

Planning Department Development Application Form

Complete Application

A complete development application consists of the following:

1. A completed, signed, and notarized application form
2. Supporting information adequate to illustrate your proposal as indicated in **Section H** of this application form
3. Written authorization from the registered owner of the subject lands where the applicant is not the owner as per Section N
4. Cash, debit, credit or cheque payable to Norfolk County in the amount set out in the user fees By-Law that will be accepted and deposited once the application has been deemed complete.

Pre-Submission Consultation:

Norfolk County requires a Pre-Consultation Meeting for all applications; however, minor applications may be exempted depending on the nature of the proposal. The purpose of a Pre-Consultation Meeting is to provide the applicant with an opportunity to present the proposed application, discuss potential issues, and for the Norfolk County and Agency staff to identify the application requirements. Application requirements, as detailed in the Pre-Consultation Meeting Comments, are valid for one year after the meeting date.

Development Application Process

Once an application has been deemed complete by a Planner, Norfolk County staff will circulate the application to adjacent landowners, public agencies, and internal departments for comment. The time involved in application processing varies depending on its complexity, acceptability to the other agencies, and statutory Planning Act decision time-frames.

Payment is required once your application is deemed complete. Pre-payments will not be accepted.

Norfolk County collects personal information submitted through this form under the Municipal Freedom of Information and Protection Act's authority. Norfolk County will use this information for the purposes indicated or implied by this form. You can direct questions about collecting personal information to Norfolk GIS Services at NorfolkGIS@norfolkcounty.ca.

Additional studies required for the complete application shall be at the applicant's sole expense. Sometimes, peer reviews may be necessary to review particular studies at the applicant's expense. In these cases, Norfolk County staff will select the company to complete the peer review.

Norfolk County will refund the original fee if applicants withdraw their applications before circulation. If Norfolk County must recirculate your drawings, there will be an additional fee. If Norfolk County must do more than three reviews of engineering drawings due to revisions by the owner or failure to revise engineering drawings as requested, Norfolk County will charge an additional fee. Full refunds are only available before Norfolk County has circulated the application.

Notification Sign Requirements

For public notification, Norfolk County will provide you with a sign to indicate the intent and purpose of your development application. It is your responsibility to:

1. Post one sign per frontage in a conspicuous location on the subject lands.
2. Ensure one sign is posted at the front of the subject lands at least three feet above ground level and not on a tree.
3. Notify the Planner when the sign is in place.
4. Maintain the sign until the development application is finalized and, after that, remove it.

Contact Us

For additional information or assistance completing this application, please contact a Planner at 519-426-5870 or 519-875-4485 extension 1842 or planning@norfolkcounty.ca. Please submit the completed application and fees to the attention of the Planning Department at 185 Robinson Street, Suite 200, Simcoe, ON N3Y 5L6.

For Office Use Only:

File Number	_____	Public Notice Sign	_____
Related File Number	_____	Application Fee	_____
Pre-consultation Meeting	_____	Conservation Authority Fee	_____
Application Submitted	_____	Well & Septic Info Provided	_____
Complete Application	_____	Planner	_____

Check the type of planning application(s) you are submitting.

- ☐ Official Plan Amendment
- ☐ Zoning By-Law Amendment
- ☐ Temporary Use By-law
- ☐ Draft Plan of Subdivision/Vacant Land Condominium
- ☐ Condominium Exemption
- ☒ Site Plan Application
- ☐ Extension of a Temporary Use By-law
- ☐ Part Lot Control
- ☐ Cash-in-Lieu of Parking
- ☐ Renewable Energy Project or Radio Communication Tower

Please summarize the desired result of this application (for example, a special zoning provision on the subject lands to include additional use(s), changing the zone or official plan designation of the subject lands, creating a certain number of lots, or similar)

Site Plan Approval for proposed new building to be erected on subject lands.

Property Assessment Roll Number: 33608062300

A. Applicant Information

Name of Owner Marios and Carlos Relva

Address _____

Town and Postal Code _____

Phone Number _____

Cell Number _____

Email _____

Name of Applicant Balan Engineering Corp.

Address 49 North Street, E., Suite 206,

Town and Postal Code Tillsonburg, Ont., N4G 1B4

Phone Number 519.688.2525

Cell Number _____

Email info@balanengineering.com

Name of Agent _____

Address _____

Town and Postal Code _____

Phone Number _____

Cell Number _____

Email _____

Unless otherwise directed, Norfolk County will forward all correspondence and notices regarding this application to both owner and agent noted above.

☐ Owner

☐ Agent

☒ Applicant

Names and addresses of any holder of any mortgagees, charges or other encumbrances on the subject lands:

B. Location, Legal Description and Property Information

1. Legal Description (include Geographic Township, Concession Number, Lot Number, Block Number and Urban Area or Hamlet):

Part lot 4, Concession 14 Geo. Twp. of Windham, Norfolk County

Part 4 of Plan 37R-1811, Part 1 of Plan 37R-3933, Part 1 of Plan 37R-4930

Municipal Civic Address: 7 Grigg Drive, Simcoe Ontario

Present Official Plan Designation(s): Protected Industrial

Present Zoning: MG General Industrial

2. Is there a special provision or site specific zone on the subject lands?

☐ Yes ☒ No If yes, please specify corresponding number:

3. Present use of the subject lands:

Automotive Service & Repair

4. Please describe **all existing** buildings or structures on the subject lands and whether they will be retained, demolished or removed. If retaining the buildings or structures, please describe the type of buildings or structures, and illustrate the setback, in metric units, from the front, rear and side lot lines, ground floor area, gross floor area, lot coverage, number of storeys, width, length, and height on your attached sketch which must be included with your application:

(1) Existing automobile repair and service shop building (452m2) with connected office section (116m2) - to be retained.

There are 10 existing storage containers to remain.

Refer to drawings for setbacks and other information regarding the location of buildings existing and proposed.

5. If an addition to an existing building is being proposed, please explain what it will be used for (for example: bedroom, kitchen, or bathroom). If new fixtures are proposed, please describe.

n/a

6. Please describe **all proposed** buildings or structures/additions on the subject lands. Describe the type of buildings or structures/additions, and illustrate the setback, in metric units, from front, rear and side lot lines, ground floor area, gross floor area, lot coverage, number of storeys, width, length, and height on your attached sketch which must be included with your application:

214m2 proposed addition to the existing building. Refer to drawings for the location.

7. Are any existing buildings on the subject lands designated under the *Ontario Heritage Act* as being architecturally and/or historically significant? Yes ☐ No ☒

If yes, identify and provide details of the building:

8. If known, the length of time the existing uses have continued on the subject lands:

Over 25 years

9. Existing use of abutting properties:

Industrial and vacant

10. Are there any easements or restrictive covenants affecting the subject lands?

☐ Yes ☒ No If yes, describe the easement or restrictive covenant and its effect:

C. Purpose of Development Application

Note: Please complete all that apply.

1. Please explain what you propose to do on the subject lands/premises which makes this development application necessary:

Proposed new building addition.

2. Please explain why it is not possible to comply with the provision(s) of the Zoning By-law/and or Official Plan:

N/A

3. Does the requested amendment alter all or any part of the boundary of an area of settlement in the municipality or implement a new area of settlement in the municipality? ☐ Yes ☒ No If yes, describe its effect:

4. Does the requested amendment remove the subject land from an area of employment? ☐ Yes ☒ No If yes, describe its effect:

5. Does the requested amendment alter, replace, or delete a policy of the Official Plan?
☐ Yes ☒ No If yes, identify the policy, and also include a proposed text of the policy amendment (if additional space is required, please attach a separate sheet):

6. Description of land intended to be severed in metric units:

Frontage: _____

Depth: _____

Width: _____

Lot Area: _____ N/A

Present Use: _____

Proposed Use: _____

Proposed final lot size (if boundary adjustment): _____

If a boundary adjustment, identify the assessment roll number and property owner of the lands to which the parcel will be added: _____

Description of land intended to be retained in metric units:

Frontage: _____

Depth: _____

Width: _____

Lot Area: _____

Present Use: _____ N/A

Proposed Use: _____

Buildings on retained land: _____

7. Description of proposed right-of-way/easement:

Frontage: _____

Depth: _____

Width: _____ N/A

Area: _____

Proposed use: _____

8. Name of person(s), if known, to whom lands or interest in lands to be transferred, leased or charged (if known):

9. Site Information**Zoning****Proposed**

Please indicate unit of measurement, for example: m, m² or %

Lot frontage	30m (min)	46.22m
Lot depth		138.95m/66.145m
Lot width		46.22m/15.77m
Lot area	1,855m ²	4,198.6m ²
Lot coverage		15.86%
Front yard	6m (min)	15.27m
Rear yard	9m (min)	14.90m
Left Interior side yard	3m (min)	10.19m
Right Interior side yard	3m (min)	17.55m
Exterior side yard (corner lot)		
Landscaped open space		
Entrance access width		6m / 6.25m
Exit access width		6m / 6.25m
Size of fencing or screening		
Type of fencing		

10. Building Size

Number of storeys		1
Building height		4.13m
Total ground floor area		214+452=666m ²
Total gross floor area		214+452=666m ²
Total useable floor area		214+452=666m ²

11. Off Street Parking and Loading Facilities

Number of off street parking spaces	8	13
Number of visitor parking spaces		
Number of accessible parking spaces	1	1
Number of off street loading facilities		

12. Residential (if applicable)

Number of buildings existing: N/A

Number of buildings proposed: _____

Is this a conversion or addition to an existing building? ☐ Yes ☐ No

If yes, describe: _____

Type	Number of Units	Floor Area per Unit in m2
Single Detached	_____	_____
Semi-Detached	_____	_____
Duplex	_____	_____
Triplex	_____	_____
Four-plex	_____	_____
Street Townhouse	_____	_____
Stacked Townhouse	_____	_____
Apartment - Bachelor	_____	_____
Apartment - One bedroom	_____	_____
Apartment - Two bedroom	_____	_____
Apartment - Three bedroom	_____	_____

Other facilities provided (for example: play facilities, underground parking, games room, or swimming pool):

13. Commercial/Industrial Uses (if applicable)

Number of buildings existing: 1

Number of buildings proposed: 1

Is this a conversion or addition to an existing building? ☒ Yes ☐ No

If yes, describe:

214m2 proposed addition

Indicate the gross floor area by the type of use (for example: office, retail, or storage):

Commercial = 214m2 proposed addition.

Seating Capacity (for assembly halls or similar): _____

Total number of fixed seats: _____

Describe the type of business(es) proposed: Automotive Service & Repair

Total number of staff proposed initially: _____

Total number of staff proposed in five years: _____

Maximum number of staff on the largest shift: _____

Is open storage required: ☐ Yes ☒ No

Is a residential use proposed as part of, or accessory to commercial/industrial use?

☐ Yes ☒ No If yes please describe:

14. Institutional (if applicable)

Describe the type of use proposed: _____

Seating capacity (if applicable): _____

Number of beds (if applicable): N/A

Total number of staff proposed initially: _____

Total number of staff proposed in five years: _____

Maximum number of staff on the largest shift: _____

Indicate the gross floor area by the type of use (for example: office, retail, or storage):

15. Describe Recreational or Other Use(s) (if applicable)

N/A

D. Previous Use of the Property

1. Has there been an industrial or commercial use on the subject lands or adjacent lands? ☐ Yes ☐ No ☒ Unknown

If yes, specify the uses (for example: gas station or petroleum storage):

2. Is there reason to believe the subject lands may have been contaminated by former uses on the site or adjacent sites? ☐ Yes ☐ No ☒ Unknown

3. Provide the information you used to determine the answers to the above questions:

4. If you answered yes to any of the above questions in Section D, a previous use inventory showing all known former uses of the subject lands, or if appropriate, the adjacent lands, is needed. Is the previous use inventory attached? ☐ Yes ☒ No

E. Provincial Policy

1. Is the requested amendment consistent with the provincial policy statements issued under subsection 3(1) of the *Planning Act, R.S.O. 1990, c. P. 13*? ☐ Yes ☐ No

If no, please explain:

N/A

2. It is owner's responsibility to be aware of and comply with all relevant federal or provincial legislation, municipal by-laws or other agency approvals, including the Endangered Species Act, 2007. Have the subject lands been screened to ensure that development or site alteration will not have any impact on the habitat for endangered or threatened species further to the provincial policy statement subsection 2.1.7? ☐ Yes ☒ No

If no, please explain:

No endangered species or habitats have been identified

3. Have the subject lands been screened to ensure that development or site alteration will not have any impact on source water protection? ☒ Yes ☐ No

If no, please explain:

Yes, this site falls within the above mentioned area(s).

Note: If in an area of source water Wellhead Protection Area (WHPA) A, B or C please attach relevant information and approved mitigation measures from the Risk Manager Official.

4. Are any of the following uses or features on the subject lands or within 500 metres of the subject lands, unless otherwise specified? Please check boxes, if applicable.

Livestock facility or stockyard (submit MDS Calculation with application)

☐ On the subject lands or ☐ within 500 meters – distance _____

Wooded area

☐ On the subject lands or ☐ within 500 meters – distance _____

Municipal Landfill

☐ On the subject lands or ☐ within 500 meters – distance _____

Sewage treatment plant or waste stabilization plant

☐ On the subject lands or ☐ within 500 meters – distance _____

Provincially significant wetland (class 1, 2 or 3) or other environmental feature

☐ On the subject lands or ☐ within 500 meters – distance _____

Floodplain

☐ On the subject lands or ☐ within 500 meters – distance _____

Rehabilitated mine site

☐ On the subject lands or ☐ within 500 meters – distance _____

Non-operating mine site within one kilometre

☐ On the subject lands or ☐ within 500 meters – distance _____

Active mine site within one kilometre

☐ On the subject lands or ☐ within 500 meters – distance _____

Industrial or commercial use (specify the use(s))

☐ On the subject lands or ☐ within 500 meters – distance _____

Active railway line

☐ On the subject lands or ☐ within 500 meters – distance _____

Seasonal wetness of lands

☐ On the subject lands or ☒ within 500 meters – distance _____

Erosion

☐ On the subject lands or ☐ within 500 meters – distance _____

Abandoned gas wells

☐ On the subject lands or ☐ within 500 meters – distance _____

F. Servicing and Access

1. Indicate what services are available or proposed:

Water Supply

☒ Municipal piped water

☐ Communal wells

☐ Individual wells

☐ Other (describe below)

Sewage Treatment

☒ Municipal sewers

☐ Communal system

☐ Septic tank and tile bed in good working order

☐ Other (describe below)

Storm Drainage

☒ Storm sewers

☒ Open ditches

☐ Other (describe below)

2. Existing or proposed access to subject lands:

☒ Municipal road

☐ Provincial highway

☐ Unopened road

☐ Other (describe below)

Name of road/street: _____

G. Other Information

1. Does the application involve a local business? ☒ Yes ☐ No

If yes, how many people are employed on the subject lands?

2. Is there any other information that you think may be useful in the review of this application? If so, explain below or attach on a separate page.
-
-
-
-

H. Supporting Material to be submitted by Applicant

In order for your application to be considered complete, **folded** hard copies (number of paper copies as directed by the planner) and an **electronic version (PDF) of the properly named site plan drawings, additional plans, studies and reports** will be required, including but not limited to the following details:

1. Concept/Layout Plan
2. All measurements in metric
3. Key map
4. Scale, legend and north arrow
5. Legal description and municipal address
6. Development name
7. Drawing title, number, original date and revision dates
8. Owner's name, address and telephone number
9. Engineer's name, address and telephone number
10. Professional engineer's stamp
11. Existing and proposed easements and right of ways
12. Zoning compliance table – required versus proposed
13. Parking space totals – required and proposed
14. All entrances to parking areas marked with directional arrows
15. Loading spaces, facilities and routes (for commercial developments)
16. All dimensions of the subject lands
17. Dimensions and setbacks of all buildings and structures
18. Location and setbacks of septic system and well from all existing and proposed lot lines, and all existing and proposed structures
19. Gross, ground and useable floor area
20. Lot coverage
21. Floor area ratio
22. Building entrances, building type, height, grades and extent of overhangs
23. Names, dimensions and location of adjacent streets including daylighting triangles
24. Driveways, curbs, drop curbs, pavement markings, widths, radii and traffic directional signs
25. All exterior stairways and ramps with dimensions and setbacks
26. Retaining walls including materials proposed
27. Fire access and routes
28. Location, dimensions and number of parking spaces (including visitor and accessible) and drive aisles
29. Location of mechanical room, and other building services (e.g. A/C, HRV)
30. Refuse disposal and storage areas including any related screening (if indoors, need notation on site plan)
31. Winter snow storage location

32. Landscape areas with dimensions
33. Natural features, watercourses and trees
34. Fire hydrants and utilities location
35. Fencing, screening and buffering – size, type and location
36. All hard surface materials
37. Light standards and wall mounted lights (plus a note on the site plan that all outdoor lighting is to be dark sky compliant)
38. Business signs (make sure they are not in sight lines)
39. Sidewalks and walkways with dimensions
40. Pedestrian access routes into site and around site
41. Bicycle parking
42. Architectural elevations of all building sides
43. All other requirements as per the pre-consultation meeting

In addition, the following additional plans, studies and reports, including but not limited to, **may** also be required as part of the complete application submission:

- ☐ Zoning Deficiency Form
- ☐ On-Site Sewage Disposal System Evaluation Form (to verify location and condition)
- ☒ Architectural Plan
- ☒ Buildings Elevation Plan
- ☐ Cut and Fill Plan
- ☐ Erosion and Sediment Control Plan
- ☐ Grading and Drainage Control Plan (around perimeter and within site) (existing and proposed)
- ☐ Landscape Plan
- ☐ Photometric (Lighting) Plan
- ☐ Plan and Profile Drawings
- ☐ Site Servicing Plan
- ☐ Storm water Management Plan
- ☐ Street Sign and Traffic Plan
- ☐ Street Tree Planting Plan
- ☐ Tree Preservation Plan
- ☐ Archaeological Assessment
- ☐ Environmental Impact Study

- ☐ Functional Servicing Report
- ☐ Geotechnical Study / Hydrogeological Review
- ☐ Minimum Distance Separation Schedule
- ☐ Noise or Vibration Study
- ☐ Record of Site Condition
- ☐ Storm water Management Report
- ☐ Traffic Impact Study – please contact the Planner to verify the scope required

Site Plan applications will require the following supporting materials:

1. Two (2) complete sets of the site plan drawings folded to 8½ x 11 and an electronic version in PDF format
2. Letter requesting that the Holding be removed (if applicable)
3. A cost estimate prepared by the applicant's engineer
4. An estimate for Parkland dedication by a certified land appraiser
5. Property Identification Number (PIN) printout

Standard condominium exemptions will require the following supporting materials:

- ☐ Plan of standard condominium (2 paper copies and 1 electronic copy)
- ☐ Draft condominium declaration
- ☐ Property Identification Number (PIN) printout

Your development approval might also be dependent on other relevant federal or provincial legislation, municipal by-laws or other agency approvals.

All final plans must include the owner's signature as well as the engineer's signature and seal.

I. Development Agreements

A development agreement may be required prior to site plan approval, subdivision and condominium applications. Should this be necessary for your development, you will be contacted by the agreement administrator with further details of the requirements including but not limited to insurance coverage, professional liability for your engineer, additional fees and securities.

J. Transfers, Easements and Postponement of Interest

The owner acknowledges and agrees that if required, it is their solicitor's responsibility on behalf of the owner, to disclose the registration of all transfer(s) of land and/or easement in favour of the County and/or utilities. Also, the owner further acknowledges and agrees that it is their solicitor's responsibility on behalf of the owner for the registration of postponements of any charges in favour of the County.

K. Permission to Enter Subject Lands

Permission is hereby granted to Norfolk County officers, employees or agents, to enter the premises subject to this application for the purposes of making inspections associated with this application, during normal and reasonable working hours.

L. Freedom of Information

For the purposes of the *Municipal Freedom of Information and Protection of Privacy Act*, I authorize and consent to the use by or the disclosure to any person or public body any information that is collected under the authority of the *Planning Act*, R.S.O. 1990, c. P. 13 for the purposes of processing this application.

Neil Balan P. Eng

2025-07-21

Owner/Applicant Signature

Date

M. Owner's Authorization

If the applicant/agent is not the registered owner of the lands that is the subject of this application, the owner(s) must complete the authorization set out below.

I/We MARIO & CARLOS RELVA am/are the registered owner(s) of the lands that is the subject of this application.

I/We authorize _____ to make this application on my/our behalf and to provide any of my/our personal information necessary for the processing of this application. Moreover, this shall be your good and sufficient authorization for so doing.

[Signature]

Owner

July 17 2025

Date

[Signature]

Owner

July 17 2025

Date

N. Declaration

I, Neil Balan, P.Eng. of Balan Engineering Corp.

solemnly declare that:

all of the above statements and the statements contained in all of the exhibits transmitted herewith are true and I make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath and by virtue of *The Canada Evidence Act*.

Declared before me at:

Neil Balan P.Eng

Owner/Applicant Signature

In _____

This _____ day of _____

A.D., 20____

A Commissioner, etc.



Norfolk County Pre-Consultation Checklist

Please select the type of application required:

- | | |
|--|--|
| <input type="checkbox"/> Official Plan Amendment | <input type="checkbox"/> Draft Plan of Condominium |
| <input type="checkbox"/> Zoning By-law Amendment | <input checked="" type="checkbox"/> Site Plan |
| <input type="checkbox"/> Draft Plan of Subdivision | |

Please read all the information in this document on the requirements for future development planning applications. As a result of the information shared at the pre-consultation meeting dated April 9, 2025, the following applications and qualified professional documents/reports are required as part of a complete application. Please include all listed items with the application to ensure a complete application. The County reserves the right to change, reduce or add requirements for a complete application, particularly if the submission does not match the proposal as reviewed during the pre-submission consultation meeting.

Please note that various fees are associated with each application, and there are also costs for qualified professionals retained to complete various documents/reports. All requirements identified are minimum and determined as of the date of the pre-consultation meeting, with the information available at that time. As the proposal proceeds, more information is made public, additional applications, studies, reports, etc., may be required. **The information in this document is applicable for a maximum of one (1) year from the meeting date.**

Before you submit your application, please contact the assigned Planner to confirm submission requirements and the applicable fee. Fees will not be accepted until the submission has been reviewed and confirmed by the Planning Department.

1. Property Information and Proposal Summary

Registered owner: 2463543 Ontario Limited

Applicant/agent (if different than owner): Kim Dziegel and Shawn Hagen

Property address: 7 Grigg Drive, Simcoe

Legal description: WDM CON 14 PT LOT 4 RP 37R3933 PART 1 RP 37R4930
PART 1 IRREG

Current Official Plan designation and Zoning: Protected Industrial Designation under the Official Plan, and General Industrial Zone (MG)

Proposal: The applicant proposes a rear addition to the existing building (~221 sq m).

