

Planning Department Development Application Form

Complete Application

A complete development application consists of the following:

1. A completed, signed, and notarized application form
2. Supporting information adequate to illustrate your proposal as indicated in **Section H** of this application form
3. Written authorization from the registered owner of the subject lands where the applicant is not the owner as per Section N
4. Cash, debit, credit or cheque payable to Norfolk County in the amount set out in the user fees By-Law that will be accepted and deposited once the application has been deemed complete.

Pre-Submission Consultation:

Norfolk County requires a Pre-Consultation Meeting for all applications; however, minor applications may be exempted depending on the nature of the proposal. The purpose of a Pre-Consultation Meeting is to provide the applicant with an opportunity to present the proposed application, discuss potential issues, and for the Norfolk County and Agency staff to identify the application requirements. Application requirements, as detailed in the Pre-Consultation Meeting Comments, are valid for one year after the meeting date.

Development Application Process

Once an application has been deemed complete by a Planner, Norfolk County staff will circulate the application to adjacent landowners, public agencies, and internal departments for comment. The time involved in application processing varies depending on its complexity, acceptability to the other agencies, and statutory Planning Act decision time-frames.

Payment is required once your application is deemed complete. Pre-payments will not be accepted.

Norfolk County collects personal information submitted through this form under the Municipal Freedom of Information and Protection Act's authority. Norfolk County will use this information for the purposes indicated or implied by this form. You can direct questions about collecting personal information to Norfolk GIS Services at NorfolkGIS@norfolkcounty.ca.

Additional studies required for the complete application shall be at the applicant's sole expense. Sometimes, peer reviews may be necessary to review particular studies at the applicant's expense. In these cases, Norfolk County staff will select the company to complete the peer review.

Norfolk County will refund the original fee if applicants withdraw their applications before circulation. If Norfolk County must recirculate your drawings, there will be an additional fee. If Norfolk County must do more than three reviews of engineering drawings due to revisions by the owner or failure to revise engineering drawings as requested, Norfolk County will charge an additional fee. Full refunds are only available before Norfolk County has circulated the application.

Notification Sign Requirements

For public notification, Norfolk County will provide you with a sign to indicate the intent and purpose of your development application. It is your responsibility to:

1. Post one sign per frontage in a conspicuous location on the subject lands.
2. Ensure one sign is posted at the front of the subject lands at least three feet above ground level and not on a tree.
3. Notify the Planner when the sign is in place.
4. Maintain the sign until the development application is finalized and, after that, remove it.

Contact Us

For additional information or assistance completing this application, please contact a Planner at 519-426-5870 or 519-875-4485 extension 1842 or planning@norfolkcounty.ca. Please submit the completed application and fees to the attention of the Planning Department at 185 Robinson Street, Suite 200, Simcoe, ON N3Y 5L6.

For Office Use Only:

File Number	_____	Public Notice Sign	_____
Related File Number	_____	Application Fee	_____
Pre-consultation Meeting	_____	Conservation Authority Fee	_____
Application Submitted	_____	Well & Septic Info Provided	_____
Complete Application	_____	Planner	_____

Check the type of planning application(s) you are submitting.

- ☐ Official Plan Amendment
- ☐ Zoning By-Law Amendment
- ☐ Temporary Use By-law
- ☐ Draft Plan of Subdivision/Vacant Land Condominium
- ☐ Condominium Exemption
- ☒ Site Plan Application
- ☐ Extension of a Temporary Use By-law
- ☐ Part Lot Control
- ☐ Cash-in-Lieu of Parking
- ☐ Renewable Energy Project or Radio Communication Tower

Please summarize the desired result of this application (for example, a special zoning provision on the subject lands to include additional use(s), changing the zone or official plan designation of the subject lands, creating a certain number of lots, or similar)

Property Assessment Roll Number: _____

A. Applicant Information

Name of Owner

Address

Town and Postal Code

Phone Number

Cell Number

Email

Name of Applicant

Address

Town and Postal Code

Phone Number

Cell Number

Email

Name of Agent

Address

Town and Postal Code

Phone Number

Cell Number

Email

Unless otherwise directed, Norfolk County will forward all correspondence and notices regarding this application to both owner and agent noted above.

☐ Owner

☐ Agent

☐ Applicant

Names and addresses of any holder of any mortgagees, charges or other encumbrances on the subject lands:

B. Location, Legal Description and Property Information

1. Legal Description (include Geographic Township, Concession Number, Lot Number, Block Number and Urban Area or Hamlet):

Municipal Civic Address: _____

Present Official Plan Designation(s): _____

Present Zoning: _____

2. Is there a special provision or site specific zone on the subject lands?

☐ Yes ☐ No If yes, please specify corresponding number:

3. Present use of the subject lands:

4. Please describe **all existing** buildings or structures on the subject lands and whether they will be retained, demolished or removed. If retaining the buildings or structures, please describe the type of buildings or structures, and illustrate the setback, in metric units, from the front, rear and side lot lines, ground floor area, gross floor area, lot coverage, number of storeys, width, length, and height on your attached sketch which must be included with your application:

5. If an addition to an existing building is being proposed, please explain what it will be used for (for example: bedroom, kitchen, or bathroom). If new fixtures are proposed, please describe.

6. Please describe **all proposed** buildings or structures/additions on the subject lands. Describe the type of buildings or structures/additions, and illustrate the setback, in metric units, from front, rear and side lot lines, ground floor area, gross floor area, lot coverage, number of storeys, width, length, and height on your attached sketch which must be included with your application:

7. Are any existing buildings on the subject lands designated under the *Ontario Heritage Act* as being architecturally and/or historically significant? Yes ☐ No ☐

If yes, identify and provide details of the building:

8. If known, the length of time the existing uses have continued on the subject lands:

9. Existing use of abutting properties:

10. Are there any easements or restrictive covenants affecting the subject lands?

☐ Yes ☐ No If yes, describe the easement or restrictive covenant and its effect:

C. Purpose of Development Application

Note: Please complete all that apply.

1. Please explain what you propose to do on the subject lands/premises which makes this development application necessary:

2. Please explain why it is not possible to comply with the provision(s) of the Zoning By-law/and or Official Plan:

3. Does the requested amendment alter all or any part of the boundary of an area of settlement in the municipality or implement a new area of settlement in the municipality? ☐ Yes ☐ No If yes, describe its effect:

4. Does the requested amendment remove the subject land from an area of employment? ☐ Yes ☐ No If yes, describe its effect:

5. Does the requested amendment alter, replace, or delete a policy of the Official Plan?
☐ Yes ☐ No If yes, identify the policy, and also include a proposed text of the policy amendment (if additional space is required, please attach a separate sheet):

6. Description of land intended to be severed in metric units:

Frontage: _____

Depth: _____

Width: _____

Lot Area: _____

Present Use: _____

Proposed Use: _____

Proposed final lot size (if boundary adjustment): _____

If a boundary adjustment, identify the assessment roll number and property owner of the lands to which the parcel will be added: _____

Description of land intended to be retained in metric units:

Frontage: _____

Depth: _____

Width: _____

Lot Area: _____

Present Use: _____

Proposed Use: _____

Buildings on retained land: _____

7. Description of proposed right-of-way/easement:

Frontage: _____

Depth: _____

Width: _____

Area: _____

Proposed use: _____

8. Name of person(s), if known, to whom lands or interest in lands to be transferred, leased or charged (if known):

9. Site Information**Zoning****Proposed**

Please indicate unit of measurement, for example: m, m² or %

Lot frontage	_____	_____
Lot depth	_____	_____
Lot width	_____	_____
Lot area	_____	_____
Lot coverage	_____	_____
Front yard	_____	_____
Rear yard	_____	_____
Left Interior side yard	_____	_____
Right Interior side yard	_____	_____
Exterior side yard (corner lot)	_____	_____
Landscaped open space	_____	_____
Entrance access width	_____	_____
Exit access width	_____	_____
Size of fencing or screening	_____	_____
Type of fencing	_____	_____

10. Building Size

Number of storeys	_____	_____
Building height	_____	_____
Total ground floor area	_____	_____
Total gross floor area	_____	_____
Total useable floor area	_____	_____

11. Off Street Parking and Loading Facilities

Number of off street parking spaces	_____	_____
Number of visitor parking spaces	_____	_____
Number of accessible parking spaces	_____	_____
Number of off street loading facilities	_____	_____

12. Residential (if applicable)

Number of buildings existing: _____

Number of buildings proposed: _____

Is this a conversion or addition to an existing building? ☐ Yes ☐ No

If yes, describe: _____

Type	Number of Units	Floor Area per Unit in m2
Single Detached	_____	_____
Semi-Detached	_____	_____
Duplex	_____	_____
Triplex	_____	_____
Four-plex	_____	_____
Street Townhouse	_____	_____
Stacked Townhouse	_____	_____
Apartment - Bachelor	_____	_____
Apartment - One bedroom	_____	_____
Apartment - Two bedroom	_____	_____
Apartment - Three bedroom	_____	_____

Other facilities provided (for example: play facilities, underground parking, games room, or swimming pool):

13. Commercial/Industrial Uses (if applicable)

Number of buildings existing: _____

Number of buildings proposed: _____

Is this a conversion or addition to an existing building? ☐ Yes ☐ No

If yes, describe:

Indicate the gross floor area by the type of use (for example: office, retail, or storage):

Seating Capacity (for assembly halls or similar): _____

Total number of fixed seats: _____

Describe the type of business(es) proposed: _____

Total number of staff proposed initially: _____

Total number of staff proposed in five years: _____

Maximum number of staff on the largest shift: _____

Is open storage required: ☐ Yes ☐ No

Is a residential use proposed as part of, or accessory to commercial/industrial use?

