

**For Office Use Only:**

File Number	<u>ZNPL2019057</u>	Public Notice Sign	<u>Yes</u>
Related File Number	<u>BNPL2018278</u>	Application Fee	<u>\$2676</u>
Pre-consultation Meeting	<u>—</u>	Conservation Authority Fee	<u>\$480.25</u>
Application Submitted	<u>Feb 26/19</u>	OSSD Form Provided	<u>see BNPL2018278</u>
Complete Application	<u>Feb 26/19</u>	Planner	<u>Steve</u>

**Check the type of planning application(s) you are submitting.**

- ☐ Official Plan Amendment
- ☒ Zoning By-Law Amendment
- ☐ Temporary Use By-law
- ☐ Draft Plan of Subdivision/Vacant Land Condominium
- ☐ Condominium Exemption
- ☐ Site Plan Application
- ☐ Consent/Severance
- ☐ Minor Variance
- ☐ Easement/Right-of-Way
- ☐ Extension of a Temporary Use By-law
- ☐ Part Lot Control
- ☐ Cash-in-Lieu of Parking
- ☐ Renewable Energy Project or Radio Communication Tower

Please explain the desired end result of this application (for example: a special zoning provision on the subject lands, changing the zone and/or official plan designation of the subject lands, creating a certain number of lots, or similar)

Propose a site specific zoning amendment on the proposed severed parcel, which will permit the construction of a new industrial building (18.2m x 24.3m) 446m<sup>2</sup> slab on grade one storey with max height of 5.4m at peak. Proposed interior side yards of 3m at north, and 10m at south abutting a residential zone. Rear yard of 22m and abutting the HL zone boundary line on lot. Front yard setback of 42m, the building will be used for marine storage and general storage and will be so limited within the amendment. Open storage of marine craft will continue.

**Property Assessment Roll Number:** 3310554000104900

**A. Applicant Information**

**Name of Owner** Ronald George Bankes

It is the responsibility of the owner or applicant to notify the planner of any changes in ownership within 30 days of such a change.

**Address** 14 Hunter Drive North

**Town and Postal Code** Port Rowan, ON N0E 1M0

**Phone Number** 519-586-2544

**Cell Number** \_\_\_\_\_

**Email** \_\_\_\_\_

**Name of Applicant** Same as owner

**Address** \_\_\_\_\_

**Town and Postal Code** \_\_\_\_\_

**Phone Number** \_\_\_\_\_

**Cell Number** \_\_\_\_\_

**Email** \_\_\_\_\_

**Name of Agent** David Roe, Civic Planning Solutions Inc.

**Address** 599 Larch Street

**Town and Postal Code** Delhi, ON N4B 3A7

**Phone Number** 519-582-1174

**Cell Number** 519-983-8154

**Email** dfrfez@me.com

Please specify to whom all communications should be sent. Unless otherwise directed, all correspondence and notices in respect of this application will be forwarded to the agent noted above.

☐ Owner

☒ Agent

☐ Applicant

Names and addresses of any holder of any mortgagees, charges or other encumbrances on the subject lands:

None



**B. Location, Legal Description and Property Information**

1. Legal Description (include Geographic Township, Concession Number, Lot Number, Block Number and Urban Area or Hamlet):

Port Rowan Plan 16B Blk 8, Lot 1 RP37R3118 Part 1

Municipal Civic Address: 14 Hunter Drive North

Present Official Plan Designation(s): Residential and Hazard Lands

Present Zoning: MG and HL

2. Is there a special provision or site specific zone on the subject lands?

☐ Yes ☒ No If yes, please specify:

3. Present use of the subject lands:

Marine repair and storage business

4. Please describe all existing buildings or structures on the subject lands and whether they are to be retained, demolished or removed. If retaining the buildings or structures, please describe the type of buildings or structures, and illustrate the setback, in metric units, from front, rear and side lot lines, ground floor area, gross floor area, lot coverage, number of storeys, width, length, and height on your attached sketch which must be included with your application:

Area to be rezoned is presently vacant

5. If an addition to an existing building is being proposed, please explain what it will be used for (for example: bedroom, kitchen, or bathroom). If new fixtures are proposed, please describe.

n/a

6. Please describe **all proposed** buildings or structures/additions on the subject lands. Describe the type of buildings or structures/additions, and illustrate the setback, in metric units, from front, rear and side lot lines, ground floor area, gross floor area, lot coverage, number of storeys, width, length, and height on your attached sketch which must be included with your application:

n/a

7. Are any existing buildings on the subject lands designated under the *Ontario Heritage Act* as being architecturally and/or historically significant? Yes ☐ No ☒

If yes, identify and provide details of the building:

8. If known, the length of time the existing uses have continued on the subject lands:  
n/a

9. Existing use of abutting properties:

Residential to south and west and commercial to north and east

10. Are there any existing easements or restrictive covenants affecting the subject lands?

☐ Yes ☒ No If yes, describe the easement or restrictive covenant and its effect:

Note: Please complete all that apply.

