

Planning Department Development Application Form

Complete Application

A complete development application consists of the following:

1. A completed, signed, and notarized application form
2. Supporting information adequate to illustrate your proposal as indicated in **Section H** of this application form
3. Written authorization from the registered owner of the subject lands where the applicant is not the owner as per Section N
4. Cash, debit, credit or cheque payable to Norfolk County in the amount set out in the user fees By-Law that will be accepted and deposited once the application has been deemed complete.

Pre-Submission Consultation:

Norfolk County requires a Pre-Consultation Meeting for all applications; however, minor applications may be exempted depending on the nature of the proposal. The purpose of a Pre-Consultation Meeting is to provide the applicant with an opportunity to present the proposed application, discuss potential issues, and for the Norfolk County and Agency staff to identify the application requirements. Application requirements, as detailed in the Pre-Consultation Meeting Comments, are valid for one year after the meeting date.

Development Application Process

Once an application has been deemed complete by a Planner, Norfolk County staff will circulate the application to adjacent landowners, public agencies, and internal departments for comment. The time involved in application processing varies depending on its complexity, acceptability to the other agencies, and statutory Planning Act decision time-frames.

Payment is required once your application is deemed complete. Pre-payments will not be accepted.

Norfolk County collects personal information submitted through this form under the Municipal Freedom of Information and Protection Act's authority. Norfolk County will use this information for the purposes indicated or implied by this form. You can direct questions about collecting personal information to Norfolk GIS Services at NorfolkGIS@norfolkcounty.ca.

Additional studies required for the complete application shall be at the applicant's sole expense. Sometimes, peer reviews may be necessary to review particular studies at the applicant's expense. In these cases, Norfolk County staff will select the company to complete the peer review.

Norfolk County will refund the original fee if applicants withdraw their applications before circulation. If Norfolk County must recirculate your drawings, there will be an additional fee. If Norfolk County must do more than three reviews of engineering drawings due to revisions by the owner or failure to revise engineering drawings as requested, Norfolk County will charge an additional fee. Full refunds are only available before Norfolk County has circulated the application.

Notification Sign Requirements

For public notification, Norfolk County will provide you with a sign to indicate the intent and purpose of your development application. It is your responsibility to:

1. Post one sign per frontage in a conspicuous location on the subject lands.
2. Ensure one sign is posted at the front of the subject lands at least three feet above ground level and not on a tree.
3. Notify the Planner when the sign is in place.
4. Maintain the sign until the development application is finalized and, after that, remove it.

Contact Us

For additional information or assistance completing this application, please contact a Planner at 519-426-5870 or 519-875-4485 extension 1842 or planning@norfolkcounty.ca. Please submit the completed application and fees to the attention of the Planning Department at 185 Robinson Street, Suite 200, Simcoe, ON N3Y 5L6.

For Office Use Only:

File Number	_____	Public Notice Sign	_____
Related File Number	_____	Application Fee	_____
Pre-consultation Meeting	_____	Conservation Authority Fee	_____
Application Submitted	_____	Well & Septic Info Provided	_____
Complete Application	_____	Planner	_____

Check the type of planning application(s) you are submitting.

- ☐ Official Plan Amendment
- ☐ Zoning By-Law Amendment
- ☐ Temporary Use By-law
- ☐ Draft Plan of Subdivision/Vacant Land Condominium
- ☐ Condominium Exemption
- ☒ Site Plan Application
- ☐ Extension of a Temporary Use By-law
- ☐ Part Lot Control
- ☐ Cash-in-Lieu of Parking
- ☐ Renewable Energy Project or Radio Communication Tower

Please summarize the desired result of this application (for example, a special zoning provision on the subject lands to include additional use(s), changing the zone or official plan designation of the subject lands, creating a certain number of lots, or similar)

Property Assessment Roll Number: _____

A. Applicant Information

Name of Owner

Address

Town and Postal Code

Phone Number

Cell Number

Email

Name of Applicant

Address

Town and Postal Code

Phone Number

Cell Number

Email

Name of Agent

Address

Town and Postal Code

Phone Number

Cell Number

Email

Unless otherwise directed, Norfolk County will forward all correspondence and notices regarding this application to both owner and agent noted above.

☐ Owner

☐ Agent

☐ Applicant

Names and addresses of any holder of any mortgagees, charges or other encumbrances on the subject lands:

B. Location, Legal Description and Property Information

1. Legal Description (include Geographic Township, Concession Number, Lot Number, Block Number and Urban Area or Hamlet):

Municipal Civic Address: _____

Present Official Plan Designation(s): _____

Present Zoning: _____

2. Is there a special provision or site specific zone on the subject lands?

☐ Yes ☐ No If yes, please specify corresponding number:

3. Present use of the subject lands:

4. Please describe **all existing** buildings or structures on the subject lands and whether they will be retained, demolished or removed. If retaining the buildings or structures, please describe the type of buildings or structures, and illustrate the setback, in metric units, from the front, rear and side lot lines, ground floor area, gross floor area, lot coverage, number of storeys, width, length, and height on your attached sketch which must be included with your application:

5. If an addition to an existing building is being proposed, please explain what it will be used for (for example: bedroom, kitchen, or bathroom). If new fixtures are proposed, please describe.

6. Please describe **all proposed** buildings or structures/additions on the subject lands. Describe the type of buildings or structures/additions, and illustrate the setback, in metric units, from front, rear and side lot lines, ground floor area, gross floor area, lot coverage, number of storeys, width, length, and height on your attached sketch which must be included with your application:

7. Are any existing buildings on the subject lands designated under the *Ontario Heritage Act* as being architecturally and/or historically significant? Yes ☐ No ☐

If yes, identify and provide details of the building:

8. If known, the length of time the existing uses have continued on the subject lands:

9. Existing use of abutting properties:

10. Are there any easements or restrictive covenants affecting the subject lands?

☐ Yes ☐ No If yes, describe the easement or restrictive covenant and its effect:

C. Purpose of Development Application

Note: Please complete all that apply.

1. Please explain what you propose to do on the subject lands/premises which makes this development application necessary:

2. Please explain why it is not possible to comply with the provision(s) of the Zoning By-law/and or Official Plan:

3. Does the requested amendment alter all or any part of the boundary of an area of settlement in the municipality or implement a new area of settlement in the municipality? ☐ Yes ☐ No If yes, describe its effect:

4. Does the requested amendment remove the subject land from an area of employment? ☐ Yes ☐ No If yes, describe its effect:

5. Does the requested amendment alter, replace, or delete a policy of the Official Plan?
☐ Yes ☐ No If yes, identify the policy, and also include a proposed text of the policy amendment (if additional space is required, please attach a separate sheet):

6. Description of land intended to be severed in metric units:

Frontage: _____

Depth: _____

Width: _____

Lot Area: _____

Present Use: _____

Proposed Use: _____

Proposed final lot size (if boundary adjustment): _____

If a boundary adjustment, identify the assessment roll number and property owner of the lands to which the parcel will be added: _____

Description of land intended to be retained in metric units:

Frontage: _____

Depth: _____

Width: _____

Lot Area: _____

Present Use: _____

Proposed Use: _____

Buildings on retained land: _____

7. Description of proposed right-of-way/easement:

Frontage: _____

Depth: _____

Width: _____

Area: _____

Proposed use: _____

8. Name of person(s), if known, to whom lands or interest in lands to be transferred, leased or charged (if known):

9. Site Information**Zoning****Proposed**

Please indicate unit of measurement, for example: m, m² or %

Lot frontage	_____	_____
Lot depth	_____	_____
Lot width	_____	_____
Lot area	_____	_____
Lot coverage	_____	_____
Front yard	_____	_____
Rear yard	_____	_____
Left Interior side yard	_____	_____
Right Interior side yard	_____	_____
Exterior side yard (corner lot)	_____	_____
Landscaped open space	_____	_____
Entrance access width	_____	_____
Exit access width	_____	_____
Size of fencing or screening	_____	_____
Type of fencing	_____	_____

10. Building Size

Number of storeys	_____	_____
Building height	_____	_____
Total ground floor area	_____	_____
Total gross floor area	_____	_____
Total useable floor area	_____	_____

11. Off Street Parking and Loading Facilities

Number of off street parking spaces	_____	_____
Number of visitor parking spaces	_____	_____
Number of accessible parking spaces	_____	_____
Number of off street loading facilities	_____	_____

12. Residential (if applicable)

Number of buildings existing: _____

Number of buildings proposed: _____

Is this a conversion or addition to an existing building? ☐ Yes ☐ No

If yes, describe: _____

Type	Number of Units	Floor Area per Unit in m2
Single Detached	_____	_____
Semi-Detached	_____	_____
Duplex	_____	_____
Triplex	_____	_____
Four-plex	_____	_____
Street Townhouse	_____	_____
Stacked Townhouse	_____	_____
Apartment - Bachelor	_____	_____
Apartment - One bedroom	_____	_____
Apartment - Two bedroom	_____	_____
Apartment - Three bedroom	_____	_____

Other facilities provided (for example: play facilities, underground parking, games room, or swimming pool):

13. Commercial/Industrial Uses (if applicable)

Number of buildings existing: _____

Number of buildings proposed: _____

Is this a conversion or addition to an existing building? ☐ Yes ☐ No

If yes, describe:

Indicate the gross floor area by the type of use (for example: office, retail, or storage):

Seating Capacity (for assembly halls or similar): _____

Total number of fixed seats: _____

Describe the type of business(es) proposed: _____

Total number of staff proposed initially: _____

Total number of staff proposed in five years: _____

Maximum number of staff on the largest shift: _____

Is open storage required: ☐ Yes ☐ No

Is a residential use proposed as part of, or accessory to commercial/industrial use?

☐ Yes ☐ No If yes please describe:

14. Institutional (if applicable)

Describe the type of use proposed: _____

Seating capacity (if applicable): _____

Number of beds (if applicable): _____

Total number of staff proposed initially: _____

Total number of staff proposed in five years: _____

Maximum number of staff on the largest shift: _____

Indicate the gross floor area by the type of use (for example: office, retail, or storage):

15. Describe Recreational or Other Use(s) (if applicable)

D. Previous Use of the Property

1. Has there been an industrial or commercial use on the subject lands or adjacent lands? ☐ Yes ☐ No ☐ Unknown

If yes, specify the uses (for example: gas station or petroleum storage):

2. Is there reason to believe the subject lands may have been contaminated by former uses on the site or adjacent sites? ☐ Yes ☐ No ☐ Unknown

3. Provide the information you used to determine the answers to the above questions:

4. If you answered yes to any of the above questions in Section D, a previous use inventory showing all known former uses of the subject lands, or if appropriate, the adjacent lands, is needed. Is the previous use inventory attached? ☐ Yes ☐ No

E. Provincial Policy

1. Is the requested amendment consistent with the provincial policy statements issued under subsection 3(1) of the *Planning Act, R.S.O. 1990, c. P. 13*? ☐ Yes ☐ No

If no, please explain:

2. It is owner's responsibility to be aware of and comply with all relevant federal or provincial legislation, municipal by-laws or other agency approvals, including the Endangered Species Act, 2007. Have the subject lands been screened to ensure that development or site alteration will not have any impact on the habitat for endangered or threatened species further to the provincial policy statement subsection 2.1.7? ☐ Yes ☐ No

If no, please explain:

3. Have the subject lands been screened to ensure that development or site alteration will not have any impact on source water protection? ☐ Yes ☐ No

If no, please explain:

Note: If in an area of source water Wellhead Protection Area (WHPA) A, B or C please attach relevant information and approved mitigation measures from the Risk Manager Official.

4. Are any of the following uses or features on the subject lands or within 500 metres of the subject lands, unless otherwise specified? Please check boxes, if applicable.

Livestock facility or stockyard (submit MDS Calculation with application)

☐ On the subject lands or ☐ within 500 meters – distance _____

Wooded area

☐ On the subject lands or ☐ within 500 meters – distance _____

Municipal Landfill

☐ On the subject lands or ☐ within 500 meters – distance _____

Sewage treatment plant or waste stabilization plant

☐ On the subject lands or ☐ within 500 meters – distance _____

Provincially significant wetland (class 1, 2 or 3) or other environmental feature

☐ On the subject lands or ☐ within 500 meters – distance _____

Floodplain

☐ On the subject lands or ☐ within 500 meters – distance _____

Rehabilitated mine site

☐ On the subject lands or ☐ within 500 meters – distance _____

Non-operating mine site within one kilometre

☐ On the subject lands or ☐ within 500 meters – distance _____

Active mine site within one kilometre

☐ On the subject lands or ☐ within 500 meters – distance _____

Industrial or commercial use (specify the use(s))

☐ On the subject lands or ☐ within 500 meters – distance _____

Active railway line

☐ On the subject lands or ☐ within 500 meters – distance _____

Seasonal wetness of lands

☐ On the subject lands or ☐ within 500 meters – distance _____

Erosion

☐ On the subject lands or ☐ within 500 meters – distance _____

Abandoned gas wells

☐ On the subject lands or ☐ within 500 meters – distance _____

F. Servicing and Access

1. Indicate what services are available or proposed:

Water Supply

- | | |
|--|---|
| <input type="checkbox"/> Municipal piped water | <input type="checkbox"/> Communal wells |
| <input type="checkbox"/> Individual wells | <input type="checkbox"/> Other (describe below) |
-

Sewage Treatment

- | | |
|---|---|
| <input type="checkbox"/> Municipal sewers | <input type="checkbox"/> Communal system |
| <input type="checkbox"/> Septic tank and tile bed in good working order | <input type="checkbox"/> Other (describe below) |
-

Storm Drainage

- | | |
|---|---------------------------------------|
| <input type="checkbox"/> Storm sewers | <input type="checkbox"/> Open ditches |
| <input type="checkbox"/> Other (describe below) | |
-

2. Existing or proposed access to subject lands:

- | | |
|---|---|
| <input type="checkbox"/> Municipal road | <input type="checkbox"/> Provincial highway |
| <input type="checkbox"/> Unopened road | <input type="checkbox"/> Other (describe below) |

Name of road/street: _____

G. Other Information

1. Does the application involve a local business? ☐ Yes ☐ No

If yes, how many people are employed on the subject lands?

2. Is there any other information that you think may be useful in the review of this application? If so, explain below or attach on a separate page.

H. Supporting Material to be submitted by Applicant

In order for your application to be considered complete, **folded** hard copies (number of paper copies as directed by the planner) and an **electronic version (PDF) of the properly named site plan drawings, additional plans, studies and reports** will be required, including but not limited to the following details:

1. Concept/Layout Plan
2. All measurements in metric
3. Key map
4. Scale, legend and north arrow
5. Legal description and municipal address
6. Development name
7. Drawing title, number, original date and revision dates
8. Owner's name, address and telephone number
9. Engineer's name, address and telephone number
10. Professional engineer's stamp
11. Existing and proposed easements and right of ways
12. Zoning compliance table – required versus proposed
13. Parking space totals – required and proposed
14. All entrances to parking areas marked with directional arrows
15. Loading spaces, facilities and routes (for commercial developments)
16. All dimensions of the subject lands
17. Dimensions and setbacks of all buildings and structures
18. Location and setbacks of septic system and well from all existing and proposed lot lines, and all existing and proposed structures
19. Gross, ground and useable floor area
20. Lot coverage
21. Floor area ratio
22. Building entrances, building type, height, grades and extent of overhangs
23. Names, dimensions and location of adjacent streets including daylighting triangles
24. Driveways, curbs, drop curbs, pavement markings, widths, radii and traffic directional signs
25. All exterior stairways and ramps with dimensions and setbacks
26. Retaining walls including materials proposed
27. Fire access and routes
28. Location, dimensions and number of parking spaces (including visitor and accessible) and drive aisles
29. Location of mechanical room, and other building services (e.g. A/C, HRV)
30. Refuse disposal and storage areas including any related screening (if indoors, need notation on site plan)
31. Winter snow storage location

32. Landscape areas with dimensions
33. Natural features, watercourses and trees
34. Fire hydrants and utilities location
35. Fencing, screening and buffering – size, type and location
36. All hard surface materials
37. Light standards and wall mounted lights (plus a note on the site plan that all outdoor lighting is to be dark sky compliant)
38. Business signs (make sure they are not in sight lines)
39. Sidewalks and walkways with dimensions
40. Pedestrian access routes into site and around site
41. Bicycle parking
42. Architectural elevations of all building sides
43. All other requirements as per the pre-consultation meeting

In addition, the following additional plans, studies and reports, including but not limited to, **may** also be required as part of the complete application submission:

- ☐ Zoning Deficiency Form
- ☐ On-Site Sewage Disposal System Evaluation Form (to verify location and condition)
- ☐ Architectural Plan
- ☐ Buildings Elevation Plan
- ☐ Cut and Fill Plan
- ☐ Erosion and Sediment Control Plan
- ☐ Grading and Drainage Control Plan (around perimeter and within site) (existing and proposed)
- ☐ Landscape Plan
- ☐ Photometric (Lighting) Plan
- ☐ Plan and Profile Drawings
- ☐ Site Servicing Plan
- ☐ Storm water Management Plan
- ☐ Street Sign and Traffic Plan
- ☐ Street Tree Planting Plan
- ☐ Tree Preservation Plan
- ☐ Archaeological Assessment
- ☐ Environmental Impact Study

- ☐ Functional Servicing Report
- ☐ Geotechnical Study / Hydrogeological Review
- ☐ Minimum Distance Separation Schedule
- ☐ Noise or Vibration Study
- ☐ Record of Site Condition
- ☐ Storm water Management Report
- ☐ Traffic Impact Study – please contact the Planner to verify the scope required

Site Plan applications will require the following supporting materials:

1. Two (2) complete sets of the site plan drawings folded to 8½ x 11 and an electronic version in PDF format
2. Letter requesting that the Holding be removed (if applicable)
3. A cost estimate prepared by the applicant's engineer
4. An estimate for Parkland dedication by a certified land appraiser
5. Property Identification Number (PIN) printout

Standard condominium exemptions will require the following supporting materials:

- ☐ Plan of standard condominium (2 paper copies and 1 electronic copy)
- ☐ Draft condominium declaration
- ☐ Property Identification Number (PIN) printout

Your development approval might also be dependent on other relevant federal or provincial legislation, municipal by-laws or other agency approvals.

All final plans must include the owner's signature as well as the engineer's signature and seal.

I. Development Agreements

A development agreement may be required prior to site plan approval, subdivision and condominium applications. Should this be necessary for your development, you will be contacted by the agreement administrator with further details of the requirements including but not limited to insurance coverage, professional liability for your engineer, additional fees and securities.

J. Transfers, Easements and Postponement of Interest

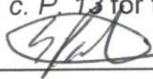
The owner acknowledges and agrees that if required, it is their solicitor's responsibility on behalf of the owner, to disclose the registration of all transfer(s) of land and/or easement in favour of the County and/or utilities. Also, the owner further acknowledges and agrees that it is their solicitor's responsibility on behalf of the owner for the registration of postponements of any charges in favour of the County.

K. Permission to Enter Subject Lands

Permission is hereby granted to Norfolk County officers, employees or agents, to enter the premises subject to this application for the purposes of making inspections associated with this application, during normal and reasonable working hours.

L. Freedom of Information

For the purposes of the *Municipal Freedom of Information and Protection of Privacy Act*, I authorize and consent to the use by or the disclosure to any person or public body any information that is collected under the authority of the *Planning Act, R.S.O. 1990, c. P. 13* for the purposes of processing this application.



Owner/Applicant Signature

July 22/25

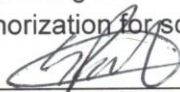
Date

M. Owner's Authorization

If the applicant/agent is not the registered owner of the lands that is the subject of this application, the owner(s) must complete the authorization set out below.

I/We Scott Paterson am/are the registered owner(s) of the lands that is the subject of this application.

I/We authorize Balan Engineering Corp. to make this application on my/our behalf and to provide any of my/our personal information necessary for the processing of this application. Moreover, this shall be your good and sufficient authorization for so doing.



Owner

July 22/25

Date

Owner

Date

N. Declaration

I, _____ of _____

solemnly declare that:

all of the above statements and the statements contained in all of the exhibits transmitted herewith are true and I make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath and by virtue of *The Canada Evidence Act*.

