

Planning Department Development Application Form

Complete Application

A complete development application consists of the following:

1. A properly completed and signed application form (signature must be original in planners file);
2. Supporting information adequate to illustrate your proposal as indicated in **Section H** of this application form (plans are required in paper copy and digital PDF format);
3. Written authorization from the registered owner of the subject lands where the applicant is not the owner as per Section N; and,
4. Cash, debit or cheque payable to Norfolk County in the amount set out in the user fees By-Law.

The above information is required to ensure that your application is given full consideration. An incomplete or improperly prepared application will not be accepted and may result in delays during the processing of the application. This application must be typed or printed in ink and completed in full.

Pre-Submission Consultation “Pre-consultation”:

A pre-consultation meeting with staff is required for all applications; however, minor applications may be exempted depending on the nature of the proposal, with approval from the Director of Planning or delegate. The purpose of a pre-consultation meeting is to provide the applicant with an opportunity to present the proposed application, discuss potential issues, and for the County and Agency staff to identify the required information and materials to be submitted with the application in order for it to be considered complete. The applicant has the opportunity to make revisions to the application prior to submission, without the additional costs of recirculation fees. It may be necessary to seek the assistance of independent professional help (for example, a planning consultant or engineer) for complex applications. If a pre-consultation meeting has been held to discuss your development, please **include a copy of the Pre-consultation minutes with your application** as part of the submission package. It should be noted that **pre-consultation minutes are valid for one year after the meeting date.**

Development Application Process

Once an application has been deemed complete by a planner, it will be circulated to public agencies and County departments for review and comments. Notice of the application is also provided to adjacent land owners. The comments received assist the planner with the review and recommendation/approval of your application. The time involved in processing an application varies depending upon its complexity and its

acceptability to the other agencies and is subject to statutory *Planning Act* decision timeframes.

An additional fee will be required if a review by the Long Point Region Conservation Authority or by the Grand River Conservation Authority is deemed necessary by planning staff and/or by the Authority. A separate cheque payable to the Long Point Region Conservation Authority or the Grand River Conservation Authority is required in accordance with their fee schedule at the same time your application is submitted.

Additional studies required as part of the complete application shall be at the sole expense of the applicant. It should also be noted that in some instances peer reviews may be necessary to review particular studies and that the cost shall be at the expense of the applicant. The company to complete the peer review shall be selected by the County.

If the application is withdrawn prior to the circulation to commenting agencies, the entire original fee will be refunded. If withdrawn after the circulation to agencies, half the original fee will be refunded. If your drawings are required to be recirculated there will be an additional fee. Also, please note that if your engineering drawings require more than three reviews due to revisions by the owner or failure to revise your engineering drawings as requested, an additional fee will be charged. No refund is available after the public meeting and/or after approval of application.

Notification Sign Requirements

For the purpose of public notification and in order for staff to locate your lands for appropriate applications (zoning, subdivision, condominium or official plan) you will be given a sign to indicate the intent and purpose of your development application. It is your responsibility to:

1. Post one sign per frontage in a conspicuous location on the subject lands;
2. Ensure one sign is posted at the front of the subject lands at least three feet above ground level, not on a tree;
3. Notify the Planner when the sign is in place in order to avoid processing delays; and
4. Maintain the sign until the development application is finalized and thereafter removed.

Contact Us

For additional information or assistance in completing this application, please contact a planner at 519-426-5870 or 519-875-4485 extension 1842 or planning@norfolkcounty.ca. Please submit the completed application and fees to the attention of the Planning Department at 185 Robinson Street, Suite 200, Simcoe, ON N3Y 5L6.

For Office Use Only:

File Number	_____	Public Notice Sign	_____
Related File Number	_____	Application Fee	_____
Pre-consultation Meeting	_____	Conservation Authority Fee	_____
Application Submitted	_____	Well & Septic Info Provided	_____
Complete Application	_____	Planner	_____

Check the type of planning application(s) you are submitting.

- ☐ Official Plan Amendment
- ☒ **Zoning By-Law Amendment**
- ☐ Temporary Use By-law
- ☐ Draft Plan of Subdivision/Vacant Land Condominium
- ☐ Condominium Exemption
- ☐ Site Plan Application
- ☐ Extension of a Temporary Use By-law
- ☐ Part Lot Control
- ☐ Cash-in-Lieu of Parking
- ☐ Renewable Energy Project or Radio Communication Tower

Please summarize the desired end result of this application (for example: a special zoning provision on the subject lands to include additional use(s), changing the zone and/or official plan designation of the subject lands, creating a certain number of lots, or similar)

Property Assessment Roll Number: _____

A. Applicant Information

Name of Owner _____

It is the responsibility of the owner or applicant to notify the planner of any changes in ownership within 30 days of such a change.

Address _____

Town and Postal Code _____

Phone Number _____

Cell Number _____

Email _____

Name of Applicant _____

Address _____

Town and Postal Code _____

Phone Number _____

Cell Number _____

Email _____

Name of Agent _____

Address _____

Town and Postal Code _____

Phone Number _____

Cell Number _____

Email _____

Please specify to whom all communications should be sent. Unless otherwise directed, all correspondence and notices in respect of this application will be forwarded to both owner and agent noted above.

☐ Owner ☐ Agent ☐ Applicant

Names and addresses of any holder of any mortgagees, charges or other encumbrances on the subject lands:

B. Location, Legal Description and Property Information

1. Legal Description (include Geographic Township, Concession Number, Lot Number, Block Number and Urban Area or Hamlet):

Municipal Civic Address: _____

Present Official Plan Designation(s): _____

Present Zoning: _____

2. Is there a special provision or site specific zone on the subject lands?

☐ Yes ☐ No If yes, please specify corresponding number:

3. Present use of the subject lands:

4. Please describe **all existing** buildings or structures on the subject lands and whether they are to be retained, demolished or removed. If retaining the buildings or structures, please describe the type of buildings or structures, and illustrate the setback, in metric units, from front, rear and side lot lines, ground floor area, gross floor area, lot coverage, number of storeys, width, length, and height on your attached sketch which must be included with your application:

5. If an addition to an existing building is being proposed, please explain what it will be used for (for example: bedroom, kitchen, or bathroom). If new fixtures are proposed, please describe.

6. Please describe **all proposed** buildings or structures/additions on the subject lands. Describe the type of buildings or structures/additions, and illustrate the setback, in metric units, from front, rear and side lot lines, ground floor area, gross floor area, lot coverage, number of storeys, width, length, and height on your attached sketch which must be included with your application:

7. Are any existing buildings on the subject lands designated under the *Ontario Heritage Act* as being architecturally and/or historically significant? Yes ☐ No ☐

If yes, identify and provide details of the building:

8. If known, the length of time the existing uses have continued on the subject lands:

9. Existing use of abutting properties:

10. Are there any easements or restrictive covenants affecting the subject lands?

☐ Yes ☐ No If yes, describe the easement or restrictive covenant and its effect:

C. Purpose of Development Application

Note: Please complete all that apply. Up grading the existing single residential cottage to new 1,2

1. Please explain what you propose to do on the subject lands/premises which makes this development application necessary:

2. Please explain why it is not possible to comply with the provision(s) of the Zoning By-law/and or Official Plan:

3. Does the requested amendment alter all or any part of the boundary of an area of settlement in the municipality or implement a new area of settlement in the municipality? ☐ Yes ☐ No If yes, describe its effect:

4. Does the requested amendment remove the subject land from an area of employment? ☐ Yes ☐ No If yes, describe its effect:

5. Does the requested amendment alter, replace, or delete a policy of the Official Plan?
☐ Yes ☐ No If yes, identify the policy, and also include a proposed text of the policy amendment (if additional space is required, please attach a separate sheet):

6. Description of land intended to be severed in metric units:

Frontage: _____

Depth: _____

Width: _____

Lot Area: _____

Present Use: _____

Proposed Use: _____

Proposed final lot size (if boundary adjustment): _____

If a boundary adjustment, identify the assessment roll number and property owner of the lands to which the parcel will be added: _____

Description of land intended to be retained in metric units:

Frontage: _____

Depth: _____

Width: _____

Lot Area: _____

Present Use: _____

Proposed Use: _____

Buildings on retained land: _____

7. Description of proposed right-of-way/easement:

Frontage: _____

Depth: _____

Width: _____

Area: _____

Proposed use: _____

8. Name of person(s), if known, to whom lands or interest in lands to be transferred, leased or charged (if known):

9. Site Information**Zoning****Proposed**

Please indicate unit of measurement, for example: m, m² or %

Lot frontage	_____	_____
Lot depth	_____	_____
Lot width	_____	_____
Lot area	_____	_____
Lot coverage	_____	_____
Front yard	_____	_____
Rear yard	_____	_____
Left Interior side yard	_____	_____
Right Interior side yard	_____	_____
Exterior side yard (corner lot)	_____	_____
Landscaped open space	_____	_____
Entrance access width	_____	_____
Exit access width	_____	_____
Size of fencing or screening	_____	_____
Type of fencing	_____	_____

10. Building Size

Number of storeys	_____	_____
Building height	_____	_____
Total ground floor area	_____	_____
Total gross floor area	_____	_____
Total useable floor area	_____	_____

11. Off Street Parking and Loading Facilities

Number of off street parking spaces	_____	_____
Number of visitor parking spaces	_____	_____
Number of accessible parking spaces	_____	_____
Number of off street loading facilities	_____	_____

12. Residential (if applicable)

Number of buildings existing: _____

Number of buildings proposed: _____

Is this a conversion or addition to an existing building? ☐ Yes ☐ No

If yes, describe: _____

Type	Number of Units	Floor Area per Unit in m2
Single Detached	_____	_____
Semi-Detached	_____	_____
Duplex	_____	_____
Triplex	_____	_____
Four-plex	_____	_____
Street Townhouse	_____	_____
Stacked Townhouse	_____	_____
Apartment - Bachelor	_____	_____
Apartment - One bedroom	_____	_____
Apartment - Two bedroom	_____	_____
Apartment - Three bedroom	_____	_____

Other facilities provided (for example: play facilities, underground parking, games room, or swimming pool):

13. Commercial/Industrial Uses (if applicable)

Number of buildings existing: _____

Number of buildings proposed: _____

Is this a conversion or addition to an existing building? ☐ Yes ☐ No

If yes, describe:

Indicate the gross floor area by the type of use (for example: office, retail, or storage):

Seating Capacity (for assembly halls or similar): _____

Total number of fixed seats: _____

Describe the type of business(es) proposed: _____

Total number of staff proposed initially: _____

Total number of staff proposed in five years: _____

Maximum number of staff on the largest shift: _____

Is open storage required: ☐ Yes ☐ No

Is a residential use proposed as part of, or accessory to commercial/industrial use?

☐ Yes ☐ No If yes please describe:

14. Institutional (if applicable)

Describe the type of use proposed: _____

Seating capacity (if applicable): _____

Number of beds (if applicable): _____

Total number of staff proposed initially: _____

Total number of staff proposed in five years: _____

Maximum number of staff on the largest shift: _____

Indicate the gross floor area by the type of use (for example: office, retail, or storage):

15. Describe Recreational or Other Use(s) (if applicable)

D. Previous Use of the Property

1. Has there been an industrial or commercial use on the subject lands or adjacent lands? ☐ Yes ☐ No ☐ Unknown

If yes, specify the uses (for example: gas station or petroleum storage):

2. Is there reason to believe the subject lands may have been contaminated by former uses on the site or adjacent sites? ☐ Yes ☐ No ☐ Unknown

3. Provide the information you used to determine the answers to the above questions:

4. If you answered yes to any of the above questions in Section D, a previous use inventory showing all known former uses of the subject lands, or if appropriate, the adjacent lands, is needed. Is the previous use inventory attached? ☐ Yes ☐ No

E. Provincial Policy

1. Is the requested amendment consistent with the provincial policy statements issued under subsection 3(1) of the *Planning Act, R.S.O. 1990, c. P. 13*? ☐ Yes ☐ No

If no, please explain:

2. It is owner's responsibility to be aware of and comply with all relevant federal or provincial legislation, municipal by-laws or other agency approvals, including the Endangered Species Act, 2007. Have the subject lands been screened to ensure that development or site alteration will not have any impact on the habitat for endangered or threatened species further to the provincial policy statement subsection 2.1.7? ☐ Yes ☐ No

If no, please explain:

3. Have the subject lands been screened to ensure that development or site alteration will not have any impact on source water protection? ☐ Yes ☐ No

If no, please explain:

Note: If in an area of source water Wellhead Protection Area (WHPA) A, B or C please attach relevant information and approved mitigation measures from the Risk Manager Official.

4. Are any of the following uses or features on the subject lands or within 500 metres of the subject lands, unless otherwise specified? Please check boxes, if applicable.

Livestock facility or stockyard (submit MDS Calculation with application)

☐ On the subject lands or ☐ within 500 meters – distance _____

Wooded area

☐ On the subject lands or ☐ within 500 meters – distance _____

Municipal Landfill

☐ On the subject lands or ☐ within 500 meters – distance _____

Sewage treatment plant or waste stabilization plant

☐ On the subject lands or ☐ within 500 meters – distance _____

Provincially significant wetland (class 1, 2 or 3) or other environmental feature

☐ On the subject lands or ☐ within 500 meters – distance _____

Floodplain

☐ On the subject lands or ☐ within 500 meters – distance _____

Rehabilitated mine site

☐ On the subject lands or ☐ within 500 meters – distance _____

Non-operating mine site within one kilometre

☐ On the subject lands or ☐ within 500 meters – distance _____

Active mine site within one kilometre

☐ On the subject lands or ☐ within 500 meters – distance _____

Industrial or commercial use (specify the use(s))

☐ On the subject lands or ☐ within 500 meters – distance _____

Active railway line

☐ On the subject lands or ☐ within 500 meters – distance _____

Seasonal wetness of lands

☐ On the subject lands or ☐ within 500 meters – distance _____

Erosion

☐ On the subject lands or ☐ within 500 meters – distance _____

Abandoned gas wells

☐ On the subject lands or ☐ within 500 meters – distance _____

F. Servicing and Access

1. Indicate what services are available or proposed:

Water Supply

- | | |
|--|---|
| <input type="checkbox"/> Municipal piped water | <input type="checkbox"/> Communal wells |
| <input type="checkbox"/> Individual wells | <input type="checkbox"/> Other (describe below) |
-

Sewage Treatment

- | | |
|---|---|
| <input type="checkbox"/> Municipal sewers | <input type="checkbox"/> Communal system |
| <input type="checkbox"/> Septic tank and tile bed in good working order | <input type="checkbox"/> Other (describe below) |
-

Storm Drainage

- | | |
|---|---------------------------------------|
| <input type="checkbox"/> Storm sewers | <input type="checkbox"/> Open ditches |
| <input type="checkbox"/> Other (describe below) | |
-

2. Existing or proposed access to subject lands:

- | | |
|---|---|
| <input type="checkbox"/> Municipal road | <input type="checkbox"/> Provincial highway |
| <input type="checkbox"/> Unopened road | <input type="checkbox"/> Other (describe below) |

Name of road/street: _____

G. Other Information

1. Does the application involve a local business? ☐ Yes ☐ No

If yes, how many people are employed on the subject lands?

