER TO GENERAL EROSION AND SEDIMENT CONTROL NOTES THIS PAGE AND SILT SACK DETAIL 2 ON SP2.

ROAD RESTORATION:

ALL WORK WITHIN THE MUNICIPAL RIGHT-OF-WAY TO BE COMPLETED TO THE SATISFACTION OF NORFOLK COUNTY, MAKE GOOD ALL DAMAGED, DISTURBED AREAS, HARD SURFACES AND EQUIPMENT TO MATCH ORIGINAL. CAP OR REMOVE ALL DISCONTINUED EXISTING UNDERGROUND SITE SERVICES AS REQUIRED. MATCH EXISTING GRADES AT EXISTING BOULEVARD, SIDEWALKS, CURBING AND ROAD PAVEMENT. NEW DRIVEWAY CONSTRUCTION TO CONFORM TO HALDIMAND COUNTY PROCEDURES AND STANDARDS AND O.P.S.D. 350.010

EXISTING INFRASTRUCTURE:

M.C. ENGINEERING ASSUMES NO RESPONSIBILITY FOR THE USE OF, OR RELIANCE ON, ALL DATA OR INFORMATION PERTAINING TO EXISTING INFRASTRUCTURE AND SERVICES SHOWN (OR NOT SHOWN) WITHIN THE MUNICIPAL RIGHT-OF-WAY, ON THIS DRAWING, INCLUDING BUT NOT LIMITED TO, UNDERGROUND SEWERS, & CONDUIT, STRUCTURES AND EQUIPMENT AND OVERHEAD UTILITIES. CONTRACTOR TO VERIFY LOCATIONS, INVERTS, HEIGHTS AND EXISTING CONDITIONS OF SAME PRIOR TO CONSTRUCTION.

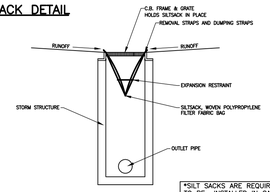
*STORMWATER MANAGEMENT:

DUE TO THE PROXIMITY OF THE DOWNSTREAM RECEIVING WATERSHED (LYNN RIVER), NO QUANTITY CONTROLS ARE PROPOSED FOR APARTMENT BUILDING & ASSOCIATED ASPHALT PARKING AREA.
–100 YEAR FLOOD ELEVATION=209.64m (GRCA)
–MAX. PONDING DEPTH IN PARKING AREA=0.30m
–SWM BRIEF TO FOLLOW

GENERAL NOTES:

1. PRIMARY UNITS ARE METRIC. DIMENSIONS ARE METERS.
2. PROPER SILTATION MEASURES TO TAKE PLACE. SILT CONTROLS, I.E. SILT FENCING AROUND ALL CONSTRUCTION AREAS ARE TO BE IN PLACE PRIOR TO THE START OF SITE WORKS, AND BE MAINTAINED FOR THE DURATION OF CONSTRUCTION (SILT FENCING TO BE PROPERLY SECURED C/W T BAR POSTS IN GROUND & C/W FILTER FABRIC) FENCING TO BE INSTALLED AROUND ALL CONSTRUCTION AREAS. [REFER TO OPSD 219.130].
3. ANY DISCREPANCY(S) BETWEEN INFORMATION ON THIS SITE DRAWING AND ACTUAL FIELD CONDITIONS, WHICH MAY IMPACT ON THE PROPOSED DEVELOPMENT, ARE TO BE REPORTED TO THE SENIOR CONSULTANT / P.ENG.
4. REQUIRED SERVICES & SERVICE CONNECTIONS NOT SHOWN ON DRAWING TO BE THE RESPONSIBILITY OF THE CONTRACTOR/OWNER.
5. ALL NECESSARY RELOCATIONS OR REMOVALS OF EXISTING PHYSICAL SITE FEATURES INCLUDING U/G SERVICES TO BE THE RESPONSIBILITY OF THE CONTRACTOR/OWNER.
6. EXACT LOCATIONS & ELEVATIONS OF ALL EXISTING SERVICES (SANITARY SEWER, WATER, GAS, BELL, ETC.), GRADES, MATERIAL LENGTHS, ELEVATIONS, INVERTS, ETC. TO BE VERIFIED BY CONTRACTOR PRIOR TO COMMENCEMENT OF ANY SITEWORK.
7. ANY FILL PLACED ON SITE MUST BE COMPACTED TO TO A MIN. 98% STANDARD PROCTOR DENSITY.
8. ALL DISTURBED LANDSCAPE AREAS ARE TO BE RE-SEEDED
9. THE APPROVAL OF THIS PLAN DOES NOT EXEMPT THE OWNER'S BONDED CONTRACTOR FROM THE REQUIREMENTS TO OBTAIN THE VARIOUS PERMITS/APPROVALS NORMALLY REQUIRED TO COMPLETE A CONSTRUCTION PROJECT, SUCH AS, BUT NOT LIMITED TO THE FOLLOWING:
   –ROAD CUT PERMITS
   –SEWER PERMITS
   –RELOCATION OF SERVICES
10. THIS DRAWING TO BE READ IN CONJUNCTION WITH ANY AND ALL OTHER DOCUMENTS SUBMITTED FOR MUNICIPAL APPROVAL(S).
11. RIGID INSULATION (2 LAYERS OF 1" STYROFOAM) IS TO BE PROVIDED OVER ALL NEW STORM PIPE WHERE COVER DOES NOT EXCEED 1.2m.
12. ALL EXCESS EXCAVATED MATERIAL WILL BE REMOVED FROM THE SITE.
13. THE EXISTING DRAINAGE PATTERN WILL BE MAINTAINED EXCEPT WHERE NOTED. PROPOSED ELEVATIONS SHOW GENERAL INTENT OF GRADING PLAN.
14. ALL WORK WITHIN THE MUNICIPAL RIGHT-OF-WAY TO BE COMPLETED TO THE SATISFACTION OF THE COUNTY OF NORFOLK.

SILT SACK DETAIL



*SILT SACKS ARE REQUIRED TO BE INSTALLED IN CATCH BASINS AS SHOWN

–INSPECT EVERY WEEK (MIN)
–SILTSACK SHOULD NEVER BE OVER HALF FULL
–FULL BAG CAN BE REMOVED, DUMPED, CLEANED AND REUSED (TO REMOVE INSERT 25mm REBAR INTO FLAP POCKETS) (TO DUMP INSERT 25mm REBAR INTO BOTH DUMPING STRAPS

GENERAL EROSION AND SEDIMENT CONTROL NOTES:

