Brimage
LAW GROUP

Norfolk County
Robinson Administration Building
185 Robinson Street, Suite 200
Simcoe, ON N3Y 5L6

26th August, 2022

Attention: Planning Department

Dear Madam or Sir:

RE: Combined Official Plan/Zoning By-Law Amendment
Property: 13 Lakeside Lane, Port Dover (the "Property")
Roll No.: 3310334010061000000
Owners : Sidway, Irene and Jeff

We are the solicitors and agents for the owners of the Property, Irene and Jeff Sidway.

Background

Irene and Jeff Sidway have owned 13 Lakeside Lane, Port Dover since May of 2012.

In the 10 years of their ownership of their cherished family cottage, the Sidways and their guests have enjoyed the stunning views of Lake Erie and the warm community of Port Dover.

Most importantly, they have created 10 years' worth of priceless family memories.

In order to continue enjoying their property long into the future, the Sidways wish to replace the existing cottage structure with a new single-family dwelling on the existing site.

Current Official Plan and Zoning

The subject lands are designated Hazard Land in Norfolk County's Official Plan and zoned Hazard Land in Norfolk County's Zoning By-Law.

Purpose of Application

P 519.426.5840 F 519.426.7515 E nkolomaya@brimage.com www.brimage.com
Brimage Law Group: PO Box 188 21 Norfolk St. N. Simcoe, ON N3Y 4L1

The Hazard Land zone does not permit the construction of a new single-family dwelling.

The herein application seeks to redesignate the northerly portion of the subject lands from the Hazard Land designation to the Urban Residential designation and rezone same from Hazard Land to Residential (R1-B).

This application also seeks reasonable relief from provisions of section 5.1.2 of the Zoning By-Law to permit the applicants' proposed design for the new single-family dwelling.

Provincial Policy Statement 2020

Ontario's Provincial Policy Statement generally directs development to occur outside of lands identified as "hazardous lands", including those adjacent to the Great Lakes-St. Lawrence River System.

While adjacent to the shoreline of Lake Erie, the applicants respectfully submit that the part of the subject lands that are the subject of this application are not in fact hazardous as evidenced by the safe use and existence of the existing single-family dwelling on the subject lands for decades.

The applicants wish to emphasize that they do not seek a redesignation and rezoning of the whole of the Property; their application only affects the northerly portion of the Property.

The application supports Provincial Policy by encouraging urban intensification. Rather than construct a new dwelling on vacant land elsewhere, the Sidways wish to make the most of their existing property.

Conclusion

The application is reasonable in the circumstances and balances the Provincial Policy objectives of directing development outside of hazardous lands with the need for urban intensification.

Irene and Jeff wish for what all cottage owners do – to continue to enjoy their property, and the memories made there, for years to come. In order to do so, they ask that their application be approved.

Enclosures

Please find enclosed:

1. Bank draft for $4,146.00 for payment of the required application fee (Combined OPA/ZBA fee of $4,592.00 less the paid pre-consultation fee of $446.00);

2. Completed Combined Official Plan and Zoning By-Law Amendment Application;

P 519.426.5840 F 519.426.7515 ,E nkolomaya@brimage.com
Brimage Law Group: PO Box 188 21 Norfolk St. N. Simcoe, ON N3Y 4L1

3. Proposed dwelling design plans.

Please contact the undersigned if you require any further information.

Yours truly,
BRIMAGE LAW GROUP
Per:

Nathan Kolomaya
NK

P 519.426.5840 F 519.426.7515 ,E nkolomaya@brimage.com
Brimage Law Group: PO Box 188 21 Norfolk St. N. Simcoe, ON N3Y 4L1

For Office Use Only:

File Number		Public Notice Sign	
Related File Number		Application Fee	
Pre-consultation Meeting		Conservation Authority Fee	
Application Submitted		Well & Septic Info Provided	
Complete Application		Planner	

Check the type of planning application(s) you are submitting.

- [X] Official Plan Amendment
- [X] Zoning By-Law Amendment
- [ ] Temporary Use By-law
- [ ] Draft Plan of Subdivision/Vacant Land Condominium
- [ ] Condominium Exemption
- [ ] Site Plan Application
- [ ] Extension of a Temporary Use By-law
- [ ] Part Lot Control
- [ ] Cash-in-Lieu of Parking
- [ ] Renewable Energy Project or Radio Communication Tower

Please summarize the desired end result of this application (for example: a special zoning provision on the subject lands to include additional use(s), changing the zone and/or official plan designation of the subject lands, creating a certain number of lots, or similar)

The desired end result of this application is the redesignation of the northerly part of the subject lands from the Hazard Land designation to the Urban Land designation and the rezoning of same from Hazard Land to Residential (R1-B) in order to permit the construction of a new single-family dwelling in approximately the same location as the existing dwelling.

The proposed zoning amendment also seeks relief of 0.7m from the 1.2m sideyard setback requirement of s. 5.1.2 of the Zoning By-Law to faciliate placement of air conditioning and emergency generator units.

Property Assessment Roll Number: 3310334010061000000

A. Applicant Information

Name of Owner SIDWAY, Jeff and Irene

It is the responsibility of the owner or applicant to notify the planner of any changes in ownership within 30 days of such a change.

Address 47 Evergreen Hill Road

Town and Postal Code Simcoe, Ontario N3Y 1B7

Phone Number

Cell Number 519-427-8330

Email

Name of Applicant Same as owner

Address

Town and Postal Code

Phone Number

Cell Number

Email

Name of Agent Brimage Law Group - Nathan Kolomaya

Address 21 Norfolk Street North

Town and Postal Code Simcoe, Ontario N3Y 4L1

Phone Number 519-426-5840

Cell Number

Email nkolomaya@brimage.com

Please specify to whom all communications should be sent. Unless otherwise directed, all correspondence and notices in respect of this application will be forwarded to both owner and agent noted above.

☒ Owner ☒ Agent ☐ Applicant

Names and addresses of any holder of any mortgagees, charges or other encumbrances on the subject lands:

Royal Bank of Canada - 10 York Mills Road, 3rd Floor Toronto, ON M2P 0A2

B. Location, Legal Description and Property Information

1. Legal Description (include Geographic Township, Concession Number, Lot Number, Block Number and Urban Area or Hamlet):

   LT 8 PL 121; PT LT 9 CON 1 WOODHOUSE AS IN NR411875 T/W NR411875; NORFOLK COUNTY

   (PIN: 50247-0076 (LT))

   Municipal Civic Address: 13 Lakeside Lane, Port Dover

   Present Official Plan Designation(s): HL

   Present Zoning: HL

2. Is there a special provision or site specific zone on the subject lands?

   ☐ Yes ■ No If yes, please specify corresponding number:

3. Present use of the subject lands:

   Residential

4. Please describe **all existing** buildings or structures on the subject lands and whether they are to be retained, demolished or removed. If retaining the buildings or structures, please describe the type of buildings or structures, and illustrate the setback, in metric units, from front, rear and side lot lines, ground floor area, gross floor area, lot coverage, number of storeys, width, length, and height on your attached sketch which must be included with your application:

   Single-family dwelling. Please see attached sketch.

5. If an addition to an existing building is being proposed, please explain what it will be used for (for example: bedroom, kitchen, or bathroom). If new fixtures are proposed, please describe.

6. Please describe **all proposed** buildings or structures/additions on the subject lands. Describe the type of buildings or structures/additions, and illustrate the setback, in metric units, from front, rear and side lot lines, ground floor area, gross floor area, lot coverage, number of storeys, width, length, and height on your attached sketch which must be included with your application:

   New single-family dwelling. See attached designs.

7. Are any existing buildings on the subject lands designated under the *Ontario Heritage Act* as being architecturally and/or historically significant? Yes ☐ No ■

   If yes, identify and provide details of the building:

8. If known, the length of time the existing uses have continued on the subject lands:

9. Existing use of abutting properties:
   Residential

10. Are there any easements or restrictive covenants affecting the subject lands?

    ☐ Yes ■ No If yes, describe the easement or restrictive covenant and its effect:

C. Purpose of Development Application

Note: Please complete all that apply.

1. Please explain what you propose to do on the subject lands/premises which makes this development application necessary:
   The applicants propose to construct a new single-family dwelling on the subject lands.

2. Please explain why it is not possible to comply with the provision(s) of the Zoning By-law/and or Official Plan:
   The current HL Official Plan designation and HL zoning do not permit the construction of a dwelling on the subject lands.

3. Does the requested amendment alter all or any part of the boundary of an area of settlement in the municipality or implement a new area of settlement in the municipality? ☐ Yes ■ No If yes, describe its effect:

4. Does the requested amendment remove the subject land from an area of employment? ☐ Yes ■ No If yes, describe its effect:

5. Does the requested amendment alter, replace, or delete a policy of the Official Plan? ☐ Yes ☒ No If yes, identify the policy, and also include a proposed text of the policy amendment (if additional space is required, please attach a separate sheet):

_____

_____

_____

6. Description of land intended to be severed in metric units:

Frontage: _____

Depth: _____

Width: _____

Lot Area: _____

Present Use: _____

Proposed Use: _____

Proposed final lot size (if boundary adjustment): _____

If a boundary adjustment, identify the assessment roll number and property owner of the lands to which the parcel will be added: _____

_____

Description of land intended to be retained in metric units:

Frontage: _____

Depth: _____

Width: _____

Lot Area: _____

Present Use: _____

Proposed Use: _____

Buildings on retained land: _____

7. Description of proposed right-of-way/easement:

Frontage: _____

Depth: _____

Width: _____

Area: _____

Proposed use: _____

8. Name of person(s), if known, to whom lands or interest in lands to be transferred, leased or charged (if known):

_____

9. **Site Information**	**Zoning**	**Proposed**
Please indicate unit of measurement, for example: m, m^2 or %		
Lot frontage	See attached schedule	
Lot depth		
Lot width		
Lot area		
Lot coverage		
Front yard		
Rear yard		
Left Interior side yard		
Right Interior side yard		
Exterior side yard (corner lot)		
Landscaped open space		
Entrance access width		
Exit access width		
Size of fencing or screening		
Type of fencing		
10. Building Size		
Number of storeys		
Building height		
Total ground floor area		
Total gross floor area		
Total useable floor area		
11. Off Street Parking and Loading Facilities		
Number of off street parking spaces		
Number of visitor parking spaces		
Number of accessible parking spaces		
Number of off street loading facilities		

12. Residential (if applicable)

Number of buildings existing: _____

Number of buildings proposed: _____

Is this a conversion or addition to an existing building? ☐ Yes ☐ No

If yes, describe: _____

Type	Number of Units	Floor Area per Unit in m2
Single Detached		
Semi-Detached		
Duplex		
Triplex		
Four-plex		
Street Townhouse		
Stacked Townhouse		
Apartment - Bachelor		
Apartment - One bedroom		
Apartment - Two bedroom		
Apartment - Three bedroom		

Other facilities provided (for example: play facilities, underground parking, games room, or swimming pool):

13. Commercial/Industrial Uses (if applicable)

Number of buildings existing: _____

Number of buildings proposed: _____

Is this a conversion or addition to an existing building? ☐ Yes ☐ No

If yes, describe:

_____

Indicate the gross floor area by the type of use (for example: office, retail, or storage):

_____

_____

_____

Seating Capacity (for assembly halls or similar): _____

Total number of fixed seats: _____

Describe the type of business(es) proposed: _____

Total number of staff proposed initially: _____

Total number of staff proposed in five years: _____

Maximum number of staff on the largest shift: _____

Is open storage required: ☐ Yes ☐ No

Is a residential use proposed as part of, or accessory to commercial/industrial use?

☐ Yes ☐ No If yes please describe:

_____

_____

14. Institutional (if applicable)

Describe the type of use proposed: _____

Seating capacity (if applicable): _____

Number of beds (if applicable): _____

Total number of staff proposed initially: _____

Total number of staff proposed in five years: _____

Maximum number of staff on the largest shift: _____

Indicate the gross floor area by the type of use (for example: office, retail, or storage):

_____

_____

_____

15. Describe Recreational or Other Use(s) (if applicable)

_____

_____

_____

_____

_____

D. Previous Use of the Property

1. Has there been an industrial or commercial use on the subject lands or adjacent lands? ☐ Yes ☐ No ■ Unknown
   If yes, specify the uses (for example: gas station or petroleum storage):

2. Is there reason to believe the subject lands may have been contaminated by former uses on the site or adjacent sites? ☐ Yes ■ No ☐ Unknown
3. Provide the information you used to determine the answers to the above questions:
   Owner knowledge of property

4. If you answered yes to any of the above questions in Section D, a previous use inventory showing all known former uses of the subject lands, or if appropriate, the adjacent lands, is needed. Is the previous use inventory attached? ☐ Yes ☐ No

E. Provincial Policy

1. Is the requested amendment consistent with the provincial policy statements issued under subsection 3(1) of the *Planning Act, R.S.O. 1990, c. P. 13*? ■ Yes ☐ No

   If no, please explain:

2. It is owner's responsibility to be aware of and comply with all relevant federal or provincial legislation, municipal by-laws or other agency approvals, including the Endangered Species Act, 2007. Have the subject lands been screened to ensure that development or site alteration will not have any impact on the habitat for endangered or threatened species further to the provincial policy statement subsection 2.1.7? ☐ Yes ■ No

   If no, please explain:
   The subject lands have already been developed and are located in an existing residential neighbourhood.

3. Have the subject lands been screened to ensure that development or site alteration will not have any impact on source water protection? ☐ Yes ■ No

   If no, please explain:

   Redevelopment of an existing developed site.

   Note: If in an area of source water Wellhead Protection Area (WHPA) A, B or C please attach relevant information and approved mitigation measures from the Risk Manager Official.

4. Are any of the following uses or features on the subject lands or within 500 metres of the subject lands, unless otherwise specified? Please check boxes, if applicable.

   Livestock facility or stockyard (submit MDS Calculation with application)

   ☐ On the subject lands or ☐ within 500 meters – distance _____

   Wooded area

   ☐ On the subject lands or ☐ within 500 meters – distance _____

   Municipal Landfill

   ☐ On the subject lands or ☐ within 500 meters – distance _____

   Sewage treatment plant or waste stabilization plant

   ☐ On the subject lands or ☐ within 500 meters – distance _____

   Provincially significant wetland (class 1, 2 or 3) or other environmental feature

   ■ On the subject lands or ☐ within 500 meters – distance Lake Erie shoreline

   Floodplain

   ☐ On the subject lands or ☐ within 500 meters – distance _____

   Rehabilitated mine site

   ☐ On the subject lands or ☐ within 500 meters – distance _____

   Non-operating mine site within one kilometre

   ☐ On the subject lands or ☐ within 500 meters – distance _____

   Active mine site within one kilometre

   ☐ On the subject lands or ☐ within 500 meters – distance _____

   Industrial or commercial use (specify the use(s))

   ☐ On the subject lands or ☐ within 500 meters – distance _____

   Active railway line

   ☐ On the subject lands or ☐ within 500 meters – distance _____

   Seasonal wetness of lands

   ☐ On the subject lands or ☐ within 500 meters – distance _____

   Erosion

   ☐ On the subject lands or ☐ within 500 meters – distance _____

   Abandoned gas wells

   ☐ On the subject lands or ☐ within 500 meters – distance _____

F. Servicing and Access

1. Indicate what services are available or proposed:

Water Supply

- ☒ Municipal piped water
- ☐ Individual wells
- ☐ Communal wells
- ☐ Other (describe below)

Sewage Treatment

- ☒ Municipal sewers
- ☐ Septic tank and tile bed in good working order
- ☐ Communal system
- ☐ Other (describe below)

Storm Drainage

- ☐ Storm sewers
- ☐ Other (describe below)
- ☐ Open ditches

2. Existing or proposed access to subject lands:

- ☒ Municipal road
- ☐ Unopened road
- ☐ Provincial highway
- ☐ Other (describe below)

Name of road/street: Lakeside Lane

G. Other Information

1. Does the application involve a local business? ☐ Yes ☒ No
   If yes, how many people are employed on the subject lands?

2. Is there any other information that you think may be useful in the review of this application? If so, explain below or attach on a separate page.

H. Supporting Material to be submitted by Applicant

In order for your application to be considered complete, **folded** hard copies (number of paper copies as directed by the planner) and an **electronic version (PDF) of the properly named site plan drawings, additional plans, studies and reports** will be required, including but not limited to the following details:

1. Concept/Layout Plan
2. All measurements in metric
3. Key map
4. Scale, legend and north arrow
5. Legal description and municipal address
6. Development name
7. Drawing title, number, original date and revision dates
8. Owner's name, address and telephone number
9. Engineer's name, address and telephone number
10. Professional engineer's stamp
11. Existing and proposed easements and right of ways
12. Zoning compliance table – required versus proposed
13. Parking space totals – required and proposed
14. All entrances to parking areas marked with directional arrows
15. Loading spaces, facilities and routes (for commercial developments)
16. All dimensions of the subject lands
17. Dimensions and setbacks of all buildings and structures
18. Location and setbacks of septic system and well from all existing and proposed lot lines, and all existing and proposed structures
19. Gross, ground and useable floor area
20. Lot coverage
21. Floor area ratio
22. Building entrances, building type, height, grades and extent of overhangs
23. Names, dimensions and location of adjacent streets including daylighting triangles
24. Driveways, curbs, drop curbs, pavement markings, widths, radii and traffic directional signs
25. All exterior stairways and ramps with dimensions and setbacks
26. Retaining walls including materials proposed
27. Fire access and routes
28. Location, dimensions and number of parking spaces (including visitor and accessible) and drive aisles
29. Location of mechanical room, and other building services (e.g. A/C, HRV)
30. Refuse disposal and storage areas including any related screening (if indoors, need notation on site plan)
31. Winter snow storage location

32. Landscape areas with dimensions
33. Natural features, watercourses and trees
34. Fire hydrants and utilities location
35. Fencing, screening and buffering – size, type and location
36. All hard surface materials
37. Light standards and wall mounted lights (plus a note on the site plan that all outdoor lighting is to be dark sky compliant)
38. Business signs (make sure they are not in sight lines)
39. Sidewalks and walkways with dimensions
40. Pedestrian access routes into site and around site
41. Bicycle parking
42. Architectural elevations of all building sides
43. All other requirements as per the pre-consultation meeting

In addition, the following additional plans, studies and reports, including but not limited to, **may** also be required as part of the complete application submission:

☐ Zoning Deficiency Form

☐ On-Site Sewage Disposal System Evaluation Form (to verify location and condition)

☐ Architectural Plan

☐ Buildings Elevation Plan

☐ Cut and Fill Plan

☐ Erosion and Sediment Control Plan

☐ Grading and Drainage Control Plan (around perimeter and within site) (existing and proposed)

☐ Landscape Plan

☐ Photometric (Lighting) Plan

☐ Plan and Profile Drawings

☐ Site Servicing Plan

☐ Storm water Management Plan

☐ Street Sign and Traffic Plan

☐ Street Tree Planting Plan

☐ Tree Preservation Plan

☐ Archaeological Assessment

☐ Environmental Impact Study

☐ Functional Servicing Report

☐ Geotechnical Study / Hydrogeological Review

☐ Minimum Distance Separation Schedule

☐ Noise or Vibration Study

☐ Record of Site Condition

☐ Storm water Management Report

☐ Traffic Impact Study – please contact the Planner to verify the scope required

Site Plan applications will require the following supporting materials:

1. Two (2) complete sets of the site plan drawings folded to 8½ x 11 and an electronic version in PDF format
2. Letter requesting that the Holding be removed (if applicable)
3. A cost estimate prepared by the applicant's engineer
4. An estimate for Parkland dedication by a certified land appraiser
5. Property Identification Number (PIN) printout

Standard condominium exemptions will require the following supporting materials:

☐ Plan of standard condominium (2 paper copies and 1 electronic copy)

☐ Draft condominium declaration

☐ Property Identification Number (PIN) printout

Your development approval might also be dependent on Ministry of Environment and Climate Change, Ministry of Transportation or other relevant federal or provincial legislation, municipal by-laws or other agency approvals.

All final plans must include the owner's signature as well as the engineer's signature and seal.

I. Development Agreements

A development agreement may be required prior to approval for site plan, subdivision and condominium applications. Should this be necessary for your development, you will be contacted by the agreement administrator with further details of the requirements including but not limited to insurance coverage, professional liability for your engineer, additional fees and securities.

J. Transfers, Easements and Postponement of Interest

The owner acknowledges and agrees that if required it is their solicitor's responsibility on behalf of the owner for the registration of all transfer(s) of land to the County, and/or transfer(s) of easement in favour of the County and/or utilities. Also, the owner further acknowledges and agrees that it is their solicitor's responsibility on behalf of the owner for the registration of postponements of any charges in favour of the County.