2. Is there any other information that you think may be useful in the review of this application? If so, explain below or attach on a separate page.

H. Supporting Material to be submitted by Applicant

In order for your application to be considered complete, **folded** hard copies (number of paper copies as directed by the planner) and an **electronic version (PDF) of the properly named site plan drawings, additional plans, studies and reports** will be required, including but not limited to the following details:

1. Concept/Layout Plan
2. All measurements in metric
3. Key map
4. Scale, legend and north arrow
5. Legal description and municipal address
6. Development name
7. Drawing title, number, original date and revision dates
8. Owner's name, address and telephone number
9. Engineer's name, address and telephone number
10. Professional engineer's stamp
11. Existing and proposed easements and right of ways
12. Zoning compliance table – required versus proposed
13. Parking space totals – required and proposed
14. All entrances to parking areas marked with directional arrows
15. Loading spaces, facilities and routes (for commercial developments)
16. All dimensions of the subject lands
17. Dimensions and setbacks of all buildings and structures
18. Location and setbacks of septic system and well from all existing and proposed lot lines, and all existing and proposed structures
19. Gross, ground and useable floor area
20. Lot coverage
21. Floor area ratio
22. Building entrances, building type, height, grades and extent of overhangs
23. Names, dimensions and location of adjacent streets including daylighting triangles
24. Driveways, curbs, drop curbs, pavement markings, widths, radii and traffic directional signs
25. All exterior stairways and ramps with dimensions and setbacks
26. Retaining walls including materials proposed
27. Fire access and routes
28. Location, dimensions and number of parking spaces (including visitor and accessible) and drive aisles
29. Location of mechanical room, and other building services (e.g. A/C, HRV)
30. Refuse disposal and storage areas including any related screening (if indoors, need notation on site plan)
31. Winter snow storage location

32. Landscape areas with dimensions
33. Natural features, watercourses and trees
34. Fire hydrants and utilities location
35. Fencing, screening and buffering – size, type and location
36. All hard surface materials
37. Light standards and wall mounted lights (plus a note on the site plan that all outdoor lighting is to be dark sky compliant)
38. Business signs (make sure they are not in sight lines)
39. Sidewalks and walkways with dimensions
40. Pedestrian access routes into site and around site
41. Bicycle parking
42. Architectural elevations of all building sides
43. All other requirements as per the pre-consultation meeting

In addition, the following additional plans, studies and reports, including but not limited to, **may** also be required as part of the complete application submission:

- ☐ Zoning Deficiency Form
- ☐ On-Site Sewage Disposal System Evaluation Form (to verify location and condition)
- ☐ Architectural Plan
- ☐ Buildings Elevation Plan
- ☐ Cut and Fill Plan
- ☐ Erosion and Sediment Control Plan
- ☐ Grading and Drainage Control Plan (around perimeter and within site) (existing and proposed)
- ☐ Landscape Plan
- ☐ Photometric (Lighting) Plan
- ☐ Plan and Profile Drawings
- ☐ Site Servicing Plan
- ☐ Storm water Management Plan
- ☐ Street Sign and Traffic Plan
- ☐ Street Tree Planting Plan
- ☐ Tree Preservation Plan
- ☐ Archaeological Assessment
- ☐ Environmental Impact Study

- ☐ Functional Servicing Report
- ☐ Geotechnical Study / Hydrogeological Review
- ☐ Minimum Distance Separation Schedule
- ☐ Noise or Vibration Study
- ☐ Record of Site Condition
- ☐ Storm water Management Report
- ☐ Traffic Impact Study – please contact the Planner to verify the scope required

Site Plan applications will require the following supporting materials:

1. Two (2) complete sets of the site plan drawings folded to 8½ x 11 and an electronic version in PDF format
2. Letter requesting that the Holding be removed (if applicable)
3. A cost estimate prepared by the applicant's engineer
4. An estimate for Parkland dedication by a certified land appraiser
5. Property Identification Number (PIN) printout

Standard condominium exemptions will require the following supporting materials:

- ☐ Plan of standard condominium (2 paper copies and 1 electronic copy)
- ☐ Draft condominium declaration
- ☐ Property Identification Number (PIN) printout

Your development approval might also be dependent on Ministry of Environment and Climate Change, Ministry of Transportation or other relevant federal or provincial legislation, municipal by-laws or other agency approvals.

All final plans must include the owner's signature as well as the engineer's signature and seal.

I. Development Agreements

A development agreement may be required prior to approval for site plan, subdivision and condominium applications. Should this be necessary for your development, you will be contacted by the agreement administrator with further details of the requirements including but not limited to insurance coverage, professional liability for your engineer, additional fees and securities.

J. Transfers, Easements and Postponement of Interest

The owner acknowledges and agrees that if required it is their solicitor's responsibility on behalf of the owner for the registration of all transfer(s) of land to the County, and/or transfer(s) of easement in favour of the County and/or utilities. Also, the owner further acknowledges and agrees that it is their solicitor's responsibility on behalf of the owner for the registration of postponements of any charges in favour of the County.

K. Permission to Enter Subject Lands

Permission is hereby granted to Norfolk County officers, employees or agents, to enter the premises subject to this application for the purposes of making inspections associated with this application, during normal and reasonable working hours.

L. Freedom of Information

For the purposes of the *Municipal Freedom of Information and Protection of Privacy Act*, I authorize and consent to the use by or the disclosure to any person or public body any information that is collected under the authority of the *Planning Act, R.S.O. 1990, c. P. 13* for the purposes of processing this application.

Owner/Applicant Signature

Date

M. Owner's Authorization

If the applicant/agent is not the registered owner of the lands that is the subject of this application, the owner(s) must complete the authorization set out below.

I/We _____ am/are the registered owner(s) of the lands that is the subject of this application.

I/We authorize _____ to make this application on my/our behalf and to provide any of my/our personal information necessary for the processing of this application. Moreover, this shall be your good and sufficient authorization for so doing.

Owner

Date

Owner

Date

N. Declaration

I, Samuel Hiltz of Norfolk County

solemnly declare that:

all of the above statements and the statements contained in all of the exhibits transmitted herewith are true and I make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath and by virtue of *The Canada Evidence Act*.

Declared before me at:


Simcoe, Norfolk County


Owner/Applicant Signature

In Norfolk County

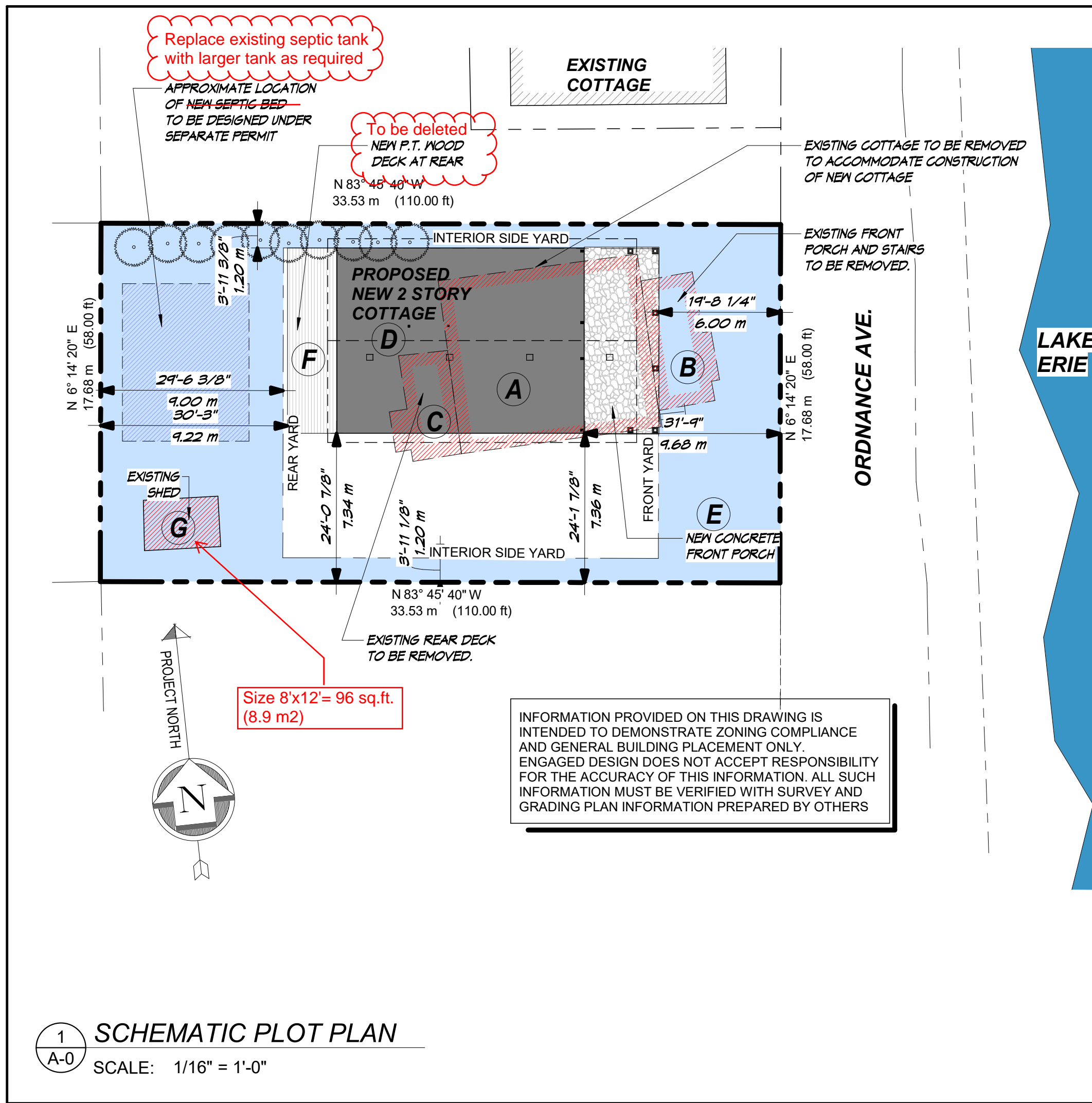
This 21 day of July

A.D., 2022



A Commissioner, etc.

Kaitlyn Anderson Poole, a
Commissioner, etc., Province of Ontario,
for the Corporation of Norfolk County,
Expires September 2, 2024.



STRUCTURAL COMPONENT LEGEND

GENERAL SCHEDULE NOTES:

- NOT ALL MEMBERS LISTED HAVE BEEN USED ON THIS BUILDING. REFER TO PLANS TO DETERMINE LOCATION, LENGTHS AND QUANTITY OF SPECIFIED MEMBERS.
- MEMBERS SPECIFIED ARE SIZED TO MIN. O.B.C. / DESIGN REQUIREMENTS. CONTRACTOR MAY SUBSTITUTE LARGER MEMBER OF THE SAME NUMBER OF PLY AND SAME SPECIES / GRADE AS MATERIALS SPECIFIED. ANY CHANGE IN SPECIES / GRADE MUST BE REVIEWED BY THE DESIGNER. CONTRACTOR SHALL NOT SUBSTITUTE WITH SMALLER MEMBERS WITH ADDITIONAL PLYS UNLESS REVIEWED BY THE DESIGNER.
- ALL NOMINAL (CONVENTIONAL) WOOD PRODUCTS ARE TO BE MINIMUM SPF #2 UNLESS OTHERWISE NOTED IN SCHEDULES AND ON PLANS.

B/U WOOD LINTEL SCHEDULE:

N1 = 2'-2" x 6"	SPRUCE NO. 1
N2 = 2'-2" x 8"	SPRUCE NO. 1
N3 = 2'-2" x 8"	D. FIR NO. 1
N4 = 2'-2" x 10"	SPRUCE NO. 1
N5 = 2'-2" x 10"	D. FIR NO. 1
N6 = 2'-2" x 12"	SPRUCE NO. 1
N7 = 2'-2" x 12"	D. FIR NO. 1

B/U WOOD BEAM SCHEDULE:

M1 = 3'-2" x 8"	SPRUCE NO. 1
M2 = 4'-2" x 8"	SPRUCE NO. 1
M3 = 3'-2" x 10"	SPRUCE NO. 1
M4 = 4'-2" x 10"	SPRUCE NO. 1
M5 = 5'-2" x 10"	SPRUCE NO. 1
M6 = 5'-2" x 12"	SPRUCE NO. 1
M7 = 4'-2" x 12"	SPRUCE NO. 1
M8 = 5'-2" x 12"	SPRUCE NO. 1

LINTEL NOTES:

- WOOD LINTEL WITH SPANS LESS THAN 4'-10" (3m) REQUIRE 1 1/2" (38mm) MIN. BEARING LENGTH AT EACH END, SPANS GREATER THAN 4'-10" REQUIRE A MIN. 3" (76mm) BEARING LENGTH.
- WHERE NOTED, LINTELS MUST BEAR UPON ENTIRE WIDTH OF BUILT-UP COLUMNS INDICATED WITH ADDITIONAL TRIMMER STUD FASTENED TO COLUMN AS PER TYPICAL ROUGH OPENING FRAMING.