1. UNLESS OTHERWISE INDICATED, ALL VEGETATIVE AND STRUCTURAL EROSION AND SEDIMENT CONTROL PRACTICE WILL BE CONSTRUCTED AND MAINTAINED ACCORDING TO MINIMUM STANDARDS AND SPECIFICATIONS OF MC ENGINEERING.
2. ALL EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE PLACED PRIOR TO OR AS THE FIRST STEP IN CLEARING.
3. A COPY OF THE APPROVED EROSION AND SEDIMENT CONTROL PLAN SHALL BE MAINTAINED ON SITE AT ALL TIMES (DURING DURATION OF CONSTRUCTION).
4. THE CONTRACTOR IS RESPONSIBLE FOR INSTALLATION OF ANY ADDITIONAL EROSION CONTROL MEASURES NECESSARY TO PREVENT EROSION AND SEDIMENTATION AS DETERMINED BY THE PLAN APPROVING AUTHORITY.
5. ALL DISTURBED AREAS ARE TO DRAIN TO APPROVED SEDIMENT CONTROL MEASURES AT ALL TIMES DURING LAND DISTURBING ACTIVITIES AND DURING SITE DEVELOPMENT UNTIL FINAL STABILIZATION IS ACHIEVED.
6. ALL EROSION AND SEDIMENT CONTROLS ARE TO BE INSTALLED AND MAINTAINED TO THE SATISFACTION AND TO THE REQUIREMENTS OF MC ENGINEERING.
7. ALL AREAS OF WORK WHICH WILL REMAIN DISTURBED FOR A PERIOD OF THIRTY DAYS OR MORE MUST BE STABILIZED TO THE SATISFACTION OF MC ENGINEERING.
8. ALL MATERIAL STOCKPILES ARE TO BE LOCATED WITHIN THE BOUNDARY OF THE INDICATED SILT FENCE. ADDITIONAL SILT FENCE IS TO BE ERECTED AROUND ANY PROPOSED STOCKPILES.
9. CATCH BASINS TO HAVE SILT TRAPS INSTALLED FOR THE DURATION OF CONSTRUCTION. REFERENCE DETAIL 2 ON SP2.
10. SILT FENCE AS PER OPSD 219.130
11. ALL EROSION CONTROL DEVICES ARE TO BE INSPECTED AND MAINTAINED WEEKLY AND AFTER EACH RAINFALL.
12. OWNER IS RESPONSIBLE FOR INSPECTIONS AND MAINTENANCE OF STORMCEPTOR AS PER MANUFACTURER'S INSTRUCTIONS. ALL EROSION AND SEDIMENTATION CONTROL DEVICES MUST BE IN PLACE PRIOR TO ANY EARTH MOVING/CONSTRUCTION ACTIVITIES AND MUST BE MAINTAINED UNTIL FINAL COVER IS ESTABLISHED.

SILT FENCE NOTES:

1. SILT FENCE SHALL GENERALLY BE PLACED A MINIMUM OF 1.5m BEYOND TOE OF SLOPE, 3m PREFERRED, TO PROVIDE ADEQUATE AREA FOR SEDIMENT STORAGE AND FACILITATE MAINTENANCE OF SEDIMENT CONTAINMENT AREA.
2. ALL ENDS SHALL BE "J" HOOKED TO TRAP SEDIMENT.
3. IN AREAS WITH TWO SLOPES, SILT FENCE SHALL BE USED TO ERECT A DAM AND TRAP SEDIMENT AT THE BASE OF THE STEEPER SLOPE.
4. SILT FENCE AS PER OPSD 219.130
5. SILT FENCE SHALL BE REMOVED WHEN THE AREA HAS BEEN STABILIZED.
6. AT TIME OF REMOVAL OF THE SILT FENCE, THE DISTURBED AREA SHALL BE REPAIRED AND STABILIZED.
7. MEASURES SHALL BE INSPECTED EVERY SEVEN (7) CALENDAR DAYS AND WITHIN 24 HOURS OF A STORM EVENT GREAT ENOUGH TO CAUSE WATER TO LEAVE THE CONSTRUCTION SITE.
8. MEASURES SHALL BE CLEANED AND REPAIRED AS NEEDED. SEDIMENT SHALL BE REMOVED WHEN ACCUMULATION REACHES ONE-HALF OF THE MEASURE HEIGHT. SEDIMENT SHALL BE DISPOSED OF AS UNSUITABLE MATERIAL.
9. SILT FENCE SHALL BE INSTALLED ON A LINE OF EQUAL ELEVATION (CONTOUR). IT MAY BE INSTALLED AT INTERMEDIATE POINTS UP SLOPES AS WELL AS AT THE BOTTOM, AS SHOWN IN THE DETAIL.
10. SILT FENCE SHALL NOT BE USED ACROSS CONCENTRATED FLOW.

THE FOLLOWING DRAWINGS AND NOTES TO BE CONSIDERED AS PART OF THE CONSTRUCTION DRAWINGS:

–ANY DISCREPANCY BETWEEN THIS DRAWING AND ACTUAL FIELD CONDITIONS WHICH MAY IMPACT WORK IS TO BE REPORTED TO M C ENGINEERING PRIOR TO COMMENCEMENT OF WORK.

–DIMENSIONS ARE METRIC

NO.	DESCRIPTION	DATE	BY
2	ISSUED FOR REVIEW	MAY 15 2025	RM
1	ISSUED FOR REVIEW	JAN 3 2024	RM
0	ISSUED FOR REVIEW	OCT 16 2023	RM

DO NOT SCALE DRAWINGS; THESE DRAWINGS SHOW INTENT OF THE DESIGN ONLY OR EXISTING CONDITIONS AND MAY NOT REFLECT EXACT LOCATIONS.

PROJECT NORTH

LICENCED PROFESSIONAL ENGINEER
May 15, 2025
N.S. BALAN
100503960
PROVINCE OF ONTARIO

M C ENGINEERING P.O. Box 1002, Simcoe, Ont. N3Y 5B3
Tel: 519-428-6790 Fax: 519-426-8960
E-mail: mail@mcengineering.net
A DIVISION OF 392583 ALBERTA LTD.