K. Permission to Enter Subject Lands

Permission is hereby granted to Norfolk County officers, employees or agents, to enter the premises subject to this application for the purposes of making inspections associated with this application, during normal and reasonable working hours.

L. Freedom of Information

For the purposes of the *Municipal Freedom of Information and Protection of Privacy Act*, I authorize and consent to the use by or the disclosure to any person or public body any information that is collected under the authority of the *Planning Act, R.S.O. 1990, c. P. 13* for the purposes of processing this application.

Owner/Applicant Signature — Date: 3 August, 2022

M. Owner's Authorization

If the applicant/agent is not the registered owner of the lands that is the subject of this application, the owner(s) must complete the authorization set out below.

I/We Irene Sidway and Jeff Sidway am/are the registered owner(s) of the lands that is the subject of this application.

I/We authorize Brimage Law Group to make this application on my/our behalf and to provide any of my/our personal information necessary for the processing of this application. Moreover, this shall be your good and sufficient authorization for so doing.

E-SIGNED by Irene Sidway on 2022-08-16 02:06:15 GMT
Owner — Date: 3 August, 2022

E-SIGNED by Jeff Sidway on 2022-08-08 01:01:53 GMT
Owner — Date: 3 August, 2022

N. Declaration

I, Nathan Kolomaya of Norfolk County, Province of Ontario

solemnly declare that:

all of the above statements and the statements contained in all of the exhibits transmitted herewith are true and I make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath and by virtue of *The Canada Evidence Act*.

Declared before me at:

Norfolk County

Owner/Applicant Signature

In the Province of Ontario

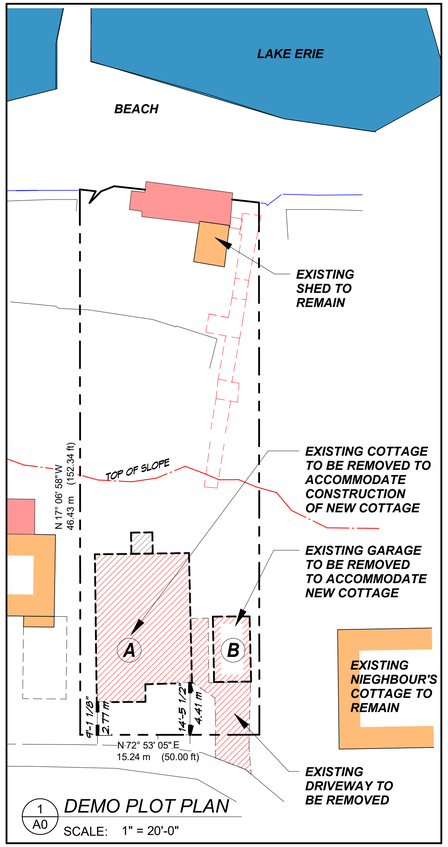
This 26 day of August

A.D., 2022

A Commissioner, etc.

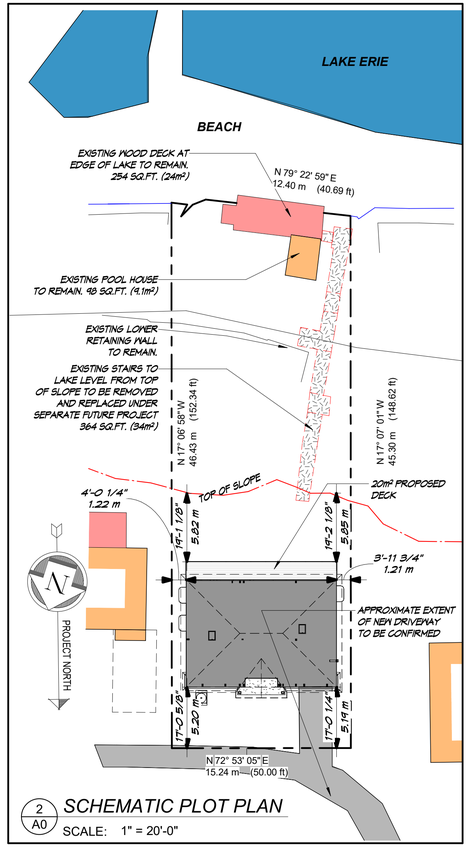
SCHEDULE: SITE INFORMATION

	Provision	Permitted	Proposed	Deficiency
Sideyard Setback	5.1.2	1.2m	0.7m	0.5m



1 A0 DEMO PLOT PLAN

SCALE: 1" = 20'-0"



2 A0 SCHEMATIC PLOT PLAN

SCALE: 1" = 20'-0"

DRAWING LIST

A0	O.B.C. DESIGN MATRIX, GENERAL NOTES AND DESIGN DATA
A1	PROPOSED FOUNDATION PLAN
A2	DEMO AND PROPOSED MAIN FLOOR PLANS
A3	SECOND FLOOR PLANS & STAIR SECTIONS
A4	BUILDING ELEVATIONS
A5	BUILDING SECTIONS

A CURRENT SURVEY FOR THIS PROPERTY WAS NOT AVAILABLE AT THE TIME THIS PACKAGE WAS PREPARED. THIS DRAWING IS ONLY INTENDED FOR DEMONSTRATION OF ZONING COMPLIANCE.

PLEASE REFER TO SURVEY AND GRADING PLAN PREPARED BY OTHERS FOR ALL CIVIL ENGINEERING INFORMATION.

ZONING INFORMATION

CURRENT ZONE HL (HAZARD LAND)

ZONING PROVISIONS

LOT FRONTAGE	15.0m
FRONT YARD	6.0m
REAR YARD	7.5m
INTERIOR SIDE YARD	1.2m
MAX. BUILDING HEIGHT	7.5m
MAXIMUM LOT COVERAGE	15% PLUS AN ADDITIONAL 10% FOR ALL ACCESSORY BUILDINGS AND RAISED DECKS FOR A TOTAL COVERAGE OF 25%.

MINOR VARIANCE REQUIRED

A MINOR VARIANCE IS REQUIRED THIS PROPERTY THE APPLICATION WAS NOT SUBMITTED PRIOR TO ISSUANCE OF THIS DRAWING PACKAGE BUT IT MUST PROVIDE RELIEF OF THE FOLLOWING :

A) TO ALLOW THE PLACEMENT OF A/C UNIT AND EMERGENCY GENERATOR TO BE PLACED IN THE SETBACK ALONG THE EAST PROPERTYLINE . THE A/C UNIT WILL BE WALL MOUNTED BUT THE GENERATOR WILL MOUNTED ON A CONCRETE PAD

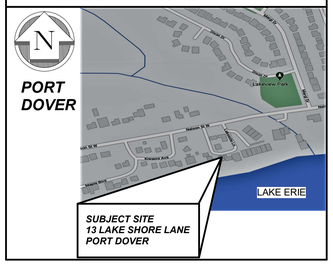
LPRCA APPROVAL REQUIRED

A PERMISSION TO BUILD PERMIT IS REQUIRED FROM THE LPRCA AND WILL BE APPLIED FOR UNDER SEPARATE APPLICATION BY A THIRD PARTY RETAINED DIRECTLY BY THE HOME OWNER.

AS PER LPRCA'S POLICIES FOR THE ADMINISTRATION OF THE DEVELOPMENT, INTERFERENCE WITH WETLANDS AND ALTERATIONS TO SHORELINES AND WATERCOURSES REGULATION ONTARIO REGULATION 178/06 DATED 2017. SECTION 8.1.4. THE FOLLOWING IS PERMITTED:

THE NEW BUILDING OR STRUCTURE IS THE SAME SIZE OR LARGER TO A MAXIMUM OF 50 PERCENT OF THE ORIGINAL HABITABLE FLOOR AREA OR AREA OF 50 m² (540 ft²), WHICHEVER IS THE LESSER, AND THE USE IS THE SAME.

SITE LOCATION MAP



THIS RENDERING IS AN ARTIST CONCEPT DEVELOPED FOR THE PURPOSE OF ILLUSTRATING A GREATER LEVEL OF UNDERSTANDING FOR THE CLIENT REGARDING THE INTENT OF THE DESIGN AND AS SUCH IS SUBJECT TO CHANGE AT THE DISCRETION OF THE OWNER. CHANGES INVOLVING THE STRUCTURE OF THE PROPOSED DESIGN MUST BE SENT TO THE DESIGNER OF RECORD FOR REVIEW PRIOR TO IMPLEMENTATION BY THE CONTRACTOR.

BUILDING CODE REVIEW SUMMARY

Firm Name : ENGAGED CUSTOM HOME DESIGN
Certificate of Practice Number : 5494
Address : 22 WALPOLE DRIVE JARVIS ONTARIO N0A 1J0
Contact Information : TEL. 1 (519) 909-9246 EMAIL : dave@engagedesign.ca
Individual who reviews and accepts responsibility for Design Activities : DAVID B. BENNETT; LICENSED TECHNOLOGIST OAA; LICENCE # 7019
Name of Project : NEW COTTAGE FOR IRENE AND JEFF SIDWAY
Location of Project : 13 LAKESHORE LANE PORT DOVER, NORFOLK COUNTY ONTARIO

STAMP: ONTARIO ASSOCIATION OF ARCHITECTS — PROJECT # 19-209 — DBB — MAY 07 '21 — LICENSED TECHNOLOGIST OAA — DAVID B. BENNETT LICENCE 7019

The Technologist noted above has exercised responsible control with respect to design activities.

Item	Ontario Building Code Matrix Parts 9	OBC Section Reference
1	Project Description : ☐ New Construction ☐ Part 11 ☒ Part 9; ☐ Change of Use ☒ Addition ☒ Alteration 11.1 to 11.4	1.1.2.[A] 9.10.1.3
2	Major Occupancy (s) GROUP C - SINGLE FAMILY HOME	9.10.2
3	Structural Importance Category NORMAL	1.4.2.1 & Table T1.4.2.1 B
4	Building Area (m²) — Parts A & B Existing footprint 113m² (1217ft²); DEMO Part A Existing cottage to be removed Demolition -85m² (1020ft²); Part B Ex. Garage to be removed Demolition -18m² (187 ft²); PROPOSED ADDITIONS Part C Proposed new cottage Addition 100m² (1081 ft²); Part D Proposed Garage / Kitchen / Family rm Addition 15m² (156 ft²); Total building area (footprint) 115m² (1,236 ft²) = 115m² (1,236 ft²)	1.4.1.2.[A]
5	Gross Area (m²) — Main floor Existing 113m² (1217 ft²) Demolition -113m² (127 ft²) New 115m² (1,236ft²) Total 115m² (1,236 ft²); 2nd. Floor Existing 0 Demolition 0 New 117m² (1,260ft²) Total 117m² (1,260 ft²); Total Gross Floor area (total of All floors) 232m² (2,496 ft²)	1.4.1.2.[A]
6	Number of Storeys Below Grade ONE Above Grade 2 STOREYS	1.4.1.2.[A] & 9.10.4
7	Building Height 11m MAX.	?.?
8	Number of Streets / Access Routes	9.10.20
9	Building Classification GROUP C - SINGLE FAMILY HOME	9.10.2
10	Sprinkler System Proposed ☐ Entire Building ☐ Basement ☐ In lieu of roof rating ☐ Selected Compartments ☒ Not required ☐ Selected Floor Areas	9.10.8.2
11	Standpipe required ☐ Yes ☐ No	
12	Fire Alarm required ☐ Yes ☒ No	9.10.18
13	Water Service / Supply is Adequate ☒ Yes ☐ No	N/A
14	High Building ☐ Yes ☒ No	N/A
15	Permitted construction ☐ Combustible ☐ Non-combustible ☒ Both; Actual Construction ☐ Combustible ☐ Non-combustible ☒ Both	9.10.6
16	Mezzanine (s) Area (m²) N/A	9.10.4.1
17	Occupant load Based on ☐ m² / person ☒ Design of building; Basement Occupancy N/A Load persons; 1st Floor Occupancy RESIDENTIAL Load 2 PEOPLE / BDRM x 2 = 4 persons; Total Load 4 persons	9.9.1.3
18	Barrier Free Design ☐ Yes ☒ No (Explain) N/A (NOT REQUIRED)	9.5.2
19	Hazardous Substances ☐ Yes ☒ No	9.10.1.3.(4)
20	Required Fire Resistance Rating (FRR) — Horizontal Assemblies: Floors N/A Hours, Roof N/A Hours, Mezzanine N/A Hours; FRR of Supporting Members: Floors N/A Hours, Roof N/A Hours, Mezzanine N/A Hours; Listed Design No. or Description (SB-3)	9.10.8 9.10.9
21	Spatial Separation - Construction of Exterior Walls	9.10.14

Wall	Area of EBF (m²)	L.D. (m)	L / H or H / L	Permitted % of Openings	Proposed % of Openings	FRR (Hours)	Listed Design or Description	Combustible Construction	Combustible construction Nonc. Cladding	Non-combustible Construction
SOUTH (LAKE VIEW)	80	----	N/A	100%	46%	N/A	N/A	YES		
WEST (SIDE YARD)	60	1.2m	N/A	7%	4%	N/A	N/A	YES		
NORTH (NEIGHBOUR)	80	5.2m	N/A	15%	12%	N/A	N/A	YES		
EAST (NEIGHBOUR)	60	1.2m	N/A	7%	3%	N/A	N/A	YES		
Other - Describe										

ENERGY EFFICIENCY DESIGN ASSUMPTION MATRIX

[A] GENERAL NOTES

THESE DRAWINGS HAVE BEEN PREPARED TO MEET OR EXCEED THE REQUIREMENTS OF SB-12 OF THE ONTARIO BUILDING CODE AS AMENDED JANUARY 1, 2012 (EnerGuide80 ®). COMPLIANCE WITH THE NEW REGULATIONS CAN BE ACHIEVED IN ONE OF THE FOUR WAYS. THE SUMMARY BELOW ITEMIZES DESIGN ASSUMPTIONS MADE IN CONSULTATION WITH THE CLIENT PRIOR TO SUBMISSION FOR BUILDING PERMIT.
AS A POINT OF REFERENCE, THIS DESIGN IS BASED ON THE PRESCRIPTIVE SB-12 PACKAGES FOUND IN SB-12-3.1.1.

IF THE CONTRACTOR CHOOSES TO ACHIEVE COMPLIANCE THROUGH ONE OF THE THREE ACCEPTED METHODS.
BASED ON PERFORMANCE, Energy Star ® OR EnerGuide80 ® PROGRAMS THEN THE DESIGN MUST BE INDEPENDENTLY VERIFIED BY A CERTIFIED ENERGY EVALUATOR. INDEPENDENT VERIFICATION BY A "CERTIFIED ENERGY EVALUATOR". PRIOR TO OCCUPANCY IS RECOMMENDED AS THE MOST EFFECTIVE WAY OF ENSURING COMPLIANCE. THESE CONSULTANTS SPECIALIZE IN PERFORMING THIS TYPE OF ANALYSIS / TESTING AND WILL PROVIDE PAPERWORK CONFIRMING THE RESULTS OF THIS TESTING TO THE BUILDING DEPARTMENT AT THE POINT OF SUBSTANTIAL COMPLETION OF THE HOME.

[B] SB-12 COMPLIANCE OPTIONS

☐☒	SB-12 Prescriptive [SB-12 - 3.1.1]	Table: SB-12 T3.1.1.2 A (1P)	Package A5 BUT WITH UPGRADED WALL INSULATION
☐	SB-12 Performance * [SB-12 - 3.1.1]	*Attach energy performance calculations using an approved software	
☐	Energy Star ® * [SB-12 - 3.1.1]	* Attach BOP form. House must be labeled on completion by Energy Star	
☐	EnerGuide80 ® *	* House must be evaluated by NRCcan advisor and meet a rating of 80	

[C] Project Design Conditions

Climate Zone (SB-1):	Heating Equipment Efficiency	Space Heating Fuel Source
☐☒Zone 1 (<5000 degree days)	☐☒ ≤ 92% AFUE	☐☒Gas ☐ Propane ☐ Solid Fuel
☐ Zone 2 (<5000 degree days)	☐ ≤ 84% < 92 % AFUE	☐ Oil ☐ Electric ☐ Earth Energy

Windows+ Skylights+ Glass Doors		Other Building Conditions
Wall Area = (3010 sq.ft.) 280 m²	% Windows+ 18 %	☐ ICF basement ☐ Walkout Basement
Gross Window + Area= (547) 51 m²		☐ ICF Above Grade ☐ Slab on Grade ☐ Log / Post&Beam

[D] Building Specifications

Building Component	RSI / R Values	Building Component	Efficiency Rating
Thermal Insulation		Windows & Doors	
Ceiling with Attic Space	R60	Window / Sliding Glass Doors	OPENINGS MORE THAN 17 % OF WALL AREA BUT LESS THAN 22%, WINDOW RATIO MAX U = 0.25
Ceiling without Attic Space	R31	Skylights	MAX. U = 0.49
Exposed Floor	R31	Mechanicals	
Walls above Grade	R28 + R5 C.I.	Space Heating Equipment	94%
Basement Walls	R12 + R10 C.I.	HRV Efficiency (%)	70%
Slab (all > 600mm below Grade)	---	DHW Heater (EF)	0.80
Slab (edge only ≤600mm below Grade)	R10	Drain Water Heat Recovery	42%
Slab (all ≤600mm below Grade or heated)	R10	Notes: Provide U-value in W./m² K or ER rating. Provide AFUE or Indicate if Condensing type combined unit used.	

[E] SB-12 Performance:

Compliance achieved through performance based solutions require the support of appropriate calculations not performed directly as part of this drawing package. These calculations need to be performed by a "CERTIFIED ENERGY EVALUATOR" and the results certified by an NRCan Advisor.
Consult your local NRCan Advisor for details on how this method of compliance could reduce construction costs and increase return rates on your investment.

STRUCTURAL COMPONENT LEGEND

GENERAL SCHEDULE NOTES :

1. NOT ALL MEMBERS LISTED HAVE BEEN USED ON THIS BUILDING. REFER TO PLANS TO DETERMINE LOCATION, LENGTHS AND QUANTITY OF SPECIFIED MEMBERS.
2. MEMBERS SPECIFIED ARE SIZED TO MIN. O.B.C. / DESIGN REQUIREMENTS. CONTRACTOR MAY SUBSTITUTE LARGER MEMBER OF THE SAME NUMBER OF PLY AND SAME SPECIES / GRADE AS MATERIALS SPECIFIED. ANY CHANGE IN SPECIES / GRADE MUST BE REVIEWED BY THE DESIGNER. CONTRACTOR SHALL NOT SUBSTITUTE WITH SMALLER MEMBERS WITH ADDITIONAL PLYS UNLESS REVIEWED BY THE DESIGNER.
3. ALL NOMINAL (CONVENTIONAL) WOOD PRODUCTS ARE TO BE MINIMUM SPF #2 UNLESS OTHERWISE NOTED IN SCHEDULES AND ON PLANS.

B/U WOOD LINTEL SCHEDULE :

W1 = 2- 2" X 6"	SPRUCE NO. 1
W2 = 2- 2" X 8"	SPRUCE NO. 1
W3 = 2- 2" X 8"	D. FIR NO.1
W4 = 2- 2" X 10"	SPRUCE NO. 1
W5 = 2- 2" X 10"	D. FIR NO.1
W6 = 2- 2" X 12"	SPRUCE NO. 1
W7 = 2- 2" X 12"	D. FIR NO.1

B/U WOOD BEAM SCHEDULE :

WB1 = 3- 2" X 8"	SPRUCE NO. 1
WB2 = 4- 2" X 8"	SPRUCE NO. 1
WB3 = 3- 2" X 10"	SPRUCE NO. 1
WB4 = 4- 2" X 10"	SPRUCE NO. 1
WB5 = 5- 2" X 10"	SPRUCE NO. 1
WB6 = 3- 2" X 12"	SPRUCE NO. 1
WB7 = 4- 2" X 12"	SPRUCE NO. 1
WB8 = 5- 2" X 12"	SPRUCE NO. 1

LINTEL NOTES:

1. WOOD LINTEL WITH SPANS LESS THAN 9'-10" (3m) REQUIRE 1 1/2" (38mm) MIN. BEARING LENGTH AT EACH END. SPANS GREATER THAN 9'-10" REQUIRE A MIN. 3" (76mm) BEARING LENGTH.
2. WHERE NOTED, LINTELS MUST BEAR UPON ENTIRE WIDTH OF BUILT-UP COLUMNS INDICATED WITH ADDITIONAL TRIMMER STUD FASTENED TO COLUMN AS PER TYPICAL ROUGH OPENING FRAMING.