1. Please explain what you propose to do on the subject lands/premises which makes this development application necessary:

Owner proposed to sever vacant portion of his industrial property presently used as a marine service and sales business. the parcel to be severed is the subject of this application. The proposed lot will have a frontage of 32m a depth of 96m and 83m. the lot area will be 2788m<sup>2</sup>. The new building proposed interior side yards of 3m and 10m (abutting the residential zone (R1 A) to the south. +

2. Please explain why it is not possible to comply with the provision(s) of the Zoning By-law/and or Official Plan:

The zone provision 7.1.4 e)i requires an interior side yard of 20m abutting a residential zone. Relief of 10m is required. g) max building height 45 degrees angular plane measured from edge of R,C I zoned lots. Relief may be required. +

3. Does the requested amendment alter all or any part of the boundary of an area of settlement in the municipality or implement a new area of settlement in the municipality? ☐ Yes ☒ No If yes, describe its effect:

4. Does the requested amendment remove the subject land from an area of employment? ☐ Yes ☒ No If yes, describe its effect:



5. Does the requested amendment alter, replace, or delete a policy of the Official Plan?  
☐ Yes ☒ No If yes, identify the policy, and also include a proposed text of the policy amendment (if additional space is required, please attach a separate sheet):

6. Description of land intended to be severed in metric units: *(refer to separate application)*

Frontage: 32m  
Depth: 96m/83m  
Width: 32m  
Lot Area: 2788m<sup>2</sup>  
Present Use: Industrial marine service and storage  
Proposed Use: Storage only

Proposed final lot size (if boundary adjustment): \_\_\_\_\_

If a boundary adjustment, identify the assessment roll number and property owner of the lands to which the parcel will be added: \_\_\_\_\_

Description of land intended to be retained in metric units: *(refer to separate application)*

Frontage: 151m  
Depth: 96m/163m  
Width: 151m  
Lot Area: 17649.3m<sup>2</sup>  
Present Use: Industrial marine and storage  
Proposed Use: no change

Buildings on retained land: Shop and 2 storage buildings

7. Description of proposed right-of-way/easement:

Frontage: \_\_\_\_\_  
Depth: \_\_\_\_\_  
Width: \_\_\_\_\_  
Area: \_\_\_\_\_  
Proposed use: \_\_\_\_\_

8. Name of person(s), if known, to whom lands or interest in lands to be transferred, leased or charged (if known):

Ronald Banks

**9. Site Information****Existing****Proposed**

Please indicate unit of measurement, for example: m, m<sup>2</sup> or %

Lot frontage	_____	32m
Lot depth	_____	96m/83m
Lot width	_____	32m
Lot area	_____	2788m <sup>2</sup>
Lot coverage	_____	_____
Front yard	_____	42m
Rear yard	_____	22m
Left Interior side yard	_____	3m
Right Interior side yard	_____	10m
Exterior side yard (corner lot)	_____	n/a
Landscaped open space	_____	_____
Entrance access width	_____	10m
Exit access width	_____	10m
Size of fencing or screening	_____	existing hedge/trees
Type of fencing	_____	n/a

**10. Building Size**

Number of storeys	_____	1
Building height	_____	6.2m at peak
Total ground floor area	_____	446m <sup>2</sup>
Total gross floor area	_____	446m <sup>2</sup>
Total useable floor area	_____	446m <sup>2</sup>

**11. Off Street Parking and Loading Facilities**

Number of off street parking spaces	_____	5
Number of visitor parking spaces	_____	4
Number of accessible parking spaces	_____	_____
Number of off street loading facilities	_____	1

12. Residential (if applicable)

Number of buildings existing: \_\_\_\_\_

Number of buildings proposed: \_\_\_\_\_

Is this a conversion or addition to an existing building? ☐ Yes ☐ No

If yes, describe: \_\_\_\_\_

Type	Number of Units	Floor Area per Unit in m <sup>2</sup>
Single Detached	_____	_____
Semi-Detached	_____	_____
Duplex	_____	_____
Triplex	_____	_____
Four-plex	_____	_____
Street Townhouse	_____	_____
Stacked Townhouse	_____	_____
Apartment - Bachelor	_____	_____
Apartment - One bedroom	_____	_____
Apartment - Two bedroom	_____	_____
Apartment - Three bedroom	_____	_____

Other facilities provided (for example: play facilities, underground parking, games room, or swimming pool): \_\_\_\_\_

\* 13. Commercial/Industrial Uses (if applicable)

Number of buildings existing: 0

Number of buildings proposed: 1

Is this a conversion or addition to an existing building? ☐ Yes ☐ No

If yes, describe: \_\_\_\_\_

Indicate the gross floor area by the type of use (for example: office, retail, storage):  
18.2m by 24.3m 446m<sup>2</sup> open storage on slab floor. building will be steel clad building.  
Max. building height will be 5.4m at peak.

Seating Capacity (for assembly halls or similar): \_\_\_\_\_

Total number of fixed seats: \_\_\_\_\_

Describe the type of business(es) proposed: Boat storage

Total number of staff proposed initially: 1

Total number of staff proposed in five years: ?

Maximum number of staff on the largest shift: 1

Is open storage required: ☒ Yes ☐ No

Is a residential use proposed as part of, or accessory to commercial/industrial use?