Declared before me at:

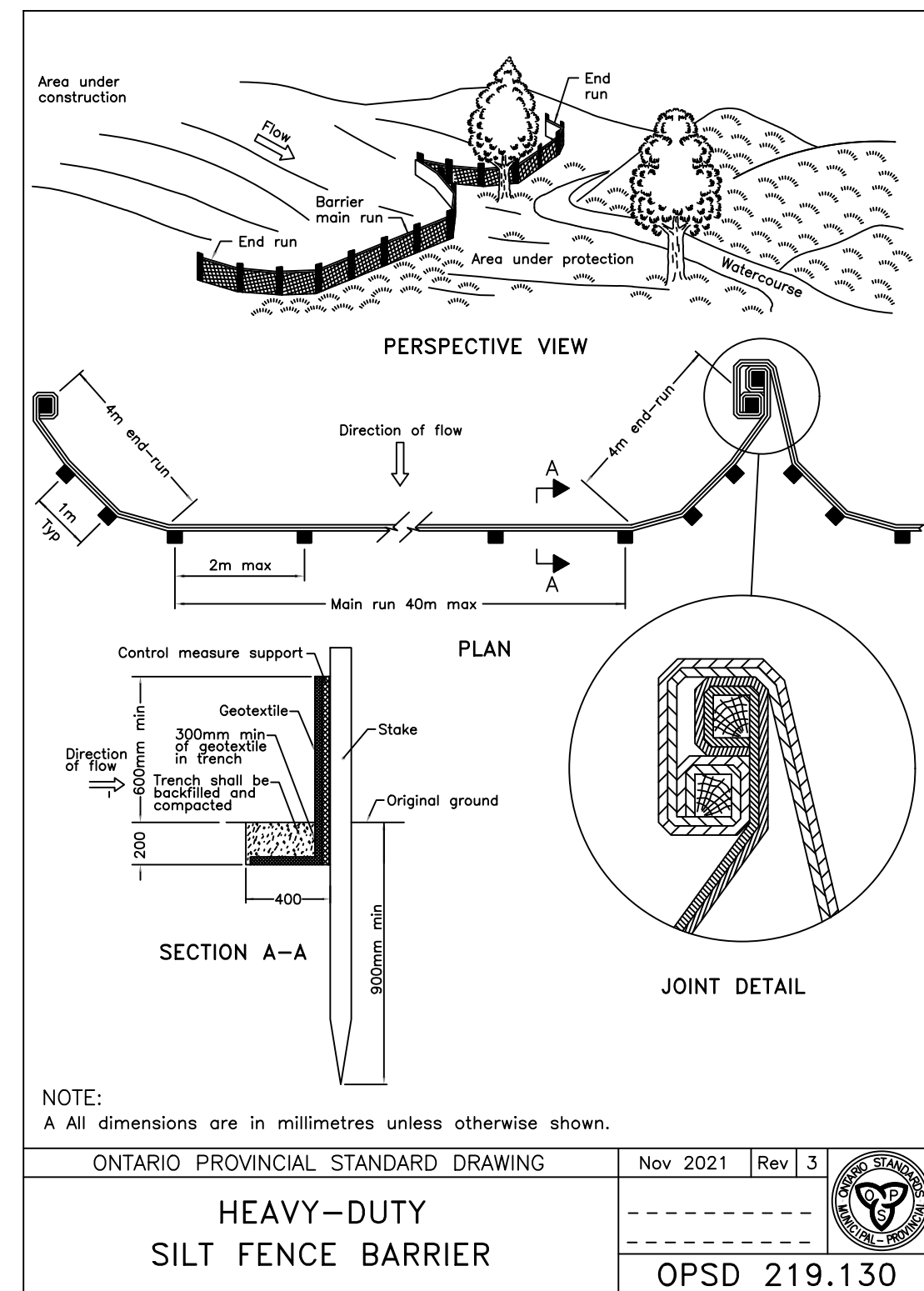
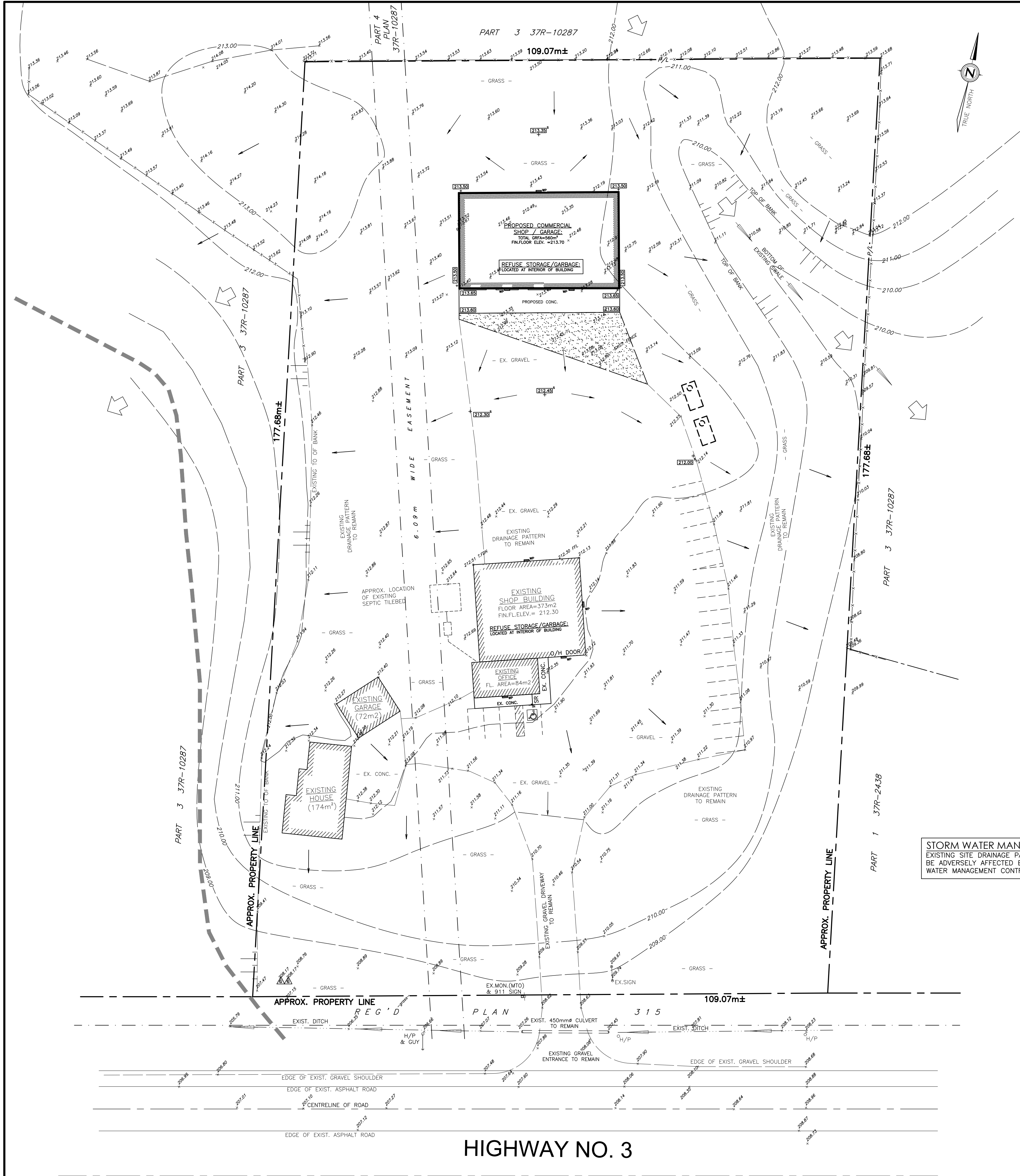
Owner/Applicant Signature

In _____

This _____ day of _____

A.D., 20____

A Commissioner, etc.



- SILT FENCE NOTES:**
1. SILT FENCE SHALL GENERALLY BE PLACED A MINIMUM OF 1.5m BEYOND TOE OF SLOPE, 3m PREFERRED, TO PROVIDE ADEQUATE AREA FOR SEDIMENT STORAGE AND FACILITATE MAINTENANCE OF SEDIMENT CONTAINMENT AREA.
 2. ALL ENDS SHALL BE "J" HOOKED TO TRAP SEDIMENT.
 3. IN AREAS WITH TWO SLOPES, SILT FENCE SHALL BE USED TO ERCT A DAM AND TRAP SEDIMENT AT THE BASE OF THE STEEPER SLOPE.
 4. THE BOTTOM EDGE OF SILT FENCE SHALL BE BURIED A MINIMUM OF 150mm BELOW GROUND, AND KEY LINES 100mm. THE FENCE SHALL BE INSTALLED WITH THE POSTS ON THE DOWNSTREAM SIDE OF THE FABRIC. MAXIMUM DRAINAGE AREA TRIBUTARY TO 30m OF SILT FENCE SHALL BE 0.1 ha.
 5. SILT FENCE SHALL BE REMOVED WHEN THE AREA HAS BEEN STABILIZED.
 6. AT TIME OF REMOVAL OF THE SILT FENCE, THE DISTURBED AREA SHALL BE REPAIRED AND STABILIZED.
 7. MEASURES SHALL BE INSPECTED EVERY SEVEN (7) CALENDAR DAYS AND WITHIN 24 HOURS OF A STORM EVENT GREAT ENOUGH TO CAUSE WATER TO LEAVE THE CONSTRUCTION SITE.
 8. MEASURES SHALL BE CLEANED AND REPAIRED AS NEEDED. SEDIMENT SHALL BE REMOVED WHEN ACCUMULATION REACHES ONE-HALF OF THE MEASURE HEIGHT. SEDIMENT SHALL BE DISPOSED OF AS UNSUITABLE MATERIAL.
 9. SILT FENCE SHALL BE INSTALLED ON A LINE OF EQUAL ELEVATION (CONTOUR). IT MAY BE INSTALLED AT INTERMEDIATE POINTS UP SLOPES AS WELL AS AT THE BOTTOM, AS SHOWN IN THE DETAIL.
 10. SILT FENCE SHALL NOT BE USED ACROSS CONCENTRATED FLOW.

GENERAL EROSION AND SEDIMENT CONTROL NOTES:

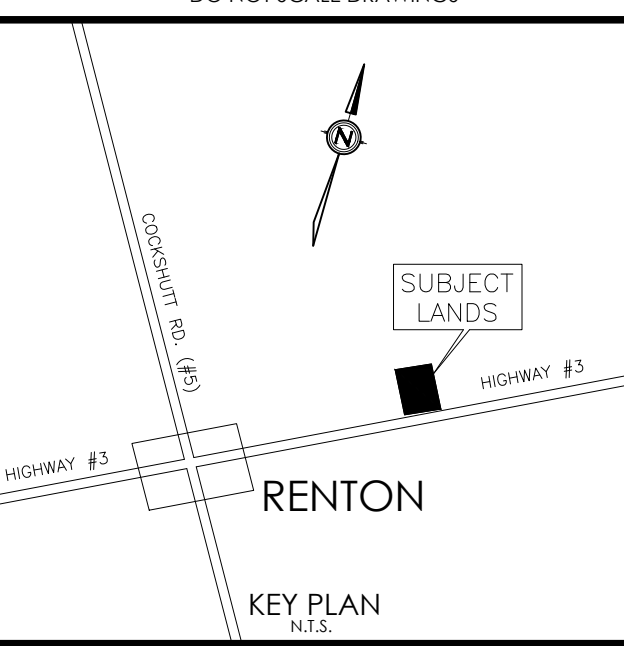
1. UNLESS OTHERWISE INDICATED, ALL VEGETATIVE AND STRUCTURAL EROSION AND SEDIMENT CONTROL PRACTICE WILL BE CONSTRUCTED AND MAINTAINED ACCORDING TO MINIMUM STANDARDS AND SPECIFICATIONS OF NORFOLK COUNTY.
2. ALL EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE PLACED PRIOR TO OR AS THE FIRST STEP IN CLEARING.
3. A COPY OF THE APPROVED EROSION AND SEDIMENT CONTROL PLAN SHALL BE MAINTAINED ON SITE AT ALL TIMES.
4. THE CONTRACTOR IS RESPONSIBLE FOR INSTALLATION OF ANY ADDITIONAL EROSION CONTROL MEASURES NECESSARY TO PREVENT EROSION AND SEDIMENTATION AS DETERMINED BY THE PLAN APPROVING AUTHORITY.
5. ALL DISTURBED AREAS ARE TO DRAIN TO APPROVED SEDIMENT CONTROL MEASURES AT ALL TIMES DURING LAND DISTURBING ACTIVITIES AND DURING SITE DEVELOPMENT UNTIL FINAL STABILIZATION IS ACHIEVED.
6. ALL EROSION AND SEDIMENT CONTROLS ARE TO BE INSTALLED AND MAINTAINED TO THE SATISFACTION AND TO THE REQUIREMENTS OF NORFOLK COUNTY.
7. ALL AREAS OF WORK WHICH WILL REMAIN DISTURBED FOR A PERIOD OF THIRTY DAYS OR MORE MUST BE STABILIZED TO THE SATISFACTION OF NORFOLK COUNTY.
8. ALL MATERIAL STOCKPILES ARE TO BE LOCATED WITHIN THE BOUNDARY OF THE INDICATED SILT FENCE. ADDITIONAL SILT FENCE IS TO BE ERCTED AROUND ANY PROPOSED STOCKPILES.
9. CATCH BASINS TO HAVE SILT TRAPS INSTALLED FOR THE DURATION OF CONSTRUCTION. REFERENCE DETAIL ON THIS PAGE.
10. SILT FENCE AS PER OPSD 219.130
11. ALL EROSION CONTROL DEVICES ARE TO BE INSPECTED AND MAINTAINED WEEKLY AND AFTER EACH RAINFALL.
12. OWNER IS RESPONSIBLE FOR INSPECTIONS AND MAINTENANCE OF STORMCEPTOR AS PER MANUFACTURER'S INSTRUCTIONS. ALL EROSION AND SEDIMENTATION CONTROL DEVICES MUST BE IN PLACE PRIOR TO ANY EARTH MOVING/CONSTRUCTION ACTIVITIES AND MUST BE MAINTAINED UNTIL FINAL COVER IS ESTABLISHED.

ALL DIMENSIONS ARE METRIC UNLESS SPECIFICALLY NOTED OTHERWISE.

THE CONTENTS OF THESE DRAWINGS ARE BASED ON INFORMATION AT THE TIME OF PREPARATION. ENCLOSED PLANS SHALL NOT REPLACE OFFICIAL STAMPED DRAWINGS. ONLY STAMPED DRAWINGS SHALL BE CONSIDERED FINAL. ANY PERSON OR ORGANIZATION THAT MAKES USE OR RELIES UPON THESE DRAWINGS IS RESPONSIBLE FOR CONFIRMING ACCURACY AND COMPLETENESS. BALAN ENGINEERING CORP. SHALL NOT BE RESPONSIBLE FOR ANY MODIFICATION OR REPRODUCTION THEREOF.

ANY DISCREPANCIES ARE TO BE BROUGHT TO THE ENGINEER'S ATTENTION BEFORE PROCEEDING WITH THE WORK.

THE CONTENTS OF THESE DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY OF BALAN ENGINEERING CORP. THE DRAWINGS AND SPECIFICATIONS ARE FOR THE NOTED PROJECT ONLY. ANY UNAUTHORIZED USE OF THIS DRAWINGS IN WHOLE OR IN PART WITHOUT EXPRESSED PERMISSION OF BALAN ENGINEERING CORP IS STRICTLY PROHIBITED.



LEGAL DESCRIPTION:
PART LOT 15, CONCESSION 14, SEC. 10, TOWNSHIP OF TOWNSHIP, PART OF PART 4, PLAN 37R-10287, NORFOLK COUNTY, ONTARIO

LEGAL PROPERTY BOUNDARY INFORMATION:
THE LEGAL PROPERTY BOUNDARY INFORMATION FOR THIS DRAWING IS BASED ON SURVEY DRAWING PLAN 37R-3933 BY JOHN A. DODD, D.L.S., DATED MAY 18TH, 1980; PLAN 37R-3933 BY JOHN A. DODD, D.L.S., DATED JULY 21ST, 1982; AND PLAN 37R-10287 BY JOHN A. DODD, D.L.S., DATED MAY 29TH, 2011. REFER TO ACTUAL DRAWINGS BY ABOVE NOTED D.L.S. FOR EXACT SURVEY REFERENCES AND DESCRIPTIONS AND PROPERTY MONUMENT LOCATIONS AND TYPES.

REVISIONS

Rev.	Date	Description	By:
03	2025/09/26	ISSUED FOR SPA	C.B.
02	2025/09/05	ISSUED FOR DRIVEWAY PERMIT	NB
01	2025/07/24	ISSUED FOR SITE PLAN APPROVAL	NB

Client:

OOSTERVELD CONSTRUCTION INC.
oosterveldconstruction.com

STAMP:

LICENSED PROFESSIONAL ENGINEER
2025-09-26
N.S. BALAN
100503960
PROVINCE OF ONTARIO

PROJECT NORTH

THESE DRAWINGS, DETAILS AND SPECIFICATIONS SHALL NOT BE USED FOR CONSTRUCTION UNTIL THEY HAVE BEEN SIGNED AND SEALED BY THE ENGINEER AND A BUILDING PERMIT HAS BEEN ISSUED.

DO NOT SCALE DRAWINGS: THESE DRAWINGS SHOW INTENT OF THE DESIGN ONLY OR EXISTING CONDITIONS AND MAY NOT REFLECT EXACT LOCATIONS.

BALAN ENGINEERING CORP.
49 North Street East, Thornburg, ON
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Office: 519.688.2525

Project Name:

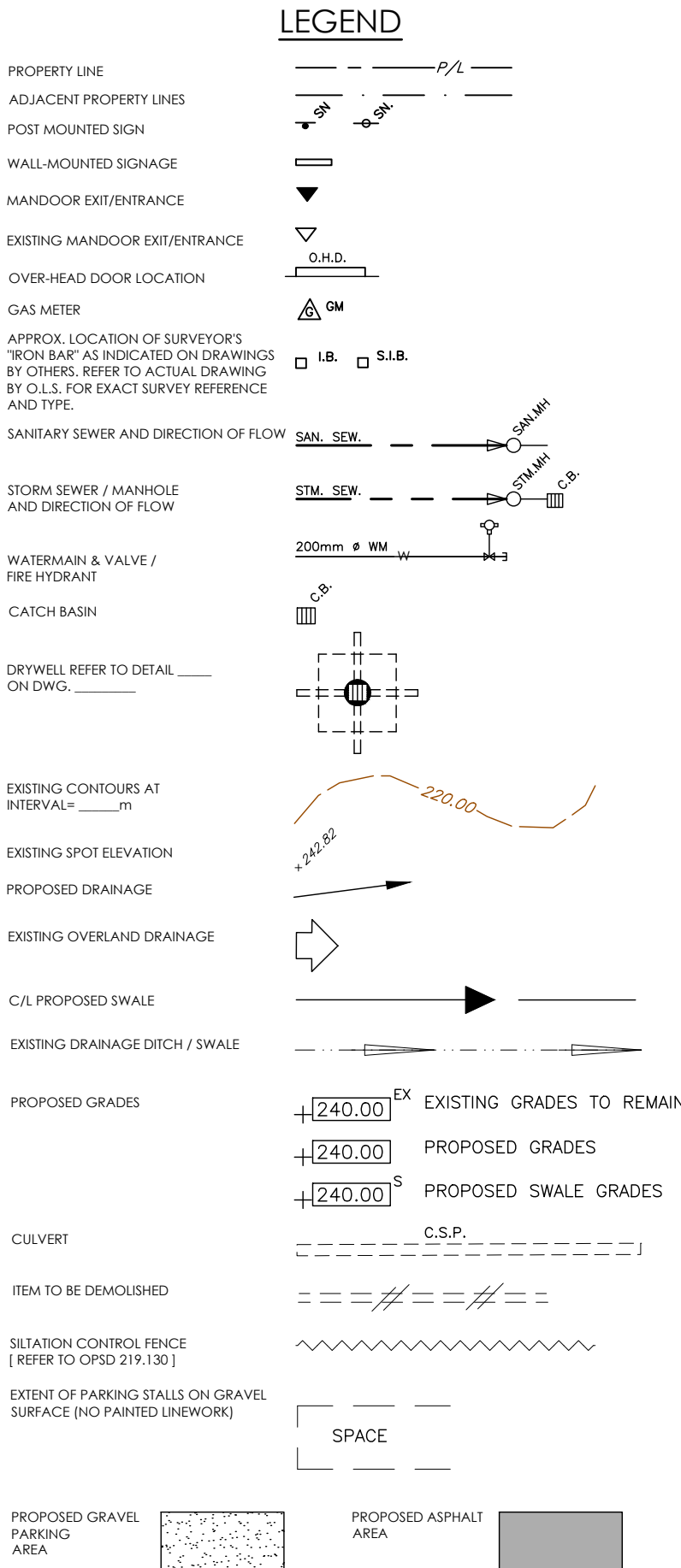
PROPOSED NEW BUILDING FOR SIMCOE SPRINGS

Owner: 787882265 Ontario Inc.
4911 HIGHWAY NO. 3
SIMCOE, ONT.

GRADING PLAN

Drawn By: CB
Approved By: NB
Date: MAY 30, 2025

Job Number: 25-0291
Sheet No.: SP2
Revision No.: 01



DISCLAIMER:

THIS IS NOT A LEGAL PLAN OF SURVEY AND SHALL NOT BE USED FOR ANY PURPOSE EXCEPT FOR THE PURPOSE INDICATED IN THE TITLE BLOCK. IN ACCORDANCE WITH THE SURVEYORS ACT R.S.O. 1990, C.29, [AS AMENDED 2021] PLEASE REFER TO STAMPED O.L.S. DRAWING(S) FOR ALL SURVEY DATA. PROPERTY LINE INFORMATION SHOWN ON THIS PLAN IS APPROXIMATE AND TO BE VERIFIED BY OLS IF REQUIRED.

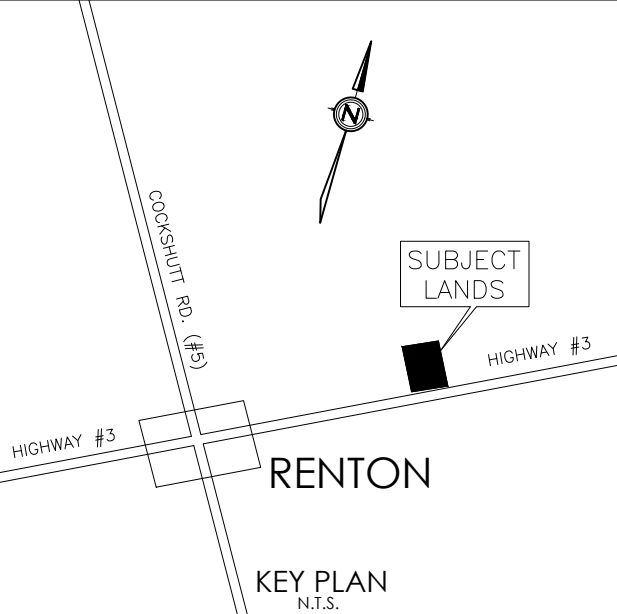
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THE CONTENTS OF THESE DRAWINGS ARE BASED ON INFORMATION AT THE TIME OF PREPARATION. ENCLOSED PLANS SHALL NOT REPLACE OFFICIAL STAMPED DRAWINGS, UNLESS STAMPED DRAWINGS SHALL BE CONSIDERED FINAL. ANY PERSON OR ORGANIZATION THAT MAKES USE OR RELIES UPON THESE DRAWINGS IN WHOLE OR IN PART WITHOUT EXPRESSED PERMISSION OF BALAN ENGINEERING CORP. SHALL NOT BE RESPONSIBLE FOR ANY MODIFICATION OR REPRODUCTION THEREOF.

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DO NOT SCALE DRAWINGS



LEGAL DESCRIPTION:
PART LOT 15, CONCESSION 14
QO, TOWNSHIP OF TOWNSHEND,
PART OF PART 4, PLAN 37R-10287
NORFOLK COUNTY, ONTARIO

LEGAL PROPERTY BOUNDARY INFORMATION:
THE LEGAL PROPERTY BOUNDARY INFORMATION FOR THIS DRAWING IS BASED ON SURVEYING PLANS 37R-2458, BY JEWITT & DIXON, LTD., O.L.S., DATED MAR. 18TH, 1990; PLAN 37R-3933 BY JOHN B. DODD LTD., O.L.S., DATED JULY 21ST, 1982 AND PLAN 37R-10287 BY JEWITT AND DIXON LTD., O.L.S., DATED MAR. 29TH, 2011.