ENGINEERED LUMBER COLUMNS

EC1 = 5.5"x5.5" PSL 2.0E POST
EC2 = 3.5"x3.5" PSL 2.0E POST

B/U LUMBER COLUMNS

C1 = 2- 2" X 4"	SPRUCE NO. 1
C2 = 3- 2" X 4"	SPRUCE NO. 1
C3 = 4- 2" X 4"	SPRUCE NO. 1
C4 = 5- 2" X 4"	SPRUCE NO. 1
C5 = 2- 2" X 6"	SPRUCE NO. 1
C6 = 3- 2" X 6"	SPRUCE NO. 1
C7 = 4- 2" X 6"	SPRUCE NO. 1
C8 =5- 2" X 6"	SPRUCE NO. 1

SOLID WOOD COLUMNS

SWC1 = 4" X 4" #2 SPR	
SWC2 = 4" X 4" P.T.	
SWC3 = 6" X 6" #2 SPR	
SWC4 = 6" X 6" P.T.	
SWC5 = 6x6 SELECT GRADE CEDAR	
SWC6 = 8" X 8" P.T.	
SWC7 = 8" X 8" SELECT GRADE PINE	

COLUMN NOTES:

1. WHERE COLUMNS ARE NOT LOCATED IN A LOAD BEARING WALL THEY SHALL BE CENTERED ON PAD FOOTINGS BELOW.
2. WHERE STEEL COLUMNS BEAR ONTO STEEL BEAM BELOW, BASE PLATES SHALL BE MIN. 1/4" AND SHALL MATCH WITH LARGER DIMENSION OF BEAM FLANGE OR COLUMN WIDTH UNLESS OTHERWISE SPECIFIED, AND CONNECTED W/ BOLTS OR FIELD WELDS AS DIRECTED.

ENGINEERED WOOD BEAMS

LVL 1 = 1 3/4"x11 7/8"	LVL 2.0E BY MICROLAM
LVL 2 = 3 1/2"x11 7/8"	LVL 2.0E BY MICROLAM
LVL 3 = 5 1/4"x 9 1/2"	LVL 2.0E BY MICROLAM
LVL 4 = 5 1/4"x11 7/8"	LVL 2.0E BY MICROLAM
LVL 5 = 5 1/4"x14"	LVL 2.0E BY MICROLAM

ALL BEAMS TO HAVE MIN. 3 1/2" BEARING AT EACH END.
ALL JOISTS MIN. 1 1/2" BEARING AT EACH END

STEEL LOOSE MASONRY LINTEL SCHEDULE :

AS PER O.B.C. [B] 9.20.5.2 AND TABLE 9.20.5.2B. THIS CHART CAN ONLY BE USED FOR BRICK VENEER. IF OTHER MATERIALS ARE USED, THESE VALUES WILL REQUIRE FURTHER REVIEW.

L1 = L- 3 1/2 X 3 1/2 X 1/4"	ANGLE = 8'-0" MAX. SPAN
L2 = L- 4 X 3 1/2 X 5/16"	ANGLE = 8'-9" MAX. SPAN
L3 = L- 5 X 3 1/2 X 5/16"	ANGLE = 10'-10" MAX. SPAN
L4 = L- 5 X 3 1/2 X 3/8"	ANGLE = 11'-5" MAX. SPAN
L5 = L- 6 X 4 X 1/2"	ANGLE = 13'-5" MAX. SPAN

STEEL BEAM SCHEDULE

SB1 = W150x22	STEEL BEAM	SB3 = W250x33	STEEL BEAM
SB2 = W200x27	STEEL BEAM	SB4 = W310x39	STEEL BEAM

FOOTING PAD SCHEDULE :

PF1 = 30"X30"X14"	CONCRETE PAD WITH 3-15M RE-BAR EACH WAY
PF2 = 36"X36"X16"	CONCRETE PAD WITH 3-15M RE-BAR EACH WAY
PF3 = 42"X42"X20"	CONCRETE PAD WITH 15M RE-BAR @ 12" O/C E/W
PF4 = 48"X48"X22"	CONCRETE PAD WITH 15M RE-BAR @ 12" O/C E/W

CONTINUOUS STRIP FOOTING SCHEDULE :

SF1 = STRIP	EXTERIOR WALLS	18"X6" CONCRETE WITH 2-15M REBAR CONTINUOUS
SF2 = STRIP	INTERIOR WALLS	18"X6" CONCRETE WITH 2-15M REBAR CONTINUOUS

STEEL TELE-POST SCHEDULE :

P1 = POST RATED FOR 8 k/p AND CENTERED ON FOOTING PAD
P2 = POST RATED FOR 20 k/p AND CENTERED ON FOOTING PAD
P3 = POST RATED FOR 30 k/p AND CENTERED ON FOOTING PAD

DECK PIER FOUNDATION SCHEDULE :

ST1 =	12" DIA. CONCRETE SONO TUBE FOUNDATION ON PAD FOOTING. REFER TO PAD FOOTING SCHEDULE FOR FOOTING SIZE.
ST2 =	16" DIA. CONCRETE SONO TUBE FOUNDATION ON PAD FOOTING. REFER TO PAD FOOTING SCHEDULE FOR FOOTING SIZE.
SQ1 =	16"X16" SQUARE PIER FOUNDATION WITH 10M DOWELS @ CORNERS EMBEDDED INTO ON PAD FOOTING. 3" MIN. COVER. REFER TO PAD FOOTING SCHEDULE FOR FOOTING SIZE.

FOOTING NOTES:

1. ALL FOOTING PADS SHALL BE CENTERED UNDER COLUMNS. CONTRACTOR TO COORDINATE PAD LOCATIONS W/ DIMENSIONS LOCATING COLUMNS.
2. ALL STRIP FOOTINGS SHALL BE CENTERED UNDER CONCRETE FOUNDATION WALLS AND INTERIOR LOAD BEARING STUD WALLS. CONTRACTOR SHALL COORDINATE FOOTING AND WALL DIMENSIONS ON PLANS AND REPORT ANY DISCREPANCIES TO THE DESIGNER PRIOR TO CONSTRUCTION.
3. WHERE REINFORCEMENT OF THE FOUNDATION WALLS IS REQUIRED, ALL RE-BAR SHALL BE DOWELED INTO FOOTINGS MIN. 2" EMBEDMENT (2'-0" LAP LENGTH FOR TIE-IN DOWELS)
4. ALL MASONRY BLOCK WALLS SHALL BE REINFORCED ACCORDING TO O.B.C. 2012 REQUIREMENTS.

STRUCTURAL DESIGN CRITERIA

LOCATION:

SIMCOE ONTARIO

FLOOR LOADS

MIN. SPECIFIED LIVE LOAD	= 1.9 kPa (40 PSI) AS PER 9.4.1.1
MAX. SPECIFIED LIVE LOAD	= 2.4 kPa (50 psf) AS PER 9.4.1.1 (2)
SPECIFIED DEAD LOAD	= 1.0 kPa (21 psf) AS SPECIFIED BY JOIST SUPPLIER

ROOF LOADS

CALCULATION AS PER O.B.C. [B] 9.4.2.2. AND 5B-1.
S= (Cb x Ss) + Sr
WHERE Cb = basic snow load factor = 0.45 for roof spans less than 4.3m
= 0.55 for roof spans in excess of 4.3m
Ss = 1 in 50 year ground snow load in kPa as per 5B-1
Sr = 1 in 50 year rain load in kPa as per sb-1
UNDER NO CIRCUMSTANCES, SHOULD THE SPECIFIED SNOW LOAD BE < 1.0 kPa.
S = (0.55 x 1.5)+ 0.4 THEREFORE S = 1.23 kPa = 1.2 kPa

SYMBOLS LEGEND

1 / A101 SIM — BUILDING ELEVATION REFERENCE

ELEVATION REFERENCE

1 / A101 SIM — BUILDING SECTION REFERENCE

1 / A101 View Name — SCALE: 1/8" = 1'-0" — SHEET VIEW REFERENCE

1 / A101 SIM — DETAIL SECTION REFERENCE

Room name / 101 — ROOM NAME . NUMBER REFERENCE

W1 — EXTERIOR WINDOW REFERENCE

101 — EXTERIOR DOOR REFERENCE

EF — BATHROOM EXHAUST FAN

SD — SMOKE DETECTOR

SD / CMD — SMOKE / CARBON MONOXIDE DETECTOR

ABBREVIATIONS

AFTG	DATUM ABOVE TOP OF FOOTING ELEVATION	P1	STEEL TELEPOST 1,2,3 ETC.
CMD	CARBONMONOXIDE DETECTOR	PF1	PAD FOOTING 1,2,3 ETC.
I.F.F.	INSIDE FACE OF FOUNDATION WALLS	PSL	PARALLEL STRAND LUMBER
O.F.F.	OUTSIDE FACE OF FOUNDATION ALLS	PSL1	PSL BEAM 1,2,3 ETC.
O.F.S.	OUTSIDE FACE OF EXTERIOR SHEATHING	SF1	CONTINUOUS STRIP FOOTING 1,2,3 ETC.
R.S.O.	ROUGH STUD OPENING	ST1	SONOTUBE PIER FOUNDATION 1,2,3 ETC.
SD	SMOKE DETECTOR	SB1	STEEL BEAM 1,2,3 ETC.
CMD	CARBONMONOXIDE DETECTOR	SWC1	SOLID WOOD COLUMN 1,2,3 ETC.
C1	B/U WOOD COLUMN 1,2,3 ETC.	SQ1	SQUARE FOUNDATION PIER 1,2,3 ETC.
EC1	ENGINEERED WOOD COLUMN 1,2,3 ETC.	W1	B/U WOOD LINTEL 1,2,3 ETC.
		WB1	B/U WOOD BEAM 1,2,3 ETC.

No.	REVISION	DATE
3	COORDINATED WITH FILE FOUNDATION DESIGN, ISSUED FOR LPRCA APPROVAL AND FOR BUILDING PERMIT APPLICATION	2022.05.19
2	ISSUED TO STRUCTURAL ENGINEER FOR PART 4 REVIEW	2021.04.30
1	ISUSED TO CLIENT FOR FINAL REVIEW	2021.03.29

ISSUED FOR BUILDING PERMIT APPLICATION

MAY 19, 2022

STAMP: ONTARIO ASSOCIATION OF ARCHITECTS — DBB — 2022.05.19 — LICENSED TECHNOLOGIST OAA — DAVID B. BENNETT LICENCE 7019

Engaged Custom Home Design

David B. Bennett
Licensed Technologist OAA
O.B.C. Qualified Design ; Small Buildings

22 Walpole Drive Jarvis Ontario N0A 1J0
Telephone : (519) 909-9246

Email: Dave@engageddesign.ca
Web Site: www.engageddesign.ca

PROJECT
NEW COTTAGE
For : Irene & Jeff Sidway

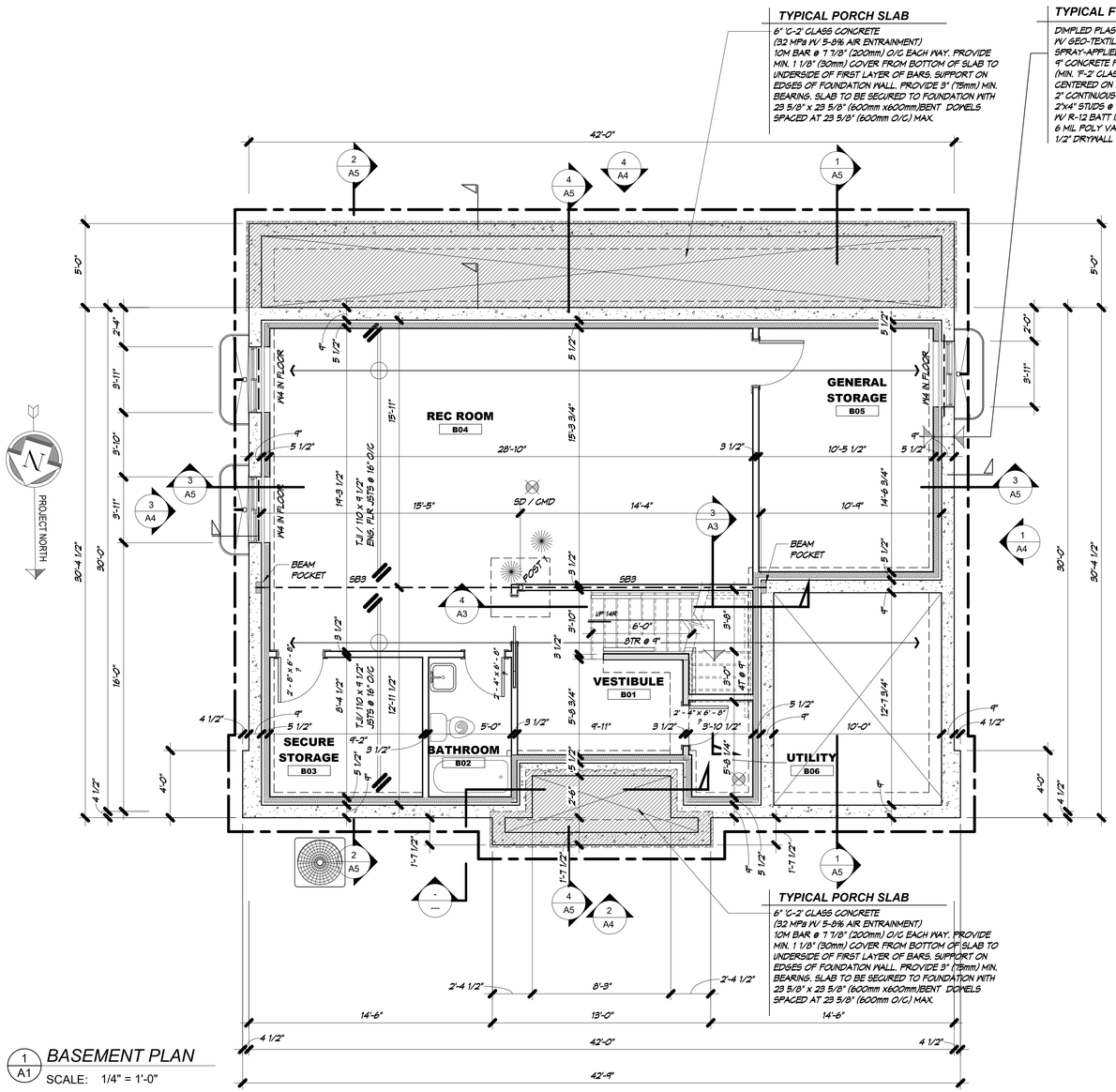
13 LAKESIDE LANE
PORT DOVER, ONTARIO
NORFOLK COUNTY

Drawing Title

O.B.C. DESIGN MATRIX, GENERAL NOTES AND DESIGN DATA

Drawn By: D.BENNETT	Date: MARCH 2021
Designed By : D.B.	Drawing No. A0
Checked By : D.B.	
Project No. 21-005	

DATE LAST PLOTTED 2022-05-19 3:55:39 PM



1 / A1 BASEMENT PLAN

SCALE: 1/4" = 1'-0"

LEGEND

- INDICATES EXTENT OF INTERIOR BEARING WALLS
- INDICATES WEEPING TILE AROUND PERIMETER OF FOOTINGS

IMPORTANT NOTE - ENGINEERED PILE DESIGN

THIS BUILDING PROJECT IS TO BE SET ON AN ENGINEERED PILE FOUNDATION PREPARED BY G. DOUGLAS VALLEE LIMITED. ANY AND ALL REFERENCES TO THE PILE FOUNDATIONS INCLUDED IN THIS PACKAGE OF DRAWINGS IS TO BE CONSIDERED CONTEXT INFORMATION ONLY AND BE VERIFIED USING INFORMATION FOUND WITHIN THE ENGINEERED PILE DESIGN PACKAGE. ALL INQUIRIES RELATED TO THE PILE DESIGN MUST BE REFERRED TO THE ENGINEER OF RECORD FOR REVIEW AND FURTHER INSTRUCTION.

GENERAL NOTES

1. DRAWING CONTENT AND DIMENSIONS

1.1. CONTENT OF DRAWINGS DOES NOT RELEASE CONTRACTOR FROM COMPLIANCE WITH THE ONTARIO BUILDING CODE 2012 (O.B.C.), MUNICIPAL BY-LAWS, AND ANY OTHER REGULATIONS OR AUTHORITIES THAT HAVE JURISDICTION.

1.2. DO NOT SCALE DRAWINGS.

1.3. REFER TO THE TITLE BLOCK OF EACH DRAWING FOR NOTES THAT ARE PARTICULAR TO THE PLANS AND DETAILS THEREIN.

1.4. ALL DIMENSIONS ARE RELATIVE TO THE COMPOSITION OF BUILDING ASSEMBLIES AS INDICATED. REFER TO THE TITLE BLOCK OF EACH DRAWING FOR NOTES.

1.5. ELEVATIONS AND CORRESPONDING DIMENSIONS ARE RELATIVE TO TOP OF SUB-FLOOR ONLY. CONTRACTOR IS RESPONSIBLE FOR SITE GRADING UNLESS OTHERWISE INDICATED ON PLANS.

1.6. CONTRACTOR SHALL REVIEW PLANS AND REPORT ANY DISCREPANCIES TO THE DESIGNER PRIOR TO CONSTRUCTION.

2. BUILDING SERVICES AND EQUIPMENT

2.1. CONTRACTOR SHALL DETERMINE EXACT LOCATION OF SERVICES AND EQUIPMENT. IF SHOWN ON PLANS, THESE LOCATIONS SHALL BE VERIFIED BY CONTRACTOR PRIOR TO CONSTRUCTION.

2.2. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE ALL NECESSARY DRAWINGS FOR MECHANICAL, ELECTRICAL AND PLUMBING SYSTEMS. THE DESIGN OF THESE SYSTEMS SHALL BE PREPARED BY A QUALIFIED DESIGNER IN ACCORDANCE WITH O.B.C. 2012.

3. EXTERIOR CLADDING

3.1. MATERIAL TO BE AS SPECIFIED. FINAL SIZE, COLOUR AND PATTERN TO BE DETERMINED BY CONSULTING THE OWNER.

4. WOOD MATERIALS

4.1. ALL LUMBER MATERIALS MUST BE No. 2 GRADE SPRUCE-PINE-FIR OR BETTER, OR AS SPECIFIED.

4.2. ALL ENGINEERED WOOD PRODUCTS TO BE SUPPLIED AS SPECIFIED, NO SUBSTITUTIONS.

5. WOOD AND STEEL LINTELS

5.1. ALL WOOD AND STEEL LINTEL SIZES INDICATED IN SCHEDULES ARE MINIMUM SIZES AS REQUIRED BY THE O.B.C. SEE STRUCTURAL SCHEDULES FOR FURTHER INFORMATION.

5.2 CORRESPONDING LINTELS ARE NOMINAL. ACTUAL DOOR AND WINDOW SIZES TO BE DETERMINED UPON SELECTION BY CONTRACTOR.

6. STEEL BEAMS

6.1. ALL STEEL BEAM SIZES INDICATED ARE MINIMUM SIZES AS REQUIRED BY THE O.B.C. SEE STRUCTURAL SCHEDULES FOR FURTHER INFORMATION.

7. STEEL POSTS

7.1. SHOP DRAWINGS FOR POSTS SUPPORTING LOADS GREATER THAN 8,000 LBS. (8 kip) SHALL BE SUBMITTED TO DESIGNER FOR REVIEW AND APPROVAL PRIOR TO CONSTRUCTION.

8. FLOOR SYSTEM

8.1. MINIMUM END BEARING FOR NOMINAL WOOD FLOOR JOISTS SHALL BE 1 1/2". MINIMUM BEARING FOR LINTELS OR BEAMS SHALL BE 3 1/2" UNLESS OTHERWISE NOTED.

8.2. MINIMUM BEARING LENGTH OF PRE-ENGINEERED FLOOR JOISTS SHALL MEET OR EXCEED MANUFACTURER'S SPECIFICATIONS.

8.3. SUB-FLOOR SHALL BE GLUED AND SCREWED TO ALL JOISTS TO REDUCE FLEX IN FLOOR SYSTEM.

8.4. ALL BLOCKING PANELS BETWEEN JOISTS SHALL BE SAME PRODUCT AS JOISTS.

8.5. POINT LOADS FROM ABOVE SHALL BE SOLID BLOCKED (SQUASH BLOCKS) TO BEARING BELOW. BLOCKING TO MAINTAIN WIDTH OF ABOVE POST AS A MINIMUM.