☐ Yes ☒ No If yes please describe:

#### 14. Institutional (if applicable)

Describe the type of use proposed: \_\_\_\_\_

Seating capacity (if applicable): \_\_\_\_\_

Number of beds (if applicable): \_\_\_\_\_

Total number of staff proposed initially: \_\_\_\_\_

Total number of staff proposed in five years: \_\_\_\_\_

Maximum number of staff on the largest shift: \_\_\_\_\_

Indicate the gross floor area by the type of use (for example: office, retail, or storage):

#### 15. Describe Recreational or Other Use(s) (if applicable)



#### **D. Previous Use of the Property**

1. Has there been an industrial or commercial use on the subject lands or adjacent lands? ☒ Yes ☐ No ☐ Unknown  
If yes, specify the uses (for example: gas station or petroleum storage):  
Marine service and storage
2. Is there reason to believe the subject lands may have been contaminated by former uses on the site or adjacent sites? ☐ Yes ☒ No ☐ Unknown
3. Provide the information you used to determine the answers to the above questions:  
knowledge of owner
4. If you answered yes to any of the above questions in Section D, a previous use inventory showing all known former uses of the subject lands, or if appropriate, the adjacent lands, is needed. Is the previous use inventory attached? ☐ Yes ☒ No

#### **E. Provincial Policy**

1. Is the requested amendment consistent with the provincial policy statements issued under subsection 3(1) of the *Planning Act, R.S.O. 1990, c. P. 13*? ☒ Yes ☐ No  
If no, please explain:
2. It is owner's responsibility to be aware of and comply with all relevant federal or provincial legislation, municipal by-laws or other agency approvals, including the Endangered Species Act, 2007. Have the subject lands been screened to ensure that development or site alteration will not have any impact on the habitat for endangered or threatened species further to the provincial policy statement subsection 2.1.7? ☐ Yes ☒ No  
If no, please explain:  
no change in use proposed

3. Have the subject lands been screened to ensure that development or site alteration will not have any impact on source water protection? ☐ Yes ☒ No

If no, please explain:

no change in use proposed

Note: If in an area of source water Wellhead Protection Area (WHPA) A, B or C please attach relevant information and approved mitigation measures from the Risk Manager Official.

4. Are any of the following uses or features on the subject lands or within 500 metres of the subject lands, unless otherwise specified? Please check boxes, if applicable.

**Livestock facility or stockyard** (submit MDS Calculation with application)

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Wooded area**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Municipal Landfill**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Sewage treatment plant or waste stabilization plant**

☐ On the subject lands or ☒ within 500 meters – distance \_\_\_\_\_

**Provincially significant wetland (class 1, 2 or 3) or other environmental feature**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Floodplain**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Rehabilitated mine site**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Non-operating mine site within one kilometre**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Active mine site within one kilometre**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Industrial or commercial use (specify the use(s))**

☒ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Active railway line**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Seasonal wetness of lands**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Erosion**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Abandoned gas wells**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

## F. Servicing and Access

1. Indicate what services are available or proposed:

Water Supply

- ☒ Municipal piped water  
☐ Communal wells  
☐ Individual wells  
☐ Other (please describe): \_\_\_\_\_

Sewage Treatment

- ☐ Municipal sewers  
☐ Communal system  
☐ Septic tank and tile bed  
☐ Other (please describe): no services are proposed \_\_\_\_\_

Storm Drainage

- ☐ Storm sewers  
☐ Open ditches  
☒ Other (please describe): drainage to water course to the East \_\_\_\_\_

2. Existing or proposed access to subject lands:

- ☒ Municipal road ☐ Provincial highway  
☐ Unopened road ☐ Other (describe below)

Name of road/street: Hunter Drive North \_\_\_\_\_

## G. Other Information

1. Does the application involve a local business? ☒ Yes ☐ No

If yes, how many people are employed on the subject lands?

3 \_\_\_\_\_

2. Is there any other information that you think may be useful in the review of this application? If so, explain below or attach on a separate page.

## **H. Supporting Material to be submitted by Applicant**

In order for your application to be considered complete, **folded** hard copies (number of paper copies as directed by the planner) and an **electronic version (PDF) of the properly named site plan drawings, additional plans, studies and reports** will be required, including but not limited to the following details:

1. Concept/Layout Plan
2. All measurements in metric
3. Key map
4. Scale, legend and north arrow
5. Legal description and municipal address
6. Development name
7. Drawing title, number, original date and revision dates
8. Owner's name, address and telephone number
9. Engineer's name, address and telephone number
10. Professional engineer's stamp
11. Existing and proposed easements and right of ways
12. Zoning compliance table – required versus proposed
13. Parking space totals – required and proposed
14. All entrances to parking areas marked with directional arrows
15. Loading spaces, facilities and routes (for commercial developments)
16. All dimensions of the subject lands
17. Dimensions and setbacks of all buildings and structures
18. Gross, ground and useable floor area
19. Lot coverage
20. Floor area ratio
21. Building entrances, building type, height, grades and extent of overhangs
22. Names, dimensions and location of adjacent streets including daylighting triangles
23. Driveways, curbs, drop curbs, pavement markings, widths, radii and traffic directional signs
24. All exterior stairways and ramps with dimensions and setbacks
25. Retaining walls including materials proposed
26. Fire access and routes
27. Location, dimensions and number of parking spaces (including visitor and accessible) and drive aisles
28. Location of mechanical room, and other building services (e.g. A/C, HRV)
29. Refuse disposal and storage areas including any related screening (if indoors, need notation on site plan)
30. Winter snow storage location
31. Landscape areas with dimensions
32. Natural features, watercourses and trees