PROJECT NAME

CIVIL SITE PLAN
PROPOSED APARTMENT BUILDING

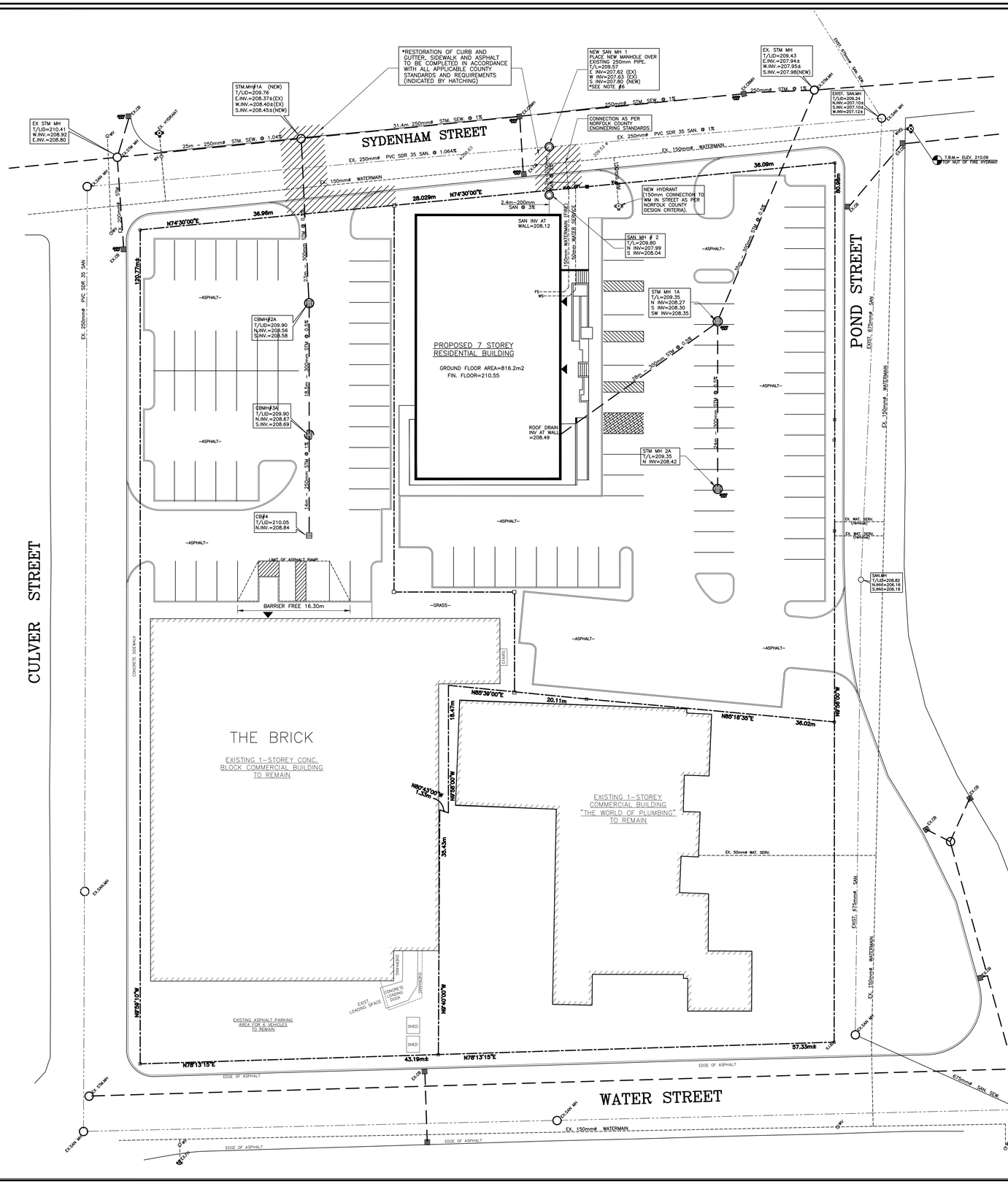
60 POND STREET
NORFOLK COUNTY

SHEET TITLE
GRADING PLAN / DRAINAGE PLAN
& SILTATION AND EROSION CONTROL PLAN

SCALE	1:500 METRIC
DRAWN BY	R MORRISON
CHECKED BY	N.B.
DATE	NOV 2024
FILE NAME	7222

PROJECT NO. 7222

DWG. NO.	REV. NO.
SP1	2



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- SANITAY SEWER
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ROADWAY RESTORATION NOTES:

1. CONTRACTOR TO OBTAIN ALL NECESSARY ROAD CUT PERMITS PRIOR TO CONSTRUCTION.
2. CONTRACTOR TO MAINTAIN A MINIMUM OF ONE LANE OF TRAFFIC AT ALL TIMES. IF TEMPORARY ROAD CLOSURES ARE NECESSARY, THEN CONTRACTOR SHALL MAKE ALL NECESSARY ARRANGEMENTS WITH NORFOLK COUNTY.
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FROST PROTECTION:

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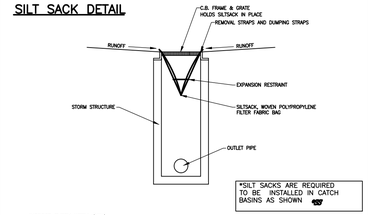
SILT SACK DETAIL



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SERVICING SPECIFICATIONS

ITEM	REFER TO DETAIL
STORM SEWER	PVC SDR 35 (HDPE RIBBED PIPE NOT TO BE USED)
WATER SERVICE	50mm COPPER TYPE K (DOMESTIC WATER)
WATERMAIN / FIREMAIN	• PVC DR 18 CLASS 150 • INSTALL A REDUCED PRESSURE DOUBLE BACKFLOW PREVENTOR (RPZ) • REFER TO MECHANICAL DRAWINGS FOR ALL INTERIOR PLUMBING, PLUMBING FIXTURES AND PIPING.
WATER METER	• A WATER METER SHALL BE INSTALLED IMMEDIATELY INSIDE THE BUILDING; ALL FLOWS TO THE PROPERTY SHALL PASS THROUGH THE WATER METER. • THE OWNER OF THE PROPERTY SHALL BE HELD LIABLE FOR ALL WATER CHARGES.
SANITARY SEWER	• 200mm PVC SDR 35 SANITARY PIPE • REFER TO MECHANICAL DRAWINGS FOR ALL INTERIOR PLUMBING, PLUMBING FIXTURES AND PIPING.
CATCH BASINS	OPSD 705.020 & OPSD 705.010
MANHOLES	OPSD 701.010
SITE LIGHTING FIXTURES	REFER TO ELECTRICAL DRAWINGS FOR BUILDING / SITE LIGHTING FIXTURES AND FIXTURE LOCATIONS AND SPECIFICATIONS. NO EXTERIOR LIGHTING ARRAY TO BE DIRECTED OFF PROPERTY TO ROAD ALLOWANCE OR ADJACENT PROPERTIES. ALL LIGHTING ARRAY DIRECTIONS TO SHINE INTERNALLY TOWARD SUBJECT PROPERTY.
BUILDING / SITE HYDRO ELECTRICAL / COMMUNICATIONS	REFER TO ELECTRICAL DRAWINGS FOR BUILDING/ SITE HYDRO ELECTRICAL AND COMMUNICATIONS (BELL/ROGERS ETC.) CONDUIT SERVICES, LOCATIONS, EQUIPMENT, FIXTURE TYPES AND SPECIFICATIONS.
BUILDING / SITE NATURAL GAS LINES, FIXTURES AND EQUIPMENT	REFER TO MECHANICAL DRAWINGS FOR NATURAL GAS SERVICES, LOCATIONS, EQUIPMENT, FIXTURE TYPES AND SPECIFICATIONS.
ROOF RAIN WATER LEADERS	ROOF RAIN WATER LEADERS TO BE DIRECTED TO STORM SEWER

THE FOLLOWING DRAWINGS AND NOTES TO BE CONSIDERED AS PART OF THE CONSTRUCTION DRAWINGS:

-ANY DISCREPANCY BETWEEN THIS DRAWING AND ACTUAL FIELD CONDITIONS WHICH MAY IMPACT WORK IS TO BE REPORTED TO M C ENGINEERING PRIOR TO COMMENCEMENT OF WORK.

-DIMENSIONS ARE METRIC

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DO NOT SCALE DRAWINGS; THESE DRAWINGS SHOW INTENT OF THE DESIGN ONLY OR EXISTING CONDITIONS AND MAY NOT REFLECT EXACT LOCATIONS.

PROJECT NORTH

LICENSED PROFESSIONAL ENGINEER May 15, 2025 N.S. BALAN 100503960 PROVINCE OF ONTARIO

M C ENGINEERING P.O. Box 1002, Simcoe, Ont. N3Y 5B3
Tel: 519-426-6790 Fax: 519-426-8960
E-mail: mail@mcengineering.net
A DIVISION OF 392583 ALBERTA LTD.