2. Assigned File Planner

Name and Title: Josh Mueller, Planner

Phone Number: 519-426-5870 ext. 5039

E-mail: joshua.mueller@norfolkcounty.ca

3. Required Studies and Plans for Complete Application

Submission Materials	Required?	Notes:
Planning Requirements		
Completed Application Form	<input checked="" type="checkbox"/>	
Concept Plan	<input checked="" type="checkbox"/>	
Draft Plan of Subdivision	<input type="checkbox"/>	
Building Elevations	<input type="checkbox"/>	
Building Floor Plans and Roof Plans	<input type="checkbox"/>	
Landscaping Plan	<input type="checkbox"/>	
Minimum Distance Separation Schedule	<input type="checkbox"/>	
Photometrics (Lighting) Plan	<input type="checkbox"/>	
Site Plan and Site Plan Details	<input checked="" type="checkbox"/>	
Survey/Legal Plan	<input checked="" type="checkbox"/>	
Topographical Survey	<input checked="" type="checkbox"/>	
Agricultural Impact Assessment	<input type="checkbox"/>	
Air Treatment Control Study	<input type="checkbox"/>	
Archeological Assessment	<input checked="" type="checkbox"/>	
Marine Archeological Assessment	<input type="checkbox"/>	
Draft Official Plan Amendment	<input type="checkbox"/>	

Submission Materials	Required?	Notes:
Draft Zoning By-law Amendment	<input type="checkbox"/>	
Dust, Noise and Vibration Study	<input type="checkbox"/>	Note for Applicants: This report shall be peer reviewed at the owner's expense.
Environmental Impact Study	<input type="checkbox"/>	Note for Applicants: This report shall be peer reviewed at the owner's expense.
Environmental Site Assessment and Record of Site Condition	<input type="checkbox"/>	RSC not required for first submission for a draft plan of subdivision but will be required as a condition of approval
Farm Business Registration		
Heritage Impact Assessment	<input type="checkbox"/>	
Land Use Compatibility Study	<input type="checkbox"/>	Note for Applicants: This report shall be peer reviewed at the owner's expense.
Market Impact Analysis	<input type="checkbox"/>	Note for Applicants: This report shall be peer reviewed at the owner's expense.
On-Site Sewage Evaluation	<input type="checkbox"/>	
Parking Plan	<input type="checkbox"/>	
Planning Justification Report	<input checked="" type="checkbox"/>	Not Required for site plan applications or standard draft plan of condominium
Planning Justification Brief/Letter		For minor applications.
Restricted Land Use Screening Form	<input type="checkbox"/>	
Shadow Study	<input type="checkbox"/>	
Urban Design Brief	<input type="checkbox"/>	
Other:	<input type="checkbox"/>	
Engineering Requirements		
Area Rough Grading Plan	<input type="checkbox"/>	
General Plan of Services	<input checked="" type="checkbox"/>	Illustrates existing services. Please confirm if a property line sanitary inspection manhole currently exists. This may be required to be installed.
Lighting Plan	<input type="checkbox"/>	
Lot Grading Plan	<input checked="" type="checkbox"/>	
Plan and Profile Drawings	<input type="checkbox"/>	
Pavement Marking and Signage Plan	<input checked="" type="checkbox"/>	

Submission Materials	Required?	Notes:
Siltation and Erosion Control Plan	<input checked="" type="checkbox"/>	
Utility Plan	<input type="checkbox"/>	
Capital and Operating Financial Impact Assessment		
Functional Servicing Report/ Stormwater Management Report	<input type="checkbox"/>	Potentially required if upgrades are proposed to existing servicing.
Geotechnical Study	<input type="checkbox"/>	
Hydrogeological Study	<input type="checkbox"/>	
Water Modelling (County Consultant)	<input type="checkbox"/>	
Sanitary Drainage Plan	<input type="checkbox"/>	
Sanitary Design Sheet	<input type="checkbox"/>	
Sanitary Modelling (County Consultant)	<input type="checkbox"/>	
Storm Water Management Brief (including calculations)	<input checked="" type="checkbox"/>	Please confirm existing SWM relative to existing and proposed site grading. Site stormwater is required to be self-contained, controlled & conveyed to a legal and adequate outlet.
Storm Water Drainage Plan	<input type="checkbox"/>	
Anticipated Flow/Analysis to Receiving Collection System	<input type="checkbox"/>	
Traffic Impact and Functional Operations Studies	<input type="checkbox"/>	
Truck Turning Plan	<input type="checkbox"/>	
Other:	<input type="checkbox"/>	

4. Detailed Comments Pertinent to the Application:

i. Norfolk County Planning and Agreement

Contact Name(s) and Title(s): Josh Mueller, Planner

Email: Joshua.mueller@norfolkcounty.ca

Comments:

Will need an updated site plan showing proposed addition.

i. Agreement Services

Annette Helmig, Agreement and Development Coordinator

Email: Annette.helmig@norfolkcounty.ca

Thank you for the opportunity to hear about your proposal.

If performance securities for the infrastructure works is an obligation of your site plan approval you will be required to enter into a development agreement with the County. The agreement will be registered on title at the owner's expense. The owner will also be required to secure commercial general liability insurance coverage. The coverage must be kept in force during the duration of construction until after a successful site inspection and release of the performance securities. The attached information sheet will assist you with a complete submission if an agreement is required.

All the best with your development.

ii. Norfolk County Building

Contact Name(s) and Title(s): Lisa Jennings, Building Inspector II

Email: lisa.jennings@norfolkcounty.ca

Comments:

The proposed construction is considered an addition to a Group F -2 as defined by the Ontario Building Code (OBC). You will need to retain the services of a qualified individual with BCIN Small Buildings/Building Services, an Architect and/or a Professional Engineer to complete the design documentation for this application.

No Ontario Building Code review has been completed at this time and will be done at permit application stage.

1. This is in a source water protection area and is to be reviewed for applicable law requirements

2. Water servicing, storm water to be approved in writing by EIS prior to issuance of a building permit as per Norfolk County Zoning By-Law Section 3.9.1. Minimum Services 3.9.1 No land shall be used and no building or structure shall be erected, used or occupied, including alteration or change of use of a building or structure in any urban Zone unless: a) servicing capacity is confirmed as being available for all watermains and sanitary systems; b) watermains, storm sewers, sanitary systems and hydro service are constructed and operational and all regulatory approvals have been received to the satisfaction of the County or appropriate approval authority; c) stormwater management facilities, if required, are constructed and operational; d) adequate water supply is available for fire protection; and e) roadways and/or lanes are constructed to the satisfaction of the County and provide safe and adequate access to all buildings or structures.

3. Oil/grease/water separators may be required

4. Spatial separation calculations may be required
5. Ventilation to follow OBC Part 6

iii. Norfolk County Zoning

Contact Name and Title: Troy Scriven, Zoning Administrator

Email: zoning@norfolkcounty.ca

Comments:

A zoning table shall be provided on the site plan drawing indicating all proposed and applicable zoning provisions such as lot area, building area, setbacks and height.

6 new parking spaces needs to be provided on the site and shown on the site plan including dimensions. One of these spaces needs to be a type A barrier free parking space with an access aisle beside it. Parking spaces and sizes shall conform to section 4.1.3 and 4.3 of the zoning by-law.

Parking Calculation: $212\text{m}^2 / 35 = 6$ spaces (ZBL reference 4.9 uu)

The property is within a well head protection area. The proposed addition shall be reviewed by the County's Risk Management Official in accordance with the Clean Water Act and the Risk Management Official shall be satisfied that there will be no significant threat to drinking water. (ZBL reference 3.35)

iv. Norfolk County Engineering and Infrastructure Services

Contact Name and Title: Brett Hamm, Development Technologist

Email: brett.hamm@norfolkcounty.ca

Comments:

See checklist above.

v. Norfolk County Accessibility:

Contact Name and Title: Sam McFarlane, Manager, Accessibility and Special Projects

Email: sam.mcfarlane@norfolkcounty.ca

Comments:

No comments at this time

vi. Norfolk County Fire Services

Contact Name and Title: Katie BALLANTYNE, Community Safety Officer

Email: katie.ballantyne@norfolkcounty.ca

Comments:

NCFD has the following comments for this proposal:

- Ensure adequate access for fire department apparatus is maintained
- Notify the fire department if electric vehicle charging or battery storage (e.g., Tesla wall) infrastructure is being provided

vii. Long Point Regional Conservation Authority

Contact Name and Title: Isabel Johnson, Resource Planner

Email: ijohnson@lprca.on.ca

Comments:

I can advise that the subject property is not subject to natural hazards.
Therefore, LPRCA staff will not be attending the meeting.

viii. Ministry of Transportation

Contact Name and Title: Michael Kilgore, Corridor Management Planner

Email: michael.kilgore@ontario.ca

Comments:

Thank you for providing the MTO with the opportunity to review and provide comments.

The proposed work within Norfolk County is not located adjacent to a provincial highway or within MTO's Permit Control Area, and as such, does not require MTO review, approval or permits.

As a result of this, please be advised that I will not be in attendance for the pre-con meeting being held on April 9th, 2025. If you have any question or concerns please feel free to contact me.

ix. Mississaugas of the Credit First Nation

Contact Name and Title: Abby Lee LaForme, Consultation Coordinator

Email: abby.laforme@mncfn.ca

Comments:

The Mississaugas of the Credit First Nation (MCFN) are the Treaty Holders of the land on which the project will take place – specifically, the Between the Lakes Treaty No. 3, of 1792. The MCFN holds Indigenous and Treaty Rights specific to the project location and its environs, which may be adversely

impacted by it. The Department of Consultation and Accommodation (DOCA) is designated by the MCFN to handle consultation matters on its behalf.

The DOCA consultation team has filed the project-related correspondence identified above. Upon our review, we have determined that **the project should be proceeded by, at minimum, a Stage 1 archaeological assessment** to determine the location's archaeological potential. DOCA must be notified of, invited to participate in, and provided the opportunity to review this archaeological assessment, as well as any environmental assessments. At its discretion, DOCA may request capacity funding from the proponent for its consultation and engagement activities relating to the project.

DOCA expects to be notified of any and all future project updates and/or changes.

If you have any questions for the DOCA consultation team, please feel free to contact us.

Thank you.

5. Notes and Clauses:

1. The purpose of this document is to identify the information required to commence processing a complete application as set out in the Planning Act, R.S.O. 1990, CHAPTER P.13, as amended and the County's Official Plan.
2. Pre-consultation does not imply or suggest any decision whatsoever on behalf of staff or the County to either support or refuse the application.
3. The application should be aware that the information provided is accurate as of the date of the pre-consultation meeting. Should an application not be submitted within a year, and should other policies, by-laws or procedures be approved by the Province, County, or other agencies prior to the submission of a formal application, the applicant will be subject to any new policies, by-laws or procedures that are in effect at the time of the submission of a formal application. **If an application is not submitted within one (1) year, another pre-consultation meeting shall be required, unless an exception is granted in writing by the Director of Planning**
4. It is hereby understood that during the review of the application additional studies or information may be required as a result of issues arising during the processing of the application or the review of the submitted studies.
5. If the County does not have sufficient expertise to review and determine that a study is acceptable, the County may require a peer review. The terms of reference for a peer review is determined by the County and paid for by the applicant.
6. Please note if performance securities are required by the County to secure any internal and external development works, a recommended condition for your planning application approval will be to enter into a development agreement with the County. The agreement will be registered on title to the subject lands, at the owner's expense. The additional requirements for an agreement could include, but are not limited to the following:
 - Engineering drawing review
 - Engineer's schedule of costs for the works
 - Clearance letter and supporting documentation to support condition clearance
 - User fees and performance securities
 - Current property identification number (PIN printout)
 - Owner's commercial general liability insurance certificate
 - Professional liability insurance certificate
 - Postponement of interest

- Transfers and / or transfer easements along with registered reference plan

6. Signatures

Staff Signatures

County Planning Staff :

Date:

Planning Staff Signature:

Applicant/Owner Signature

Owner Name (print):

Applicant Name (Print):

Owner Signature:

Applicant Signature:

Date:

Appendix A: Planning Reference Materials

Following is a summary of some land use planning reference materials. It is the requirement of the applicant to ensure compliance with applicable legislation, policies, and regulations.

Provincial Policy Statement, 2020

<https://www.ontario.ca/page/provincial-policy-statement-2020>

Norfolk County Official Plan

<https://www.norfolkcounty.ca/government/planning/official-plan/>

Section 9.6.1 outlines requirements in relation to requests to amend the Official Plan. Section 9.6.2 outlines requirements in relation to requests to amend the Zoning By-law.

It is the responsibility of the proponent to review and ensure relevant Official Plan policies are addressed in any future development application.

Norfolk County Zoning By-Law 1-Z-2014

<https://www.norfolkcounty.ca/government/planning/new-zoning-by-law/>

The provisions of the Norfolk County Zoning By-Law shall apply to all lands within the boundaries of Norfolk County. No land, building or structure shall be used, erected, or altered in whole or in part except in conformity with the provisions of this By-Law. No land, building or structure shall be used or occupied except for uses that are specifically identified in the By-Law as permitted uses by the relevant zoning category.

It is the responsibility of the proponent to review and ensure relevant Zoning By-law provisions are addressed in any future development application.

Endangered and Threatened Species:

Endangered and threatened species and their habitat are protected under the provinces Endangered Species Act, 2007 (ESA), O. Reg. 242/08 and O. Reg. 830/21. The Act prohibits development or site alteration within areas of significant habitat for endangered or threatened species without demonstrating that no negative impacts will occur. The Ministry of the Environment, Conservation and Parks ("MECP") provides the service of responding to species at risk information requests and project screenings. The proponent is responsible for discussing the proposed activity and having their project screened with MECP (Ministry of Environment, Conservation and Parks).

Please be advised that it is the owner's responsibility to be aware of and comply with all relevant federal or provincial legislation, municipal by-laws, or other agency approvals.

Summary of Fees, Forms, and other information pertaining to the planning process can found by visiting <https://www.norfolkcounty.ca/government/planning/>

Norfolk County Engineering Design Standards

All applicants must adhere to Norfolk County's Design Criteria when undertaking a development project. Please contact Engineering and Infrastructure Services directly for a copy of Norfolk County's Design Criteria .



REQUIRED INFORMATION

Development Name_____

Property Legal Description_____

Site Plan Number **SPPL**_____

Roll Number **3310**_____

PIN Number_____

For Residential Unit Type and Number

Single Detached_____

Semi-Detached_____

Duplex_____

Triplex_____

Fourplex_____

Street Townhouse_____

Stacked Townhouse_____

Apartment_____

Affordable_____

Accessible_____

Rental_____

Existing and Proposed Street Names_____

Transfer Easements Block Number and Purpose_____

Transfer Block Number and Purpose_____

Geotechnical Report prepared for Lands	YES	NO	UNKNOWN
Lands are Within the Source Water Protection Area	YES	NO	UNKNOWN
Lands Contain any Contaminated or Impacted Soil	YES	NO	UNKNOWN
Lands Contain any Natural Watercourse	YES	NO	UNKNOWN
Lands Contain any Wetlands	YES	NO	UNKNOWN
Lands Contain any Archaeological Sites	YES	NO	UNKNOWN
Lands Contain an Existing Well and or Septic Field	YES	NO	UNKNOWN
Species at Risk Branch MECP Screening	YES	NO	UNKNOWN
Lands Contain any Endangered Species	YES	NO	UNKNOWN

OWNER

OWNER NAME (PIN)_____

CONTACT NAME_____

ADDRESS WITH POSTAL CODE_____

PHONE NUMBER_____

EMAIL _____



AGENT

NAME AND CONTACT _____

ADDRESS WITH POSTAL CODE _____

PHONE NUMBER _____

EMAIL _____

ENGINEER

NAME AND CONTACT _____

ADDRESS WITH POSTAL CODE _____

PHONE NUMBER _____

EMAIL _____

SURVEYOR

NAME AND CONTACT _____

ADDRESS WITH POSTAL CODE _____

PHONE NUMBER _____

EMAIL _____

LAWYER / SOLICITOR

NAME AND CONTACT _____

ADDRESS WITH POSTAL CODE _____

PHONE NUMBER _____

EMAIL _____

INSURANCE PROVIDER

NAME AND CONTACT _____

ADDRESS WITH POSTAL CODE _____

PHONE NUMBER _____

EMAIL _____

FINANCIAL INSTITUTION

NAME AND CONTACT _____

ADDRESS WITH POSTAL CODE _____

PHONE NUMBER _____

EMAIL _____

MORTGAGEE (IF APPLICABLE)

NAME AND CONTACT _____

ADDRESS WITH POSTAL CODE _____

PHONE NUMBER _____

EMAIL _____

SPECIES AT RISK SCREENING

The Ontario Endangered Species Act inquiries and Species at Risk screening are handled by the Ministry of the Environment, Conservation and Parks, specifically the "Species at Risk Branch" and the e-mail address for handling these inquiries is SAROntario@ontario.ca.

TRANSFERS, EASEMENTS AND POSTPONEMENT OF INTEREST

The owner acknowledges and agrees that, it is their solicitor's responsibility on behalf of the owner for the registration of all transfer(s) of land to the County, free and clear of any charges or encumbrances, and/or transfer(s) of easement in favour of the County and/or utilities at no cost to the County. In addition, the owner further acknowledges and agrees that it is their solicitor's responsibility on behalf of the owner for the registration of postponements of any charges to the County's agreements.

INSURANCE CERTIFICATES

Prior to the execution of the development agreement, the owner shall, at their expense, obtain and keep in force, during the term of this development agreement, commercial general liability insurance coverage satisfactory to the County. The owner further agrees and authorizes the County to discuss with their insurance provider the specific insurance requirements of the County for agreement purposes only. In addition, the County will require any professionals hired such as an engineer, surveyor or architect to carry professional liability insurance to provide coverage for acts, errors and omissions arising from their professional services performed.

OWNER'S AUTHORIZATION

I/We _____ am/are the registered owner(s) of the lands that is the subject of this development agreement.

I/We authorize our agent _____ to provide information on my/our behalf and to provide any of my/our personal information necessary for the processing of this agreement. Moreover, this shall be your good and sufficient authorization for so doing.

I/We authorize the Agreement Administrator to provide and receive information on my/our behalf in connection to the insurance coverage, letter of credit and agreement registration of my/our development.

I/We acknowledge that if there are any new charges or mortgage holders on the property they will be required to postpone their interest on the property to the County's development agreement for site plan approval.

Owner Signature _____ Date _____

APPLICATION AND FEES

To start your agreement please apply on our **CityView Portal** <https://permits.norfolkcounty.ca/CityViewPortal/> Don't forget to fill out, sign and upload the first three pages of this document as part of a complete application. A payment slip will be provided to you identifying the user fees that will be applicable for your development. If paying by credit card, please contact ServiceNorfolk at 226-667-3655 extension 0 or you can visit ServiceNorfolk customer service desk at the County Administration Building at 50 Colborne Street South in Simcoe. The doors on Talbot Street South will be open for customers to enter during business hours Monday to Friday from 8:30 am to 4:30 pm. Please make your cheque payable to the Corporation of Norfolk County. You may also make payment by mail or courier to my contact information below. If you anticipate registration within four weeks please provide a certified cheque.

CONTACT FOR FURTHER INFORMATION AND QUESTIONS

Annette Helmig, Agreement and Development Coordinator
Norfolk County, Community Development Division, Planning Department, Agreement Services
12 Gilbertson Drive, Simcoe Ontario, N3Y 4L1
annette.helmig@norfolkcounty.ca

The information submitted on this form is collected under the authority of the *Freedom of Information and Protection of Privacy Act* (FIPPA) and *Municipal Freedom of Information and Protection of Privacy Act* (MFIPPA) for Norfolk County employees to use for the purpose of preparing and registering a development agreement. Questions about the collection of personal information through this form may be directed to the Agreement and Development Coordinator or Information and Privacy Coordinator, Corporation of Norfolk County, 50 Colborne Street South, Simcoe ON N3Y 4H3.

DOCUMENTATION AND FEES REQUIRED FOR SITE PLAN AGREEMENT EXECUTION

- Owner's agreement authorization (page 3 of this document)
- Current parcel register (property identifier or PIN printout)
- Owner's commercial general liability certificate of insurance
- Professional liability insurance for engineer
- Reference plan for any transfers or easements
- Postponement of interest from mortgagee / chargee to agreement (if applicable)
- Construction estimates (100% for external and landscaping and 10% for internal works)
- Letter of credit, surety bond or certified cheque for performance securities
- Property taxes up to date
- User fees (according to the By-Law in effect at the time that payment is made)
(if time is of the essence a certified cheque is requested)
 - \$3,022 for preparation of the site plan agreement
 - \$487 for financial administration of this agreement
 - \$590 per tree cash-in-lieu of trees (if applicable)
 - 2% or 5% land appraisal cash-in-lieu of parkland (if applicable)

INSURANCE REQUIREMENTS

For the Owner Entering Into a Development Agreement

Prior to the execution of the Development Agreement, the Owner shall purchase, at its expense, obtain and keep in force, during the term of the Agreement, until the end of the maintenance / guarantee period and return of all securities, insurance coverage. The insurance policy or policies shall be in the Owner's name as shown on the property identification number.

The issuance of such insurance policy or policies shall not be construed as relieving the Owner from responsibility for any other or larger claims in excess of such policy or policies, if any, for which the Owner may be held responsible. Such insurance policy or policies shall be in a form acceptable to Norfolk County and, without limiting the generality of the foregoing, shall provide:

1. **Commercial General Liability** insurance policy with and including the following coverages:
 - a. a limit of liability of not less than five million dollars (\$5,000,000) per occurrence;
 - b. The Corporation of Norfolk County 50 Colborne Street South, Simcoe ON N3Y 4H3 named as an additional insured
 - c. Non-owned automobile coverage with a limit of at least two million dollars (\$2,000,000) per occurrence including contractual non-owned coverage
 - d. Cross liability and severability of interest in respect of the named insured
 - e. Products and completed operations
 - f. Premises and operations liability
 - g. Contingent employers liability
 - h. Contractual liability
 - i. Thirty (30) days prior written notice of any alteration, cancellation or change in policy terms, which reduces coverage, and any such notice of cancellation shall be given in writing to Norfolk County
2. **Environmental Impairment Liability** insurance with a limit of not less than two million dollars (\$2,000,000) per claim
3. **Automobile Liability** insurance with a limit of not less than two million dollars (\$2,000,000) per occurrence

If the Agreement is regarding a **Cannabis** development we request under the Description of Operations, the verbiage must specifically refer to a Cannabis Facility.

Norfolk County reserves the right to request such higher limits of insurance or other types of policies appropriate to the Agreement as Norfolk County may reasonably require from time to time.

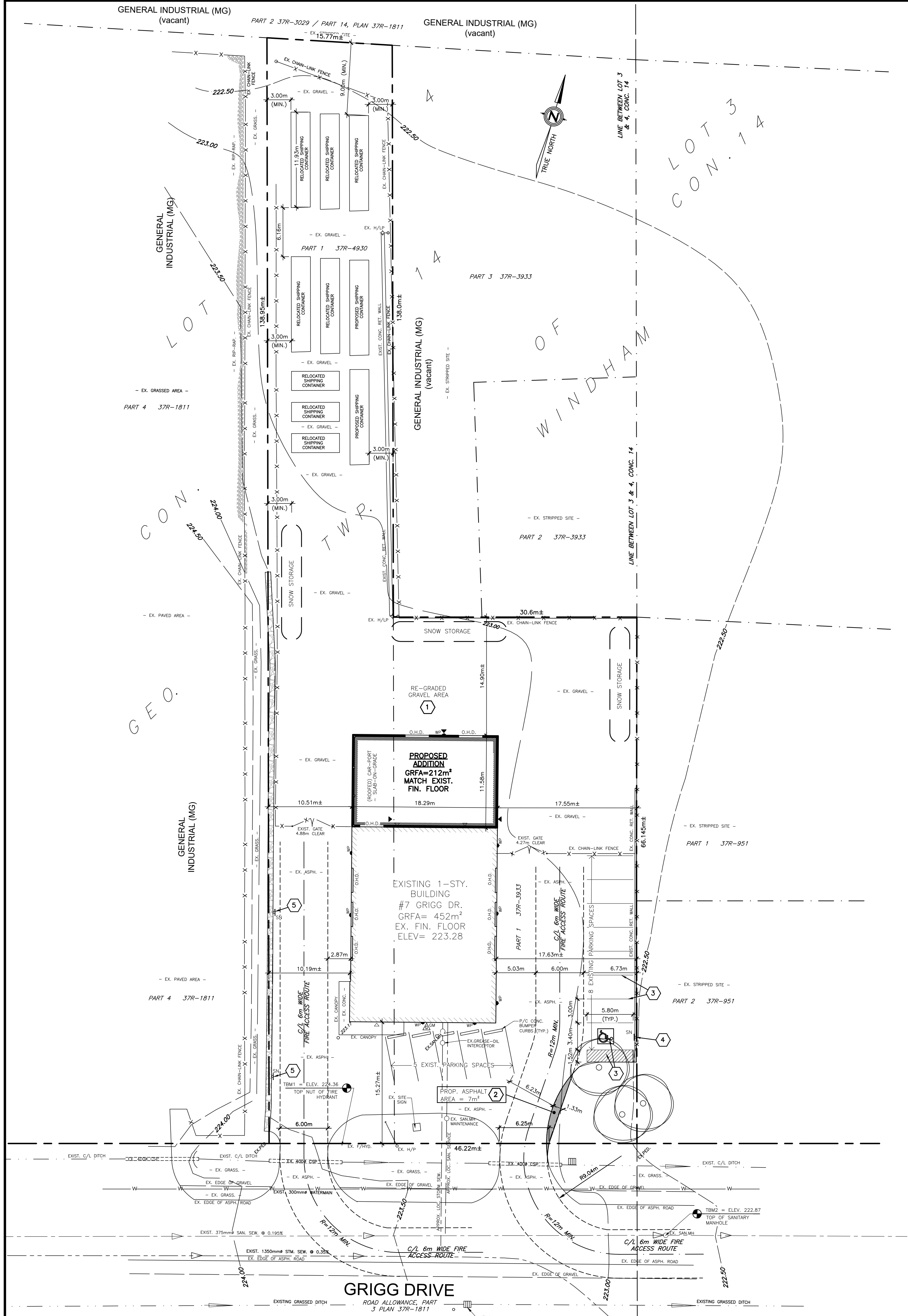
Proof of Insurance

The Owner shall provide the certificate of insurance or certified copies of the above referred to policies, satisfactory to Norfolk County. Provided that if a certificate is provided, all requirements as above set forth must be shown on the said certificate and notwithstanding the provision of any certificate, Norfolk County may require that the Owner provide a certified copy of the policy, if required. Such certificates or policies shall be provided prior to the commencement of any work.