33. Fire hydrants and utilities location
34. Fencing, screening and buffering – size, type and location
35. All hard surface materials
36. Light standards and wall mounted lights (plus a note on the site plan that all outdoor lighting is to be dark sky compliant)
37. Business signs (make sure they are not in sight lines)
38. Sidewalks and walkways with dimensions
39. Pedestrian access routes into site and around site
40. Bicycle parking
41. Architectural elevations of all building sides
42. All other requirements as per the pre-consultation meeting

In addition, the following additional plans, studies and reports, including but not limited to, **may** also be required as part of the complete application submission:

- ☒ Zoning Deficiency Form
- ☐ On-Site Sewage Disposal System Evaluation Form
- ☐ Architectural Plan
- ☐ Buildings Elevation Plan
- ☐ Cut and Fill Plan
- ☐ Erosion and Sediment Control Plan
- ☐ Grading and Drainage Control Plan (around perimeter and within site) (existing and proposed)
- ☐ Landscape Plan
- ☐ Photometric (Lighting) Plan
- ☐ Plan and Profile Drawings
- ☐ Site Servicing Plan
- ☐ Storm water Management Plan
- ☐ Street Sign and Traffic Plan
- ☐ Street Tree Planting Plan
- ☐ Tree Preservation Plan
- ☐ Archaeological Assessment
- ☐ Environmental Impact Study
- ☐ Functional Servicing Report

- ☐ Geotechnical Study / Hydrogeological Review
- ☐ Minimum Distance Separation Schedule
- ☐ Noise or Vibration Study
- ☐ Record of Site Condition
- ☐ Storm water Management Report
- ☐ Traffic Impact Study – please contact the Planner to verify the scope required

Site Plan applications will require the following supporting materials:

1. Two (2) complete sets of the site plan drawings folded to 8½ x 11 and an electronic version in PDF format
2. Letter requesting that the Holding be removed (if applicable)
3. A cost estimate prepared by the applicant's engineer
4. An estimate for Parkland dedication by a certified land appraiser
5. Property Identification Number (PIN) printout

Standard condominium exemptions will require the following supporting materials:

- ☐ Plan of standard condominium (2 paper copies and 1 electronic copy)
- ☐ Draft condominium declaration
- ☐ Property Identification Number (PIN) printout

Your development approval might also be dependent on Ministry of Environment and Climate Change, Ministry of Transportation or other relevant federal or provincial legislation, municipal by-laws or other agency approvals.

**All final plans must include the owner's signature as well as the engineer's signature and seal.**

#### **I. Development Agreements**

A development agreement may be required prior to approval for site plan, subdivision and condominium applications. Should this be necessary for your development, you will be contacted by the agreement administrator with further details of the requirements including but not limited to insurance coverage, professional liability for your engineer, additional fees and securities.

## J. Transfers, Easements and Postponement of Interest

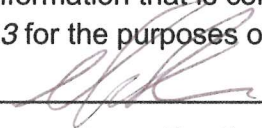
The owner acknowledges and agrees that if required it is their solicitor's responsibility on behalf of the owner for the registration of all transfer(s) of land to the County, and/or transfer(s) of easement in favour of the County and/or utilities. Also, the owner further acknowledges and agrees that it is their solicitor's responsibility on behalf of the owner for the registration of postponements of any charges in favour of the County.

## K. Permission to Enter Subject Lands

Permission is hereby granted to Norfolk County officers, employees or agents, to enter the premises subject to this application for the purposes of making inspections associated with this application, during normal and reasonable working hours.

## L. Freedom of Information

For the purposes of the *Municipal Freedom of Information and Protection of Privacy Act*, I authorize and consent to the use by or the disclosure to any person or public body any information that is collected under the authority of the *Planning Act, R.S.O. 1990, c. P. 13* for the purposes of processing this application.

  
\_\_\_\_\_  
Owner/Applicant Signature

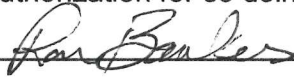
Feb 26<sup>th</sup> / 19  
\_\_\_\_\_  
Date

## M. Owner's Authorization

If the applicant/agent is not the registered owner of the lands that is the subject of this application, the owner(s) must complete the authorization set out below.

I/We Ronald Banks am/are the registered owner(s) of the lands that is the subject of this application for site plan approval.

I/We authorize David Roe, Civic Planning Solutions Inc. to make this application on my/our behalf and to provide any of my/our personal information necessary for the processing of this application. Moreover, this shall be your good and sufficient authorization for so doing.

  
\_\_\_\_\_  
Owner

February 14, 2019  
\_\_\_\_\_  
Date

\_\_\_\_\_  
Owner

\_\_\_\_\_  
Date

**N. Declaration**

I, David Roe of Norfolk County

solemnly declare that:

all of the above statements and the statements contained in all of the exhibits transmitted herewith are true and I make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath and by virtue of *The Canada Evidence Act*.