REFER TO ACTUAL DRAWINGS BY ABOVE NOTED O.L.S. FOR EXACT SURVEY REFERENCES AND DESCRIPTIONS AND PROPERTY MONUMENT LOCATIONS AND TYPES.

TBM1 : ELEV= 212.30
TOP OF FINISHED FLOOR OF EXISTING SHOP BUILDING.

Client: _____

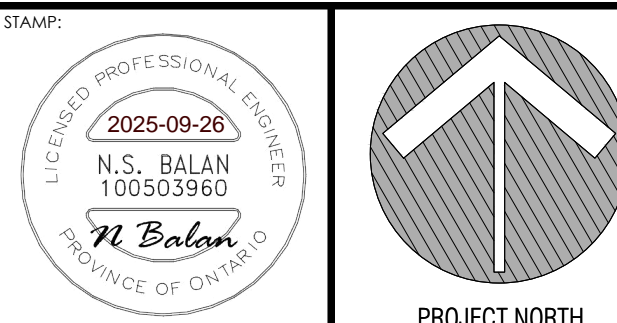


REVISIONS

03	2025/09/26	ISSUED FOR SPA	C
02	2025/09/05	ISSUED FOR DRIVEWAY PERMIT	N
01	2025/07/24	ISSUED FOR SITE PLAN APPROVAL	N
	Done: www.com/ist	Description:	B

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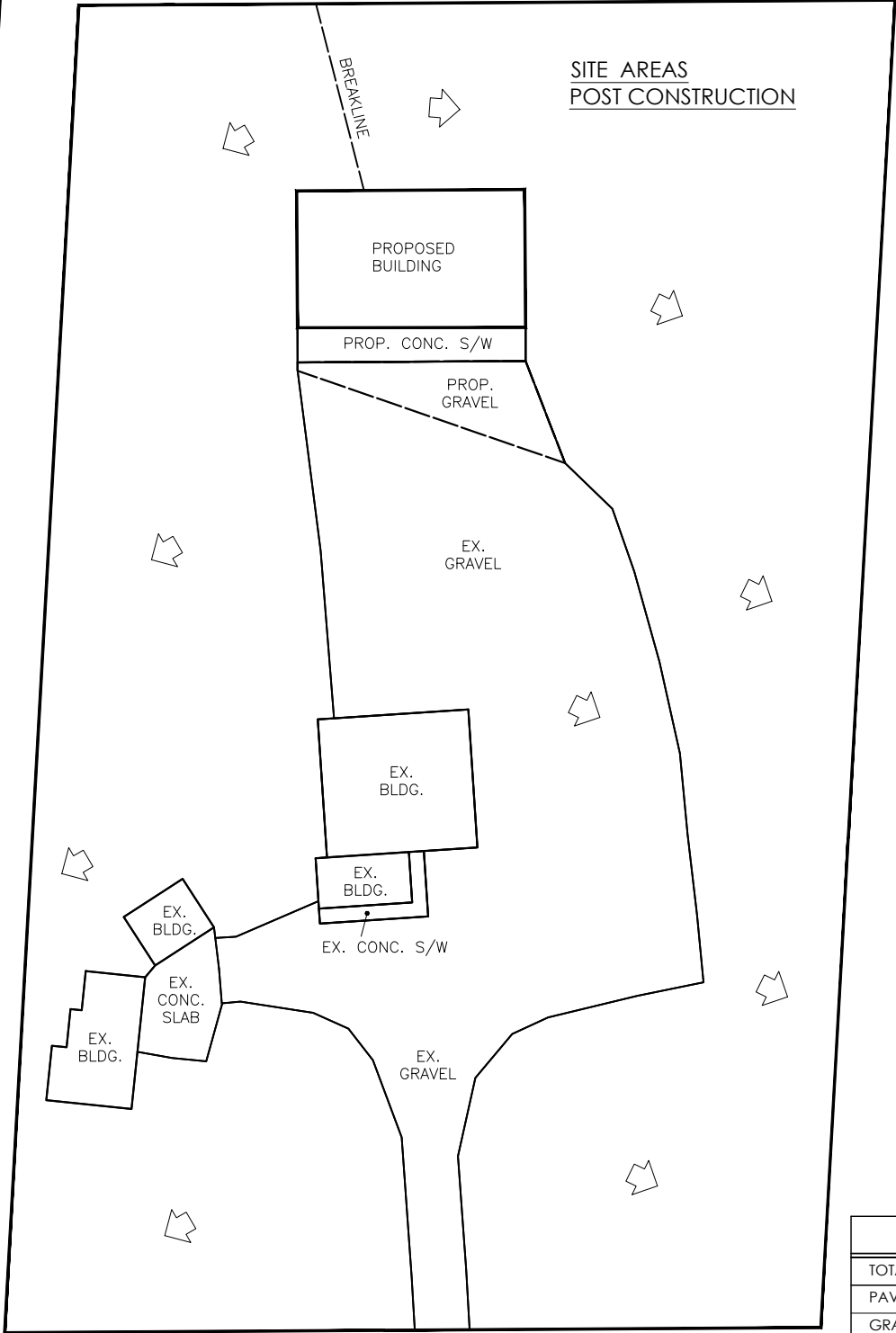
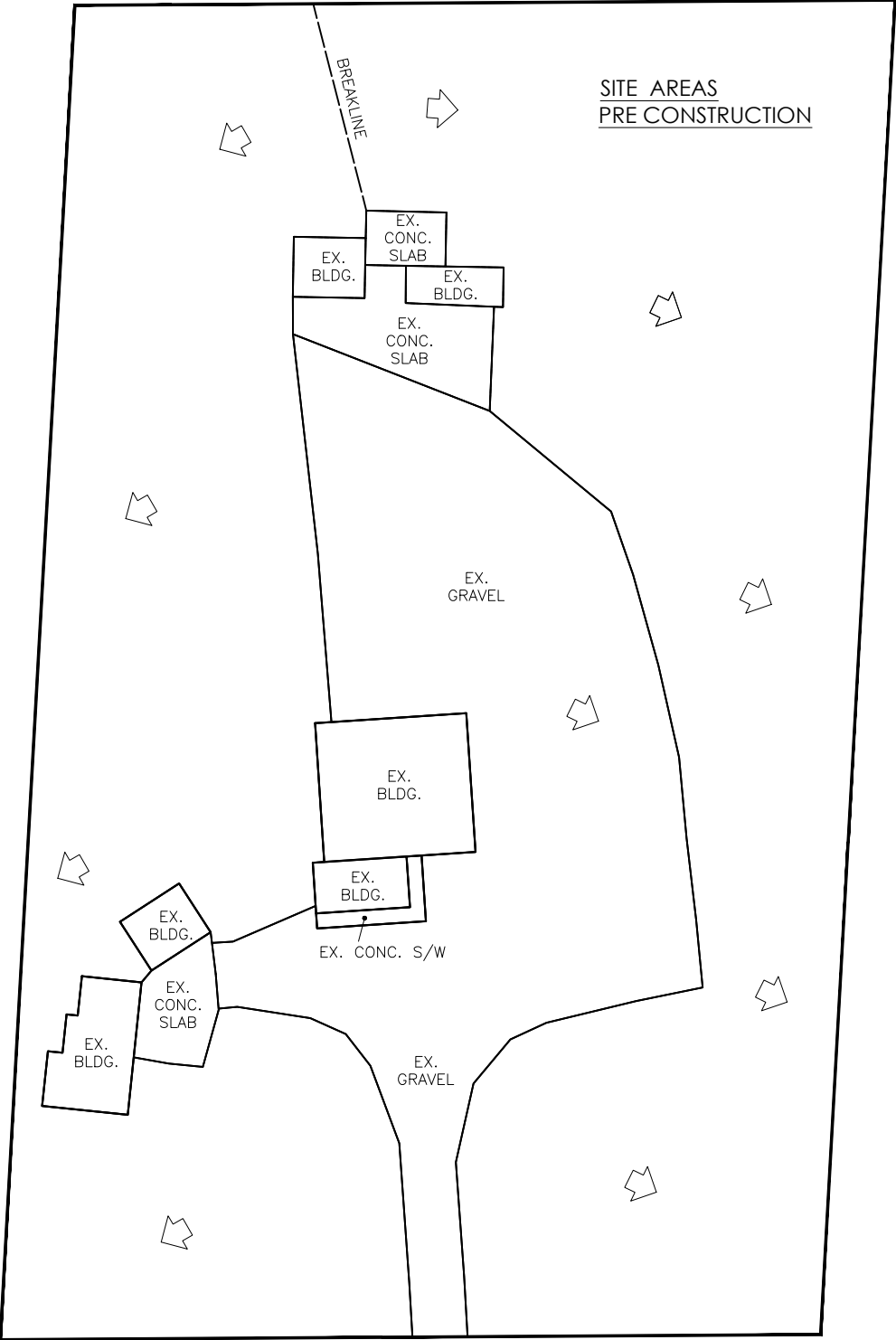
PROPOSED
NEW BUILDING FOR
SIMCOE SPRINGS

Owner: 787882265 Ontario Inc.
4911 HIGHWAY NO. 3
SIMCOE, ONT.

Drawing:

DEMOLITION SITE PLAN

Drawn By: CB		Job Number: 25-0291	
Approved By: NB		Sheet No.:	Revision No.
Date: MAY 30, 2025	Scale: As Noted	SP3	01



← DENOTES DRAINAGE DIRECTION

SITE AREAS - PRE & POST CONSTRUCTION

	EXISTING	PROPOSED	PROVIDED	% LOT COVERAGE
TOTAL LOT AREA	19,342 m²		19,342 m²	100 %
PAVED AREA (HARD SURFACES)	541 m²		327 m²	1.69%
GRAVELLED AREA	3,764 m²		3,641 m²	18.82%
LANDSCAPED OPEN SPACE	14,047 m²		14,111 m²	72.96%
GROUND FLOOR AREA OF BUILDINGS (GRFA):	990 m²	559 m²	1,263 m²	6.53%

1	26/09/2025	ISSUED FOR SITE PLAN APPROVAL	C.B
Rev.:	Date: dd/mm/yyyy	Description:	Drawn By:

General Note:

THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, DRAWINGS, DETAILS AND SPECIFICATIONS, INCLUDING WITH ARCHITECTURAL DRAWINGS AND MUST REPORT ANY DISCREPANCIES TO THE ARCHITECT AND ENGINEER BEFORE PROCEEDING WITH THE WORK.

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STAMP:

LICENSED PROFESSIONAL ENGINEER

2025-09-26

N.S. BALAN

100503960

N. Balan

PROVINCE OF ONTARIO



BALAN
ENGINEERING CORP.

49 North Street East, Tillsonburg, ON

Web: balanengineering.com

Office: 519.688.2525

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PROPOSED BUILDING FOR SIMCOE SPRINGS
4911 HIGHWAY NO. 3, SIMCOE ONT.

Drawing:
PRE / POST CONSTRUCTION AREAS

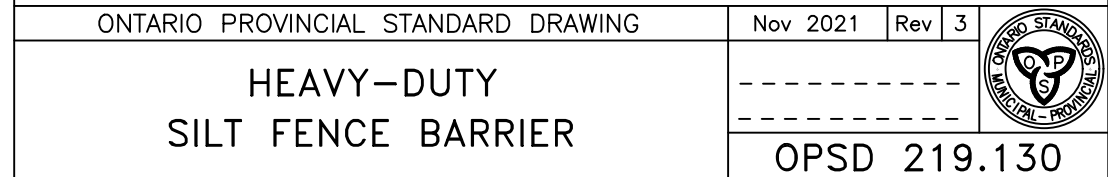
Designed:
N.B.

Scale:
N.T.S.

Date:
SEPT. 25, 2025

Job Number:
25-0291

Sheet No.:
SK1



1. SILT FENCE SHALL GENERALLY BE PLACED A MINIMUM OF 1.5m BEYOND LINE OF SLOPE, 3m PREFERRED, TO PROVIDE ADEQUATE AREA OF STORM STORAGE AND FACILITATE MAINTENANCE OF SEDIMENT CONTAINMENT AREA.
2. ALL ENDS SHALL BE "J" HOOKED TO TRAP SEDIMENT.
3. IN AREAS WITH TWO SLOPES, SILT FENCE SHALL BE USED TO ERCT A DAM AND TRAP SEDIMENT AT THE BASE OF THE STEEPER SLOPE.
4. THE BOTTOM EDGE OF SILT FENCE SHALL BE BURIED A MINIMUM OF 150mm TO PREVENT CIRCULING. AND KEVED IN 100mm. THE FENCE SHALL BE INSTALLED WITH THE POSTS ON THE DOWNSTREAM SIDE OF THE FABRIC. MAXIMUM DRAINAGE AREA TRIBUTARY TO 30cm OF SILT FENCE SHALL BE 0.1ha.
5. SILT FENCE SHALL BE REMOVED WHEN THE AREA HAS BEEN STABILIZED.
6. AT TIME OF REMOVAL OF THE SILT FENCE, THE DISTURBED AREA SHALL BE REPAIRED AND STABILIZED.
7. MEASURES SHALL BE INSPECTED EVERY SEVEN (7) CALENDAR DAYS AND WITHIN 24 HOURS OF A STORM EVENT GREAT ENOUGH TO CAUSE WATER TO LEAVE THE CONSTRUCTION SITE.
8. MEASURES SHALL BE CLEANED AND REPAIRED AS NEEDED. SEDIMENT SHALL BE REMOVED WHEN ACCUMULATION REACHES ONE-FOURTH OF THE MEASURE HEIGHT. SEDIMENT SHALL BE EXPOSED OF AS UNSUITABLE MATERIAL.
9. SILT FENCE SHALL BE INSTALLED ON A LINE OF EQUAL ELEVATION (CONTOUR). IT MAY BE INSTALLED AT INTERMEDIATE POINTS UP SLOPES AS WELL AS AT THE BOTTOM, AS SHOWN IN THE DETAIL.
10. SILT FENCE SHALL NOT BE USED AROUND CONCENTRATED FLOW.

1. UNLESS OTHERWISE INDICATED, ALL VEGETATIVE AND STRUCTURAL EROSION AND SEDIMENT CONTROL PRACTICE WILL BE CONSTRUCTED AND MAINTAINED ACCORDING TO MINIMUM STANDARDS AND SPECIFICATIONS OF NORFOLK COUNTY.
2. ALL EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE PLACED PRIOR TO OR AS THE FIRST STEP IN CLEARING.
3. A COPY OF THE APPROVED EROSION AND SEDIMENT CONTROL PLAN SHALL BE MAINTAINED ON SITE AT ALL TIMES.
4. THE CONTRACTOR IS RESPONSIBLE FOR INSTALLATION OF ANY ADDITIONAL EROSION CONTROL MEASURES NECESSARY TO PREVENT EROSION AND SEDIMENTATION AS DETERMINED BY THE PLAN APPROVING AUTHORITY.
5. ALL DISTURBED AREAS ARE TO DRAIN TO APPROVED SEDIMENT CONTROL MEASURES AT ALL TIMES DURING LAND DISTURBING ACTIVITIES AND DURING SITE DEVELOPMENT UNTIL FINAL STABILIZATION IS ACHIEVED.
6. ALL EROSION AND SEDIMENT CONTROLS ARE TO BE INSTALLED AND MAINTAINED TO THE SATISFACTION AND TO THE REQUIREMENTS OF NORFOLK COUNTY.
7. ALL AREAS OF WORK WHICH WILL REMAIN DISTURBED FOR A PERIOD OF THIRTY DAYS OR MORE MUST BE SUBMITTED TO THE SATISFACTION OF NORFOLK COUNTY.
8. ALL MATERIAL STOCKPILES ARE TO BE LOCATED WITHIN THE BOUNDARY OF THE INDICATED SILT FENCE. ADDITIONAL SILT FENCE IS TO BE ERCTED AROUND ANY PROPOSED STOCKPILES.
9. CATCH BASINS TO HAVE SILT TRAPS INSTALLED FOR THE DURATION OF CONSTRUCTION. REFERENCE DETAIL ON THIS PAGE.
10. SILT FENCE AS PER OPSD 219.130
11. ALL EROSION CONTROL DEVICES ARE TO BE INSPECTED AND MAINTAINED WEEKLY AND AFTER EACH RAINFALL.
12. OWNER IS RESPONSIBLE FOR INSPECTIONS AND MAINTENANCE OF STORMCOURSE AS PER MANUFACTURER'S INSTRUCTIONS. ALL EROSION AND SEDIMENTATION CONTROL DEVICES MUST BE IN PLACE PRIOR TO ANY EARTH MOVING/CONSTRUCTION ACTIVITIES AND MUST BE MAINTAINED UNTIL FINAL COVER IS ESTABLISHED.

LEGAL DESCRIPTION:
PART LOT 15, CONFESSION 14
GEO. TOWNSHIP OF TOWNSIDE,
PART OF PART 4 PLAN 37-10287
NORFOLK COUNTY, ONTARIO

LEGAL PROPERTY BOUNDARY INFORMATION:
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SURVEY DRAWING PLAN 37-2458, BY JEWITT & DIXON, O.L.S., DATED MAR.
18TH, 1980; PLAN 37-3933 BY JOHN R. DODD LTD., O.L.S., DATED JULY 21ST, 1982
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REFERENCES AND DESCRIPTIONS AND PROPERTY MONUMENT LOCATIONS
AND TYPES.

TBM1 : ELEV= 212.30
TOP OF FINISHED FLOOR OF EXISTING SHOP BUILDING.

Client:



REVISIONS			
01	2025/07/24	ISSUED FOR SITE PLAN APPROVAL	NB

Rev: _____ Date: _____ Description: _____ Rev: _____

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GENERAL NOTES

1. GENERAL NOTES:

- 1.1. CONSTRUCTION AND DESIGNS SHALL CONFORM TO THE REQUIREMENT OF THE ONTARIO BUILDING CODE, AS AMENDED, AND ANY APPLICABLE ACTS OF AUTHORITY HAVING JURISDICTION. IN CASE OF CONFLICT OR DISCREPANCY, THE MORE STRINGENT REQUIREMENTS SHALL APPLY.
- 1.2. READ ALL STRUCTURAL DRAWINGS IN CONJUNCTION WITH THE ARCHITECTURAL DRAWINGS, ALL OTHER PROJECT DRAWINGS, CONTRACT DOCUMENTS AND SPECIFICATIONS.
- 1.3. REFER TO ARCHITECTURAL, MECHANICAL AND ELECTRICAL DRAWINGS FOR EXACT LOCATIONS OF PITS, SLEEVES, DEPRESSIONS, TRENCHES, ROOF MOUNTED OR SUSPENDED UNITS, OPENINGS AND OTHER. DO NO IMPOSE CONSTRUCTION LOADS ON THE STRUCTURE IN EXCESS OF THE DESIGN LOADS.
- 1.5. DO NOT CUT ANY HOLES IN BEARING WALLS, BEAMS OR OTHER STRUCTURAL ELEMENTS WITHOUT THE CONSULTANT'S APPROVAL.
- 1.6. PROTECT EXISTING BUILDINGS, TREES, FENCING, UTILITY POLES, CABLES, ACTIVE UNDERGROUND SERVICES AND FENCING ON THE SITE OR ANY ADJOINING PROPERTIES FROM DAMAGE. ANY DAMAGE RESULTED FROM THIS CONSTRUCTION WORK SHALL BE MADE GOOD TO THE APPROVAL OF THE CONSULTANT AT NO COST TO THE OWNER.
- 1.7. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS OF THE CONSTRUCTION SAFETY ACT (INCLUDING LATEST AMENDMENTS) AND OTHER LOCAL AUTHORITIES HAVING JURISDICTION.
- 1.8. BEFORE PROCEEDING WITH THE WORK, THE CONTRACTOR SHALL CHECK ALL DIMENSIONS SHOW ON THE STRUCTURAL DRAWINGS WITH THE ARCHITECTURAL, MECHANICAL AND ELECTRICAL DRAWINGS AND AGAINST SITE CONDITIONS. ANY DISCREPANCIES ARE TO REPORTED TO THE CONSULTANT(S) PRIOR TO PROCEEDING WITH ANY WORK.
- 1.9. NO SUBSTITUTIONS ARE ALLOWED UNLESS:

A. WRITTEN PERMISSION IS OBTAINED FROM THE CONSULTANT.

B. THE CONTRACTOR ENSURE THAT THE SUBSTITUTIONS CAN BE BOTH PHYSICALLY AND DIMENSIONALLY INCORPORATED IN THE WORK WITH NO LOSS OF INTENDED FUNCTION OR CONSTRUCTION TIME, AND AT NO ADDITIONAL COST TO THE OWNER.

C. THE CONTRACTOR REIMBURSES ALL CONSULTANTS FOR ADDITIONAL COSTS INVOLVED.

- 1.1. ALL DIMENSIONS TO BE FIELD VERIFIED PRIOR TO FABRICATION.
- 1.2. STRUCTURAL DRAWINGS MUST NOTE BE SCALE

2. SOIL CONDITIONS, EXCAVATION, FOUNDATION AND RELATED WORK

- 2.1. REFER TO THE GEOTECHNICAL REPORTS AS NOTED ON THE FOUNDATION PLAN. SOIL BEARING IS TO BE VERIFIED BY A GEOTECHNICAL ENGINEER PRIOR TO PLACEMENT OF FOUNDATIONS.
- 2.2. EARTH BOTTOMS OF EXCAVATIONS TO BE DRY UNDISTURBED SOIL, LEVEL AND FREE FROM ANY LOOSE OR ORGANIC MATERIALS.
- 2.3. PROTECT BOTTOMS OF EXCAVATIONS FROM SOFTENING. SHOULD SOFTENING OCCUR, REMOVE SOFTENED SOIL AND REPLACE WITH CONCRETE.
- 2.4. BACKFILL SIMULTANEOUSLY EACH SIDE OF WALL TO EQUALIZE SOIL PRESSURES. DO NOT EXCEED A GRADE DIFFERENCE OF 24" (600mm).
- 2.5. ALL FOUNDATIONS ARE TO BE INSTALLED ON UNDISTURBED SOIL CAPABLE OF WITHSTANDING THE FORCES SHOWN ON THE FOUNDATION PLAN.
- 2.6. EXTEND EXTERIOR FOUNDATIONS BELOW THE FROST LINE AS NOTED ON THE FOUNDATION PLAN. CARRY EXTERIOR FOOTINGS DOWN A MINIMUM OF 4'-0" (1200mm) BELOW FINISHED GRADE.
- 2.7. PROTECT FOUNDATION, INCLUDING ANY SLAB ON GRADE, FROM FROST ACTION DURING CONSTRUCTION.
- 2.8. BEFORE PLACING CONCRETE FOR FOOTINGS, OBTAIN APPROVAL FROM THE GEOTECHNICAL CONSULTANT. NOTIFY THE CONSULTANT IF ANY MODIFICATIONS ARE REQUIRED.
- 2.9. LOCATE ALL FOOTING CENTRALLY UNDER COLUMNS AND WALL UNLESS NOTED OTHERWISE.
- 2.10. STEP FOOTING DOWN OR LOWER FOOTING WHERE NECESSARY TO SUIT EXISTING AND/OR ADJACENT FOOTINGS, MECHANICAL & ELECTRICAL INSTALLATIONS, AND POOR SOIL CONDITIONS, THE LINE OF SLOPE ALONG STEPPED FOOTINGS AND BETWEEN ADJACENT FOOTINGS AND/OR EXCAVATIONS SHALL NOT EXCEEDED THE ANGLE OF REPOSE OF THE SITE SOIL CONDITIONS. STEP FOOTINGS 2'-0" (600mm) MAXIMUM AT A TIME.
- 2.11. AT LOCATIONS WHERE MECHANICAL SERVICES INTERFERE WITH FOOTINGS, ESTABLISH TOP OF FOOTING A MINIMUM OF 8" (200mm) BELOW INVERT ELEVATION. REFER TO MECHANICAL DRAWINGS FOR LOCATION OF SERVICES.