9. FLOOR FINISHES

9.1. DESIGNER HAS ASSUMED THE INSTALLATION OF STANDARD FINISH MATERIALS SUCH AS CARPET, LINOLEUM, OR HARDWOOD. FINISHES THAT EXERT ADDITIONAL LOADS SUCH AS CERAMIC TILE, STONE OR PORCELAIN TILE HAVE NOT BEEN ACCOUNTED FOR. REPORT THESE REVISED SELECTIONS TO THE DESIGNER FOR FURTHER INSTRUCTION.

10. DOORS AND WINDOWS

10.1. ROUGH STUD OPENINGS (R.S.O.) FOR EXTERIOR DOORS, WINDOWS, AND THEIR CORRESPONDING LINTELS ARE NOMINAL. ACTUAL DOOR AND WINDOW SIZES TO BE DETERMINED UPON SELECTION BY CONTRACTOR.

10.2. EXTERIOR DOORS TO BE INSULATED STEEL STANLEY OR EQUAL.

10.3. WINDOWS TO BE VIRGIN VINYL FRAMED DOUBLE GLAZED UNITS AS SPECIFIED BY OWNER.

11. SMOKE AND CARBON MONOXIDE DETECTORS

11.1. SMOKE AND CARBON MONOXIDE DETECTORS SHALL BE LOCATED AND DESIGNED AS PER O.B.C.

12. SHOP DRAWINGS

12.1. SHOP DRAWINGS OF SPECIAL MATERIALS OR EQUIPMENT INDICATED ON PLANS SHALL BE SUBMITTED TO THE DESIGNER BY THE CONTRACTOR PRIOR TO CONSTRUCTION.

FOUNDATION NOTES

1. LATERALLY UNSUPPORTED FOUNDATION WALLS AS PER [B] 9.15.4.3 (1) SHALL BE REINFORCED (REINFORCING MUST BE DESIGNED BY P.ENG. OR OTHER SUITABLY QUALIFIED PERSON.)

2. FOUNDATION WALL OPENING REINFORCING REQUIREMENTS AS PER O.B.C. [B] 9.15.4.3 (3) (A) & (B),

   ALL OPENINGS MUST BE REINFORCED UNDER A DESIGN IN ACCORDANCE WITH PART 4 OF THE O.B.C. WHEN OPENINGS EXCEED THE FOLLOWING CONDITIONS:

   - ALL OPENINGS 1.2m OR WIDER IN WIDTH
   - FOR WALLS WHERE THE TOTAL WIDTH OF OPENINGS CONSTITUTES MORE THAN 25% OF THE TOTAL WIDTH OF THE WALL.

PART 4 STRUCTURAL DESIGN MUST BE PERFORMED BY P.ENG. (PEO) OR OTHER SUITABLY QUALIFIED PERSON.

CONTRACTOR'S NOTES

ALL INTERIOR DIMENSIONS ARE TO FACE OF STUDS UNLESS OTHERWISE NOTED.

ALL EXTERIOR DIMENSIONS ARE TO FACE OF FOUNDATION UNLESS OTHERWISE NOTED.

INTERIOR BASEMENT DIMENSIONS ARE TO FACE OF FOUNDATION AND LOAD BEARING WALLS ALL EXTERIOR WINDOW AND DOOR OPENINGS ARE ROUGH STUD OPENINGS (R.S.O.).

INTERIOR DOOR SIZES NOTED ARE DOOR LEAF SIZES. FOR ROUGH STUD OPENING ADD 3" TO WIDTH AND 2" TO HEIGHT.

CONTRACTOR TO VERIFY ALL DIMENSIONS BEFORE STARTING WORK.

CONTRACTOR TO PROVIDE SOUND ATTENUATION BATTS IN WALLS AROUND THE PERIMETER OF INTERIORS FOR WALL BATHROOMS AND WALLS BETWEEN BEDROOM AND LIVING SPACES AND AS DIRECTED BY HOME OWNER.

CONTRACTOR SHALL PROVIDE SOUND ATTENUATION BATTS IN THE CEILING ABOVE THE UTILITY ROOM IN THE BASEMENT.

PLAN NOTES

1. BLOCKING IN WALLS

1.1 WHERE INDICATED, BLOCKING IS TO BE INSTALLED BETWEEN OR AGAINST STUDS IN THE WALLS ADJACENT TO THE TOILET, SHOWER AND/OR BATHTUB TO SUPPORT FUTURE INSTALLATION OF GRAB BARS IN ACCORDANCE WITH O.B.C. 2012 [B] 9.5.2.3.

1.2 BLOCKING LOCATION IN WALLS TO BE IN ACCORDANCE WITH GRAB BAR REQUIREMENTS OF O.B.C. 2012 [B] 3.8.

2. POST SUPPORTING BEAMS

2.1 POST SIZES INDICATED ARE THE MINIMUM REQUIRED. SIZE OF POSTS CAN NOT BE REDUCED.

2.2 POSTS SHALL NOT BE CHANGED WITHOUT REVIEW BY THE DESIGNER PRIOR TO INSTALLATION.

3. SMOKE / CARBON MONOXIDE DETECTORS

3.1 LOCATIONS SHOWN IS FOR CONTEXT ONLY. CONTRACTOR TO CONFIRM EXACT LOCATIONS.

3.2 AT LEAST ONE SMOKE ALARM & CARBON MONOXIDE DETECTOR MUST BE LOCATED ON EVERY FLOOR.

3.3 ONE SMOKE ALARM SHALL INSTALLED IN EACH BEDROOM OR ROOM INTENDED FOR SLEEPING.

3.4 AT LEAST ONE ADDITIONAL UNIT INSTALLED BETWEEN SLEEPING ROOMS AND THE REMAINDER OF THE STOREY. IF THE SLEEPING ROOMS ARE SERVED BY A HALLWAY THAN THE ALARM SHALL BE INSTALLED IN THE HALLWAY.

4. PRE-ENGINEERED WOOD PRODUCTS

4.1 PRODUCTS TO BE SUPPLIED AS SPECIFIED ON DRAWINGS, NO SUBSTITUTIONS.

5. STRUCTURAL STEEL

5.1 ALL STRUCTURAL STEEL CONNECTIONS, BEARING, PLATES, ETC., SHALL BE DESIGNED BY THE STEEL FABRICATOR. GENERAL CONTRACTOR SHALL SUPPLY STRUCTURAL STEEL AND CONNECTION DESIGNS SEALED BY P.ENG (PEO).

SHOP DRAWINGS

PRE-ENGINEERED WOOD PRODUCTS SUCH AS ENGINEERED BEAMS, ROOF TRUSSES, LINTELS, & GIRDERS TO BE DESIGNED & ENGINEERED BY ENGINEERED WOOD PRODUCT MANUFACTURER.

TRUSS MANUFACTURER TO CONFIRM SIZING OF ALL BEAMS, GIRDERS AND LINTELS SUPPORTING ROOF TRUSSES. THIS SIZING SHALL BE CONFIRMED ON TRUSS MANUFACTURER'S SHOP DRAWINGS.

TRUSS SHOP DRAWINGS MUST BE SEALED BY P.ENG (PEO) AND SUBMITTED TO DESIGNER FOR REVIEW PRIOR TO CONSTRUCTION.

ALL PRODUCTS MANUFACTURED BY PROPRIETARY PRODUCT SUPPLIER'S SUCH AS RAILING SYSTEMS MUST BE ACCOMPANIED WITH PRODUCT LITERATURE ILLUSTRATING COMPLIANCE WITH APPLICABLE SB-T REQUIREMENTS. THIS LITERATURE MUST BE SUBMITTED WITH THE PERMIT DRAWING PACKAGE TO AVOID DELAY IN THE PROCESSING OF THE APPLICATION.

TYPICAL SLAB ASSEMBLY

TYPICAL BASEMENT FLOOR SLAB

4" CONC. SLAB 'N' CLASS (20 MPa)
OVER 15 MIL POLY VAPOUR BARRIER OVER
6" CLEAR STONE (3/4") COMPACTED.

TYPICAL GARAGE FLOOR SLAB

6" EXPOSURE CLASS N CONCRETE (25 MPa WITH NO AIR)
REINFORCED WITH 6X6X1/4 MWM
6" GRANULAR 'A' COMPACTED TO 100% SPMDD

EXTERIOR PORCH SLAB

6" 'C-2' CLASS CONCRETE
(32 MPa W/ 5-8% AIR ENTRAINMENT)
10M BAR @ 7 1/8" (200mm) O/C EACH WAY. PROVIDE MIN.
1 1/8" (30mm) COVER TO BOTTOM OF SLAB TO
UNDERSIDE OF FIRST LAYER OF BARS. SUPPORT ON
EDGES OF FOUNDATION WALL. PROVIDE 3" (75mm) MIN.
BEARING. SLAB TO BE SECURED TO FOUNDATION WITH
23 5/8" x 23 5/8" (600mm x600mm)BENT DOWELS
SPACED AT 23 5/8" (600mm O/C) MAX.

No.	REVISION	DATE
3	COORDINATED WITH PILE FOUNDATION DESIGN, ISSUED FOR LPRCA APPROVAL AND FOR BUILDING PERMIT APPLICATION	2022.05.19
2	ISSUED TO STRUCTURAL ENGINEER FOR PART 4 REVIEW	2021.04.30
1	ISUSED TO CLIENT FOR FINAL REVIEW	2021.03.29

All construction shall be carried out in accordance with these drawings.

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ISSUED FOR BUILDING PERMIT APPLICATION

MAY 19, 2022

STAMP

ONTARIO ASSOCIATION OF ARCHITECTS
PROFESSIONAL
DBB
2022.05.19
LICENSED TECHNOLOGIST OAA
DAVID B. BENNETT
LICENCE
7019

Engaged Custom Home Design

David B. Bennett
Licensed Technologist OAA
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22 Walpole Drive Jarvis Ontario N0A 1J0
Telephone : (519) 909-9246

Email: Dave@engageddesign.ca
Web Site: www.engageddesign.ca

PROJECT
NEW COTTAGE
For : Irene & Jeff Sidway

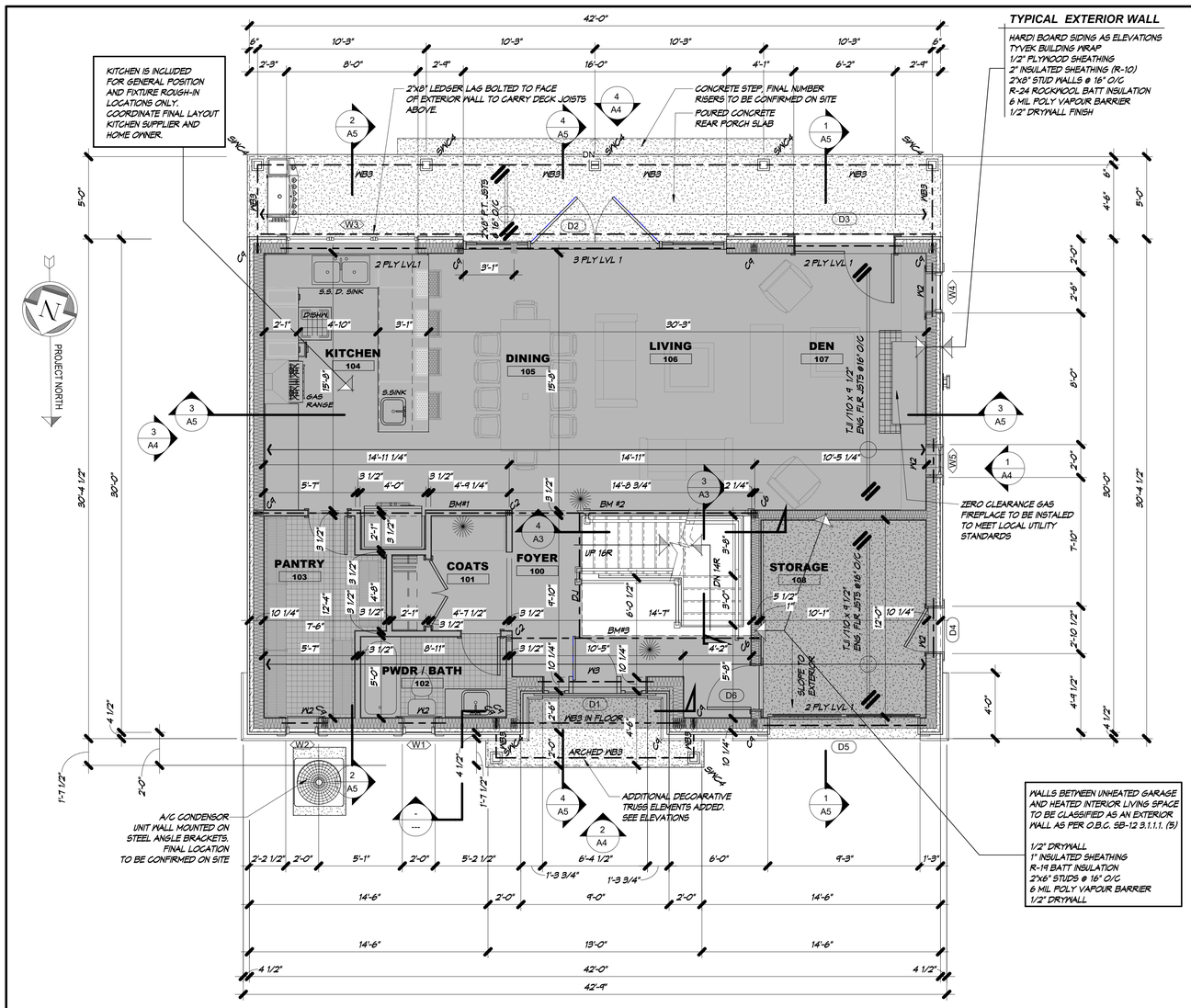
13 LAKESIDE LANE
PORT DOVER, ONTARIO
NORFOLK COUNTY

Drawing Title

PROPOSED FOUNDATION PLAN

Drawn By: D.BENNETT	Date: MARCH 2021
Designed By : D.B.	Drawing No. A1
Checked By : D.B.	
Project No. 21-005	

DATE LAST PLOTTED 2022-05-19 9:55:33 PM



2 / A2 *Main Floor Proposed Plan*

SCALE: 1/4" = 1'-0"

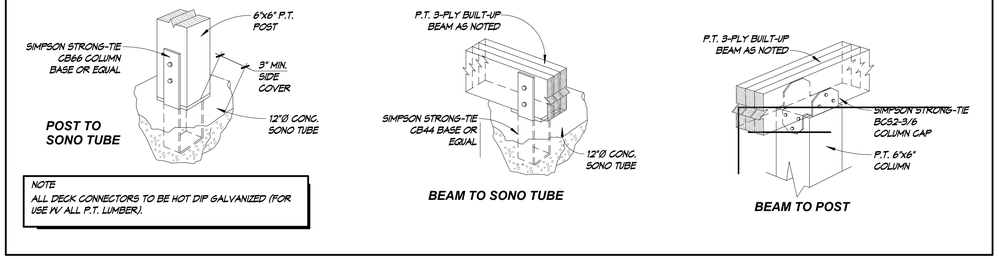
IMPORTANT NOTE - ENGINEERED PILE DESIGN

THIS BUILDING PROJECT IS TO BE SET ON AN ENGINEERED PILE FOUNDATION PREPARED BY G. DOUGLAS VALLEE LIMITED. ANY AND ALL REFERENCES TO THE PILE FOUNDATIONS INCLUDED IN THIS PACKAGE OF DRAWINGS IS TO BE CONSIDERED CONTEXT INFORMATION ONLY AND BE VERIFIED USING INFORMATION FOUND WITHIN THE ENGINEERED PILE DESIGN PACKAGE. ALL INQUIRIES RELATED TO THE PILE DESIGN MUST BE REFERRED TO THE ENGINEER OF RECORD FOR REVIEW AND FURTHER INSTRUCTION.

LEGEND

- INDICATES EXTENT OF INTERIOR BEARING WALLS
- INDICATES WEEPING TILE AROUND PERIMETER OF FOOTINGS
- THIS SYMBOL NEXT TO A COMPONENT IDENTIFIES AN ITEM REQUIRING O.B.C. PART 4 STRUCTURAL ANALYSIS STAMPED BY A P. ENG. (PEO).

REFER TO LETTER DATED MAY 04, 2021 AND REDLINE SET AS PREPARED BY G. DOUGLAS VALLEE LIMITED. COMPONENT LABELING NUMBERS REFEREED TO IN THE LETTER HAVE BEEN TRANSFERRED ONTO THIS SET FOR COORDINATED CROSS REFERENCING PURPOSES.



1 / A2 *TYPICAL PORCH CONNECTIONS*

SCALE: 3/4" = 1'-0"

GENERAL NOTES

1. DRAWING CONTENT AND DIMENSIONS

1.1. CONTENT OF DRAWINGS DOES NOT RELEASE CONTRACTOR FROM COMPLIANCE WITH THE ONTARIO BUILDING CODE 2012 (O.B.C.), MUNICIPAL BY-LAWS, AND ANY OTHER REGULATIONS OR AUTHORITIES THAT HAVE JURISDICTION.

1.2. DO NOT SCALE DRAWINGS.

1.3. REFER TO THE TITLE BLOCK OF EACH DRAWING FOR NOTES THAT ARE PARTICULAR TO THE PLANS AND DETAILS THEREIN.

1.4. ALL DIMENSIONS ARE RELATIVE TO THE COMPOSITION OF BUILDING ASSEMBLIES AS INDICATED. REFER TO THE TITLE BLOCK OF EACH DRAWING FOR NOTES.

1.5. ELEVATIONS AND CORRESPONDING DIMENSIONS ARE RELATIVE TO TOP OF SUB-FLOOR ONLY. CONTRACTOR IS RESPONSIBLE FOR SITE GRADING UNLESS OTHERWISE INDICATED ON PLANS.

1.6. CONTRACTOR SHALL REVIEW PLANS AND REPORT ANY DISCREPANCIES TO THE DESIGNER PRIOR TO CONSTRUCTION.

2. BUILDING SERVICES AND EQUIPMENT

2.1. CONTRACTOR SHALL DETERMINE EXACT LOCATION OF SERVICES AND EQUIPMENT. IF SHOWN ON PLANS, THESE LOCATIONS SHALL BE VERIFIED BY CONTRACTOR PRIOR TO CONSTRUCTION.

2.2. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE ALL NECESSARY DRAWINGS FOR MECHANICAL, ELECTRICAL AND PLUMBING SYSTEMS. THE DESIGN OF THESE SYSTEMS SHALL BE PREPARED BY A QUALIFIED DESIGNER IN ACCORDANCE WITH O.B.C. 2012.

3. EXTERIOR CLADDING

3.1. MATERIAL TO BE AS SPECIFIED. FINAL SIZE, COLOUR AND PATTERN TO BE DETERMINED BY CONSULTING THE OWNER.

4. WOOD MATERIALS

4.1. ALL LUMBER MATERIALS MUST BE No. 2 GRADE SPRUCE-PINE-FIR OR BETTER, OR AS SPECIFIED.

4.2. ALL ENGINEERED WOOD PRODUCTS TO BE SUPPLIED AS SPECIFIED, NO SUBSTITUTIONS.

5. WOOD AND STEEL LINTELS

5.1. ALL WOOD AND STEEL LINTEL SIZES INDICATED IN SCHEDULES ARE MINIMUM SIZES AS REQUIRED BY THE O.B.C. SEE STRUCTURAL SCHEDULES FOR FURTHER INFORMATION.

5.2 CORRESPONDING LINTELS ARE NOMINAL. ACTUAL DOOR AND WINDOW SIZES TO BE DETERMINED UPON SELECTION BY CONTRACTOR.

6. STEEL BEAMS

6.1. ALL STEEL BEAM SIZES INDICATED ARE MINIMUM SIZES AS REQUIRED BY THE O.B.C. SEE STRUCTURAL SCHEDULES FOR FURTHER INFORMATION.

7. STEEL POSTS

7.1. SHOP DRAWINGS FOR POSTS SUPPORTING LOADS GREATER THAN 8,000 LBS. (8 kip) SHALL BE SUBMITTED TO DESIGNER FOR REVIEW AND APPROVAL PRIOR TO CONSTRUCTION.

8. FLOOR SYSTEM

8.1. MINIMUM END BEARING FOR NOMINAL WOOD FLOOR JOISTS SHALL BE 1 1/2". MINIMUM BEARING FOR LINTELS OR BEAMS SHALL BE 3 1/2" UNLESS OTHERWISE NOTED.