ENGINEERED LUMBER COLUMNS

EC1 = 5.5'x5.5" PSL 2.0E POST
EC2 = 3.5'x3.5" PSL 2.0E POST

B/U LUMBER COLUMNS

C1 = 2'-2" x 4"	SPRUCE NO. 1
C2 = 3'-2" x 4"	SPRUCE NO. 1
C3 = 4'-2" x 4"	SPRUCE NO. 1
C4 = 5'-2" x 4"	SPRUCE NO. 1
C5 = 2'-2" x 6"	SPRUCE NO. 1
C6 = 3'-2" x 6"	SPRUCE NO. 1
C7 = 4'-2" x 6"	SPRUCE NO. 1
C8 = 5'-2" x 6"	SPRUCE NO. 1

SOLID WOOD COLUMNS

SWC1 = 4" x 4" #2 SPR
SWC2 = 4" x 4" P.T.
SWC3 = 6" x 6" #2 SPR
SWC4 = 8" x 8" P.T.
SWC5 = 6x6 SELECT GRADE CEDAR
SWC6 = 8" x 8" P.T.
SWC7 = 8" x 8" SELECT GRADE PINE

COLUMN NOTES:

- WHERE COLUMNS ARE NOT LOCATED IN A LOAD BEARING WALL THEY SHALL BE CENTERED ON PAD FOOTINGS BELOW.
- WHERE STEEL COLUMNS BEAR ONTO STEEL BEAM BELOW, BASE PLATES SHALL BE MIN. 1/4" AND SHALL MATCH WITH LARGER DIMENSION OF BEAM FLANGE OR COLUMN WIDTH UNLESS OTHERWISE SPECIFIED, AND CONNECTED IN BOLTS OR FIELD WELDS AS DIRECTED.

ENGINEERED WOOD BEAMS

LVL 1 = 1 3/4"x11 7/8" LVL 2.0E BY MICROLAM
LVL 2 = 3 1/2"x11 7/8" LVL 2.0E BY MICROLAM
LVL 3 = 5 1/4"x 9 1/2" LVL 2.0E BY MICROLAM
LVL 4 = 5 1/4"x11 7/8" LVL 2.0E BY MICROLAM
LVL 5 = 5 1/4"x14" LVL 2.0E BY MICROLAM

ALL BEAMS TO HAVE MIN. 3 1/2" BEARING AT EACH END.
ALL JOISTS MIN. 1 1/2" BEARING AT EACH END.

ZONING INFORMATION

CURRENT ZONE RR (AGRICULTURAL ZONE)

ZONING PROVISIONS

LOT FRONTAGE	15.0m
MIN. FRONT YARD	6.0m
MIN. EXTERIOR SIDE YARD	1.2m
MIN. INTERIOR SIDE YARD	1.2m
MIN. REAR YARD	9.0m

MAX. BUILDING HEIGHT	9.1m
MAXIMUM LOT COVERAGE	15% PLUS
AN ADDITIONAL 10% FOR ALL ACCESSORY BUILDINGS AND RAISED DECKS FOR A TOTAL COVERAGE OF	25%.

LOT AREA	6,379 sq.ft.	592.84 m ²
25 % TOTAL COVERAGE ALLOWED (TOTAL OF ALL BUILDINGS AND DECKS)	= 1,595 sq.ft.	148.21 m ²

EXISTING BUILDINGS	1,266 sq.ft.	117.66m ²
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DEMOLITION		
Existing main cottage A	917 sq.ft.	
Existing front porch B	197 sq.ft.	
EXISTING REAR DECK C	152 sq.ft.	
total of demolition	1,266 sq.ft.	- 1,266 sq.ft. -117.66m ²

Existing shed G to remain.	100 sq.ft.	9.29m ²
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PROPOSED CONSTRUCTION		
New cottage part D	1,200 sq.ft.	111.52 m ²
New front porch E	360 sq.ft.	33.45 m ²
New rear porch F	240 sq.ft.	22.30 m ²
total of additions	1,800 sq.ft.	167.29m ²
total of additions	1,560 sq.ft.	144.94 m ²
TOTAL COVERAGE	4,900 sq.ft.	454.55m ²
REPRESENTS 29.79% COVERAGE THEREFORE A VARIANCE WILL BE REQUIRED		

MINOR VARIANCE APPLICATION REQUIRED

ZONING BYLAW 1-Z-2014 UNDER SPECIAL PROVISIONS SECTION 14 PERMITS THE FOLLOWING:

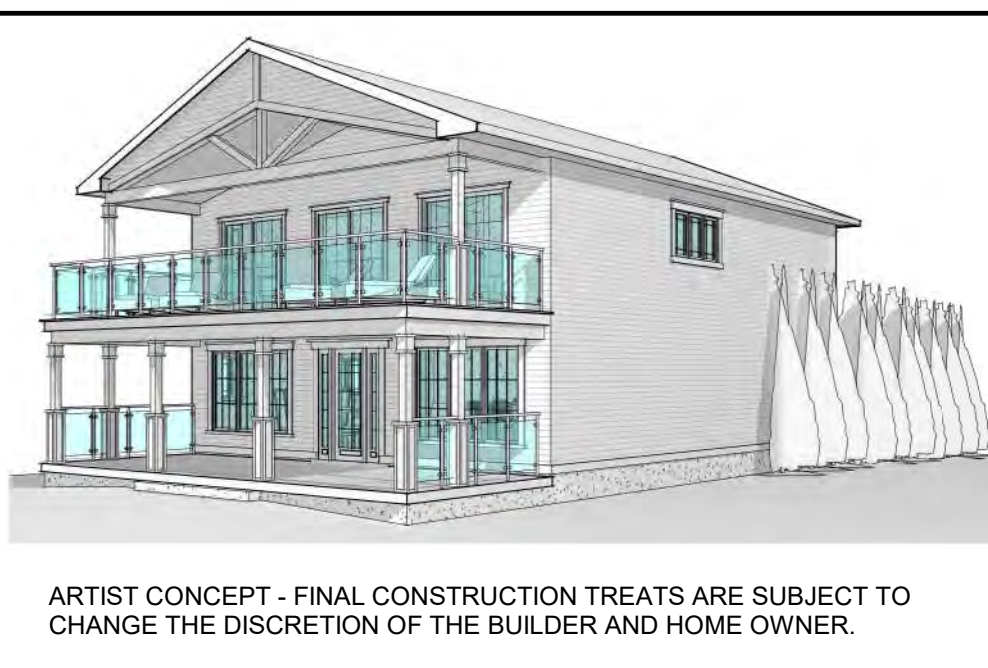
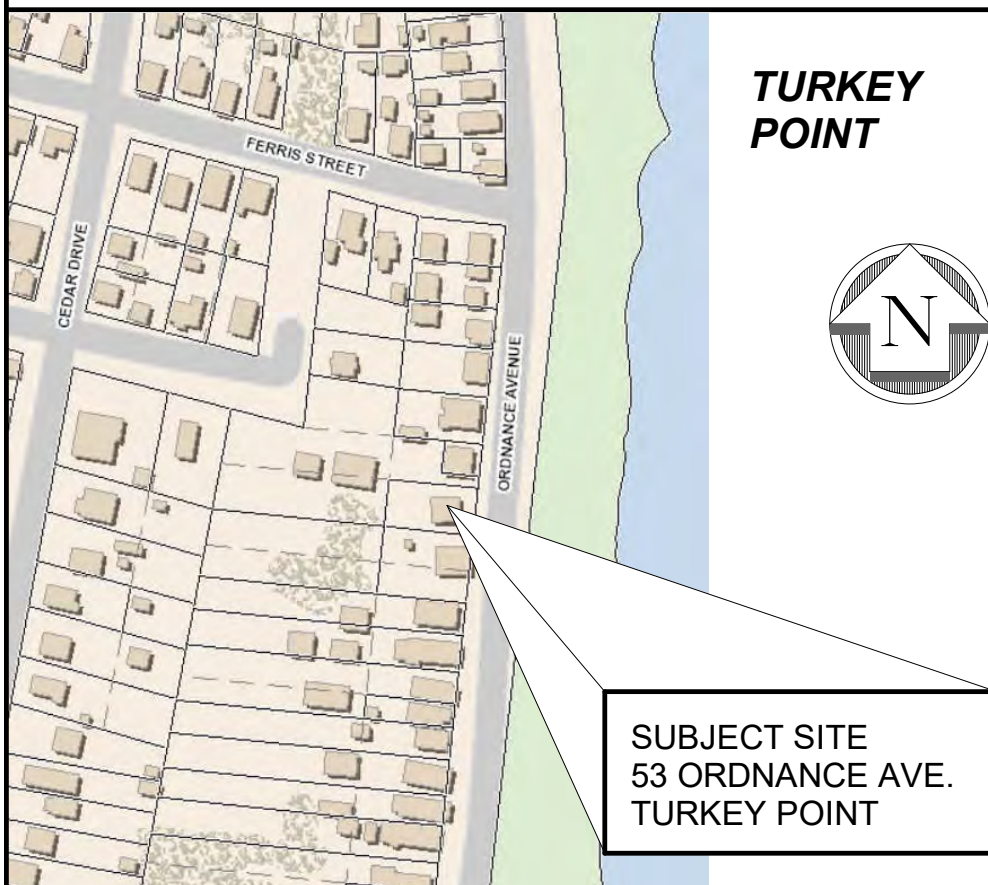
14.2 IN LIEU OF THE CORRESPONDING PROVISIONS OF THE RR ZONE, THE FOLLOWING SHALL APPLY:

- THAT SUBSECTION 5.8.1 SHALL NOT APPLY TO THE LANDS IDENTIFIED AS HAVING REFERENCE TO THIS SUBSECTION AND THAT IN LIEU THERE OF PERMITTED USES SHALL INCLUDE EXISTING VACATION HOME AND ACCESSORY USES, BUILDINGS AND STRUCTURES;
- THAT THE PROVISIONS OF SUBSECTION 5.8.2 SHALL NOT APPLY TO THE LANDS DELINEATED AS HAVING REFERENCE TO THIS SUBSECTION TO PREVENT THE REPAIR, REBUILDING OR REPLACEMENT OF ANY EXISTING VACATION HOME PROVIDED THAT SUCH REPLACEMENT DOES NOT CONSTITUTE AN INCREASE IN THE ORIGINAL USABLE FLOOR AREA OR VOLUME OF THE ORIGINAL BUILDING;

A MINOR VARIANCE HAS BEEN APPLIED FOR IN ORDER TO PROVIDE RELIEF OF THE FOLLOWING:

- THE REQUIREMENT FOR REPLACEMENT BUILDINGS TO MATCH THE USABLE AREA AND VOLUME OF THE ORIGINAL BUILDING IN ORDER TO ALLOW FOR A 2 STOREY COTTAGE IN ITS PLACE.
- OF THE TOTAL LOT COVERAGE REQUIREMENT OF 25% TO ALLOW FOR PROPOSED BUILDINGS AND DECKS TO ALLOW FOR 29.79% TOTAL COVERAGE ON THE LOT COMPRISED OF 18.8% FOR THE COTTAGE AND 10.99% FOR THE PORCH AND DECKS.

SITE LOCATION MAP



DRAWING LIST

A-0	O.B.C. DESIGN MATRIX, GENERAL NOTES AND DESIGN DATA
A-1	FOUNDATION AND MAIN FLOOR PLANS
A-2	2nd. FLOOR PLAN AND OPTIONAL LAYOUT
A-3	ROOF PLAN, DETAILS AND BUILDING ELEVATIONS
A-4	BUILDING SECTIONS AND DETAILS

BUILDING CODE REVIEW SUMMARY

Firm Name : ENGAGED CUSTOM HOME DESIGN		STAMP									
Certificate of Practice Number : 5494		<div>ONTARIO ASSOCIATION OF ARCHITECTS D.B.B. DEC 15 '21 LICENSED TECHNOLOGIST OAA DAVID B. BENNETT LICENCE 7019</div>									
Address : 22 WALPOLE DRIVE JARVIS ONTARIO N0A 1J0											
Contact Information : TEL. 1 (519) 909-9246 EMAIL : dave@engagedesign.ca											
Individual who reviews and accepts responsibility for Design Activities : DAVID B. BENNETT LICENSED TECHNOLOGIST OAA LICENCE # 7019											
Name of Project : COTTAGE REPLACEMENT - HILTZ & SCHEBESCH FAMILIES 53 ORDNANCE AVE. TURKEY POINT, ONTARIO											
Location of Project : NORFOLK COUNTY											
Item	Ontario Building Code Matrix Parts 9		OBC Section Reference								
1	Project Description : <input checked="" type="checkbox"/> New Construction <input type="checkbox"/> Part 11 <input type="checkbox"/> Change of Use <input type="checkbox"/> Addition <input type="checkbox"/> Alteration 11.1 to 11.4		<input checked="" type="checkbox"/> Part 9 1.1.2 [A] 9.10.1.3 9.10.2								
2	Major Occupancy (s) : GROUP C - SINGLE FAMILY HOME		9.10.2								
3	Structural Importance Category : NORMAL		1.4.2.1 & Table 11.4.2.1 B								
4	Building Area (m ²) : conditioned space Existing 0 m ² New 112m ² (1200 RS) Total 112m ² (1200 RS) unconditioned space (garage) Existing 0 m ² New 0 Total 0m ² (0 RS) Total building area (footprint) 112m ² (1200 RS)		1.4.1.2 [A]								
5	Gross Area (m ²) : Main floor Existing 0 m ² New 112m ² (1200 RS) Total 112m ² (1200 RS) Second floor Existing 0 m ² New 112m ² (1200 RS) Total 112m ² (1200 RS) Total Gross Floor area (total of All floors) 224m ² (2400 RS)		1.4.1.2 [A]								
6	Number of Storeys : Below Grade NONE Above Grade 2 STOREYS		1.4.1.2 [A] & 9.10.4								
7	Building Height : ??		7.7.								
8	Number of Streets / Access Routes :		9.10.20								
9	Building Classification : GROUP C - SINGLE FAMILY HOME		9.10.2								
10	Sprinkler System Proposed : <input type="checkbox"/> Entire Building <input type="checkbox"/> Selected Compartments <input type="checkbox"/> Selected Floor Areas <input type="checkbox"/> Basement <input type="checkbox"/> In lieu of roof rating <input checked="" type="checkbox"/> Not required		9.10.8.2								
11	Standpipe required : <input type="checkbox"/> Yes <input type="checkbox"/> No										
12	Fire Alarm required : <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		9.10.18								
13	Water Service / Supply is Adequate : <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No		N/A								
14	High Building : <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		N/A								
15	Permitted construction : <input type="checkbox"/> Combustible <input checked="" type="checkbox"/> Non-combustible <input type="checkbox"/> Both Actual Construction : <input type="checkbox"/> Combustible <input checked="" type="checkbox"/> Non-combustible <input checked="" type="checkbox"/> Both		9.10.6								
16	Mezzanine (s) Area (m ²) : N/A		9.10.4.1								
17	Occupant load Based on : <input type="checkbox"/> m ² / person <input checked="" type="checkbox"/> Design of building		9.9.1.3								
Basement Occupancy : N/A Load : 0 persons 1st Floor Occupancy : RESIDENTIAL Load : 2' BDRM = 0 persons Total : Load : 0 persons											
18	Barrier Free Design : <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No (Explain) N/A (NOT REQUIRED)		9.5.2								
19	Hazardous Substances : <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		9.10.1.3 (4)								
20	Required Fire Resistance Rating (FRR) Horizontal Assemblies Fire resistance Rating (hours) Floors : N/A Hours Roof : N/A Hours Mezzanine : N/A Hours FRR of Supporting Members Floors : N/A Hours Roof : N/A Hours Mezzanine : N/A Hours		Listed Design No. or Description (SB-3) Listed Design No. or Description (SB-3)								
21	Spatial Separation - Construction of Exterior Walls Wall Area of EBF (m ²) L.D. or H/L L/H or Permitted % of Openings Proposed % of Openings FRR (Hours) Listed Design or Description Combustible Construction Combustible construction Non-Cladding Non-combustible Construction		9.10.14								
NORTH (SIDE YARD)		10m ²	1.2m	N/A	7%	2.97%	-----	-----	-----	-----	-----
WEST (REAR YARD)		50m ²	9.22m	N/A	56%	16.6%	-----	-----	-----	-----	-----
SOUTH (SIDE)		10m ²	7.36m	N/A	34%	1%	-----	-----	-----	-----	-----
EAST (LAKE YARD)		50m ²	6m +	N/A	34%	30%	-----	-----	-----	-----	-----
Other - Describe											