☐ Yes ☐ No If yes please describe:

14. Institutional (if applicable)

Describe the type of use proposed: _____

Seating capacity (if applicable): _____

Number of beds (if applicable): _____

Total number of staff proposed initially: _____

Total number of staff proposed in five years: _____

Maximum number of staff on the largest shift: _____

Indicate the gross floor area by the type of use (for example: office, retail, or storage):

15. Describe Recreational or Other Use(s) (if applicable)

D. Previous Use of the Property

1. Has there been an industrial or commercial use on the subject lands or adjacent lands? ☐ Yes ☐ No ☐ Unknown

If yes, specify the uses (for example: gas station or petroleum storage):

2. Is there reason to believe the subject lands may have been contaminated by former uses on the site or adjacent sites? ☐ Yes ☐ No ☐ Unknown

3. Provide the information you used to determine the answers to the above questions:

4. If you answered yes to any of the above questions in Section D, a previous use inventory showing all known former uses of the subject lands, or if appropriate, the adjacent lands, is needed. Is the previous use inventory attached? ☐ Yes ☐ No

E. Provincial Policy

1. Is the requested amendment consistent with the provincial policy statements issued under subsection 3(1) of the *Planning Act, R.S.O. 1990, c. P. 13*? ☐ Yes ☐ No

If no, please explain:

2. It is owner's responsibility to be aware of and comply with all relevant federal or provincial legislation, municipal by-laws or other agency approvals, including the Endangered Species Act, 2007. Have the subject lands been screened to ensure that development or site alteration will not have any impact on the habitat for endangered or threatened species further to the provincial policy statement subsection 2.1.7? ☐ Yes ☐ No

If no, please explain:

3. Have the subject lands been screened to ensure that development or site alteration will not have any impact on source water protection? ☐ Yes ☐ No

If no, please explain:

Note: If in an area of source water Wellhead Protection Area (WHPA) A, B or C please attach relevant information and approved mitigation measures from the Risk Manager Official.

4. Are any of the following uses or features on the subject lands or within 500 metres of the subject lands, unless otherwise specified? Please check boxes, if applicable.

Livestock facility or stockyard (submit MDS Calculation with application)

☐ On the subject lands or ☐ within 500 meters – distance _____

Wooded area

☐ On the subject lands or ☐ within 500 meters – distance _____

Municipal Landfill

☐ On the subject lands or ☐ within 500 meters – distance _____

Sewage treatment plant or waste stabilization plant

☐ On the subject lands or ☐ within 500 meters – distance _____

Provincially significant wetland (class 1, 2 or 3) or other environmental feature

☐ On the subject lands or ☐ within 500 meters – distance _____

Floodplain

☐ On the subject lands or ☐ within 500 meters – distance _____

Rehabilitated mine site

☐ On the subject lands or ☐ within 500 meters – distance _____

Non-operating mine site within one kilometre

☐ On the subject lands or ☐ within 500 meters – distance _____

Active mine site within one kilometre

☐ On the subject lands or ☐ within 500 meters – distance _____

Industrial or commercial use (specify the use(s))

☐ On the subject lands or ☐ within 500 meters – distance _____

Active railway line

☐ On the subject lands or ☐ within 500 meters – distance _____

Seasonal wetness of lands

☐ On the subject lands or ☐ within 500 meters – distance _____

Erosion

☐ On the subject lands or ☐ within 500 meters – distance _____

Abandoned gas wells

☐ On the subject lands or ☐ within 500 meters – distance _____

F. Servicing and Access

1. Indicate what services are available or proposed:

Water Supply

- | | |
|--|---|
| <input type="checkbox"/> Municipal piped water | <input type="checkbox"/> Communal wells |
| <input type="checkbox"/> Individual wells | <input type="checkbox"/> Other (describe below) |
-

Sewage Treatment

- | | |
|---|---|
| <input type="checkbox"/> Municipal sewers | <input type="checkbox"/> Communal system |
| <input type="checkbox"/> Septic tank and tile bed in good working order | <input type="checkbox"/> Other (describe below) |
-

Storm Drainage

- | | |
|---|---------------------------------------|
| <input type="checkbox"/> Storm sewers | <input type="checkbox"/> Open ditches |
| <input type="checkbox"/> Other (describe below) | |
-

Shared drainage system with neighbouring property to ravine

2. Existing or proposed access to subject lands:

- | | |
|---|---|
| <input type="checkbox"/> Municipal road | <input type="checkbox"/> Provincial highway |
| <input type="checkbox"/> Unopened road | <input type="checkbox"/> Other (describe below) |

Name of road/street: _____

G. Other Information

1. Does the application involve a local business? ☐ Yes ☐ No

If yes, how many people are employed on the subject lands?

2. Is there any other information that you think may be useful in the review of this application? If so, explain below or attach on a separate page.
-
-
-
-

H. Supporting Material to be submitted by Applicant

In order for your application to be considered complete, **folded** hard copies (number of paper copies as directed by the planner) and an **electronic version (PDF) of the properly named site plan drawings, additional plans, studies and reports** will be required, including but not limited to the following details:

1. Concept/Layout Plan
2. All measurements in metric
3. Key map
4. Scale, legend and north arrow
5. Legal description and municipal address
6. Development name
7. Drawing title, number, original date and revision dates
8. Owner's name, address and telephone number
9. Engineer's name, address and telephone number
10. Professional engineer's stamp
11. Existing and proposed easements and right of ways
12. Zoning compliance table – required versus proposed
13. Parking space totals – required and proposed
14. All entrances to parking areas marked with directional arrows
15. Loading spaces, facilities and routes (for commercial developments)
16. All dimensions of the subject lands
17. Dimensions and setbacks of all buildings and structures
18. Location and setbacks of septic system and well from all existing and proposed lot lines, and all existing and proposed structures
19. Gross, ground and useable floor area
20. Lot coverage
21. Floor area ratio
22. Building entrances, building type, height, grades and extent of overhangs
23. Names, dimensions and location of adjacent streets including daylighting triangles
24. Driveways, curbs, drop curbs, pavement markings, widths, radii and traffic directional signs
25. All exterior stairways and ramps with dimensions and setbacks
26. Retaining walls including materials proposed
27. Fire access and routes
28. Location, dimensions and number of parking spaces (including visitor and accessible) and drive aisles
29. Location of mechanical room, and other building services (e.g. A/C, HRV)
30. Refuse disposal and storage areas including any related screening (if indoors, need notation on site plan)
31. Winter snow storage location

32. Landscape areas with dimensions
33. Natural features, watercourses and trees
34. Fire hydrants and utilities location
35. Fencing, screening and buffering – size, type and location
36. All hard surface materials
37. Light standards and wall mounted lights (plus a note on the site plan that all outdoor lighting is to be dark sky compliant)
38. Business signs (make sure they are not in sight lines)
39. Sidewalks and walkways with dimensions
40. Pedestrian access routes into site and around site
41. Bicycle parking
42. Architectural elevations of all building sides
43. All other requirements as per the pre-consultation meeting

In addition, the following additional plans, studies and reports, including but not limited to, **may** also be required as part of the complete application submission:

- ☐ Zoning Deficiency Form
- ☐ On-Site Sewage Disposal System Evaluation Form (to verify location and condition)
- ☐ Architectural Plan
- ☐ Buildings Elevation Plan
- ☐ Cut and Fill Plan
- ☐ Erosion and Sediment Control Plan
- ☐ Grading and Drainage Control Plan (around perimeter and within site) (existing and proposed)
- ☐ Landscape Plan
- ☐ Photometric (Lighting) Plan
- ☐ Plan and Profile Drawings
- ☐ Site Servicing Plan
- ☐ Storm water Management Plan
- ☐ Street Sign and Traffic Plan
- ☐ Street Tree Planting Plan
- ☐ Tree Preservation Plan
- ☐ Archaeological Assessment
- ☐ Environmental Impact Study

- ☐ Functional Servicing Report
- ☐ Geotechnical Study / Hydrogeological Review
- ☐ Minimum Distance Separation Schedule
- ☐ Noise or Vibration Study
- ☐ Record of Site Condition
- ☐ Storm water Management Report
- ☐ Traffic Impact Study – please contact the Planner to verify the scope required

Site Plan applications will require the following supporting materials:

1. Two (2) complete sets of the site plan drawings folded to 8½ x 11 and an electronic version in PDF format
2. Letter requesting that the Holding be removed (if applicable)
3. A cost estimate prepared by the applicant's engineer
4. An estimate for Parkland dedication by a certified land appraiser
5. Property Identification Number (PIN) printout

Standard condominium exemptions will require the following supporting materials:

- ☐ Plan of standard condominium (2 paper copies and 1 electronic copy)
- ☐ Draft condominium declaration
- ☐ Property Identification Number (PIN) printout

Your development approval might also be dependent on other relevant federal or provincial legislation, municipal by-laws or other agency approvals.

All final plans must include the owner's signature as well as the engineer's signature and seal.

I. Development Agreements

A development agreement may be required prior to site plan approval, subdivision and condominium applications. Should this be necessary for your development, you will be contacted by the agreement administrator with further details of the requirements including but not limited to insurance coverage, professional liability for your engineer, additional fees and securities.

J. Transfers, Easements and Postponement of Interest

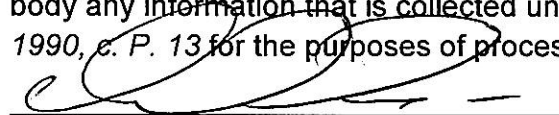
The owner acknowledges and agrees that if required, it is their solicitor's responsibility on behalf of the owner, to disclose the registration of all transfer(s) of land and/or easement in favour of the County and/or utilities. Also, the owner further acknowledges and agrees that it is their solicitor's responsibility on behalf of the owner for the registration of postponements of any charges in favour of the County.

K. Permission to Enter Subject Lands

Permission is hereby granted to Norfolk County officers, employees or agents, to enter the premises subject to this application for the purposes of making inspections associated with this application, during normal and reasonable working hours.

L. Freedom of Information

For the purposes of the *Municipal Freedom of Information and Protection of Privacy Act*, I authorize and consent to the use by or the disclosure to any person or public body any information that is collected under the authority of the *Planning Act, R.S.O. 1990, c. P. 13* for the purposes of processing this application.



Owner/Applicant Signature

09/12/2024

Date

M. Owner's Authorization

If the applicant/agent is not the registered owner of the lands that is the subject of this application, the owner(s) must complete the authorization set out below.

I/We Derek Demeyere am/are the registered owner(s) of the lands that is the subject of this application.

I/We authorize Bradley Good to make this application on my/our behalf and to provide any of my/our personal information necessary for the processing of this application. Moreover, this shall be your good and sufficient authorization for so doing.