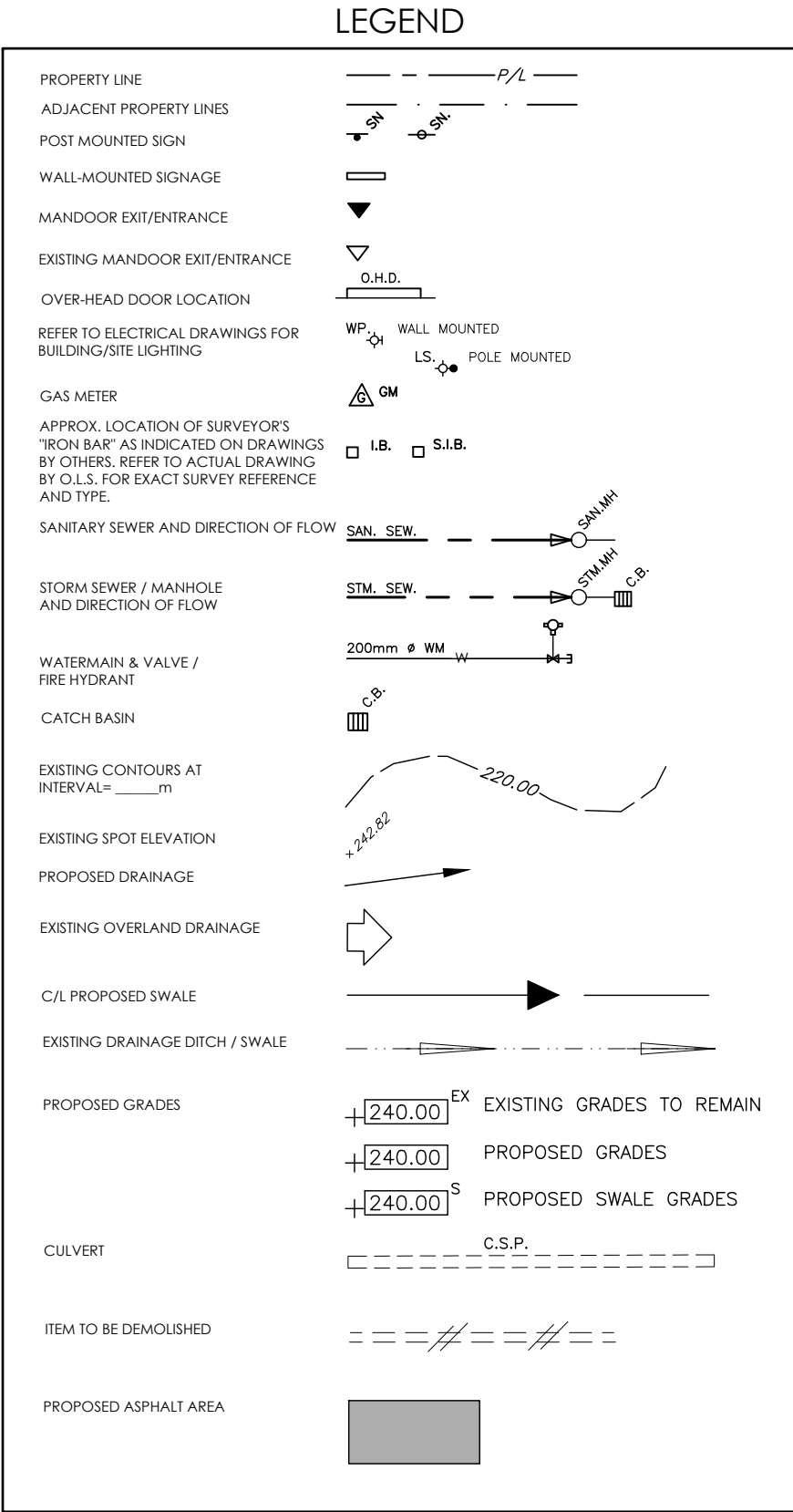
The Owner shall further provide evidence of the continuance of said insurance be filed at each policy renewal date for the duration of the Agreement until the end of maintenance period. In the event any renewal premium is not paid, Norfolk County, in order to prevent the lapse of such policy, may pay the renewal premium or premiums, and the Owner agrees to reimburse Norfolk County for the cost of such renewals within ten (10) days of the account therefore being rendered by Norfolk County. Further, prior to the commencement of the Agreement, the Owner shall cause its insurance broker to confirm in writing that it will accept any request from Norfolk County to renew such insurance and will extend the term of any such insurance policy held by the Owner in accordance with such request upon payment of the renewal premium(s) by Norfolk County.

Notice

Every party to the Agreement agrees to immediately notify all other parties of any occurrence, incident, or event, which may reasonably be expected to expose any of the parties to liability of any kind in relation to the development of the Lands.



SITE STATISTICS				
	EXISTING	PROPOSED	REQUIRED	PROVIDED
ZONING				
		MG - GENERAL INDUSTRIAL	MG - GENERAL INDUSTRIAL	
TOTAL LOT AREA	4,199 m²		1,855m² (MNL)	4,199 m²
LOT FRONTAGE	46.22 m		30m (MNL)	46.22 m
FRONT YARD SET BACK	15.27 m		6m (MNL)	15.27 m
REAR YARD SET BACK	26.5 m		9m (MNL)	14.80m
SIDE YARD (EAST)	17.63 m		3m (MNL)	17.55 m
SIDE YARD (WEST)	10.19 m		3m (MNL)	10.19 m
PAVED AREA (HARD SURFACES)	1,345 m²			1,145 m² 28.4%
GRAVELLED AREA	2,209 m²			2,259 m² 51.92%
LANDSCAPED OPEN SPACE	176 m²			181 m² 3.76%
BUILDING DATA				
GROUND FLOOR AREA OF BUILDINGS (GRFA):	449 m²	212 m²		664 m² 16.81%
BUILDING HEIGHT: 45 DEGREE ANGULAR PLANE FROM ANY RESIDENTIAL COMMERCIAL OR INSTITUTIONAL ZONED LOT		N/A ALL ADJACENT LANDS ARE ZONED A & H.		4.13 m
OFF-STREET PARKING				
PER NORFOLK COUNTY ZONING BY LAW 1-2-2014, SEC. 4.9:				
(INDUSTRIAL USES: PER YOM)	TOTAL = 13 SPACES	INDUSTRIAL: 336m² = 4 SPACES	TOTAL = 8 SPACES REQUIRED	TOTAL = 13 SPACES PROVIDED
(BUT OTHER NON-RESIDENTIAL USES: PER SP1)	INDUSTRIAL: 336m² = 4 SPACES OFFICE: 116m² = 2 SPACES	INDUSTRIAL: 214m² = EXISTING 336m² OR 2 + 4 SPACES OFFICE: 116m² = 2 SPACES		
BARRIER-FREE PARKING				
TYPE 'A': 3.4m X 5.8m ACCESSIBLE WIDE @ 1.5m ADJACENT TO REQUIRED SPACE, PER SEC. 4.3		1 SPACE	1-25 SPACES = 1	1 TYPE 'A' BARRIER-FREE ACCESSIBLE SPACE
1-25 SPACES = 1 REQ'D				
SHIPPING CONTAINERS				
PER NORFOLK COUNTY ZONING BY LAW 1-2-2014 GENERAL PROVISIONS 3.39 AND INDUSTRIAL ZONE I-MS SEC. 7.1.4	TOTAL = 10 CONTAINERS		TOTAL = 10 CONTAINERS	



DISCLAIMER:
THIS IS NOT A LEGAL PLAN OF SURVEY AND SHALL NOT BE USED FOR ANY PURPOSE EXCEPT FOR THE PURPOSES INDICATED IN THE TITLE BLOCK. IN ACCORDANCE WITH THE SURVEYORS ACT R.S.O. 1990, C.29, (AS AMENDED 2021) PLEASE REFER TO STAMPED O.L.S. DRAWINGS FOR ALL SURVEY DATA. PROPERTY LINE INFORMATION SHOWN ON THIS PLAN IS APPROXIMATE AND TO BE VERIFIED BY O.L.S. IF REQUIRED.
BALAN ENGINEERING CORP. ASSUMES NO RESPONSIBILITY FOR THE USE OF, OR RELIANCE ON, ANY ADJACENT PROPERTY INFORMATION SHOWN (OR NOT SHOWN) ON THIS PLAN.

GENERAL NOTES:

- PRIMARY UNITS ARE METRIC. DIMENSIONS ARE METERS.
- CONTRACTOR TO VERIFY ALL JOB DIMENSIONS, DRAWINGS, DETAILS AND SPECIFICATIONS, AND REPORT ANY DISCREPANCIES TO THE ENGINEER BEFORE PROCEEDING WITH THE WORK.
- ANY DISCREPANCY(S) BETWEEN INFORMATION ON THIS SITE DRAWING AND ACTUAL FIELD CONDITIONS, WHICH MAY IMPACT ON THE PROPOSED DEVELOPMENT, ARE TO BE REPORTED TO THE SENIOR CONSULTANT / P.E.N.G.
- THE DRAWINGS AND SPECIFICATIONS ARE TO BE USED ONLY FOR THE PROJECT SO NOTED. REPRODUCTION OF THE DOCUMENTS IN PART OR IN WHOLE FOR ANY OTHER PURPOSE, OTHER THAN THIS PROJECT, WITHOUT THE WRITTEN CONSENT OF BALAN ENGINEERING CORP., IS PROHIBITED. DRAWINGS ISSUED FOR GENERAL PURPOSE, NEGOTIATION, LEASE ETC., CARRY ALL THE ABOVE COPYRIGHT PROTECTION.
- REQUIRED SERVICES & SERVICE CONNECTIONS NOT SHOWN ON DRAWING TO BE THE RESPONSIBILITY OF THE CONTRACTOR/OWNER.
- ALL NECESSARY RELOCATIONS OR REMOVALS OF EXISTING PHYSICAL SITE FEATURES INCLUDING U/G SERVICES TO BE THE RESPONSIBILITY OF THE CONTRACTOR/OWNER.
- EXACT LOCATIONS & ELEVATIONS OF ALL EXISTING SERVICES (SANITARY SEWER, WATER, GAS, BELL, ETC.), GRADES, MATERIAL LENGTHS, ELEVATIONS, INVERTS, ETC., TO BE VERIFIED BY CONTRACTOR PRIOR TO COMMENCEMENT OF ANY SITEWORK.
- ANY FILL PLACED ON SITE MUST BE COMPACTED TO A MIN. 98% STANDARD PROCTER DENSITY.
- THE APPROVAL OF THIS PLAN DOES NOT EXEMPT THE OWNER'S BONDED CONTRACTOR FROM THE REQUIREMENTS TO OBTAIN THE VARIOUS PERMITS/APPROVALS NORMALLY REQUIRED TO COMPLETE A CONSTRUCTION PROJECT, SUCH AS, BUT NOT LIMITED TO THE FOLLOWING:
 - SEWER PERMITS
 - ROAD CUT PERMITS
 - RELOCATION OF SERVICES
- THIS DRAWING TO BE READ IN CONJUNCTION WITH ANY AND ALL OTHER DOCUMENTS SUBMITTED FOR MUNICIPAL APPROVAL(S).
- RIGID INSULATION (2 LAYERS OF 1" STYROFOAM) IS TO BE PROVIDED OVER ALL NEW STORM PIPE WHERE COVER IS LESS THAN 1.2m.
- ALL EXCESS EXCAVATED MATERIAL WILL BE REMOVED FROM THE SITE.
- THE EXISTING DRAINAGE PATTERN WILL BE MAINTAINED EXCEPT WHERE NOTED. PROPOSED ELEVATIONS SHOW GENERAL INTENT OF GRADING PLAN.
- ALL WORK WITHIN THE MUNICIPAL RIGHT-OF-WAY TO BE COMPLETED TO THE SATISFACTION OF THE MUNICIPALITY.
- PROPER SILTATION MEASURES TO TAKE PLACE. SILT CONTROLS, I.E. SILT FENCING AROUND ALL CONSTRUCTION AREAS ARE TO BE IN PLACE PRIOR TO THE START OF SITE WORKS, AND BE MAINTAINED FOR THE DURATION OF CONSTRUCTION (SILT FENCING TO BE PROPERLY SECURED C/W 1" BAR POSTS IN GROUND & C/W FILTER FABRIC) FENCING TO BE INSTALLED AROUND ALL CONSTRUCTION AREAS. (REFER TO OPSD 219.130).

NOTE:
"GFA" DENOTES "GROSS FLOOR AREA"
"GUA" DENOTES "GROSS USABLE FLOOR AREA"
"GRFA" DENOTES "GROUND FLOOR AREA" WHICH IS THE TOTAL AREA OF THE ENTIRE BUILDING FOOTPRINT.

SITE SPECIFICATIONS	
ITEM	REFER TO DETAIL
1 GRAVELLED PARKING AREA	150mm GRAF, 1% COMPACTED TO 100% STD. PROCTOR DENSITY 400mm GRAF, 1% COMPACTED TO 100% STD. PROCTOR DENSITY
2 ASPHALT WIDENING AT DRIVEWAY ENTRANCE	50mm H/L & 50mm H/L & 150mm GRANULAR 'A' / 250mm (MNL) GRANULAR 'B'
3 PAINTED LINEWORK ON PAVEMENT	AT LOCATIONS AS SHOWN, INCLUDING WHEELCHAIR ACCESSIBLE SYMBOL.
4 DISABLED PARKING SIGNAGE	POST-MOUNTED SIGN FOR DISABLED PARKING SIGNAGE (TYPE 'A') REFER TO DETAIL ON SP1.
5 FIRE ACCESS ROUTE SIGNAGE	POST-MOUNTED "NO PARKING FIRE ROUTE" SIGNAGE. REFER TO DETAIL ON SP1.

BUILDING INTERIOR WALLS/ROOMS:
REFER TO ARCHITECTURAL / STRUCTURAL DRAWINGS FOR ALL INTERIOR AND EXTERIOR DIMENSIONS, INTERIOR ROOM LAYOUT AND ROOM NAMES, WALL TYPES AND CONSTRUCTION AND SPECIFICATIONS.

MECHANICAL ROOM:
REFER TO MECHANICAL AND ARCHITECTURAL DRAWINGS FOR MECHANICAL ROOM LOCATION AND EQUIPMENT LAYOUT AND SPECIFICATIONS.

BUILDING / SITE LIGHTING:
ALL EXTERIOR LIGHT FIXTURES TO BE DARK-SKY COMPLIANT - NO EXTERIOR LIGHTING ARRAY TO BE DIRECTED OFF PROPERTY TO ROAD ALLOWANCE OR ADJACENT PROPERTIES. ALL LIGHTING ARRAY DIRECTIONS TO SHINE INTERNALLY TOWARD SUBJECT PROPERTY. REFER TO ELECTRICAL DRAWINGS FOR BUILDING / SITE LIGHTING FIXTURE LOCATIONS, FIXTURE TYPES AND STYLES AND SPECIFICATIONS.

REFUSE STORAGE / GARBAGE:
TO BE LOCATED AT INTERIOR OF BUILDING

ROOF RAIN WATER LEADERS:
TO DISCHARGE TO STORM SEWERS.

MUNICIPAL SERVICES:
NO ADDITIONAL MUNICIPAL SERVICES WILL BE REQUIRED FOR THIS PROPOSED ADDITION, NO EXISTING SERVICES SHALL BE IMPACTED.

Van Accessible
Type 'A' Barrier-free
Parking Space:



DISABLED PARKING PERMIT SIGN

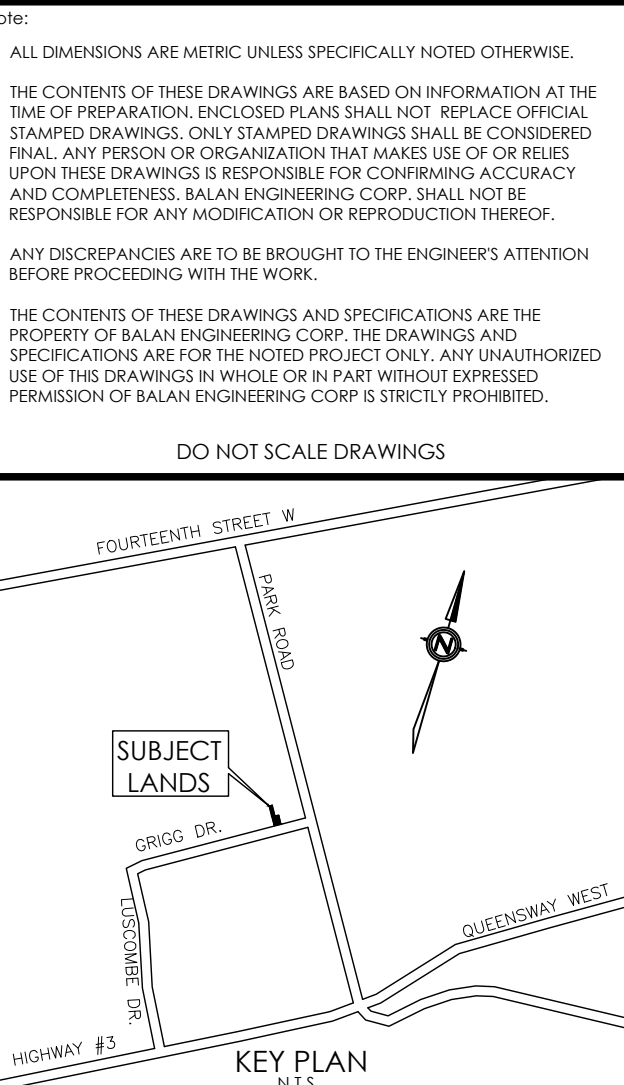


88-93 30 cm x 45 cm
Font
Colour
Helvetica Bold Condensed
Interdiction Symbol - Red Reflective
Symbol of Access and Symbol Border -
Blue Reflective
Legend & Border - Black
Background - White Reflective

2 BARRIER-FREE PARKING SIGNAGE
SCALE= N.T.S.



3 FIRE ACCESS ROUTE SIGNAGE
SCALE= N.T.S.



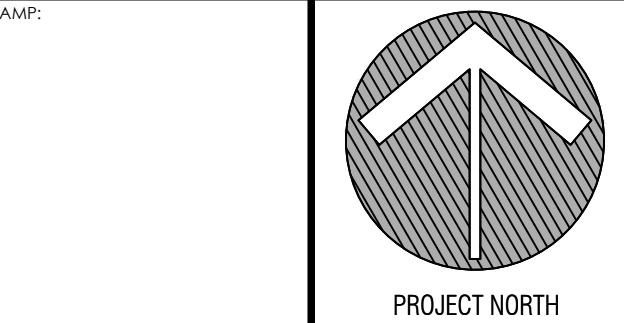
LEGAL DESCRIPTION:
PART 4 OF CONFESSION 14
GEO. TOWNSHIP OF WINDHAM,
PART OF PART 4, PLAN 378-1811
PART 1 OF PLAN 378-3933
PART 1 OF PLAN 378-4930
TOWN OF SIMCOE, ONT.
LEGAL PROPERTY BOUNDARY INFORMATION:
THE LEGAL PROPERTY BOUNDARY INFORMATION IS BASED ON SURVEY DRAWINGS PLAN 378-1811, BY JOHN F. WESTON, P.ENG., O.L.S., DATED MAR. 18, 1981, PLAN 378-3933 BY JOHN F. WESTON, P.ENG., O.L.S., DATED MAR. 18, 1981, AND PLAN 378-4930 BY JOHN F. WESTON, P.ENG., O.L.S., DATED DEC. 6TH, 1989.
REFER TO ACTUAL DRAWINGS BY ABOVE NOTED O.L.S. FOR EXACT SURVEY REFERENCES AND DESCRIPTIONS AND PROPERTY MONUMENT LOCATIONS AND TYPES.
TBM1: ELEV= 224.34
TOP OF THE HYDRANT AT NORTH SIDE OF GRIGG DRIVE IN FRONT OF THE SUBJECT PROPERTY.
TBM2: ELEV= 222.87
TOP OF EXISTING SANITARY MANHOLE LID IN THE MIDDLE OF GRIGG DRIVE ADJACENT TO THE SUBJECT PROPERTY.



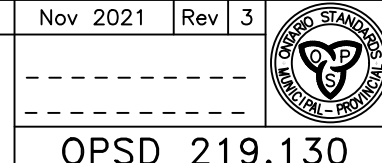
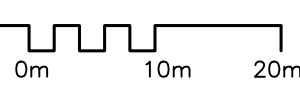
REVISIONS			
02	2025/09/25	ISSUED FOR SPA	C.B.
01	2025/07/22	ISSUED FOR SITE PLAN APPROVAL	NB
Rev:	Date	Description:	By:

THESE DRAWINGS, DETAILS AND SPECIFICATIONS SHALL NOT BE USED FOR CONSTRUCTION UNTIL THEY HAVE BEEN SIGNED AND SEALED BY THE ENGINEER AND A BUILDING PERMIT HAS BEEN ISSUED.

DO NOT SCALE DRAWINGS. THESE DRAWINGS SHOW INTENT OF THE DESIGN ONLY OR EXISTING CONDITIONS AND MAY NOT REFLECT EXACT LOCATIONS.



Project Name:
PROPOSED BUILDING ADDITION FOR EXPERT AUTO CLINIC
Owner: 2463543 Ontario Limited
7 GRIGG DRIVE, SIMCOE, ONT.
Drawn By:
CB
Approved By:
NB
Date:
MAY 30, 2025
Job Number:
25-0322
Sheet No.:
SP1
Revision No.:
01
Scale:
As Noted



- ## LEGEND

SILT FENCE NOTES:

1. SILT FENCE SHALL GENERALLY BE PLACED A MINIMUM OF 1.5m BEYOND TOE OF SLOPE, BUT PREFERRED, TO PROVIDE ADEQUATE AREA FOR SEDIMENT STORAGE AND FACILITATE MAINTENANCE OF SEDIMENT CONTAINMENT AREA.
2. ALL ENDS SHALL BE "J" HOOKED TO TRAP SEDIMENT.
3. IN AREAS WITH TWO SLOPES, SILT FENCE SHALL BE USED TO ERECT A DAM AND TRAP SEDIMENT AT THE BASE OF THE STEEPER SLOPE.
4. THE BOTTOM EDGE OF SILT FENCE SHALL BE BURIED A MINIMUM OF 150mm BELOW GROUND, AND KEPT IN 100mm. THE FENCE SHALL BE INSTALLED WITH THE POSTS ON THE DOWNSTREAM SIDE OF THE FABRIC, MAXIMUM DRAINAGE AREA TRIBUTARY TO 30m of SILT FENCE SHALL BE 0.1 ha.
5. SILT FENCE SHALL BE REMOVED WHEN THE AREA HAS BEEN STABILIZED.
6. AT TIME OF REMOVAL OF THE SILT FENCE, THE DISTURBED AREA SHALL BE REPAIRED AND STABILIZED.
7. MEASURES SHALL BE INSPECTED EVERY SEVEN (7) CALENDAR DAYS AND WITHIN 24 HOURS OF A STORM EVENT GREAT ENOUGH TO CAUSE WATER TO LEAVE THE CONSTRUCTION SITE.
8. MEASURES SHALL BE CLEANED AND REPAIRED AS NEEDED. SEDIMENT SHALL BE REMOVED WHEN ACCUMULATION REACHES ONE-HALF OF THE MEASURE HEIGHT. SEDIMENT SHALL BE DISPOSED OF AS UNSUITABLE MATERIAL.
9. SILT FENCE SHALL BE INSTALLED ON A LINE OF EQUAL ELEVATION (CONTOUR), IF MAY BE INSTALLED AT INTERMEDIATE POINTS UP SLOPES AS WELL AS AT THE BOTTOM. AS SHOWN IN THE DETAIL.
10. SILT FENCE SHALL NOT BE USED ACROSS CONCENTRATED FLOW.