3. CAST IN PLACE CONCRETE

- 3.1. ALL CONCRETE WORK SHALL CONFORM TO CSA STANDARDS A23.1/A23.2-19.
- 3.2. CONCRETE COMPRESSIVE STRENGTH (f'c) AT 28 DAYS SHALL BE AS FOLLOWS UNLESS NOTE OTHERWISE:

FOOTINGS 20MPA

WALL & PIERS 25MPA

SLABS 30MPA
- 3.3. PROVIDE AIR-ENTRAINED CONCRETE TO ALL CONCRETE ELEMENTS EXPOSED TO WEATHER IN ACCORDANCE WITH THE REFERENCED STANDARD, INCLUDING FOUNDATION WALLS.
- 3.4. SIDE OF FOOTINGS SHALL BE FORMED UNLESS SPECIFICALLY SHOWN ON THE DRAWINGS TO BE POURED AGAINST EARTH, WHERE EARTH FORMS ARE PERMITTED, HAND TRIM BOTTOM AND SIDES AND REMOVE ALL LOOSE EARTH BEFORE PLACING CONCRETE.
- 3.5. PROVIDE SLEEVES IN SLABS OR WALLS FOR MECHANICAL PIPING AND AVOID OPENINGS WHERE POSSIBLE.
- 3.6. DETAIL, FABRICATE AND PLACE ALL REINFORCING IN CONFORMANCE WITH THE LATEST EDITION OF "MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCED CONCRETE STRUCTURE AND METRIC SUPPLEMENT", BY THE REINFORCING STEEL INSTITUTE.
- 3.7. ALL REINFORCING BAR SHALL BE DEFORMED BARS CONFORMING TO CAN/CSA G30.18-09 WITH A MINIMUM YIELD STRENGTH OF 400 MPA. WELDED FABRIC SHALL CONFORM TO CSA G30.5-M1983 WITH A MINIMUM YIELD STRENGTH OF 440MPA.
- 3.8. PROVIDE CONCRETE COVER TO REINFORCEMENT AS FOLLOWS:

SLAB ON GRADE - 1 ½" (40mm) FROM TOP OF SLAB.

CONC. POURED AGAINST EARTH - 3" (75mm).

CONC. POURED, AGAINST FORMED SURFACES - 2" (50mm).
- 3.9. LAPS: MESH LAP 12" (300mm). ALL OTHER LAPS AND EMBEDMENT OF DOWELS TO BE 36X THE BAR DIAMETER OR 18" (450mm) MINIMUM, UNLESS NOTED OTHERWISE ON PLANS
- 3.10. PROVIDE DOWELS FROM ALL FOOTINGS TO REINFORCED CONCRETE WALLS, PIERS AND COLUMNS. SECURE COLUMN DOWELS IN CORRECT POSITION BEFORE PLACING CONCRETE.
- 3.11. GROUND UNDERSIDE OF STEEL COLUMNS AND BEAM BEARING PLATES WITH DRY PACK NON-SHRINKING GROUT TO MANUFACTURER'S SPECIFICATIONS.
- 3.12. CONTROL JOINT FILLER: SIKAFLEX OR EQUAL.
- 3.13. TAKE SAMPLE FOR CONCRETE TESTING, MIN. 2 SETS PER POUR OR 100 CUBIC METERS.

4. SLAB ON GRADE

- 4.1. EXCAVATE AND REMOVE ALL FOREIGN MATERIAL AND SOFT SPOTS IN THE SUB GRADE AND PREPARE SUBGRADE AS PER THE GEOTECHNICAL REPORT
- 4.2. PLACE GRANULAR FILL TO COVER THE ENTIRE BUILDING AREA TO A MINIMUM DEPTH OF 8" (200mm). COMPACT FILL TO 100% S.P.D UNLESS SPECIFIED OTHERWISE IN THE GEOTECH REPORT, ON DRAWINGS OR EXCAVATION SPECIFICATIONS.
- 4.3. ALL GRANULAR FILL IS TO MEET THE SPECIFIED REQUIREMENTS AS RECOMMENDED IN THE GOEOTECHNICAL REPORT, AND THE SPECIFICATIONS.
- 4.4. ALL SLAB ON GRADE TO BE PLACED ON NATURAL UNDISTURBED SOIL OR COMPACTED GRANULAR FILL CAPABLE OF SUSTAINING A MINIMUM 1000PSF (48KN/m). ALL FILL TO BE COMPACTED TO A MINIMUM OF 100% SPD UNLESS NOTED OTHERWISE.
- 4.5. CONCRETE COMPRESSIVE STRENGTH AT 28 DAYS TO BE MINIMUM 30 MPA.
- 4.6. PROVIDE CONTROL JOINT DETAILS AROUND COLUMNS.
- 4.7. PLACE SLAB ON GRADE IN PANELS NOT EXCEEDING 9,000SF (900 m²) IN AREA. PROVIDE SAW-CUT CONTROL JOINTS AS SHOWN ON PLAN OR, AT 36X SLAB DEPTH, OR MAXIMUM 15'-0" SPACING (WHICHEVER IS LESS).

5. STRUCTURAL STEEL

- 5.1. ALL STRUCTURAL STEEL SHALL CONFORM TO CAN/CSA STANDARD G40.20-13/G40.21-13.

ROLLED WF, WWF - GRADE M350W,

CHANNELS, ANGLES - GRADE M300W,

HSS SHALL HAVE MINIMUM YIELD OF 350 MPa (CLASS C).
- 5.2. FABRICATION AND ERECTION SHALL CONFORM TO C.S.A. STANDARD CAN/CSA S16-19.
- 5.3. ALL WELDING SHALL BE DONE BY QUALIFIED WELDERS IN COMPLIANCE WITH CSA STANDARD W47-1-09 (R2014) AND IN ACCORDANCE WITH CSA STANDARD W59-13.
- 5.4. PROVIDE WELDED OR BOLTED CONNECTIONS TO RESIST THE REACTIONS PRODUCED BY THE FRAMING AND LOAD CONDITIONS.
- 5.5. ALL BOLTS EXCEPT HIGH STRENGTH COMPLYING WITH ASTM A325 BOLTS EXCEPT A307 BOLTS FOR ANCHOR BOLTS.
- 5.6. TO ALL NEW STRUCTURAL STEEL, PROVIDE ONE SHOP COAT OF PRIME PAINT COMPLYING WITH CIS/C/CPMA STANDARD 1-73a.
- 5.7. SUBMIT ERECTION AND DETAIL DRAWINGS FOR REVIEW PRIOR TO FABRICATION.
- 5.8. PROVIDE ADJUSTABLE MASONRY ANCHORS WELDED TO STEEL COLUMNS WHERE MASONRY TIES INTO COLUMNS.
- 5.9. VERIFY ALL DIMENSIONS ON SITE PRIOR TO COMMENCING WITH ANY FABRICATION OF STEEL WORK.
- 5.10. CLEAN ALL FIELD WELDS AFTER ERECTION, AND TOUCH-UP WITH PRIME PAINT.
- 5.11. GALVANIZING, IF USED, SHALL BE IN COMPLIANCE WITH C.S.A. STANDARDS CAN/CSA G164-M92 (R2003) - "HOT DIP GALVANIZING OR IRREGULARLY SHAPED ARTICLES."
- 5.12. DO NOT PAINT STEEL WHICH IS TO BE ENCASED IN CONCRETE. REMOVE PAINT FROM EXISTING STEEL SURFACES WHICH ARE TO BE FIELD WELDED.
- 5.13. DESIGN OF CONNECTIONS SHALL BE BY A PROFESSION ENGINEER LICENSED IN THE PROVINCE OF ONTARIO.
- 5.14. QUALITY CONTROL: AN INSPECTION AND TESTING COMPANY SHALL INSPECT THE ERECTION AND FASTENING OF STRUCTURAL STEEL IN ACCORDANCE WITH RELEVANT STANDARDS. RETAINING THE INSPECTOR, COORDINATION AND SUBMITTALS OF REPORTS TO THE PROJECT ENGINEER IS BY THE CONTRACTOR.

6. TEMPORARY WORK

- 6.1. PROVIDE ALL ADEQUATE SHORING FOR THE SAFE COMPLETION OF THE WORK. ASSUME RESPONSIBILITY TO DESIGN AS WELL AS TO ERECT, MAINTAIN AND EVENTUALLY REMOVE ALL THE TEMPORARY WORKS NECESSARY FOR CARRYING OUT OF THIS CONTRACT.
- 6.2. MAKE ADEQUATE PROVISIONS FOR CONSTRUCTION STRESSES AND FOR SUFFICIENT TEMPORARY BRACING TO KEEP THE STRUCTURE PLUMB AND IN THE TRUE ALIGNMENT AT ALL PHASES OF WORK UNTIL COMPLETION (INCLUDING MASONRY WALLS, FLOOR AND ROOF DECKS, ETC.). ANY BRACING MEMBERS SHOWN ON PLANS ARE THOSE REQUIRED FOR THE FINISHED STRUCTURE AND MAY NOT BE SUFFICIENT FOR ERECTION PURPOSES.
- 6.3. TRUCKS, CRANES, HOISTS OR ANY HEAVY EQUIPMENT OR MATERIALS ARE NOT ALLOWED TO ENTER ANY STRUCTURAL FLOOR OR ROOF AREA UNLESS SPECIFICALLY DESIGNED AND DESIGNATED FOR THIS PURPOSE.
- 6.4. THE CONTRACTOR SHALL HAVE THE SOLE RESPONSIBILITY FOR THE DESIGN, ERECTION, OPERATION, MAINTENANCE AND REMOVAL OF TEMPORARY SUPPORTS, TEMPORARY BRACINGS, SHORING SYSTEM, AND FACILITIES AND THE DESIGN AND EXECUTION OF CONSTRUCTION METHODS REQUIRED IN THEIR USE.
- 6.5. THE CONTRACTOR SHALL ENGAGE AND PAY FOR REGISTERED PROFESSIONAL ENGINEERING PERSONNEL SKILLED IN THE APPROPRIATE DISCIPLINES TO PERFORM THOSE FUNCTIONS REFERRED TO IN PARAGRAPH ABOVE OR AND IN ALL CASES WHERE SUCH TEMPORARY SUPPORTS, STRUCTURES, AND FACILITIES AND THEIR METHOD OF CONSTRUCTION ARE OF SUCH A NATURE THAT PROFESSIONAL ENGINEERING SKILL IS REQUIRED TO PRODUCE SAFE AND SATISFACTORY RESULTS.

7. SHOP DRAWINGS

- 7.1. SUBMIT SHOP DRAWINGS FOR ALL STRUCTURAL WORK AND ANY WORK AFFECTING THE STRUCTURE TO ARCHITECT. OBTAIN CONSULTANT APPROVAL BEFORE PROCEEDING WITH FABRICATION.

ITEM	NOTES
PRE-ENG BUILDING DRAWINGS	REQUIRED SUBMITTAL, STAMPED BY P.ENG
EQUIPMENT, RACKING, LIFTS	REQUIRED SUBMITTAL
REINFORCING BAR (FOUNDATIONS & CONCRETE SLABS)	REQUIRED SUBMITTAL

DESIGN NOTES

1. GENERAL NOTES:

1.1. EXAMINE ALL DRAWINGS, SPECIFICATIONS AND CONTRACT DOCUMENTS TO OBTAIN ALL APPLICABLE LOADS, REPORT AND DISCREPANCIES TO THE CONSULTANT.

1.2. UNLESS NOTED OTHERWISE, THE UNIT LOADS INDICATED ARE UNFACTORED. MEMBER FORCES GIVEN ON DRAWINGS ARE FACTORED.

1.3. THE STRUCTURE HAS BEEN DESIGN FOR WIND AND SEISMIC FORCES IN ACCORDANCE WITH THE REQUIREMENT OF THE LATEST EDITION OF THE ONTARIO BUILDING CODE.
2. CLIMATIC DESIGN LOADS

2.1. LOCATION: SIMCOE, ONTARIO

2.2. BUILDING IMPORTANCE CATEGORY: NORMAL

2.3. SNOW LOADING (OBC 4.1.5.3)

IMPORTANCE FACTOR FOR ULS Is 1.0

IMPORTANCE FACTOR FOR SLS Is 0.9

GROUND SNOW LOAD Ss 2.60 KPA

½s0 ASSOCIATED RAIN LOAD Sr 0.4 KPA

BASIC ROOF SNOW LOAD FACTOR Cb 0.8

SNOW LOAD, DISTRIBUTION AND FACTORS APPLIED PER OBC AND NBCC COMMENTARY 'G'.

2.4. WIND LOADS

WIND EXPOSURE OPEN

WIND CATEGORY 2

IMPORTANCE FACTOR FOR ULS Iw 1.0

IMPORTANCE FACTOR FOR SLS Iw 0.75

REFERENCE WIND PRESSURE Qz/50 0.45 KPA

WIND EXPOSURE COEFFICIENT Ce 0.9

WIND LOAD APPLIED PER OBC AND NBCC COMMENTARY FIGURE 1-7.
- 2.5. SEISMIC LOADS

LATERAL LOAD RESISTANCE SYSTEM PRE-ENGINEERED BUILDING SYSTEM MOMENT RESISTING FRAME

IMPORTANCE FACTOR Ie 1.0

SITE CLASSIFICATION D

SEISMIC CATEGORY SC2

SEISMIC PARAMETERS

S(0.2) 0.280 S(5.0) 0.018

S(0.5) 0.259 S(10.0) 0.005

S(1.0) 0.150 PGA 0.125

S(2.0) 0.071 PGA 0.129
- 2.6. SEISMIC LOAD APPLIED PER OBC AND NBCC COMMENTARY 'J' WITH THE EQUIVALENT STATIC FORCE PROCEDURE, FOR WHICH CAUSES THE HIGHEST LOAD.
- 2.7. FOR ELEMENTS OF STRUCTURES, NON-STRUCTURAL COMPONENTS AND EQUIPMENT, IS TO BE PROVIDED PER OBC 4.1.8.18.

FOR BUILDING IS SEISMIC CATEGORY SC1 OR SC2, OTHER THAN POST DISTATER BUILDINGS, THE REQUIREMENTS OF 4.1.8.18 (1) NEED NOT APPLY FOR CATEGORIES 6 THROUGH 22 OF TABLE 4.1.8.18

ONTARIO BUILDING CODE 2024 DATA MATRIX PARTS 3 & 9								OBC 2024 REFERENCE			
1	Project Description ▶ New Addition Renovation Change of Use				Part 11 11.1 to 11.4		Part 3 Div. A 1.3.3.2.	▶ Part 9 Div. A. 1.3.3.3.			
2	Major Occupancy(s) Group F Division 2 - Repair garage						3.1.2.1.(1)	9.10.2.			
3	Building Area (m²)		New Building 557.4m²		Total	557.4m²	Div. A 1.4.1.2.	Div. A 1.4.1.2.			
4	Gross Area (m²)		Existing 0m²		New 557.4m²		Div. A 1.4.1.2.	Div. A 1.4.1.2.			
5	Number of Storeys				Above Grade 1		Below Grade 0	3.2.1.1.			
6	Height of Building (m)				5.4 m		18 ft	Div. A 1.3.3.2.	9.10.4.		
7	Number of Streets / Access Routes				Facing 1 street/access route				3.2.2.10. & 3.2.5.4.	9.10.20.	
8	Building Classification				Group F, Division 2				3.2.2.20-3.2.2.92.	9.10.2.	
9	Sprinkler System Proposed		Entire building		3.2.2.20-3.2.2.92.				9.10.8.2.		
			Basement only		3.2.1.5.				9.10.9.4.		
			In lieu of roof rating		3.2.2.17.				9.10.8.11.		
			Seismic Bracing - See NFPA 13-04 9.3.8. & OBC 4.1.8.17.		▶ Not required						
10	Standpipe required		▶ No		Yes		3.2.5.8.	9.10.1.3.(9)			
11	Fire Alarm required		▶ No		Yes		3.2.4.	9.10.18.2.			
12	Water Services / Supply is adequate		▶ No		Yes		3.2.5.7.	9.31.3.1.			
13	High Building		▶ No		Yes		3.2.6.	N/a			
14	Permitted Construction		Combustible		Non-Combustible		▶ Both	3.2.2.20-3.2.2.92.	9.10.6.		
	Actual Construction		Combustible		Non-Combustible		▶ Both				
15	Mezzanine Area (m²)		n/a m²						3.2.1.1.(3)-(8)	9.10.4.1.	
16	Occupancy load based on:		m²/person		▶ Design of building				3.1.17.	9.9.1.3.	
			Main Floor		F2 Major Occupancy		10 Occupant load				
17	Barrier-Free Design		No		▶ Yes		3.8.	9.5.2.			
18	Plumbing fixtures		m²/person		▶ Design of building				3.7.4.	9.31.	
	Main Floor		WC's required 1		WC's provided						
	Universal Bathroom		▶ No		Yes				3.8.2.3.		
19	Hazardous substances		▶ No		Yes				3.3.1.2.:3.3.1.19.	9.10.1.3.(4)	
20	Required Fire Resistance Rating (FRR)	Horizontal Assemblies		Listed Design No. or Description				3.2.2.20-3.2.2.92.	9.10.8.		
		Floors	MIN 0.75	Hours	n/a				3.1.3.1.	9.10.9.	
		Ceilings	n/a	Hours					3.2.1.4.		
		Mezzanine	0.75	Hours	n/a				3.2.8.		
		Vertical Assemblies between occupancies									
		Partition	n/a	Hours							
		FRR of supporting members									
		Floors	MIN 0.75	Hours	n/a						
		Roofs	n/a	Hours							
		Mezzanine	MIN 0.75	Hours	n/a						
21	Required Sound Resistance Rating (STC)	Assembly	Required	Proposed	Listed Design / ULC			3.3.4.6.	9.11.1.1.		
		Ceiling	n/a					5.8.			
		Walls	n/a								
22	SPATIAL SEPARATION - CONSTRUCTION OF EXTERIOR WALLS										
	WALL	EBF AREA	LIMITING DISTANCE	L/H OR H/L	MAXIMUM % OF UNPROTECTED OPENINGS	PROPOSED % OF UNPROTECTED OPENINGS	FRR (HOURS)	LISTED DESIGN OR DESCRIPTION	TYPE OF CONSTRUCTION REQUIRED	TYPE OF CLADDING REQUIRED	
	North	167.2 m²	+25 m	n/a	n/a per 9.10.14.4.(1) and (9)	1.4% (2.3 m²)	n/a	n/a	No restriction	No restriction	
	South	167.2 m²	+25 m	n/a	n/a per 9.10.14.4.(1) and (9)	36% (60.2 m²)	n/a	n/a	No restriction	No restriction	
	West	100.3 m²	+25 m	n/a	n/a per 9.10.14.4.(1) and (9)	No openings	n/a	n/a	No restriction	No restriction	
	East	100.3 m²	+25 m	n/a	n/a per 9.10.14.4.(1) and (9)	No openings	n/a	n/a	No restriction	No restriction	

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Owner:

SIMCOE SPRING SERVICE

Client:

OOSTERVELD CONSTRUCTION

REVISIONS

0	17/07/2025	Issued for SPA	JL
Rev.:	Date: 05/09/2025	Description:	By:

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Office: 519.688.2525

Project Name:

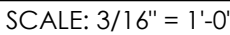
PROPOSED DEVELOPMENT FOR
SIMCOE SPRING SERVICE

4911 ON-3,
Simcoe, Ontario

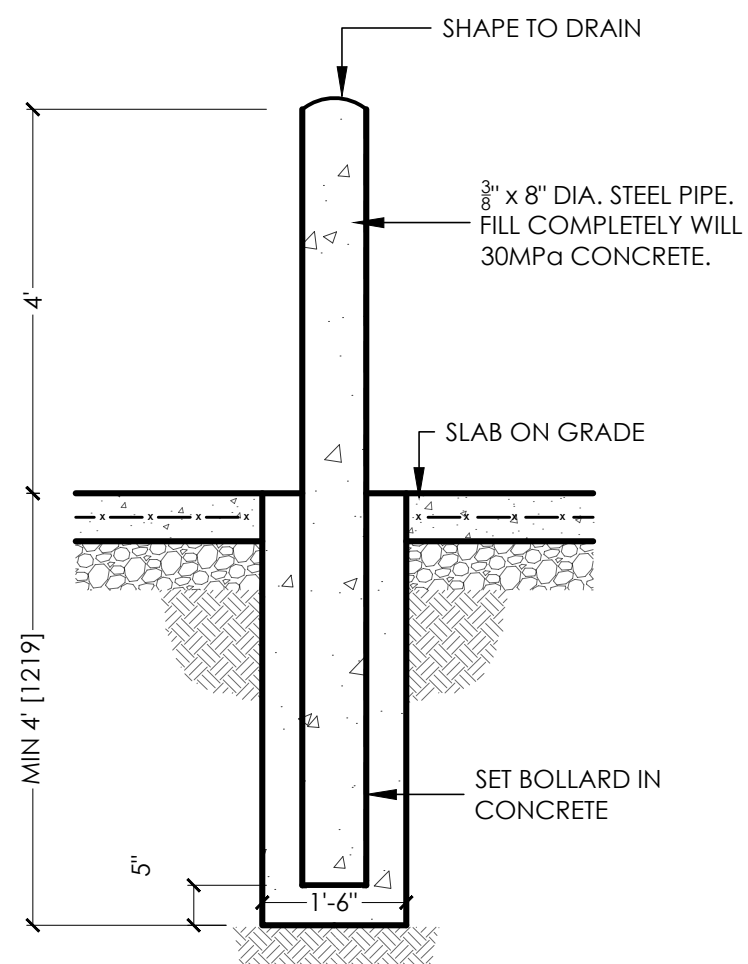
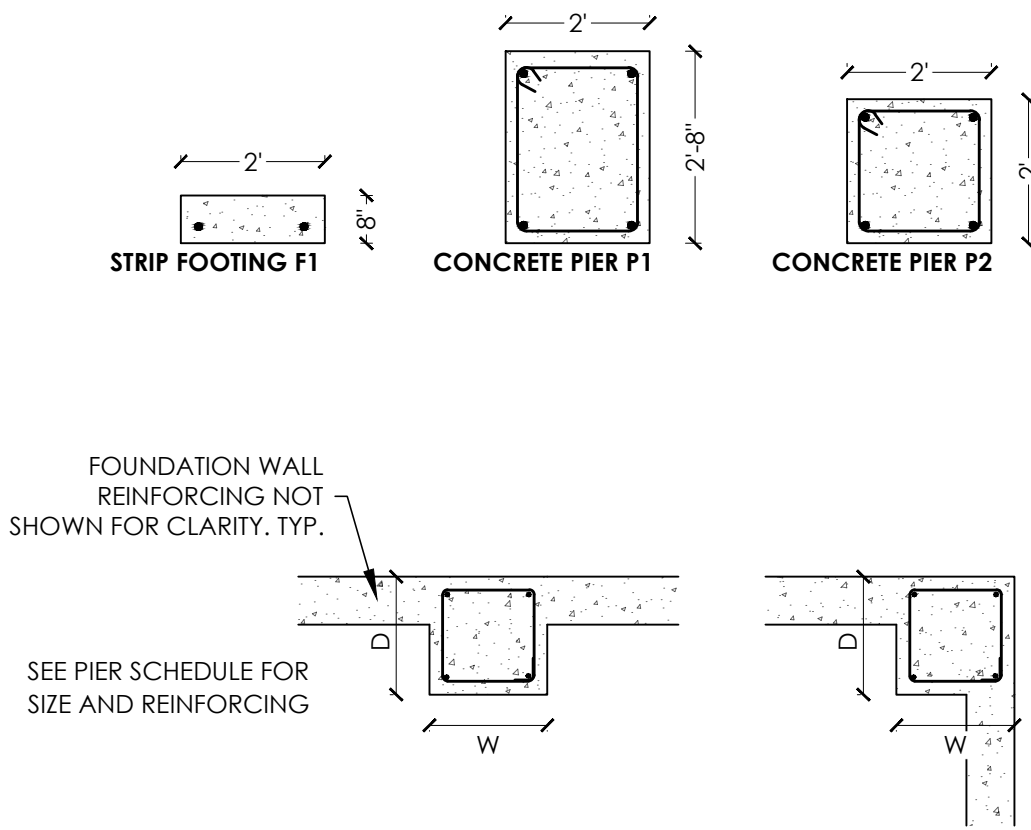
Drawings:

GENERAL NOTES & OBC MATRIX

Drawn By: J. LOPEZ		Job Number: 25-0290	
Approved By: N. BALAN		Sheet No.:	Revision No.:
Date: July 17, 2025	Scale: As Noted	SO.1	0

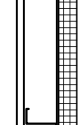



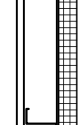

2 TYPICAL BOLLARD DETAIL
S1.0 SCALE: 1/2" = 1'-0"

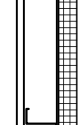



As NC



WALL SCHEDULE	
	<p>W1 PRE-ENG ASSEMBLY <u>EXTERIOR</u></p> <p>-4" R30 INSULATION WALL PANEL (IMP) -FINISH AND COLOUR BY OWNER -8" 18Gg. Z GIRL 26Gg. METAL LINER OPTIONAL</p>
	<p>W2 PARTITION WALL <u>INTERIOR</u></p> <p>-7/16" DRYWALL -2X4 WOOD STUDS @16" C/C -7/16" DRYWALL</p>

WALL SCHEDULE	
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SIMCOE SPRING SERVICE

Client:


OOSTERVELD CONSTRUCTION


REVISIONS

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Project Name:

PROPOSED DEVELOPMENT FOR
SIMCOE SPRING SERVICE

4911 ON-3,
Simcoe, Ontario

Drawing:

FLOOR PLAN

Drawn By:
J. U. LOPEZ

Approved By:
N. BALAN

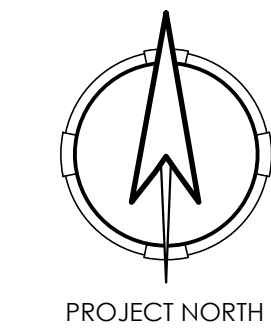
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25-0290

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S2.0

Revision No.:
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D

1

6

D

100'-0" OUT-TO-OUT OF STEEL

SLOPE

60' OUT-TO-OUT OF STEEL

A

1

6

A

SLOPE

1
S2.1

ROOF PLAN

SCALE: 3/16" = 1'-0"

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Project Name:

PROPOSED DEVELOPMENT FOR
SIMCOE SPRING SERVICE

4911 ON-3,
Simcoe, Ontario

Drawing:

ROOF PLAN

Drawn By:

J. LOPEZ

Job Number:

25-0290

Approved By:

N. BALAN

Sheet No.:

S2.1

Revision No.:

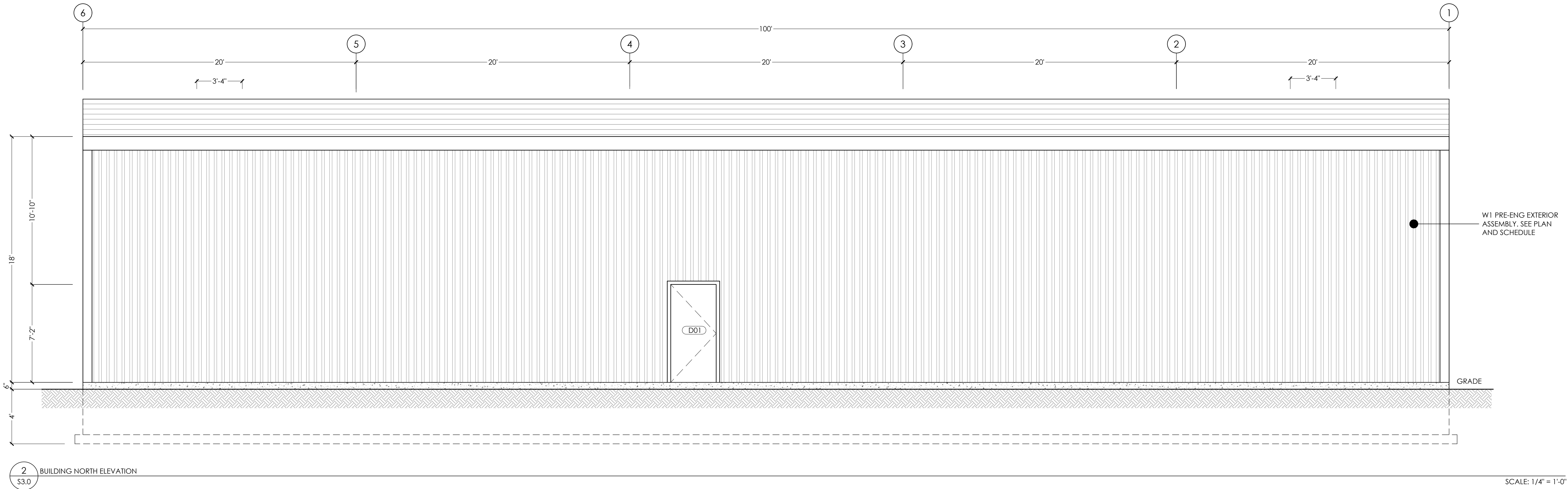
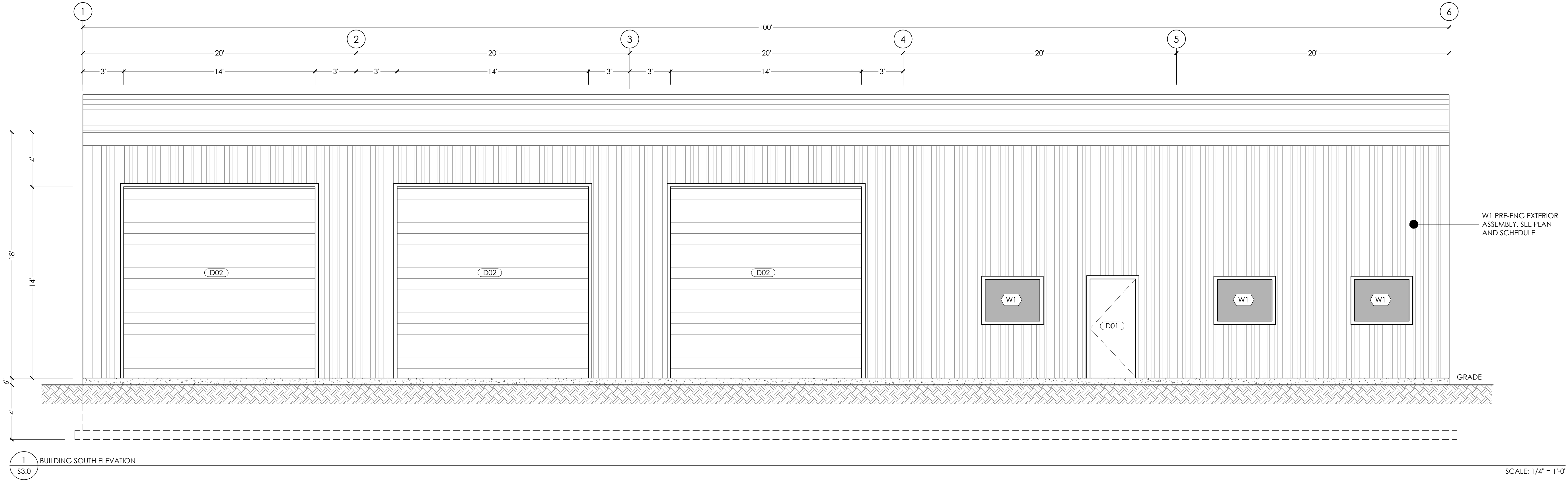
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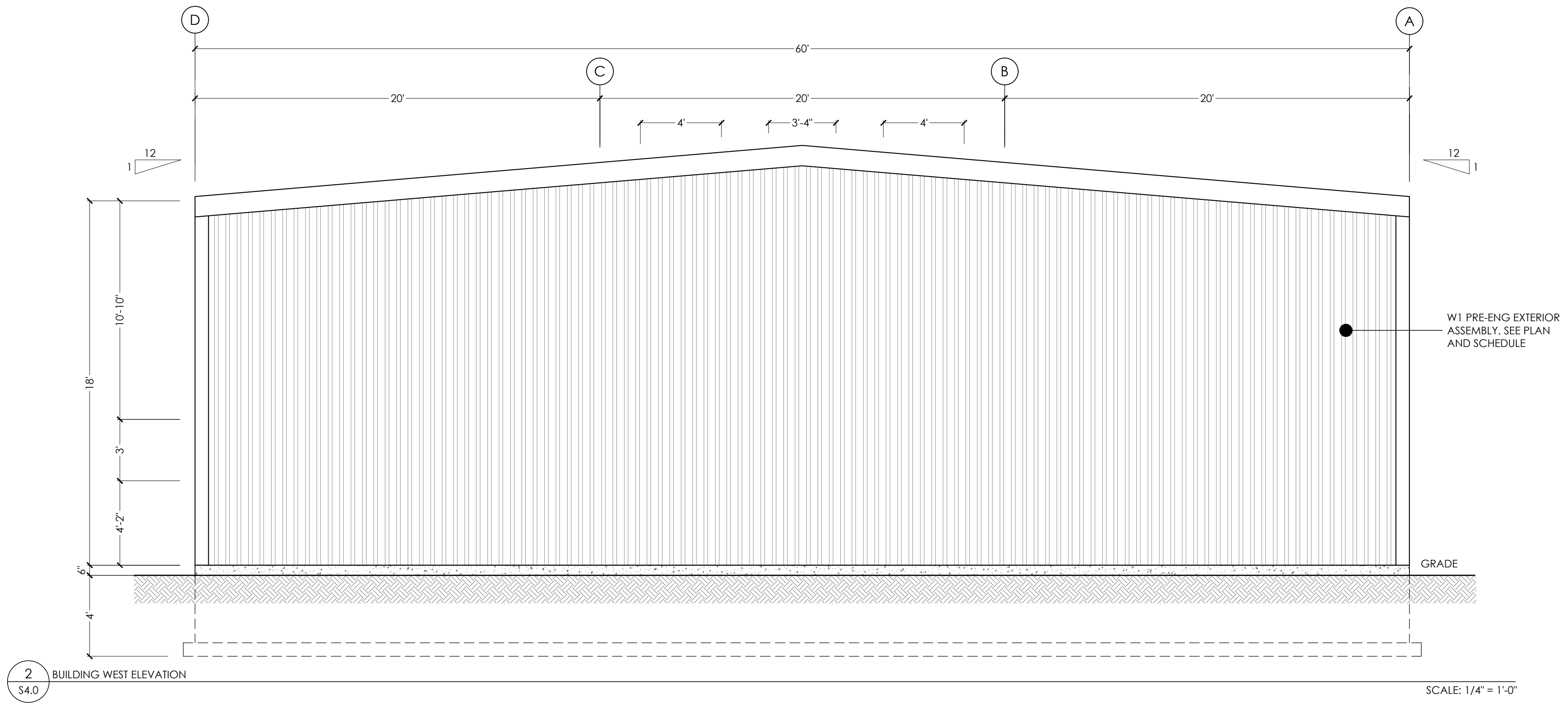
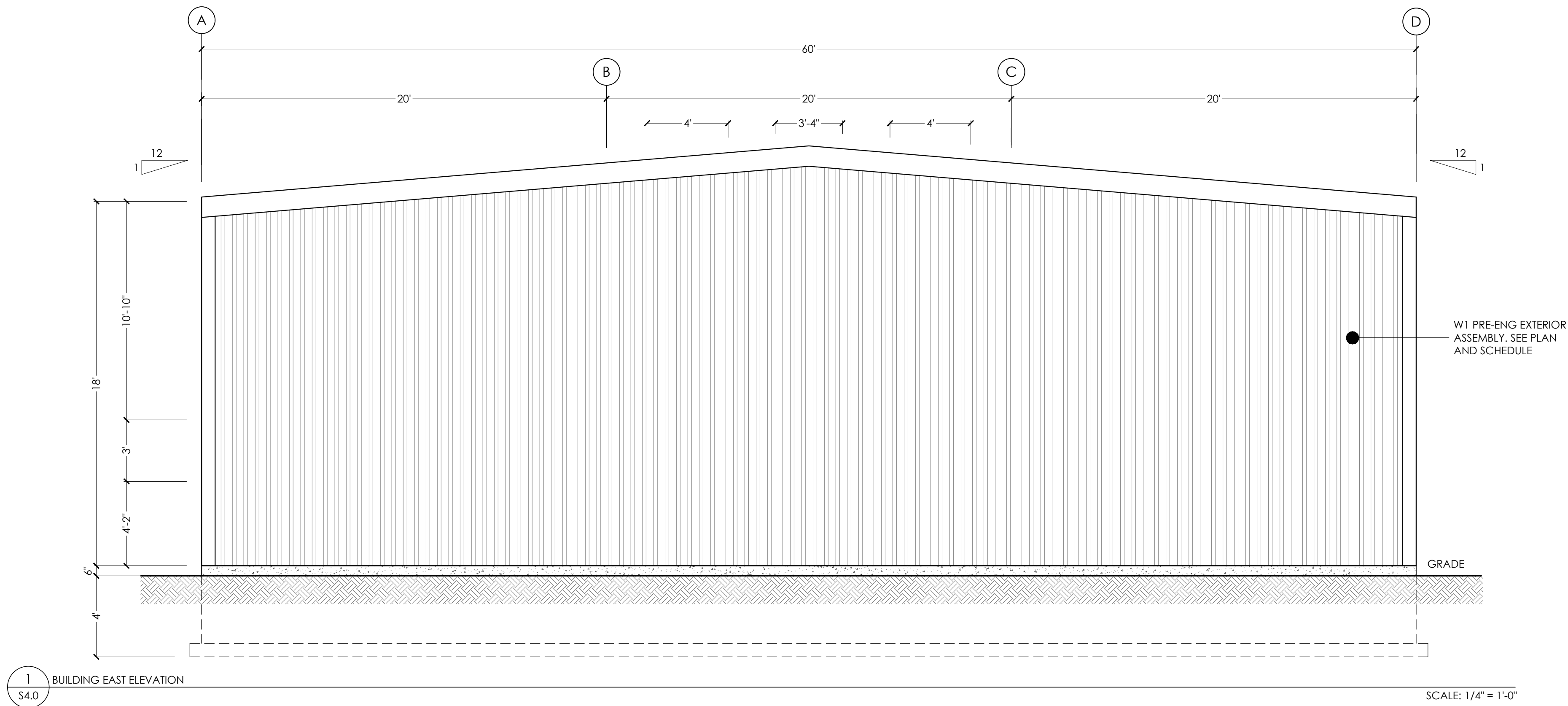
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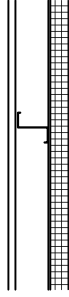
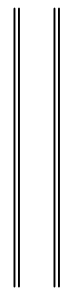
BUILDING ELEVATIONS

Drawn By:	J. LOPEZ	Job Number:	25-0290
Approved By:	N. BALAN	Sheet No.:	Revision No.:
Date:	July 17, 2025	Scale:	As Noted
		S3.0	0



DOOR SCHEDULE			
TAG	WIDTH	HEIGHT	QTY
D01	3'-4"	7'-2"	6
D02	14'-0"	14'-0"	3
D03	3'-0"	7'-2"	1

WINDOW SCHEDULE			
TAG	WIDTH	HEIGHT	QTY
W01	4'	3'	3

WALL SCHEDULE	
	PRE-ENG ASSEMBLY EXTERIOR -4" R30 INSULATION WALL PANEL (IMP) -FINISH AND COLOUR BY OWNER -8" 18Gg. Z GIRL 2&Gg. METAL LINER OPTIONAL
	PARTITION WALL INTERIOR -7/16" DRYWALL -2X4 WOOD STUDS @16" C/C -7/16" DRYWALL

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Owner:
SIMCOE SPRING SERVICE