8.2. MINIMUM BEARING LENGTH OF PRE-ENGINEERED FLOOR JOISTS SHALL MEET OR EXCEED MANUFACTURER'S SPECIFICATIONS.

8.3. SUB-FLOOR SHALL BE GLUED AND SCREWED TO ALL JOISTS TO REDUCE FLEX IN FLOOR SYSTEM.

8.4. ALL BLOCKING PANELS BETWEEN JOISTS SHALL BE SAME PRODUCT AS JOISTS.

8.5. POINT LOADS FROM ABOVE SHALL BE SOLID BLOCKED (SQUASH BLOCKS) TO BEARING BELOW. BLOCKING TO MAINTAIN WIDTH OF ABOVE POST AS A MINIMUM.

9. FLOOR FINISHES

9.1. DESIGNER HAS ASSUMED THE INSTALLATION OF STANDARD FINISH MATERIALS SUCH AS CARPET, LINOLEUM, OR HARDWOOD. FINISHES THAT EXERT ADDITIONAL LOADS SUCH AS CERAMIC TILE, STONE OR PORCELAIN TILE HAVE NOT BEEN ACCOUNTED FOR. REPORT THESE REVISED SELECTIONS TO THE DESIGNER FOR FURTHER INSTRUCTION.

10. DOORS AND WINDOWS

10.1. ROUGH STUD OPENINGS (R.S.O.) FOR EXTERIOR DOORS, WINDOWS, AND THEIR CORRESPONDING LINTELS ARE NOMINAL. ACTUAL DOOR AND WINDOW SIZES TO BE DETERMINED UPON SELECTION BY CONTRACTOR.

10.2. EXTERIOR DOORS TO BE INSULATED STEEL STANLEY OR EQUAL.

10.3. WINDOWS TO BE VIRGIN VINYL FRAMED DOUBLE GLAZED UNITS AS SPECIFIED BY OWNER.

11. SMOKE AND CARBON MONOXIDE DETECTORS

11.1. SMOKE AND CARBON MONOXIDE DETECTORS SHALL BE LOCATED AND DESIGNED AS PER O.B.C.

12. SHOP DRAWINGS

12.1. SHOP DRAWINGS OF SPECIAL MATERIALS OR EQUIPMENT INDICATED ON PLANS SHALL BE SUBMITTED TO THE DESIGNER BY THE CONTRACTOR PRIOR TO CONSTRUCTION.

FOUNDATION NOTES

1. LATERALLY UNSUPPORTED FOUNDATION WALLS AS PER [B] 4.1.5.4.3 (1) SHALL BE REINFORCED . (REINFORCING MUST BE DESIGNED BY P.ENG. OR OTHER SUITABLY QUALIFIED PERSON.)

2. FOUNDATION WALL OPENING REINFORCING REQUIREMENTS AS PER O.B.C. [B] 9.15.4.3 (3) (A) & (B),

ALL OPENINGS MUST BE REINFORCED UNDER A DESIGN IN ACCORDANCE WITH PART 4 OF THE O.B.C. WHEN OPENINGS EXCEED THE FOLLOWING CONDITIONS:

- ALL OPENINGS 1.2m OR WIDER IN WIDTH
- FOR WALLS WHERE THE TOTAL WIDTH OF OPENINGS CONSTITUTES MORE THAN 25% OF THE TOTAL WIDTH OF THE WALL.

PART 4 STRUCTURAL DESIGN MUST BE PERFORMED BY P.ENG. (PEO) OR OTHER SUITABLY QUALIFIED PERSON.

CONTRACTOR'S NOTES

ALL INTERIOR DIMENSIONS ARE TO FACE OF STUDS UNLESS OTHERWISE NOTED.

ALL EXTERIOR DIMENSIONS ARE TO FACE OF FOUNDATION UNLESS OTHERWISE NOTED.

INTERIOR BASEMENT DIMENSIONS ARE TO FACE OF FOUNDATION AND LOAD BEARING WALLS ALL EXTERIOR WINDOW AND DOOR OPENINGS ARE ROUGH STUD OPENINGS (R.S.O.).

INTERIOR DOOR SIZES NOTED ARE DOOR LEAF SIZES. FOR ROUGH STUD OPENING ADD 3" TO WIDTH AND 2" TO HEIGHT.

CONTRACTOR TO VERIFY ALL DIMENSIONS BEFORE STARTING WORK.

CONTRACTOR TO PROVIDE SOUND ATTENUATION BATTS IN WALLS AROUND THE PERIMETER OF INTERIORS FOR WALL BATHROOMS AND WALLS BETWEEN BEDROOM AND LIVING SPACES AND AS DIRECTED BY HOME OWNER.

CONTRACTOR SHALL PROVIDE SOUND ATTENUATION BATTS IN THE CEILING ABOVE THE UTILITY ROOM IN THE BASEMENT.

PLAN NOTES

1. BLOCKING IN WALLS

1.1 WHERE INDICATED, BLOCKING IS TO BE INSTALLED BETWEEN OR AGAINST STUDS IN THE WALLS ADJACENT TO THE TOILET, SHOWER AND/OR BATHTUB TO SUPPORT FUTURE INSTALLATION OF GRAB BARS IN ACCORDANCE WITH O.B.C. 2012 [B] 9.5.2.3.

1.2 BLOCKING LOCATION IN WALLS TO BE IN ACCORDANCE WITH GRAB BAR REQUIREMENTS OF O.B.C. 2012 [B] 3.8.

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4. PRE-ENGINEERED WOOD PRODUCTS

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5. STRUCTURAL STEEL

5.1 ALL STRUCTURAL STEEL CONNECTIONS, BEARING, PLATES, ETC., SHALL BE DESIGNED BY THE STEEL FABRICATOR. GENERAL CONTRACTOR SHALL SUPPLY STRUCTURAL STEEL AND CONNECTION DESIGNS SEALED BY P.ENG (PEO).

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TYPICAL SLAB ASSEMBLY

TYPICAL BASEMENT FLOOR SLAB

4" CONC. SLAB 'N' CLASS (20 MPa) OVER 15 MIL POLY VAPOUR BARRIER OVER 6" CLEAR STONE (3/4") COMPACTED.

TYPICAL GARAGE FLOOR SLAB

6" EXPOSURE CLASS N CONCRETE (25 MPa WITH NO AIR) REINFORCED WITH 6X6X1/4 WWM 6" GRANULAR "A" COMPACTED TO 100% SPMDD

EXTERIOR PORCH SLAB

6" 'C-2' CLASS CONCRETE (32 MPa W/ 5-8% AIR ENTRAINMENT) 10M BAR @ 1 7/8" (200mm) O/C EACH WAY. PROVIDE MIN. 1 1/8" (30mm) COVER TO BOTTOM OF SLAB TO UNDERSIDE OF FIRST LAYER OF BARS. SUPPORT ON EDGES OF FOUNDATION WALL. PROVIDE 3" (75mm) MIN. BEARING. SLAB TO BE SECURED TO FOUNDATION WITH 23 5/8" x 23 5/8" (600mm x600mm)BENT DONELS SPACED AT 23 5/8" (600mm O/C) MAX.

No.	REVISION	DATE
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ISSUED FOR BUILDING PERMIT APPLICATION

MAY 19, 2022

STAMP

ONTARIO ASSOCIATION OF ARCHITECTS — PROJECT NO. DBB 2022051 — LICENSED TECHNOLOGIST OAA — DAVID B. BENNETT LICENCE 7019

Engaged Custom Home Design

David B. Bennett

Licensed Technologist OAA
O.B.C. Qualified Design ; Small Buildings

22 Walpole Drive Jarvis Ontario N0A 1J0
Telephone : (519) 909-9246

Email: Dave@engageddesign.ca
Web Site: www.engageddesign.ca

PROJECT
NEW COTTAGE
For : Irene & Jeff Sidway

13 LAKESIDE LANE
PORT DOVER, ONTARIO
NORFOLK COUNTY

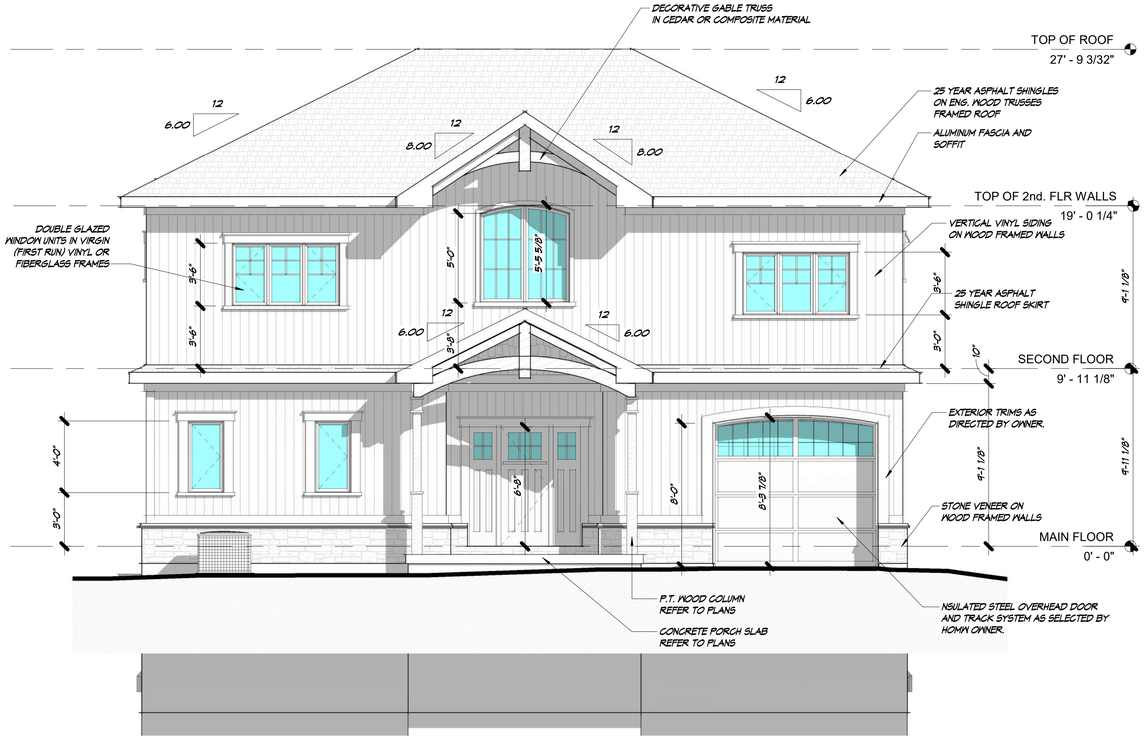
Drawing Title

DEMO AND PROPOSED MAIN FLOOR PLANS

Drawn By: D.BENNETT	Date: MARCH 2021
Designed By : D.B.	Drawing No. A2
Checked By : D.B.	
Project No. 21-005	

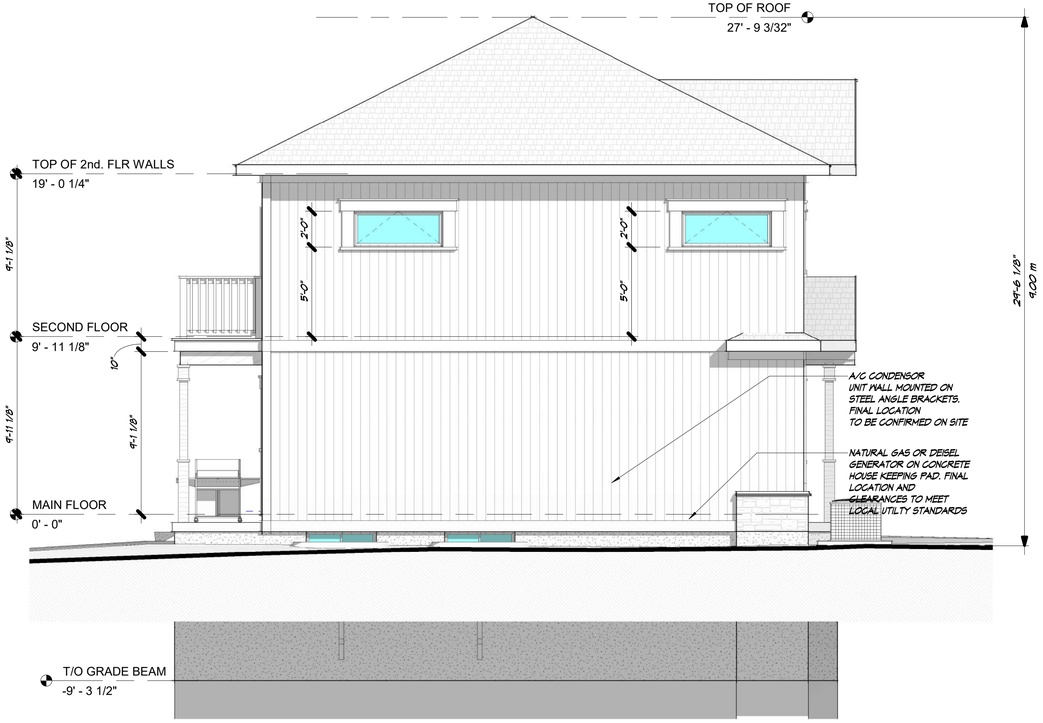
DATE LAST PLOTTED 2022-05-19 3:55:37 PM

42'-0"
GUARD TO MEET SB-7
@C 3'-6" ABOVE DECK
SURFACE
2
A5
4
A5
4
A4
8'-0"
5'-0"
5'-0"
2'-8"
12'-2 1/2"
2'-8 1/2"
12'-2 1/2"
2'-0 1/2"
D45
D48



2 A4 *NORTH ELEVATION -PROPOSED*

SCALE: 1/4" = 1'-0"



3 A4 *WEST ELEVATION -PROPOSED*

SCALE: 1/4" = 1'-0"

IMPORTANT NOTE - ENGINEERED PILE DESIGN

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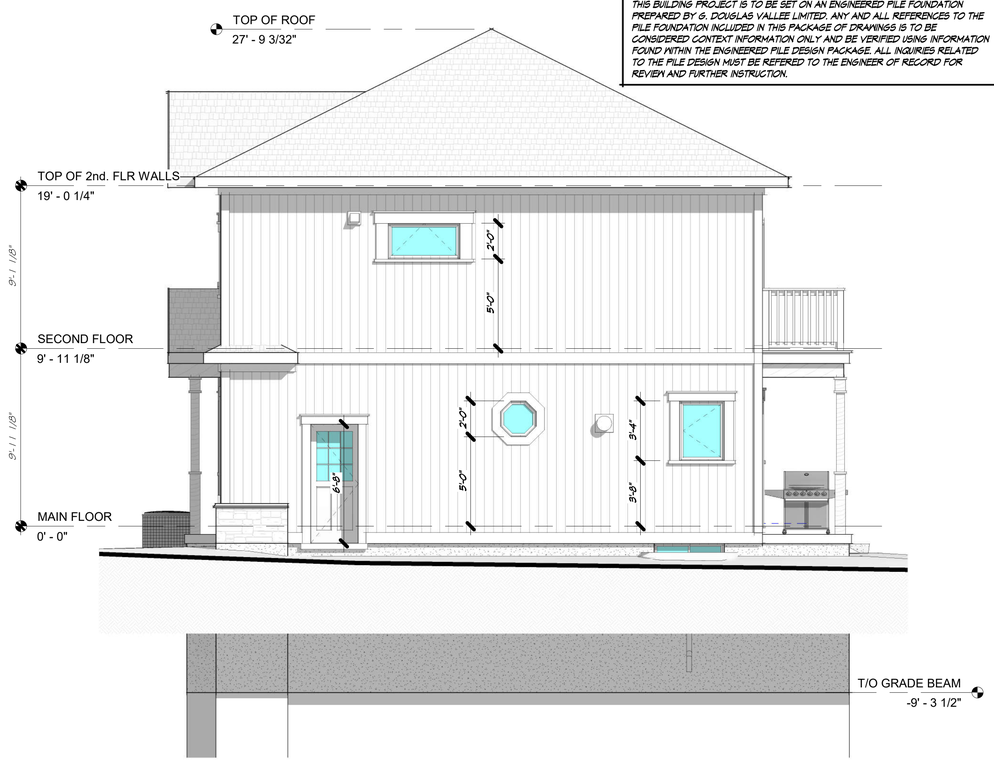

1 A4 *EAST ELEVATION - PROPOSED*

SCALE: 1/4" = 1'-0"

4 A4 *SOUTH ELEVATION - PROPOSED*

SCALE: 1/4" = 1'-0"

DATE LAST PLOTTED 2022-05-19 3:56:15 PM

No.	REVISION	DATE
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ISSUED FOR BUILDING PERMIT APPLICATION

MAY 19, 2022

STAMP

ONTARIO ASSOCIATION OF ARCHITECTS
PROJECT # 14975
DBB
2022.05.19
LICENSED TECHNOLOGIST OAA
DAVID B. BENNETT
LICENCE 7019

Engaged Custom Home Design

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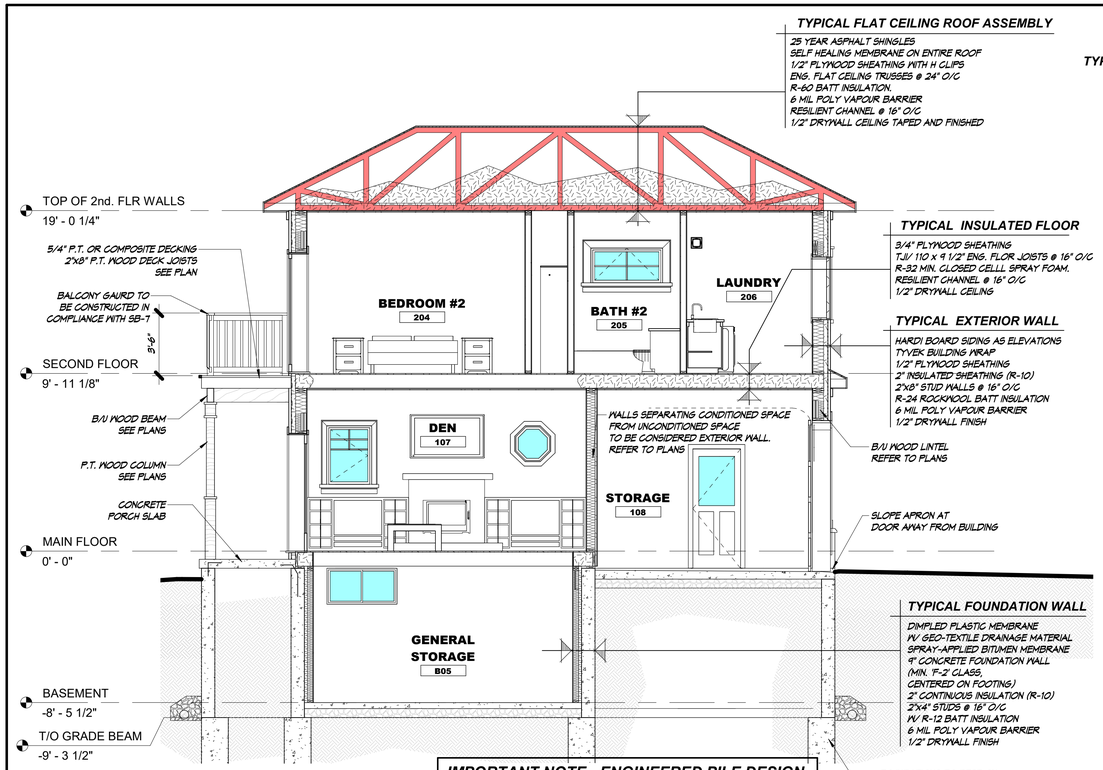
PROJECT
NEW COTTAGE
For : Irene & Jeff Sidway

13 LAKESIDE LANE
PORT DOVER, ONTARIO
NORFOLK COUNTY

Drawing Title

BUILDING ELEVATIONS

Drawn By: D.BENNETT	Date: MARCH 2021
Designed By : D.B.	Drawing No. A4
Checked By : D.B.	
Project No. 21-005	



1 / A5 SECTION THRU SECOND BEDROOM

SCALE: 1/4" = 1'-0"