PROJECT NAME

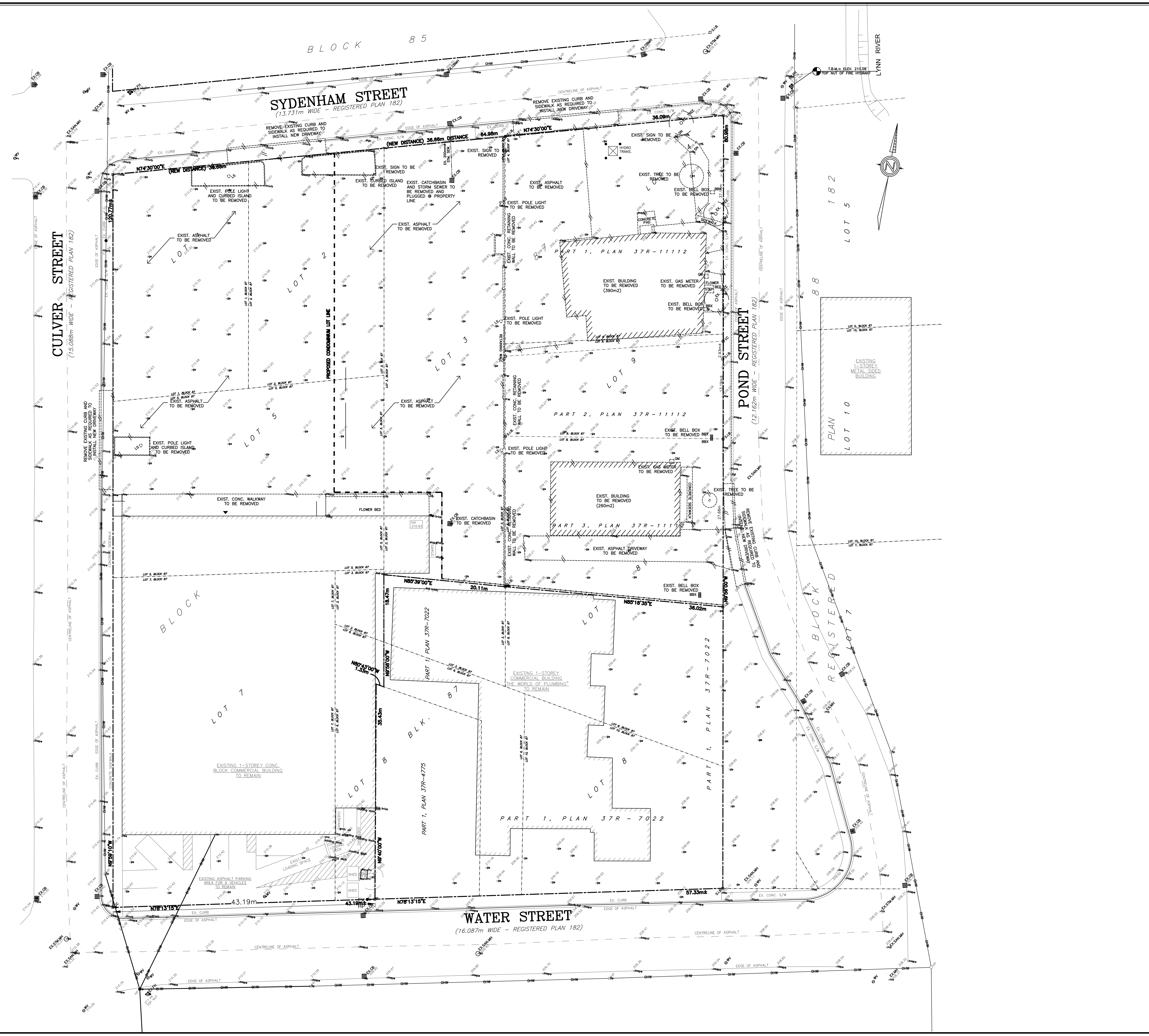
CIVIL SITE PLAN
PROPOSED APARTMENT BUILDING

60 POND STREET
NORFOLK COUNTY

SHEET TITLE
SITE SERVICING PLAN

SCALE	1:500 METRIC
DRAWN BY	R MORRISON
CHECKED BY	N.B.
DATE	NOV 2024
FILE NAME	7222

PROJECT NO.	
7222	
DWG. NO.	REV. NO.
SP2	2



LEGEND

- PROPERTY LINE
- STORM SEWER
- SANITAY SEWER
- WATER SERVICE / WATER MAIN
- SILT FENCE, REQUIRED LOCATION
- 208.00 PROPOSED GRADE ELEVATION
- ×208.00 EXISTING GRADE ELEVATION
- FIRE HYDRANT
- WV WATER VALVE
- MH MANHOLE
- CB CATCH BASIN
- SS SILT SACK (IN CB)
- MAIN ENTRANCE
- LP LIGHT POLE

ROADWAY RESTORATION NOTES:

1. CONTRACTOR TO OBTAIN ALL NECESSARY ROAD CUT PERMITS PRIOR TO CONSTRUCTION.
2. CONTRACTOR TO MAINTAIN A MINIMUM OF ONE LANE OF TRAFFIC AT ALL TIMES. IF TEMPORARY ROAD CLOSURES ARE NECESSARY, THEN CONTRACTOR SHALL MAKE ALL NECESSARY ARRANGEMENTS WITH NORFOLK COUNTY.
3. CONTRACTOR SHALL LOCATE AND PROTECT ALL UTILITIES.
4. ALL CUTS TO EXISTING ASPHALT AND CONCRETE SHALL BE CLEAN SAW CUTS ONLY.
5. BACKFILL FOR ALL SERVICE TRENCHES FROM EDGE OF ASPHALT TO BACK OF SIDEWALK SHALL BE GRANULAR 'B'
6. BACKFILL FOR ALL SERVICE TRENCHES FROM BACK OF SIDEWALK TO STREET LINE SHALL BE SELECT NATIVE MATERIAL.
7. ALL BEDDING AND BACKFILL SHALL BE COMPACTED TO MIN. 98% SPMDD
8. CURBS AND SUBDRAINS SHALL BE RESTORED TO MATCH EXISTING CONDITIONS TO THE SATISFACTION OF NORFOLK COUNTY.
9. BOULEVARDS, SHALL BE RESTORED WITH NO.1 NURSERY SOD ON MINIMUM 100mm IMPORTED TOPSOIL TO THE SATISFACTION OF NORFOLK COUNTY.

THE FOLLOWING DRAWINGS AND NOTES TO BE CONSIDERED AS PART OF THE CONSTRUCTION DRAWINGS:

-ANY DISCREPANCY BETWEEN THIS DRAWING AND ACTUAL FIELD CONDITIONS WHICH MAY IMPACT WORK IS TO BE REPORTED TO M C ENGINEERING PRIOR TO COMMENCEMENT OF WORK.

-DIMENSIONS ARE METRIC

NO. REVISION	DESCRIPTION	DATE	BY
2	ISSUED FOR REVIEW	MAY 15 2025	RM
1	ISSUED FOR REVIEW	JAN 3 2024	RM
0	ISSUED FOR REVIEW	OCT 16 2023	RM

DO NOT SCALE DRAWINGS; THESE DRAWINGS SHOW INTENT OF THE DESIGN ONLY OR EXISTING CONDITIONS AND MAY NOT REFLECT EXACT LOCATIONS.

PROJECT NORTH

LICENSED PROFESSIONAL ENGINEER
May 15, 2025
N.S. BALAN
100503960
N Balan
PROVINCE OF ONTARIO

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PROJECT NAME

CIVIL SITE PLAN
PROPOSED APARTMENT BUILDING

60 POND STREET
NORFOLK COUNTY

SHEET TITLE EXISTING SITE CONDITION / DEMO PLAN

SCALE	1:500 METRIC
DRAWN BY	R MORRISON
CHECKED BY	N.B.
DATE	NOV 2024
FILE NAME	7222

PROJECT NO. 7222

DWG. NO. SP3 REV. NO. 2

FUNCTIONAL SERVICING REPORT
Proposed 7 storey – 67 unit Apartment Building
56-62 Pond Street,
Simcoe, Ontario

1.0 Introduction

.1 The County of Norfolk required a servicing report for the proposed 67 unit, 7 storey apartment building project. The site is located at the southwest corner of Pond Street and Sydenham Street.

.2 This report addresses the sanitary and domestic/fire water servicing for the site.