Derek Demeyere

Owner

Sept 5, 2024

Date

Owner

Date

N. Declaration

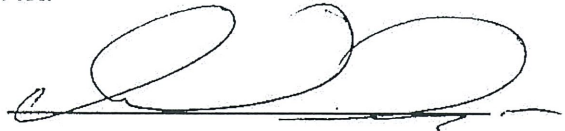
I, Pam Southwick of Courtland

solemnly declare that:

all of the above statements and the statements contained in all of the exhibits transmitted herewith are true and I make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath and by virtue of *The Canada Evidence Act*.

Declared before me at:

Courtland

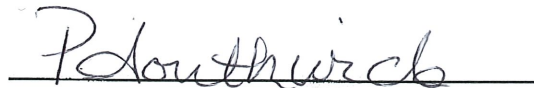


Owner/Applicant Signature

In Norfolk County

This 5th day of September

A.D., 2024



A Commissioner, etc.

Pamela Christine Southwick,
a Commissioner, etc., Province of Ontario,
for Reid & Deleye Contractors Ltd.
Expires August 25, 2026.



425
QUEENSWAY
WEST,
SIMCOE

1 SITE LOCATION

ONTARIO BUILDING CODE DATA MATRIX

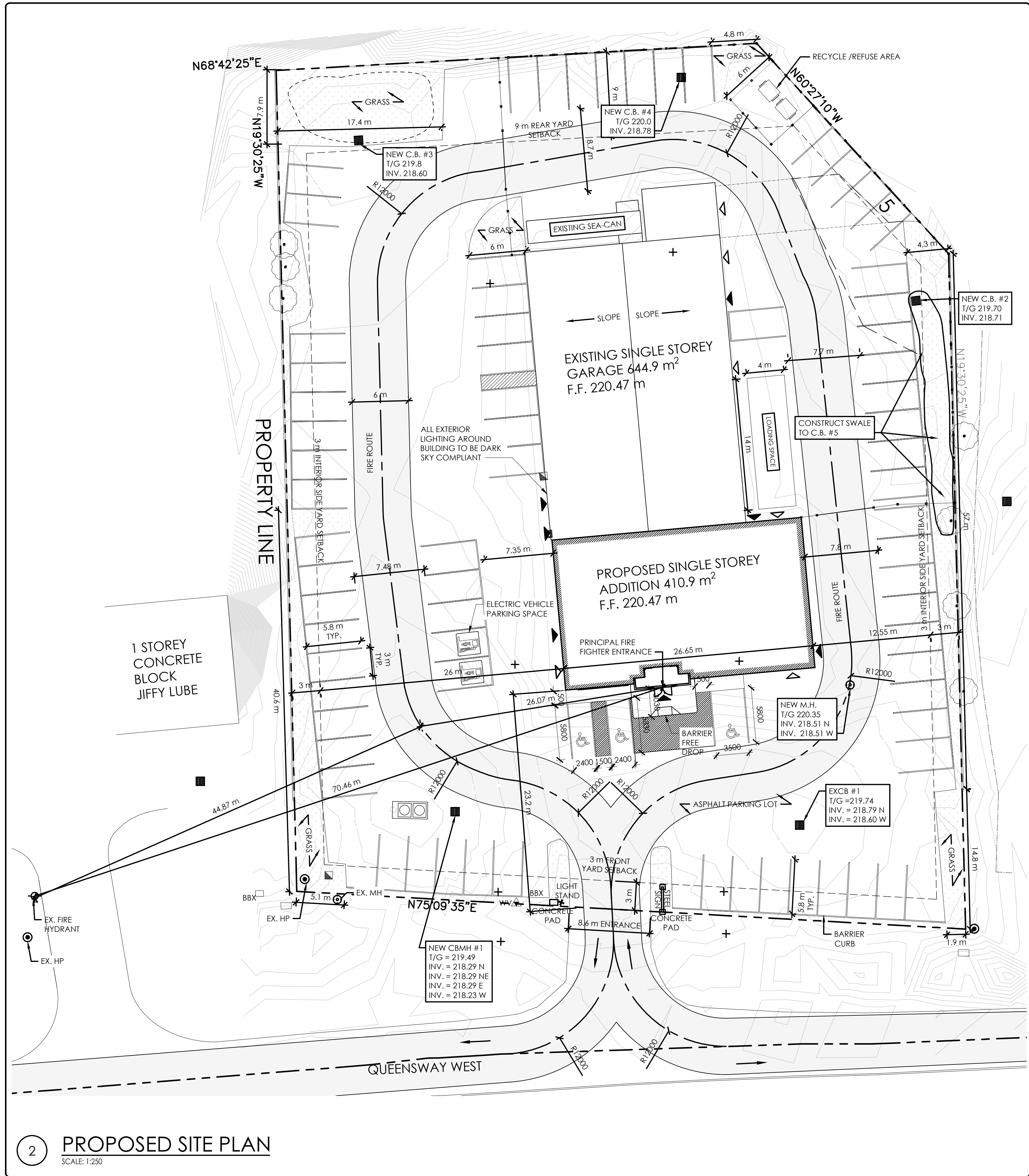
No.	ITEM	O.B.C. REFERENCE
1	PROJECT DESCRIPTION: SIMCOE HONDA AUTOMOTIVE DEALERSHIP SHOWROOM ADDITION <div><input type="checkbox"/> NEW <input checked="" type="checkbox"/> ADDITION <input type="checkbox"/> ALTERATION <input type="checkbox"/> CHANGE OF USE</div>	<div><input checked="" type="checkbox"/> PART 3 <input type="checkbox"/> PART 9</div> <div>2.1.1 9.10.1.13</div>
2	MAJOR OCCUPANCY(S): GROUP E, F-2 MINOR	3.1.2.1.(1) 9.10.2
3	BUILDING AREA (m ²): EXIST: 644.9m ² NEW: 410.9m ² TOTAL: 1055.8m ²	1.1.3.2 1.1.3.2
4	GROSS AREA (m ²): EXIST: 670.5m ² NEW: 430.9m ² TOTAL: 1101.4m ²	1.1.3.2 1.1.3.2
5	NUMBER OF STOREYS: ABOVE GRADE: 1 BELOW GRADE: N/A	3.2.1.1 & 1.1.3.2 2.1.1.3
6	HEIGHT OF BUILDING (m): 7.7 m	
7	NUMBER OF STREETS / ACCESS ROUTES: 1	3.2.2.10 & 3.2.5.5
8	BUILDING CLASSIFICATION: GROUP E, UP TO 3 STOREYS	3.2.2.59 9.10.2
9	SPRINKLER SYSTEM PROPOSED: <div><input type="checkbox"/> ENTIRE BUILDING <input type="checkbox"/> BASEMENT ONLY <input type="checkbox"/> IN LIEU OF ROOF RATING <input checked="" type="checkbox"/> NOT REQUIRED</div>	3.2.2.20-83 9.10.8
10	STANDPIPE REQUIRED: <div><input type="checkbox"/> YES <input checked="" type="checkbox"/> NO</div>	3.2.9
11	FIRE ALARM REQUIRED: <div><input type="checkbox"/> YES <input checked="" type="checkbox"/> NO</div>	3.2.4 9.10.7.2
12	WATER SERVICE / SUPPLY ADEQUATE: YES	3.2.5
13	HIGH BUILDING: NO	3.2.6
14	PERMITTED CONSTRUCTION: <input checked="" type="checkbox"/> BOTH <input type="checkbox"/> COMBUSTIBLE <input type="checkbox"/> NON-COMBUSTIBLE ACTUAL CONSTRUCTION: <input checked="" type="checkbox"/> BOTH <input type="checkbox"/> COMBUSTIBLE <input type="checkbox"/> NON-COMBUSTIBLE	3.2.2.20-83 9.10.6
15	MEZZANINE AREA (m ²): 57 m ²	3.2.1.1.(3)-(8) 9.10.4.1
16	OCCUPANT LOAD: <div><input checked="" type="checkbox"/> DESIGN OF BUILDING <input type="checkbox"/> m² / PERSON LOAD: 19 PERSONS</div>	3.1.17.1 9.9.1.3
17	NUMBER OF WATER CLOSETS: <div>MALE FEMALE 4 MIXED 1 BARRIER FREE</div>	
18	BARRIER FREE DESIGN: <div><input checked="" type="checkbox"/> YES <input type="checkbox"/> NO</div>	3.8.1.1 9.5.2
19	HAZARDOUS SUBSTANCES: <div><input type="checkbox"/> YES <input checked="" type="checkbox"/> NO</div>	3.3.1.2 & 3.3.1.9 9.9.1.3
20	REQUIRED FIRE RESISTANCE RATING (F.R.R.) HORIZONTAL ASSEMBLIES FLOORS: 45 MINUTES N/A ROOF: N/A MINUTES N/A MEZZANINE: N/A MINUTES N/A SUPPORTING MEMBERS FLOORS: 45 MINUTES N/A ROOF: N/A MINUTES N/A MEZZANINE: 45 MINUTES N/A	3.2.2.20-83 9.10.8 3.2.1.4 9.10.9
21	SPATIAL SEPARATION - CONSTRUCTION OF EXTERIOR WALLS	3.2.3 9.10.14
22	OTHER - DESCRIBE:	



SITE INFORMATION:

MUNICIPAL BYLAW: NORFOLK COUNTY
ADDRESS: 425 QUEENSWAY WEST, SIMCOE
ZONING: CS - SERVICE COMMERCIAL, HL-HAZARD LAND

PROVISION	REQUIRED	PROVIDED
LOT AREA	450 m ²	6266.47 m ²
GROSS FLOOR AREA:	N/A	1205.22 m ²
SITE COVERAGE:	35% MAX.	17%
LANDSCAPED OPEN SPACE:		8 %
LOT FRONTAGE:	15 m	71.32 m
LOT DEPTH:	30 m	87.43 m
FRONT YARD SETBACK:	3 m	23.39 m
REAR YARD SET BACK:	9 m	20.49 m
INTERIOR YARD SET BACK:	3 m	15.55 m E, 29 m W
EXTERIOR YARD SET BACK:	3 m	N/A
ARTERIAL ROAD:	N/A	37.97 m
PARKING REQUIREMENTS & CALCULATIONS:	SALES AREA MIN = 2 PER 30 m ² (521.84 m ² /30 m ²) x 2 = 36 SPACES REPAIR/SERVICE AREA MIN = 1 PER 35 m ² 591.14 m ² /35 m ² = 17 SPACES ACCESSIBLE PARKING SPACES MIN = 3	PROPOSED SITE PARKING 75 SINGLE SPACES 3 BARRIER FREE TOTAL = 78 SPACES



2 PROPOSED SITE PLAN

SCALE: 1:250

SHEET LIST

SP1	SITE LOCATION, SITE INFORMATION, SITE PLAN, OBC MATRIX AND SHEET LIST
SP2	SERVICING PLAN, SIDEWALK DETAILS, PAVING DETAILS, AND SITE LEGEND
SP3	GRADING PLAN, PONDING PLAN, SWALE DETAIL, AND LEGENDS
SP4	GENERAL NOTES AND OPSS DETAILS

NO.	REVISION	DATE
1	ISSUED FOR SITE PLAN APPLICATION	2024-09-25



PROJECT NORTH



TRUE NORTH

GENERAL NOTES

- THE GENERAL NOTES REFER TO ALL STRUCTURAL DRAWINGS.
- DO NOT SCALE THE DRAWINGS.
- IT IS THE RESPONSIBILITY OF THOSE REVIEWING THE DRAWINGS TO ENSURE THAT THEY ARE BASED ON CURRENT DATA.
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- THIS DRAWING SHALL NOT BE USED FOR CONSTRUCTION UNLESS SIGNED AND SEALED BY THE ENGINEER.