Declared before me at:

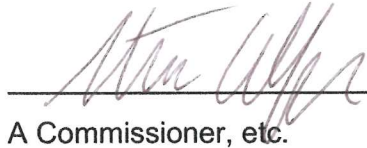
Langton

  
Owner/Applicant Signature

In Norfolk County

This 26<sup>th</sup> day of February

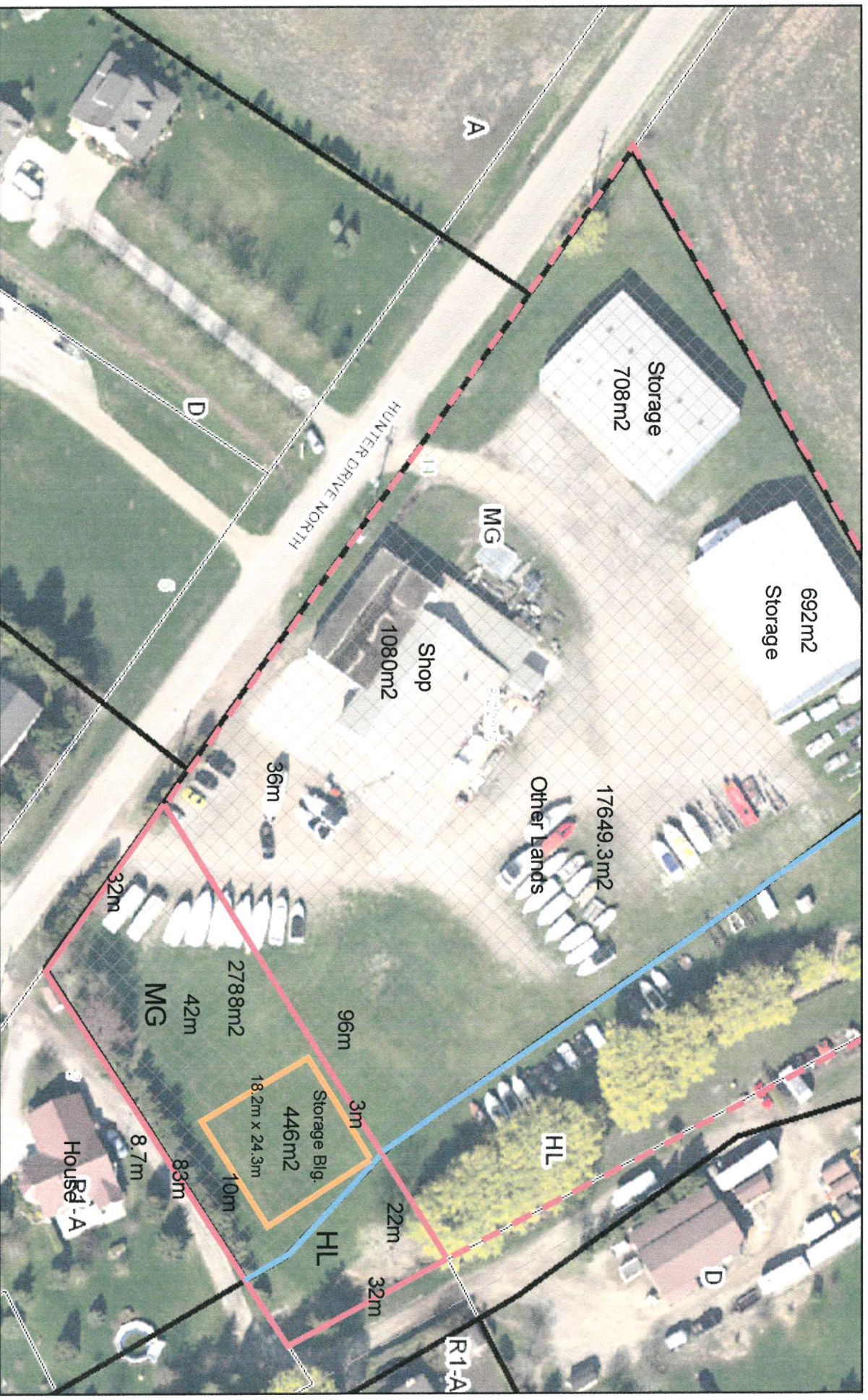
A.D., 2019

  
A Commissioner, etc.

Steven James Collier,  
a Commissioner, etc., Province of Ontario  
for the Corporation of Norfolk County  
Expires April 3, 2021.



# MAP NORFOLK - Community Web Map



1/11/2019, 1:23:22 PM

Zones 1-Z-2014



Zone

Zone with Holding Provision



Special Provisions



Site Plan Control



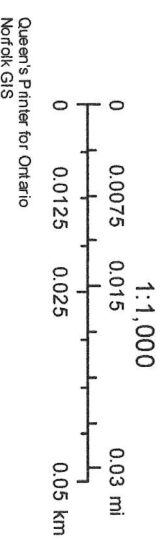
Lakeshore Erosion Prone Areas



Land Parcels



Plan Lines







## Zoning Deficiency

Simcoe: 185 Robinson St.  
Simcoe, ON  
N3Y 5L6  
519-426-5870  
Langton: 22 Albert St.  
Langton, On.  
N0E 1G0  
519-875-4485

### PROPERTY INFORMATION

Address: Hunter Drive North

Legal Description:

Roll Number: 331054400104900

Application #:

Information Origins: GIS MAP

### General Industrial (MG)

7.1.4 Main Building	REQUIRED	PROPOSED	DEFICIENCY	UNITS
a) minimum lot area	1855.00	2788.00		m.sq
b) minimum lot frontage	30.00	32.00		m
c) minimum front yard	6.00	42.00		m
d) minimum exterior side yard	6.00			m
e) minimum interior side yard	3.00	3.00		m
i) abutting a residential zone	20.00	10.00	10.00	m
f) minimum rear yard	9.00	22.00		m
g) subject to a 45 degree angular plane measured from the edge of any residential, commercial or institutional Zoned lot			N/A	m.sq

4.0 Parking	REQUIRED	PROPOSED	DEFICIENCY	UNITS
4.9 number of parking spaces	4			
4.3.3 number of accessible parking spaces				
i) Type A	1			
ii) Type B			N/A	
4.1.5 Minimum Driveway Width				
a) one-way traffic	6.00		N/A	m
b) two-way traffic	7.30		N/A	m
4.2 e) interior lot line abutting a residential Zone	4.50	0.00	N/A	m

Comments

if property is going to be a new industrial use, then parking will apply. They should supply a site sketch showing 5 parking spots, one wheelchair accessible, and no parking lot located closer than 4.5m to residential zone

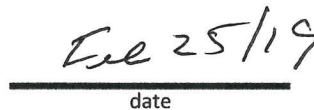
The proposed information and any supporting documents have been provided by the owner/applicant. The above information is only in respect to the associated planning application and does not relieve the owner/applicant from obtaining all other permits/approvals required. The owner/applicant hereby accepts full responsibility for the accuracy of the proposed information provided on this form.

Prepared By:

Roxanne Koot

I have read and understand the above.

  
Signature of owner or authorized agent

  
date

AS PER: Fritz R. Enzlin. CBCO, CRBO -  
Chief Building Official Manager,  
Building & Bylaw Division, Norfolk  
County

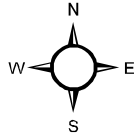
\_\_\_\_\_  
Signature of Zoning Administrator

\_\_\_\_\_  
date

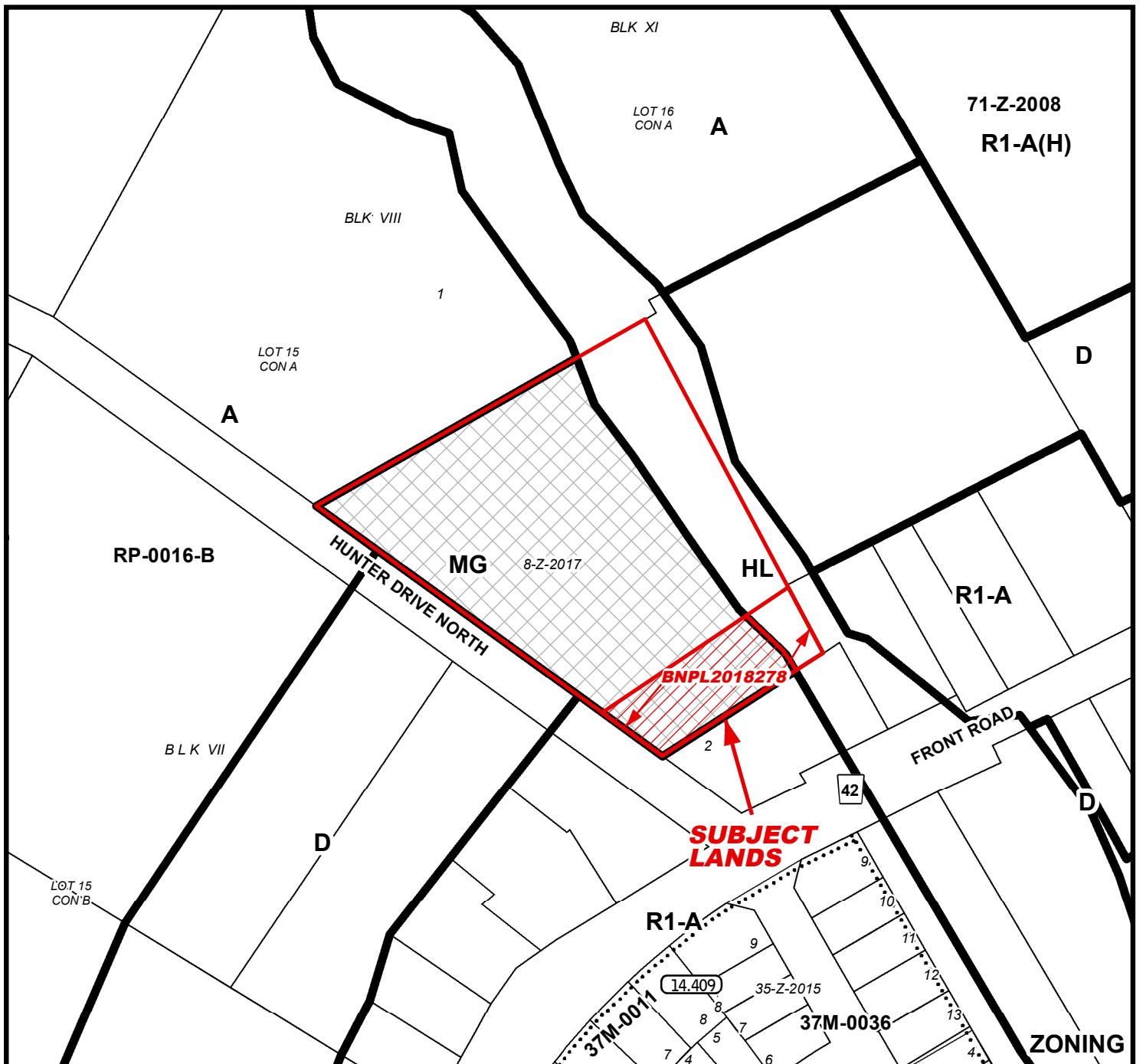
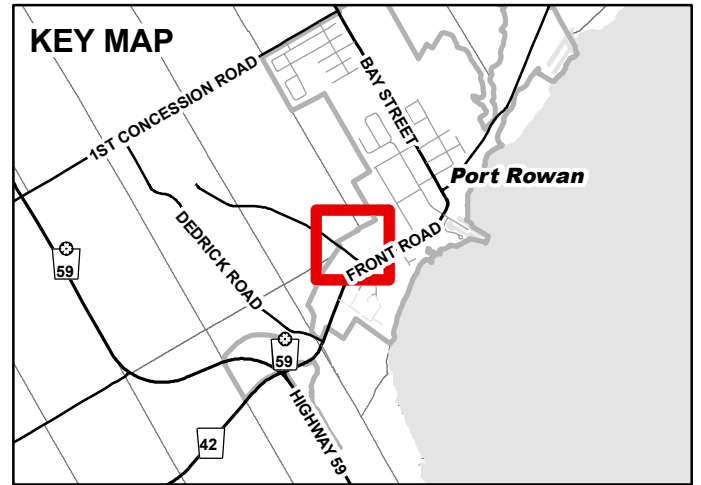
# MAP 1