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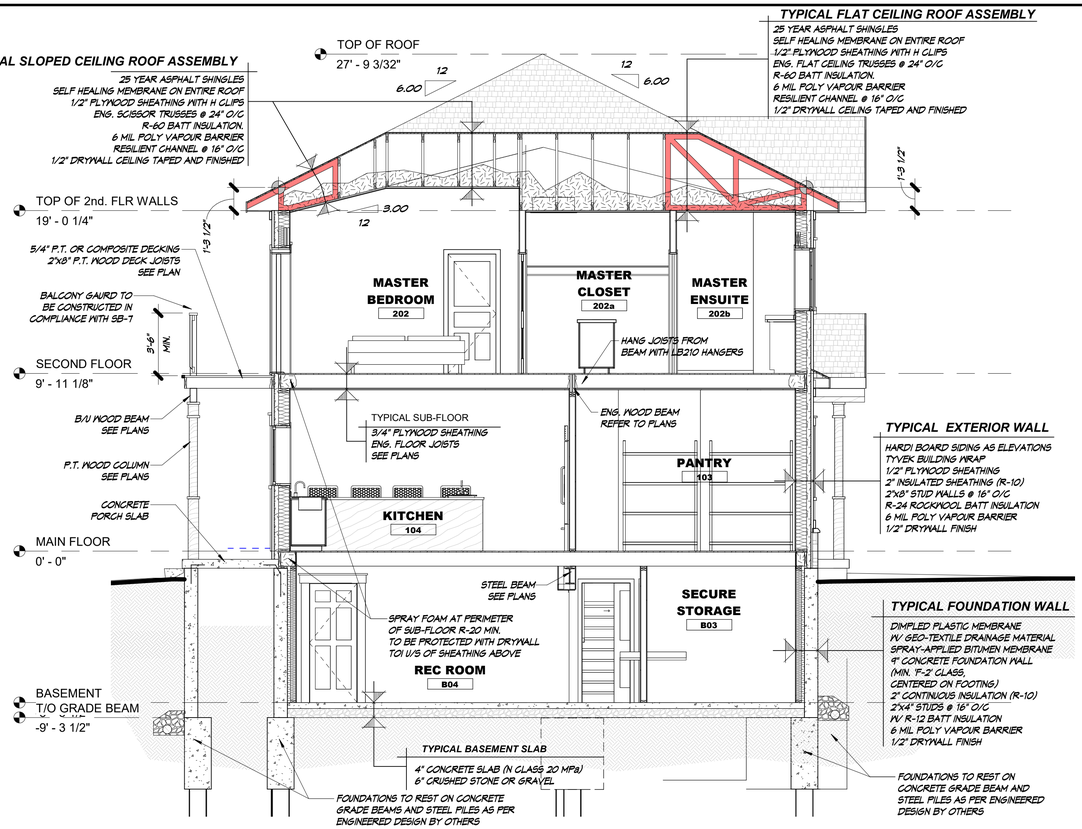
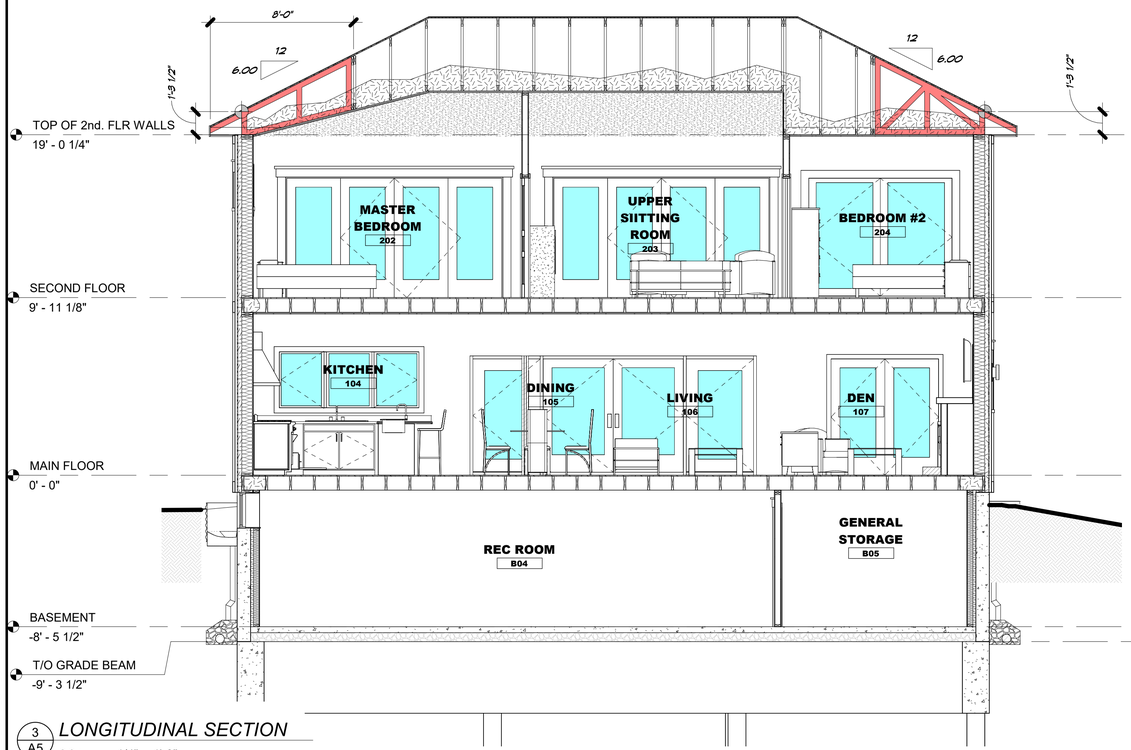


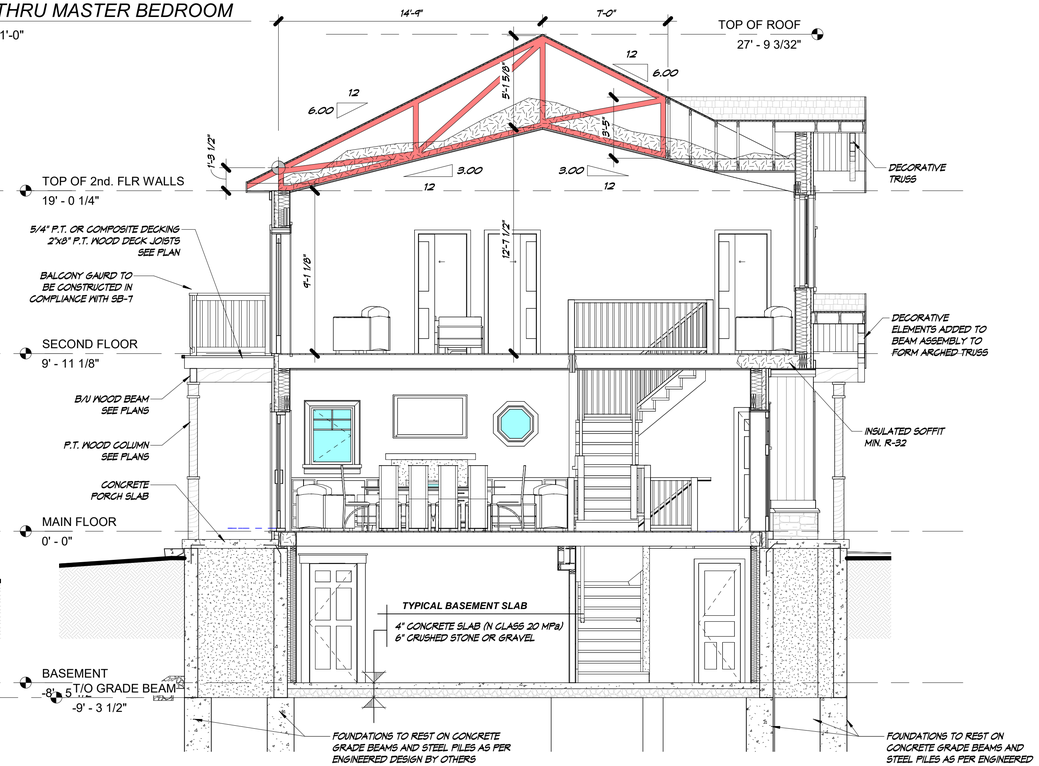
2 / A5 SECTION THRU MASTER BEDROOM

SCALE: 1/4" = 1'-0"



3 / A5 LONGITUDINAL SECTION

SCALE: 1/4" = 1'-0"



4 / A5 SECTION THRU LIVING ROOM / ENTRY

SCALE: 1/4" = 1'-0"

DATE LAST PLOTTED 2022-05-19 3:56:27 PM

No.	REVISION	DATE
3	COORDINATED WITH PILE FOUNDATION DESIGN, ISSUED FOR LPRCA APPROVAL AND FOR BUILDING PERMIT APPLICATION	2022.05.19
2	ISSUED TO STRUCTURAL ENGINEER FOR PART 4 REVIEW	2021.04.30
1	ISUSED TO CLIENT FOR FINAL REVIEW	2021.03.29

All construction shall be carried out in accordance with these drawings.

Any deviations, alterations or changes from the design intent shall be reported by the contractor to the designer prior to implementation of the change. The requested change shall then be reviewed by the designer who will in turn issue additional documentation supporting the change to the building department and owner for approval. Only after the contractor has received approval from the building department regarding said change may construction of the affected area continue. Changes involving adjustments in construction cost must be approved by the owner prior to implementation.

ISSUED FOR BUILDING PERMIT APPLICATION

MAY 19, 2022

STAMP

ONTARIO ASSOCIATION OF ARCHITECTS
PROJECT # 21-005
DBB
2022.05.19
LICENSED TECHNOLOGIST OAA
DAVID B. BENNETT
LICENCE 7019

Engaged Custom Home Design

David B. Bennett
Licensed Technologist OAA
O.B.C. Qualified Design ; Small Buildings

22 Walpole Drive Jarvis Ontario N0A 1J0
Telephone : (519) 909-9246

Email: Dave@engageddesign.ca
Web Site: www.engageddesign.ca

PROJECT
NEW COTTAGE
For : Irene & Jeff Sidway

13 LAKESIDE LANE
PORT DOVER, ONTARIO
NORFOLK COUNTY

Drawing Title
BUILDING SECTIONS

Drawn By: D.BENNETT	Date: MARCH 2021
Designed By : D.B.	Drawing No. A5
Checked By : D.B.	
Project No. 21-005	

GENERAL STRUCTURAL NOTES

1. THIS DESIGN HAS BEEN PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE ONTARIO BUILDING CODE LATEST EDITION.

2. ALL PRE-ENGINEERED, PREFABRICATED BUILDING SYSTEMS AND COMPONENTS SHALL BE DESIGNED BY P.ENG. (PEO) AND CONFIRMED ON SEALED SHOP DRAWINGS TO BE SUBMITTED TO CONSULTANT FOR REVIEW. THE CONSULTANT SHALL NOT ASSUME RESPONSIBILITY FOR SUCH COMPONENTS OR SYSTEMS THAT ARE DESIGNED BY OTHERS.

3. UNLESS SPECIFICALLY NOTED OTHERWISE ON THE DRAWINGS, NO PROVISIONS HAVE BEEN MADE IN THE DESIGN FOR TEMPORARY CONDITIONS OCCURRING DURING CONSTRUCTION. THE CONTRACTOR SHALL PROVIDE ALL NECESSARY BRACING AND SHORING REQUIRED FOR THE STRESSES & INSTABILITY OCCURRING FROM ANY CAUSE DURING CONSTRUCTION. THE CONTRACTOR SHALL ACCEPT ALL RESPONSIBILITY FOR ALL SUCH MEASURES. IT SHALL ALSO BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE ALL NECESSARY BRACING, SHORING, SHEET PILING OR STRUCTURES AFFECTED BY THIS WORK.

4. REFER TO PROJECT SPECIFICATIONS FOR FURTHER DETAIL ON ALL ASPECTS OF CONSTRUCTION.

5. DIMENSIONS PROVIDED ON DRAWINGS MUST BE CHECKED AND VERIFIED WITH ALL OTHER DRAWINGS. WHERE DISCREPANCIES ARE DISCOVERED, THESE SHALL BE REPORTED TO THE PROJECT CONSULTANT FOR RESOLUTION PRIOR TO PROCEEDING WITH THE AFFECTED WORK.

6. THESE DRAWINGS ARE TO BE COORDINATED AND READ IN CONJUNCTION WITH THE ARCHITECTURAL, MECHANICAL AND ELECTRICAL DRAWINGS.

7. ALL WORK IS TO BE PERFORMED IN ACCORDANCE WITH THE OCCUPATIONAL HEALTH AND SAFETY ACT AND REGULATIONS FOR CONSTRUCTION PROJECTS - O.REG.213.

8. WHERE THERE IS A CONFLICT IN THE SPECIFICATIONS AND/OR DRAWINGS THE MORE STRINGENT SHALL APPLY UNLESS APPROVED OTHERWISE IN WRITING BY THE PROJECT ENGINEER.

9. DO NOT SCALE THE DRAWINGS.

DESIGN LOADS

1. LOCATION

NANTICOKE (PORT DOVER), ONTARIO

2. ROOF DEAD LOAD = 1.0 kPa

3. FLOOR DEAD LOADS:
MAIN FLOOR DEAD LOAD = 1.0 kPa
SECOND FLOOR DEAD LOAD = 1.0 kPa

4. LIVE (OCCUPANCY-OBC TABLE 4.1.5.3)

LOCATION	SPECIFIED LOAD (kPa)
ROOF	1.0
BASEMENT (RESIDENTIAL)	
MAIN FLOOR (RESIDENTIAL)	1.9
SECOND FLOOR (RESIDENTIAL)	1.9

5. SNOW (OBC CL. 4.1.6)

Ss = 0.4kPa
Sr = 1.2kPa
Is = 1.00 (NORMAL)
Cb = 0.8
Cw = 1.0
Cs = 1.0
Ca = 1.0 FOR FLAT ROOF
S = Is [Ss (CbCwCsCa) + Sr] = 1.36 kPa

FOUNDATIONS

1. DEEP FOUNDATION PILES BEARING ON BEDROCK. REFER TO GEOTECHNICAL REPORT PREPARED BY PETO MACCALLUM LTD. (16HF037 APRIL 2017) PROVIDED.

2. ENGINEER TO BE PRESENT DURING PILE INSTALLATION TO CONFIRM LOCATION AND BEARING ON BEDROCK.

3. ALL FOUNDATION DESIGNS MAY BE SUBJECT TO CHANGE BASED ON UNFORSEEN SOIL CONDITIONS. ALL FOUNDING SOILS SHALL BE INSPECTED BY GEOTECHNICAL ENGINEER PRIOR TO FOUNDATION INSTALLATION.

4. GEOTECHNICAL ENGINEER MUST BE PRESENT DURING EXCAVATION AND ENGINEERED FILL CONSTRUCTION IN ORDER TO VERIFY COMPACTION AND SOIL BEARING CAPACITY.

5. REFER TO GEOTECHNICAL REPORT FOR CONSTRUCTION GUIDANCE REGARDING ENGINEERED FILL AND DEWATERING.

6. ALL DEWATERING TO BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.

7. SOIL CONDITIONS, REINFORCING STEEL AND FORMWORK SHALL BE INSPECTED BY THE ENGINEER BEFORE POURING CONCRETE. CONTRACTOR SHALL GIVE ENGINEER A MINIMUM 24 HOURS NOTICE TO CARRY OUT INSPECTION.

8. THE LINE OF SLOPE BETWEEN ADJACENT FOOTING OR EXCAVATIONS SHALL NOT EXCEED A RISE OF 1 IN A RUN OF 10 UNLESS APPROVED BY THE GEOTECHNICAL ENGINEER.

9. DO NOT BACKFILL AGAINST FOUNDATION WALLS UNTIL LATERAL SUPPORTING FLOORS HAVE BEEN CONSTRUCTED, UNLESS BRACING DETAILS ARE SUBMITTED. WHERE POSSIBLE BACKFILL BOTH SIDES OF WALLS SIMULTANEOUSLY FOR BURIED FOUNDATIONS.

10. FOOTINGS SUBJECT TO FROST ACTION SHOULD BE PROVIDED WITH 1200mm OF EARTH COVER OR EQUIVALENT THERMAL INSULATION. A 25mm THICK LAYER OF POLYESTERENE INSULATION IS THERMALLY EQUIVALENT TO 600mm OF SOIL COVER.

STRUCTURAL STEEL

1. DESIGN & CONSTRUCTION CODES/STANDARDS:

CAN/CSA S16-01	LIMIT STATES DESIGN OF STEEL STRUCTURES
CAN/CSA G40.20/G40.21	STRUCTURAL QUALITY STEEL
CAN/CSA G30.18	BILLET-STEEL BARS FOR CONCRETE REINFORCEMENT
CAN/CSA W186	WELDING OF REINFORCING BARS IN CONCRETE CONSTRUCTION
CAN/CSA W59	WELDED STEEL CONSTRUCTION

2. STRUCTURAL STEEL SHALL CONFORM TO CSA G40.21 GRADE 350W (CLASS H FOR HOLLOW STRUCTURAL SECTION-HSS) WITH ONE SHOP COAT AND FIELD TOUCH-UP OF ZINC CHROMATE PRIMER, CONFORMING TO CISC/CPMA STANDARD 1-73A OR 2-75, IT SHALL BE PAINTED TO OWNERS SPECIFICATION.

3. E480XX (E70XX) ELECTRODES TO BE USED FOR ALL WELDING.

4. ALL STEEL CONNECTIONS TO BE DESIGNED BY THE STEEL FABRICATOR USING THE SUPPLIED FACTORED DESIGN LOADS. WHEN DESIGN LOADS ARE NOT PROVIDED, THE MEMBER SHALL BE ASSUMED TO BE SIMPLY - SUPPORTED WITH ALL CONNECTIONS DESIGNED AS PER THE STANDARD CISC MANUAL PRACTICES.

5. SUBMIT SHOP DRAWINGS, INCLUDING CONNECTIONS DETAILS AND LOCATIONS OF ALL SPLICES FOR REVIEW BEFORE PROCEEDING WITH FABRICATION. ALL SHOP DRAWINGS SHALL BE SEALED BY A PROFESSIONAL ENGINEER LICENSED IN THE PROVINCE OF ONTARIO.

CONCRETE

1. DESIGN & CONSTRUCTION CODES/STANDARDS

CAN/CSA A23.1	CONCRETE MATERIALS & METHODS OF CONCRETE CONSTRUCTION
CAN/CSA A23.2	METHODS OF TEST & STANDARD PRACTICES FOR CONCRETE
CAN/CSA A23.3	DESIGN OF CONCRETE STRUCTURES
CAN/CSA A23.4	PRE-CAST CONCRETE

2. ALL CONCRETE SHALL HAVE A 28-DAY COMPRESSIVE STRENGTH OF 25 MPa MINIMUM AND EXPOSURE CLASS OF TYPE 'N' UNLESS OTHERWISE SPECIFIED. CONCRETE MIX DESIGNS SHALL BE SUBMITTED FOR REVIEW PRIOR TO CONSTRUCTION.

3. THE CONCRETE EXPOSURE CLASS AND 28-DAY COMPRESSIVE STRENGTH FOR EACH STRUCTURAL ELEMENT SHALL BE AS FOLLOWS, UNLESS OTHERWISE NOTED:

	EXPOSURE CLASS	28-DAY COMPRESSIVE STRENGTH
FOOTINGS	N	25 MPa
FOUNDATION WALLS AND COLUMNS (EXTERIOR)	F-2	25 MPa
FOUNDATION WALLS AND COLUMNS (INTERIOR)	N	25 MPa
INTERIOR FLOOR SLABS	N	25 MPa
REINFORCED WALLS AND SLABS	C-1	35 MPa
EXTERIOR SLABS	C-2	32 MPa

4. REINFORCEMENT SHALL BE DEFORMED BARS AND CONFORM TO CAN/CSA G30.18, GRADE 400MPa.

5. REINFORCING STEEL SHALL BE DETAILED, BENT, PLACED AND SUPPORTED TO CONFORM TO ACI STANDARDS 315 AND THE MANUAL OF STANDARD PRACTICE PUBLISHED BY THE REINFORCING STEEL INSTITUTE OF ONTARIO.

6. WELDING OF REINFORCING STEEL SHALL NOT BE PERMITTED.

7. MINIMUM REINFORCEMENT LAP LENGTHS:

BAR SIZE	MIN. SPLICE LAP LENGTH
10M	400mm
15M	600mm
20M	900mm
25M	1300mm

8. ALL REINFORCEMENT LAPS TO BE "CLASS B" UNLESS OTHERWISE DIRECTED BY THE ENGINEER.

9. CONCRETE SLABS-ON-GRADE TO BE REINFORCED WITH WELDED WIRE MESH REINFORCING IN ADDITION TO THE SPECIFIED REINFORCEMENT, UNLESS OTHERWISE NOTED.

10. REINFORCEMENT SPACING SHOWN ON DRAWINGS TO BE A MAXIMUM. ENSURE MINIMUM 1-15M TOP AND BOTTOM CONTINUOUS AT ALL SLAB EDGES BY ADJUSTING BAR LENGTH OR PROVIDING ADDITIONAL TOP/BOTTOM EDGE BARS AS REQUIRED.