CLIENT



HONDA
443 Queensway West, Simcoe, ON N3Y 2N4



POW PETERMAN
consulting engineers
50 Samnah Crescent, Ingersoll, Ontario, N5C 3J7
Tel. 519 425 5000 Email: info@pow.ca
www.pow.ca

STAMP



PROJECT NAME

**SIMCOE HONDA
ADDITION**

425 Queensway West,
Simcoe, ON N3Y 2N4

DRAWING

**SITE LOCATION
PROPOSED SITE PLAN
SITE INFORMATION
OBC MATRIX AND SHEET LIST**

FILE No.

24-05-0006

DRAWN

SC

CHECKED

CW

SCALE

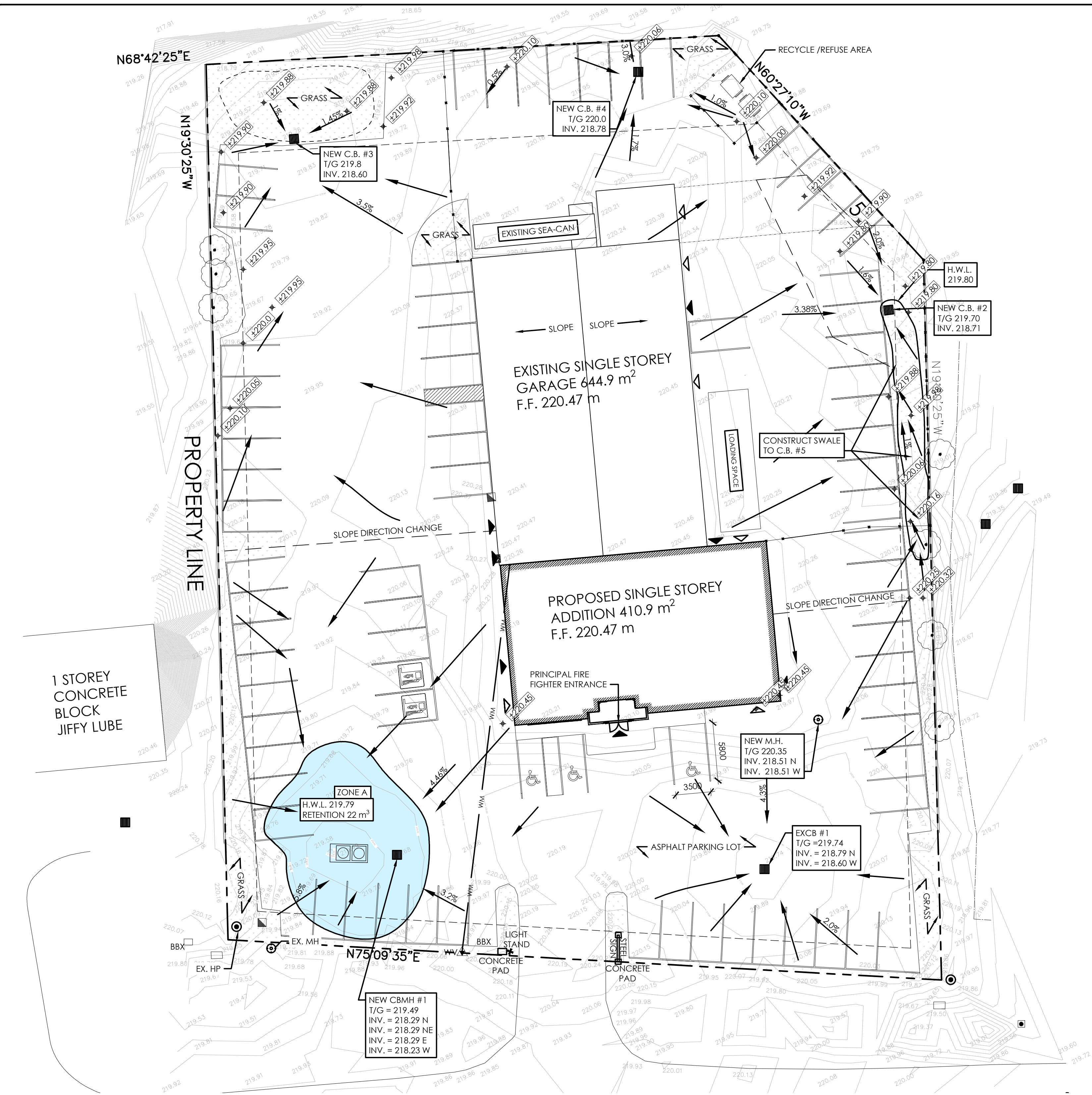
AS NOTED

DATE

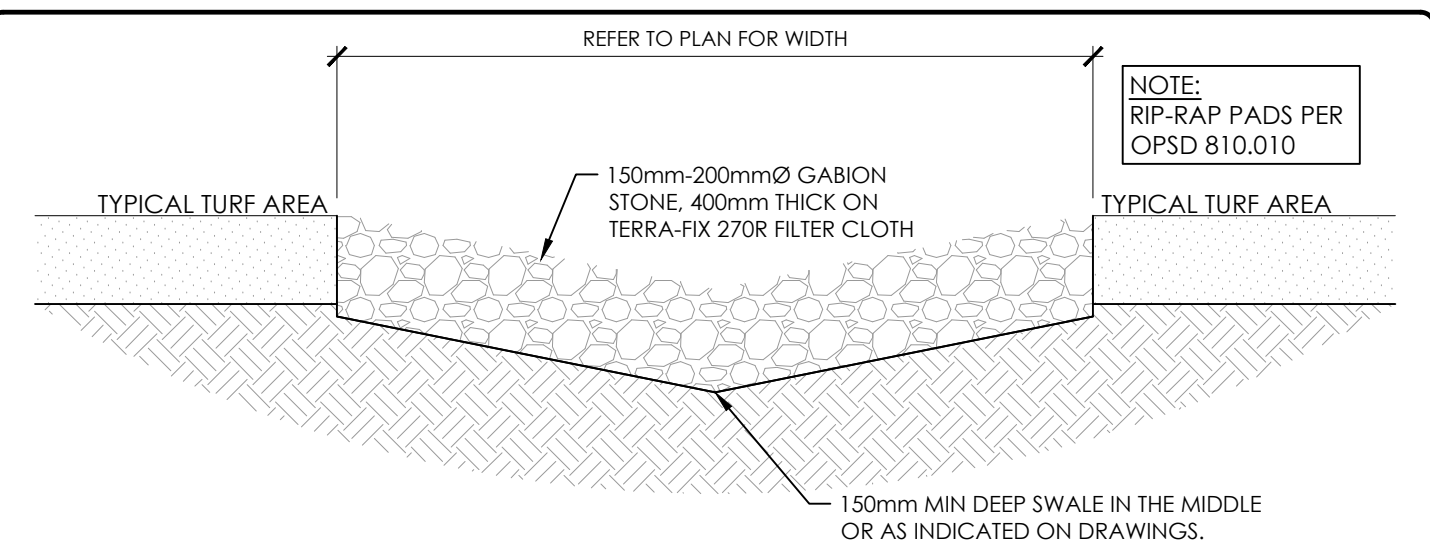
SEPT 2024

DRAWING No.