1. UNLESS OTHERWISE INDICATED, ALL VEGETATIVE AND STRUCTURAL EROSION AND SEDIMENT CONTROL PRACTICE WILL BE CONSTRUCTED AND MAINTAINED ACCORDING TO MINIMUM STANDARDS AND SPECIFICATIONS OF NORFOLK COUNTY.
2. ALL EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE PLACED PRIOR TO OR AS THE FIRST STEP IN CLEARING.
3. A COPY OF THE APPROVED EROSION AND SEDIMENT CONTROL PLAN SHALL BE MAINTAINED ON SITE AT ALL TIMES.
4. THE CONTRACTOR IS RESPONSIBLE FOR INSTALLATION OF ANY ADDITIONAL EROSION CONTROL MEASURES NECESSARY TO PREVENT EROSION AND SEDIMENTATION AS DETERMINED BY THE PLAN APPROVING AUTHORITY.
5. ALL DISTURBED AREAS ARE TO DRAIN TO APPROVED SEDIMENT CONTROL MEASURES AT ALL TIMES DURING LAND DISTURBING ACTIVITIES AND DURING SITE DEVELOPMENT UNTIL FINAL STABILIZATION IS ACHIEVED.
6. ALL EROSION AND SEDIMENT CONTROLS ARE TO BE INSTALLED AND MAINTAINED TO THE SATISFACTION AND TO THE REQUIREMENTS OF NORFOLK COUNTY.
7. ALL AREAS OF WORK WHICH WILL REMAIN DISTURBED FOR A PERIOD OF THIRTY DAYS OR MORE MUST BE STABILIZED TO THE SATISFACTION OF NORFOLK COUNTY.
8. ALL MATERIAL STOCKPILES ARE TO BE LOCATED WITHIN THE BOUNDARY OF THE INDICATED SILT FENCE. ADDITIONAL SILT FENCE IS TO BE ERRECTED AROUND ANY PROPOSED STOCKPILES.
9. CATCH BASINS TO HAVE SILT TRAPS INSTALLED FOR THE DURATION OF CONSTRUCTION. REFERENCE DETAIL ON THIS PAGE.
10. SILT FENCE AS PER OPSD 219.30
11. ALL EROSION CONTROL DEVICES ARE TO BE INSPECTED AND MAINTAINED WEEKLY AFTER EACH RAINFALL.
12. OWNER IS RESPONSIBLE FOR INSPECTIONS AND MAINTENANCE OF STOCKPILES AS PER MANUFACTURER'S INSTRUCTIONS. ALL EROSION AND SEDIMENTATION CONTROL DEVICES MUST BE IN PLACE PRIOR TO ANY EARTH MOVING/CONSTRUCTION ACTIVITIES AND MUST BE MAINTAINED UNTIL FINAL COVER IS ESTABLISHED.

ALL DIMENSIONS ARE METRIC UNLESS SPECIFICALLY NOTED OTHERWISE.

THE CONTENTS OF THESE DRAWINGS ARE BASED ON INFORMATION AT THE TIME OF PREPARATION. ENCLOSED PLANS SHALL NOT REPLACE OFFICIAL STRUCTURAL DRAWINGS. ONLY STRUCTURAL DRAWINGS SHALL BE CONSIDERED FINAL. ANY PERSON OR ORGANIZATION THAT MAKES USE OF OR RELIES UPON THESE DRAWINGS IS RESPONSIBLE FOR CONFIRMING ACCURACY AND ANY DISCREPANCIES, BALAN ENGINEERING CORP. SHALL NOT BE RESPONSIBLE FOR ANY MODIFICATION OR REPRODUCTION THEREOF.

ANY DISCREPANCIES ARE TO BE BROUGHT TO THE ENGINEERS' ATTENTION BEFORE PROCEEDING WITH THE WORK.

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DO NOT SCALE DRAWINGS



LEGAL DESCRIPTION:
 PART 14 OF CONNECTION 14
 C.D. TOWNSHIP OF BRANT
 PART OF PLAN 376-1811
 PART 1 OF PLAN 376-353
 PART 1 OF PLAN 376-459
 PORTION OF SINCEC. ONT.

LEGAL PROPERTY BOUNDARY INFORMATION:
 LEGAL PROPERTY BOUNDARY INFORMATION FOR THIS DRAWING IS BASED ON:
 1981, 1982, 1983, 1984, 1985, 1986, 1987, 1988, 1989, 1990, 1991, 1992, 1993, 1994, 1995, 1996, 1997, 1998, 1999, 2000, 2001, 2002, 2003, 2004, 2005, 2006, 2007, 2008, 2009, 2010, 2011, 2012, 2013, 2014, 2015, 2016, 2017, 2018, 2019, 2020, 2021, 2022, 2023, 2024, 2025, 2026, 2027, 2028, 2029, 2030, 2031, 2032, 2033, 2034, 2035, 2036, 2037, 2038, 2039, 2040, 2041, 2042, 2043, 2044, 2045, 2046, 2047, 2048, 2049, 2050, 2051, 2052, 2053, 2054, 2055, 2056, 2057, 2058, 2059, 2060, 2061, 2062, 2063, 2064, 2065, 2066, 2067, 2068, 2069, 2070, 2071, 2072, 2073, 2074, 2075, 2076, 2077, 2078, 2079, 2080, 2081, 2082, 2083, 2084, 2085, 2086, 2087, 2088, 2089, 2090, 2091, 2092, 2093, 2094, 2095, 2096, 2097, 2098, 2099, 2100, 2101, 2102, 2103, 2104, 2105, 2106, 2107, 2108, 2109, 2110, 2111, 2112, 2113, 2114, 2115, 2116, 2117, 2118, 2119, 2120, 2121, 2122, 2123, 2124, 2125, 2126, 2127, 2128, 2129, 2130, 2131, 2132, 2133, 2134, 2135, 2136, 2137, 2138, 2139, 2140, 2141, 2142, 2143, 2144, 2145, 2146, 2147, 2148, 2149, 2150, 2151, 2152, 2153, 2154, 2155, 2156, 2157, 2158, 2159, 2160, 2161, 2162, 2163, 2164, 2165, 2166, 2167, 2168, 2169, 2170, 2171, 2172, 2173, 2174, 2175, 2176, 2177, 2178, 2179, 2180, 2181, 2182, 2183, 2184, 2185, 2186, 2187, 2188, 2189, 2190, 2191, 2192, 2193, 2194, 2195, 2196, 2197, 2198, 2199, 2200, 2201, 2202, 2203, 2204, 2205, 2206, 2207, 2208, 2209, 2210, 2211, 2212, 2213, 2214, 2215, 2216, 2217, 2218, 2219, 2220, 2221, 2222, 2223, 2224, 2225, 2226, 2227, 2228, 2229, 2230, 2231, 2232, 2233, 2234, 2235, 2236, 2237, 2238, 2239, 2240, 2241, 2242, 2243, 2244, 2245, 2246, 2247, 2248, 2249, 2250, 2251, 2252, 2253, 2254, 2255, 2256, 2257, 2258, 2259, 2260, 2261, 2262, 2263, 2264, 2265, 2266, 2267, 2268, 2269, 2270, 2271, 2272, 2273, 2274, 2275, 2276, 2277, 2278, 2279, 2280, 2281, 2282, 2283, 2284, 2285, 2286, 2287, 2288, 2289, 2290, 2291, 2292, 2293, 2294, 2295, 2296, 2297, 2298, 2299, 2300, 2301, 2302, 2303, 2304, 2305, 2306, 2307, 2308, 2309, 2310, 2311, 2312, 2313, 2314, 2315, 2316, 2317, 2318, 2319, 2320, 2321, 2322, 2323, 2324, 2325, 2326, 2327, 2328, 2329, 2330, 2331, 2332, 2333, 2334, 2335, 2336, 2337, 2338, 2339, 2340, 2341, 2342, 2343, 2344, 2345, 2346, 2347, 2348, 2349, 2350, 2351, 2352, 2353, 2354, 2355, 2356, 2357, 2358, 2359, 2360, 2361, 2362, 2363, 2364, 2365, 2366, 2367, 2368, 2369, 2370, 2371, 2372, 2373, 2374, 2375, 2376, 2377, 2378, 2379, 2380, 2381, 2382, 2383, 2384, 2385, 2386, 2387, 2388, 2389, 2390, 2391, 2392, 2393, 2394, 2395, 2396, 2397, 2398, 2399, 2400, 2401, 2402, 2403, 2404, 2405, 2406, 2407, 2408, 2409, 2410, 2411, 2412, 2413, 2414, 2415, 2416, 2417, 2418, 2419, 2420, 2421, 2422, 2423, 2424, 2425, 2426, 2427, 2428, 2429, 2430, 2431, 2432, 2433, 2434, 2435, 2436, 2437, 2438, 2439, 2440, 2441, 2442, 2443, 2444, 2445, 2446, 2447, 2448, 2449, 2450, 2451, 2452, 2453, 2454, 2455, 2456, 2457, 2458, 2459, 2460, 2461, 2462, 2463, 2464, 2465, 2466, 2467, 2468, 2469, 2470, 2471, 2472, 2473, 2474, 2475, 2476, 2477, 2478, 2479, 2480, 2481, 2482, 2483, 2484, 2485, 2486, 2487, 2488, 2489, 2490, 2491, 2492, 2493, 2494, 2495, 2496, 2497, 2498, 2499, 2500, 2501, 2502, 2503, 2504, 2505, 2506, 2507, 2508, 2509, 2510, 2511, 2512, 2513, 2514, 2515, 2516, 2517, 2518, 2519, 2520, 2521, 2522, 2523, 2524, 2525, 2526, 2527, 2528, 2529, 2530, 2531, 2532, 2533, 2534, 2535, 2536, 2537, 2538, 2539, 2540, 2541, 2542, 2543, 2544, 2545, 2546, 2547, 2548, 2549, 2550, 2551, 2552, 2553, 2554, 2555, 2556, 2557, 2558, 2559, 2560, 2561, 2562, 2563, 2564, 2565, 2566, 2567, 2568, 2569, 2570, 2571, 2572, 2573, 2574, 2575, 2576, 2577, 2578, 2579, 2580, 2581, 2582, 2583, 2584, 2585, 2586, 2587, 2588, 2589, 2590, 2591, 2592, 2593, 2594, 2595, 2596, 2597, 2598, 2599, 2600, 2601, 2602, 2603, 2604, 2605, 2606, 2607, 2608, 2609, 2610, 2611, 2612, 2613, 2614, 2615, 2616, 2617, 2618, 2619, 2620, 2621, 2622, 2623, 2624, 2625, 2626, 2627, 2628, 2629, 2630, 2631, 2632, 2633, 2634, 2635, 2636, 2637, 2638, 2639, 2

- Web: reid-deleye.com
- Office: 519.688.2600

Rev.:	Date: yyyy/mm/dd	Description:	By:
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THESE DRAWINGS, DETAILS AND SPECIFICATIONS SHALL NOT BE USED FOR
CONSTRUCTION UNTIL THEY HAVE BEEN SIGNED AND SEALED BY THE
ENGINEER AND A BUILDING PERMIT HAS BEEN ISSUED.

DO NOT SCALE DRAWINGS; THESE DRAWINGS SHOW INTENT OF THE DESIGN ONLY OR EXISTING CONDITIONS AND MAY NOT REFLECT EXACT LOCATIONS.

STAMP:	
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PROJECT NORTH



Owner: 2463543 Ontario Limited

GRIGG DRIVE,
SIMCOE, ONT.

Drawing:

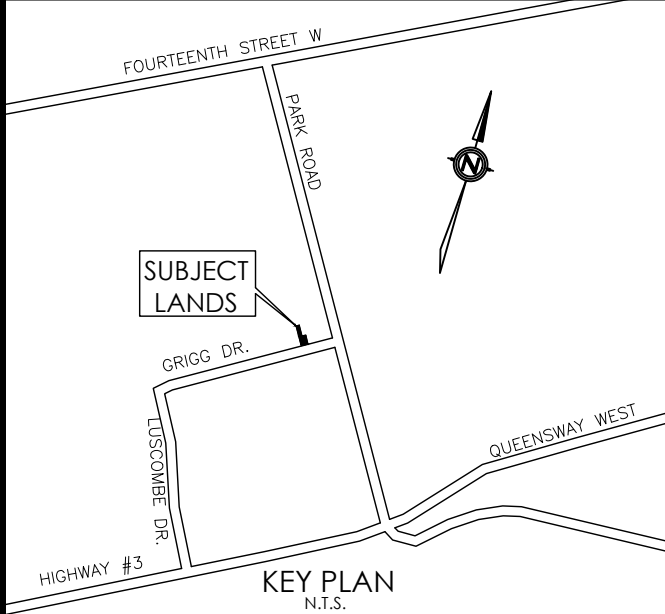
GRADING PLAN

Drawn By: CB		Job Number: 25-0322	
Approved By: NB		Sheet No.:	Revision No.:
Date: MAY 30, 2025	Scale: As Noted	SP2	01

DISCLAIMER:
THIS IS NOT A LEGAL PLAN OF SURVEY AND SHALL NOT BE USED FOR ANY PURPOSE EXCEPT FOR THE PURPOSE INDICATED IN THE TITLE BLOCK. IN ACCORDANCE WITH THE SURVEYORS ACT R.S.O. 1990, C.29, (AS AMENDED 2021) PLEASE REFER TO STAMPED O.L.S. DRAWINGS FOR ALL SURVEY DATA. PROPERTY LINE INFORMATION SHOWN ON THIS PLAN IS APPROPRIATE AND TO BE VERIFIED BY O.L.S. IF REQUIRED.
BALAN ENGINEERING CORP. ASSUMES NO RESPONSIBILITY FOR THE USE OF, OR RELIANCE ON, ALL REAL PROPERTY INFORMATION SHOWN (OR NOT SHOWN) ON THIS PLAN.

Note:
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LEGAL DESCRIPTION:
PART OF A CONCESSION 4, GRD. TOWNSHIP OF WINDHAM, PART OF PART 4, PLAN OS-1811, PART 1 OF PLAN 378-3933, PART 1 OF PLAN 378-4950, TOWN OF SIMCOE, ONT.

LEGAL PROPERTY BOUNDARY INFORMATION:
THE LEGAL PROPERTY BOUNDARY INFORMATION FOR THIS DRAWING IS BASED ON SURVEY DRAWING PLAN 378-1811, BY JOHN F. WESTON, P.ENG., O.L.S., DATED MAR. 18TH, 1986; PLAN 378-3933 BY JOHN B. LODGE LTD., O.L.S., DATED MAR. 10, 1988 AND PLAN 378-4950 BY JEWITT AND DIXON LTD., O.L.S., DATED DEC. 4TH, 1989. REFER TO ACTUAL DRAWINGS BY ABOVE NOTED O.L.S. FOR EXACT SURVEY REFERENCES AND DESCRIPTIONS AND PROPERTY MCMONUMENT LOCATIONS AND TYPES.

TM1: ELEV= 224.36
TOP OF FIRE HYDRANT AT NORTH SIDE OF GRIGG DRIVE IN FRONT OF THE SUBJECT PROPERTY.
TM2: ELEV= 223.87
TOP OF EXISTING SANITARY MANHOLE LID IN THE MIDDLE OF GRIGG DRIVE ADJACENT THE SUBJECT PROPERTY.

Client:

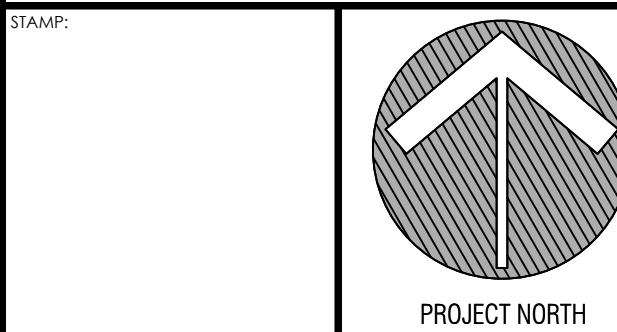
4926 Highway 59 South,
Box 272 Courtland, ON Web: reid-deleye.com
Office: 519.688.2600

REVISIONS

Rev.	Date	Description	By:
02	2025/09/25	ISSUED FOR SPA	C.B.
1	2025/07/22	ISSUED FOR SITE PLAN APPROVAL	NB

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49 North Street East, Tilsonburg, ON
email: info@balanengineering.com
Web: balanengineering.com
Office: 519.688.2525

Project Name:
PROPOSED BUILDING ADDITION FOR EXPERT AUTO CLINIC
Owner: 2463543 Ontario Limited
7 GRIGG DRIVE, SIMCOE, ONT.

Drawing:
EXISTING / DEMOLITION SITE PLAN

Drawn By: CB	Job Number: 25-0322
Approved By: NB	Sheet No.: SP3
Date: MAY 30, 2025	Revision No.: 01



SITE AREAS - PRE & POST CONSTRUCTION

	EXISTING	PROPOSED	PROVIDED	% LOT COVERAGE
TOTAL LOT AREA	4,199 m²		4,199 m²	100 %
PAVED AREA (HARD SURFACES)	1,345m²		1,145m²	28.49%
GRAVELLED AREA	2,209m²		2,209m²	51.92%
LANDSCAPED OPEN SPACE	196 m²		181 m²	3.78%
GROUND FLOOR AREA OF BUILDINGS (GRFA):	449 m²	212 m²	664 m²	15.81%

1	25/09/2025	ISSUED FOR SITE PLAN APPROVAL	CB
Rev.:	Date: dd/mm/yyyy	Description:	Drawn By:

General Note:

THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, DRAWINGS, DETAILS AND SPECIFICATIONS, INCLUDING WITH ARCHITECTURAL DRAWINGS AND MUST REPORT ANY DISCREPANCIES TO THE ARCHITECT AND ENGINEER BEFORE PROCEEDING WITH THE WORK.

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THESE DRAWINGS, DETAILS AND SPECIFICATIONS SHALL NOT BE USED FOR CONSTRUCTION UNTIL THEY HAVE BEEN SIGNED AND SEALED BY THE ENGINEER AND A BUILDING PERMIT HAS BEEN ISSUED.

DO NOT SCALE DRAWINGS

STAMP:

This drawing is to be assumed preliminary and not to be used for construction unless the professional engineer's seal is applied.



49 North Street East, Tillsonburg, ON

Web: balanengineering.com

Office: 519.688.2525

Project Name:
PROPOSED BUILDING ADDITION FOR EXPERT AUTO
7 GRIGG DRIVE, SIMCOE, ONT.

Drawing:
PRE / POST CONSTRUCTION AREAS

Designed: N.B.	Scale: N.T.S.	Sheet No.: SK1
Date: SEPT. 25, 2025	Job Number: 25-0322	

GENERAL NOTES

1. GENERAL NOTES:

- 1.1. CONSTRUCTION AND DESIGNS SHALL CONFORM TO THE REQUIREMENT OF THE ONTARIO BUILDING CODE, AS AMENDED, AND ANY APPLICABLE ACTS OF AUTHORITY HAVING JURISDICTION. IN CASE OF CONFLICT OR DISCREPANCY, THE MORE STRINGENT REQUIREMENTS SHALL APPLY.
- 1.2. READ ALL STRUCTURAL DRAWINGS IN CONJUNCTION WITH THE ARCHITECTURAL DRAWINGS, ALL OTHER PROJECT DRAWINGS, CONTRACT DOCUMENTS AND SPECIFICATIONS.
- 1.3. REFER TO ARCHITECTURAL, MECHANICAL AND ELECTRICAL DRAWINGS FOR EXACT LOCATIONS OF PITS, SLEEVES, DEPRESSIONS, TRENCHES, ROOF MOUNTED OR SUSPENDED UNITS, OPENINGS AND OTHER. DO NO IMPOSE CONSTRUCTION LOADS ON THE STRUCTURE IN EXCESS OF THE DESIGN LOADS.
- 1.5. DO NOT CUT ANY HOLES IN BEARING WALLS, BEAMS OR OTHER STRUCTURAL ELEMENTS WITHOUT THE CONSULTANT'S APPROVAL.
- 1.6. PROTECT EXISTING BUILDINGS, TREES, FENCING, UTILITY POLES, CABLES, ACTIVE UNDERGROUND SERVICES AND FENCING ON THE SITE OR ANY ADJOINING PROPERTIES FROM DAMAGE. ANY DAMAGE RESULTED FROM THIS CONSTRUCTION WORK SHALL BE MADE GOOD TO THE APPROVAL OF THE CONSULTANT AT NO COST TO THE OWNER.
- 1.7. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS OF THE CONSTRUCTION SAFETY ACT (INCLUDING LATEST AMENDMENTS) AND OTHER LOCAL AUTHORITIES HAVING JURISDICTION.
- 1.8. BEFORE PROCEEDING WITH THE WORK, THE CONTRACTOR SHALL CHECK ALL DIMENSIONS SHOW ON THE STRUCTURAL DRAWINGS WITH THE ARCHITECTURAL, MECHANICAL AND ELECTRICAL DRAWINGS AND AGAINST SITE CONDITIONS. ANY DISCREPANCIES ARE TO REPORTED TO THE CONSULTANT(S) PRIOR TO PROCEEDING WITH ANY WORK.
- 1.9. NO SUBSTITUTIONS ARE ALLOWED UNLESS:

1.9.1. WRITTEN PERMISSION IS OBTAINED FROM THE CONSULTANT.

1.9.2. THE CONTRACTOR ENSURE THAT THE SUBSTITUTIONS CAN BE BOTH PHYSICALLY AND DIMENSIONALLY INCORPORATED IN THE WORK WITH NO LOSS OF INTENDED FUNCTION OR CONSTRUCTION TIME, AND AT NO ADDITIONAL COST TO THE OWNER.

1.9.3. THE CONTRACTOR REIMBURSES ALL CONSULTANTS FOR ADDITIONAL COSTS INVOLVED.
- 1.10. ALL DIMENSIONS TO BE FIELD VERIFIED PRIOR TO FABRICATION.
- 1.11. STRUCTURAL DRAWINGS MUST NOTE BE SCALE

2. SOIL CONDITIONS, EXCAVATION, FOUNDATION AND RELATED WORK

- 2.1. REFER TO THE GEOTECHNICAL REPORTS AS NOTED ON THE FOUNDATION PLAN. SOIL BEARING IS TO BE VERIFIED BY A GEOTECHNICAL ENGINEER PRIOR TO PLACEMENT OF FOUNDATIONS.
- 2.2. EARTH BOTTOMS OF EXCAVATIONS TO BE DRY UNDISTURBED SOIL, LEVEL AND FREE FROM ANY LOOSE OR ORGANIC MATERIALS.
- 2.3. PROTECT BOTTOMS OF EXCAVATIONS FROM SOFTENING. SHOULD SOFTENING OCCUR, REMOVE SOFTENED SOIL AND REPLACE WITH CONCRETE.
- 2.4. BACKFILL SIMULTANEOUSLY EACH SIDE OF WALL TO EQUALIZE SOIL PRESSURES. DO NOT EXCEED A GRADE DIFFERENCE OF 24" (600mm).
- 2.5. ALL FOUNDATIONS ARE TO BE INSTALLED ON UNDISTURBED SOIL CAPABLE OF WITHSTANDING THE FORCES SHOWN ON THE FOUNDATION PLAN.
- 2.6. EXTEND EXTERIOR FOUNDATIONS BELOW THE FROST LINE AS NOTED ON THE FOUNDATION PLAN. CARRY EXTERIOR FOOTINGS DOWN A MINIMUM OF 4'-0" (1200mm) BELOW FINISHED GRADE.
- 2.7. PROTECT FOUNDATION, INCLUDING ANY SLAB ON GRADE, FROM FROST ACTION DURING CONSTRUCTION.
- 2.8. BEFORE PLACING CONCRETE FOR FOOTINGS, OBTAIN APPROVAL FROM THE GEOTECHNICAL CONSULTANT. NOTIFY THE CONSULTANT IF ANY MODIFICATIONS ARE REQUIRED.
- 2.9. LOCATE ALL FOOTING CENTRALLY UNDER COLUMNS AND WALL UNLESS NOTED OTHERWISE.
- 2.10. STEP FOOTING DOWN OR LOWER FOOTING WHERE NECESSARY TO SUIT EXISTING AND/OR ADJACENT FOOTINGS, MECHANICAL & ELECTRICAL INSTALLATIONS, AND POOR SOIL CONDITIONS. THE LINE OF SLOPE ALONG STEPPED FOOTINGS AND BETWEEN ADJACENT FOOTINGS AND/OR EXCAVATIONS SHALL NOT EXCEEDED THE ANGLE OF REPOSE OF THE SITE SOIL CONDITIONS. STEP FOOTINGS 2'-0" (600mm) MAXIMUM AT A TIME.
- 2.11. AT LOCATIONS WHERE MECHANICAL SERVICES INTERFERE WITH FOOTINGS, ESTABLISH TOP OF FOOTING A MINIMUM OF 8" (200mm) BELOW INVERT ELEVATION. REFER TO MECHANICAL DRAWINGS FOR LOCATION OF SERVICES.

3. CAST IN PLACE CONCRETE

- 3.1. ALL CONCRETE WORK SHALL CONFORM TO CSA STANDARDS A23.1/A23.2-19.
- 3.2. CONCRETE COMPRESSIVE STRENGTH (f'c) AT 28 DAYS SHALL BE AS FOLLOWS UNLESS NOTE OTHERWISE:

FOOTINGS 20MPA

WALL & PIERS 25MPA

SLABS 30MPA
- 3.3. PROVIDE AIR-ENTRAINED CONCRETE TO ALL CONCRETE ELEMENTS EXPOSED TO WEATHER IN ACCORDANCE WITH THE REFERENCED STANDARD, INCLUDING FOUNDATION WALLS.
- 3.4. SIDE OF FOOTINGS SHALL BE FORMED UNLESS SPECIFICALLY SHOWN ON THE DRAWINGS TO BE POURED AGAINST EARTH. WHERE EARTH FORMS ARE PERMITTED, HAND TRIM BOTTOM AND SIDES AND REMOVE ALL LOOSE EARTH BEFORE PLACING CONCRETE.
- 3.5. PROVIDE SLEEVES IN SLABS OR WALLS FOR MECHANICAL PIPING AND AVOID OPENINGS WHERE POSSIBLE.
- 3.6. DETAIL, FABRICATE AND PLACE ALL REINFORCING IN CONFORMANCE WITH THE LATEST EDITION OF "MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCED CONCRETE STRUCTURE AND METRIC SUPPLEMENT". BY THE REINFORCING STEEL INSTITUTE.
- 3.7. ALL REINFORCING BAR SHALL BE DEFORMED BARS CONFORMING TO CAN/CSA G30.18-09 WITH A MINIMUM YIELD STRENGTH OF 400 MPA. WELDED FABRIC SHALL CONFORM TO CSA G30.5-M1983 WITH A MINIMUM YIELD STRENGTH OF 440MPA.
- 3.8. PROVIDE CONCRETE COVER TO REINFORCEMENT AS FOLLOWS:

SLAB ON GRADE - 1 1/2" (40mm) FROM TOP OF SLAB.