## File Number: ZNPL2019057

Geographic Township of  
**PORT ROWAN**



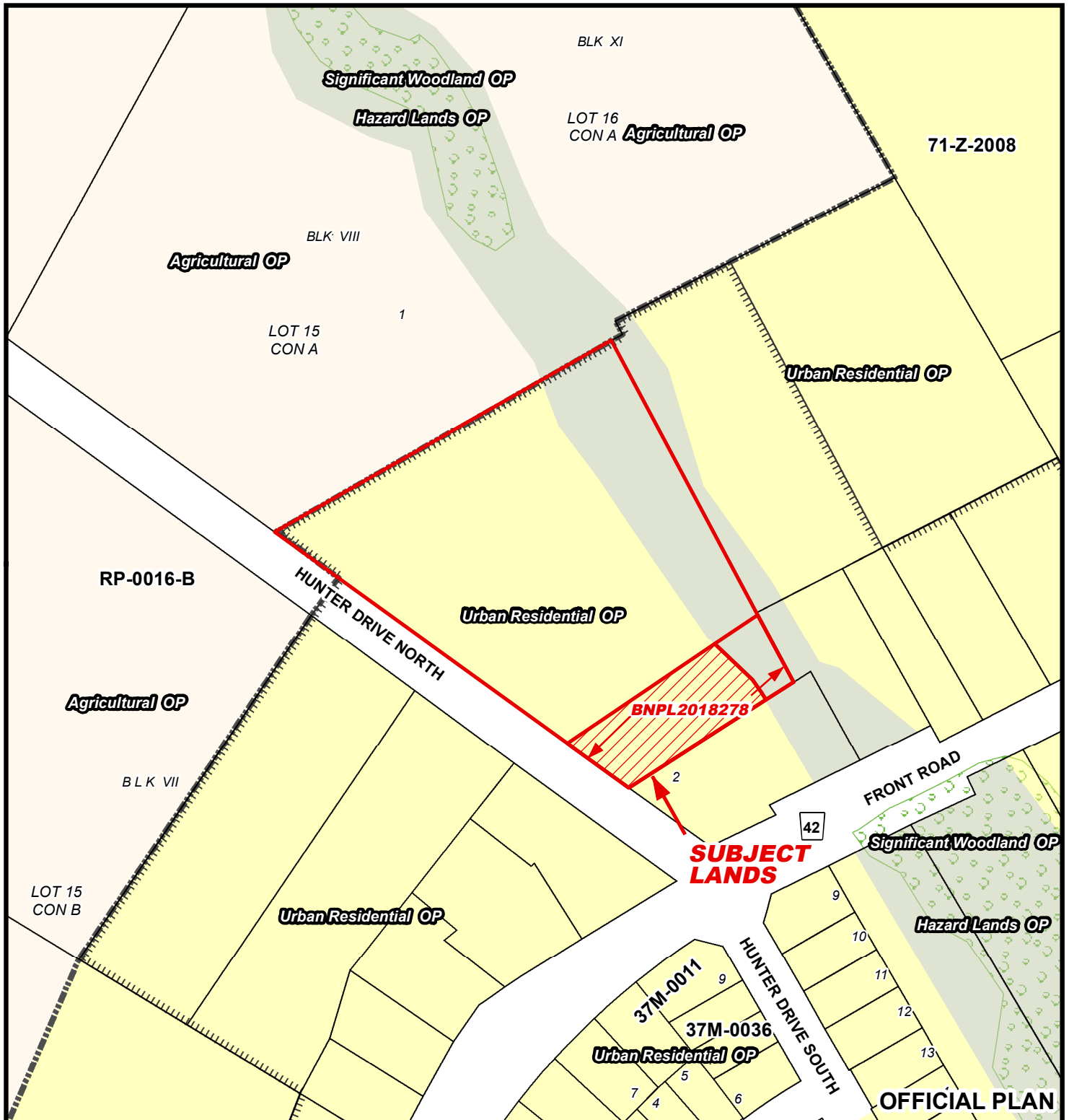
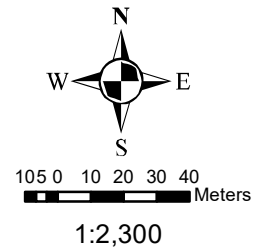
1:2,500  
25 12.5 0 25 50 75 100 Meters