Client:
OOSTERVELD CONSTRUCTION

REVISIONS			
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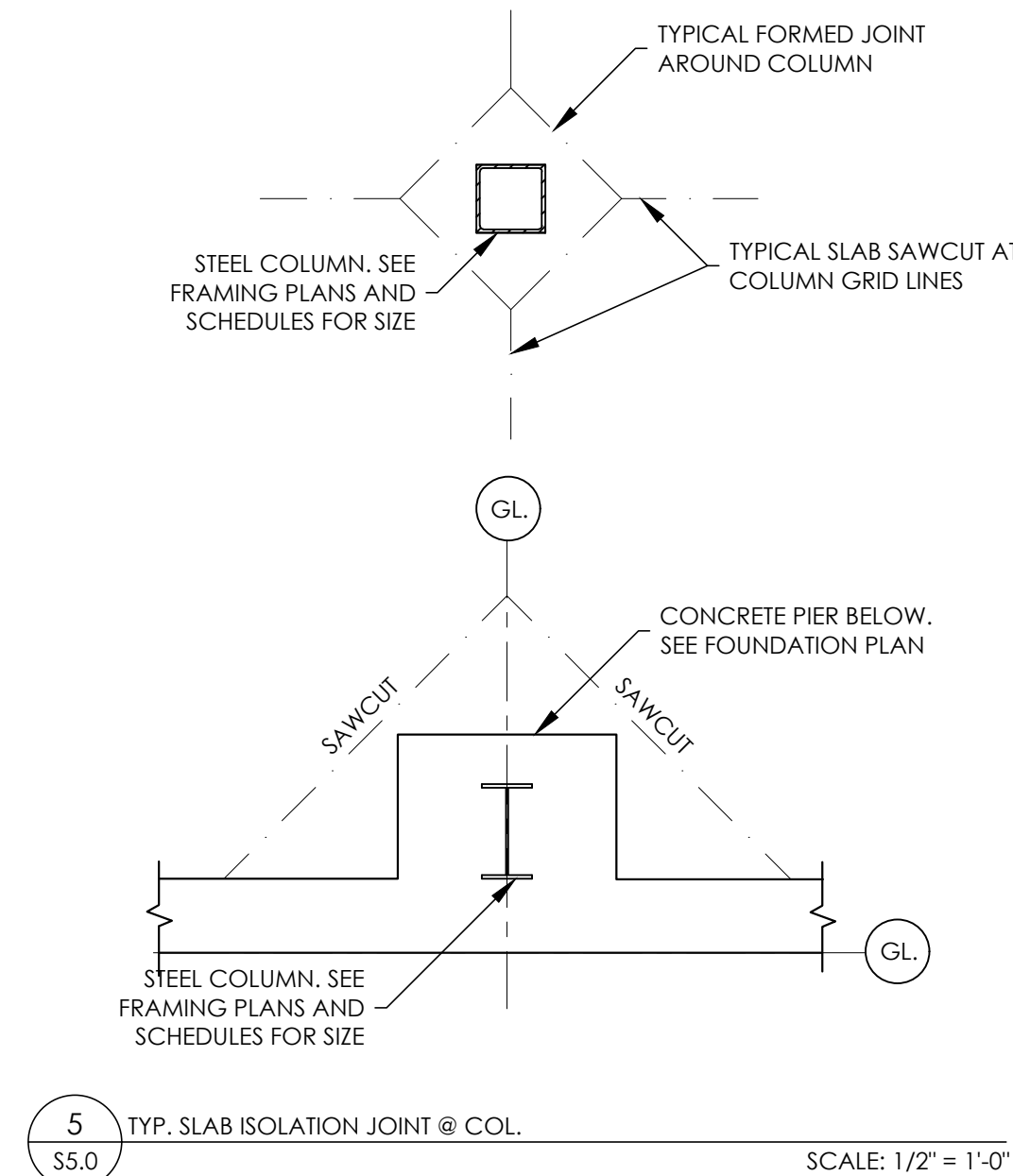
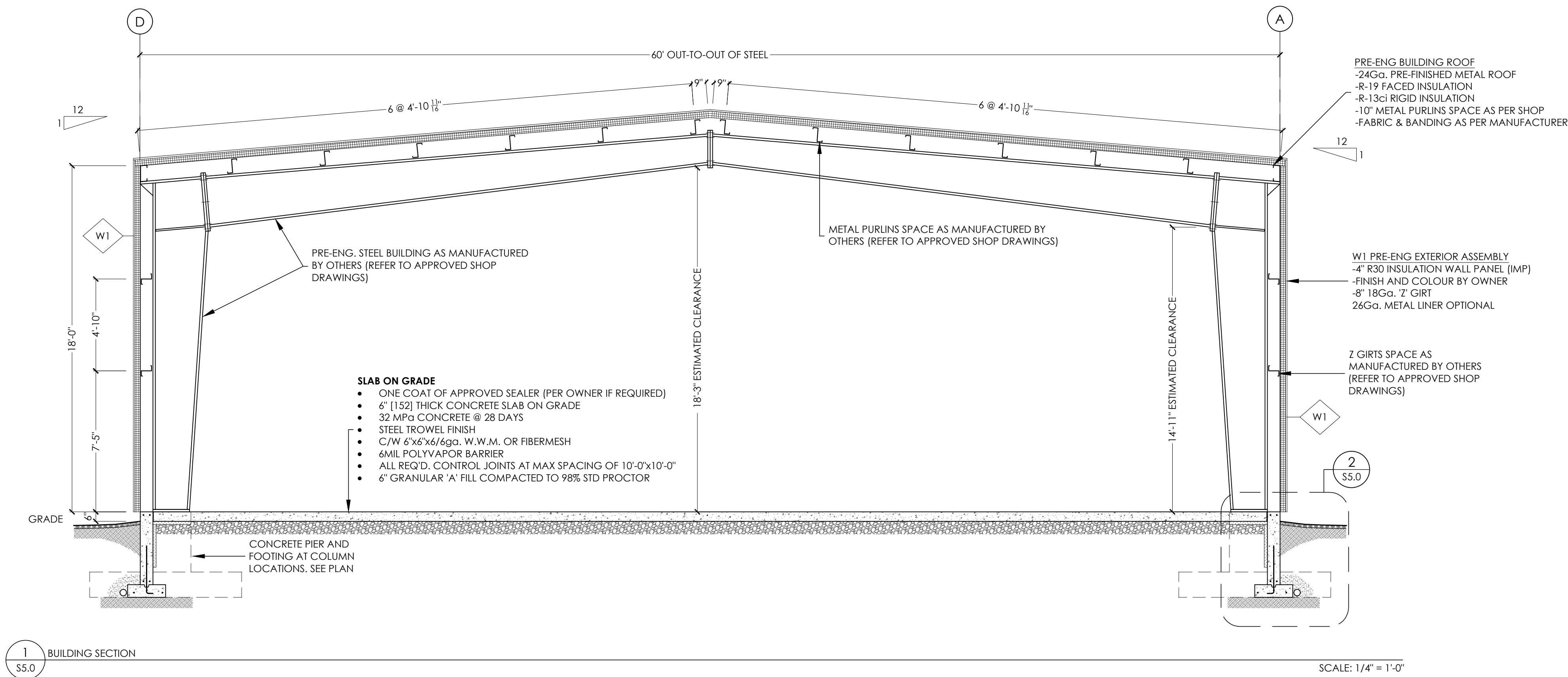


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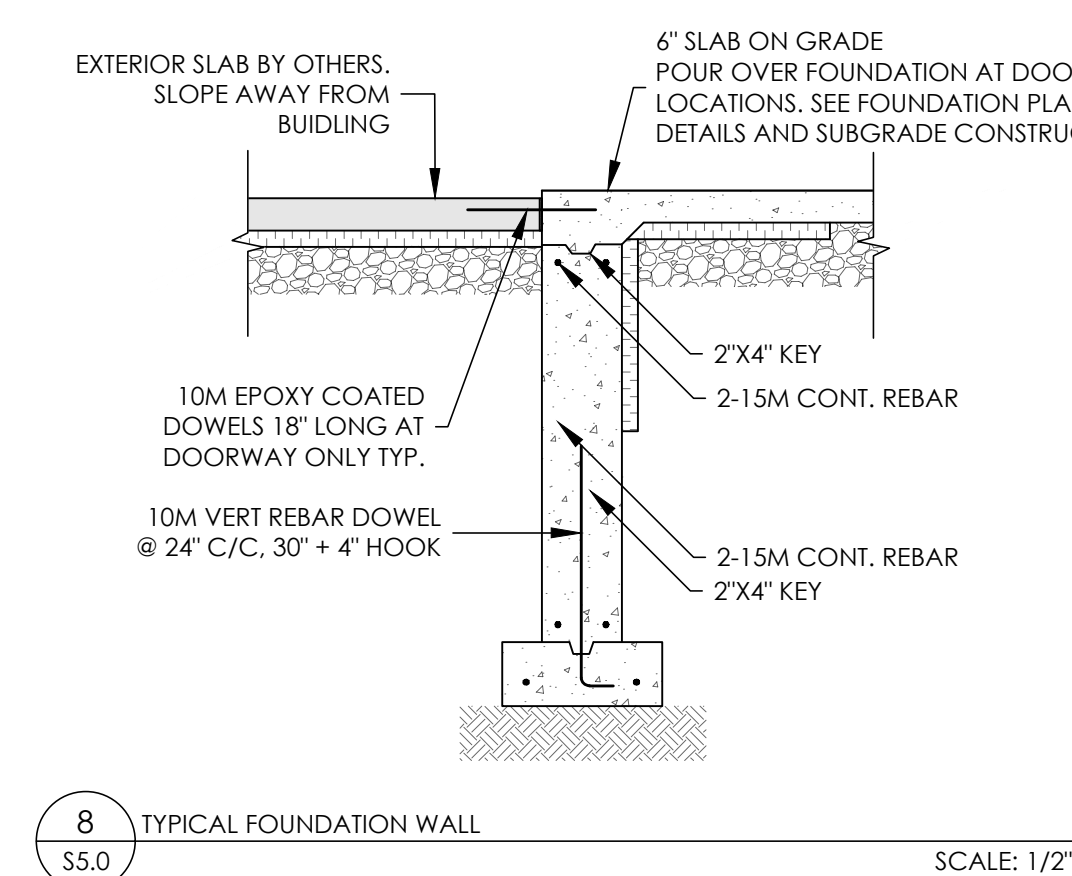
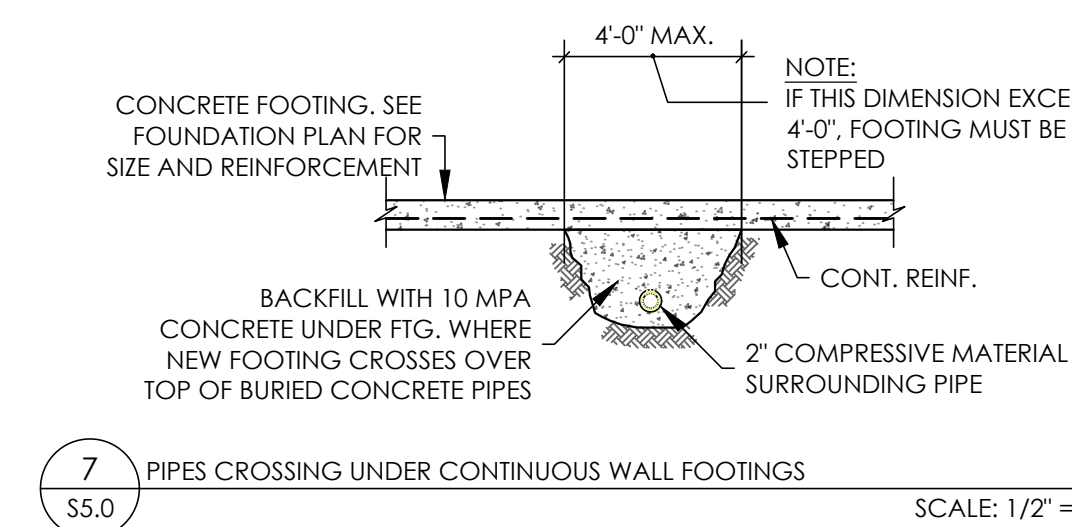
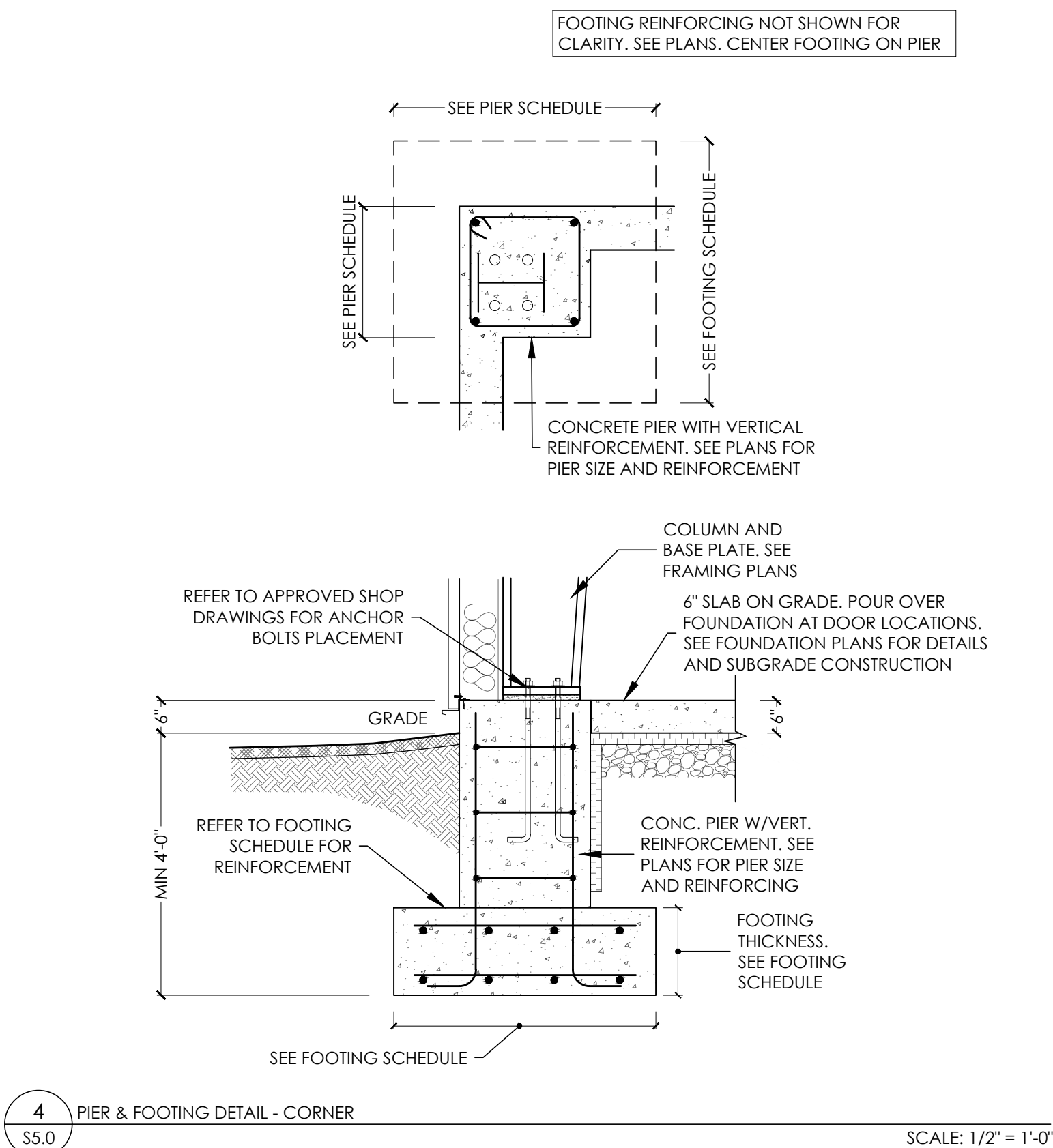
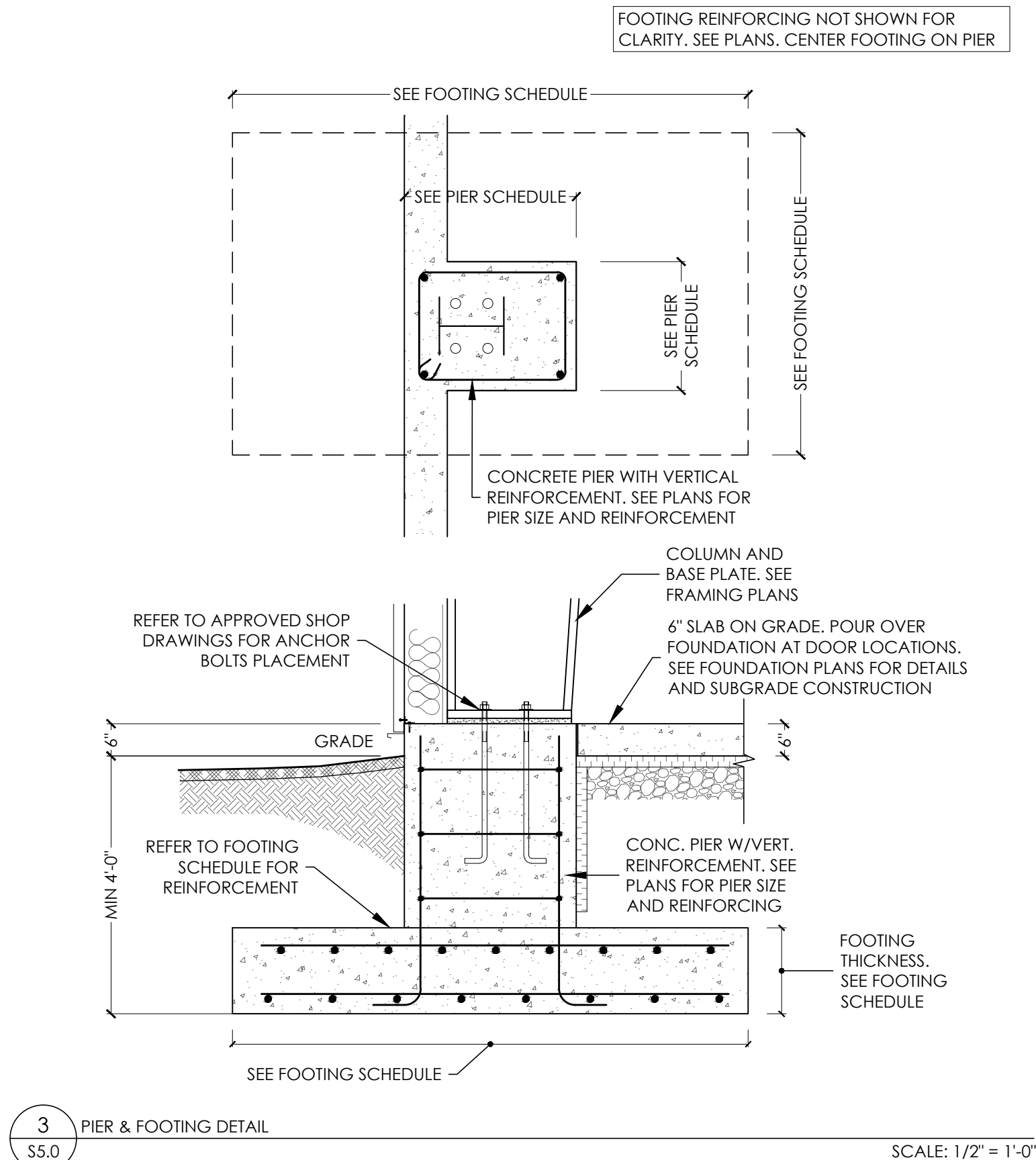
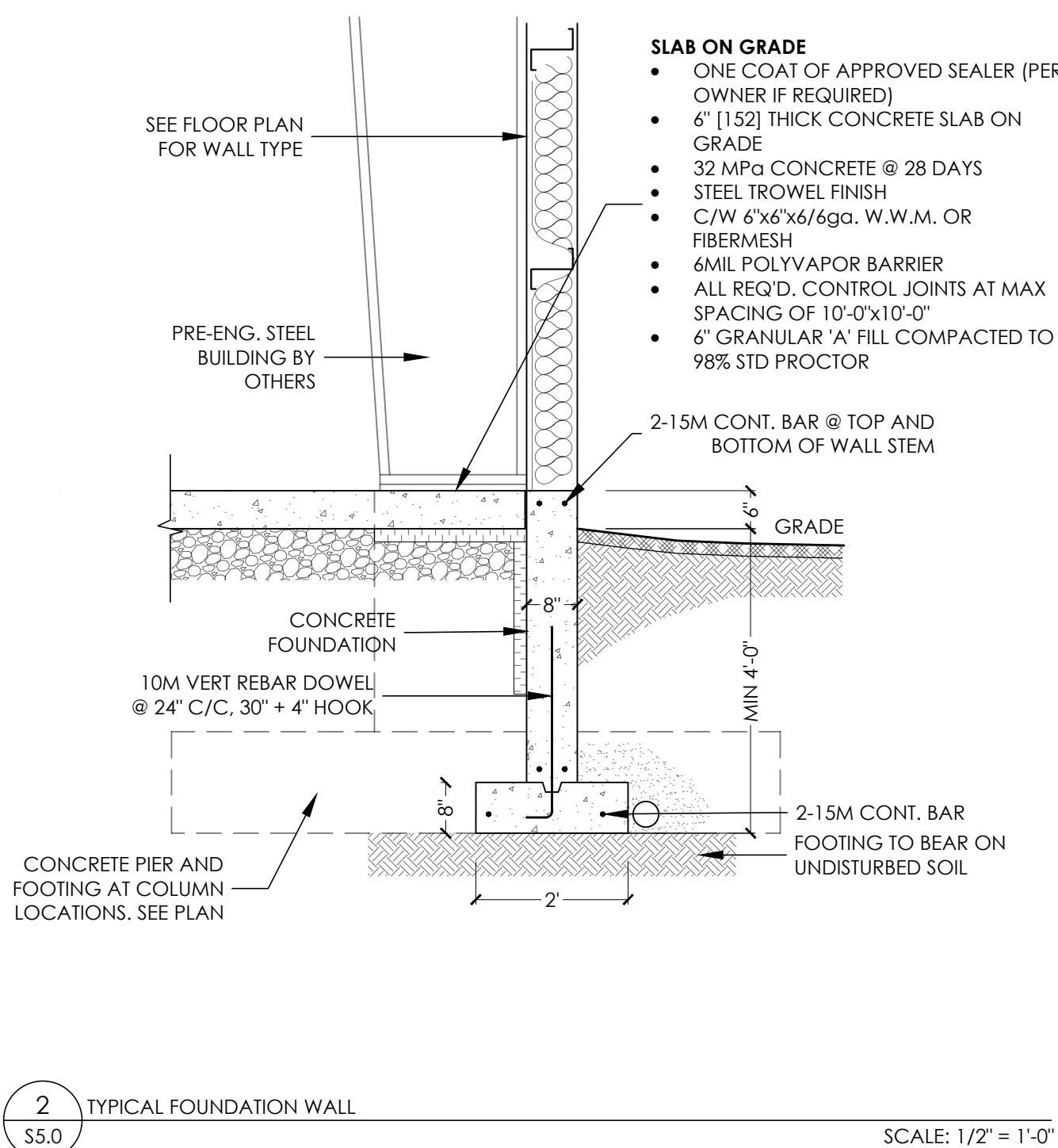
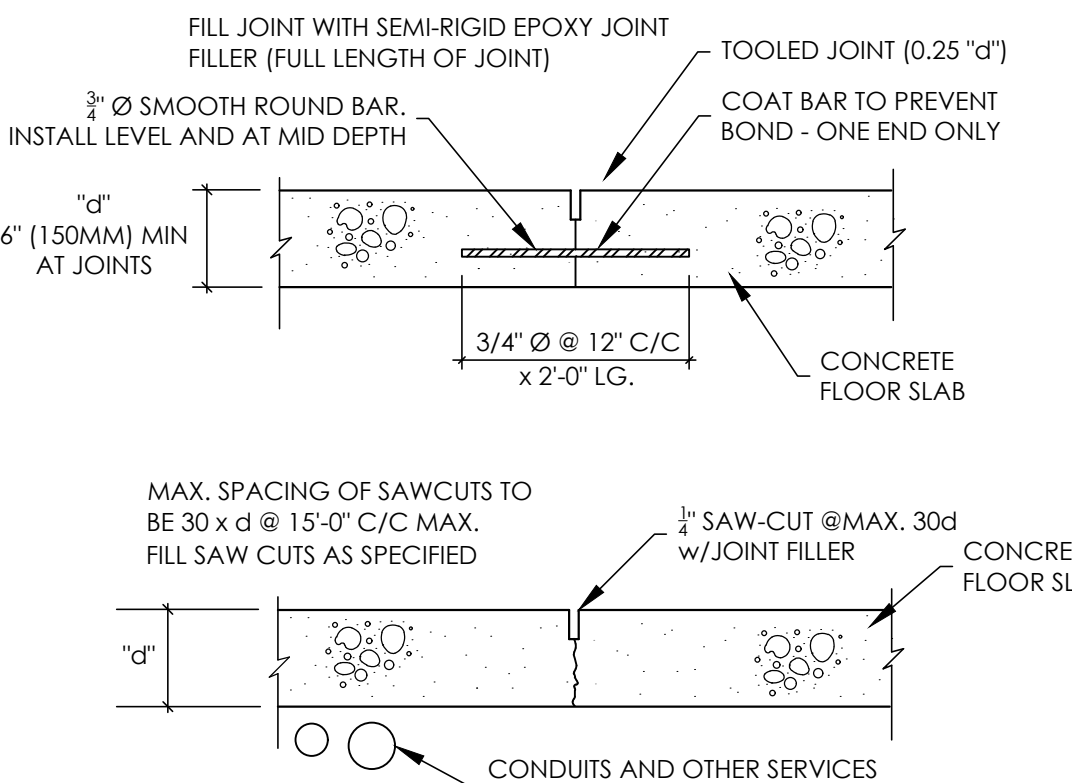
Project Name:
PROPOSED DEVELOPMENT FOR SIMCOE SPRING SERVICE
4911 ON-3, Simcoe, Ontario