.3 Note that metric and imperial units are mixed in this report to match background data from Norfolk Standard, hydrant flow tests and other sources of data.

2.0 Site Investigation

.1 The 0.4542 hA site presently contains 2 buildings. The first is a 1-1/2 storey commercial /residential building of appx. 380 sq meters footprint and 500 sq meters gross above grade floor area. The second is a commercial building of appx. 255 sq meters. These buildings are to be demolished. It is proposed to construct a 7 storey apartment building on the site.

.2 Sydenham Street has 250mm sanitary sewer, and 150mm water municipal services.

3.0 Sanitary Sewer Servicing

.1 The building will have 67 apartment units comprised of 28 two bedroom apartments and 39 one bedroom apartments.

.2 Using the County of Norfolk population and sewage loading calculations the estimated total occupant load and sewage loading are as follows:

67 x 2.75 persons/unit = 184.25 persons rounded up to 185 persons and sewage loading is 185 x 0.45 cubic meters/day = 83.25 cubic meters/day = 0.96 litres/second.

Peak sanitary flow is calculated by Harmon formula: M = 1 +(14/(4 + P^0.5)) with limits of 2<M<5.
P is population/1000, and M is a multiplier of average flow therefore:

M = 1 + (14/(4 + 0.185^0.5)) = 4.16

Peak sanitary flow is therefore 4.16 x 0.96 litres/second = 4.0 litres/second or 240 litres/minute (63.5 usgpm).

The county requires the addition of an infiltration allowance of 0.28 l/s per hectare which increases total design peak sanitary flow to 4.0 l/s + 0.28 l/s x 0.4542 hA =4.13 l/s.

A sanitary sewer of 150mm trade size with friction factor of n=0.013 and minimum slope of 1.0% would have a capacity of 17 liters/second when flowing full which exceeds the required flow by a factor of 4:1 and will be satisfactory.

.3 Due to internal building code requirements the estimated fixture load of 801 fixture units may require a 200mm sanitary sewer depending on pipe slope and material of construction. It is recommended that the sanitary sewer from the building be 200mm PVC at 1% minimum or a 150mm PVC at 2% minimum.

.4 It is proposed to connect new sanitary service to existing municipal service in Sydenham Street.

4.0 Domestic Water Servicing

.1 Domestic water demand was calculated using Norfolk County standard:

Daily Average Flow Q = 185 persons x 0.45 cubic meters/day-capita = 83.25 cubic meters/day = 3469 litres/hour = 0.96 litres/second average.

Peak Daily flow factor = 2 therefore

Peak Daily flow = 83.25 x 2 = 166.5 cubic meters/day.

Peak hour peaking factor is 4.0

Peak hourly domestic flow is therefore 3469 x 4.0 = 13876 litres/peak hour = 3.86 litres/second average over peak hour (63.5 usgpm).

The county standard does not include guidance for instantaneous peak flows which determine service water pipe sizing therefore from Modified Hunter curve and based on 801 fixture units the peak 1 minute flow is estimated at 73 USGPM = 4.6 litres/second. See Modified Hunter curve figure 1 attached.

.2 Hydrant flow testing was done in the area of the subject site. Water Pressure in the area of the new building is appx 78 psig static pressure. Minimum residual pressure with 1840 USGPM flowing is 72 psig

.3 The 7 storey building with top floor ceiling at appx 72 feet (22.0m) will have a water static lift of 72 ft/2.3 psi per ft = 32 psi leaving appx 40 psi (280 kPa) for friction loss and operating pressure at the fixtures on the top floor. Internal domestic piping should be sized for a maximum of 6 psi (42 kpa) drop per 100 feet (30m) of pipe run at peak design flow. A 50mm type 'K' water service pipe has a flowing friction loss of 5 psi/100 at 73 usgpm which should be the minimum size provided. See Table 1.

Note that the county of Norfolk designs for minimum water pressure of 280 kPa (40 psi) under normal operating conditions and a pumping system for domestic water in the building may be required.

.3 It is proposed to connect new domestic water service to existing municipal service in Sydenham Street.

5.0 Fire Water Servicing

.1 The subject building will be required to be equipped with a full fire sprinkler system. Generally this size of building has a peak water demand on the first floor of appx. 600 USGPM including hose allowances in a well laid out sprinkler design and less than 200 USGPM (including fire hose flows) on upper residential only floors. The sprinkler hydraulic design will determine if the 32 psi (182 kPa) static pressure loss at the top floor

creates a greater or lesser demand than the higher flow at the lower floors. A minimum of 7 psi (49 kPa) static pressure is required at each sprinkler head.

The expected Sprinkler water demand for the building of appx. 600 USGPM which is met by the fire hydrant test flow. See attached Hydrant Flow Test sheets figs 2 and 3. The hydrant flow test of 1840 USGPM at 72 psig (6955 l/m at 504 kPa) indicate that there is sufficient water volume and pressure for the sprinkler system. See attached 2 hydrant flow tests figures 2 and 3. A fire pump may be required.

.2 The Underwriters Fire Flow Survey was prepared and indicates that the site requires a fire water flow of 894 USGPM (56.4 l/s). This is readily provided by the existing fire hydrants in the area. See attached Underwriters Fire Flow Survey calculation worksheet figure 4.

.3 It is proposed to connect new fire water service to existing municipal services in Sydenham Street. A single 150mm water connection for both domestic and fire water will connect to the existing main and the domestic water will tee off of the service just before the property line. 150mm fire and 50mm domestic valved water services will then extend onto the subject property and travel to the new building.

.4 A new fire hydrant with its own 150mm fire water service will connect to the existing watermain in Sydenham Street.

6.0 Combined Fire Water and Domestic Water Flow

.1 The County requires the water supply to be calculated for 2 scenarios of combined fire water and domestic flow.

Scenario 1: Daily Demand + Fire Flow
= 0.96 l/s + 56.4 l/s = 57.36 lires/second
Scenario 2: Peak Hourly Demand
= 3.86 litres/second

The peak water flow is Scenario 1 with a demand of 57.36 litres/second. This flow can be provided by the existing watermain.

7.0 Deduction Due to Demolition of Existing Buildings.

.1 The existing 2 buildings on the site are comprised of appx 635 square meters of commercial space and a single apartment unit.

Using the County of Norfolk Engineering Standard the existing estimated sanitary Flow for existing site is:

Commercial: 0.459 hA x 40 cubic m/hA -day	= 18.3 cu m/day
Residential: 1 apartment at 2.75 persons x 0.45 cu m/day	= 1.3 cu m/day
Total Existing Sanitary Flow:	19.6 cu m/day

Existing estimated water flow is:

Commercial: 0.459 hA x 90 persons/hA x 0.45 cubic m/day-person	= 18.6 cu m/day
Resident.: 2.75 persons x 0.45 cu m/day	= 1.3 cu m/day
Total Existing Domestic Water Demand	19.9 cu m/day

7.0 Net Increase in Sanitary and Domestic Water Flows

Taking Sections 3 & 4 and subtracting Section 7 yields daily sewage and domestic water flow increases for the property as follows:

Net Increase in Daily Sewage Flow = 83.3 - 19.6 = 63.7 cubic meters/day

Net Increase in Daily Domestic Water Flow = 83.3 - 19.9 = 63.4 cubic meters/day

Report prepared by

Fred Jewett P. Eng.