CONC. POURED AGAINST EARTH - 3" (75mm).

CONC. POURED. AGAINST FORMED SURFACES - 2" (50mm).
- 3.9. LAPS: MESH LAP 12" (300mm). ALL OTHER LAPS AND EMBEDMENT OF DOWELS TO BE 36X THE BAR DIAMETER OR 18" (450mm) MINIMUM, UNLESS NOTED OTHERWISE ON PLANS
- 3.10. PROVIDE DOWELS FROM ALL FOOTINGS TO REINFORCED CONCRETE WALLS, PIERS AND COLUMNS. SECURE COLUMN DOWELS IN CORRECT POSITION BEFORE PLACING CONCRETE.
- 3.11. GROUND UNDERSIDE OF STEEL COLUMNS AND BEAM BEARING PLATES WITH DRY PACK NON-SHRINKING GROUT TO MANUFACTURER'S SPECIFICATIONS.
- 3.12. CONTROL JOINT FILLER: SIKAFLEX OR EQUAL.
- 3.13. TAKE SAMPLE FOR CONCRETE TESTING, MIN. 2SETS PER POUR OR 100 CUBIC METERS.

4. SLAB ON GRADE

- 4.1. EXCAVATE AND REMOVE ALL FOREIGN MATERIAL AND SOFT SPOTS IN THE SUB GRADE AND PREPARE SUBGRADE AS PER THE GEOTECHNICAL REPORT
- 4.2. PLACE GRANULAR FILL TO COVER THE ENTIRE BUILDING AREA TO A MINIMUM DEPTH OF 8" (200mm). COMPACT FILL TO 100% S.P.D UNLESS SPECIFIED OTHERWISE IN THE GEOTECH REPORT, ON DRAWINGS OR EXCAVATION SPECIFICATIONS.
- 4.3. ALL GRANULAR FILL IS TO MEET THE SPECIFIED REQUIREMENTS AS RECOMMENDED IN THE GOEOTECHNICAL REPORT, AND THE SPECIFICATIONS.
- 4.4. ALL SLAB ON GRADE TO BE PLACED ON NATURAL UNDISTURBED SOIL OR COMPACTED GRANULAR FILL CAPABLE OF SUSTAINING A MINIMUM 1000PSF (48KN/m). ALL FILL TO BE COMPACTED TO A MINIMUM OF 100% SPD UNLESS NOTED OTHERWISE.
- 4.5. CONCRETE COMPRESSIVE STRENGTH AT 28 DAYS TO BE MINIMUM 30 MPA.
- 4.6. PROVIDE CONTROL JOINT DETAILS AROUND COLUMNS.
- 4.7. PLACE SLAB ON GRADE IN PANELS NOT EXCEEDING 9,000SF (900 m²) IN AREA. PROVIDE SAW-CUT CONTROL JOINTS AS SHOWN ON PLAN OR, AT 36X SLAB DEPTH, OR MAXIMUM 15'-0" SPACING (WHICHEVER IS LESS).

5. TEMPORARY WORK

- 5.1. PROVIDE ALL ADEQUATE SHORING FOR THE SAFE COMPLETION OF THE WORK. ASSUME RESPONSIBILITY TO DESIGN AS WELL AS TO ERECT, MAINTAIN AND EVENTUALLY REMOVE ALL THE TEMPORARY WORKS NECESSARY FOR CARRYING OUT OF THIS CONTRACT.
- 5.2. MAKE ADEQUATE PROVISIONS FOR CONSTRUCTION STRESSES AND FOR SUFFICIENT TEMPORARY BRACING TO KEEP THE STRUCTURE PLUMB AND IN THE TRUE ALIGNMENT AT ALL PHASES OF WORK UNTIL COMPLETION (INCLUDING MASONRY WALLS, FLOOR AND ROOF DECKS, ETC.). ANY BRACING MEMBERS SHOWN ON PLANS ARE THOSE REQUIRED FOR THE FINISHED STRUCTURE AND MAY NOT BE SUFFICIENT FOR ERECTION PURPOSES.
- 5.3. TRUCKS, CRANES, HOISTS OR ANY HEAVY EQUIPMENT OR MATERIALS ARE NOT ALLOWED TO ENTER ANY STRUCTURAL FLOOR OR ROOF AREA UNLESS SPECIFICALLY DESIGNED AND DESIGNATED FOR THIS PURPOSE.
- 5.4. THE CONTRACTOR SHALL HAVE THE SOLE RESPONSIBILITY FOR THE DESIGN, ERECTION, OPERATION, MAINTENANCE AND REMOVAL OF TEMPORARY SUPPORTS, TEMPORARY BRACINGS, SHORING SYSTEM, AND FACILITIES AND THE DESIGN AND EXECUTION OF CONSTRUCTION METHODS REQUIRED IN THEIR USE.
- 5.5. THE CONTRACTOR SHALL ENGAGE AND PAY FOR REGISTERED PROFESSIONAL ENGINEERING PERSONNEL SKILLED IN THE APPROPRIATE DISCIPLINES TO PERFORM THOSE FUNCTIONS REFERRED TO IN PARAGRAPH ABOVE OR AND IN ALL CASES WHERE SUCH TEMPORARY SUPPORTS, STRUCTURES, AND FACILITIES AND THEIR METHOD OF CONSTRUCTION ARE OF SUCH A NATURE THAT PROFESSIONAL ENGINEERING SKILL IS REQUIRED TO PRODUCE SAFE AND SATISFACTORY RESULTS.

6. SHOP DRAWINGS

- 6.1. SUBMIT SHOP DRAWINGS FOR ALL STRUCTURAL WORK AND ANY WORK AFFECTING THE STRUCTURE TO ARCHITECT. OBTAIN CONSULTANT APPROVAL BEFORE PROCEEDING WITH FABRICATION.

ITEM	NOTES
PRE-ENG ROOF TRUSSES DRAWINGS	REQUIRED SUBMITTAL, STAMPED BY P.ENG
EQUIPMENT, RACKING, LIFTS	REQUIRED SUBMITTAL

7. ROUGH CARPENTRY:

- 7.1. ALL WOOD DESIGN AND CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH CAN/CSA 086.1. LATEST EDITION.
- 7.2. UNLESS OTHERWISE NOTED ON THE DRAWINGS, ALL WOOD SHALL BE SPF NO 2 GRADE OF GREATER.
- 7.3. EXTERIOR WALL SHEATHING SHALL BE A MINIMUM OF 7/16" (11mm) OSB OR FIR PLYWOOD UNLESS NOTED OTHERWISE ON THE DRAWINGS.
- 7.4. CUT FRAMING MEMBERS ACCURATELY TO SIZE, FIT CLOSE AND TIGHT, SECURELY ANCHOR BY NAILING OR SPIKING AND LEAVE PLUMB AND LEVEL.
- 7.5. ALL WOOD IN CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESSURE TREATED IN ACCORDANCE WITH CSA080 SERIES-15 (R2020), OR BE PROTECT BY VAPOUR BARRIER.
- 7.6. INSTALL PLYWOOD SHEATHING WITH SURFACE GRAIN AT RIGHT ANGLES TO THE ROOF FRAMING AND WITH JOINT LIGHTED BUTTED, USING H CLIPS.
- 7.7. ALL JOINTS SHALL HAVE BRIDGING OVER INTERIOR BEARING WALLS AND BEAMS.
- 7.8. ROOF TRUSSES SHALL BE DESIGN AND STAMPED BY A P.ENG. SHOP DRAWINGS SHALL BE SUBMITTED AND APPROVED PRIOR TO CONSTRUCTION.
- 7.9. ALL INSTALLS, INCLUDING OF THE ROOF TRUSSES AND ANY TEMPORARY SHORING IS BY THE GENERAL CONTRACTOR.
- 7.10. HOLES DRILLED IN ROOF, FLOOR OR CEILING FRAMING MEMBERS SHALL NOT BE LARGER THAN 1/4 DEPTH OF THE MEMBER AND SHALL NOTE BE LOCATED LESS THAN 2" (50mm) FROM ANY EDGE.
- 7.11. WALL STUDS SHALL NOT BE NOTCHED, DRILLED, OR OTHERWISE DAMAGED TO THAN THE UNDAMAGED PORTION OF THE STUD IS LESS THAN 2/3 THE DEPTH OF THE STUD IF THE STUD IS LOAD BEARING OR 1 1/2" (40mm) IF THE STUD IS NON LOAD-BEARING, UNLESS THE WEAKENED STUDS ARE SUITABLY REINFORCED.
- 7.12. TOP PLATES IN WALLS SHALL NOT BE NOTCHED, DRILLED MORE THAN 2" (50mm) OR OTHERWISE WEAKENED UNLESS SUITABLE REINFORCING IS INSTALLED.
- 7.13. BEAMS SHALL HAVE AN EVEN AND LEVEL BEARING AND SHALL NOT HAVE LESS THAN 3 1/2" (89mm) BEARING AT END SUPPORTS UNLESS NOTED OTHERWISE ON THE PLANS.
- 7.18. FLOOR JOISTS SHALL HAVE A MINIMUM OF 1 1/2" (38mm) BEARING
- 7.19. BUILT UP WOOD BEAMS.

7.19.1. WHERE 1 1/2" (38mm) MEMBER ARE LAID ON EDGE TO FORM A BUILT UP BEAM, INDIVIDUAL MEMBERS SHALL BE NAILED TOGETHER WITH 1 ROW OF 16d NAILS FOR EVERY 2" (50mm) OF BEAM DEPTH. SPACED NOT MORE THAN 16" (400mm) APART. NO FEWER THAN ROWS OF NAILS IS PERMITTED.

7.19.2. INSTALL NAILS 4" -6" (100mm-150mm)FROM ENDS OF EACH PLY.

7.19.3. IN LIEU OF NAILS, BUILT UP BEAMS MAY BE THROUGH BOLTED WITH 1/2"Ø (12.7mm) BOLTS EQUIPPED WITH WASHERS AND SPACED NOT MORE THAN 24" (600mm) CENTER TO CENTER, WITH END BOLTS LOCATED NOT MORE THAN 24" (600mm) FROM THE END OF MEMBERS

DESIGN NOTES

1. GENERAL NOTES:

1.1. EXAMINE ALL DRAWINGS, SPECIFICATIONS AND CONTRACT DOCUMENTS TO OBTAIN ALL APPLICABLE LOADS. REPORT AND DISCREPANCIES TO THE CONSULTANT.

1.2. UNLESS NOTED OTHERWISE, THE UNIT LOADS INDICATED ARE UNFACTORED. MEMBER FORCES GIVEN ON DRAWINGS ARE FACTORED.

1.3. THE STRUCTURE HAS BEEN DESIGN FOR WIND AND SEISMIC FORCES IN ACCORDANCE WITH THE REQUIREMENT OF THE LATEST EDITION OF THE ONTARIO BUILDING CODE.
2. CLIMATIC DESIGN LOADS

2.1. LOCATION: SIMCOE, ONTARIO

2.2. BUILDING IMPORTANCE CATEGORY: NORMAL

2.3. SNOW LOADING (OBC 4.1.5.3)

IMPORTANCE FACTOR FOR ULS Is 1.0

IMPORTANCE FACTOR FOR SLS Is 0.9

GROUND SNOW LOAD Ss 1.30 KPA

1/50 ASSOCIATED RAIN LOAD Sr 0.4 KPA

BASIC ROOF SNOW LOAD FACTOR Cb 0.8

SNOW LOAD, DISTRIBUTION AND FACTORS APPLIED PER OBC AND NBCC COMMENTARY 'G'.

2.4. WIND LOADS

WIND EXPOSURE OPEN

WIND CATEGORY 2

IMPORTANCE FACTOR FOR ULS Iw 1.0

IMPORTANCE FACTOR FOR SLS Iw 0.75

REFERENCE WIND PRESSURE Qz/50 0.45 KPA

WIND EXPOSURE COEFFICIENT Ce 0.9

WIND LOAD APPLIED PER OBC AND NBCC COMMENTARY FIGURE 1-7.

2.5. SEISMIC LOADS

LATERAL LOAD RESISTANCE SYSTEM CONVECTIONAL CONSTRUCTION WOOD FRAMED SHEAR WALLS

IMPORTANCE FACTOR Is 1.0

SITE CLASSIFICATION D

SEISMIC CATEGORY SC2

SEISMIC PARAMETERS

S(0.2) 0.280 S(5.0) 0.071

S(0.5) 0.259 S(10.0) 0.018

S(1.0) 0.150 PGA 0.17

S(2.0) 0.071 PGV 0.162

2.6. SEISMIC LOAD APPLIED PER OBC AND NBCC COMMENTARY 'J' WITH THE EQUIVALENT STATIC FORCE PROCEDURE. FOR WHICH CAUSES THE HIGHEST LOAD.

2.7. FOR ELEMENTS OF STRUCTURES, NON-STRUCTURAL COMPONENTS AND EQUIPMENT, IS TO BE PROVIDED PER OBC 4.1.8.18.
- FOR BUILDING IS SEISMIC CATEGORY SC1 OR SC2, OTHER THAN POST DISTATER BUILDINGS. THE REQUIREMENTS OF 4.1.8.18 (1) NEED NOT APPLY FOR CATEGORIES 6 THROUGH 22 OF TABLE 4.1.8.18
- | ITEM | ONTARIO BUILDING CODE 2024 DATA MATRIX PARTS 3 & 9 | | | | | | OBC 2024 REFERENCE | | | | |
|---|---|---|--------------------|----------------------|-----------------------------------|------------------------------------|----------------------|------------------------------|-------------------------------|---------------------------|--|
| 1 | Project Description | New | | | | Part 11 | ►Part 3 | Part 9 | | | |
| | | ► Addition
Renovation
Change of Use | | | | 11.1 to 11.4 | Div. A 1.3.3.2. | Div. A. 1.3.3.3. | | | |
| 2 | Major Occupancy(s) | Group F Division 2 - Repair garage | | | | | A-3.1.2.1.(1) | 9.10.2. | | | |
| 3 | Building Area (m²) | New Building 152 m² | | | | Total 602 m² | Div. A 1.4.1.2. | Div. A 1.4.1.2. | | | |
| 4 | Gross Area (m²) | Existing 450 m² | New 152 m² | | | Total 602 m² | Div. A 1.4.1.2. | Div. A 1.4.1.2. | | | |
| 5 | Number of Storeys | Above Grade 1 | | | | Below Grade 0 | 3.2.1.1. | | | | |
| 6 | Height of Building (m) | 4.2 m | | | | 14 ft | Div. A 1.3.3.2. | 9.10.4. | | | |
| 7 | Facing 1 street/no fire route | | | | | | 3.2.2.10. & 3.2.5.4. | 9.10.20. | | | |
| 8 | Building Classification | Group F, Division 2 3.2.2.80 | | | | | 3.2.2.20.-3.2.2.92. | 9.10.2. | | | |
| 9 | Sprinkler System Proposed | Entire building | | | | | 3.2.2.20.-3.2.2.92. | 9.10.8.2. | | | |
| | | Basement only | | | | | 3.2.1.5. | 9.10.9.4. | | | |
| | | In lieu of roof rating | | | | | 3.2.2.17. | 9.10.8.11. | | | |
| Seismic Bracing - See NFPA 13-04 9.3.8. & OBC 4.1.8.17. | | ► Not required | | | | | | | | | |
| 10 | Standpipe required | ► No | | | | Yes | 3.2.5.8. | 9.10.1.3.(9) | | | |
| 11 | Fire Alarm required | ► No | | | | Yes | 3.2.4. | 9.10.18.2. | | | |
| 12 | Water Services / Supply is adequate | No | | | | ► Yes | 3.2.5.7. | 9.31.3.1. | | | |
| 13 | High Building | ► No | | | | Yes | 3.2.6. | N/a | | | |
| 14 | Permitted Construction | Combustible | Non-Combustible | | | ► Both | 3.2.2.20.-3.2.2.92. | 9.10.6. | | | |
| | Actual Construction | Combustible | Non-Combustible | | | ► Both | | | | | |
| 15 | Mezzanine Area (m²) | n/a m² | | | | | 3.2.1.1.(3)-(8) | 9.10.4.1. | | | |
| 16 | Occupancy load based on: | m²/person | | ► Design of building | | Signage to be posted | 3.1.17. | 9.9.1.3. | | | |
| | | Main Floor | F2 Major Occupancy | 5 Occupant load | | | | | | | |
| 17 | Barrier-Free Design | ► No | | | | Yes | 3.8. | 9.5.2. | | | |
| 18 | Plumbing fixtures | m²/person | | ► Design of building | | | 3.7.4. | 9.31. | | | |
| | Main Floor | WC's required | | WC's provided | | 1 Existing provided | | | | | |
| | Universal Bathroom | ► No | | Yes | | | | | | | |
| 19 | Hazardous substances | ► No | | | | Yes | 3.3.1.2.:3.3.1.19. | 9.10.1.3.(4) | | | |
| 20 | Required Fire Resistance Rating (FRR) | Horizontal Assemblies | | | Listed Design No. or Description | | 3.2.2.20.-3.2.2.92. | 9.10.8. | | | |
| | | Floors | MIN 0.75 | Hours | n/a | | 3.1.3.1. | 9.10.9. | | | |
| | | Ceilings | n/a | Hours | | | 3.2.1.4. | | | | |
| | | Mezzanine | MIN 0.75 | Hours | n/a | | 3.2.8. | | | | |
| | | Vertical Assemblies between occupancies | | | | | | | | | |
| | | Partition | n/a | Hours | | | | | | | |
| | | FRR of supporting members | | | | | | | | | |
| | | Floors | MIN 0.75 | Hours | n/a | | | | | | |
| 21 | Required Sound Resistance Rating (STC) | Roofs | n/a | Hours | | | | | | | |
| | | Mezzanine | MIN 0.75 | Hours | n/a | | | | | | |
| | | Assembly | Required | Proposed | Listed Design / ULC | | 3.3.4.6. | 9.11.1.1. | | | |
| | | Ceiling | n/a | | | | 5.8. | | | | |
| | | Walls | n/a | | | | | | | | |
| | | | | | | | | | | | |
| 22 | SPATIAL SEPARATION - CONSTRUCTION OF EXTERIOR WALLS | | | | | | | | | | |
| | WALL | EBF AREA | LIMITING DISTANCE | L/H OR H/L | MAXIMUM % OF UNPROTECTED OPENINGS | PROPOSED % OF UNPROTECTED OPENINGS | FRR (HOURS) | LISTED DESIGN OR DESCRIPTION | TYPE OF CONSTRUCTION REQUIRED | TYPE OF CLADDING REQUIRED | |
| | North | 78 m² | 14.7 m | n/a | 100% | 55% (43 m²) | n/a | n/a | No restriction | No restriction | |
| | South | n/a | n/a | n/a | n/a | n/a | n/a | n/a | n/a | n/a | |
| | West | 157 m² | 10.2 m | n/a | 28% | 34% (54 m²) | 1 | n/a | No restriction | Noncombustible cladding | |
| | East | 157 m² | 17.7 m | n/a | 100% | 8.7% (4.2 m²) | n/a | n/a | No restriction | No restriction | |
- General Note:

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DO NOT SCALE DRAWINGS

ISSUED FOR SPA
JULY 17, 2025

Client:



4926 Highway 59 South,
Box 272 Courtland, ON

Web: reid-and-deleye.com
Office: 519.688.2600


REVISIONS

0	17/07/2025	Issued for SPA		JL
Rev.:	Date: dd/mm/yyyy	Description:		By:

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49 North Street East, Tillsonburg, ON
email: info@balanengineering.com
Web: balanengineering.com
Office: 519.688.2525

Project Name:

PROPOSED DEVELOPMENT
FOR EXPERT AUTO

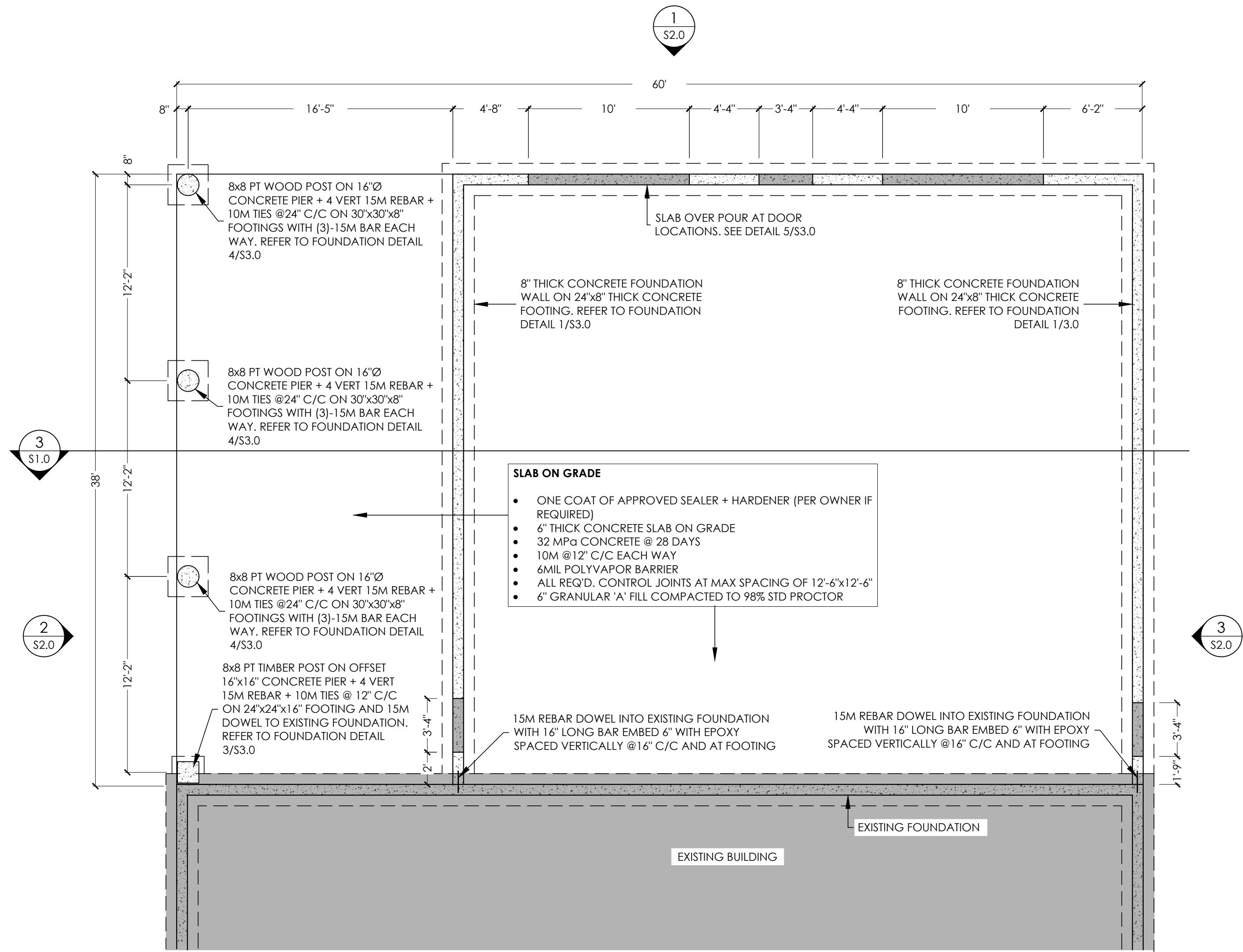
7 Grigg Drive,
Simcoe, ON

Drawings:

GENERAL NOTES & OBC MATRIX

Drawn By: J. LOPEZ
Approved By: N. BALAN
Date: July 17, 2025
Job Number: 25-0321
Sheet No.:
Revision No.:

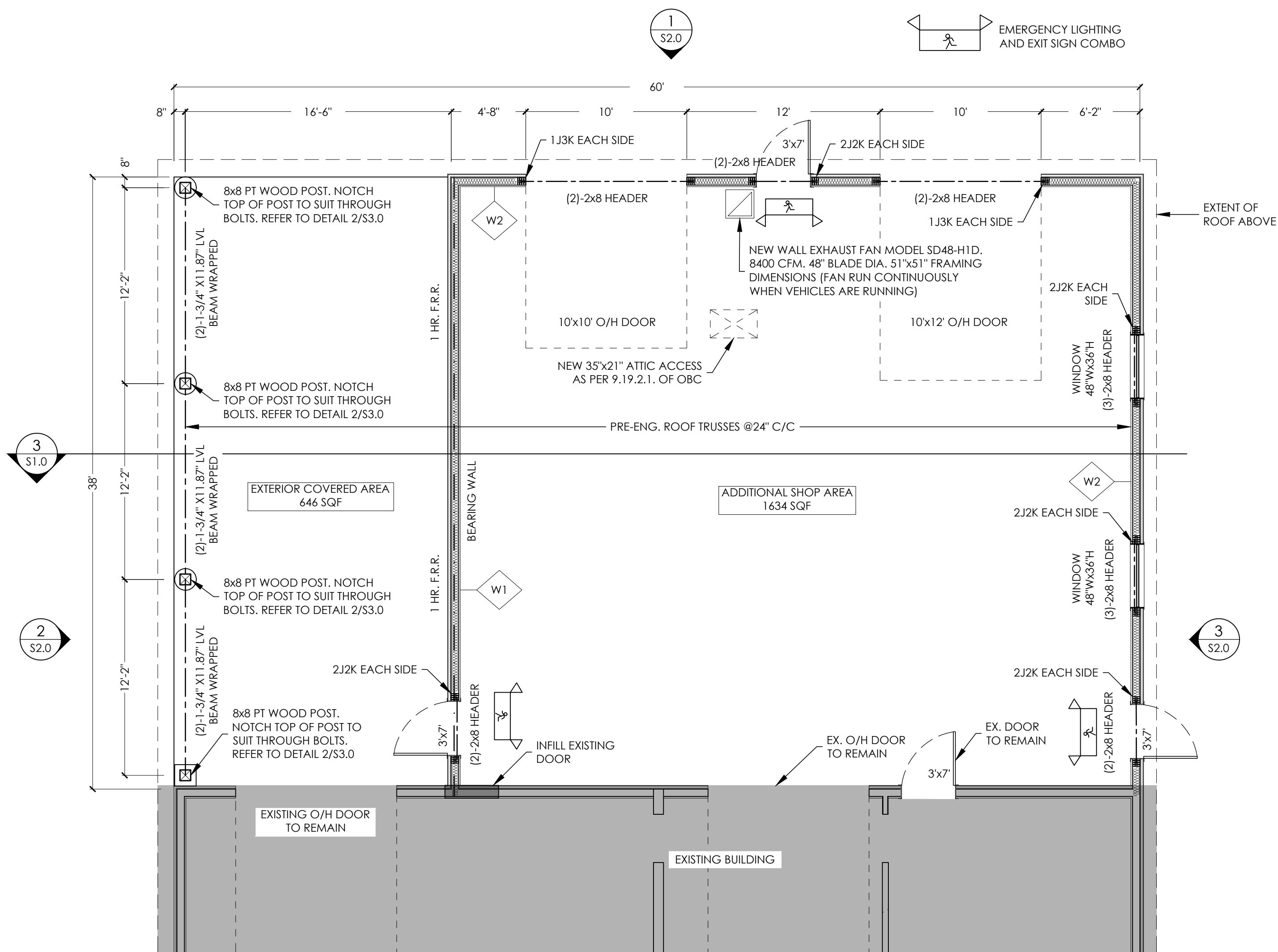
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1
S1.0

FOUNDATION PLAN

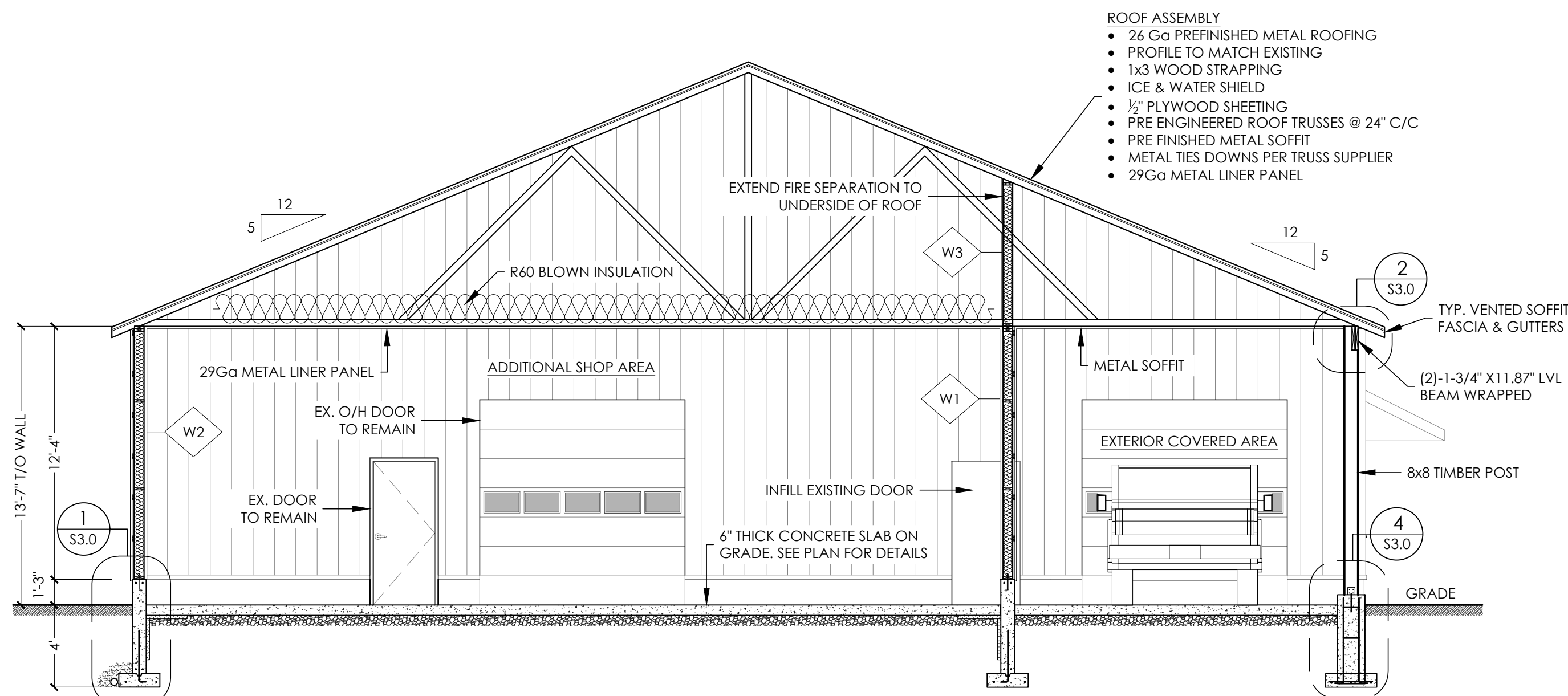
SCALE: 3/16" = 1'-0"



2
S1.0

MAIN FLOOR FRAMING PLAN

SCALE: 3/16" = 1'-0"



3
S1.0

BUILDING SECTION

SCALE: 3/16" = 1'-0"

CONTRACTOR NOTES:

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- THE FOUNDATION DESIGN ASSUMES A SOIL BEARING OF 3000 PSF (145 KPA) AT SERVICEABILITY LIMIT STATES (SLS) THROUGHOUT.
- FILED REVIEW AND VERIFICATION OF NATIVE SOILS AND BACKFILLING BY GEOTECH IS REQUIRED DURING CONSTRUCTION.
- EXISTING FILL SHALL BE REMOVED FROM NEW FOUNDATION AREAS.
- UNDERSIDE OF FOUNDATION FOOTINGS ON THE PERIMETER OF THE BUILDING AND SUBJECT TO FROST ACTION ARE TO BE A MINIMUM OF 4'-0" (1200mm) BELOW GRADE.
- STEP CONCRETE FOOTINGS AS REQUIRED. SEE DETAIL.

WALL SCHEDULE

- W1 1 HR F.R.R. EXTERIOR**
- 26ga PRE-FINISHED METAL CLADDING, PROFILE & COLOR TO MATCH EXISTING
 - 1X3 HORIZONTAL WOOD STRAPPING @24" C/C
 - 7/16" OSB SHEATHING ON EXTERIOR WALLS
 - 2x6 WOOD STUDS @16" C/C WITH 2 ROWS OF SOLID BLOCKING
 - 5 1/2" (R19) BATT INSULATION
 - 6MIL VAPOUR BARRIER
 - 5/8" TYPE X GYPSUM BOARD ON INSIDE
 - 29ga METAL LINER PANEL

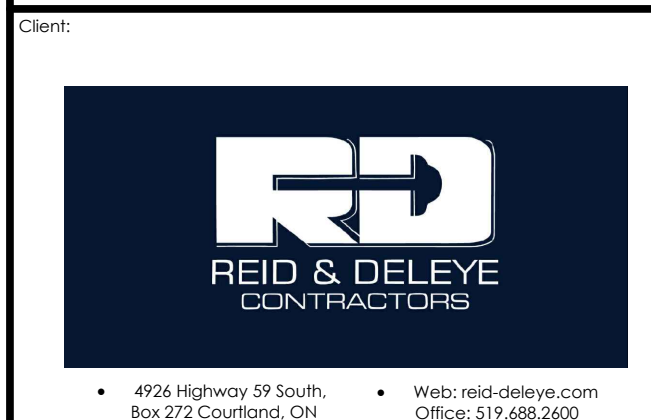
- W2 EXTERIOR WALLS**
- 26ga PRE-FINISHED METAL CLADDING, PROFILE & COLOR TO MATCH EXISTING
 - 1X3 HORIZONTAL WOOD STRAPPING @24" C/C
 - 7/16" OSB SHEATHING ON EXTERIOR WALLS
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 - 6MIL VAPOUR BARRIER
 - 29ga METAL LINER PANEL

- W3 ATTIC FIREBLOCK**
- 7/16" OSB SHEATHING
 - 2x6 WOOD STUDS @16" C/C
 - 5 1/2" (R19) BATT INSULATION
 - 6MIL VAPOUR BARRIER
 - 5/8" TYPE X GYPSUM BOARD ON INSIDE

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DO NOT SCALE DRAWINGS

ISSUED FOR SPA
JULY 17, 2025



REVISIONS

Rev.	Date	Description	By
0	17/07/2025	Issued for SPA	JL

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Project Name:

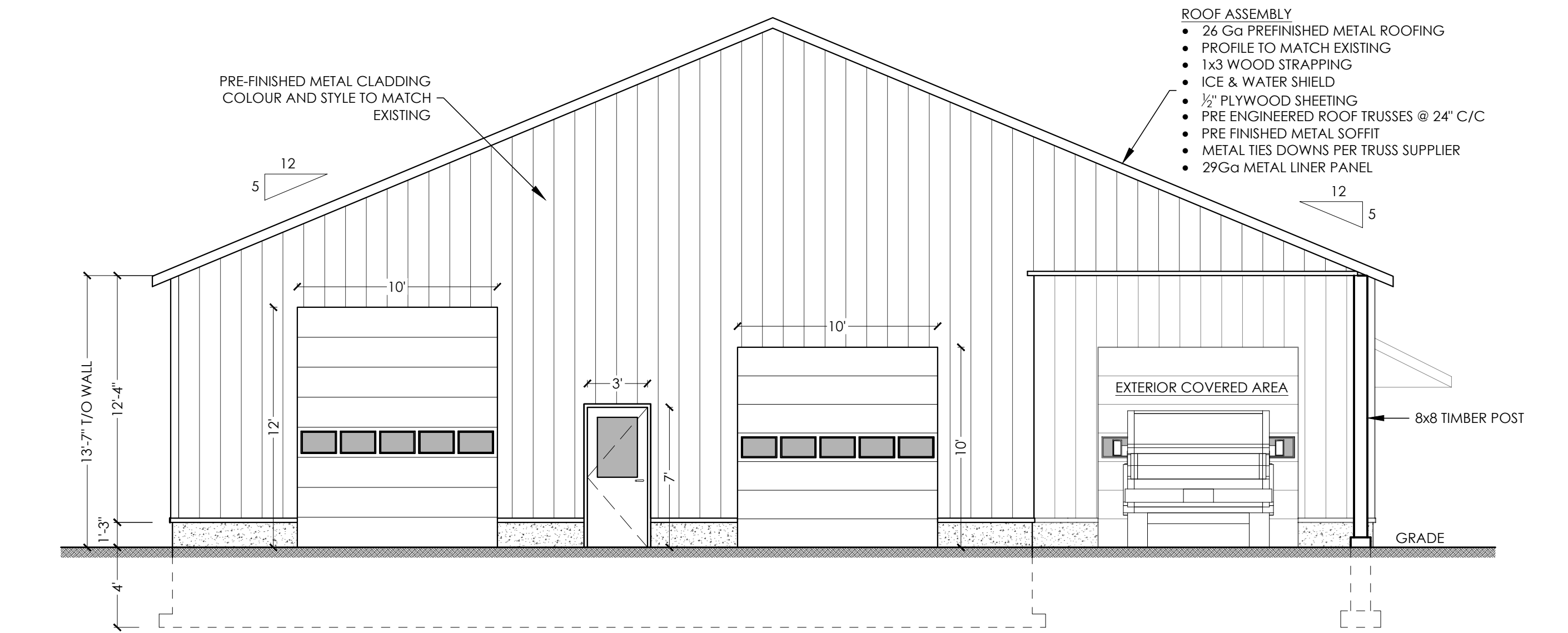
PROPOSED DEVELOPMENT
FOR EXPERT AUTO

7 Grigg Drive,
Simcoe, ON

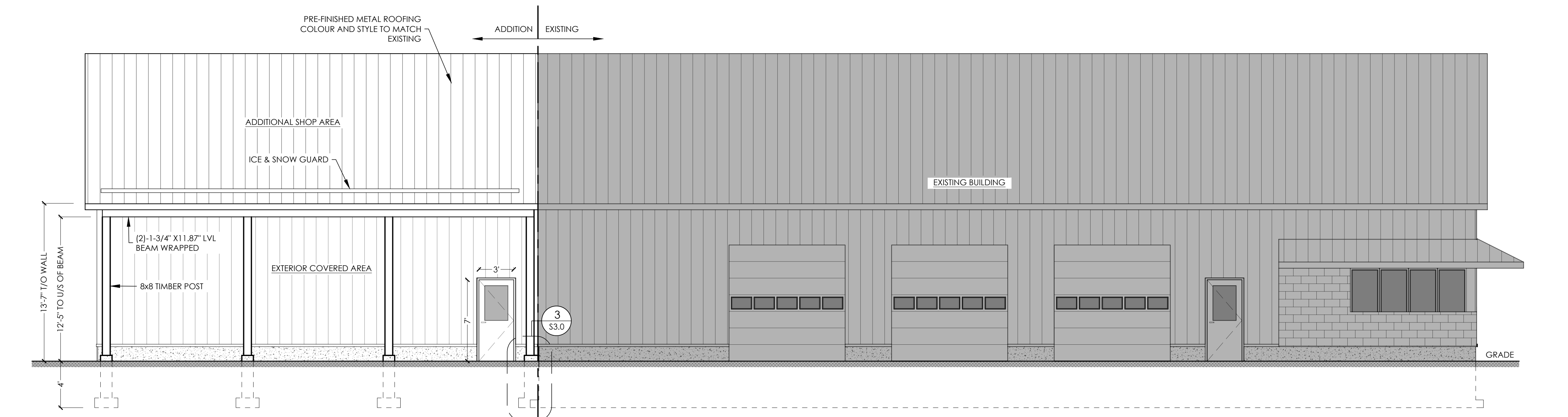
Drawing:

FRAMING PLAN & FOUNDATION PLAN

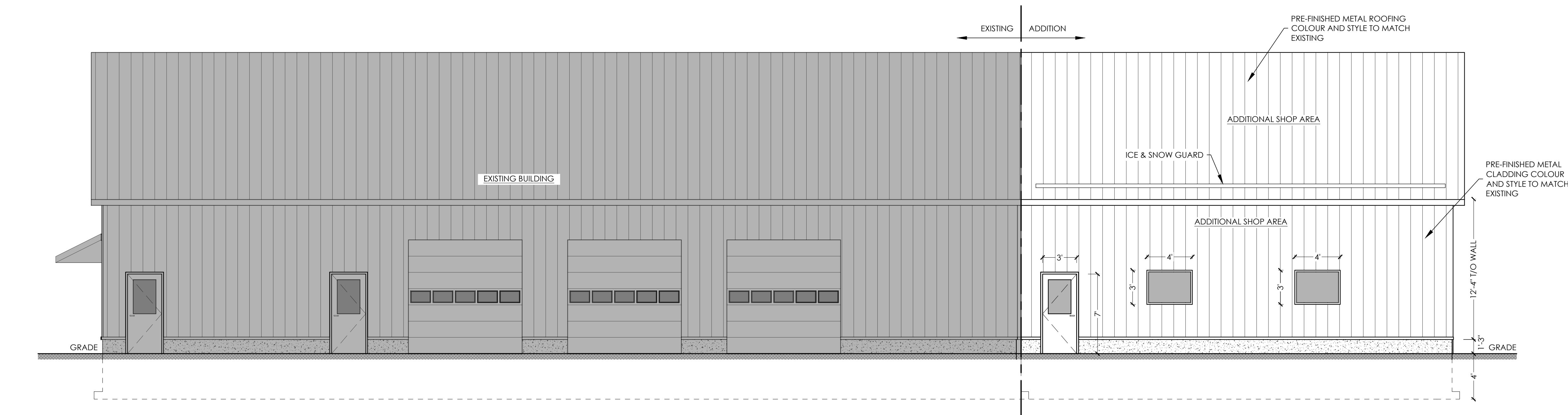
Drawn By: J. LOPEZ	Job Number: 25-0321
Approved By: N. BALAN	Sheet No.: S1.0
Date: July 17, 2025	Revision No.: 0



1 NORTH ELEVATION
SCALE: 3/16" = 1'-0"



2 WEST ELEVATION
SCALE: 3/16" = 1'-0"



3 EAST ELEVATION
SCALE: 3/16" = 1'-0"

CONTRACTOR NOTES:

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	W2 EXTERIOR WALLS
	- 26ga PRE-FINISHED METAL CLADDING, PROFILE & COLOR TO MATCH EXISTING
	- 1x3 HORIZONTAL WOOD STRAPPING @24" C/C
	- 7/16" OSB SHEATHING ON EXTERIOR WALLS
	- 2x6 WOOD STUDS @16" C/C WITH 2 ROWS OF SOLID BLOCKING
	W3 ATTIC FIREBLOCK
	- 7/16" OSB SHEATHING
	- 2x6 WOOD STUDS @16" C/C
	- 5 1/2" (R19) BATT INSULATION
	- 6MIL VAPOUR BARRIER
	- 1/2" TYPE X GYPSUM BOARD ON INSIDE

General Note:

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DO NOT SCALE DRAWINGS

ISSUED FOR SPA
JULY 17, 2025

Client:

REID & DELEYE
CONTRACTORS

• 4724 Highway 59 South, Box 272 Courtland, ON • Web: reid-deleye.com Office: 519.688.2600

REVISIONS			
Rev.	Date	Description	By
0	17/07/2025	Issued for SPA	JL

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ENGINEERING CORP.

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email: info@balanengineering.com
Web: balanengineering.com
Office: 519.688.2525

Project Name:

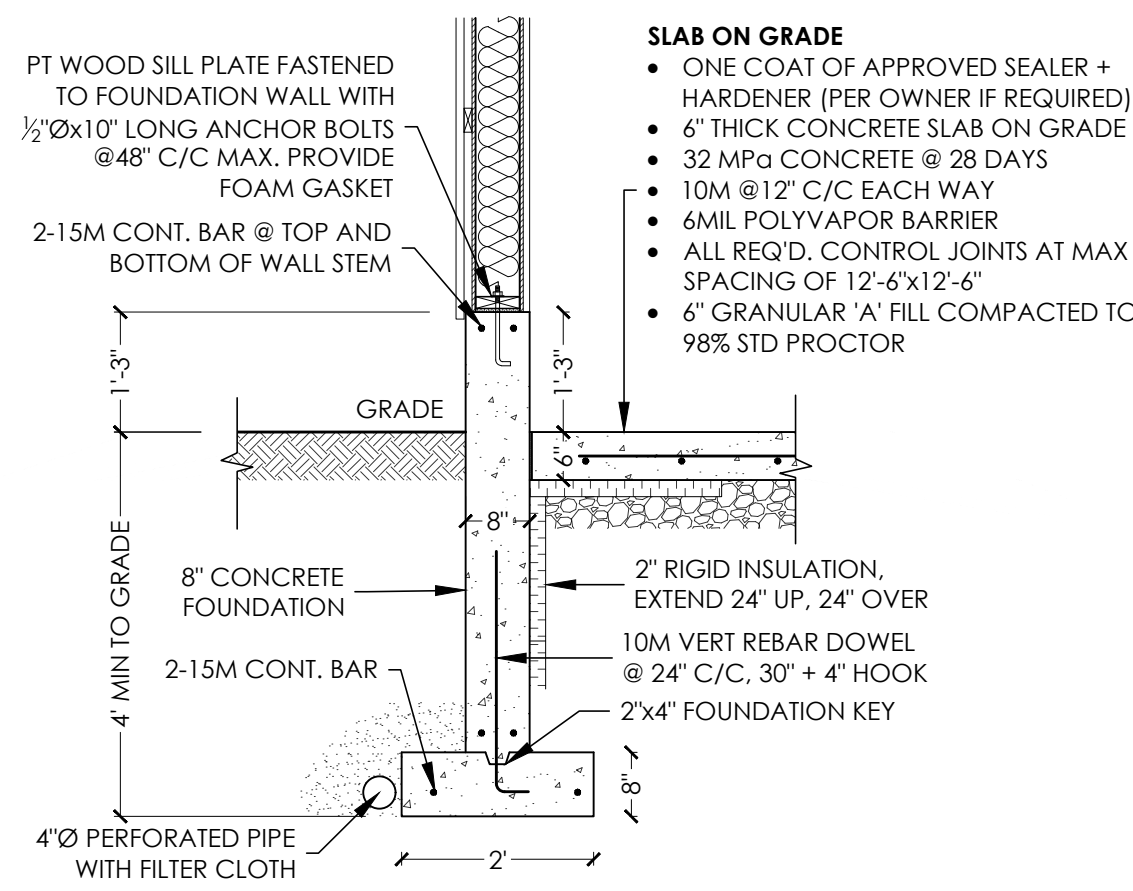
PROPOSED DEVELOPMENT FOR EXPERT AUTO

7 Grigg Drive, Simcoe, ON

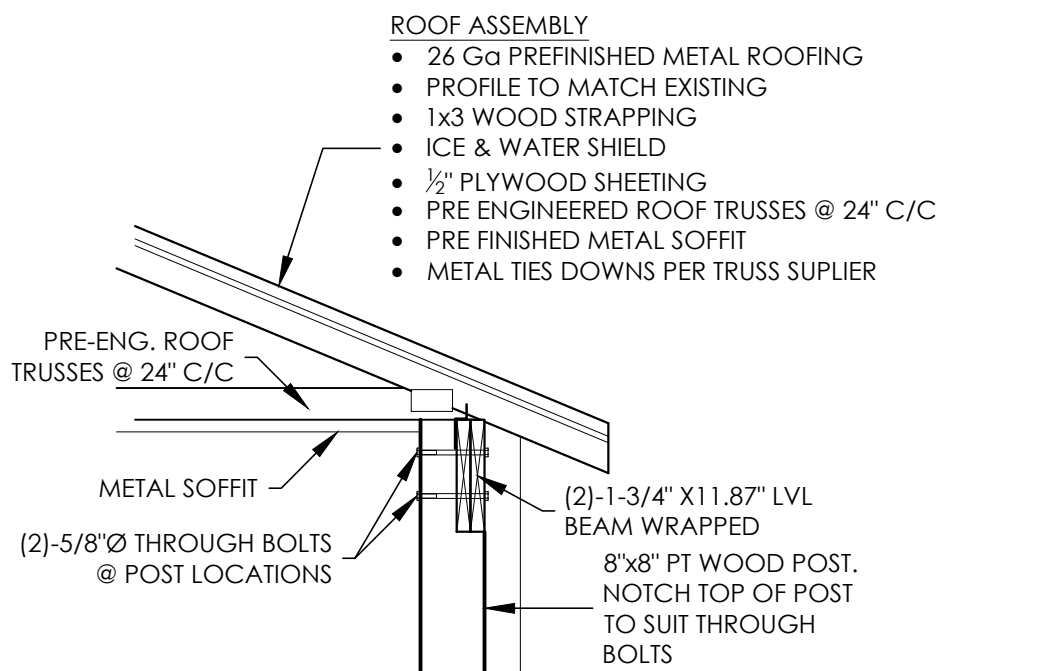
Drawings:

BUILDING ELEVATIONS

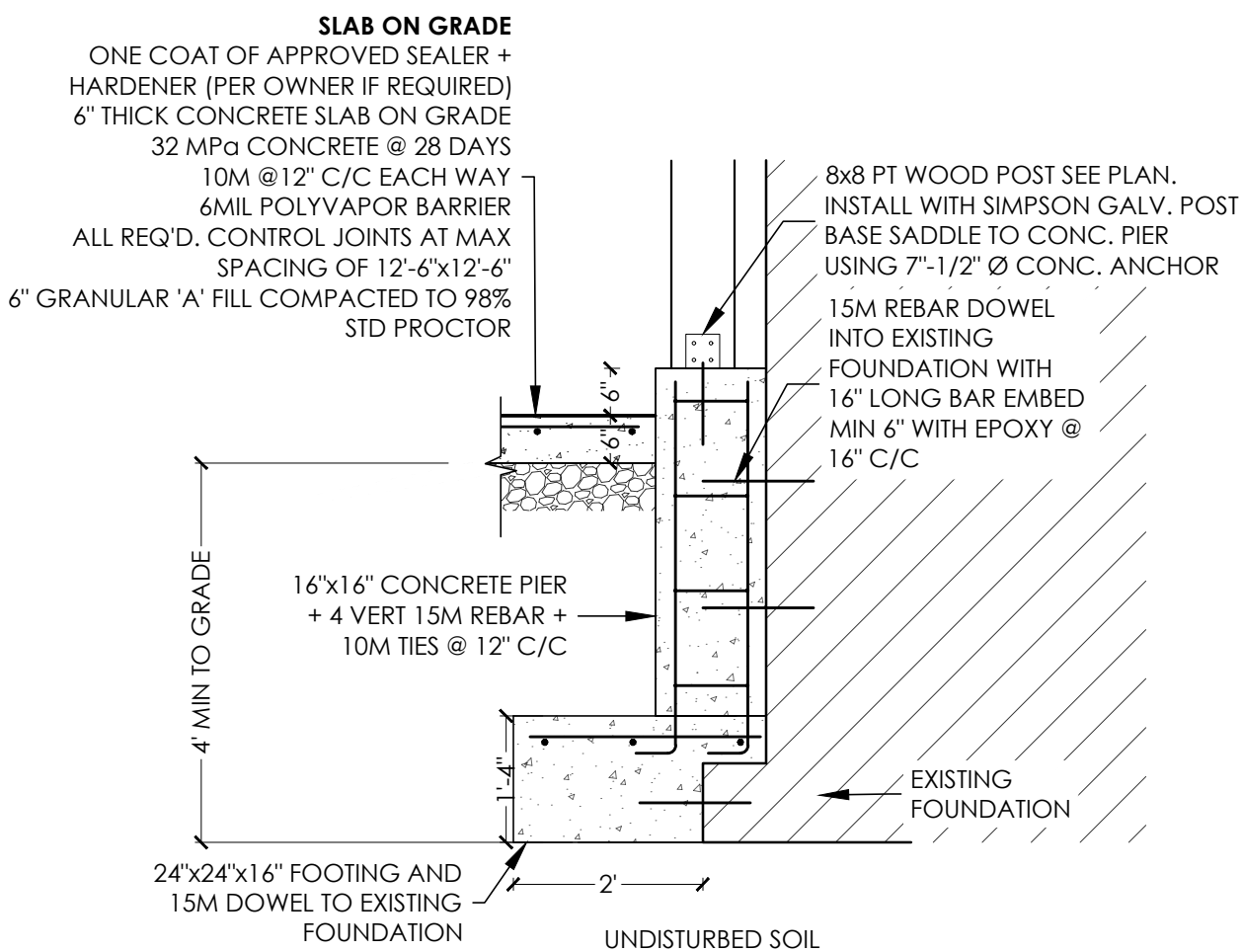
Drawn By:	J. LOPEZ	Job Number:	25-0321
Approved By:	N. BALAN	Sheet No.:	Revision No.:
Date:	July 17, 2025	Scale:	As Noted
		S2.0	0



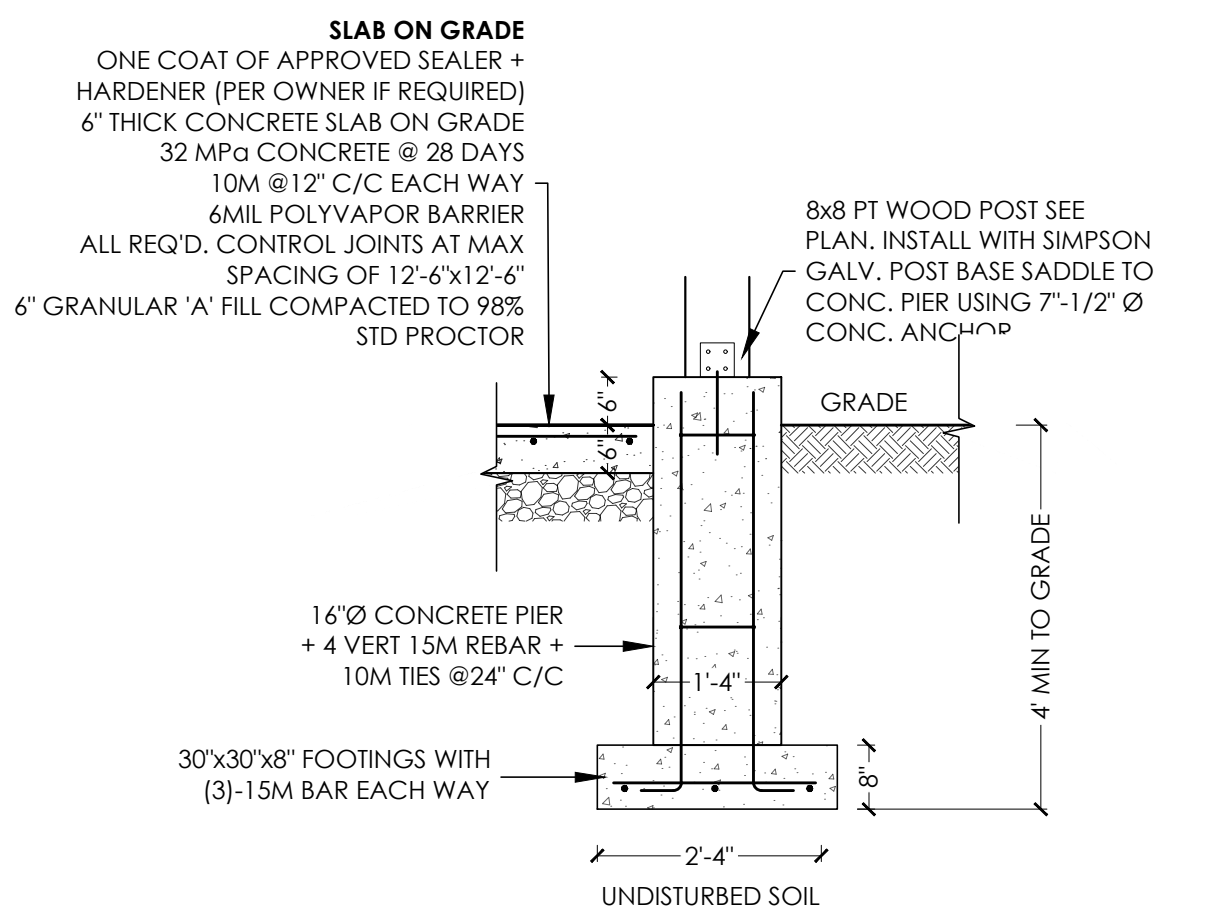
1 FOUNDATION WALL AND FOOTING DETAIL SCALE: 1/2" = 1'-0"



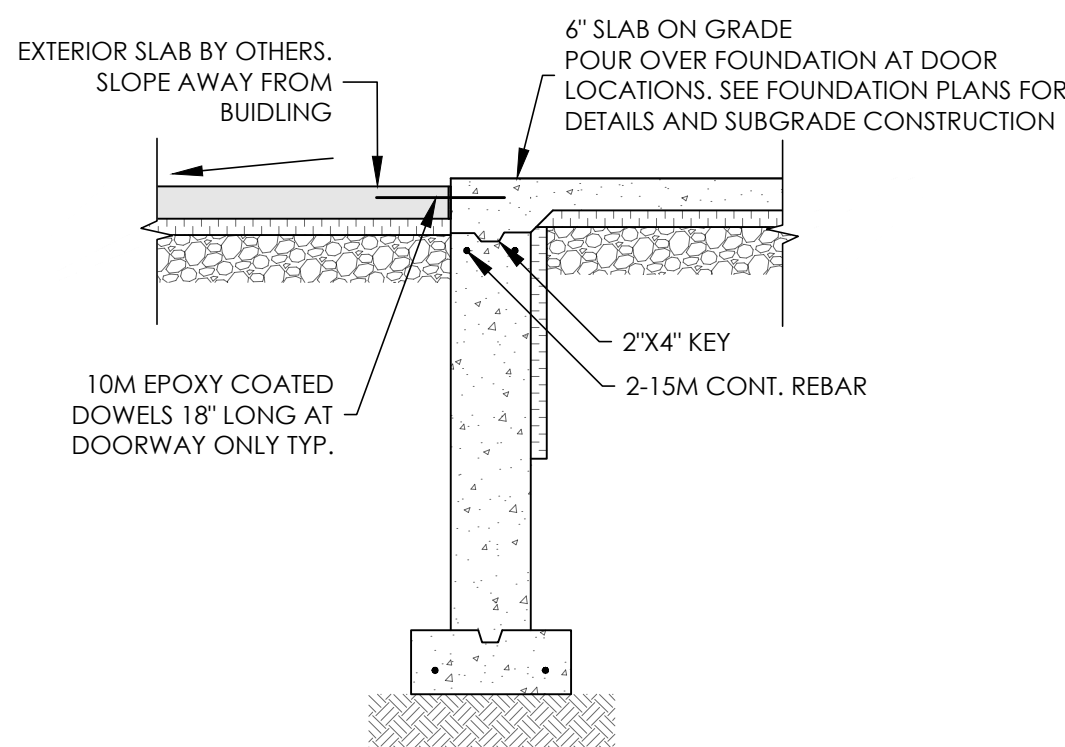
2 BEAM/COLUMN CONNECTION DETAIL SCALE: 1/2" = 1'-0"



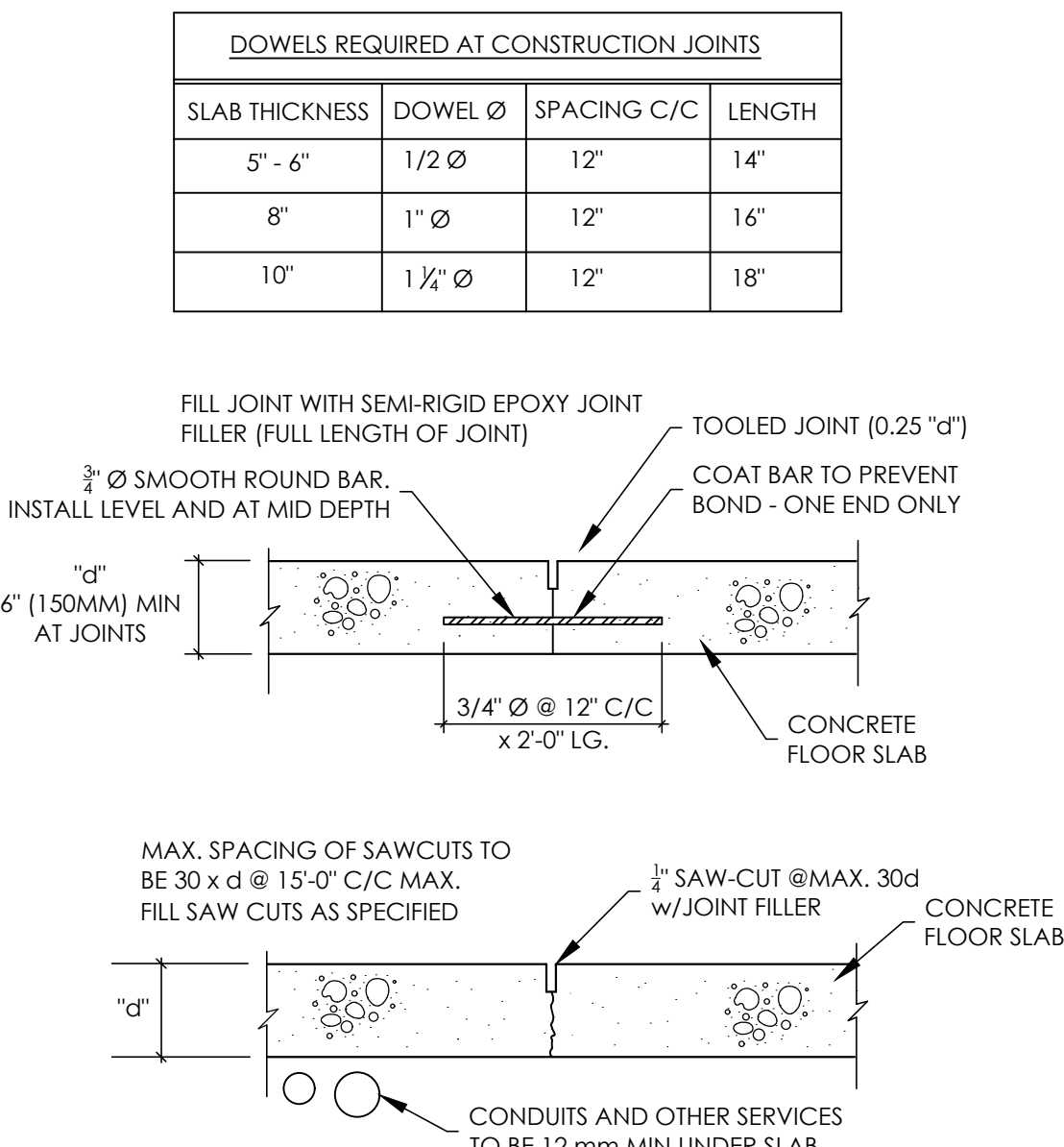
3 OFFSET CONCRETE PIER DETAIL SCALE: 1/2" = 1'-0"



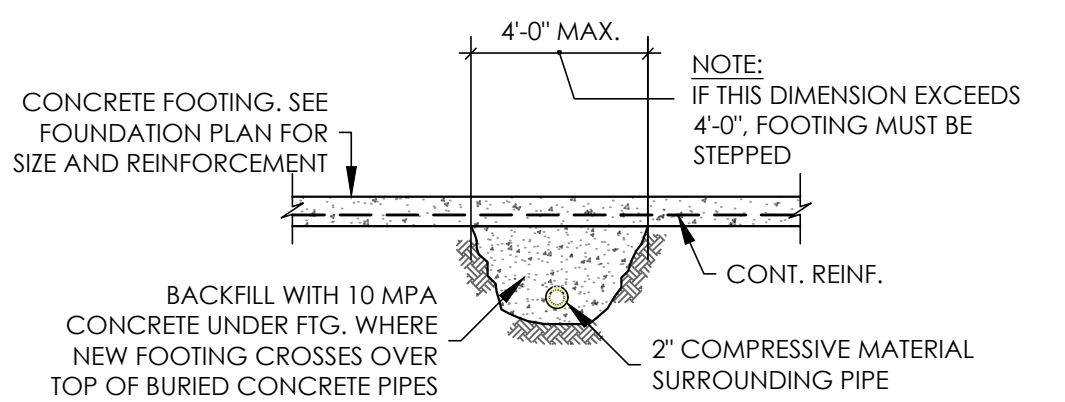
4 CONCRETE PIER DETAIL SCALE: 1/2" = 1'-0"



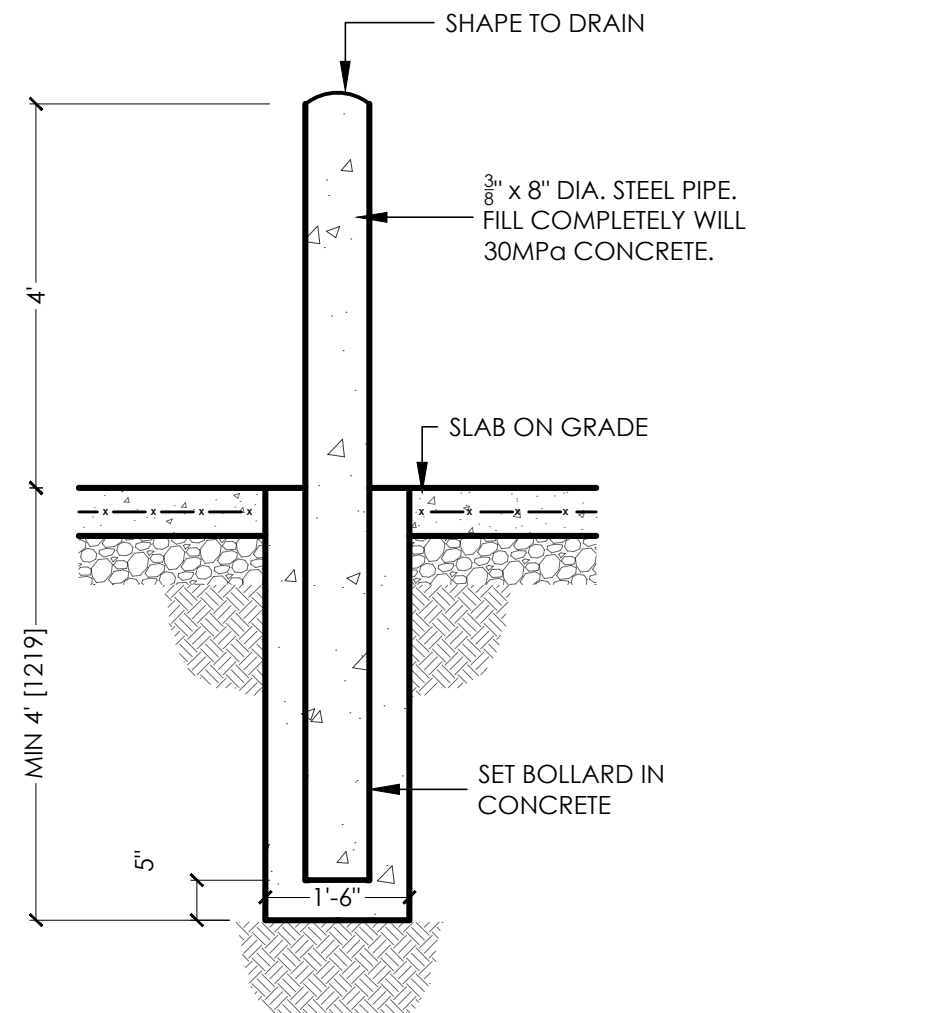
5 POUR OVER FOUNDATION AT DOOR LOCATIONS SCALE: 1/2" = 1'-0"



6 TYPICAL CONCRETE CONTROL JOINT SCALE: 1/2" = 1'-0"



7 PIPES CROSSING UNDER CONTINUOUS WALL FOOTINGS DETAIL SCALE: NTS



8 TYPICAL BOLLARD DETAIL SCALE: 1/2" = 1'-0"

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Web: balanengineering.com
Office: 519.688.2525

Project Name:

PROPOSED DEVELOPMENT FOR EXPERT AUTO

7 Grigg Drive, Simcoe, ON

Drawings:

DETAILS

Drawn By: J. LOPEZ Job Number: 25-0321

Approved By: N. BALAN Sheet No.: Revision No.:

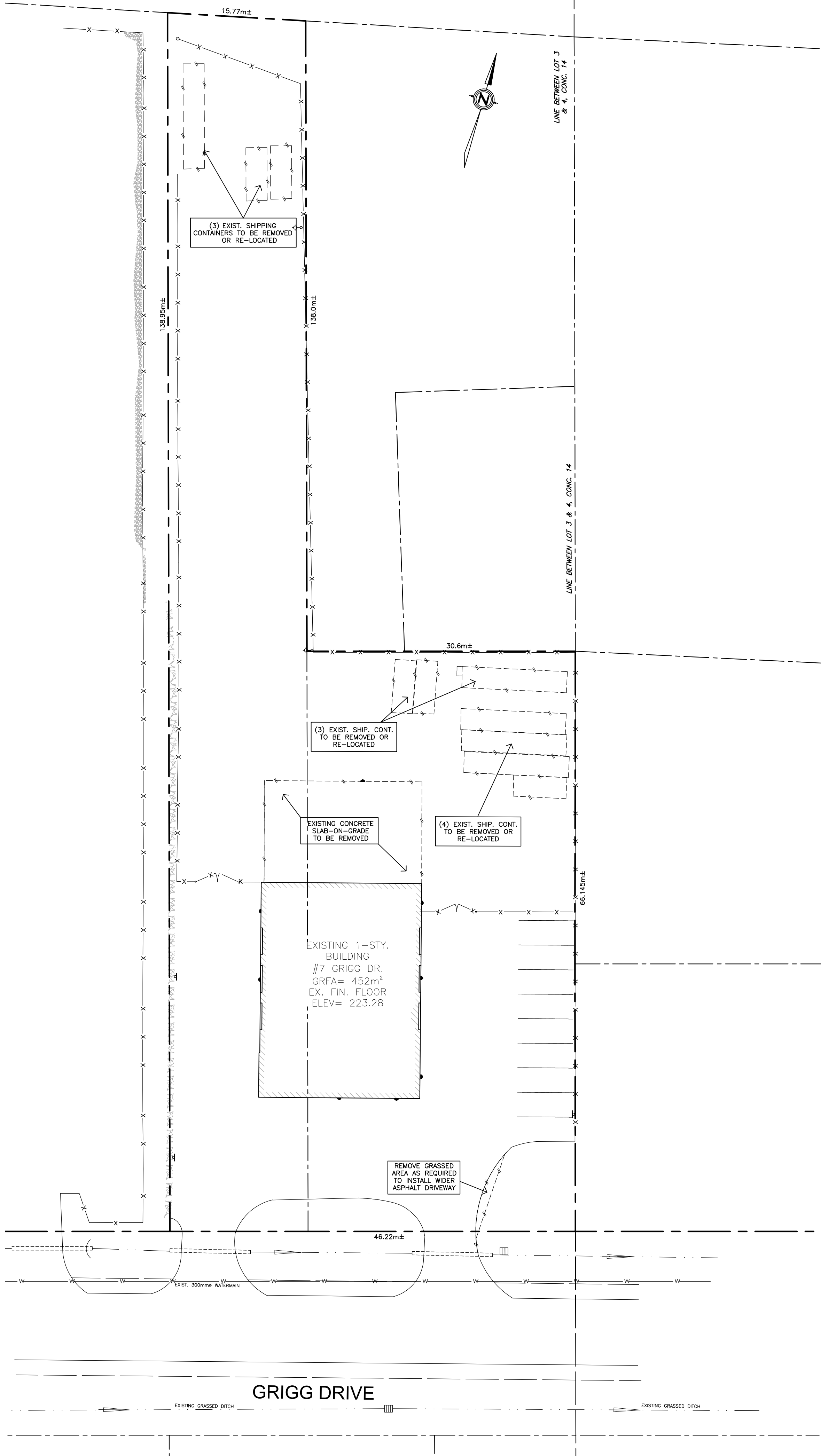
Date: July 17, 2025 Scale: As Noted **S3.0** **0**

1
SP3

EXISTING / DEMOLITION PLAN

SCALE= 1:300 (METRIC)

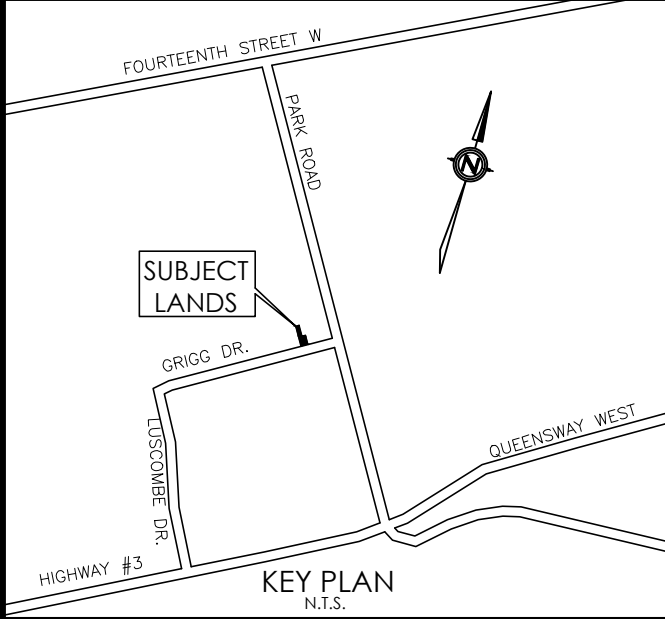
0m 10m 20m



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LEGAL DESCRIPTION:
PART OF A CONCESSION 14, GRD. TOWNSHIP OF WINDHAM, PART OF PART 4, PLAN OS-1811, PART OF PLAN 378-3933, PART OF PLAN 378-4930, TOWN OF SIMCOE, ONT.