# MAP 2

File Number: ZNPL2019057

Geographic Township of PORT ROWAN

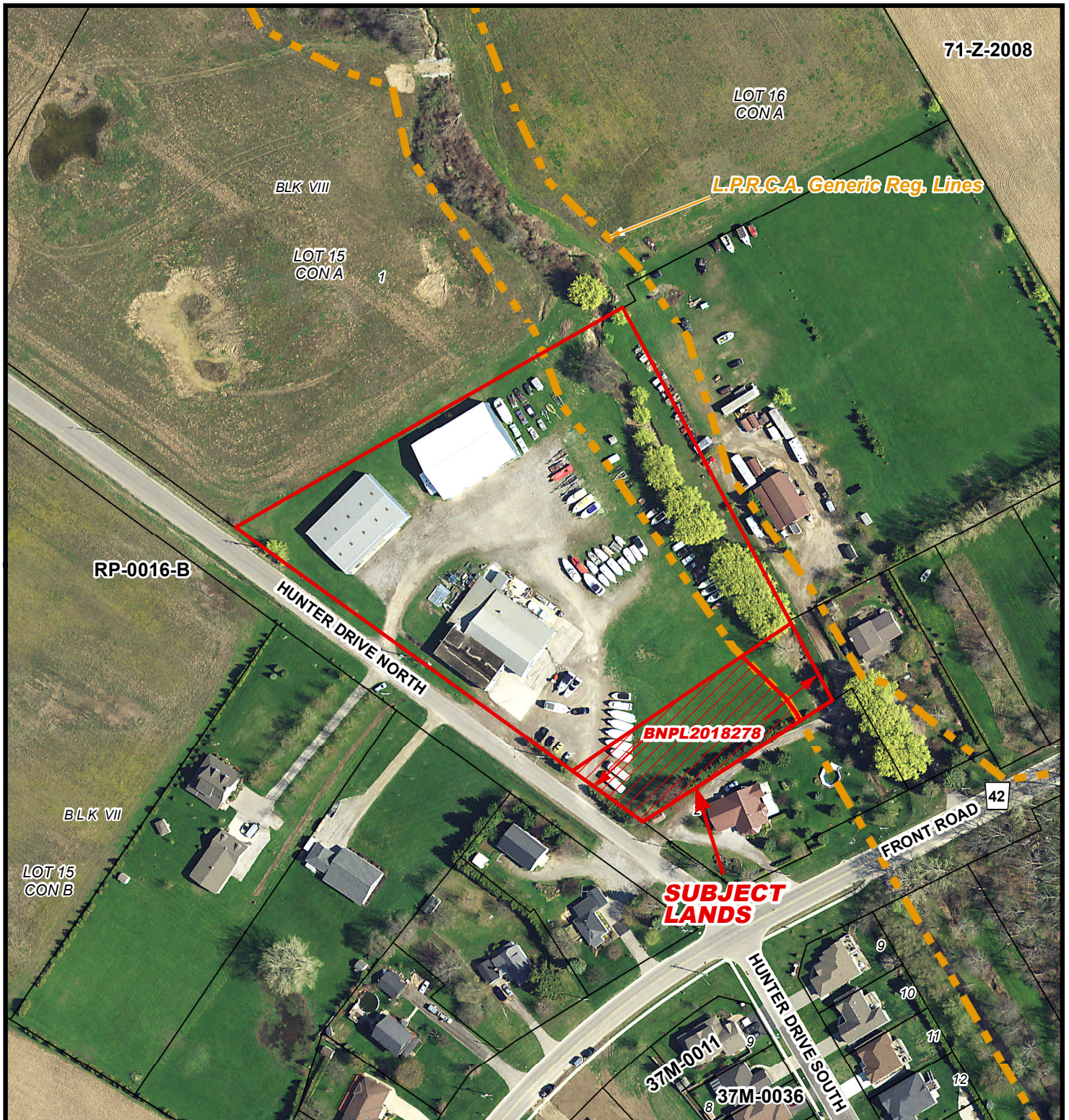
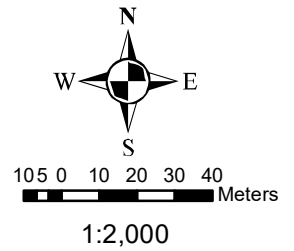




# MAP 3

File Number: ZNPL2019057

Geographic Township of PORT ROWAN





# MAP 4

File Number: ZNPL2019057

Geographic Township of PORT ROWAN