11. PROVIDE CHAIRS, SPACER BARS, SUPPORT BARS AND OTHER ACCESSORIES TO SUPPORT REINFORCING IN ACCORDANCE WITH THE LATEST EDITIONS OF CSA A23.1 AND A23.3. CHAIRS TO BE PLASTIC, PLASTIC TIPPED OR CONCRETE. ALL TIE WIRE, CHAIRS AND BAR SUPPORTS USED FOR COATED REINFORCING SHALL BE NON-METALLIC OR PROTECTED WITH AN ACCEPTABLE COATING. CHAIRS SHALL BE SPACED AT 1200mm O.C. MAXIMUM.

12. ALL REINFORCING STEEL FABRICATION AND PLACEMENT DRAWINGS SHALL BE SUBMITTED TO THE ENGINEER FOR REVIEW BEFORE FABRICATION.

13. CONCRETE COVER FOR REINFORCEMENT SHALL CONFORM TO CSA STANDARD A23.1, AS FOLLOWS, UNLESS OTHERWISE NOTED.

	EXPOSED TO WEATHER	NOT EXPOSED TO WEATHER
CAST AGAINST EARTH	75 mm +/- 12mm (3" +/- 1/2")	75 mm +/- 12mm (3" +/- 1/2")
BEAMS, SLABS, WALLS, AND COLUMNS	50 mm +/- 12mm (2" +/- 1/2")	40 mm +/- 12mm (1-1/2" +/- 1/2")

14. SLAB-ON-GRADE TO BE PLACED ON COMPACT GRANULAR MATERIAL. COMPACTION TESTS ON FILL MATERIAL TO BE CARRIED OUT PRIOR TO SLAB-ON-GRADE PLACEMENT.

15. PROVIDE 10mm ASPHALT IMPREGNATED FIBRE BOARD AND CAULKING AROUND ALL COLUMNS AND ALONG ALL WALLS.

16. PROVIDE CHAMFERS, REGLETS, RIVETS, REVEALS, RECESSES AND THE LIKE AS SHOWN ON THE ARCHITECTURAL AND/OR STRUCTURAL DRAWINGS.

17. ALL CONCRETE FORMS TO BE WETTED THOROUGHLY BEFORE POURING CONCRETE.

18. MAINTAIN MINIMUM SPECIFIED THICKNESS AT ALL DEPRESSIONS AND CHANGES IN ELEVATIONS. REFER TO ARCHITECTURAL AND STRUCTURAL DRAWINGS FOR EXTENT AND LOCATIONS OF ALL FINISHES AND DEPRESSIONS.

19. DO NOT ADD WATER TO CONCRETE ON SITE UNLESS WRITTEN APPROVAL IS GIVEN BY THE ENGINEER. IF HIGHER SLUMP CONCRETE IS DESIRED, CONCRETE SUPPLIER SHALL DESIGN AND SUPPLY ACCORDINGLY.

20. SLOPE ALL FLOORS AS SHOWN ON ARCHITECTURAL OR MECHANICAL DRAWINGS. FLOOR DRAINS TO SLOPE 1% MIN. IN THE DIRECTION OF ALL FLOOR DRAINS TYP.

21. REFER TO ARCHITECTURAL DRAWINGS AND SPECIFICATIONS FOR REQUIRED FINISH TO EXPOSED CONCRETE. FLOOR FINISHES SHALL CONFORM TO CSA STANDARD A23.1 CLASS A FINISH UNLESS OTHERWISE NOTED.

22. ALL REQUIRED OPENINGS SHALL BE SLEEVED OR FORMED PRIOR TO PLACING CONCRETE. CORING OR SAW CUTTING FOR OPENINGS AFTER CASTING SHALL NOT BE PERMITTED AS AN ALTERNATE METHOD OF PROVIDING OPENINGS. ALL DRAINS SHALL BE SET PRIOR TO CONCRETE PLACING.

23. FOR OPENINGS GREATER THAN 300mmX300mm (12"X12") REINFORCE AROUND THE OPENING IN ACCORDANCE WITH THE TYPICAL DETAILS UNLESS OTHERWISE NOTED.

24. CURING

REINFORCED CONCRETE ELEMENTS TO BE WET-CURED AS PER ACI 308 AND THE DURATIONS SPECIFIED BELOW UNLESS DIRECTED OTHERWISE BY THE ENGINEER.

CONCRETE SLABS: 7 DAYS MINIMUM
EXPOSED CONCRETE WALLS: 4 DAYS MINIMUM

25. ALL HONEYCOMBING SHALL BE CUT OUT AND FILLED TO THE SATISFACTION OF THE ENGINEER.

26. PROVIDE SAWCUTS WITHIN 24 HOURS OF FINISHING AT LOCATIONS SHOWN ON DRAWINGS. SAWCUT DEPTH TO BE 1/4 OF SLAB THICKNESS. SAWCUT AS CLOSE TO COLUMNS OR WALLS AS PRACTICAL. FILL SAWCUTS WITH NON-METALLIC JOINT FILLER (STERNSON LOADFLEX OR EQUAL).

27. SPACING OF SAW-CUT CONTROL JOINTS IN CONCRETE SLABS SHALL NOT EXCEED 4.5m (14'-6") O.C.

28. SUBMIT PROPOSED SAW-CUT CONTROL JOINT LOCATION TO THE ENGINEER FOR APPROVAL UNLESS SHOWN ON DRAWINGS.

29. OPENINGS AND DRIVEN FASTENERS REQUIRED IN THE CONCRETE AFTER THE CONCRETE IS PLACED, SHALL BE APPROVED BY THE ENGINEER BEFORE PROCEEDING.

30. NON-SHRINK GROUT SHALL BE AN APPROVED PREMIXED PROPRIETARY PRODUCT.

31. DRY-PACKED GROUT SHALL BE 1 PART PORTLAND CEMENT TO 1.5 PARTS OF SAND TO 2 PARTS OF 9mm PEA GRAVEL WITH ONLY SUFFICIENT WATER TO DAMPEN THE MIXTURE. COMPRESSIVE STRENGTH SHALL BE 30MPa AT 28 DAYS.

NO.	DATE	ISSUANCE
1	2021.05.04	ISSUED FOR BUILDING PERMIT APPLICATION
NO.	DATE	ISSUANCE

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2 TALBOT STREET NORTH
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(519) 426-6270

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LICENSED PROFESSIONAL ENGINEER
B. D. BUCHWALD
100090994
PROVINCE OF ONTARIO

PROJECT TITLE:
SIDWAY COTTAGE

13 LAKESIDE LANE,
PORT DOVER, ONTARIO
N0A 1N2

DRAWING TITLE:
STRUCTURAL GENERAL NOTES

CHECKED BY:	DRAWN BY:
B.B.	B.L.H.
DRAWING SCALE: 1 : 50	DRAWING NO.: S000
PROJECT NO.: 21-044	

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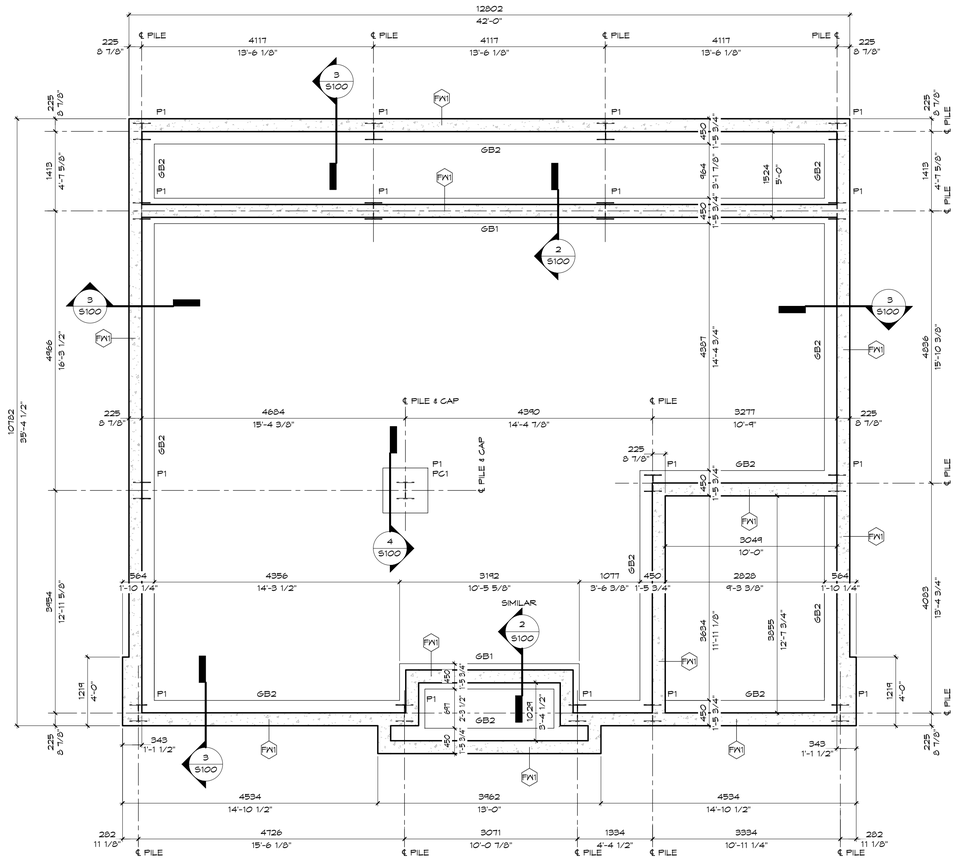
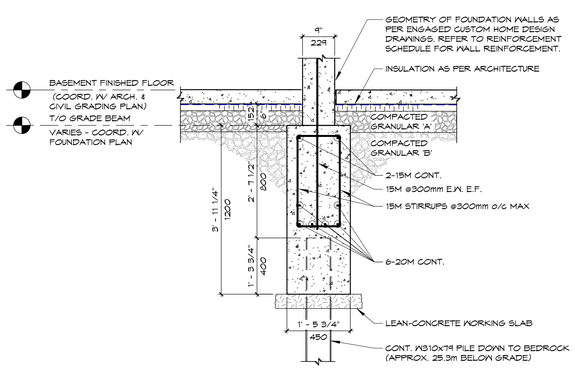
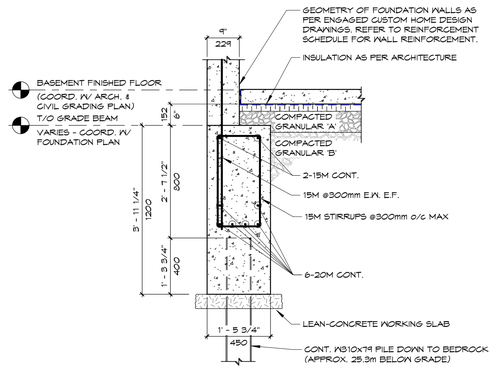


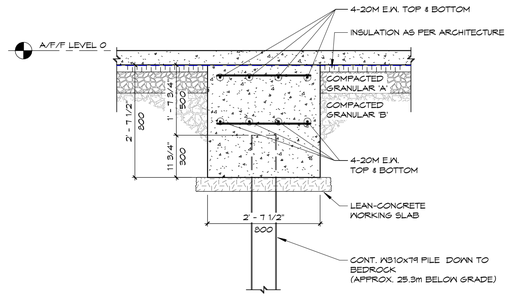
1 S100 FOUNDATION PLAN
SCALE 1 : 50



2 S100 TYPICAL INTERIOR GRADE BEAM (GB1)
SCALE 1 : 20



3 S100 TYPICAL EXTERIOR GRADE BEAM (GB2)
SCALE 1 : 20



4 S100 TYPICAL PILE CAP
SCALE 1 : 20

GRADE BEAM SCHEDULE

MARK	DESCRIPTION
GB1	450mm (17 3/4") WIDE x 1200mm (4') DEEP GRADE BEAM C/W REBAR AS DETAILED
GB2	450mm (17 3/4") WIDE x 1200mm (4') DEEP GRADE BEAM C/W REBAR AS DETAILED

NOTES:
- ALL INT. GRADE BEAMS ARE TYPE **GB1** U/N/O
- ALL EXT. GRADE BEAMS ARE TYPE **GB2** U/N/O
- WHERE REINFORCEMENT OF THE FOUNDATION WALLS IS REQUIRED, ALL RE-BAR SHALL BE DOWELED INTO GRADE BEAMS MIN. 600mm (2') EMBEDMENT, (2'-0" LAP LENGTH FOR TIE-IN DOWELS)

PILE SCHEDULE

MARK	DESCRIPTION
P1	W310x79 DRIVEN TO REFUSAL AT BEDROCK

PILE CAP SCHEDULE

MARK	DESCRIPTION
PC1	800mm x 800mm x 800mm DEEP PILE CAP C/W REBAR AS DETAILED

FOUNDATION WALL REINFORCING SCHEDULE

MARK	WALL TYPE	HORIZONTAL	VERTICAL
FW1	229mm (9") CONCRETE WALL	15M @ 300mm O/C E.W.	15M @ 300mm O/C (AT CENTER)

NOTES:
1. 75mm (3") COVER AT EXTERIOR CONDITIONS, 50mm (2") COVER AT INTERIOR CONDITIONS

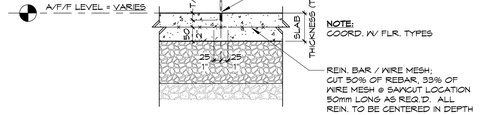
FOUNDATION NOTES

- FOUNDATION PLAN TO BE USED FOR THE GRADE BEAM DESIGN ONLY, IN LIEU OF THE STRIP FOOTINGS SHOWN ON THE DRAWINGS PROVIDED BY ENGAGED CUSTOM HOME DESIGN.
- ALL ELEVATIONS FOR FOUNDATION WALLS AND TOP OF GRADE BEAMS TO BE AS PER THE DRAWINGS PROVIDED BY ENGAGED CUSTOM HOME DESIGN.
- ALL FOUNDATION WALLS, FLOOR SLABS AND FRAMING TO BE AS PER THE DRAWINGS PROVIDED BY ENGAGED CUSTOM HOME DESIGN.

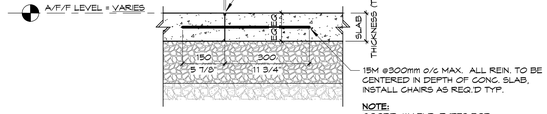
FOUNDATION LEGEND

GB#	GRADE BEAM TAG & IDENTIFICATION (COORD. W/ GRADE BEAM SCH.)
P#	STEEL H-PILE TAG & IDENTIFICATION (COORD. W/ PILE SCH.)
PC#	CONC. PILE CAP TAG & IDENTIFICATION (COORD. W/ PILE CAP SCH.)
FW#	FOUNDATION WALL TAG & IDENTIFICATION (COORD. W/ FDTN. SCH.)

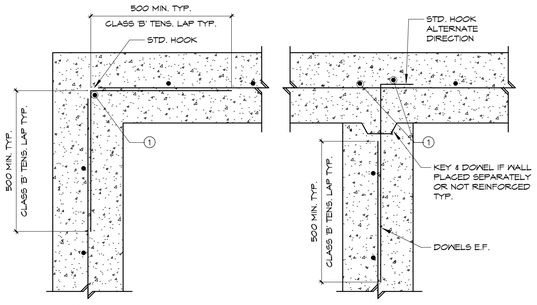
GENERAL NOTES:
- REFERENCE - FIN. FLR. ELEV. OF LEVEL 1 IS **0000**
- TOP OF ALL INT. FTG.'S ARE 1200mm MIN. BELOW FIN. FLR. U/N/O. INT. FTG.'S ARE TO BE STEPPED DOWN TO EXT. FTG.'S WHERE APPLICABLE
- GRADE BEAM THICKNESS(ES) SHOWN ARE MIN. ALL SIDES OF FTG.'S ARE TO BE PROPERLY FORMED TO PREVENT OUTWARD FLOW OF CONC. BELOW FORMWORK.
- ALL SLABS ON GRADE SHALL BE AS PER, FLR. TYPES ON: GRANULAR 'A' 150mm THICK COMPACTED TO 100% SPMDD, GRANULAR 'B' BACKFILL AT ALL HARD SURFACES COMPACTED TO 100% SPMDD, ON UNDISTURBED NATIVE SOIL / ENG.'D FILL (COORD. W/ ARCH. FOR UNDER SLAB INSUL. LOCATIONS)
- INSTALL SAWCUT CONTROL JOINTS IN CONC. S/O/G @4500mm MAX. SPACING U/N/O; COORD. W/ TYP. SAW CUT CONTROL JOINT DETAIL; SAW CUTS TO BE PROVIDED @ ALL DOOR OPENINGS
- INSTALL SLEEVES IN ALL WALLS FOR STORM & SANITARY LINES
- CORNER & INTERSECTION SPLICE BARS SHALL BE PROVIDED IN CONC. WALLS & GRADE BEAMS IN ACCORDANCE W/ MANUAL OF STD. PRACTICE FOR REIN. STEEL. DETAILS TO BE SUBMITTED W/ SHOP DWG.'S



5 S100 TYPICAL SLAB-ON-GRADE CONTROL JOINT
SCALE 1 : 10

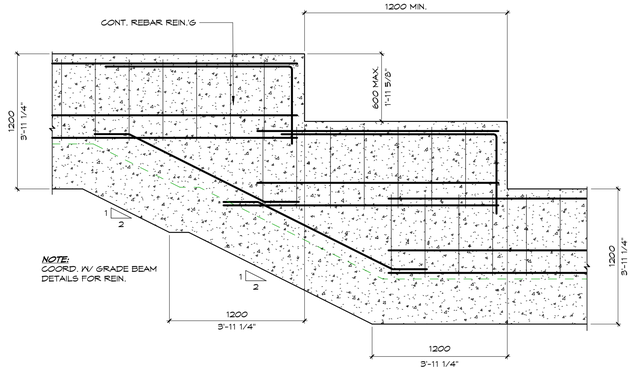


6 S100 TYPICAL SLAB-ON-GRADE CONSTRUCTION JOINT
SCALE 1 : 10



NOTES:
1. DENOTES 2 CORNER BARS SAME SIZE AND SPACING AS LARGEST VERTICAL REINFORCING. ELSEWHERE PROVIDE 2-20M CORNER BARS UNLESS NOTED.
2. DOWELS TO BE SAME SIZE AND SPACING AS HORIZONTAL REINFORCING.
3. PROVIDE STANDARD HOOKS AS SHOWN.
4. CORNER BAR REINFORCING SHOWN IS TYPICAL FOR ALL GRADE BEAMS AND FOUNDATION WALLS.

7 S100 TYPICAL CORNER REINFORCEMENT
SCALE 1 : 10



8 S100 TYPICAL STEPPED GRADE BEAM DETAIL
SCALE 1 : 25

NO.	DATE	ISSUANCE
1	2021.05.04	ISSUED FOR BUILDING PERMIT APPLICATION
NO.	DATE	ISSUANCE

ISSUED FOR BUILDING PERMIT APPLICATION AND CONSTRUCTION

SOUTH
E
W
NORTH

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STAMP ARCH.

STAMP STRUCT.