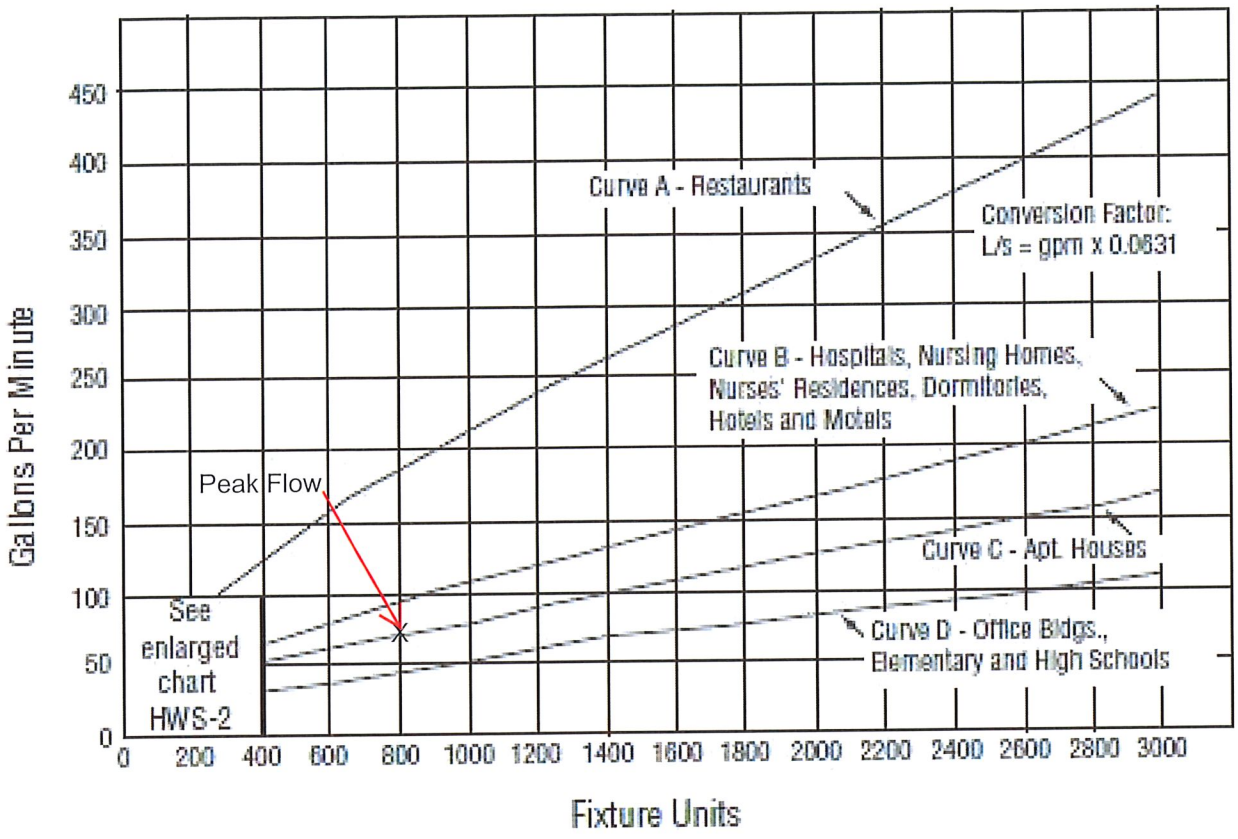

Fig. 1 Modified Hunter Curve

Nominal Size 2 (inches)						
	Type K		Type L		Type M	
	Outside Diameter (inches)	Wall Thickness (inches)	Outside Diameter (inches)	Wall Thickness (inches)	Outside Diameter (inches)	Wall Thickness (inches)
	2.125	0.083	2.125	0.07	2.125	0.058
Flow (gpm)	Pressure Loss (psi/ft)	Velocity (ft/s)	Pressure Loss (psi/ft)	Velocity (ft/s)	Pressure Loss (psi/ft)	Velocity (ft/s)
10	0.001	1.1	0.001	1.0	0.001	1.0
20	0.004	2.1	0.004	2.1	0.004	2.0
30	0.009	3.2	0.009	3.1	0.008	3.0
40	0.016	4.3	0.015	4.1	0.014	4.1
50	0.024	5.3	0.022	5.2	0.021	5.1
60	0.034	6.4	0.031	6.2	0.030	6.1
70	0.045	7.5	0.042	7.3	0.039	7.1

Table 1 Pipe Flow vs Friction Loss

C&H FIRE SUPPRESSION SYSTEMS INC.

183 Exeter Road, Unit #A
London, Ontario N6L 1A4
☎ (519) 652-5086
FAX (519) 652-8719

HYDRANT FLOW TEST REPORT

Location: **Intersection:** **Culver St. & Water St.**
Simcoe, ON

Date: **May 1, 2020**

Test by: **Jamie Tomes**
C & H Fire Suppression Systems Inc.

Time: **10:00am**

Witness(s): **Water Operator, Norfolk County**

Flowing (1) 2-1/2" Outlet

HYD#164:

Static Reading:	**78psi**
Residual Reading:	**75psi**

HYD#370:

Nozzle Size:	**2.5"**
Discharge Coefficient:	**0.9**
Total Discharge:	**1250gpm**
Results @ 20psi:	**6188gpm**
Pressure Drop:	**3.8%**

Flowing (2) 2-1/2" Outlets

HYD#164:

Static Reading:	**78psi**
Residual Reading:	**72psi**

HYD#370:

Nozzle Size:	**2.5" x2**
Discharge Coefficient:	**0.9**
Total Discharge:	**2000gpm**
Results @ 20psi:	**6808gpm**
Pressure Drop:	**7.7%**

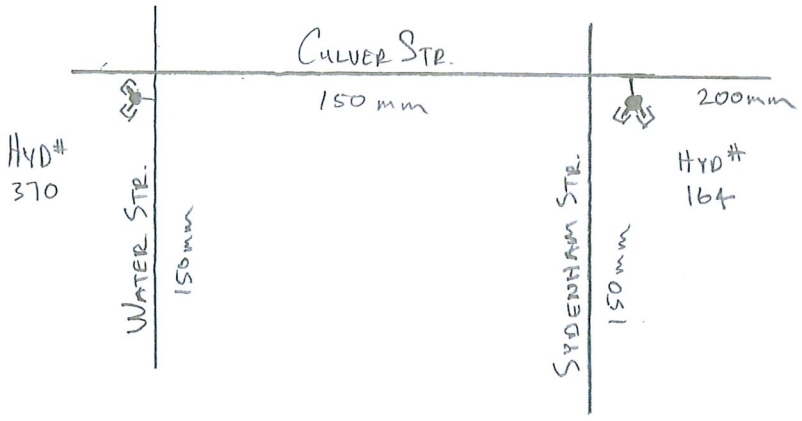

Figure 2

C&H FIRE SUPPRESSION SYSTEMS INC.

183 Exeter Road, Unit #A
London, Ontario N6L 1A4
☎ (519) 652-5086
FAX (519) 652-8719

HYDRANT FLOW TEST REPORT

Location: **Intersection: Sydenham St. & Pond St. Simcoe, ON**

Date: **May 1, 2020**

Test by: **Jamie Tomes**
C & H Fire Suppression Systems Inc.