ENERGY EFFICIENCY DESIGN ASSUMPTION MATRIX

[A] GENERAL NOTES

THESE DRAWINGS HAVE BEEN PREPARED TO MEET OR EXCEED THE REQUIREMENTS OF SB-12 OF THE ONTARIO BUILDING CODE AS AMENDED JANUARY 1, 2012 (EnerGuide80 ®). COMPLIANCE WITH THE NEW REGULATIONS CAN BE ACHIEVED IN ONE OF TWO WAYS. THE SUMMARY BEHIND DESIGN ASSUMPTIONS MADE IN CONSULTATION WITH THE CLIENT PRIOR TO SUBMISSION FOR BUILDING PERMIT. AS A POINT OF REFERENCE, THIS DESIGN IS BASED ON THE PRESCRIPTIVE SB-12 PACKAGES FOUND IN SB-12-3.1.1.

IF THE CONTRACTOR CHOOSES TO ACHIEVE COMPLIANCE THROUGH ONE OF THE THREE ACCEPTED METHODS BASED ON PERFORMANCE, Energy Star ® OR EnerGuide80 ® PROGRAMS THEN THE DESIGN MUST BE INDEPENDENTLY VERIFIED BY A CERTIFIED ENERGY EVALUATOR. INDEPENDENT VERIFICATION BY A "CERTIFIED ENERGY EVALUATOR" PRIOR TO OCCUPANCY IS RECOMMENDED AS THE MOST EFFECTIVE WAY OF ENSURING COMPLIANCE. THESE CONSULTANTS SPECIALIZE IN PERFORMING THIS TYPE OF ANALYSIS / TESTING AND WILL PROVIDE PAPERWORK CONFIRMING THE RESULTS OF THIS TESTING TO THE BUILDING DEPARTMENT AT THE POINT OF SUBSTANTIAL COMPLETION OF THE HOME.

[B] SB-12 COMPLIANCE OPTIONS

<input checked="" type="checkbox"/> SB-12 Prescriptive [SB-12 - 3.1.1]	Table: SB-12 T3.1.1.2 (1P)	Package A5
<input type="checkbox"/> SB-12 Performance * [SB-12 - 3.1.1]	* Attach energy performance calculations using an approved software	
<input type="checkbox"/> Energy Star ® * [SB-12 - 3.1.1]	* Attach BOP form. House must be labeled on completion by Energy Star	
<input type="checkbox"/> EnerGuide80 ® *	* House must be evaluated by NRCcan advisor and meet a rating of 80	

[C] Project Design Conditions

Climate Zone (SB-1):	Heating Equipment Efficiency	Space Heating Fuel Source
<input checked="" type="checkbox"/> Zone 1 (<5000 degree days)	<input checked="" type="checkbox"/> ≤ 92% AFUE	<input type="checkbox"/> Gas <input checked="" type="checkbox"/> Propane <input type="checkbox"/> Solid Fuel
<input type="checkbox"/> Zone 2 (<5000 degree days)	<input type="checkbox"/> ≤ 84% < 92% AFUE	<input type="checkbox"/> Oil <input type="checkbox"/> Electric <input type="checkbox"/> Earth Energy

Windows+ Skylights+ Glass Doors	Other Building Conditions
Wall Area = (2770 sq.ft.) 256 m ² Gross Window + Area = (408) 38 m ²	% Windows + 14.73 % <input type="checkbox"/> ICF basement <input type="checkbox"/> Walkout Basement <input type="checkbox"/> ICF Above Grade <input type="checkbox"/> Slab on Grade <input type="checkbox"/> Log / Post&Beam

[D] Building Specifications

Building Component	RSI / R Values	Building Component	Efficiency Rating
Thermal Insulation		Windows & Doors	
Ceiling with Attic Space	R60	Window / Sliding Glass Doors	OPENINGS LESS THAN 17 % OF WALL AREA, THEREFORE WINDOW RATIO MAX U = 0.28 MAX. U = 0.28
Ceiling without Attic Space	R31	Skylights	
Exposed Floor	R31	Mechanicals	
Walls above Grade	R19 + R5 G.I.	Space Heating Equipment	94 %
Basement Walls	R12 + R10 G.I.	HRV Efficiency (%)	70%
Slab (all > 600mm below Grade)	---	DHW Heater (EF)	0.80
Slab (edge only ≤600mm below Grade)	R10	Drain Water Heat Recovery	42%
Slab (all ≤600mm below Grade or heated)	R10	Notes: Provide U-value in W/m ² K or ER rating Provide AFUE or indicate if Condensing type combined unit used.	

[E] SB-12 Performance:

Compliance achieved through performance based solutions require the support of appropriate calculations not performed directly as part of this drawing package. These calculations need to be performed by a "CERTIFIED ENERGY EVALUATOR" and the results certified by an NRCcan Advisor. Consult your local NRCcan Advisor for details on how this method of compliance could reduce construction costs and increase return rates on your investment.

STRUCTURAL DESIGN CRITERIA

LOCATION: TURKEY POINT ONTARIO (PORT BURNELL VALUES USED IN CALCS.)	
FLOOR LOADS	
MIN. SPECIFIED LIVE LOAD	= 1.9 kPa (40 PSI) AS PER 4.4.1.1
MAX. SPECIFIED LIVE LOAD	= 2.4 kPa (50 psf) AS PER 4.4.1.1 (2)
SPECIFIED DEAD LOAD	= 1.0 kPa (21 psf) AS SPECIFIED BY JOIST SUPPLIER
ROOF LOADS	
CALCULATION AS PER O.B.C. [B] 4.4.2.2. AND SB-1.	
S = (Cb x Se) + Sr	
WHERE Cb = basic snow load factor = 0.45 for roof spans less than 4.3m	
Se = 1 in 50 year ground snow load in kPa as per SB-1	
Sr = 1 in 50 year rain load in kPa as per SB-1	
IN NO CIRCUMSTANCES, SHOULD THE SPECIFIED SNOW LOAD BE LESS THAN 1.0 kPa.	
S = (0.55 x 1.2) 0.4 THEREFORE S = 1.06 kPa = 1.1 kPa	

SYMBOLS LEGEND

	BUILDING ELEVATION REFERENCE		ELEVATION REFERENCE		BATHROOM EXHAUST FAN
	BUILDING SECTION REFERENCE		SMOKE DETECTOR		SMOKE / CARBON MONOXIDE DETECTOR
	DETAIL SECTION REFERENCE		EXTERIOR WINDOW REFERENCE		INTERIOR BEARING WALLS
	Room name REFERENCE		Room name - NUMBER REFERENCE		
	EXTERIOR DOOR REFERENCE				

ABBREVIATIONS

AFTS DATUM ABOVE TOP OF FOOTING ELEVATION	P1 STEEL TELEPOST 1,2,3 ETC.
CMD CARBONMONOXIDE DETECTOR	PF1 PAD FOOTING 1,2,3 ETC.
IF.F. INSIDE FACE OF FOUNDATION WALLS	PSL PARALLEL STRAND LUMBER
O.F.F. OUTSIDE FACE OF FOUNDATION ALLS	PSL BEAM 1,2,3 ETC.
O.F.S. OUTSIDE FACE OF EXTERIOR SHEATHING	SP1 CONTINUOUS STRIP FOUNDATION 1,2,3 ETC.
R.S.O. ROUGH STUD OPENING	ST1 SONOTUBE PIER FOUNDATION 1,2,3 ETC.
SD SMOKE DETECTOR	S81 STEEL BEAM 1,2,3 ETC.
S1 B/U WOOD COLUMN 1,2,3 ETC.	SWC1 SOLID WOOD COLUMN 1,2,3 ETC.
EC1 ENGINEERED WOOD COLUMN 1,2,3 ETC.	S01 SQUARE FOUNDATION PIER 1,2,3 ETC.
	N1 B/U WOOD LINTEL 1,2,3 ETC.
	NB1 B/U WOOD BEAM 1,2,3 ETC.

3	ISSUED FOR BUILDING PERMIT APPLICATION	2021.12.15
2	ISSUED FOR FINAL HOMEOWNER REVIEW	2021.11.29
1	ISSUED FOR PLOT PLAN REVIEW	2021.10.24
No.	REVISION	DATE

THIS DRAWING IS THE PROPERTY OF "ENGAGED CUSTOM HOME DESIGN" (ECHO) AND AS SUCH IS NOT TO BE REPRODUCED IN WHOLE OR IN PART WITHOUT THE WRITTEN PERMISSION OF "ECHO".

THESE DRAWINGS MUST BE CHECKED BY THE CONTRACTOR.

ANY ERRORS OR OMISSIONS MUST BE REPORTED IN WRITING TO "ECHO" PRIOR TO COMMENCEMENT OF CONSTRUCTION.

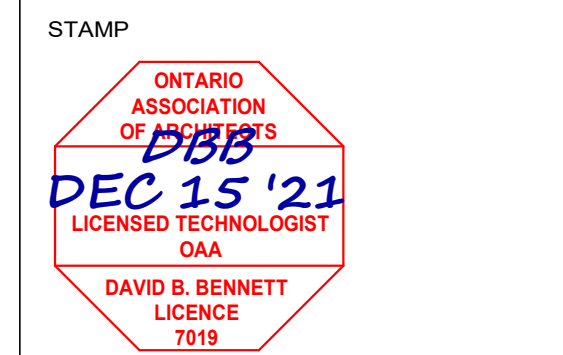
THESE DRAWINGS MUST NEVER BE SCALED.

ALL MISSING OR UNCLEAR INFORMATION MUST BE REPORTED TO THE DESIGNER IMMEDIATELY FOR FURTHER INSTRUCTION.

All construction shall be carried out in accordance with these drawings.

Any deviations, alterations or changes from the design intent shall be reported by the contractor to the designer prior to implementation of the change. The requested change shall then be reviewed by the designer who will in turn issue additional documentation supporting the change to the building department and owner for approval. Only after the contractor has received approval from the building department regarding said change may construction of the affected area continue. Changes involving adjustments in construction cost must be approved by the owner prior to implementation.

ISSUED FOR BUILDING PERMIT APPLICATION
DECEMBER 15, 2021



Engaged
Custom Home Design

David B. Bennett
Licensed Technologist OAA
O.B.C. Qualified Design ; Small Buildings

22 Walpole Drive Jarvis Ontario N0A 1J0
Telephone : (519) 909-9246

Email: Dave@engagedesign.ca
Web Site: www.engagedesign.ca

PROJECT
COTTAGE REPLACEMENT
Hiltz & Schebesch Families

53 ORDNANCE AVE.
TURKEY POINT, ONTARIO
NORFOLK COUNTY

Drawing Title

O.B.C. DESIGN MATRIX,
GENERAL NOTES AND
DESIGN DATA

Drawn By : D.B.	Date: OCTOBER 2021
Designed By : D.BENNETT	Drawing No.
Checked By : D.BENNETT	
Project No.	A-0
21-021	