Drawing:
BUILDING ELEVATIONS

Drawn By: J. LOPEZ	Job Number: 25-0290
Approved By: N. BALAN	Sheet No.: S4.0
Date: July 17, 2025	Revision No.: 0
Scale: As Noted	



DOWELS REQUIRED AT CONSTRUCTION JOINTS			
SLAB THICKNESS	DOWEL Ø	SPACING C/C	LENGTH
5" - 6"	1/2" Ø	12"	14"
8"	1" Ø	12"	16"
10"	1 1/2" Ø	12"	18"



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Project Name:

PROPOSED DEVELOPMENT FOR
SIMCOE SPRING SERVICE

4911 ON-3,
Simcoe, Ontario

Drawings:

BUILDING SECTION & DETAILS

Drawn By:

J. LOPEZ

Job Number:

25-0290

Approved By:

N. BALAN

Sheet No.:

Revision No.:

Date:

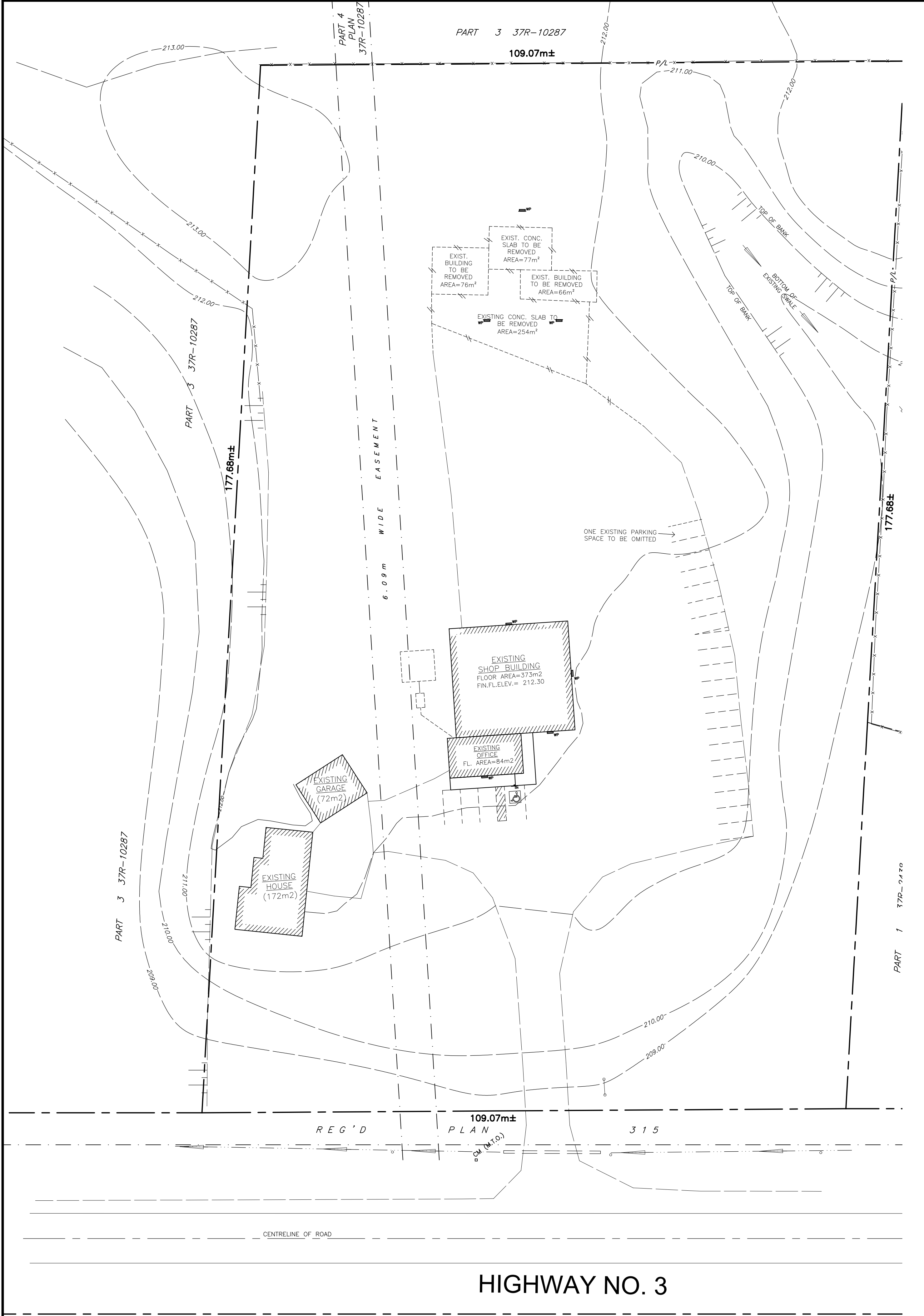
July 17, 2025

Scale:

As Noted

S5.0

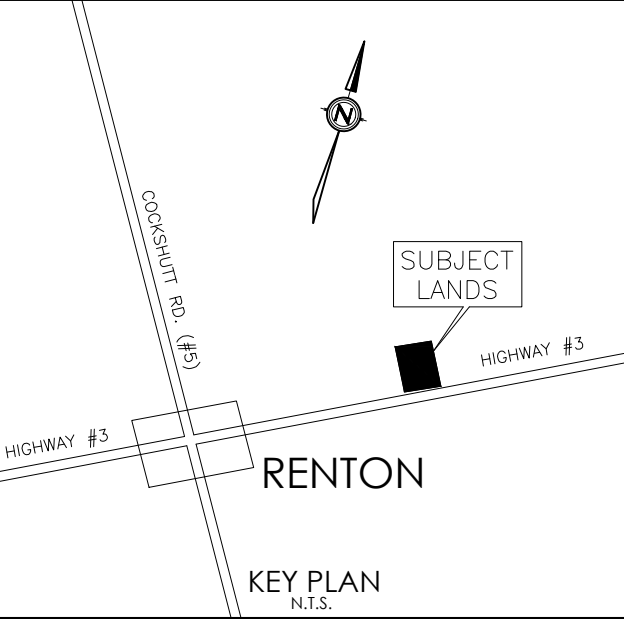
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DO NOT SCALE DRAWINGS



LEGAL DESCRIPTION:
PART OF 1/4 CONFESSION 14
250. TOWNSHIP OF CUMBER
PART OF PART 4 PLAN 37R-10287
NORTH COAST, ONTARIO
LEGAL PROPERTY BOUNDARY INFORMATION:
THE LEGAL PROPERTY BOUNDARY INFORMATION FOR THIS DRAWING IS BASED ON SURVEY DRAWING PLAN 37R-0436 BY JEWITT & DODD LTD., O.L.S., DATED MAR. 1981; 1980 PLAN 37R-3058 BY JOHN R. DODD LTD., O.L.S., DATED JULY 23RD, 1982; AND PLAN 37R-10287 BY JEWITT & DODD LTD., O.L.S., DATED MAR. 29TH, 2011. REFER TO ACTUAL DRAWINGS BY ABOVE NOTED O.L.S. FOR EXACT SURVEY REFERENCES AND DESCRIPTIONS AND PROPERTY ACQUISITION LOCATIONS AND TYPES.

ITEM 1 - ELEV= 212.30
TOP OF FINISHED FLOOR OF EXISTING SHOP BUILDING.

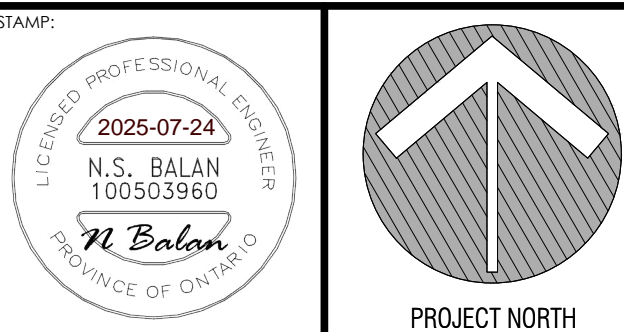


REVISIONS

Rev.	Date	Description	By
01	2025/07/24	ISSUED FOR SITE PLAN APPROVAL	NB

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DO NOT SCALE DRAWINGS: THESE DRAWINGS SHOW INTENT OF THE DESIGN ONLY OR EXISTING CONDITIONS AND MAY NOT REFLECT EXACT LOCATIONS.



Project Name:
**PROPOSED
NEW BUILDING FOR
SIMCOE SPRINGS**

Owner: 787882265 Ontario Inc.
4911 HIGHWAY NO. 3
SIMCOE, ONT.

Drawing:
DEMOLITION SITE PLAN

Drawn By: CB
Approved By: NB
Date: MAY 30, 2025
Job Number: 25-0291
Sheet No.:
Revision No.:
Scale: As Noted
Project Name: SP3
Drawing: 01

EN-2016-31L-91

ISSUED Scott Patterson / Simcoe Spring
TO: 4911 Highway 3
Simcoe, ON, N3Y 4K4

APPLICANT NAME:
Sam Bunting
363 Ireland Road
Simcoe, ON, N3Y 4K4

PURPOSE OF ACCESS:

Home Industry - Residence and Repair Shop

PERMIT CONDITIONS: SEE ATTACHED CONDITIONS

Permit issued to update ownership of a residential entrance with a secondary use for home industry (Simcoe Spring) at 4911 Highway 3. The entrance is on the north side of Highway 3 approximately 1.4 kilometres east of Cockshutt Road - Renton. No changes are required to the existing entrance at this time. Any change in use will require additional MTO review and a new Entrance Permit. Issued in conjunction with MTO Building and Land Use Permit BL-2016-31L-188.

(ETR 125-3/17-0 Sta. 18+675LT)

LOT: 15	CON: 14	PT/BLK:	PLAN :	CONTROLLED ACCESS
GEOGRAPHIC TOWNSHIP: Townsend				
MUNICIPALITY: County of Norfolk		APPROVED MATERIAL: gravel		
COUNTY/DIST/REG.: Norfolk		SIZE OF PIPE: 450.00 mm X 16.00 m		
HWY.: 3	TYPE: Residential	STANDARD: CSAS-32	WIDTH: 8.00 m	
EXPIRY DATE:			FEE: \$860.00	

*Construction must be started within six(6) months of date of issued or this permit shall be void.

THIS PERMIT IS ISSUED UNDER THE AUTHORITY VESTED IN THE MINISTER BY THE PUBLIC TRANSPORTATION AND HIGHWAY IMPROVEMENT ACT AND THE REGULATIONS PURSUANT THERETO AND IS SUBJECT TO THE CONDITIONS ON THE BACK HEREOF .

DATED AT: London

ON: * Jan, 25 2017

Head, Corridor Management Section

EN-2016-31L-91

ISSUED Scott Patterson / Simcoe Spring
TO: 4911 Highway 3
Simcoe, ON, N3Y 4K4

APPLICANT NAME:
Sam Bunting
363 Ireland Road
Simcoe, ON, N3Y 4K4

PURPOSE OF ACCESS:

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(ETR 125-3/17-0 Sta. 18+675LT)

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GEOGRAPHIC TOWNSHIP: Townsend				
MUNICIPALITY: County of Norfolk		APPROVED MATERIAL: gravel		
COUNTY/DIST/REG.: Norfolk		SIZE OF PIPE: 450.00 mm X 16.00 m		
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DATED AT: London

ON: * Jan, 25 2017

Head, Corridor Management Section



BALAN
ENGINEERING CORP.

Web: www.balanengineering.com
Office: 519-688-2525
e-mail: info@balanengineering.com
Address: 49 North Street East, Tillsonburg, ON

FUNCTIONAL SERVICING REPORT

PROPOSED 1-STOREY COMMERCIAL BUILDING

Simcoe Springs Service

4911 Highway # 3, Norfolk County, Ontario

Submission:

R0 – Submission Sept 26, 2025

1.0 Introduction

Balan Engineering has been retained to prepare Site plan, Functions Servicing and Stormwater management Reports for the proposed development at 4911 Highway # 3, Norfolk County, Ontario. The site is located on the North side of Highway #3, 7 km east of the Town of Simcoe, Ontario

This report is to be read in conjunction with the Site Plan drawings SP1, SP2 and SP3 prepared by Balan Engineering.

The subject property is approximately 1.93 ha, zoned rural residential with an existing residence with detached garage (244m²), and an existing industrial building with office (454m²). The proposed development includes a new 1-storey commercial building (560m²) as outlined on the site plan drawings.

Please be advised that there are no municipal services at the location of the subject property. A well is existing providing domestic water, and a septic bed is existing for sanitary discharge. The septic bed review if necessary, will be by qualified others, with details provided at the time of building permit, where new septic requirements are needed.

2.0 Site Investigation

The proposed development is for a 1-storey Commercial building of 560m², to be built at the rear of the 1.93ha (19,342 m²) site. No municipal services to this property exist.

2.1 Proposed Building Statistics:

Lot Zoning:	Rural Ind.	MR
Lot Area	1.93	ha
Ground floor Area	560	m ²
Gross Bldg Area	560	m ²
Building Height	1	stories
Setbacks S (front)	134	m ±
E	46.86	m
N (back)	25	m
W	30.63	m

3.0 Sanitary

Existing sanitary services are provided by a septic tile bed located between the existing garage and the existing commercial building. The proposed building includes a 2-piece water closet, which will require a sanitary connection to a private septic tile bed system, which will be installed on the site, by others.

No municipal sanitary services are connected to this site, no connection to municipal sanitary services is anticipated or proposed at this time.

4.0 Domestic Water Servicing

Existing domestic water servicing is provided by a drilled well. The proposed building includes a 2-piece water closet, which will require a connection to the private well domestic water system, which currently exists on the property.

No municipal domestic water supply / service is connected to this site, no connection to municipal domestic water services is anticipated or proposed at this time.

5.0 Fire Water Servicing

The proposed building will not require a fire sprinkler system; therefore no fire sprinkler system connection is proposed.

The subject property does not have municipal water / firemain services.

Provisions for firefighting are provided by 54,500L Cisterns connected in series (C160 by Roswell or equal) based on the required water storage per OBC 3.2.5.7:

1-Storey building with area not exceeding 600m²

Q= KVS

Total building volume

V = Approx. 3060 m³

K = 17 (F2 Building, non combustible, A3.2.5.7 table 1)

S = 1 (no exposed sides, A3.2.5.7 Figure 1)

Q = 3060 m³ x 17 x 1.0

= 52,710 Litres

Note: Minimum Water Supply Flow Rate is 1800L/min for 30min (A3.2.5.7 table 2)

Q = 1800L x 30

= **54,000 Litres** <- governs

A minimum of 54,000L cistern is required. See site plan for cistern details.

7.0 Conclusions

Please be advised that there are no municipal services at the location of the subject property. A well is existing providing domestic water, and a septic bed is existing for sanitary discharge. The septic bed review if necessary will be by qualified others, with details provided at the time of building permit, where new septic requirements are needed.

Report prepared by

Neil Balan

Neil Balan, P. Eng.

Suite 206, 49 North St E, Tillsonburg
ON. Canada,
N4G 1B4
(519) 688-2525

September 26, 2025





BALAN
ENGINEERING CORP.

Web: www.balanengineering.com
Office: 519-688-2525
e-mail: info@balanengineering.com
Address: 49 North Street East, Tillsonburg, ON

STORM WATER MANAGEMENT REPORT

PROPOSED 1-STOREY COMMERCIAL BUILDING

Simcoe Springs Service

4911 Highway # 3, Norfolk County, Ontario

Submission:

R0 – Submission Sept 26, 2025

1.0 Introduction

Balan Engineering has been retained to prepare Site plan, Functions Servicing and Stormwater management Reports for the proposed development at 4911 Highway # 3, Norfolk County, Ontario. The site is located on the North side of Highway #3, 7 km east of the Town of Simcoe, Ontario

The proposal is to construct a 560m² building and a minor expansion of the roofed area, with a reduction of the gravel and concrete surface areas. Two existing buildings will be demolished in order to construct the proposed building. The purpose of this brief is to comment on the impacts of the proposed development on existing stormwater management.

Please note that the proposed addition is being constructed over an area of existing concrete and roof surface. The post-development imperviousness coefficient is not expected to rise by a meaningful amount.

The following documents and reports have been referenced and reviewed in the preparation of this report:

- Ministry of the Environment Stormwater Management Planning and Design Manual 2003
- MTO Drainage Management Manual
- Norfolk County Design Criteria
- Approved Site Plan by MC Engineering dated 2016 and approved in 2017

This report is to be read in conjunction with the Site Plan drawings SP1, SP2 and SP3 prepared by Balan Engineering.

2.0 Site Information and Description of Development

The subject property is located 4911 Highway # 3, Norfolk County. The subject property is currently partially developed with an existing residence with detached garage (244m²), and existing industrial building with office (454m²)

The existing surface treatment in the location of the building and immediate gravel yard is a mixture of existing gravel, concrete and some grassed area, and metal roof. The pre-and post development areas are summarized below and per sk1 drawings enclosed.

Total Lot Area: 19,342 m²

Pre-Development

Roof	990	m ² @ 0.9
Gravel	3,764	m ² @ 0.6
Concrete/Paved	541	m ² @ 0.9
<u>Greenspace</u>	<u>14,047</u>	<u>m²@ 0.3</u>
Development C	0.41	

Post-Development

Roof	1,263	m ² @ 0.9
Gravel	3,641	m ² @ 0.6
Concrete/Paved	327	m ² @ 0.9
<u>Greenspace</u>	<u>14,111</u>	<u>m²@ 0.3</u>
Development C	0.41	

3.0 Conclusion

As demonstrated, the change to the pre-development and post-development impervious coefficient, as well as total greenspace area, is negligible. Increase in stormwater runoff is considered negligible.

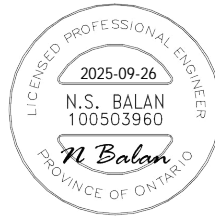
No stormwater management controls are proposed. Site runoff will continue to drain to overland to existing side yards (East & West), and ensure water runs away from the building. No impacts on downstream or adjacent properties are anticipated as a result of this proposed development.

Report prepared by

Neil Balan

Neil Balan, P. Eng.

Suite 206, 49 North St E, Tillsonburg
ON. Canada,
N4G 1B4
(519) 688-2525



September 12, 2025



7078 Liberty St. North
Bowmanville, ON
L1C 6K4

P - 905.448.4399
info@asurza.ca
www.asurza.ca

September 24, 2025

Mr. John Oosterveld
Oosterveld Construction Inc.
1088 Highway 24 East
Victoria, ON
N0E 1W0

Reference: Proposed Workshop Addition – 4911 Highway 3
Community of Simcoe, Norfolk County, ON
Traffic Brief
Project N° 2460-25

Dear Mr. Oosterveld,

Asurza Engineers Ltd. was retained by the proponent to undertake a traffic review for the proposed workshop addition to be located at 4911 Highway 3 in the Community of Simcoe, Norfolk County.

The analysis will estimate the trips to be generated by the proposed development and evaluate any possible impact on the adjacent roadways.

Background Information

Located approximately 7 kilometers east of the Community of Simcoe, the subject site is a parcel featuring an established local business specializing in auto suspension products. At present, the site is comprised of four structures, which include a house, garage, office, and a workshop.

It is planned for the north side of the site to include an additional workshop, which would also provide space for a garage as well as waste storage; the total gross floor area of the structure is 560 m². The addition will make use of the existing site access along Highway 3. For further information, the site plan is enclosed at the end of this letter.



Exhibit 1: Location of the Subject Site.

Highway 3 is a two-lane east-west road (one lane per direction), showing a rural cross section with granular shoulders and ditches for water drainage. Within the area, some portions have a steep ditch and include a metal or wire barrier (guide rails) on either side of the shoulders. A posted speed of 80 km/h has been noted along Highway 3.

Cockshutt Road (County Road 5) is a two-lane north-south road (one lane per direction) which intersects Highway 3 approx. 1400 metres west of the subject site, forming a four-leg signalized intersection. North of Hwy 3, this road shows a rural cross section with paved shoulders, providing driveway access to

numerous residences and having a 50 km/h posted speed. South of Hwy 3, Cockshutt Rd includes granular shoulders and a 60 km/h posted speed is noted.

O'Mahoney Road is a two-lane north-south road (one lane per direction) which shows a rural cross section with grassy shoulders, providing access to the adjacent agricultural parcels and few residences. This road intersects Highway 3 approx. 990 metres east of the subject site, forming a three-leg "T-type" unsignalized intersection with a stop sign on O'Mahoney Rd. No posted speed was identified; therefore, 50 km/h is assumed in accordance with the Highway Traffic Act.

Development Trip Generation and Trip Distribution

The estimation of trips generated by the proposed development was derived from the Trip Generation Manual, 11th Edition, published by the Institute of Transportation Engineers (ITE). The land use which most closely describes the development is 'Warehousing – ITE Code 150'.

According to the trip generation manual, a warehouse is primarily devoted to the storage of materials, and may also include office and maintenance areas.

The trip rates and the estimated numbers of trips to be generated by the proposed development are shown in **Table 1**.

It is estimated that the proposed addition will generate virtually no regular trips during a typical weekday morning and afternoon peak hour; some trips may be generated by a few customers as well as sporadic deliveries to the site, but these will be negligible to impact the existing traffic operations.

Trip Generation Rates - Trip Generation Manual, 11th Ed.								
ITE Code	ITE Land Use	Unit of Measure	AM Peak Hr. of Adj. Street			PM Peak Hr. of Adj. Street		
			Rate	In	Out	Rate	In	Out
150	Warehousing	GFA	0.17	77%	33%	0.18	28%	72%

Trips Generated by the Proposed Development								
ITE Code	ITE Land Use	Total Units	AM Peak Hr. of Adj. Street			PM Peak Hr. of Adj. Street		
			Trips	In	Out	Trips	In	Out
150	Warehousing	6.03	1	1	0	1	0	1

Table 1: Estimated Trips Generated by the Proposed Development.