SP1

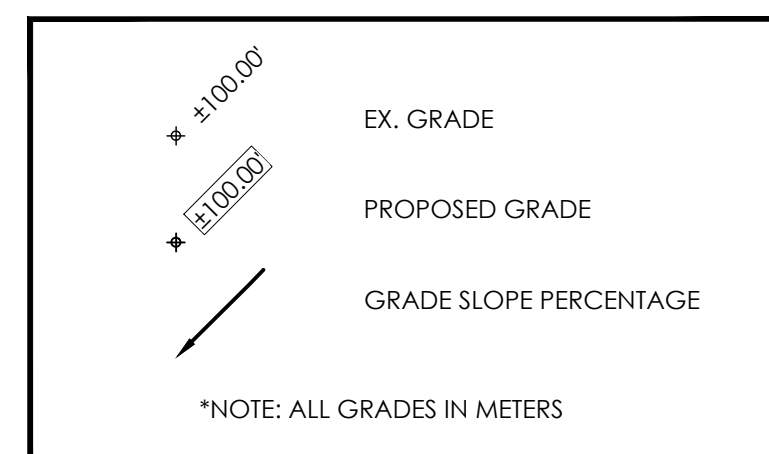


1 PROPOSED GRADING PLAN
SCALE: 1:250



2 SWALE DETAIL
SCALE: 1:30

TAG LEGEND



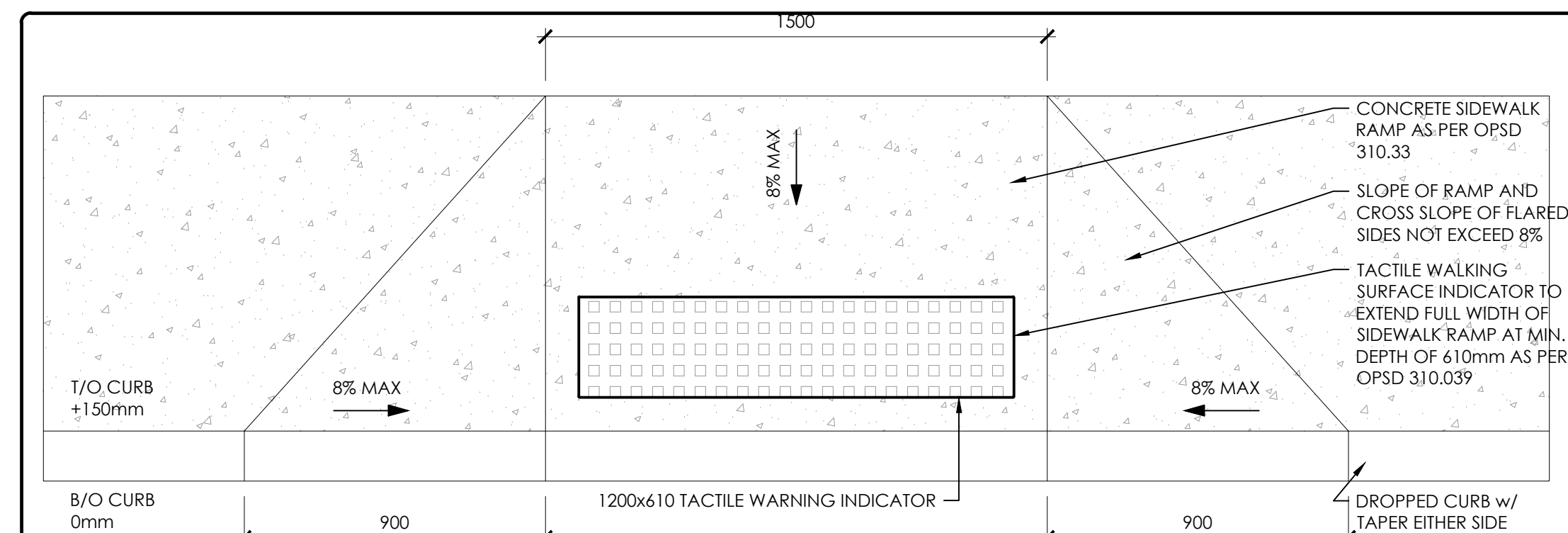
SITE LEGEND

LINE TYPE LEGEND			
— STM —	— STM —	— STM —	NEW STORM LINE
— WM —	— WM —	— WM —	NEW WATER MAIN
— HYD —	— HYD —	— HYD —	NEW HYDRO LINE
— GAS —	— GAS —	— GAS —	NEW GAS LINE
---	---	---	PROPERTY LINE

ROAD REMOVAL	CATCH BASIN (C.B.) AND DITCH INLET CATCH BASIN (D.I.C.B.)
CONCRETE	WATER CONNECTION
ASPHALT	MANHOLE (M.H.)
GRASS	HYDRO POLE
	MAN DOOR
	OVERHEAD DOOR
	FIRE HYDRANT (HYD.)
	GAS VALVE (G.V.)

VOLUME OF WATER

ZONE A	230.61 m³	23.06 m³
--------	-----------	----------



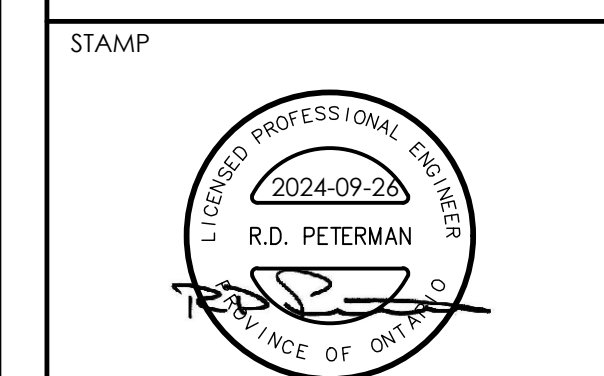
3 TYP. SLOPED SIDEWALK
SCALE: 1:16

No.	REVISION	DATE
1	ISSUED FOR SITE PLAN APPLICATION	2024-09-25



GENERAL NOTES

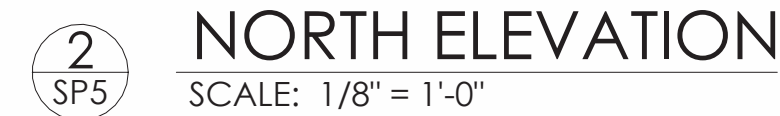
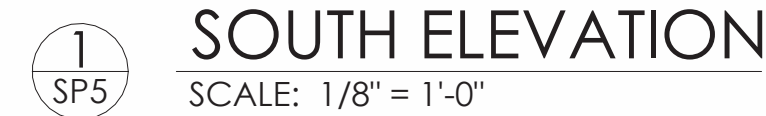
- THE GENERAL NOTES REFER TO ALL STRUCTURAL DRAWINGS.
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PROJECT NAME
SIMCOE HONDA ADDITION
425 Queensway West,
Simcoe, ON N3Y 2N4

DRAWING
**PROPOSED GRADING PLAN
SWM PONDING PLAN
SWALE DETAIL
AND LEGENDS**

FILE No. 24-05-0006	DRAWING No. SP3
DRAWN SC	
CHECKED CW	
SCALE AS NOTED	
DATE SEPT 2024	



1. THE GENERAL NOTES REFER TO ALL ARCHITECTURAL DRAWINGS.
2. DO NOT SCALE DRAWINGS.
3. SITE VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION.
4. NOTHING ON THESE DRAWINGS SUPERSEDES THE REGULATIONS OF THE GOVERNING CODES INCLUDING THE ONTARIO BUILDING CODE.
5. NOTIFY ARCHITECT OF ALL CONFLICTS AND DISCREPANCIES PRIOR TO CONSTRUCTION.
6. CONTRACTOR TO COORDINATE ARCHITECTURAL, STRUCTURAL, MECHANICAL, ELECTRICAL DRAWINGS BEFORE CONSTRUCTION AND NOTIFY ARCHITECT OF ANY DISCREPANCIES.
7. THESE DRAWINGS ARE NOT INTENDED TO SHOW CIVIL, STRUCTURAL, MECHANICAL OR ELECTRICAL INFORMATION.

	ISSUED FOR SITE PLAN APPLICATION	2024-09-25
No.	Revision	Date



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PROJECT

SIMCOE HONDA ADDITION

LOCATIC

425 Queensway West, Simcoe, ON

FOR

HONDA

DRA

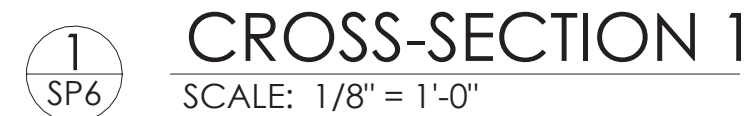
ELEVATIONS



SP5

PROJECT
No. **24-05-0006**

DATE **2024.02.14**



1. THE GENERAL NOTES REFER TO ALL ARCHITECTURAL DRAWINGS.
2. DO NOT SCALE DRAWINGS.
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	ISSUED FOR SITE PLAN APPLICATION	2024-09-25
No.	Revision	Date



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SIMCOE HONDA ADDITION

425 Queensway West, Simcoe, ON

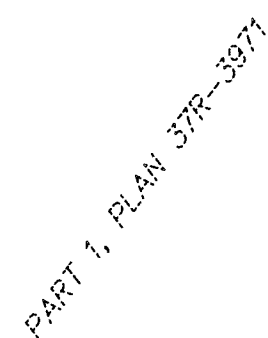
HONDA

CROSS SECTION



PROJECT
No. 24-05-0006

DATE 2024.02.14



WINDHAM

PLAN OF SURVEY
OF PART OF
LOT 3
CONCESSION 14
IN THE GEOGRAPHIC
TOWNSHIP OF WINDHAM
IN
NORFOLK COUNTY



A scale bar labeled 'METRES' with markings at 4, 0, and 16.

METRIC NOTE:

DISTANCES AND COORDINATES ARE METRIC AND CAN
BE CONVERTED TO IMPERIAL BY DIVIDING BY 0.3048

GEOGRAPHIC

PART 1, PLAN 37R-4919

CONCESSION

LOT

TOWNSHIP

PART 2, PLAN 37R-4919

PIN 50188 - 0183 (LT)

1 STOREY
CONCRETE BLOCK
JEFF LUBE

PART 3, PLAN 37R-4919

PIN 50188 - 0182 (LT)

ASPHALT PARKING LOT

PART 1, PLAN 37R-3973

PIN 50188 - 0227 (LT)

14

PART 1, PLAN 37R-10490
PIN 50188 - 0222 (LT)

PART 1, PLAN 37R-9403
PIN 50188 - 0224 (LT)

5

PART 1, PLAN 37R-3973

5

PART 1, PLAN 37R-519.