PLAN OF SURVEY
OF ALL OF
LOT 21

REGISTERED PLAN 133
(TURKEY POINT)
IN THE GEOGRAPHIC
TOWNSHIP OF CHARLOTTEVILLE
IN
NORFOLK COUNTY

SCALE: 1 : 150

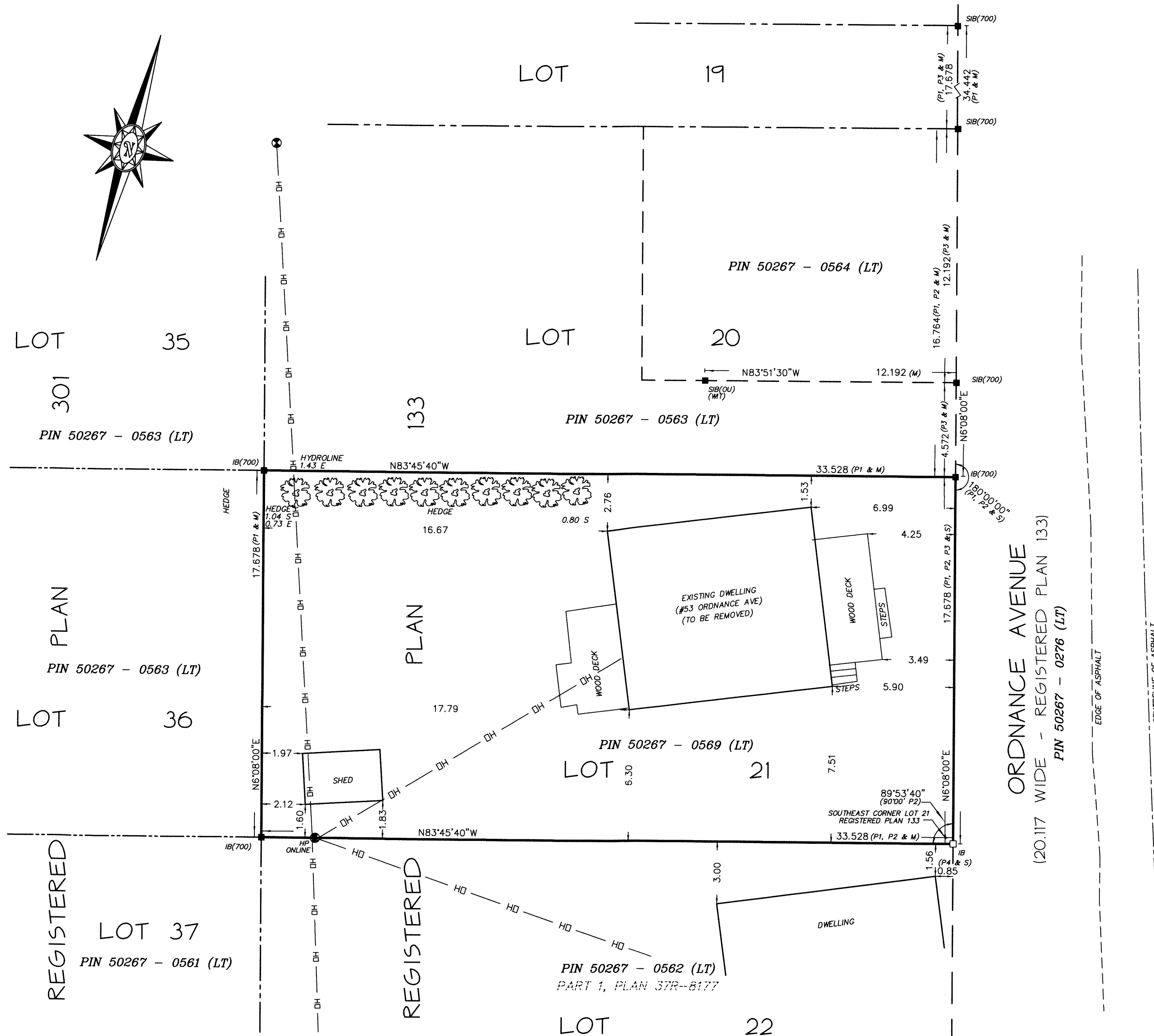
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ASSOCIATION OF ONTARIO
LAND SURVEYORS
PLAN SUBMISSION FORM
V-15914



THIS PLAN IS NOT VALID
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ISSUED BY THE SURVEYOR
In accordance with
Regulation 1026, Section 29(3)



SURVEYOR'S CERTIFICATE

I CERTIFY THAT:

- THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT, AND THE LAND TITLES ACT, AND THE REGULATIONS MADE UNDER THEM.
- THE SURVEY WAS COMPLETED ON THE 17TH DAY OF AUGUST, 2021

DATED: SEPTEMBER 13, 2021

[Signature]
KIM HUSTED, O.L.S.
FOR JEWITT & DIXON LTD.

LEGEND

2.5cm X 2.5cm X 1.2m STANDARD	IRON BARS	SHOWN	-□-	SIB
1.6cm X 1.6cm X 0.6m	IRON BARS	SHOWN	-□-	IB
1.6cm ROUND X 0.6m	IRON BARS	SHOWN	-□-	IB Ø
LOT LINES	SHOWN	- - - - -		
DEED LINES	SHOWN	- - - - -		
FENCE LINES	SHOWN	-X-X-X-X-		
CENTRE LINES	SHOWN	- - - - -		
ROAD LINES	SHOWN	- - - - -		
FOUND IRON BARS	SHOWN	-■-	PLANTED IRON BARS	SHOWN -□-

JEWITT AND DIXON LTD.
WITNESS MONUMENT
ORIGIN UNKNOWN
REGISTERED PLAN 133
PLAN 37R-8177
PLAN OF SURVEY BY E. G. SALZER, O.L.S. DATED
MARCH 18, 2009 (S-8551)
SURVEYOR'S REAL PROPERTY REPORT BY
JEWITT & DIXON DATED APRIL 13/00 (00-069)
SHOWN (700)
SHOWN (WIT)
SHOWN (OU)
SHOWN (P1)
SHOWN (P2)
SHOWN (P3)
SHOWN (P4)

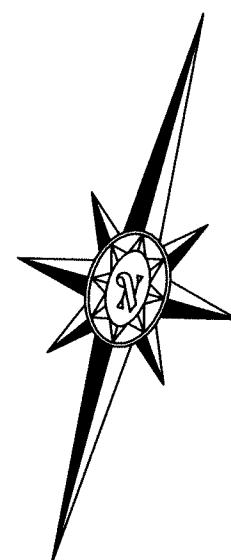
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ONTARIO LAND SURVEYORS
R.R.1, SIMCOE, ONTARIO, N3Y 4J9
(51 PARK ROAD)

PHONE: (519) 426-0842 FAX: (519) 426-1034
E-mail: surveyors@amtelecom.net

F.W. - J.D.
BOOK - LL
CALC. - J.L.M.
PLAN - J.L.M.
CHECK - K.H.

CLIENT - HILTZ
PROJECT No. -21-3145

21-3145-POS



**TOPOGRAPHIC SITE PLAN
FOR: DARRELL HILTZ
#53 ORDANANCE AVENUE
TURKEY POINT**

PIN 50267 - 0569 (LT)

SCALE: 1 : 150

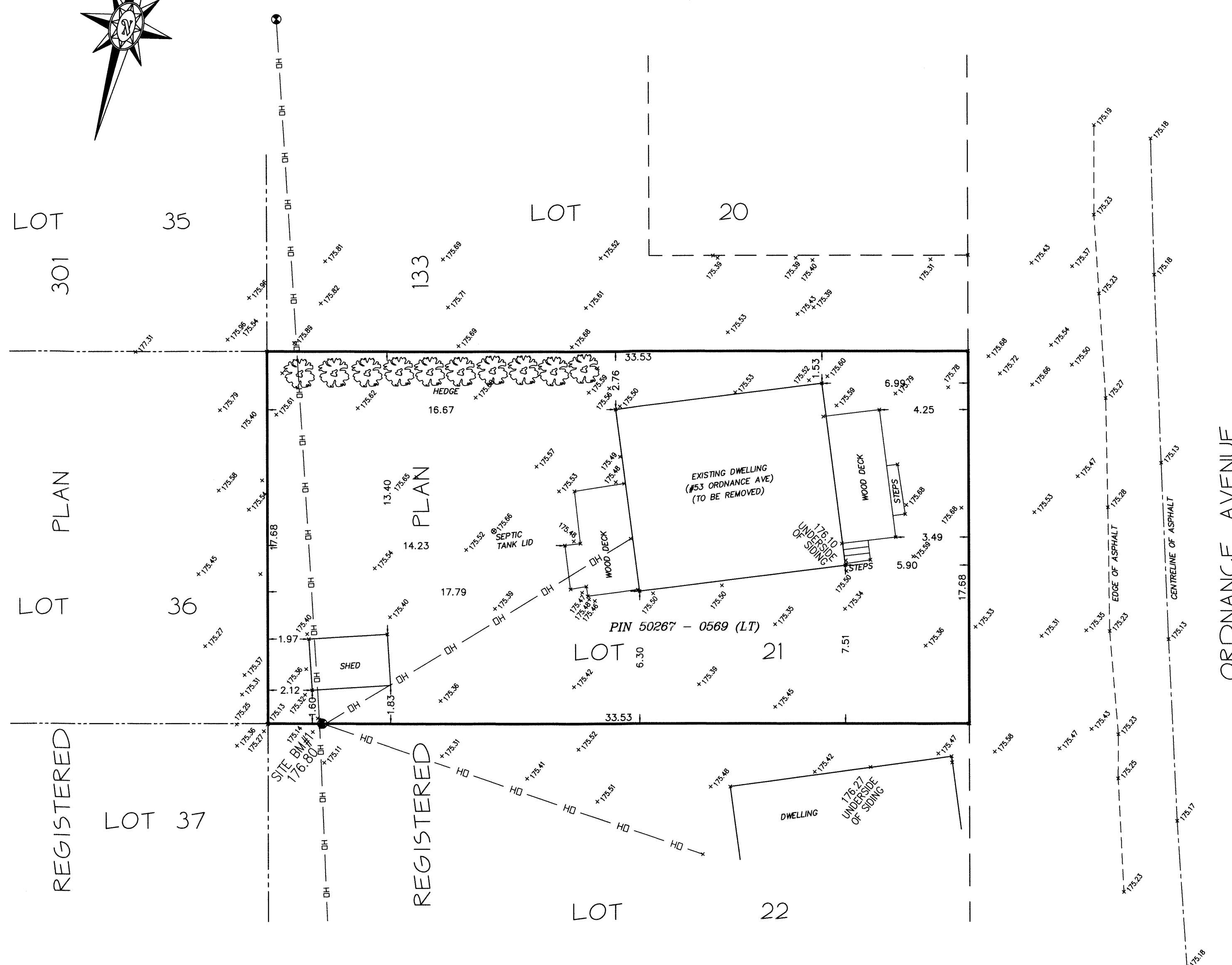
1.5 0 6 METRES

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SITE B.M.#1
SPIKE IN FACE OF
WOOD HYDRO POLE
ELEV = 176.80
CGVD20

NOTE: ELEVATIONS ARE REFERRED TO CANADIAN
GEODETIC DATUM, CGVD 1928 VERTICAL DATUM

NOTE: MINIMUM PROPOSED TOP OF FOUNDATION
MUST TO EQUAL TO OR GREATER THAN 176.80m



PROPERTY DESCRIPTION:

ALL OF LOT 21
REGISTERED PLAN 133
GEOGRAPHIC TOWNSHIP OF CHARLOTTEVILLE
COUNTY OF NORFOLK

CAUTION

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LEGEND

BELL BOX	SHOWN	BBX	□
BENCH MARK	SHOWN	BM	⊙
CATCH BASIN	SHOWN	CB	■
TOP OF FOUNDATION	SHOWN	TOF	■
OVERHEAD HYDRO LINE	SHOWN	O/H	—
WATER VALVE	SHOWN	WV	⚙
HYDRO POLE	SHOWN	HP	⚙
GAS METER	SHOWN	GM	⚙
MANHOLE	SHOWN	MH	⚙

JANUARY 14, 2022
KIM HUSTED, O.L.S.
THIS COPY IS NOT VALID UNLESS
EMBOSSED WITH THE SURVEYOR'S SEAL.

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ONTARIO LAND SURVEYORS

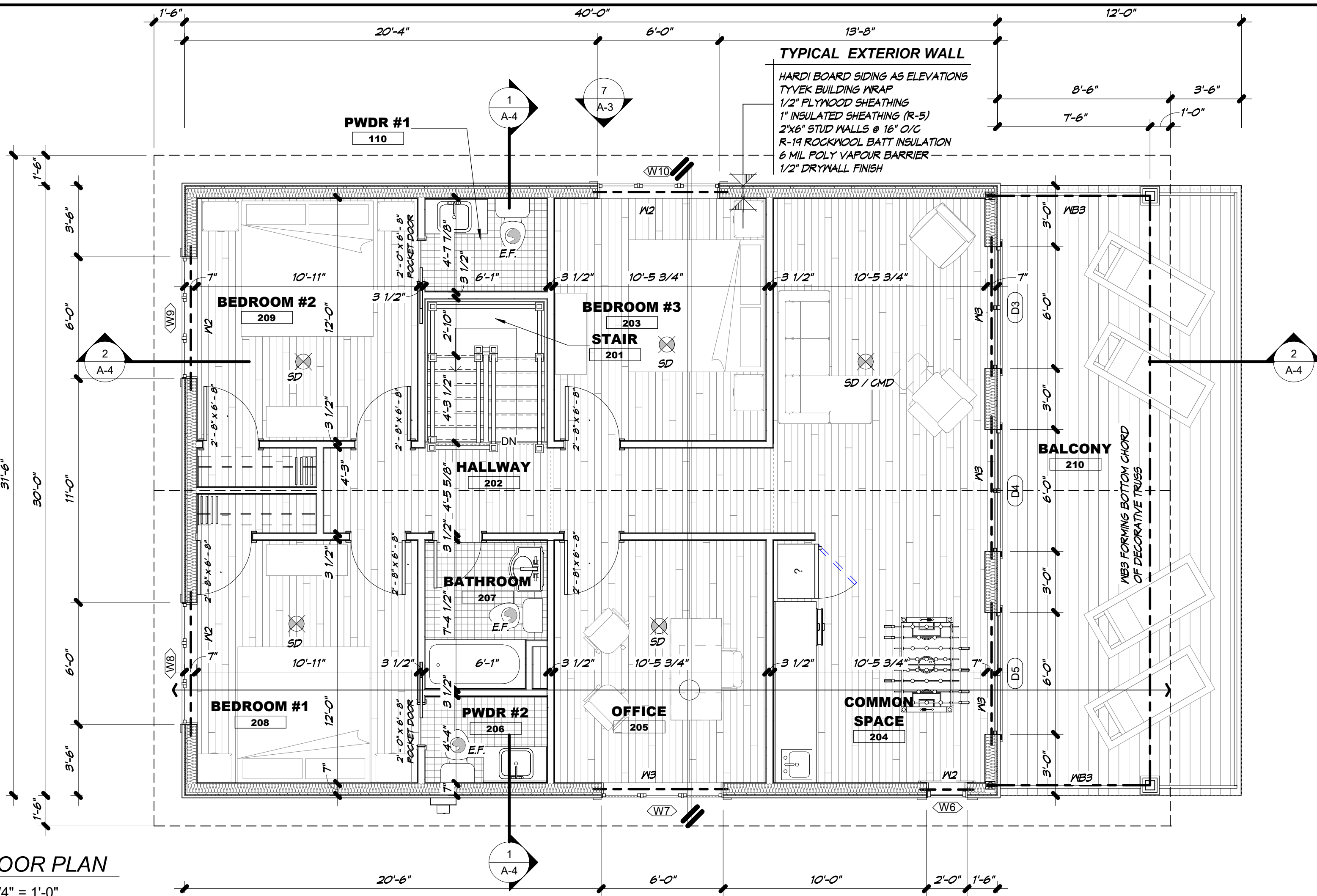
R.R.1, SIMCOE, ONTARIO, N3Y 4J9
(51 PARK ROAD)

PHONE: (519) 426-0842 FAX: (519) 426-1034
E-mail: surveyors@amtelecom.net

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BOOK - LL
CALC. - J.L.M.
PLAN - J.L.M.
CHECK - K.H.
CLIENT - HILTZ
PROJECT No. - 21-3145

21-3145-GP

1
A-2
2nd. FLOOR PLAN
SCALE: 1/4" = 1'-0"



CONTRACTOR'S NOTES

ALL INTERIOR DIMENSIONS ARE TO FACE OF STUDS UNLESS OTHERWISE NOTED.