Discussion

The “Transportation Impact Analyses for Site Development – an ITE Recommended Practice,” from the Institute of Transportation Engineers, provides guidelines to help in determining the need for a traffic impact analysis. One of them is that the generation of an additional 100 vehicles per hour by any proposed development can possibly create some traffic issues (i.e. reduction of capacity, extended queues, low level of service).

The publication also indicates that the 100 vehicles per hour should not be seen as a strict threshold for the initiation of a transportation impact analysis. Due to the sensitivity of densely populated areas where the environment includes diverse urban characteristics (i.e. high-rise buildings with commercial areas), many jurisdictions tend to use lower thresholds; these threshold levels may vary among agencies in response to particular local conditions and priorities.

Knowing that the proposed addition is very minor in terms of traffic generation and are not located in a highly densely populated area, it is determined that the number of trips generated does not reach any threshold to require an in-depth traffic analysis.

Conclusions and Recommendations

Given the very limited scale of the proposed development, the addition is expected to generate virtually no new trips; any minor or sporadic traffic will be negligible in terms of impact on existing operations.

It is recommended that the site entrance be designed in accordance with **MTOD 305.140**, with an **8 m throat width** and **10 m radii** (see the enclosed MTOD excerpt at the end of this letter).

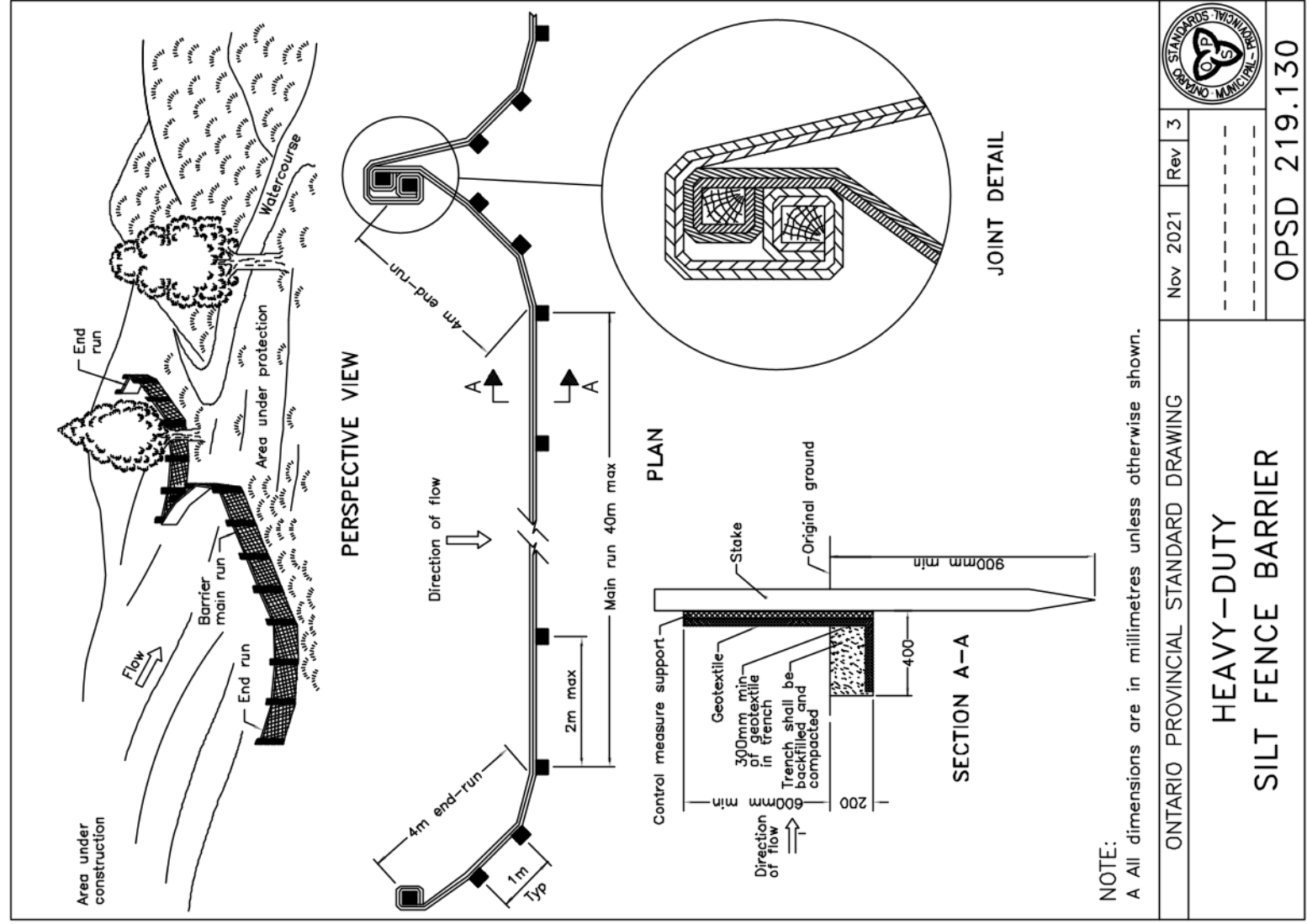
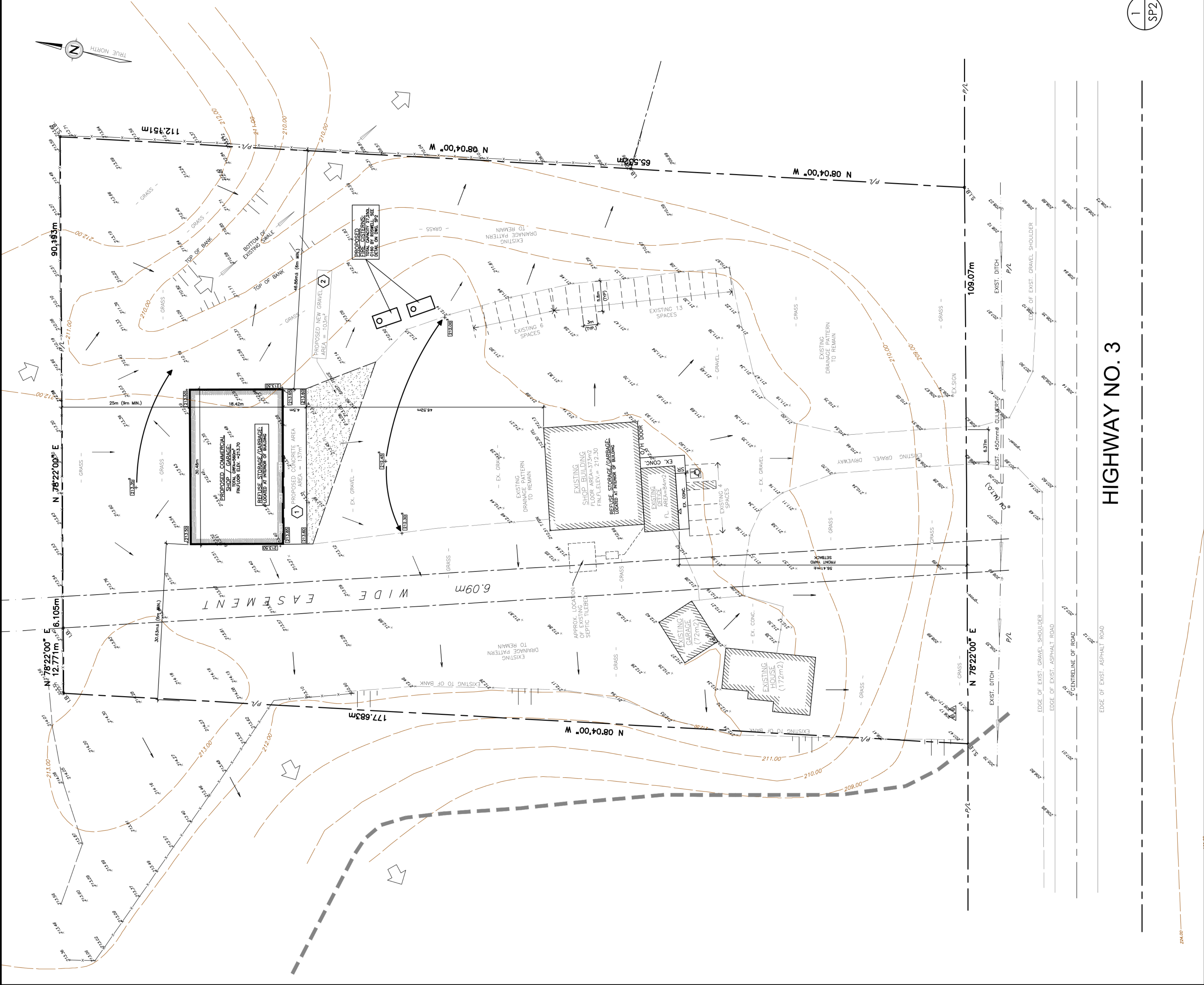
Should you require any further information in consideration of the above, please contact the undersigned.

Sincerely,



Martin Asurza, M. Eng., P. Eng.
Senior Transportation/Traffic Engineer
martin@asurza.ca





NOTE:
A. All dimensions are in millimetres unless otherwise shown.

ONTARIO PROVINCIAL STANDARD DRAWING	Nov 2021	Rev. 3
HEAVY-DUTY SILT FENCE BARRIER		
OPSD 219.130		

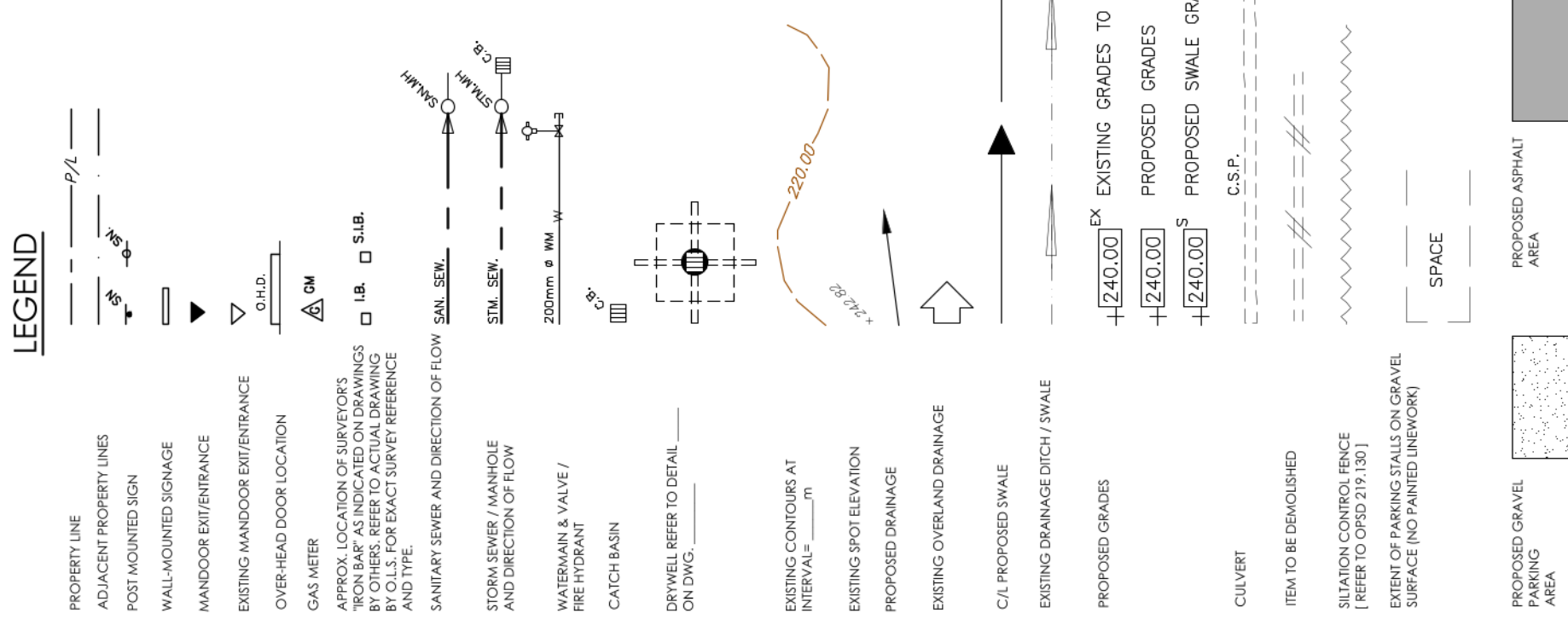
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SILT FENCE NOTES:

- SILT FENCE SHALL GENERALLY BE PLACED A MINIMUM OF 1.5m BEYOND TOE OF SLOPE, 3m PREFERRED, TO PROVIDE ADEQUATE AREA FOR SEDIMENT STORAGE AND FACILITATE MAINTENANCE OF SEDIMENT CONTAINMENT AREA.
- ALL ENDS SHALL BE "J" HOOKED TO TRAP SEDIMENT.
- IN AREAS WITH TWO SLOPES, SILT FENCE SHALL BE USED TO ERECT A DAM AND TRAP SEDIMENT AT THE BASE OF THE STEEPER SLOPE.
- THE BOTTOM EDGE OF SILT FENCE SHALL BE BURIED A MINIMUM OF 150mm BELOW GROUND, AND KEPT IN 100mm. THE FENCE SHALL BE INSTALLED WITH THE POSTS ON THE DOWNSTREAM SIDE OF THE FABRIC. MAXIMUM DRAINAGE AREA TRIBUTARY TO 30m OF SILT FENCE SHALL BE 0.1 Ha.
- SILT FENCE SHALL BE REMOVED WHEN THE AREA HAS BEEN STABILIZED.
- AT TIME OF REMOVAL OF THE SILT FENCE, THE DISTURBED AREA SHALL BE REPAIRED AND STABILIZED.
- MEASURES SHALL BE INSPECTED EVERY SEVEN (7) CALENDAR DAYS AND WITHIN 24 HOURS OF A STORM EVENT ENOUGH TO CAUSE WATER TO LEAVE THE CONSTRUCTION SITE.
- MEASURES SHALL BE CLEANED AND REPAIRED AS NEEDED. SEDIMENT SHALL BE REMOVED WHEN ACCUMULATION REACHES ONE-HALF OF THE FENCE HEIGHT. SEDIMENT SHALL BE DISPOSED OF AS UNSUITABLE MATERIAL.
- SILT FENCE SHALL BE INSTALLED ON A LINE OF EQUAL ELEVATION (CONTOUR) MAY BE INSTALLED AT THE TOP OF SLOPES OR AS WELL AS AT THE BOTTOM, AS SHOWN IN THE DETAIL.
- SILT FENCE SHALL NOT BE USED ACROSS CONCENTRATED FLOW.

GENERAL EROSION AND SEDIMENT CONTROL NOTES:

- UNLESS OTHERWISE INDICATED, ALL VEGETATIVE AND STRUCTURAL EROSION AND SEDIMENT CONTROL PRACTICE WILL BE CONSTRUCTED AND MAINTAINED ACCORDING TO MINIMUM STANDARDS AND SPECIFICATION OF NORFOLK COUNTY.
- ALL EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE PLACED PRIOR TO OR AS THE FIRST STEP IN CLEARING.
- A COPY OF THE APPROVED EROSION AND SEDIMENT CONTROL PLAN SHALL BE MAINTAINED ON SITE AT ALL TIMES.
- THE CONTRACTOR IS RESPONSIBLE FOR INSTALLATION OF ANY ADDITIONAL EROSION CONTROL MEASURES NECESSARY TO PREVENT EROSION AND SEDIMENTATION, INCLUDING BUT NOT LIMITED TO, APPROVING AUTHORITY.
- ALL DISTURBED AREA ARE TO BE PLACED TO APPROVED SEDIMENT CONTROL MEASURES ALL TIMES DURING AND DURING STABILIZATION ACTIVITIES AND DURING SITE DEVELOPMENT UNTIL FINAL STABILIZATION IS ACHIEVED.
- ALL EROSION AND SEDIMENT CONTROLS ARE TO BE INSTALLED AND MAINTAINED TO THE SATISFACTION AND TO THE REQUIREMENTS OF NORFOLK COUNTY.
- ALL AREAS OF WORK WHICH WILL REMAIN DISTURBED FOR A PERIOD OF THIRTY DAYS OR MORE MUST BE STABILIZED TO THE SATISFACTION OF NORFOLK COUNTY.
- ALL MATERIAL STOCKPILES ARE TO BE LOCATED WITHIN THE DISTURBED AREA AND MUST BE COVERED WITH A SILT FENCE IS TO BE ERECTED AROUND ANY PROPOSED STOCKPILES.
- CATCH BASINS TO HAVE SILT TRAPS INSTALLED FOR THE DURATION OF CONSTRUCTION. REFERENCE DETAIL ON THIS PAGE.
- SILT FENCE AS PER OPSD 219.130
- ALL EROSION CONTROL DEVICES ARE TO BE INSPECTED AND MAINTAINED WEEKLY AND AFTER EACH RAINFALL.
- OWNER IS RESPONSIBLE FOR INSPECTIONS AND MAINTENANCE OF STOCKPILES AS PER MANUFACTURER'S INSTRUCTIONS. ALL EROSION AND SEDIMENTATION CONTROL DEVICES MUST BE IN PLACE PRIOR TO ANY CONSTRUCTION ACTIVITIES AND MUST BE MAINTAINED UNTIL FINAL COVER IS ESTABLISHED.



1 GRADING PLAN

SCALE= 1:400 (METRIC)

0m 20m

HIGHWAY NO. 3

ALL DIMENSIONS ARE METRIC UNLESS SPECIFICALLY NOTED OTHERWISE. THE CONTENTS OF THESE DRAWINGS ARE BASED ON INFORMATION AT THE TIME OF PREPARATION. THE ENGINEER DOES NOT WARRANT THAT THE DRAWINGS ONLY SHOWN DRAWINGS SHALL BE CONSIDERED FINAL. ANY CHANGES TO THE DRAWINGS SHALL BE MADE BY THE ENGINEER. THE ENGINEER SHALL NOT BE RESPONSIBLE FOR ANY MODIFICATION OR CONSTRUCTION OF THIS DRAWING.

DO NOT SCALE DRAWINGS

SUBJECT LANDS

RENTON

KEY PLAN

LEGAL DESCRIPTION:
ADJACENT TO
CONVEYANCE OF
APPROXIMATELY
LEGAL PROPERTY BOUNDARY
INFORMATION:
DRAWING IS BASED ON...
SITE BENCHMARK ELEVATION: 100.00

REVISIONS

Rev. Description: By:

THREE DIMENSIONAL AND PERSPECTIVE DRAWINGS SHALL NOT BE USED FOR CONSTRUCTION UNLESS THEY HAVE BEEN SIGNED AND SEALED BY THE ENGINEER AND A BUILDING PERMIT HAS BEEN ISSUED.
DO NOT SCALE DRAWINGS. THESE DRAWINGS SHOW INTENT OF THE ENGINEER. THE EXISTING CONDITIONS AND ANY PROPOSED EROSION CONTROL LOCATIONS.

STAMP:

This drawing is to be assumed used for construction unless the professional engineer's seal is applied.

PRELIMINARY

BALAN ENGINEERING CORP.

49 North Street East, Tillamook, ON
L7M 1A5
www.balanengineering.com
Office: 519-688-3325

Project Name:

PROPOSED
NEW BUILDING FOR
SIMCOE SPRINGS

4911 HIGHWAY NO. 3
SIMCOE, ONT.

Grading

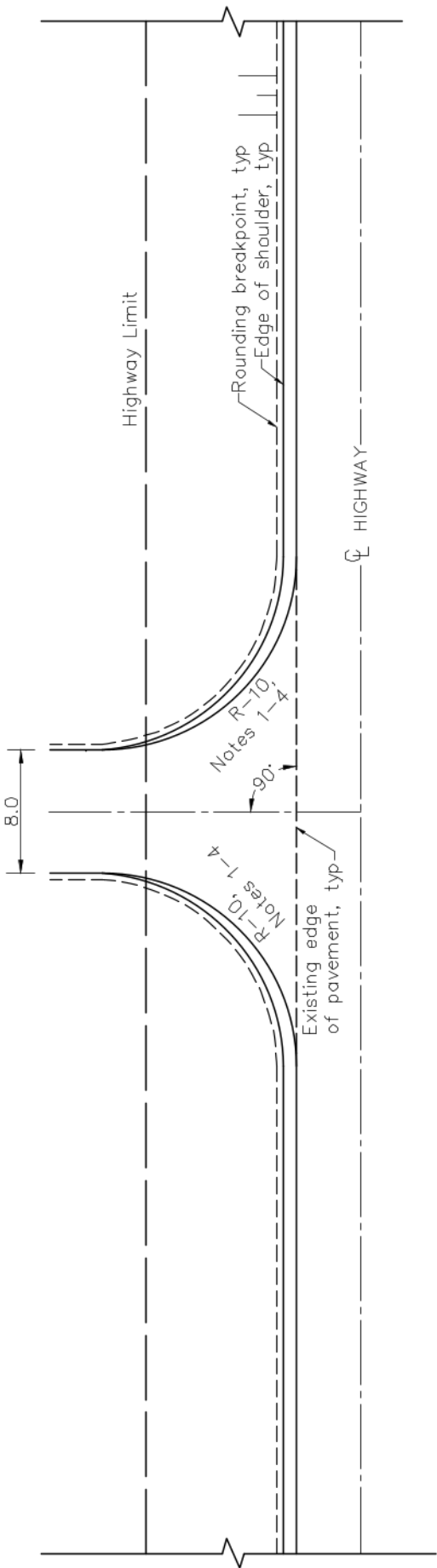
Drawn By: CB
Approved By: NB
Date: MAY 30, 2025
As Noted

Job Number: 25-0291
Sheet No.: SP2

Revision No.: 25-0291

NOTES:

- 1 The design vehicle is a TAC-GDG Heavy Single Unit (HSU).
- 2 R-15 for highways with posted speed $\geq 70\text{km/h}$.
- 3 The paved portion of the highway shoulder should taper from existing to fully paved at a 5:1 rate, then be fully paved for 10m, and then it should continue to be fully paved as it transitions from the existing highway shoulder width to zero over the length of the entrance curve.
- 4 For concrete curb and gutter design, use semi-mountable type for highways with posted speed $\geq 70\text{km/h}$ and barrier type for highways with posted speed $< 70\text{km/h}$.
- A All dimensions are in metres unless otherwise shown.
- B Minimum sight triangles as required by MTO.
- C Drainage as required by MTO.



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COMMERCIAL ENTRANCE ENTRANCE TO SMALL BUSINESS			

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