THE INTERSECTION OF
THE LIMIT BETWEEN
LOT'S 2 & 3 WITH
THE NORTHERN LIMIT
OF THE KING'S HIGHWAY No.3
AS SHOWN ON
EXPROPRIATION PLAN 669

GIVEN ROAD – KNOWN AS THE KING’S HIGHWAY No. 3
(QUEENSWAY WEST)
(FORMERLY KNOWN AS TALBOT ROAD)
(VARIOUS WIDTHS AS WIDENED)
PIN 50188 – 0188 (LT)

I CERTIFY THAT:

1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT, AND THE LAND TITLES ACT, AND THE REGULATIONS MADE UNDER THEM.
2. THE SURVEY WAS COMPLETED ON THE 2nd DAY OF NOVEMBER, 2023

DATED: NOVEMBER 9, 2023

RECEIVED
ONTARIO
JAN 10 1964
R. C. DIXON, O.L.S.
FOR JEWITT & DIXON LTD

2.5cm X 2.5cm X 1.2m	STANDARD	IRON BARS	SHOWN	<input type="checkbox"/>	SIB
1.6cm X 1.6cm X 0.6m		IRON BARS	SHOWN	<input type="checkbox"/>	IB
1.6cm ROUND X 0.6m		IRON BARS	SHOWN	<input type="checkbox"/>	IB Ø
LOT LINES	SHOWN	-----			
DEED LINES	SHOWN	-----			
FENCE LINES	SHOWN	-X-X-X-X-X-X-X-X-X-			
CENTRE LINES	SHOWN	-----			
ROAD LINES	SHOWN	-----			
FOUND IRON BARS	SHOWN	<input checked="" type="checkbox"/> PLANTED IRON BARS	SHOWN	<input type="checkbox"/>	

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K.S. HUSTED, O.L.S.
WITNESS MONUMENT
ORIGIN UNKNOWN
PLAN 37R-4919
PLAN 37R-10490
PLAN 37R-11030
EXPROPRIATION PLAN 669

SHOWN (700)
SHOWN (1478)
SHOWN (996)
SHOWN (1582)
SHOWN (WIT)
SHOWN (OU)
SHOWN (P1)
SHOWN (P2)
SHOWN (P3)
SHOWN (P4)

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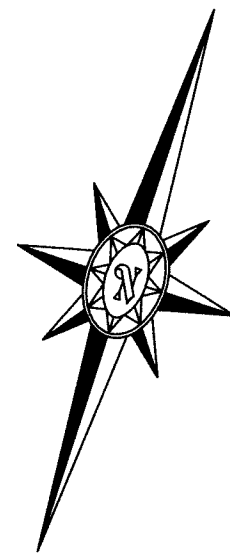
650 IRELAND ROAD
SIMCOE, ONTARIO, N3Y 4K2
PHONE: (519) 426-0842
E-mail: info@jewittdixon.com

F.W.	—	J.P.H.
BOOK	—	LL-FILE
CALC.	—	J.P.H.
PLAN	—	M.T.C.
CHECK	—	K.H.

CLIENT - REID AND
DELEYE

23-3923-POS

PART 1, PLAN 37R-3971



GEOGRAPHIC

PART 2, PLAN 37R-4919

CONCESSION

PART 1, PLAN 37R-4919

SITE B.M.#2
SPIKE IN FACE OF
WOOD HYDRO POLE
ELEV = 220.40
(GEODETIC)

PART 1, PLAN 37R-11030

PART 3, PLAN 37R-4919
PIN 50188 - 0182 (LT)

THE KING'S HIGHWAY No. 3
(QUEENSWAY WEST)

TOPOGRAPHIC
SITE PLAN

FOR:
REID & DELEYE
#425 QUEENSWAY WEST
SIMCOE

PIN 50188 - 0182 (LT)

SCALE 1 : 300

3 0 12 METRES

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METRIC NOTE:

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BE CONVERTED TO IMPERIAL BY DIVIDING BY 0.3048

UTILITY NOTE:

THE VARIOUS UTILITY LOCATIONS SHOWN ON THIS PLAN ARE
BASED ON PHYSICAL LOCATES OF ABOVE GROUND SERVICES.
UNDERGROUND UTILITIES ARE BASED ON PHYSICAL RECORDINGS
OF PRE-MARKED LOCATES.

PRIOR TO ANY ON SITE CONSTRUCTION ACTIVITY A VERIFICATION
LOCATE OF UNDERGROUND SERVICES IS BOTH RECOMMENDED
AND ADVISED.

SITE B.M.#1

SPIKE IN FACE OF
WOOD HYDRO POLE
ELEV = 220.13
(GEODETIC)

SITE B.M.#2

SPIKE IN FACE OF
WOOD HYDRO POLE
ELEV = 220.40
(GEODETIC)

LEGEND

BELL BOX	SHOWN	BBX	□
BENCH MARK	SHOWN	BM	●
CATCH BASIN	SHOWN	CB	■
TOP OF FOUNDATION	SHOWN	TOF	—
UNDERSIDE OF SIDING	SHOWN	USS	—
GARAGE FINISHED FLOOR	SHOWN	GARFF	—
OVERHEAD HYDRO LINE	SHOWN	-O/H-	—
UNDERGROUND EASTLINK CABLES	SHOWN	-U-	—
UNDERGROUND GAS LINES	SHOWN	-G-	—
UNDERGROUND BELL LINES	SHOWN	-B-	—
BOARD FENCE LINES	SHOWN	-X-	—
WATER VALVE	SHOWN	WV	⊕
HYDRO POLE	SHOWN	HP	⊕
HYDRO METER	SHOWN	HM	⊕
GAS METER	SHOWN	GM	⊕
GAS VALVE	SHOWN	GV	⊕
MANHOLE	SHOWN	MH	⊕
LIGHT STANDARD	SHOWN	LS	⊕
CONCRETE BASE PAD	SHOWN	CP	⊕
CONIFEROUS TREES	SHOWN	CT	⊕
DECIDUOUS TREES	SHOWN	DT	⊕

NOTES

- (1) - PROPERTY DIMENSIONS ARE AS SHOWN ON PART 3, OF
REGISTERED PLAN 37R-4919
- (2) - IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO
VERIFY THE SITE BENCH MARK PRIOR TO EXCAVATION
- (3) - ELEVATIONS ARE REFERRED TO CANADIAN GEODETIC
DATUM, NAD83 (CSRS) HTv2.0 (2010)
- (4) - THIS SKETCH WAS COMPLETED FROM FIELD WORK
COMPLETED ON THE NOVEMBER 2nd, 2023

PROPERTY DESCRIPTION:

PART OF LOT 3
CONCESSION 14
GEOGRAPHIC TOWNSHIP OF WINDHAM
NORFOLK COUNTY

CAUTION
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NOVEMBER 9, 2023

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CALC.	-	J.P.H.
PLAN	-	M.T.C.
CHECK	-	K.H.
CLIENT	-	REID AND DELEYE
23-3923-TOPO		

This Risk Management Plan is established under Section 58 of the Clean Water Act, 2006

Derek Demeyere
425 Queensway West
Simcoe, Ontario
N3Y 2N4

File #: NC-T-010
Assessment Roll # - 331040302501210
Principal Land Use(s): Industrial/Commercial

Municipality **Norfolk County**
Source Protection Area **Lake Erie**
Drinking Water System **Simcoe**
Source Protection Plan **Long Point Source Protection Plan**

The property is located within the following vulnerable areas for the above noted drinking water system:

<u>WHPA-B</u>	Vulnerability Score	10
<u> </u>	Vulnerability Score	
<u> </u>	Vulnerability Score	
<u> </u>	Vulnerability Score	

The following significant drinking water threats have been confirmed on the property and are regulated by this Risk Management Plan:

16. The handling and storage of a dense non-aqueous phase liquid.

17. The handling and storage of an organic solvent.

Property Location Map



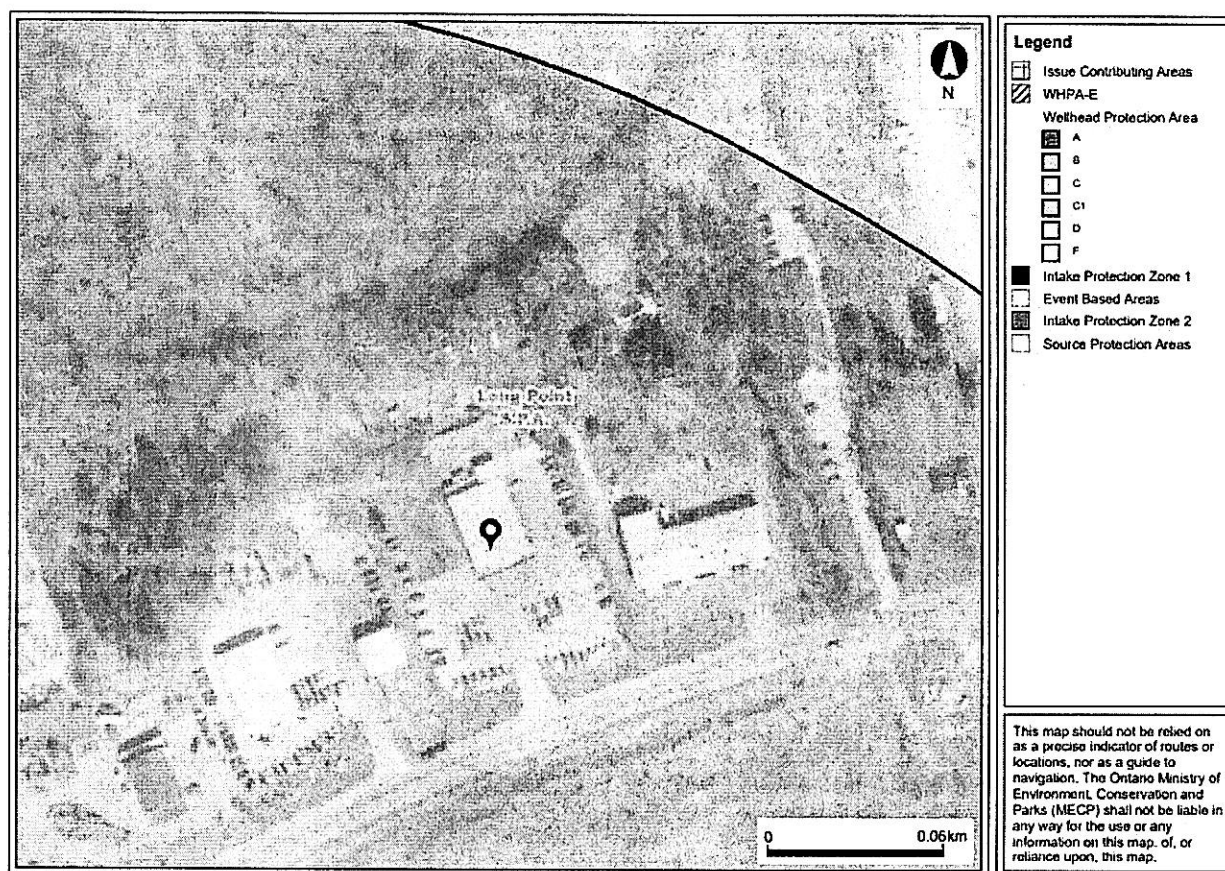
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Map Created: 8/15/2024
Map Center: 42.83443 N, -80.31548 W

Property Site Plan Map

Map showing a detailed layout of the site, including WHPA/IPZ, vulnerability scores, buildings, infrastructure, surface water features, and locations where SDWT activities are occurring.