Time: **9:30am**

Witness(s): **Water Operator, Norfolk County**

Flowing (1) 2-1/2" Outlet

HYD#164:	
Static Reading:	**78psi**
Residual Reading:	**74psi**
HYD#237:	
Nozzle Size:	**2.5"**
Discharge Coefficient:	**0.9**
Total Discharge:	**1190gpm**
Results @ 20psi:	**5043gpm**
Pressure Drop:	**5.1%**

Flowing (2) 2-1/2" Outlets

HYD#164:	
Static Reading:	**78psi**
Residual Reading:	**72psi**
HYD#237:	
Nozzle Size:	**2.5" x2**
Discharge Coefficient:	**0.9**
Total Discharge:	**1840gpm**
Results @ 20psi:	**6267gpm**
Pressure Drop:	**7.7%**

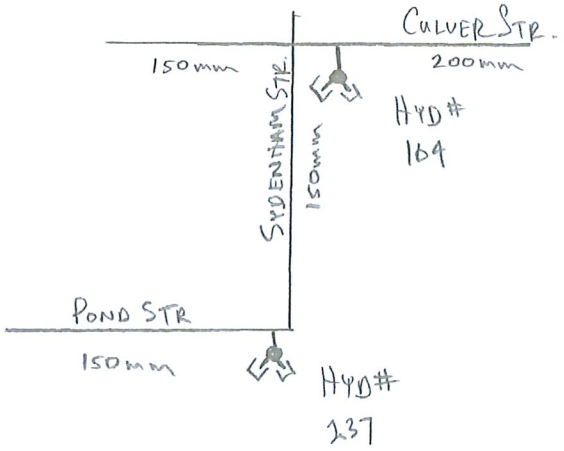

Figure 3

FIRE UNDERWRITERS SURVEY FIRE FLOW CALCULATION

PROJECT: RESIDENTIAL 7 STOREY APARTMENT BUILDING

ADDRESS: 56–62 POND STREET

MUNICIPALITY: SIMCOE

DATE: APRIL 30, 2020

CALCULATION BY: FRED JEWETT P. Eng.

STEP	TASK	TERM	OPTIONS	MULTIPLIER	UNIT	FIRE FLOW
1	CONSTRUCTION OF BUILDING	COEFFICIENT C	PROTECTED NON–COMBUSTIBLE	0.6	–	
2	AREA PROTECTED	AREA A	818.5 + (25% x 818.5 X 2 floors)	1228	m^2	
3	CALCULATE BASE FIRE FLOW	BASE FIRE FLOW	$F = 220 \times C \times \sqrt{A} = 220 \times 0.6 \times \sqrt{1228}$		Litres/Min.	4626 L/m
			ROUNDED TO NEAREST 1000 L/S			5000 L/m
4	ADJUSTMENTS			FACTOR		
	CONTENTS	ADDER	ORDINARY COMBUSTIBLE	0.0	–	0
	FIRE SPRINKLERS	ADDER	PROPERLY SIZED SYSTEM AND HOSE ALLOWANCE	–0.4	–	– 2000
			SUPERVISION OF SPRINKLERS	–0.1		– 500
			SUB TOTAL			2500 L/m
	BUILDING SEPARATION	ADDER	NORTH 16.5 m	+0.15	–	+ 375
			EAST >45.0 m	0.0	–	0
			SOUTH 16.29 m	+0.15	–	+ 375
			WEST >45.0 m	0.0	–	0
5	MINIMUM REQUIRED FIRE FLOW				Litres/Min.	3250 L/m
					USGPM	860 USGPM
6	FLOW TEST RESULT	HYDRANT 1:	1840 USGPM AT 72 PSI RESIDUAL AVAILABLE 78 PSI STATIC ADJUSTING FOR FLOW AT 20 PSI RESIDUAL = 6267 USGPM			23,689 L/m 6267 USGPM
		HYDRANT 2:	2000 USGPM AT 72 PSI RESIDUAL AVAILABLE 78 PSI STATIC ADJUSTING FOR FLOW AT 20 PSI RESIDUAL = 6808 USGPM			25,734 L/m 6808 USGPM

MAY 11, 2020 – ADDED FLOW TESTS
AUG 31, 2021 – BUILDING HEIGHT REVISED BY DEVELOPER
NOV 23, 2023 – REVISED BUILDING SHAPE

Fig. 4

STORM WATER MANAGEMENT BRIEF

TO BE READ IN CONJUNCTION WITH SITE PLAN
FOR

Proposed Residential Building
60 Pond Street, Simcoe, On

PREPARED BY:
MC ENGINEERING
(519) 428 6790

REVISION #1 May 15 2025

GENERAL:

This document is to be read in conjunction with Site Plan drawings SP1 & SP2 prepared by MC Engineering (Rev 2 - May 15 2025).

FORWARD:

The subject property (60 Pond Street, Simcoe, Ontario) is currently developed. The property is home to 'The Brick Furniture Store' as well as two smaller commercial buildings. The proposal is to sever a portion of the existing lot and construct a residential building on the severed parcel.

The design strategy is to separate the drainage systems on the retained and severed parcels.

It should be noted that under post development site conditions there is no proposed increase in runoff for either the retained or severed parcel. As such, no new storm water management controls are proposed. Pre and Post Development Drainage Area Plans are attached to this report and demonstrate that there is no proposed increase to the absorption coefficient or subsequent runoff.

Both the LPRCA and Norfolk County have indicated that no on-site storm water management controls are required.

OUTLET:

The property currently outlets to the municipal storm sewer in the ROW. It should be noted that the lands are directly adjacent to the Lynn River, which is the ultimate storm water outlet for the subject property.

Under the post development site condition, both the severed and retained parcels will have independent outlets to the existing municipal storm sewer.

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TEL: 519-428-6790 FAX: 519-426-8960 • E-MAIL: max@mcengineering.net

IMPERVIOUSNESS COEFFICIENTS:

Commercial Property (The Brick)

PRE DEVELOPMENT: 0.87
POST DEVELOPMENT: 0.86

Residential Property (New Apartment Building)

PRE DEVELOPMENT: 0.87
POST DEVELOPMENT: 0.80

LPRCA REQUIREMENTS

The following requirements were issued by the LPRCA:

Filling

LPRCA staff indicated they can support the minor filling of the floodplain to ensure that vehicles are not susceptible to more than 0.3m of water during a 100-year event. Staff will not support filling that intends to remove lands entirely out of the floodplain, only what is necessary to bring the surface parking area and associated internal lane network up to the point of 0.3m of water (max.) during a 100 year storm.

100 year storm flood elevation: 209.64m

Minimum proposed grade elevation: 209.35m

Allowable ponding depth: 0.30m

Proposed ponding depth (max.): 0.29m

SWM

LPRCA does not have any quantity or quality requirements. Runoff will outlet into the municipal storm sewer and directly to the Lynn River.

SUMMARY

Because there are no proposed impacts on stormwater quantity or stormwater quality, no storm controls are proposed. The existing on site storm sewer will continue to serve both the retained and severed parcels. There will be no impact to adjacent or downstream property.