LICENSED PROFESSIONAL ENGINEER
B.D. BUCHWALD
100090134
PROVINCE OF ONTARIO

PROJECT TITLE:
SIDWAY COTTAGE

13 LAKESIDE LANE,
PORT DOVER, ONTARIO
N0A 1N2

DRAWING TITLE:
FOOTING, FOUNDATION, SOG PLAN

CHECKED BY:	DRAWN BY:
B.B.	B.L.H.
DRAWING SCALE: As indicated	DRAWING NO.: S100
PROJECT NO.: 21-044	

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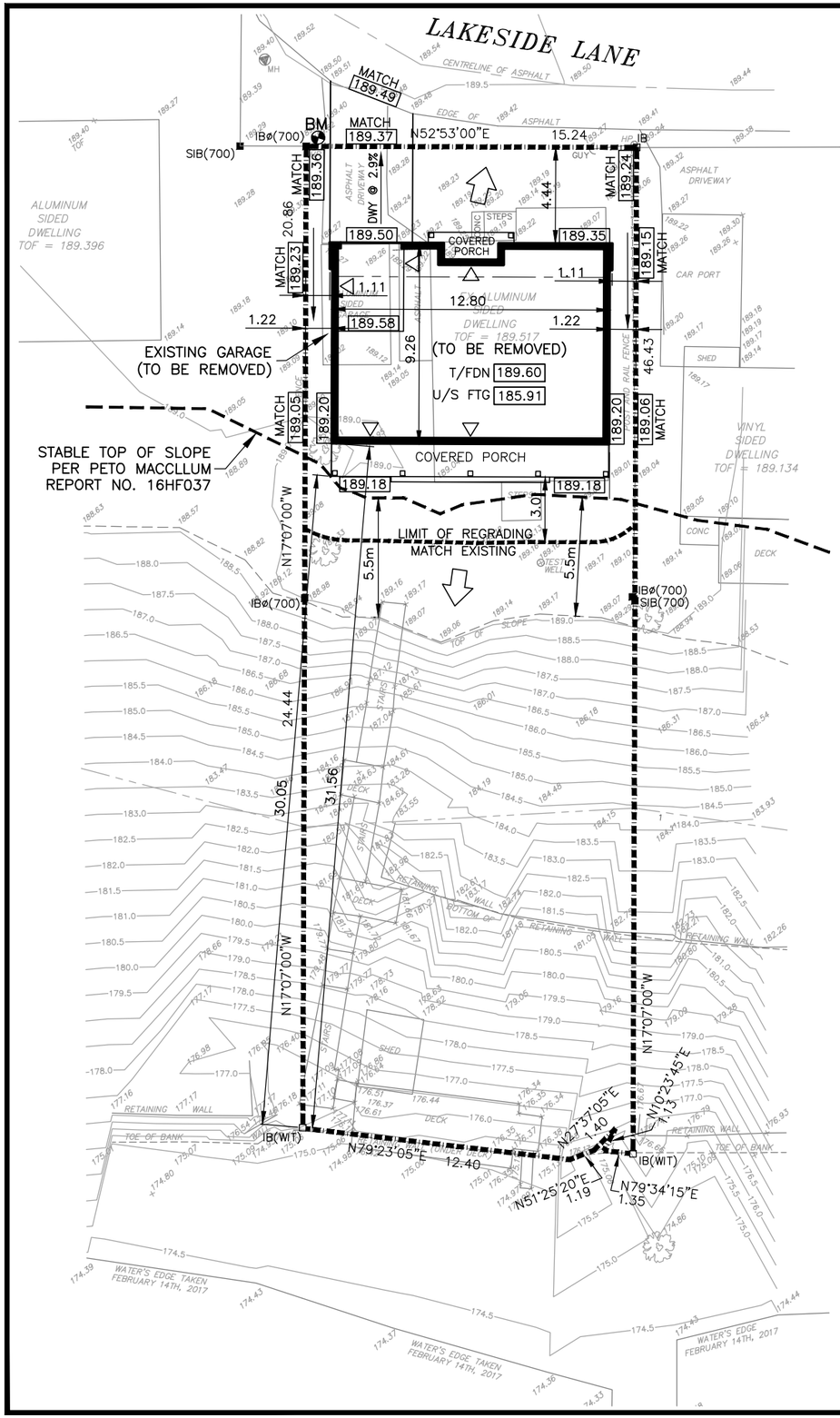

NOTE:
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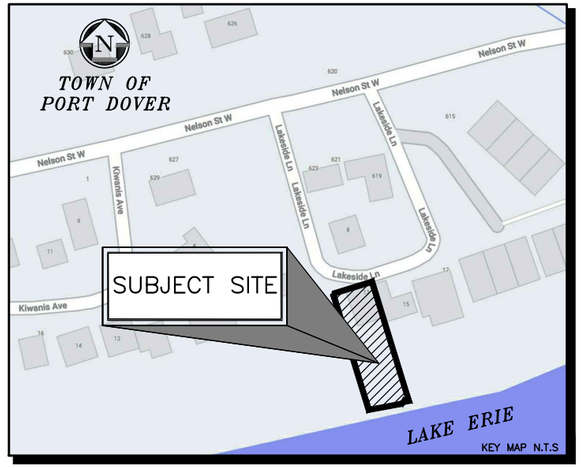


LEGEND

189.64	PROPOSED SPOT ELEVATION
	LOT FLOW DIRECTION
1.5%	PROPERTY LINE FLOW DIRECTION AND SLOPE
189.17	EXISTING SPOT ELEVATION
187.0	EXISTING CONTOUR ELEVATION

TOP OF FOUNDATION

T/FDN	189.60
9–1/2" ENG. JOIST	+ 0.24
3/4 PLYWOOD	+ 0.02
2x4 SILL PLATE	+ 0.04
FIN FLOOR	189.90
2 RISERS @ 0.19m	– 0.38
GARAGE ENTRY	189.52
1m @ 2%	– 0.02
GARAGE SILL	189.50

UNDERSIDE OF FOOTING

T/FDN	189.60
FOUNDATION WALL (7'–10")	– 2.39
GRADE BEAM (3'–11¼")	– 1.20
CONCRETE SLAB (4")	– 0.10
UNDERSIDE FOOTING	185.91

LOT COVERAGE:

BUILDING FOOTPRINT AREA	116.9 sq m
LOT AREA	702.7 sq m
LOT COVERAGE	16.6 %

NOTES

CONTRACTOR TO ENSURE THAT HOUSE FOUNDATION IS PLACED ON SUITABLE, DRY SOIL.

ACCORDING TO NORFOLK COUNTY REQUIREMENTS ALL FINAL GRADING MUST BE INSPECTED AND CERTIFIED BY AN ENGINEER OR ONTARIO LAND SURVEYOR. THE BUILDER SHALL ENSURE THAT THE REQUIRED INSPECTIONS ARE CARRIED OUT IN ACCORDANCE WITH COUNTY REQUIREMENTS.

ALL DISTANCES AND ELEVATIONS ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0 . 3048.

BUILDER TO CONFIRM BOTTOM OF FOOTING ELEVATION AND TOP OF FOUNDATION ELEVATION PRIOR TO COMMENCEMENT OF CONSTRUCTION.

IN ACCORDANCE WITH THE ONTARIO BUILDING CODE, AT LEAST 0.15m OF FOUNDATION WALL MUST REMAIN EXPOSED.

ALL ROOF LEADERS TO BE DIRECTED TO THE ROAD.

SETBACK REQUIREMENTS:

	REQUIRED	ACTUAL
FRONT YARD	6.0m	4.44m
INTERIOR SIDE YARD	1.2m	1.22m/1.22m
EXTERIOR SIDE YARD	6.0m	N/A
REAR YARD	7.5m	30.05m

DATE	REVISION
MAY 28/21	ISSUED TO CLIENT FOR REVIEW

LOT 9, CONCESSION 1
IN THE GEOGRAPHIC
TOWNSHIP OF WOODHOUSE
LOT 8, REGISTERED PLAN 121
TOWN OF PORT DOVER
NORFOLK COUNTY

SITE BENCHMARK

BM: SPIKE IN NORTH FACE OF HYDRO POLE ON NORTH WEST CORNER OF PROPERTY.

ELEVATION 189.617m

Stamp

LICENSED PROFESSIONAL ENGINEER
2021-05-31
J. T. IEZZI
100189485
PROVINCE OF ONTARIO

vallee
Consulting Engineers, Architects & Planners
G. DOUGLAS VALLEE LIMITED
CONSULTING ENGINEERS, ARCHITECTS AND PLANNERS
2 TALBOT STREET NORTH
SIMCOE, ONTARIO N3Y 3W4
(519) 426–6270

Project Title

JEFF SIDWAY COTTAGE
13 LAKESIDE LANE
PORT DOVER - NORFOLK COUNTY

Drawing Title
SITE GRADING PLAN

Home Builder :
BOER HOMES INC.

Designed by :	Drawn By :	Checked By :
TJC	TJC	JTI
Scale : 1:250	Date : MAY 11, 2021	Drawing No. 01
Project No. 21-103		

MAP A

CONTEXT MAP

Urban Area of PORT DOVER

OPNPL2022278
ZNPL2022279

Legend

- Subject Lands
- Lands Owned
- 2020 Air Photo

9/13/2022

N

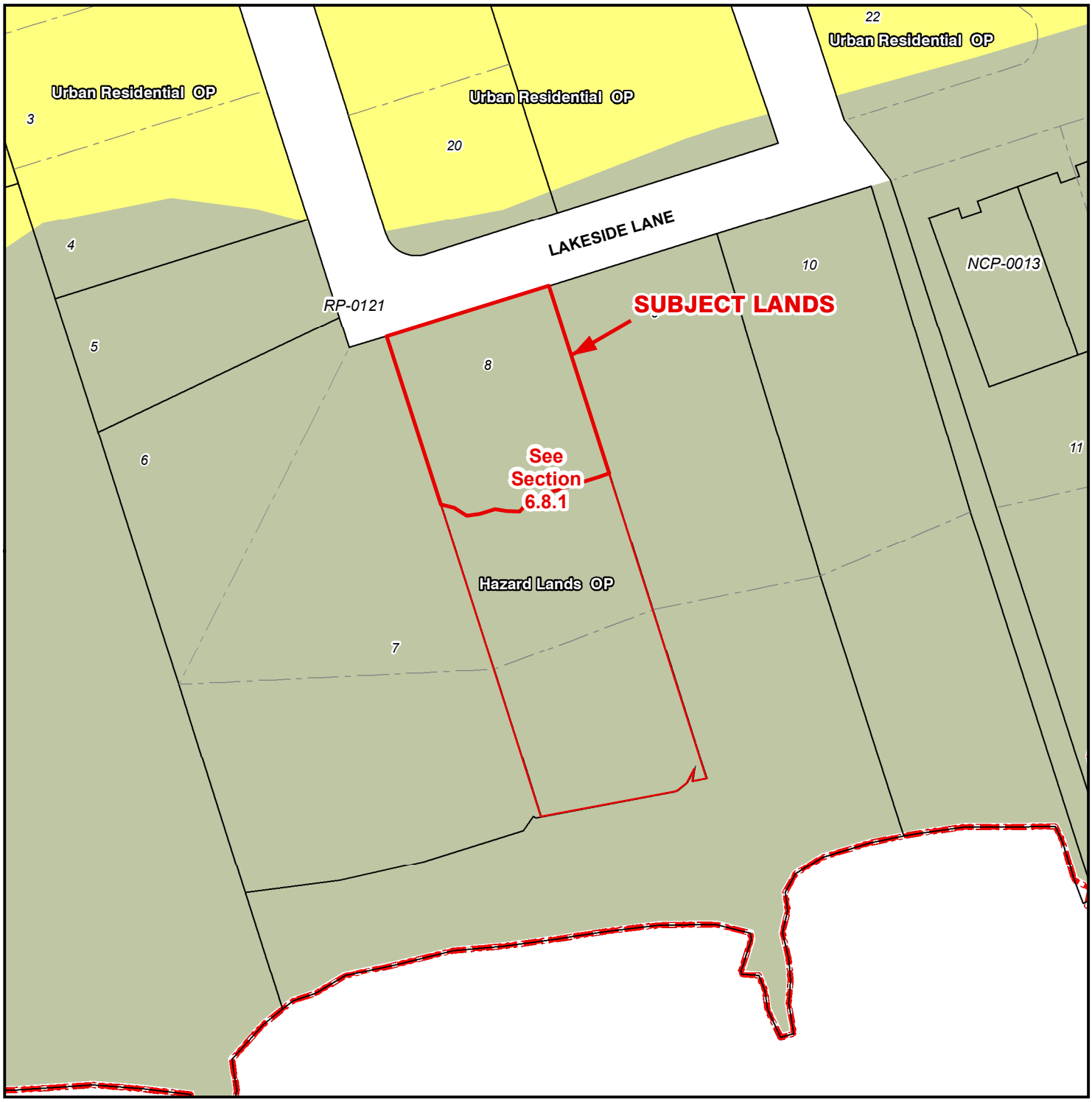
5.5 2.75 0 5.5 11 16.5 22 Meters

MAP B

PROPOSED OFFICIAL PLAN AMENDMENT MAP

Urban Area of PORT DOVER

OPNPL2022278
ZNPL2022279



Legend

- Subject Lands
- Lands Owned

Official Plan Designations

- Hazard Lands
- Urban Residential
- Special Policy Area
- Urban Area Boundary

9/13/2022

From: Hazard Land (HL)
To: Urban Residential

N

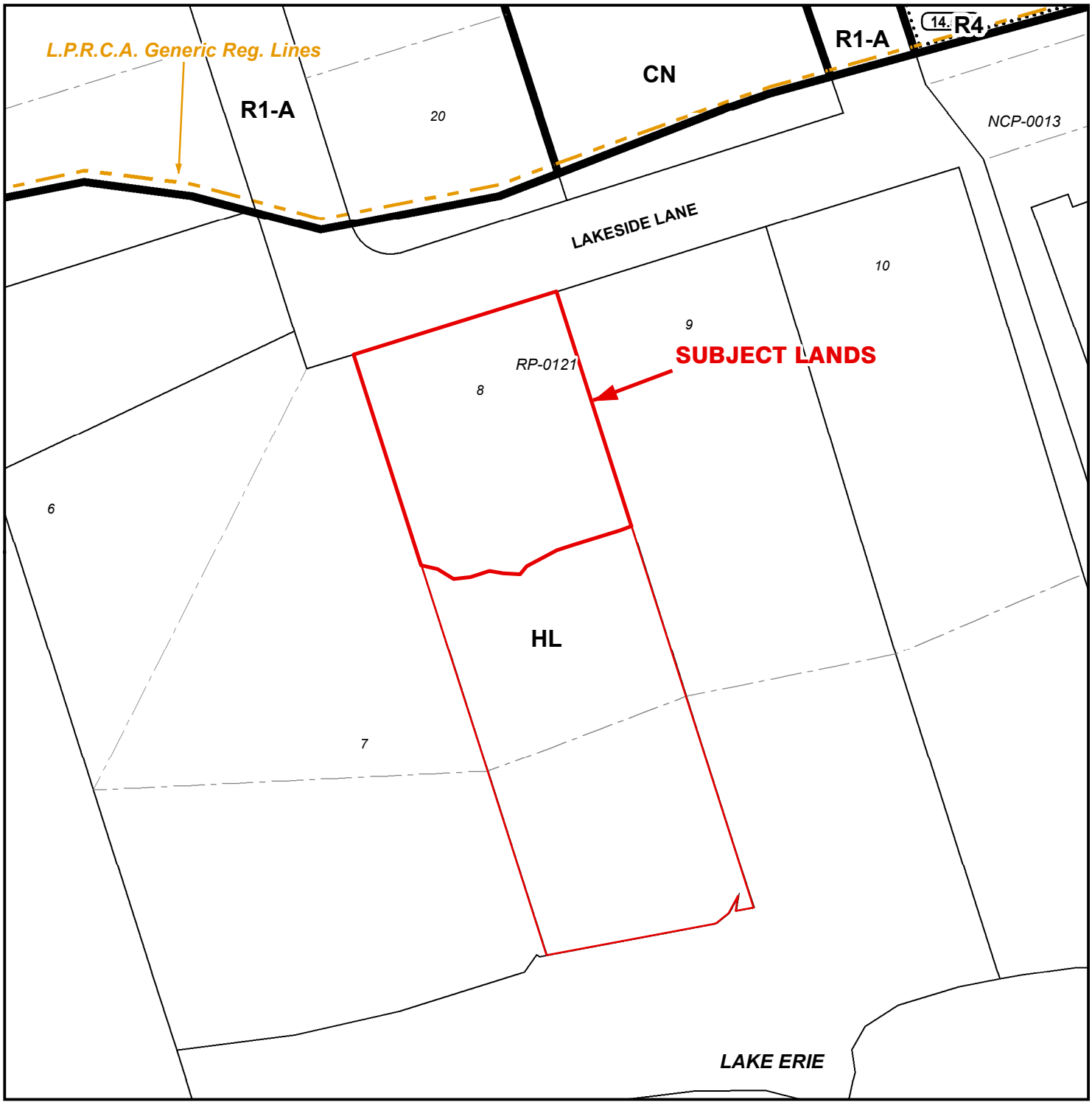
4 2 0 4 8 12 16 Meters

MAP C

PROPOSED ZONING BY-LAW AMENDMENT MAP

Urban Area of PORT DOVER

OPNPL2022278
ZNPL2022279



LEGEND

- Subject Lands
- Lands Owned
- LPRCA Generic RegLines

ZONING BY-LAW 1-Z-2014

- (H) - Holding
- CN - Neighbourhood Commercial Zone
- HL - Hazard Land Zone
- R1-A - Residential R1-A Zone
- R4 - Residential R4 Zone

9/13/2022

From: Hazard Land (HL)
To: Urban Residential Type 1 (R1-B)

N

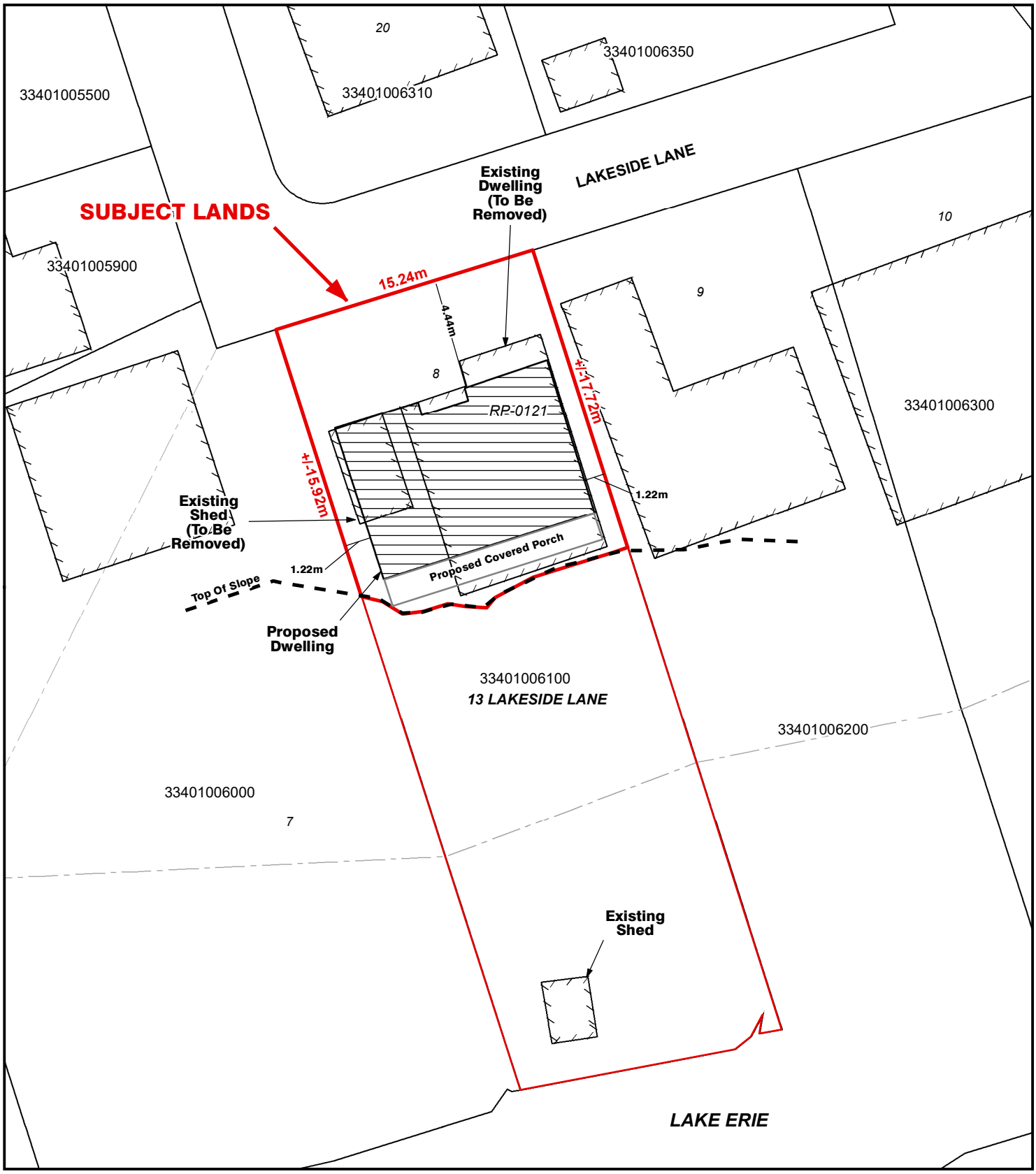
3 1.5 0 3 6 9 12 Meters

MAP D

CONCEPTUAL PLAN

Urban Area of PORT DOVER

OPNPL2022278
ZNPL2022279



Legend

Subject Lands

Lands Owned

9/13/2022

N

2.5 1.25 0 2.5 5 7.5 10 Meters