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Map Center: 42.84409 N, -80.32296 W

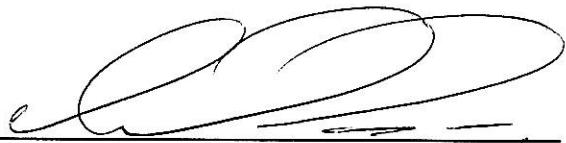
General Conditions

- 1 The significant drinking water threats listed above will be carried out in accordance with this Risk Management Plan.
- 2 Inspections of the property will be carried out by the Risk Management Inspector to ensure compliance with this Risk Management Plan.
- 3 The Person Engaged in Activity will ensure any person undertaking an activity listed above is aware of the contents of this Risk Management Plan and will take reasonable measures to ensure such persons comply with the requirements herein.
- 4 This Risk Management Plan cannot be transferred to another person without the prior written consent of Risk Management Official.
- 5 Any changes to the activities or circumstances of the significant drinking water threats listed above must be provided to the Risk Management Official in writing; a revised Risk Management Plan may be necessary.
- 6 The agreement to this Risk Management Plan and the implementation of the Risk Management Measures within it does not relieve any person of any obligation to comply with any provision of any applicable statute, regulation or other legal requirement necessary to carry out activities at the Site, including but not limited to obtaining all necessary authorizing instruments.
- 7 This Risk Management Plan will be renewed every five (5) years.
Next Renewal Date: Aug-29

Effective Date and Signatures

This Risk Management Plan takes effect on Aug-24

Risk Management Official
Heather Dzurko



Person Engaged in Activity
Derek Demeyere

September 25, 2024

Reference: 24-05-0006

Norfolk County Engineering and Infrastructure Services
Gilbertson Administration Building
12 Gilbertson Street
Simcoe, Ontario N3Y 4N5

ATTENTION: BRETT HAMM, JR DEVELOPMENT TECH.

RE: HONDA DEALERSHIP ADDITION 425 QUEENSWAY, SIMCOE – FUNCTIONAL SERVICE REPORT

Pow Peterman Consulting Engineers has been retained by Reid & Deleye Contractors Ltd. to prepare this brief technical memo which is intended to outline a high-level functional servicing strategy to support the Site Plan Control application for the proposed sales area addition to the existing automotive sales and service shop facility planned for the property located at 425 Queensway, Simcoe, Ontario.

The subject site is situated on the north side of Queensway West. The site is approximately 0.6266ha in area. The existing site currently is an automotive service shop formerly known as Koncir Automotive. The proposed building addition is to be constructed in the asphalt parking area south (in front) of the existing building.

The site is relatively flat with the front area being asphalt and the rear yard being gravel surface. Drainage for the front area of the site is to two catch basins located at the front of the site.

The site is zoned CS – Service Commercial and HL – Hazard Land. It is bordered to the west, east and south with service commercial. The area immediately north of the site is designated Hazard Land.

The proponent's objective is to construct a 411m² single storey addition for automobile sales. The single storey addition will have an eave height of 7.7m. The existing building area is approximately 645m². The new proposed building area to be 1,115m²

The following sections briefly describe existing adjacent or available municipal services / infrastructure, and how the site can be designed (at the Site Plan and/or Building Permit Application stages) and constructed to comply with the intent of governing provincial regulations (Ontario Building Code) and local standards (Town of Simcoe and Norfolk County Design Guidelines). This Memo should also be read in conjunction with our accompanying Stormwater Management Design Brief. This report is *not* intended to describe or discuss other associated technical matters such as traffic volumes and movements, noise impacts, and/or environmental or ecological topics, etc.

Page two
Reference: 24-05-0006
September 25, 2024

Sanitary Servicing

An existing active municipal sanitary sewer is located in the road allowance of Queensway West. An existing 150mm dia. PVC sanitary line exits the building and is directed to an existing manhole located at the south-west corner of the property. The existing municipal sanitary line is 380mm dia. AC main with an unknown slope.

The peak sanitary flow of 80 lpm is anticipated from the building. At this time the current existing peak flow (and thus the current total reserve capacity) in the 380mm dia municipal main is unknown.

Water Servicing

The proposed building does not require fire protection sprinklers. An existing municipal service of 200mm is located on the north side of Queensway West. An existing 19mm dia. copper pipe serves the existing building on the site.

Fire fighting to be served by a fire hydrant located outside of the south-west corner of the lot. We do not anticipate any issues with water supply, but a fire hydrant flow test has been requested and will be submitted once received.

Domestic water service has been calculated per the tables below:

Fixture Units (FU)		
	Existing	Proposed
Total CW FU's	12	16
Total HW FU's	6	7.5
Fixture Units	18	23.5
Flow Rate	13 gpm	16 gpm

Domestic Water Supply		
Flow	23	gpm
Pipe Size	.75	inch
	19	mm

The above noted table indicates that a 19mm diameter domestic line will suffice for the current needs of the building. The existing municipal watermain network will have sufficient capacity to provide potable water pressure for domestic consumption needs for the building,

Grading, Drainage and Surface Works

Existing storm sewers are located in the parking area south (in front) of the existing building. A 305mm dia. storm line connects between the two catch basins. Slope of this pipe is 1.15%. Outlet is unrestricted to the west via a 305mm line with an unknown slope.

As noted in our accompanying stormwater management brief a "post = pre" quantity management control system will be implemented. At this time, we propose that the outlet for minor and major storm flows will be via the existing 305mm storm line connecting to the existing 305mm dia. storm line to the west.

Stormwater will flow overland to a series of catch basins and piped to the existing catch basin EXCB #2. The retention will be released through relocated catch basin EXCB #2 with an outflow restrictor plate with a 157mm diameter orifice. The storm water release rate to the municipal system will be 0.0640m³/s.

A Wilkinson Heavy Precast Limited watertight precast stormwater treatment chamber model WG200 will be added to the site after the restrictor plate outflow catch basin EXCB #2. This catch basin will be relocated to the east to allow the installation of the new stormwater treatment unit. The WG200 unit has an oil separation capacity of 95 litres per second and a sediment removal capacity of 218 litres per second.

The site will be graded to conform with the intent of the Town's Development and Servicing Guidelines. The site's grades accommodate and/or do not interfere with existing drainage on abutting private properties.



Page Three
Reference: 24-05-0006
September 25, 2024

Utility Servicing

The site and building are currently serviced from Queensway West. Existing services are sufficient for the proposed addition.

Local utilities include Bell Canada, Rogers Communications and Enbridge (Union) Gas. Hydro One provides electrical service within the current Town boundaries.

Existing gas service is 1-1/4" plastic fed from an 8" steel gas main located in the north side of Queensway West in the road allowance.

Final confirmation of adequate services and arrangements for utility servicing will be made when the Building Permit process proceeds and/or prior to final approvals, however at this time we are not aware of any conflicts or significant issues.

Should you require further discussion in the above regard, please do not hesitate to contact our office.

Yours truly,

POW PETERMAN
Consulting Engineers



Chris G. Willie, M.A.A.T.O., CAHP
Associate
CGW/sp

x.c. Brad Good, Reid & Deleye Contractors

email

N:\1.0 Projects\2024 Project Files\24-05-0006 - Simcoe Honda Addition\8.0_Site Plan Control\24-05-0006 Simcoe Honda FSR - 20240924.docx



September 25, 2024

Reference: 24-05-0006
Submission #1

Norfolk County
50 Colborne Street South,
Simcoe, Ontario
N3Y 4H3

ATTENTION: BRETT HAMM, JR DEVELOPMENT TECH.

Dear Sir:

RE: HONDA AUTOMOTIVE DEALERSHIP 425 QUEENSWAY - SWM REPORT – SUBMISSION #1

The following paragraphs describe the considerations for the stormwater management and the retention requirements for the proposed facility at 425 Queensway, Simcoe, Ontario.

1.0 INTRODUCTION

The proposed site is located on the north side of Queensway West in Simcoe, Ontario, located between Hunt Street and Park Road. There is currently an existing service garage located on the site. A 596m² addition is proposed to be constructed in front of the existing single storey 609m² building. The total site area is approximately 0.63 hectares and is bordered to the north with Open Space, to the east and west with Service Commercial Zone.

The existing site was an automotive repair garage and used car dealership with most of the site being covered in asphalt with the rear portion being gravel.

2.0 DRAINAGE

2.1 PROPOSED DRAINAGE

The approach to the management of the storm water utilizes a modified rational method. The site data is shown in the attached tables for the 5, 10, 25, 50 and 100 year storm events. The intensities were calculated using the parameters listed in the Norfolk Design Guide Section 7.

The flows were calculated from the formula:
 $Q = A \times C \times i \times Ca$ where $C \times Ca$ not greater than 1.0.

The permitted outflow for the predeveloped condition utilizes the existing constructions including the gravel, asphalt, grass and roof areas and the intensity for the 5 year storm at 10 minutes. Predeveloped flow was determined to be 0.064 m³/s.

Page Two
 September 24, 2024
 Reference: 24-05-0006

Retained storm water was determined to be 22m³. Release of the storm water will be by way of an orifice plate in the discharge structure 157mm in diameter. Retained depth is anticipated to be 300 mm.

We have not allowed for retention of stormwater on the roof areas.

Refer to the attached drawing indicating catchment areas and volumes.

The finished floor elevation proposed is 220.475m to match the existing finished floor. Four new catch basins are to be installed on the site and will direct stormwater to the retention area located in the south-west corner of the site at the relocated catch basin EXCB #2. The proposed high-water level in the retention area is 219.79m. EXCB #2 is in the retention area and directs water through a Wilkinson Heavy Precast Watergate WG-200 oil/sediment treatment unit to underground piping through the existing underground stormwater system on the site flowing to the west.

Drainage of the retention areas on the property should occur within one hour.

Sediment control measures during construction are to include the installation of a silt fence along the property perimeter to contain any erosion.

The proposed drainage system will be regularly maintained through visual inspection and have sediment pumped from the system as required to keep the system clear. After significant storm events the restrictor plates are to be inspected to ensure that they are free from debris.