CLICK HERE FOR INFORMATION

Proposed apartment building - 60 Pond Stret - Simcoe

SECURITIES AND CONSTRUCTION ESTIMATES

REVISION
MAY 13 2025
DATE - COLLECTED AT REGISTRATION
DATE - HELD AFTER ACCEPTANCE

ITEM	DESCRIPTION	UNIT	QTY.	UNIT PRICE	TOTAL COST	Securities	
						10%	100%
BELOW GROUND							
SANITARY SEWERS							
	Sanitary Sewer						
	a) 200mm Diameter	M	3	$150	$450	$45	$0
	b) 200mm Diameter - Street	M	6	$150	$900	$0	$900
	1200mm Diameter Manhole	EACH	1	$7,000	$7,000	$700	$0
	1200mm Diameter Manhole - Street	EACH	1	$7,000	$7,000	$0	$7,000
	Video Inspection and Report	L.S.	1	$1,000	$0	$0	$1,000
	TOTAL SANITARY SEWERS				**$15,350**	**$745**	**$8,900**
WATERMAIN							
	Watermain						
	a) 150mm Diameter	L.S.	1	$5,000	$5,000	$500	$0
	b) 150mm Diameter - Street	L.S.	1	$5,000	$5,000	$0	$5,000
	c) 50 mm Diameter	L.S.	1	$3,000	$3,000	$300	$0
	d) 50 mm Diameter - Street	L.S.	1	$3,000	$3,000	$0	$3,000
	e) 50mm Diameter WV	L.S.	1	$500	$500	$0	$500
	f) 150mm Diameter WV	L.S.	1	$1,200	$1,200	$0	$1,200
	Hydrant Sets	EACH	1	$5,000	$5,000	$500	$0
	TOTAL WATERMAIN				**$22,700**	**$1,300**	**$9,700**
STORM SEWERS							
	Storm Sewer						
	a) 300mm Diameter	M	120	$100	$12,000	$1,200	$0
	b) 300mm Diameter - Street	M	22	$100	$2,200	$0	$2,200
	1200mm Diameter Manholes	EA	5	$7,000	$35,000	$3,500	$0
	1200mm Diameter Manhole- Street	EA	1	$7,000	$7,000	$0	$7,000
	Video Inspection and Report	L.S.	1	$1,000	$1,000	$100	$1,000
	TOTAL BELOW STORM SEWER				**$57,200**	**$4,800**	**$10,200**
					$95,250	**$6,845**	**$28,800**
ABOVE GROUND							
STORM SEWERS							
	Catchbasins	EA	0	$0	$0	$0	$0
	TOTAL ABOVE STORM SEWER				**$0**	**$0**	**$0**
PARKING AREA / ROAD CONSTRUCTION							
	Granular 'A'	Tonne	1000	$15	$15,000	$1,500	
	Granular 'B'	Tonne	1500	$12	$18,000	$1,800	
	Curb and Gutter	M	600	$100	$60,000	$6,000	

ITEM	DESCRIPTION	UNIT	QTY.	UNIT PRICE	TOTAL COST	Securities	
						10%	100%
	HL4 Base Asphalt	m2	4600	$10	$46,000	$4,600	
	Sidewalk & Ext Conc	L.S.	1	$20,000	$20,000	$2,000	
	Tactile (at sidewalk ramps)	L.S.	1	$1,000	$1,000	$100	
	Painted Linework on Pavement	L.S.	1	$5,000	$5,000	$500	
	Road Cuts and Restoration in ROW	L.S.	1	$20,000	$20,000	$0	$20,000
	TOTAL ROAD CONSTRUCTION				**$185,000**	**$16,500**	**$20,000**
STREETLIGHTING							
	Streetlights (Pole, Mast Arm and Luminaire)	EACH	1	$0	$0	$0	$0
	Streetlight Disconnect Pedestal	EACH	1	$0	$0	$0	$0
	Conduit for Streetlight Conductor						
	a) 50mm Conduit	M	1	$0	$0	$0	$0
	b) 100mm Conduit (Road Crossings)	M	1	$0	$0	$0	$0
	Streetlighting Conductor	M	1	$0	$0	$0	$0
	TOTAL STREETLIGHTING				**$0**	**$0**	**$0**
					$185,000	**$16,500**	**$20,000**
FINISHING WORKS							
	40mm HL3 Asphalt (Top Lift)	M²	4600	$10	$46,000	$4,600	
	Top Soil and Sodding	L.S.	1	$5,000	$5,000	$500	$0
	Driveway Aprons	L.S.	3	$5,000	$15,000		$15,000
	Lot Grading	L.S.	1	$20,000	$20,000	$2,000	
					$86,000	**$7,100**	**$15,000**
STORM WATER MANAGEMENT POND							
			1	$0	$0	$0	$0
			1	$0	$0	$0	$0
					$0	**$0**	**$0**
LANDSCAPING AND ON SITE WORKS							
	Plantings	L.S.	1	$10,000	$10,000		
	Lighting		0	$0	$0		$0
	Signage		0	$24	$0		$0
	Parking Lot		0	$0	$0		$0
					$10,000		**$0**

SUMMARY

BELOW GROUND	$6,845	$28,800
ABOVE GROUND	$16,500	$20,000
FINISHING WORKS	$7,100	$15,000
STORM WATER MANAGEMENT POND	$0	$0	$0

ITEM	DESCRIPTION	UNIT	QTY.	UNIT PRICE	TOTAL COST	Securities	
						10%	100%
	LANDSCAPING AND ON SITE WORKS					$10,000	$0

TOTAL SECURITIES REQUIRED AT REGISTRATION **$104,245**

OPINON OF PROBABLE LANDSCAPE CONSTRUCTION COST

Project Name: 60 Pond Street - Commercial Site

Client: 1096966 Ontario Limited Inc. Date: 2025-05-31 Revision No: 4

Item	Description	Units	No. of Units	Unit Price	Cost
LANDSCAPE PLAN					
SUBJECT SITE					
A	Deciduous Trees (50mm caliper , wire basket)	ea	1	$640.00	$640.00
B	Deciduous Shrubs (50cm height, 3 gallon pot)	ea	53	$50.00	$2,650.00
C	Coniferous Shrubs (50cm spread, 5 gallon pot)	ea	13	$65.00	$845.00
D	Perennials (1 gallon pot)	ea	88	$15.00	$1,320.00
E	Sod with 150mm Topsoil	m2	177	$15.00	$2,655.00
				TOTAL	**$8,110.00**

In providing estimates of probable construction cost, the Client and the Municipality understand that the Consultant has no control over the cost or availability of labour, equipment, or materials; or over market conditions; or the Contractor's method of pricing, and that the Consultant's estimates of probable construction costs are made on the basis of the Consultant's professional judgement and experience. The Consultant makes no warranty, express or implied, that the bids or the negotiated cost of the Work will not vary from the Consultant's estimate of probable construction cost.

OPINON OF PROBABLE LANDSCAPE CONSTRUCTION COST

Project Name: 60 Pond Street - Apartment Site

Client: 1096966 Ontario Limited Inc. Date: 2025-05-31 Revision No: 4

Item	Description	Units	No. of Units	Unit Price	Cost
LANDSCAPE PLAN					
SUBJECT SITE					
A	Deciduous Trees (50mm caliper , wire basket)	ea	7	$640.00	$4,480.00
B	Deciduous Shrubs (50cm height, 3 gallon pot)	ea	52	$50.00	$2,600.00
C	Coniferous Shrubs (50cm spread, 5 gallon pot)	ea	75	$65.00	$4,875.00
D	Perennials (1 gallon pot)	ea	200	$15.00	$3,000.00
E	Sod with 150mm Topsoil	m2	381	$15.00	$5,715.00
F	1.8 Meter Tall Wood Fence	lm	132	$300.00	$39,600.00
G	Bike Rack	ea	2	$500.00	$1,000.00
				TOTAL	**$61,270.00**

In providing estimates of probable construction cost, the Client and the Municipality understand that the Consultant has no control over the cost or availability of labour, equipment, or materials; or over market conditions; or the Contractor's method of pricing, and that the Consultant's estimates of probable construction costs are made on the basis of the Consultant's professional judgement and experience. The Consultant makes no warranty, express or implied, that the bids or the negotiated cost of the Work will not vary from the Consultant's estimate of probable construction cost.