ALL EXTERIOR DIMENSIONS ARE TO FACE OF FOUNDATION UNLESS OTHERWISE NOTED.

INTERIOR BASEMENT DIMENSIONS ARE TO FACE OF FOUNDATION AND LOAD BEARING WALLS ALL EXTERIOR WINDOW AND DOOR OPENINGS ARE ROUGH STUD OPENINGS (R.S.O.).

INTERIOR DOOR SIZES NOTED ARE DOOR LEAF SIZES. FOR ROUGH STUD OPENINGS ADD 3" TO WIDTH AND 2" TO HEIGHT.

CONTRACTOR TO VERIFY ALL DIMENSIONS BEFORE STARTING WORK.

CONTRACTOR TO PROVIDE SOUND ATTENUATION BATTS IN WALLS AROUND THE PERIMETER OF INTERIORS FOR WALL BATHROOMS AND WALLS BETWEEN BEDROOM AND LIVING SPACES AND AS DIRECTED BY HOME OWNER.

CONTRACTOR SHALL PROVIDE SOUND ATTENUATION BATTS IN THE CEILINGS ABOVE THE UTILITY ROOM IN THE BASEMENT.

TYPICAL SLAB ASSEMBLY

TYPICAL BASEMENT FLOOR SLAB

4" CONC. SLAB N CLASS (20 MPa)
OVER 15 MIL POLY VAPOUR BARRIER OVER
6" CLEAR STONE (3/4") COMPACTED.

TYPICAL GARAGE FLOOR SLAB

6" EXPOSURE CLASS N CONCRETE (25 MPa WITH NO AIR)
REINFORCED WITH 6X6X1/4 INMM
6" GRANULAR 'A' COMPACTED TO 100% SPMD

EXTERIOR PORCH SLAB

6" C-2 CLASS CONCRETE
(32 MPa IV 5-8% AIR ENTRAINMENT)
10M BAR @ 7 1/8" (200mm) O/C EACH WAY. PROVIDE MIN.
1 1/8" (30mm) COVER TO BOTTOM OF SLAB TO
UNDERSIDE OF FIRST LAYER OF BARS. SUPPORT ON
EDGES OF FOUNDATION WALL. PROVIDE 3" (75mm) MIN.
BEARINGS. SLAB TO BE SECURED TO FOUNDATION WITH
23 5/8" X 23 5/8" (600mm X600mm) BENT DONNELLS
SPACED AT 23 5/8" (600mm O/C) MAX.

FOUNDATION NOTES

- LATERALLY UNSUPPORTED FOUNDATION WALLS AS PER (B) 9.15.4.3 (1) SHALL BE REINFORCED. (REINFORCING MUST BE DESIGNED BY P.E.N.G. OR OTHER SUITABLY QUALIFIED PERSON.)
- FOUNDATION WALL OPENING REINFORCING REQUIREMENTS AS PER O.B.C. (B) 9.15.4.3 (3) (A) & (B).

ALL OPENINGS MUST BE REINFORCED UNDER A DESIGN IN ACCORDANCE WITH PART 4 OF THE O.B.C. WHEN OPENINGS EXCEED THE FOLLOWING CONDITIONS:

- ALL OPENINGS 1.2m OR WIDER IN WIDTH
- FOR WALLS WHERE THE TOTAL WIDTH OF OPENINGS CONSTITUTES MORE THAN 25% OF THE TOTAL WIDTH OF THE WALL.

PART 4 STRUCTURAL DESIGN MUST BE PERFORMED BY P.E.N.G. (P.E.O) OR OTHER PROPERLY QUALIFIED PERSON.

PLAN NOTES

- BLOCKING IN WALLS
- WHERE INDICATED, BLOCKING IS TO BE INSTALLED BETWEEN OR AGAINST STUDS IN THE WALLS ADJACENT TO THE TOILET, SHOWER AND/OR BATHTUB TO SUPPORT FUTURE INSTALLATION OF GRAB BARS IN ACCORDANCE WITH O.B.C. 2012 (B) 9.5.2.3.
- BLOCKING LOCATION IN WALLS TO BE IN ACCORDANCE WITH GRAB BAR REQUIREMENTS OF O.B.C. 2012 (B) 3.8.
- POST SUPPORTING BEAMS
- POST SIZES INDICATED ARE THE MINIMUM REQUIRED. SIZE OF POSTS CAN NOT BE REDUCED.
- POSTS SHALL NOT BE CHANGED WITHOUT REVIEW BY THE DESIGNER PRIOR TO INSTALLATION.
- SMOKE / CARBON MONOXIDE DETECTORS
- LOCATIONS SHOWN IS FOR CONTEXT ONLY. CONTRACTOR TO CONFIRM EXACT LOCATIONS.
- AT LEAST ONE SMOKE ALARM & CARBON MONOXIDE DETECTOR MUST BE LOCATED ON EVERY FLOOR.
- ONE SMOKE ALARM SHALL BE INSTALLED IN EACH BEDROOM OR ROOM INTENDED FOR SLEEPING.
- AT LEAST ONE ADDITIONAL UNIT INSTALLED BETWEEN SLEEPING ROOMS AND THE REMAINDER OF THE STOREY. IF THE SLEEPING ROOMS ARE SERVED BY A HALLWAY THEN THE ALARM SHALL BE INSTALLED IN THE HALLWAY.
- PRE-ENGINEERED WOOD PRODUCTS
- PRODUCTS TO BE SUPPLIED AS SPECIFIED ON DRAWINGS, NO SUBSTITUTIONS.
- STRUCTURAL STEEL
- ALL STRUCTURAL STEEL CONNECTIONS, BEARINGS, PLATES, ETC., SHALL BE DESIGNED BY THE STEEL FABRICATOR. GENERAL CONTRACTOR SHALL SUPPLY STRUCTURAL STEEL AND CONNECTION DESIGNS SEALED BY P.E.N.G. (P.E.O).

SHOP DRAWINGS

PRE-ENGINEERED WOOD PRODUCTS SUCH AS ENGINEERED BEAMS, ROOF TRUSSES, LINTELS, & GIRDERS TO BE DESIGNED & ENGINEERED BY ENGINEERED WOOD PRODUCT MANUFACTURER.

TRUSS MANUFACTURER TO CONFIRM SIZING OF ALL BEAMS, GIRDERS AND LINTELS SUPPORTING ROOF TRUSSES. THIS SIZING SHALL BE CONFIRMED ON TRUSS MANUFACTURER'S SHOP DRAWINGS.

TRUSS SHOP DRAWINGS MUST BE SEALED BY P.E.N.G. (P.E.O) AND SUBMITTED TO DESIGNER FOR REVIEW PRIOR TO CONSTRUCTION.

ALL PRODUCTS MANUFACTURED BY PROPRIETARY PRODUCT SUPPLIERS SUCH AS RAILING SYSTEMS MUST BE ACCOMPANIED WITH PRODUCT LITERATURE ILLUSTRATING COMPLIANCE WITH APPLICABLE SB-7 REQUIREMENTS. THIS LITERATURE MUST BE SUBMITTED WITH THE PERMIT DRAWINGS PACKAGE TO AVOID DELAY IN THE PROCESSING OF THE APPLICATION.

EXTERIOR DOOR SCHEDULE							
Door Identifi- cation Door Number	ORIENTATIO N	To Room: Name	door size			Door Area	Remarks
			Width	Height	Thickness		
Main Floor							
D1	EAST	FRONT PORCH	2' - 8"	7' - 0"	0' - 2"	18.67 SF	INSULATED STEEL DOOR WITH 2 SIDELIGHTS
D2	WEST	REAR DECK	6' - 0"	6' - 8"	0' - 2"	40.00 SF	FRENCH DOORS
Main Floor						58.67 SF	
2nd. FLOOR							
D3	EAST	BALCONY	6' - 0"	6' - 8"	0' - 2"	40.00 SF	VINYL SLIDING DOOR
D4	EAST	BALCONY	6' - 0"	6' - 8"	0' - 2"	40.00 SF	VINYL SLIDING DOOR
D5	EAST	BALCONY	6' - 0"	6' - 8"	0' - 2"	40.00 SF	VINYL SLIDING DOOR
2nd. FLOOR						120.00 SF	
Grand total						178.67 SF	

EXTERIOR WINDOW OPENINGS							
Mark	ORIENTATION	To Room: Name	Width	Height	WINDOW AREA	WINDOW TYPE	COMMENT
Main Floor							
W1	EAST	FRONT PORCH	7' - 6"	5' - 6"	41.25 SF	CASEMENT	
W2	SOUTH	DINING	2' - 0"	3' - 0"	6.00 SF	CASEMENT	
W3	WEST	REAR DECK	6' - 0"	3' - 0"	18.00 SF	CASEMENT	
W4	SOUTH	COMMON SPACE	6' - 0"	3' - 0"	18.00 SF	CASEMENT	
W5	WEST	REAR DECK	4' - 0"	2' - 8"	10.67 SF	CASEMENT	
W6	EAST	FRONT PORCH	7' - 6"	5' - 6"	41.25 SF	CASEMENT	
					135.17 SF		
2nd. FLOOR							
W7	SOUTH	COMMON SPACE	2' - 0"	3' - 0"	6.00 SF	CASEMENT	
W8	SOUTH	OFFICE	6' - 0"	3' - 0"	18.00 SF	CASEMENT	
W9	WEST	BEDROOM #1	6' - 0"	3' - 0"	18.00 SF	CASEMENT	
W10	WEST	BEDROOM #2	6' - 0"	3' - 0"	18.00 SF	CASEMENT	
W11	NORTH	BEDROOM #3	6' - 0"	3' - 0"	18.00 SF	CASEMENT	
Grand total: 11					219.17 SF		

3	ISSUED FOR BUILDING PERMIT APPLICATION	2021.12.15
2	ISSUED FOR FINAL HOMEOWNER REVIEW	2021.11.29
1	ISSUED FOR PLOT PLAN REVIEW	2021.10.24
No.	REVISION	DATE

THIS DRAWING IS THE PROPERTY OF "ENGAGED CUSTOM HOME DESIGN" (ECHD) AND AS SUCH IS NOT TO BE REPRODUCED IN WHOLE OR IN PART WITHOUT THE WRITTEN PERMISSION OF "ECHD".

THESE DRAWINGS MUST BE CHECKED BY THE CONTRACTOR.

ANY ERRORS OR OMISSIONS MUST BE REPORTED IN WRITING TO "ECHD" PRIOR TO COMMENCEMENT OF CONSTRUCTION.

THESE DRAWINGS MUST NEVER BE SCALED.

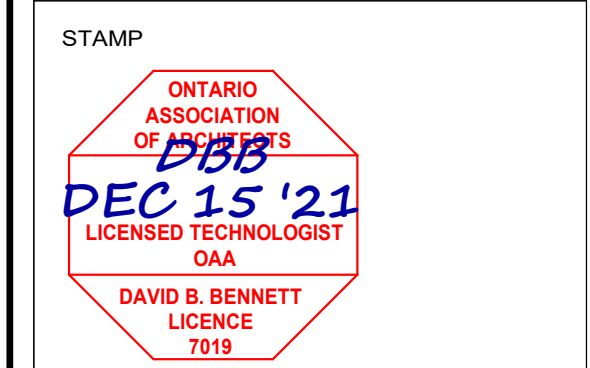
ALL MISSING OR UNCLEAR INFORMATION MUST BE REPORTED TO THE DESIGNER IMMEDIATELY FOR FURTHER INSTRUCTION.

All construction shall be carried out in accordance with these drawings.

Any deviations, alterations or changes from the design intent shall be reported by the contractor to the designer prior to implementation of the change. The requested change shall then be reviewed by the designer who will in turn issue additional documentation supporting the change to the building department and owner for approval. Only after the contractor has received approval from the building department regarding said change may construction of the affected area continue. Changes involving adjustments in construction cost must be approved by the owner prior to implementation.