3.0 SUMMARY

In summary, overland storage will be utilized to ensure that peak storm flows are less than pre-development levels.

We would refer to the attached data sheets for reference purposes for the parameters used in the assumptions and calculations.

Should you require further discussion in this regard, please do not hesitate to contact our office.

Yours truly,

POW PETERMAN
Consulting Engineers




R.D. Peterman M.A Sc., P. Eng
 RDP/cgw

x.c. Brad Good, Reid & DeLeye Contractors

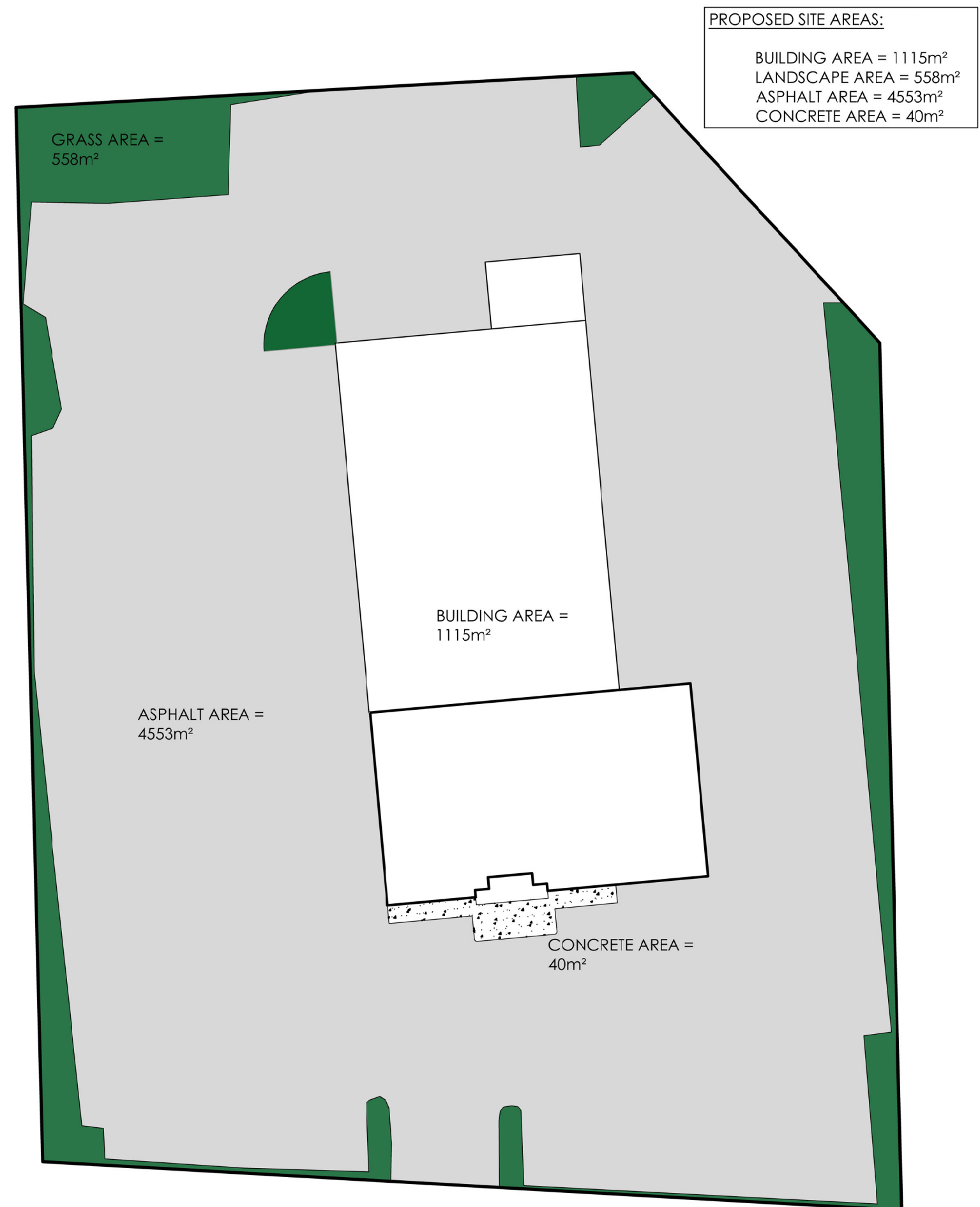
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	Simcoe Honda							
Rainfall intensity (mm/hr) = A/(t+B)^C								
Event	2 year	5 yr	10 yr	25 yr	50 yr	100 yr		
A	529.711	583.017	670.324	721.533	766.038	801.041		
B	4.501	3.007	3.007	2.253	1.898	1.501		
C	1.1	1	1	1.1	1.2	1.25		
J. NO.	24-05-0006		ROOFS	LANDSCAPE	ASPHALT	GRAVEL	25-Sep-24	
AREAS (sm)			1115	558	4593	0	Total Area	6266 m2
			C(1)=	C(2)=	C(3)=	C(4)=	T/C=	10
5 Year Pre		44.82	.95	0.2	0.95	.70		
		mm/hr						
Q (pre)	0.064		701	548	3385	1640	CMM	
2 year storm							weighted C	0.88
TIME	ACC	INTENSITY	Q Post	Volume	Allowable	Allowable	Storage	
	RAINFALL	(ADJ)	Develop	Post Develop	Outflow	Outflow	Required	
Minutes	MM	mm/hr	m3/s	m3	m3/s	m3		
0	0.00	0	0	0.00	0.064	0.000	0.000	
5		44.51	0.07	20.55	0.064	19.197	1.349	
10		27.96	0.04	25.81	0.064	38.393	-12.586	
15		20.18	0.03	27.95	0.064	57.590	-29.644	
30		10.78	0.02	29.84	0.064	115.180	-85.340	
60		5.41	0.01	29.99	0.064	230.361	-200.375	
5 Year								
TIME	ACC	INTENSITY	Q Post	Volume	Allowable	Allowable	Storage	
	RAINFALL	(ADJ)	Develop	Post Develop	Outflow	Outflow	Required	
Minutes	MM	mm/hr	m3/s	m3	m3/s	m3		
0	0.00	0	0	0.00	0.064	0.000	0.000	
5		72.81	0.11	33.61	0.064	19.197	14.410	
10		44.82	0.07	41.38	0.064	38.393	2.983	
15		32.38	0.05	44.83	0.064	57.590	-12.759	
30		17.66	0.03	48.92	0.064	115.180	-66.265	
60		9.25	0.01	51.25	0.064	230.361	-179.110	
10 Year								
TIME	ACC	INTENSITY	Q Post	Volume	Allowable	Allowable	Storage	
	RAINFALL	(ADJ)	Develop	Post Develop	Outflow	Outflow	Required	
Minutes	MM	mm/hr	m3/s	m3	m3/s	m3		
0	0.00	0	0	0.00	0.064	0.000	0.000	
5		83.72	0.13	38.64	0.064	19.197	19.443	
10		51.54	0.08	47.57	0.064	38.393	9.179	
15		37.23	0.06	51.54	0.064	57.590	-6.045	
30		20.31	0.03	56.24	0.064	115.180	-58.940	
60		10.64	0.02	58.92	0.064	230.361	-171.436	
25 Year								
TIME	ACC	INTENSITY	Q Post	Volume	Allowable	Allowable	Storage	
	RAINFALL	(ADJ)	Develop	Post Develop	Outflow	Outflow	Required	
Minutes	MM	mm/hr	m3/s	m3	m3/s	m3		

0	0.00	0	0	0.00	0.064	0.000	0.000	
5		81.60	0.13	39.65	0.064	19.197	20.452	
10		45.83	0.07	44.54	0.064	38.393	6.148	
15		31.46	0.05	45.85	0.064	57.590	-11.737	
30		15.81	0.03	46.08	0.064	115.180	-69.099	
60		7.67	0.01	44.71	0.064	230.361	-185.650	
50 Year								
TIME	ACC	INTENSITY	Q Post	Volume	Allowable	Allowable	Storage	
	RAINFALL	(ADJ)	Develop	Post Develop	Outflow	Outflow	Required	
Minutes	MM	mm/hr	m3/s	m3	m3/s	m3		
0	0.00	0	0	0.00	0.064	0.000	0.000	
5		75.47	0.12	36.74	0.064	19.197	17.545	
10		39.24	0.06	38.20	0.064	38.393	-0.191	
15		25.75	0.04	37.61	0.064	57.590	-19.977	
30		12.02	0.02	35.10	0.064	115.180	-80.084	
60		5.42	0.01	31.68	0.064	230.361	-198.680	
100 Year								
TIME	ACC	INTENSITY	Q Post	Volume	Allowable	Allowable	Storage	
	RAINFALL	(ADJ)	Develop	Post Develop	Outflow	Outflow	Required	
Minutes	MM	mm/hr	cm/s	cm	cm/s	cm		
0	0.00	0	0	0.00	0.064	0.000	0.000	
5		77.17	0.13	37.60	0.064	19.197	18.406	
10		37.82	0.06	36.86	0.064	38.393	-1.534	
15		24.09	0.04	35.21	0.064	57.590	-22.379	
30		10.73	0.02	31.38	0.064	115.180	-83.798	
60		4.65	0.01	27.20	0.064	230.361	-203.163	
Pre development	0.0640	cm/s	(3385x0.95+1640x0.7+701x0.95+548x0.2)x44.82/3600000			Total required retention		22 m3 Storm water
Outflow	roof	1115						
	asphalt	4593				Restrictor Plate	A=Q/(0.6 * SQRT(2gh))	
	gravel	0					h	1.56
	landscape	558					Q	0.063989033
	Total Area	6266 m2					A	0.0193 m2
Allowable Outflow =		0.0640 m3/s	5 yr event, 10 minute T/C			Diameter	157 mm	
							75 mm minimum	




File# NC-T-010

Thank you for your cooperation.

Risk Management Office
Norfolk County, Public Works, Environmental Services Department
185 Robinson Street
Simcoe, ON N3Y 5L6
sourcewaterprotection@cambium-inc.com

Sincerely,

DocuSigned by:



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Heather Dzurko

Risk Management Official
Senior Project Manager