LEGAL PROPERTY BOUNDARY INFORMATION:
THE LEGAL PROPERTY BOUNDARY INFORMATION FOR THIS DRAWING IS BASED ON SURVEY DRAWING PLAN 378-1811, BY JOHN F. WESTON, P.ENG., O.L.S., DATED MAR. 18TH, 1986; PLAN 378-3933 BY JOHN B. JODICE LTD., O.L.S., DATED MAR. 10, 1986; AND PLAN 378-4930 BY JEWITT AND DIXON LTD., O.L.S., DATED DEC. 4TH, 1989. REFER TO ACTUAL DRAWINGS BY ABOVE NOTED O.L.S. FOR EXACT SURVEY REFERENCES AND DESCRIPTIONS AND PROPERTY MONUMENT LOCATIONS AND TYPES.

TM11, ELEV: 224.36
TOP OF FIRE HYDRANT AT NORTH SIDE OF GRIGG DRIVE IN FRONT OF THE SUBJECT PROPERTY.
TM12, ELEV: 223.87
TOP OF EXISTING SANITARY MANHOLE LID IN THE MIDDLE OF GRIGG DRIVE ADJACENT THE SUBJECT PROPERTY.



REVISIONS

Rev.	Date	Description	By:
1	2025/07/22	ISSUED FOR SITE PLAN APPROVAL	NB

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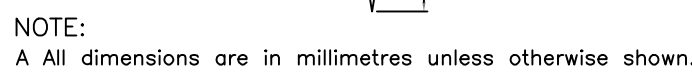
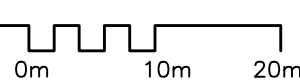
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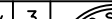


Project Name:
PROPOSED BUILDING ADDITION FOR EXPERT AUTO CLINIC
Owner: 2463543 Ontario Limited
7 GRIGG DRIVE, SIMCOE, ONT.

Drawing:
EXISTING / DEMOLITION SITE PLAN

Drawn By: CB	Job Number: 25-0322
Approved By: NB	Sheet No.: SP3
Date: MAY 30, 2025	Revision No.: 01



ONTARIO PROVINCIAL STANDARD DRAWING	Nov 2021	Rev 3	
HEAVY-DUTY SILT FENCE BARRIER	-----	-----	
	OPSD 219.130		

- ### LEGEND

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SILT FENCE NOTES:

1. SILT FENCE SHALL GENERALLY BE PLACED A MINIMUM OF 1.5m BEYOND TOE OF SLOPE, 3m PREFERRED, TO PROVIDE ADEQUATE AREA FOR SEDIMENTATION AND FACILITATE MAINTENANCE OF SEDIMENT CONTAINMENT AREA.
2. ALL ENDS SHALL BE "J" HOOKED TO TRAP SEDIMENT.
3. IN AREAS WITH TWO SLOPES, SILT FENCE SHALL BE USED TO ERECT A DAM AND TRAP SEDIMENT AT THE BASE OF THE STEEPER SLOPE.
4. THE BOTTOM EDGE OF SILT FENCE SHALL BE BURIED A MINIMUM OF 150mm BELOW GROUND, AND KEPT IN 100mm. THE FENCE SHALL BE KEPT OPEN WITH THE PEGS ON THE DOWNSTREAM SIDE OF THE FABRIC. MAXIMUM DRAINAGE AREA TRIBUTARY TO 30m OF SILT FENCE SHALL BE 0.1 ha.
5. SILT FENCE SHALL BE REMOVED WHEN THE AREA HAS BEEN STABILIZED.
6. AT TIME OF REMOVAL OF THE SILT FENCE, THE DISTURBED AREA SHALL BE REPAIRED AND STABILIZED.
7. MEASURES SHALL BE INSPECTED EVERY SEVEN (7) CALENDAR DAYS AND WITHIN 24 HOURS OF A STORM EVENT GREAT ENOUGH TO CAUSE WATER TO LEAVE THE CONSTRUCTION SITE.
8. MEASURES SHALL BE CLEANED AND REPAIRED AS NEEDED. SEDIMENT SHALL BE REMOVED WHEN ACCUMULATION REACHES ONE-HALF OF THE ALLOWED LIMIT. SEDIMENT SHALL BE DISPOSED OF AS UNSUITABLE MATERIAL.
9. SILT FENCE SHALL BE INSTALLED ON A LINE OF EQUAL ELEVATION (CONTOUR). IT MAY BE INSTALLED AT INTERMEDIATE POINTS UP SLOPES AS WELL AS AT THE BOTTOM, AS SHOWN IN THE DETAIL.
10. SILT FENCE SHALL NOT BE USED AROUND CONCENTRATED FLOW.

GENERAL EROSION AND SEDIMENT CONTROL NOTES:

1. UNLESS OTHERWISE INDICATED, ALL VEGETATIVE AND STRUCTURAL EROSION AND SEDIMENT CONTROL PRACTICE WILL BE CONSTRUCTED AND MAINTAINED ACCORDING TO MINIMUM STANDARDS AND SPECIFICATIONS OF NORFOLK COUNTY.
2. ALL EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE PLACED PRIOR TO OR AS THE FIRST STEP IN CLEARING.
3. A COPY OF THE APPROVED EROSION AND SEDIMENT CONTROL PLAN SHALL BE MAINTAINED ON SITE AT ALL TIMES.
4. THE CONTRACTOR IS RESPONSIBLE FOR INSTALLATION OF ANY ADDITIONAL EROSION CONTROL MEASURES NECESSARY TO PREVENT EROSION AND SEDIMENTATION AS DETERMINED BY THE PLAN APPROVING AUTHORITY.
5. ALL DISTURBED AREAS ARE AT ALL TIMES TO APPROVED SEDIMENT CONTROL MEASURES AT ALL TIMES DURING LAND DISTURBING ACTIVITIES AND DURING SITE DEVELOPMENT UNTIL FINAL STABILIZATION IS ACHIEVED.
6. ALL EROSION AND SEDIMENT CONTROLS ARE TO BE INSTALLED AND MAINTAINED TO THE SATISFACTION AND TO THE REQUIREMENTS OF NORFOLK COUNTY.
7. ALL AREAS OF WORK WHICH WILL REMAIN DISTURBED FOR A PERIOD OF THIRTY DAYS OR MORE MUST BE STABILIZED TO THE SATISFACTION OF NORFOLK COUNTY.
8. ALL MATERIAL STOCKPILES ARE TO BE LOCATED WITHIN THE BOUNDARY OF THE INDICATED SILT FENCE. ADDITIONAL SILT FENCE IS TO BE ERRECTED AROUND ANY PROPOSED STOCKPILES.
9. CATCH BASINS TO HAVE SILT TRAPS INSTALLED FOR THE DURATION OF CONSTRUCTION. REFERENCE SHALL ON THIS PAGE.
10. SILT FENCE AS PER OPSFD 219.130
11. ALL EROSION CONTROL DEVICES ARE TO BE INSPECTED AND MAINTAINED WEEKLY AND AFTER EACH RAINFALL.
12. OWNER IS RESPONSIBLE FOR INSPECTIONS AND MAINTENANCE OF STORMCOURSE AS PER MANUFACTURER'S INSTRUCTIONS. ALL EROSION AND SEDIMENTATION CONTROL DEVICES MUST BE IN PLACE PRIOR TO ANY EARTH MOVING/CONSTRUCTION ACTIVITIES AND MUST BE MAINTAINED UNTIL FINAL COVER IS ESTABLISHED.

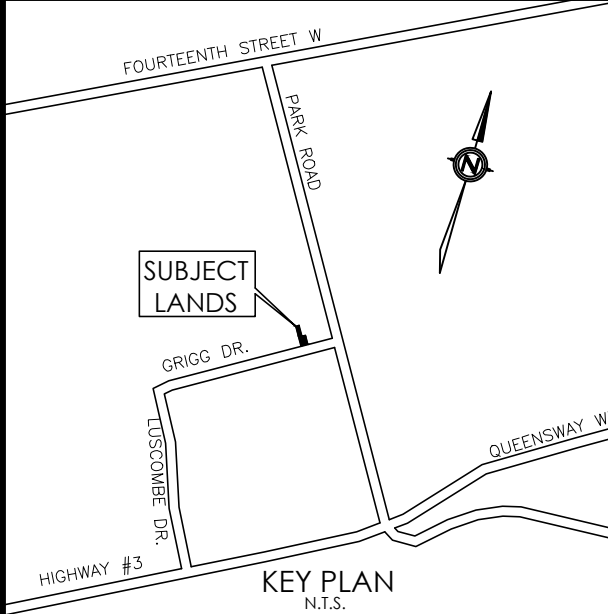
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LEGAL DESCRIPTION:

PART LOT 4, CONCESSION 14
GEO. TOWNSHIP OF WINDHURST
PART OF PART 4, PLAN 37R-11
PART 1 OF PLAN 37R-3933
PART 1 OF PLAN 37R-4930
TOWN OF SIMCOE, ONT.

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REFER TO ACTUAL DRAWINGS BY ABOVE NOTED O.E.S. FOR EXACT SURVEY REFERENCES AND DESCRIPTIONS AND PROPERTY MONUMENT LOCATIONS AND TYPES.

TBM1 : ELEV= 224.36

TBM2 : ELEV= 222.87
TOP OF EXISTING SANITARY MAIN
AT THE SUBJECT PROPERTY.



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Box 272 Courtland, ON
- Web: reid-deleaye.com
Office: 519.688.2600

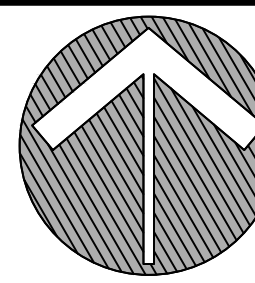
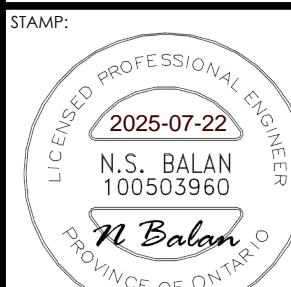
REVISIONS

1	2025/07/22	ISSUED FOR SITE PLAN APPROVAL

Rev.:	Date:	Description:
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49 North Street East, Tillsonburg, ON
email: info@balanengineering.com
Web: balanengineering.com
Office: 519.688.2525

Project Name

PROPOSED
BUILDING ADDITION
FOR EXPERT AUTO
CLINIC

Owner: 2463543 Ontario Limited

7 GRIGG DRIVE,
SIMCOE, ONT.

Drawing:

GRADING PLAN

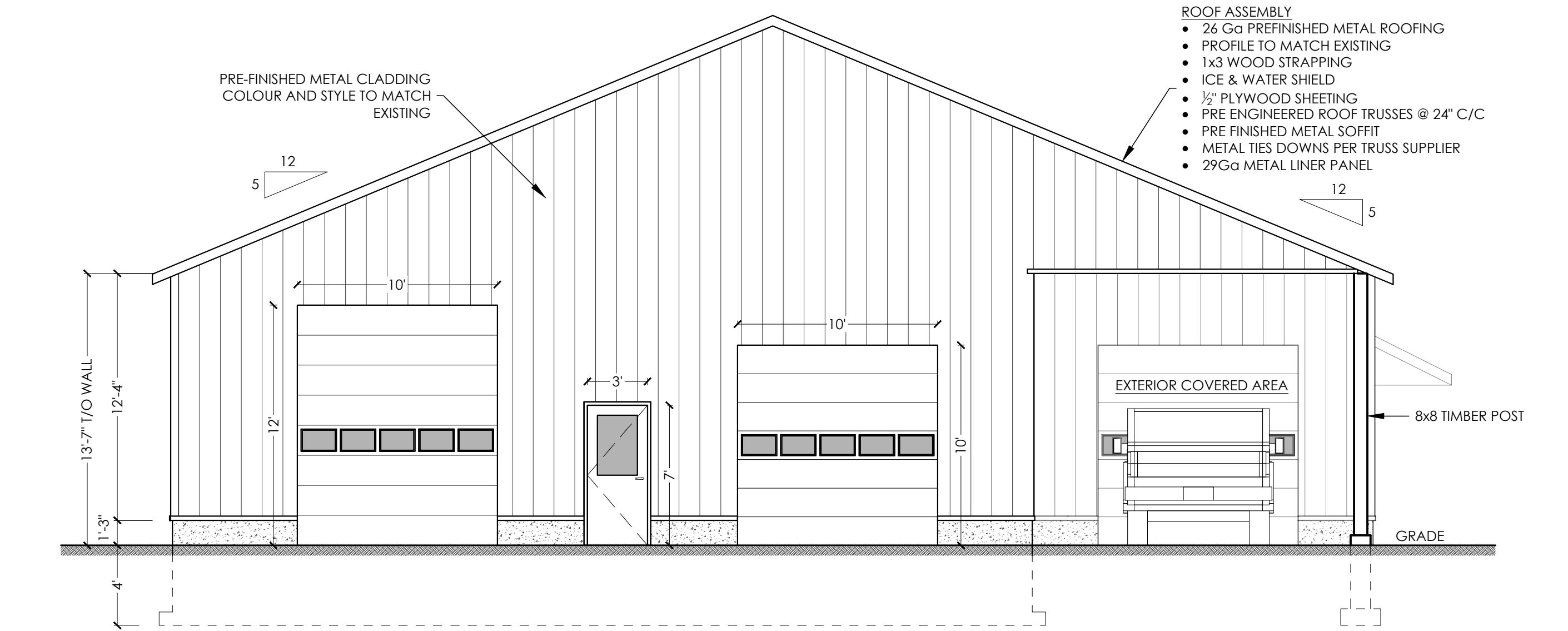
Drawn By

CB

Approved _____

NB

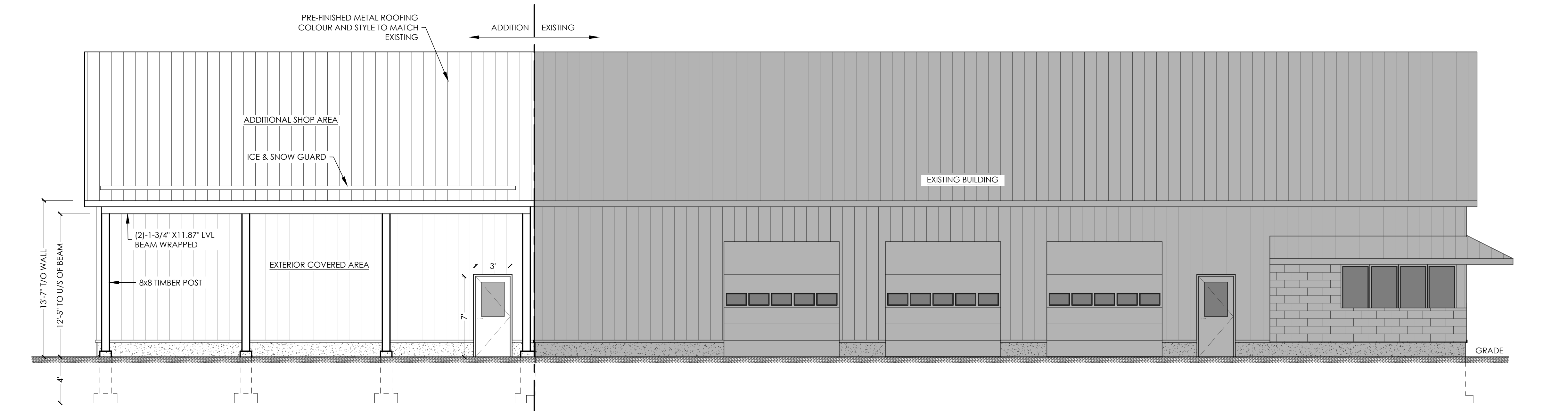
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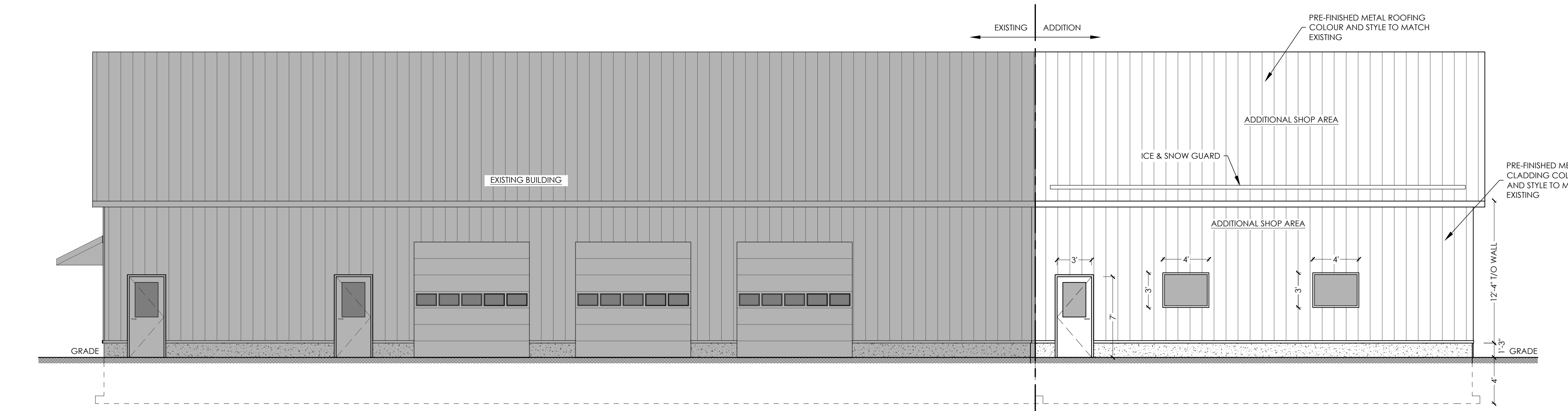
CONTRACTOR NOTES:

- ALL FOOTINGS ARE TO BEAR ON UNDISTURBED SOILS, COMPACTED ENGINEERED FILL OF 5MPA CONCRETE.
- THE FOUNDATION DESIGN ASSUMES A SOIL BEARING OF 3000 PSF (145 KPA) AT SERVICEABILITY LIMIT STATES (SLS) THROUGHOUT.
- FILED REVIEW AND VERIFICATION OF NATIVE SOILS AND BACKFILLING BY GEOTECH IS REQUIRED DURING CONSTRUCTION.
- EXISTING FILL SHALL BE REMOVED FROM NEW FOUNDATION AREAS.
- UNDERSIDE OF FOUNDATION FOOTINGS ON THE PERIMETER OF THE BUILDING AND SUBJECT TO FROST ACTION ARE TO BE A MINIMUM OF 4'-0" (1200mm) BELOW GRADE.
- STEP CONCRETE FOOTINGS AS REQUIRED. SEE DETAIL.

1 NORTH ELEVATION
SCALE: 3/16" = 1'-0"



2 WEST ELEVATION
SCALE: 3/16" = 1'-0"



3 EAST ELEVATION
SCALE: 3/16" = 1'-0"

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Client:
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Web: reid-deleye.com Office: 519.688.2600

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0	15/07/2025	Issued for review	JL
Rev.:	Date:	Description:	By:
00/00/0000			

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49 North Street East, Tillsonburg, ON
email: info@balanengineering.com
Web: balanengineering.com
Office: 519.688.2525

Project Name:
PROPOSED DEVELOPMENT FOR EXPERT AUTO
7 Grigg Drive, Simcoe, ON

Drawing:
BUILDING ELEVATIONS

Drawn By:		Job Number:	
J. LOPEZ		25-0321	
Approved By:		Sheet No.:	Revision No.:
N. BALAN			
Date:	Scale:	S2.0	
July 15, 2025	As Noted	0	



BALAN
ENGINEERING CORP.

Web: www.balanengineering.com
Office: 519-688-2525
e-mail: info@balanengineering.com
Address: 49 North Street East, Tillsonburg, ON

STORM WATER MANAGEMENT REPORT

PROPOSED
1-STOREY COMMERCIAL BUILDING ADDITION

Expert Auto Clinic

2463543 Ontario Ltd.

#7 Grigg Drive, Simcoe, Ontario

Submission:

R0 – Submission Sept 26, 2025

1.0 Introduction

Balan Engineering has been retained to prepare Site plan, Functions Servicing and Stormwater Management Reports for the proposed development at 7 Grigg Drive, Simcoe, Ontario. The site is located on the North side of Grigg Drive, between Luscombe Drive and Park Road, in the Town of Simcoe, Norfolk County.

The proposal is to construct a 212m² building addition. No extension of gravel or concrete/paved areas are proposed. The proposed addition will be placed full over an existing concrete slab.

The purpose of this brief is to comment on the impacts of the proposed development on existing storm water management.

Please note, the proposed addition is being constructed over an area of existing concrete. The post development imperviousness coefficient is not expected to rise by a meaningful amount.

The following documents and reports have been referenced and reviewed in the preparation of this report:

- Ministry of the Environment Stormwater Management Planning and Design Manual 2003
- MTO Drainage Management Manual
- Norfolk County Design Criteria and Municipal Service Documents dated August 1980
- Approved Site Plan by MC Engineering dated 2000

This report is to be read in conjunction with the Site Plan drawings SP1, SP2 and SP3 prepared by Balan Engineering.

2.0 Site Information and Description of Development

The subject property is located 7 Grigg Drive, Simcoe, Ontario. The subject property is developed with an existing car repair shop with office (449m²).

The existing surface treatment in the location of the building addition is gravel and concrete. Paved and grass areas are found on the South side of the property.

Total Lot Area: 4,199 m²

Pre-Development

Roof	449	m ² @ 0.9
Gravel	2,209	m ² @ 0.6
Concrete/Paved	1,345	m ² @ 0.9
<u>Greenspace</u>	<u>196</u>	<u>m²@ 0.3</u>
Development C	0.71	

Post-Development

Roof	664	m ² @ 0.9
Gravel	2,209	m ² @ 0.6
Concrete/Paved	1,145	m ² @ 0.9
<u>Greenspace</u>	<u>181</u>	<u>m²@ 0.3</u>
Development C	0.72	

3.0 Conclusion

As demonstrated, the change to the pre-development and post development impervious coefficient, as well as total greenspace area is negligible. Increase to stormwater runoff is considered negligible.

No Storm water management controls are proposed. Site runoff will continue to drain to overland to existing property lines (East & North East), and ensure water runs away from the building. No impacts on downstream or adjacent properties are anticipated as a result of this proposed development.

Report prepared by

Neil Balan

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September 26, 2025



May 5, 2025

Project Name: 7 Grigg Drive, Simcoe
DOCA Project Number: 2025-0379
Proponent: Unknown Project Location: 7 Grigg Drive, Simcoe

Dear Josh Mueller,

This letter is to confirm receipt of the project-related correspondence had with Kim Dziegiel, on May 2, 2025, regarding 7 Grigg Drive, Simcoe.

The Mississaugas of the Credit First Nation (MCFN) are the Treaty Holders of the land on which the project will take place – specifically, the Between the Lakes Treaty No. 3, of 1792. The MCFN holds Indigenous and Treaty Rights specific to the project location and its environs, which may be adversely impacted by it. The Department of Consultation and Accommodation (DOCA) is designated by the MCFN to handle consultation matters on its behalf.

The DOCA consultation team has reviewed the project-related correspondence identified above, in addition to any associated documentation. The following DOCA Units have completed a review and their questions and comments have been included below.

Consultation Unit

Primary Reviewer: **Abby (LaForme) Lee, MCFN DOCA- Consultation Coordinator**

Questions and Comments- *I would like to thank consultant Kim Dziegiel for the telephone call received on May 2, 2025. Kim requested for MCFN DOCA to reconsider the requirement of a Stage 1 Archaeological Assessment. Kim made points of previous disturbance of the area in question and the size of the expansion. I reviewed the consultant's application and contacted MCFN Archaeological Unit for further investigation.*

Archaeology Unit

Primary Reviewer: **Adrian Blake, MCFN DOCA- Archaeologist**

Questions and Comments- *There is very little potential of archaeology regarding their proposed extension. It is unlikely the impacted area would be recommended for testing after a Stage 1, the area is very disturbed and a lot of it is already covered in concrete and the surrounding area is filled with demolished houses that were removed around 2011. Therefore, MCFN DOCA is comfortable waiving the requirement of a Stage 1 Archaeological Assessment at this time.*



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DOCA expects to be notified of any and all future project updates and/or changes.

If you have any questions for the DOCA consultation team, please feel free to contact us.

Thank you,



Abby (LaForme) Lee
Consultation Coordinator
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CC: Megan DeVries, MCFN DOCA- Manager of Consultations, megan.devries@mncfn.ca
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