ISSUED FOR BUILDING PERMIT APPLICATION

DECEMBER 15, 2021



Engaged
Custom Home Design

David B. Bennett
Licensed Technologist OAA
O.B.C. Qualified Design ; Small Buildings

22 Walpole Drive Jarvis Ontario N0A 1J0
Telephone : (519) 909-9246

Email: Dave@engageddesign.ca
Web Site: www.engageddesign.ca

PROJECT
COTTAGE REPLACEMENT
Hiltz & Schebesch Families

53 ORDNANCE AVE.
TURKEY POINT, ONTARIO
NORFOLK COUNTY

Drawing Title

2nd. FLOOR PLAN AND
OPTIONAL LAYOUT

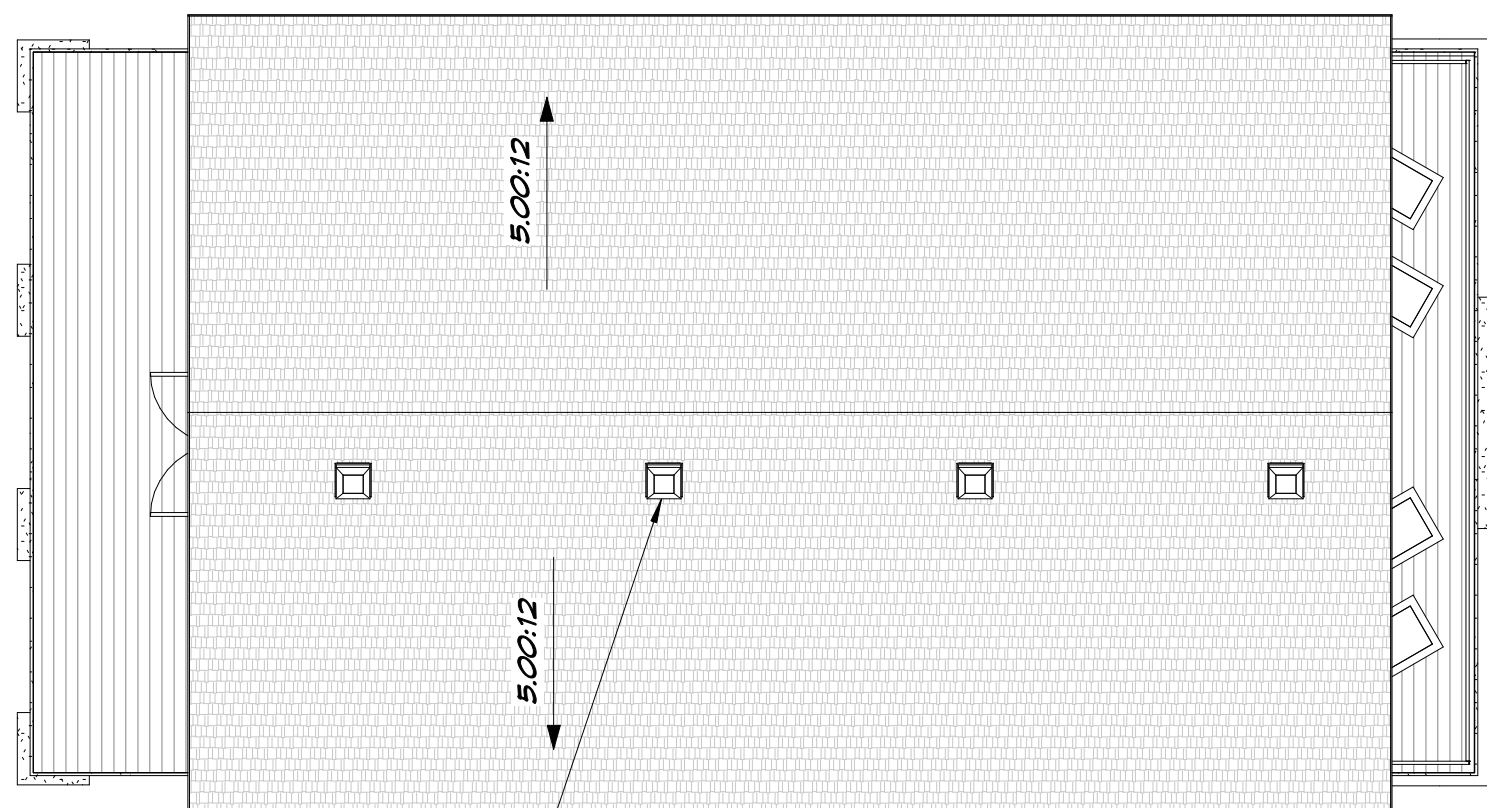
Drawn By: **DBB** Date: **OCTOBER 2021**

Designed By: **D.BENNETT** Drawing No.

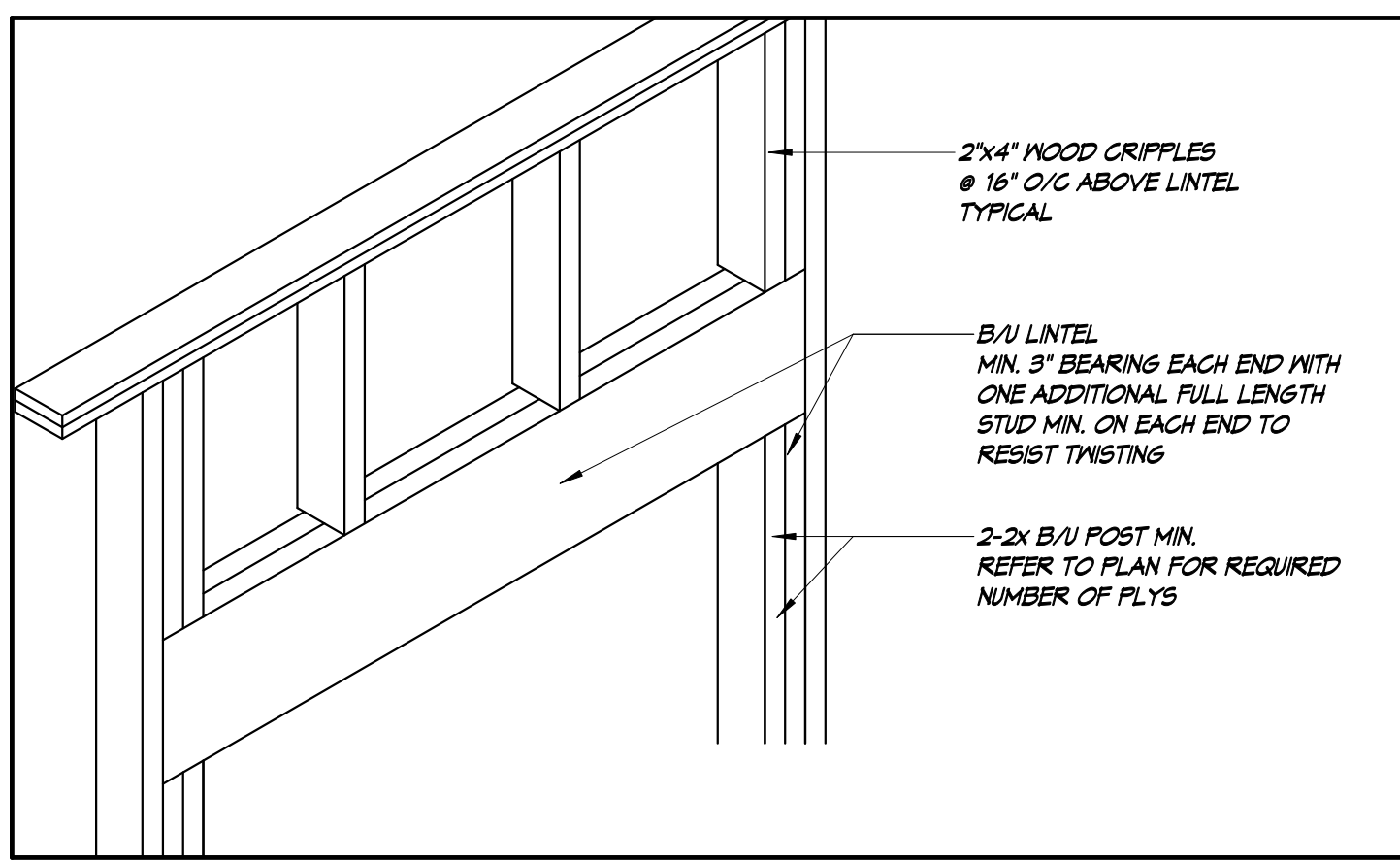
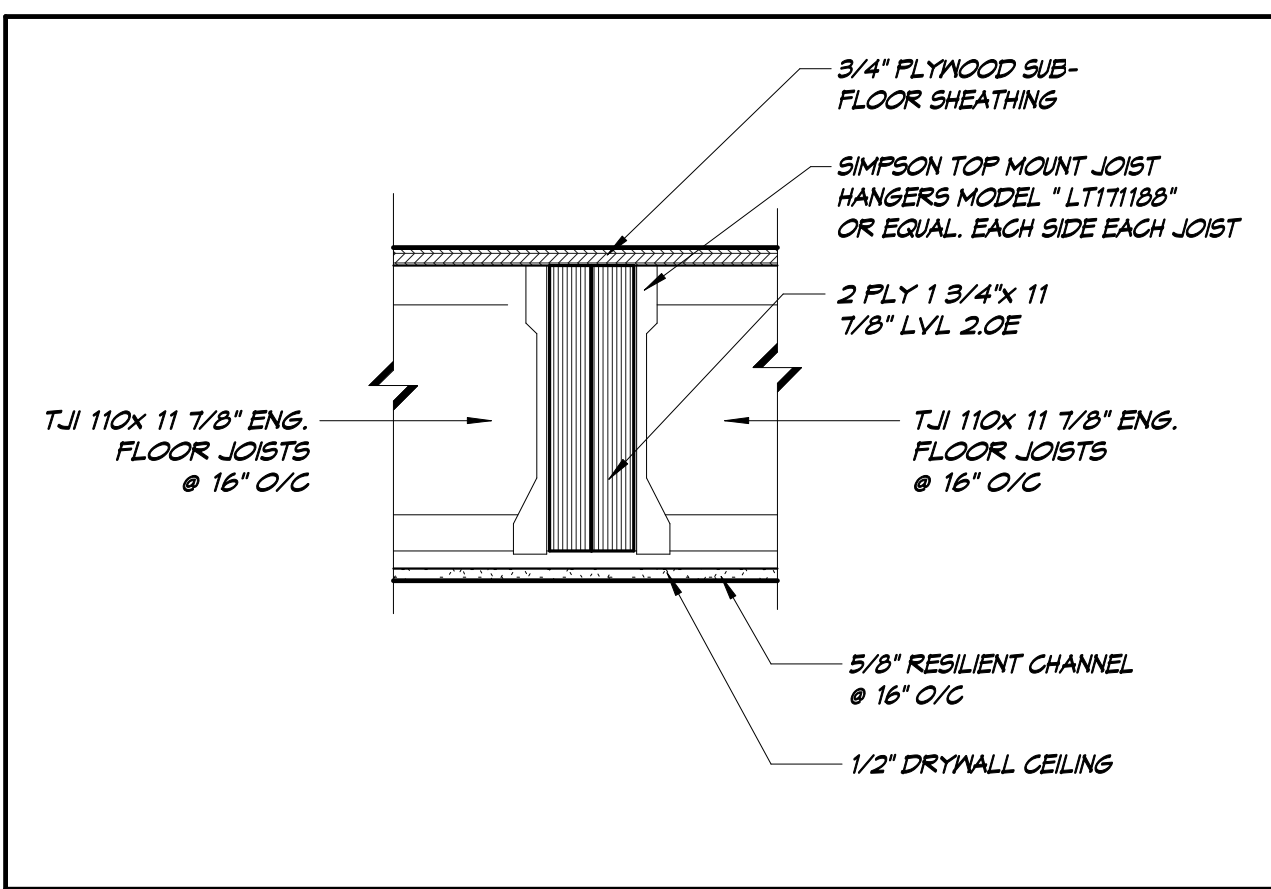
Checked By: **D.BENNETT**

Project No. **21-021**

A-2



CONTRACTOR TO PROVIDE 1 SQ.FT. VENTING / 300 SQ.FT. OF ROOF. POT VENTS AS SHOWN OR CONTINUOUS RIDGE VENTS ARE BOTH CONSIDERED ACCEPTABLE.



1 ROOF PLAN

SCALE: 1/8" = 1'-0"

2 FLOOR JOIST TO BEAM CONNECTION

SCALE: 1 1/2" = 1'-0"

3 TYPICAL LINTEL DETAIL

SCALE: 1" = 1'-0"



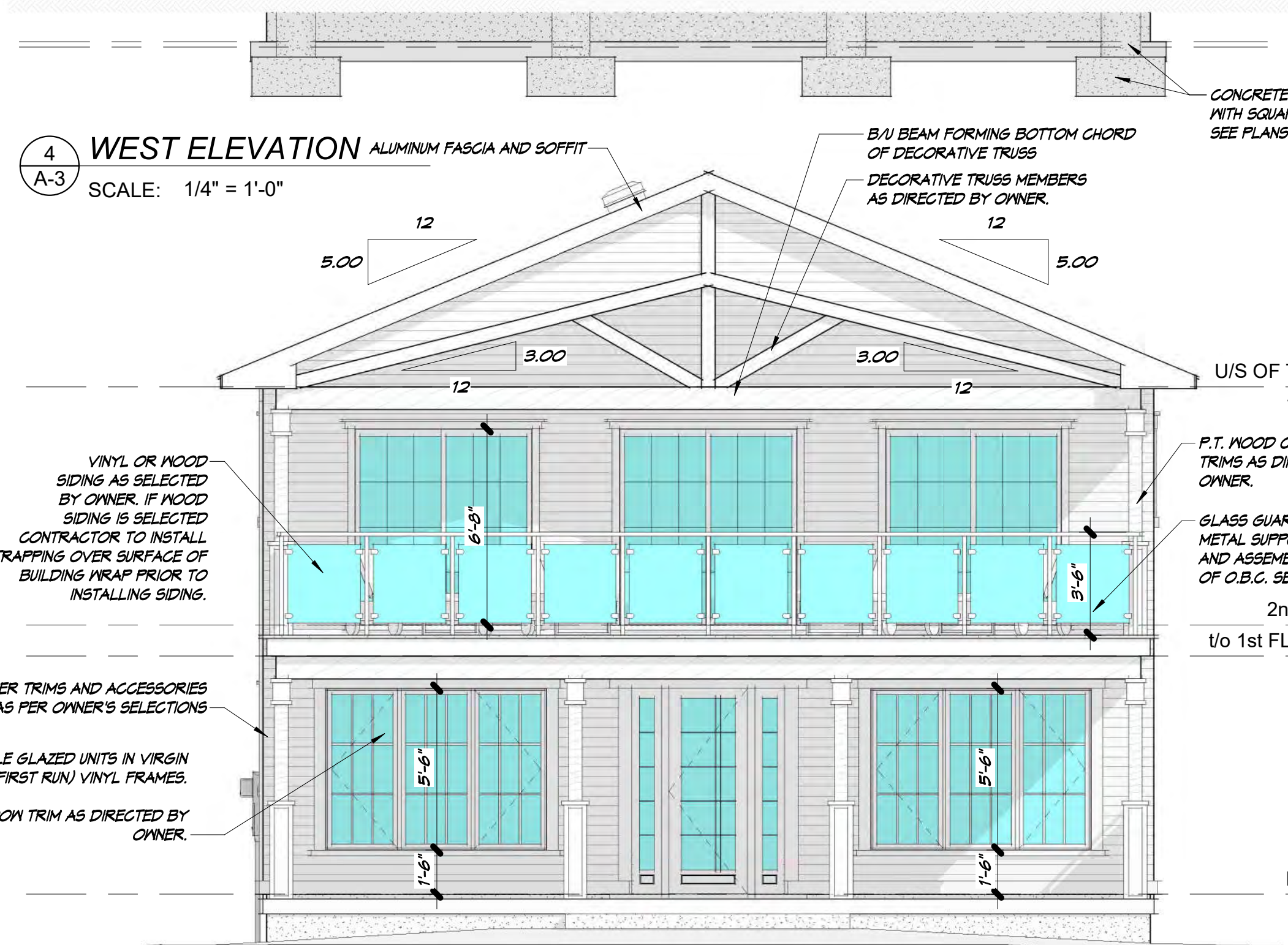
4 WEST ELEVATION

SCALE: 1/4" = 1'-0"



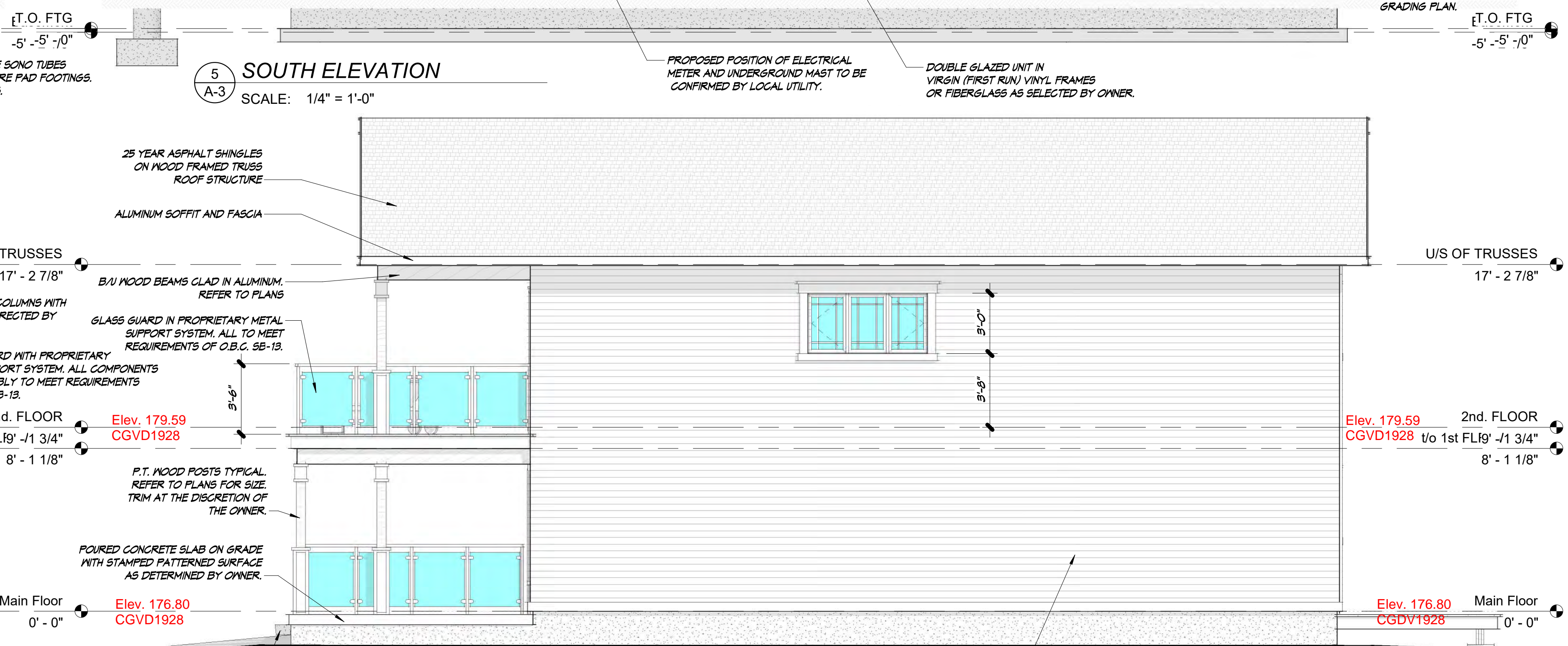
5 SOUTH ELEVATION

SCALE: 1/4" = 1'-0"



6 EAST ELEVATION

SCALE: 1/4" = 1'-0"



7 NORTH ELEVATION

SCALE: 1/4" = 1'-0"

3	ISSUED FOR BUILDING PERMIT APPLICATION	2021.12.15
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1	ISSUED FOR PLOT PLAN REVIEW	2021.10.24
No.	REVISION	DATE

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ISSUED FOR BUILDING PERMIT APPLICATION
DECEMBER 15, 2021



David B. Bennett
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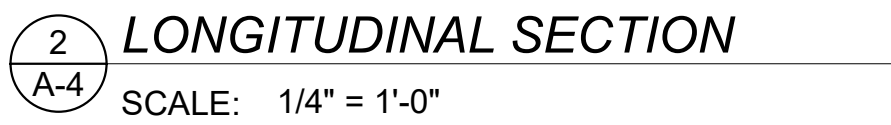
22 Walpole Drive Jarvis Ontario N0A 1J0
Telephone : (519) 909-8246

Email: Dave@engageddesign.ca
Web Site: www.engageddesign.ca

PROJECT
COTTAGE REPLACEMENT
Hiltz & Schebesch Families
53 ORDANCE AVE.
TURKEY POINT, ONTARIO
NORFOLK COUNTY

Drawing Title
ROOF PLAN , DETAILS AND
BUILDING ELEVATIONS


Drawn By:	DB	Date:	OCTOBER 2021
Designed By:	D.BENNETT	Drawing No.	A-3
Checked By:	D.BENNETT	Project No.	21-021



Drawn By:	DB	Date:	OCTOBER 2021
Designed By :	D..BENNETT	Drawing No.	A-4
Checked By :	D..BENNETT		
Project No.	21-021		

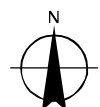


Legend

 Subject Lands

2020 Air Photo

8/3/2022





10 5 0 10 20 30 40 Meters



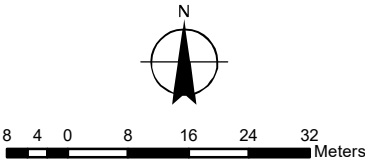
Legend

 Subject Lands

Official Plan Designations

-  Provincially Significant Wetland
-  Resort Residential
-  Special Policy Area
-  Resort Area Boundary

8/3/2022

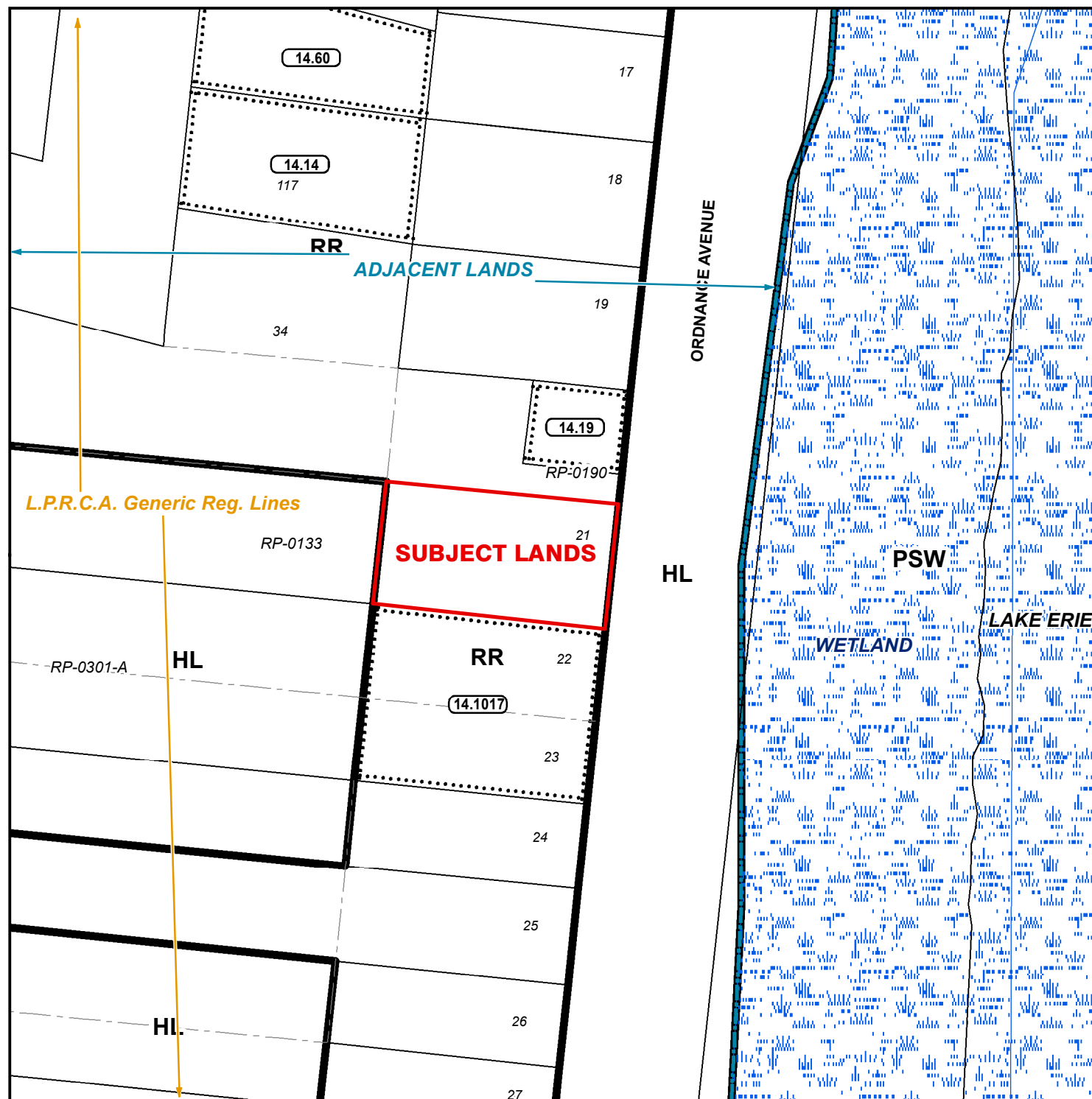


MAP C

ZNPL2022198

PROPOSED ZONING BY-LAW AMENDMENT MAP

Geographic Township of CHARLOTTEVILLE



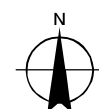
ZONING BY-LAW 1-Z-2014

8/3/2022

LEGEND

- Subject Lands
- Adjacent Lands
- Wetland
- LPRCA Generic RegLines

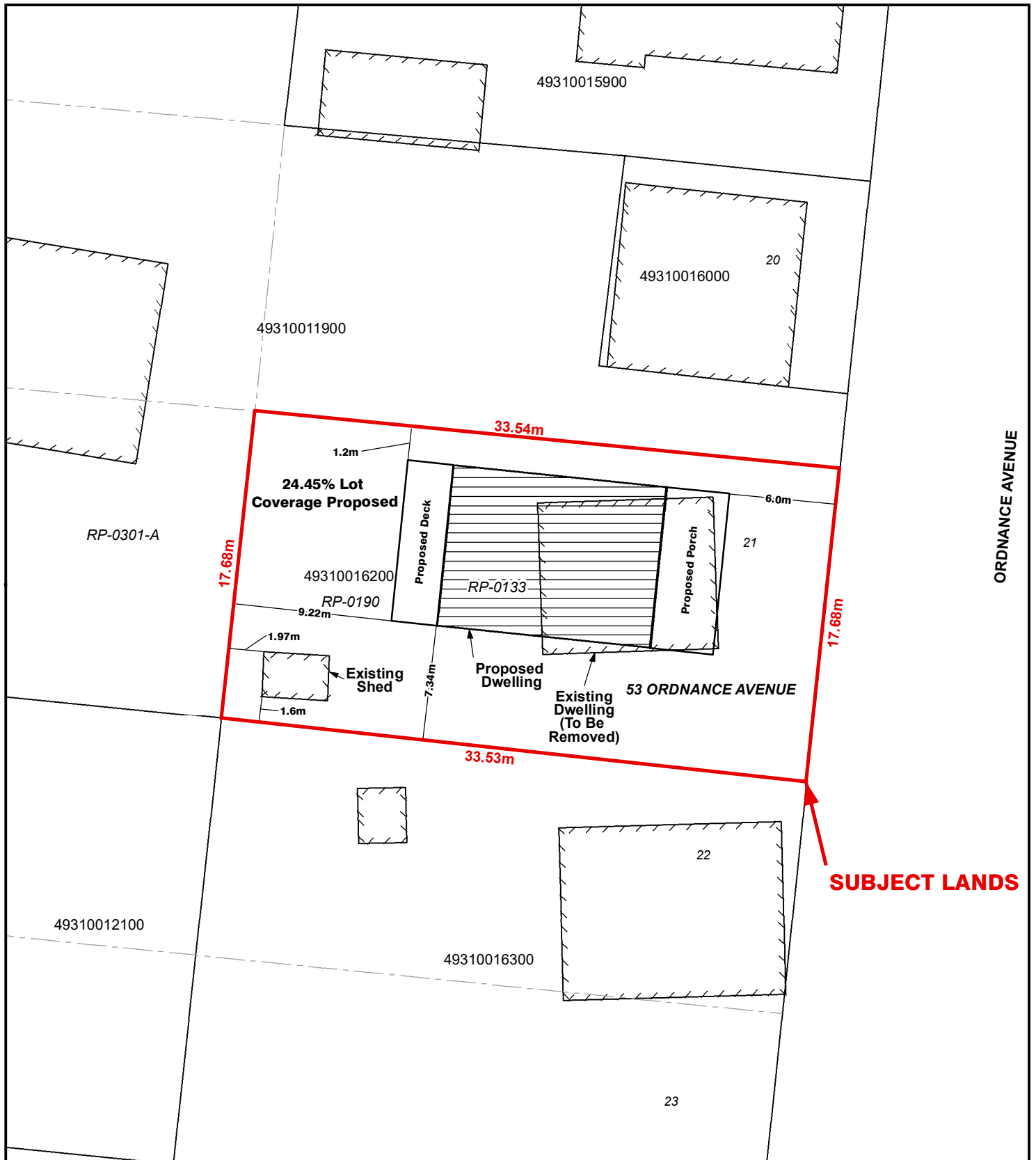
- (H) - Holding
- HL - Hazard Land Zone
- PSW - Provincially Significant Wetland Zone
- RR - Resort Residential Zone



6.5 3.25 0 6.5 13 19.5 26 Meters

CONCEPTUAL PLAN

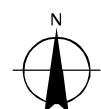
Geographic Township of CHARLOTTEVILLE



Legend

Subject Lands

8/3/2022



2.5 1.25 0 2.5 5 7.5 10 Meters